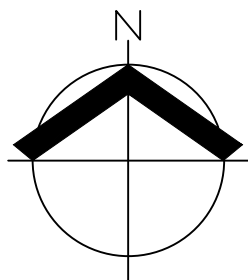


AKS DRAWING FILE: 9095 20260423 MASTER RENDERING.DWG | LAYOUT: LAYOUT1



## MASTER PLAN - OVERALL RENDERING

### VILLAGE AT NORTH SHORE CAMAS, WASHINGTON

|              |           |
|--------------|-----------|
| JOB NUMBER:  | 9095      |
| DATE:        | 5/11/2026 |
| DESIGNED BY: | AKS       |
| DRAWN BY:    | JTG       |
| CHECKED BY:  | BDH       |

MP-01

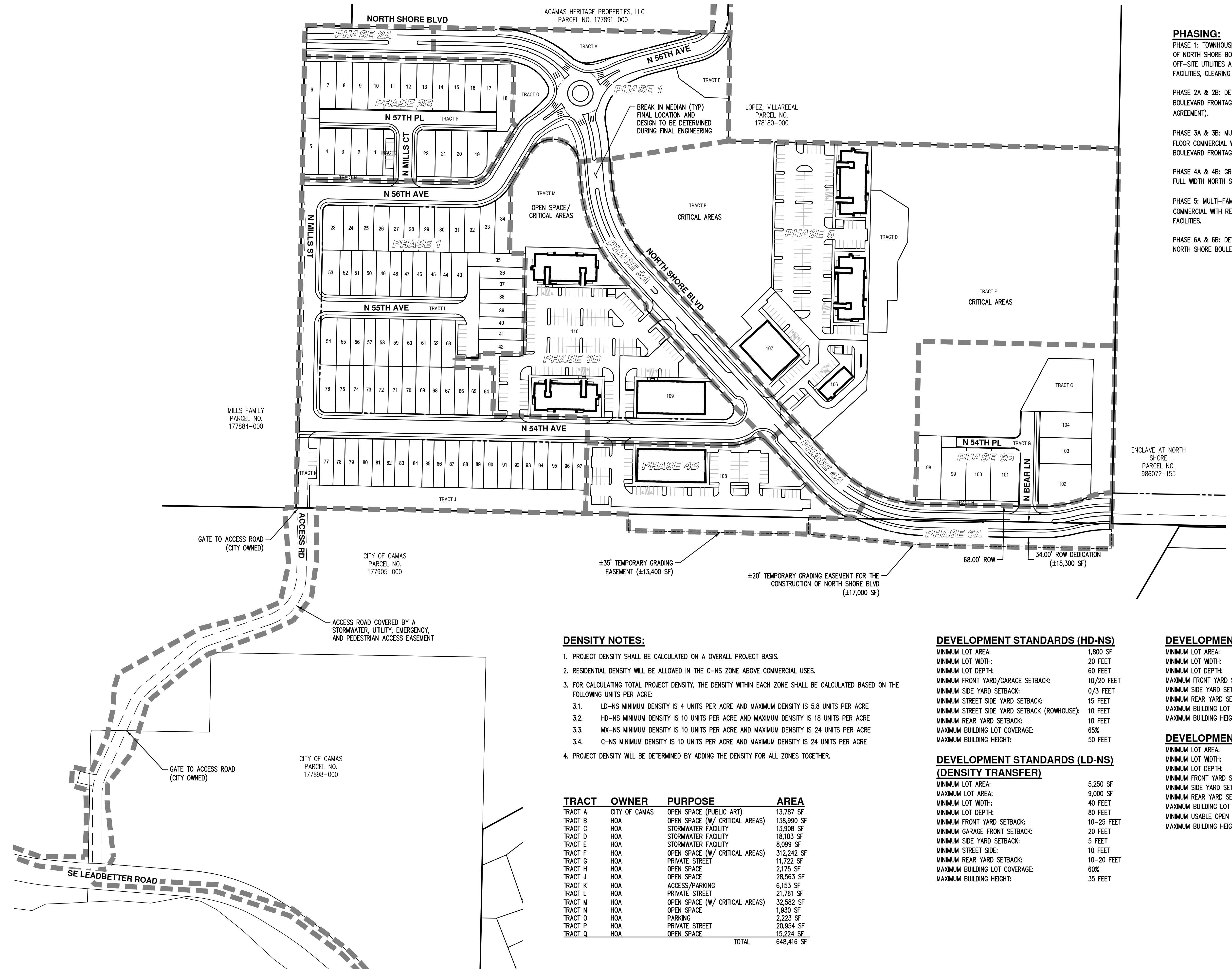
AKS  
AKS ENGINEERING & FORESTRY, LLC  
900 NE 125TH AVE, STE 2320  
VANCOUVER, WA 98682  
360.882.0419  
WWW.AKS-ENG.COM

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FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE



MASTER PLAN - DEVELOPMENT PLAN  
VILLAGE AT NORTH SHORE  
CAMAS, WASHINGTON

**PHASING:**  
PHASE 1: TOWNHOUSES, DETACHED SINGLE-FAMILY RESIDENCES, PORTION OF NORTH SHORE BOULEVARD, OFF-SITE COUNTY ROADWAY IMPROVEMENTS, OFF-SITE UTILITIES AND PATH TO LEADBETTER ROAD, STORMWATER FACILITIES, CLEARING AND MASS GRADING OF FULL SUBDIVISION.  
PHASE 2A & 2B: DETACHED SINGLE-FAMILY RESIDENCES. NORTH SHORE BOULEVARD FRONTAGE (IF NECESSARY – SEE SECTION 4.2 OF DEVELOPER'S AGREEMENT).  
PHASE 3A & 3B: MULTI-FAMILY RESIDENTIAL AND MIXED-USE (GROUND FLOOR COMMERCIAL WITH RESIDENTIAL ABOVE), FULL WIDTH NORTH SHORE BOULEVARD FRONTAGE.  
PHASE 4A & 4B: GROUND FLOOR COMMERCIAL WITH RESIDENTIAL ABOVE, FULL WIDTH NORTH SHORE BOULEVARD FRONTAGE.  
PHASE 5: MULTI-FAMILY RESIDENTIAL, MIXED-USE (GROUND FLOOR COMMERCIAL WITH RESIDENTIAL ABOVE), COMMERCIAL, STORMWATER FACILITIES.  
PHASE 6A & 6B: DETACHED SINGLE-FAMILY RESIDENCES. FULL WIDTH NORTH SHORE BOULEVARD FRONTAGE.



**DENSITY NOTES:**

- PROJECT DENSITY SHALL BE CALCULATED ON A OVERALL PROJECT BASIS.
- RESIDENTIAL DENSITY WILL BE ALLOWED IN THE C-NS ZONE ABOVE COMMERCIAL USES.
- FOR CALCULATING TOTAL PROJECT DENSITY, THE DENSITY WITHIN EACH ZONE SHALL BE CALCULATED BASED ON THE FOLLOWING UNITS PER ACRE:
  - LD-NS MINIMUM DENSITY IS 4 UNITS PER ACRE AND MAXIMUM DENSITY IS 5.8 UNITS PER ACRE
  - HD-NS MINIMUM DENSITY IS 10 UNITS PER ACRE AND MAXIMUM DENSITY IS 18 UNITS PER ACRE
  - MX-NS MINIMUM DENSITY IS 10 UNITS PER ACRE AND MAXIMUM DENSITY IS 24 UNITS PER ACRE
  - C-NS MINIMUM DENSITY IS 10 UNITS PER ACRE AND MAXIMUM DENSITY IS 24 UNITS PER ACRE
- PROJECT DENSITY WILL BE DETERMINED BY ADDING THE DENSITY FOR ALL ZONES TOGETHER.

| TRACT   | OWNER         | PURPOSE                        | AREA       |
|---------|---------------|--------------------------------|------------|
| TRACT A | CITY OF CAMAS | OPEN SPACE (PUBLIC ART)        | 13,787 SF  |
| TRACT B | HOA           | OPEN SPACE (W/ CRITICAL AREAS) | 138,990 SF |
| TRACT C | HOA           | STORMWATER FACILITY            | 13,908 SF  |
| TRACT D | HOA           | STORMWATER FACILITY            | 18,103 SF  |
| TRACT E | HOA           | STORMWATER FACILITY            | 8,099 SF   |
| TRACT F | HOA           | OPEN SPACE (W/ CRITICAL AREAS) | 312,242 SF |
| TRACT G | HOA           | PRIVATE STREET                 | 11,722 SF  |
| TRACT H | HOA           | OPEN SPACE                     | 2,175 SF   |
| TRACT J | HOA           | OPEN SPACE                     | 28,563 SF  |
| TRACT K | HOA           | ACCESS/PARKING                 | 6,153 SF   |
| TRACT L | HOA           | PRIVATE STREET                 | 21,761 SF  |
| TRACT M | HOA           | OPEN SPACE (W/ CRITICAL AREAS) | 32,582 SF  |
| TRACT N | HOA           | OPEN SPACE                     | 1,930 SF   |
| TRACT O | HOA           | PARKING                        | 2,223 SF   |
| TRACT P | HOA           | PRIVATE STREET                 | 20,954 SF  |
| TRACT Q | HOA           | OPEN SPACE                     | 15,224 SF  |
| TOTAL   |               |                                | 648,416 SF |

**DEVELOPMENT STANDARDS (HD-NS)**

|                                              |            |
|----------------------------------------------|------------|
| MINIMUM LOT AREA:                            | 1,800 SF   |
| MINIMUM LOT WIDTH:                           | 20 FEET    |
| MINIMUM LOT DEPTH:                           | 60 FEET    |
| MINIMUM FRONT YARD/GARAGE SETBACK:           | 10/20 FEET |
| MINIMUM SIDE YARD SETBACK:                   | 0/3 FEET   |
| MINIMUM STREET SIDE YARD SETBACK:            | 15 FEET    |
| MINIMUM STREET SIDE YARD SETBACK (ROWHOUSE): | 10 FEET    |
| MINIMUM REAR YARD SETBACK:                   | 10 FEET    |
| MAXIMUM BUILDING LOT COVERAGE:               | 65%        |
| MAXIMUM BUILDING HEIGHT:                     | 50 FEET    |

**DEVELOPMENT STANDARDS (LD-NS)  
(DENSITY TRANSFER)**

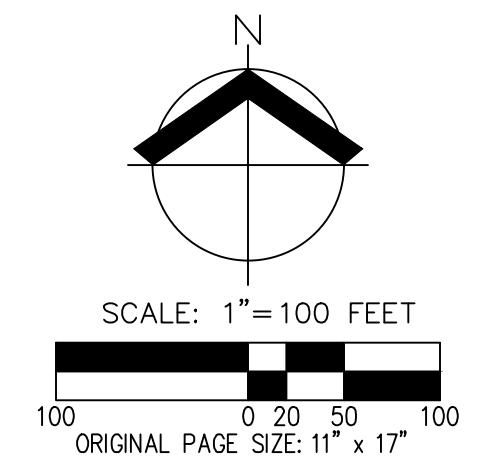
|                                |            |
|--------------------------------|------------|
| MINIMUM LOT AREA:              | 5,250 SF   |
| MAXIMUM LOT AREA:              | 9,000 SF   |
| MINIMUM LOT WIDTH:             | 40 FEET    |
| MINIMUM LOT DEPTH:             | 80 FEET    |
| MINIMUM FRONT YARD SETBACK:    | 10-25 FEET |
| MINIMUM GARAGE FRONT SETBACK:  | 20 FEET    |
| MINIMUM SIDE YARD SETBACK:     | 5 FEET     |
| MINIMUM STREET SIDE:           | 10 FEET    |
| MINIMUM REAR YARD SETBACK:     | 10-20 FEET |
| MAXIMUM BUILDING LOT COVERAGE: | 60%        |
| MAXIMUM BUILDING HEIGHT:       | 35 FEET    |

**DEVELOPMENT STANDARDS (MX-NS)**

|                                |          |
|--------------------------------|----------|
| MINIMUM LOT AREA:              | 1,800 SF |
| MINIMUM LOT WIDTH:             | 20 FEET  |
| MINIMUM LOT DEPTH:             | 60 FEET  |
| MAXIMUM FRONT YARD SETBACK:    | 10 FEET  |
| MINIMUM SIDE YARD SETBACK:     | 10 FEET  |
| MINIMUM REAR YARD SETBACK:     | 10 FEET  |
| MAXIMUM BUILDING LOT COVERAGE: | 65%      |
| MAXIMUM BUILDING HEIGHT:       | 100 FEET |

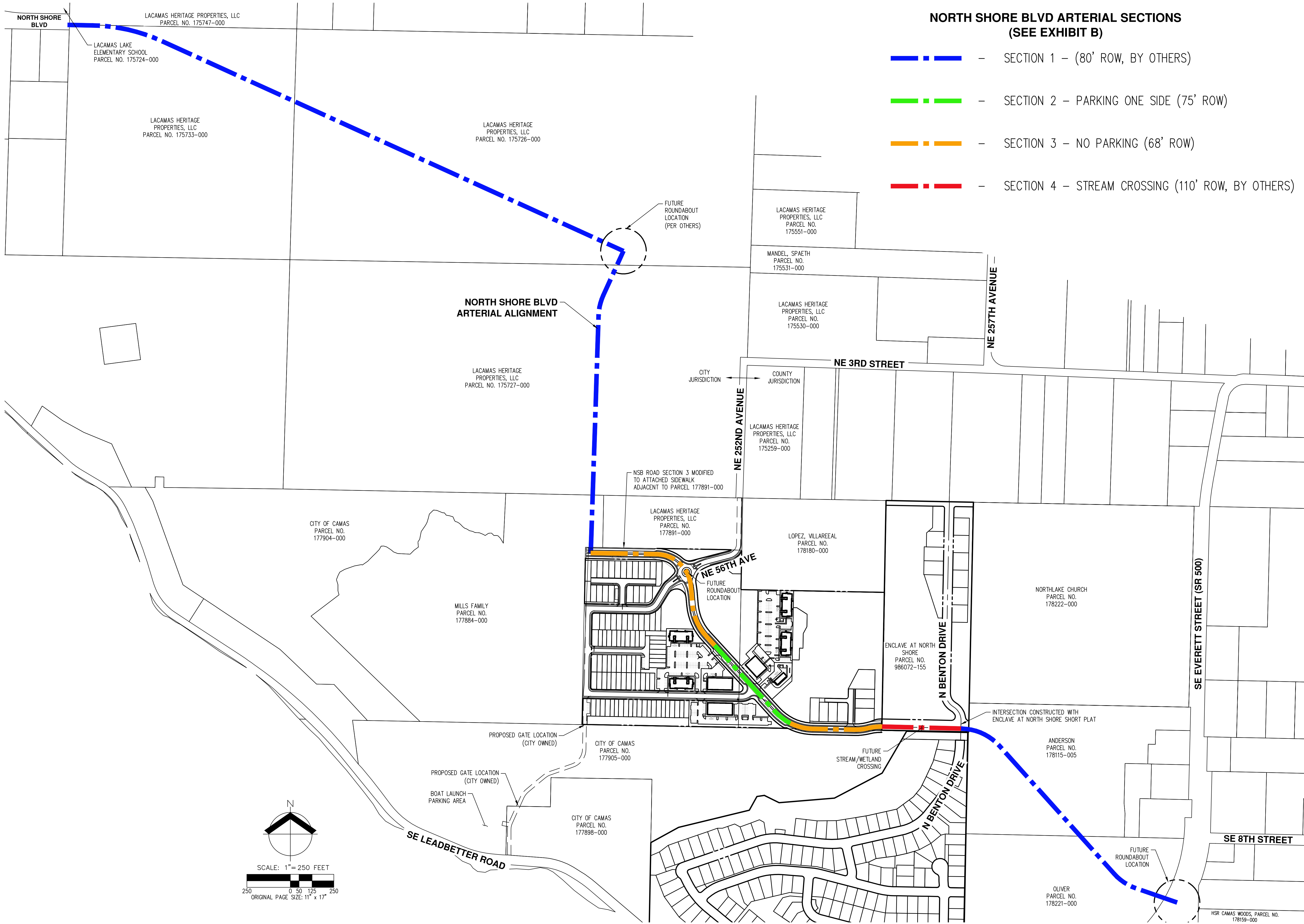
**DEVELOPMENT STANDARDS (C-NS)**

|                                |                  |
|--------------------------------|------------------|
| MINIMUM LOT AREA:              | NONE             |
| MINIMUM LOT WIDTH:             | NONE             |
| MINIMUM LOT DEPTH:             | NONE             |
| MINIMUM FRONT YARD SETBACK:    | 10 FEET          |
| MINIMUM SIDE YARD SETBACK:     | NONE             |
| MINIMUM REAR YARD SETBACK:     | NONE             |
| MAXIMUM BUILDING LOT COVERAGE: | NONE             |
| MINIMUM USABLE OPEN SPACE:     | 5% (NET ACREAGE) |
| MAXIMUM BUILDING HEIGHT:       | 100 FEET         |





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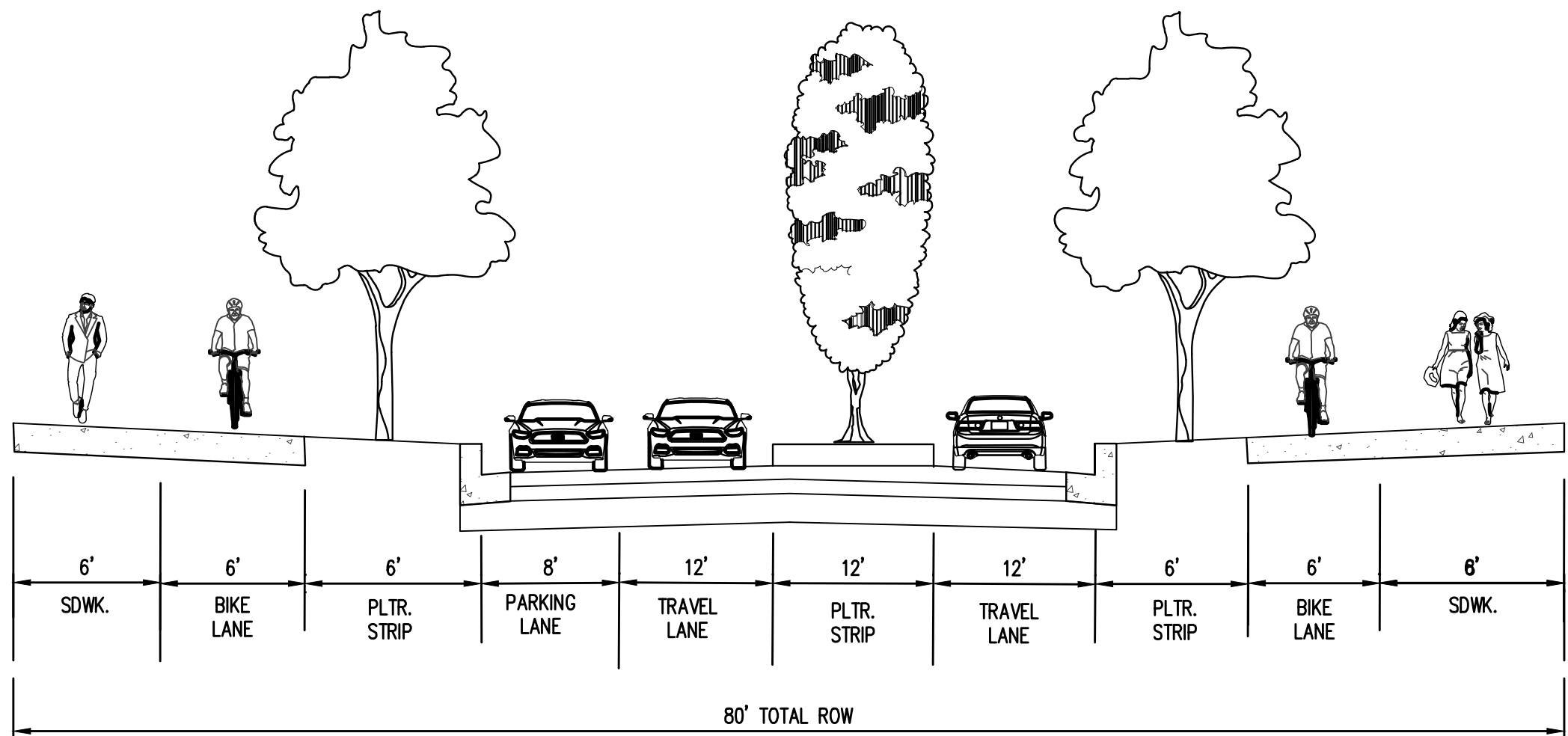


**MASTER PLAN - ARTERIAL ROADWAY**  
**VILLAGE AT NORTH SHORE**  
**CAMAS, WASHINGTON**

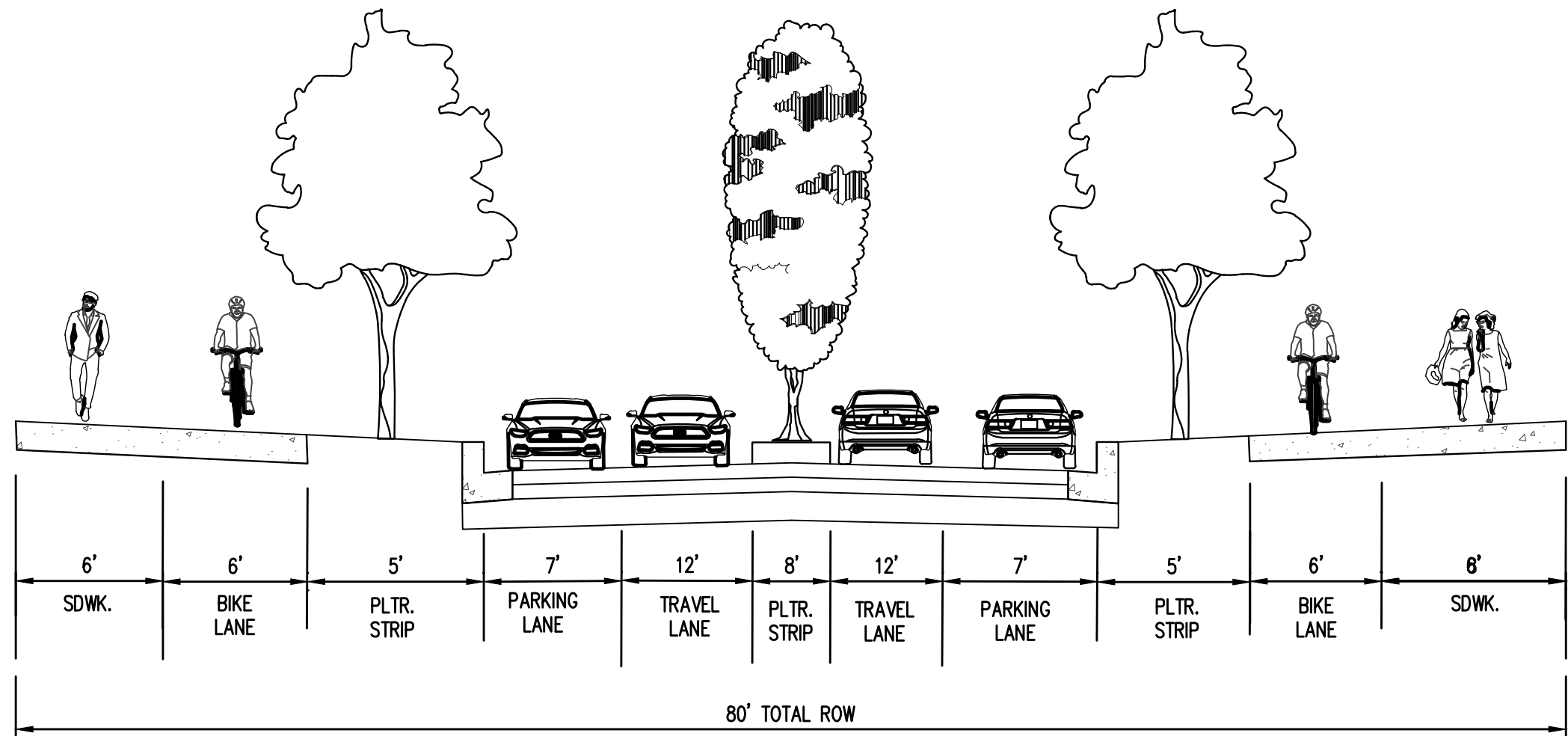
|              |           |
|--------------|-----------|
| JOB NUMBER:  | 9095      |
| DATE:        | 4/23/2026 |
| DESIGNED BY: | AKS       |
| DRAWN BY:    | JTG       |
| CHECKED BY:  | BHJ       |

**MP-03**

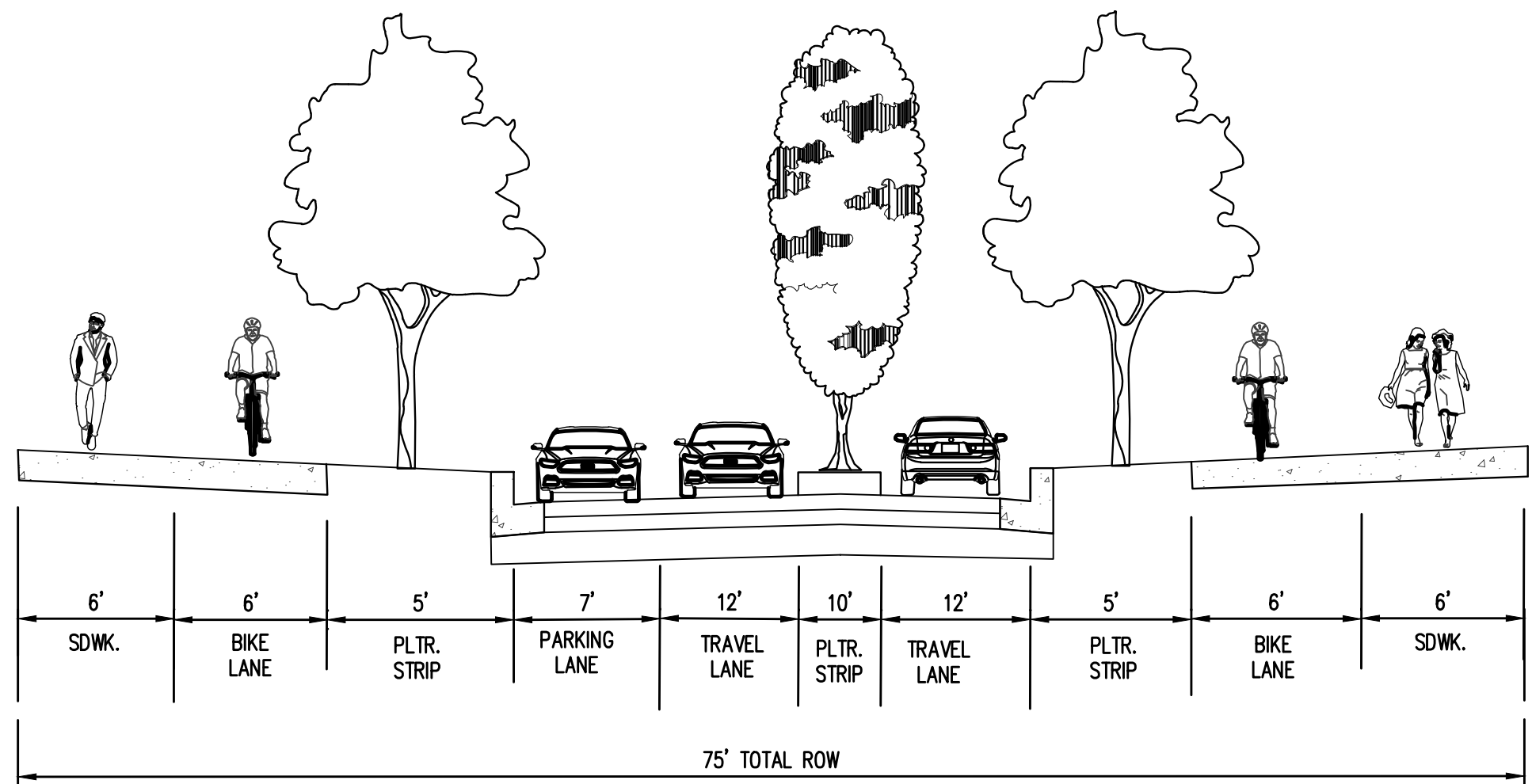




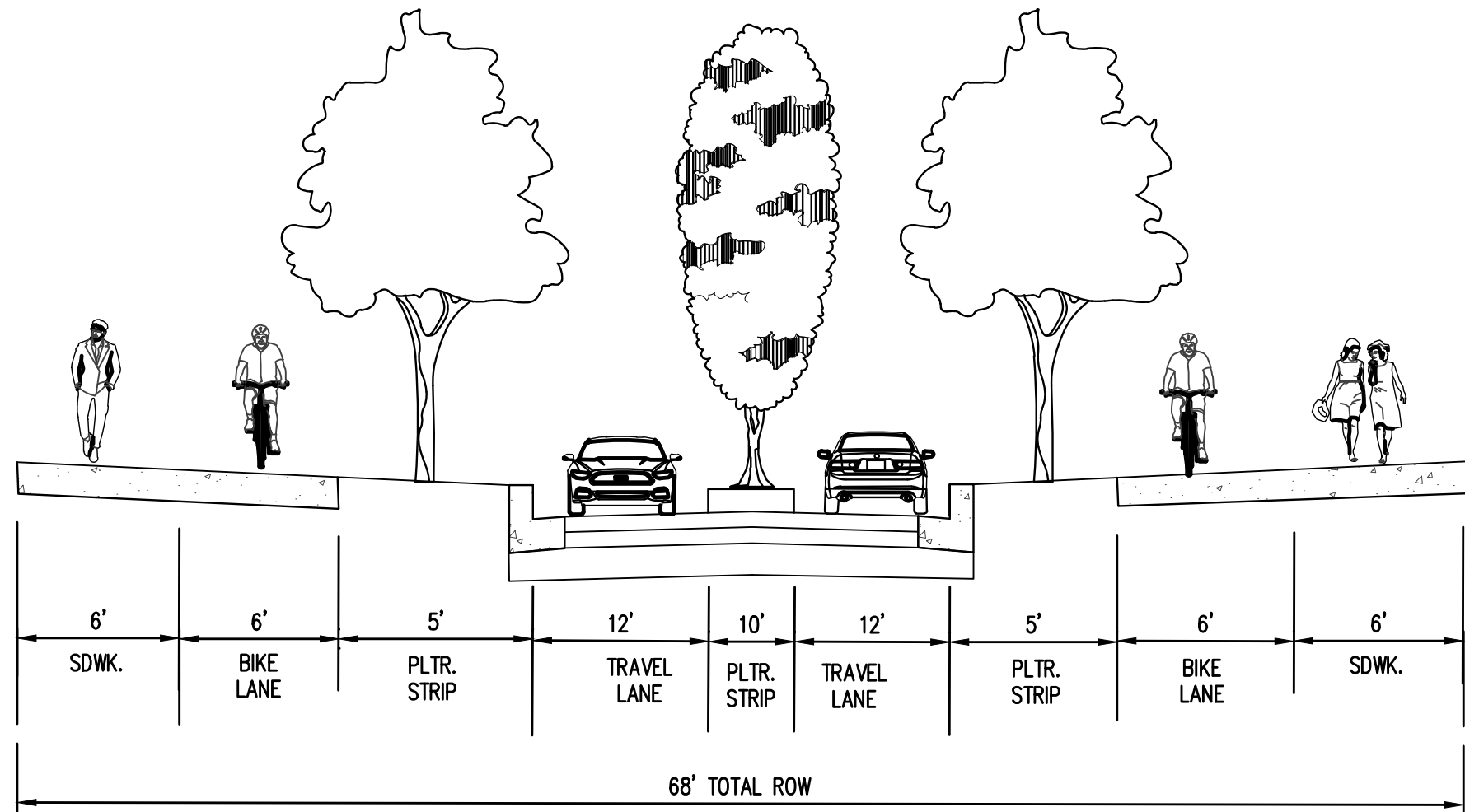
1A NORTH SHORE BOULEVARD - EAST WEST (80' R.O.W.)  
ROAD SECTION BY OTHERS (SUNCAL D.A. AND/OR CITY OF CAMAS) Scale: N.T.S.



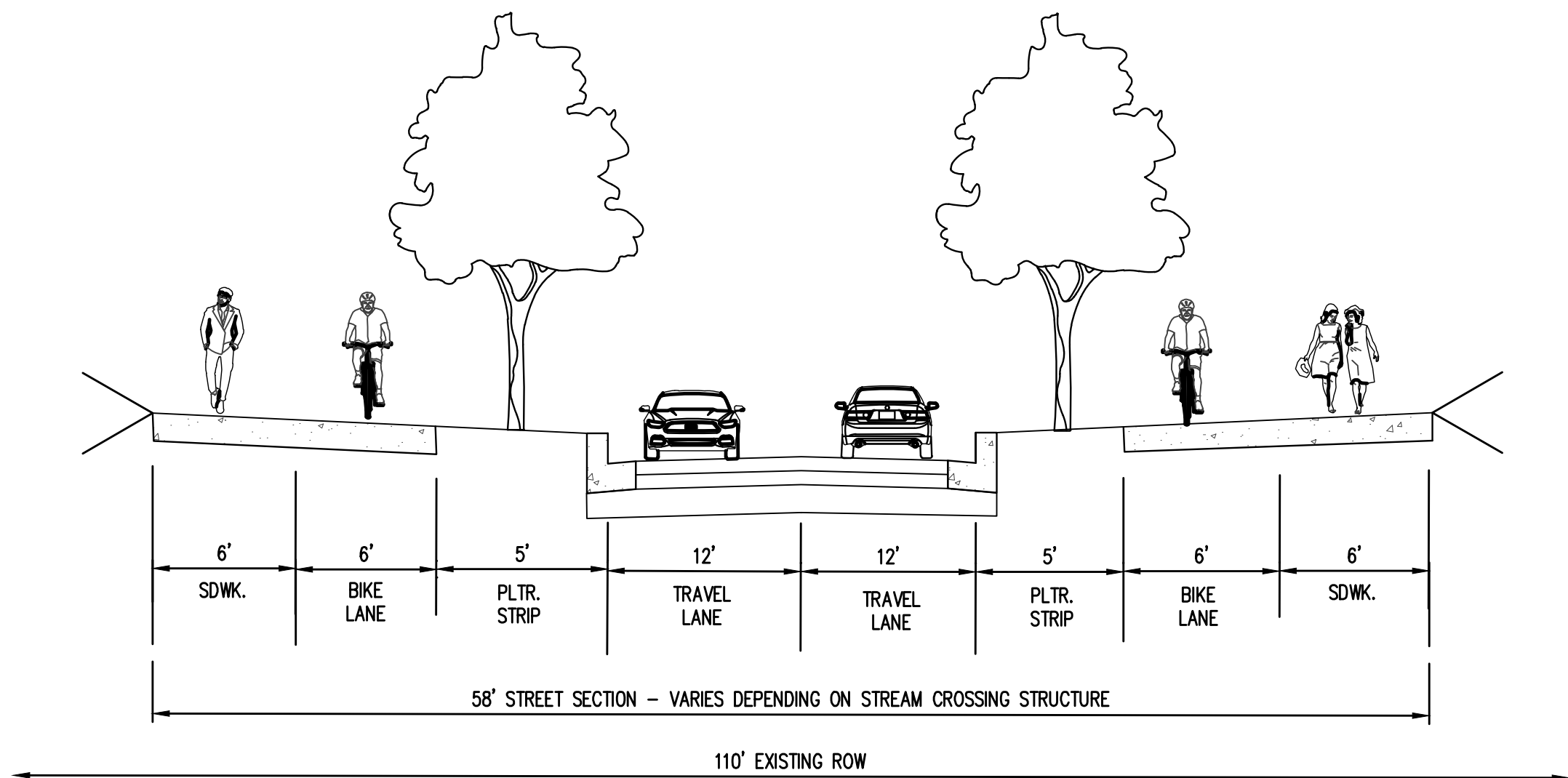
1B NORTH SHORE BOULEVARD - NORTH SOUTH (80' R.O.W.)  
ROAD SECTION BY OTHERS (SUNCAL D.A. AND/OR CITY OF CAMAS) Scale: N.T.S.



2 NORTH SHORE BOULEVARD - PARKING ONE SIDE (75' R.O.W.)  
Scale: N.T.S.



3 NORTH SHORE BOULEVARD - NO PARKING (68' R.O.W.)  
Scale: N.T.S.



4 NORTH SHORE BOULEVARD - STREAM CROSSING (110' R.O.W.)  
ASSUMED ROAD SECTION FOR PLANNING PURPOSES ONLY. DESIGNED BY OTHERS (CITY OF CAMAS). Scale: N.T.S.