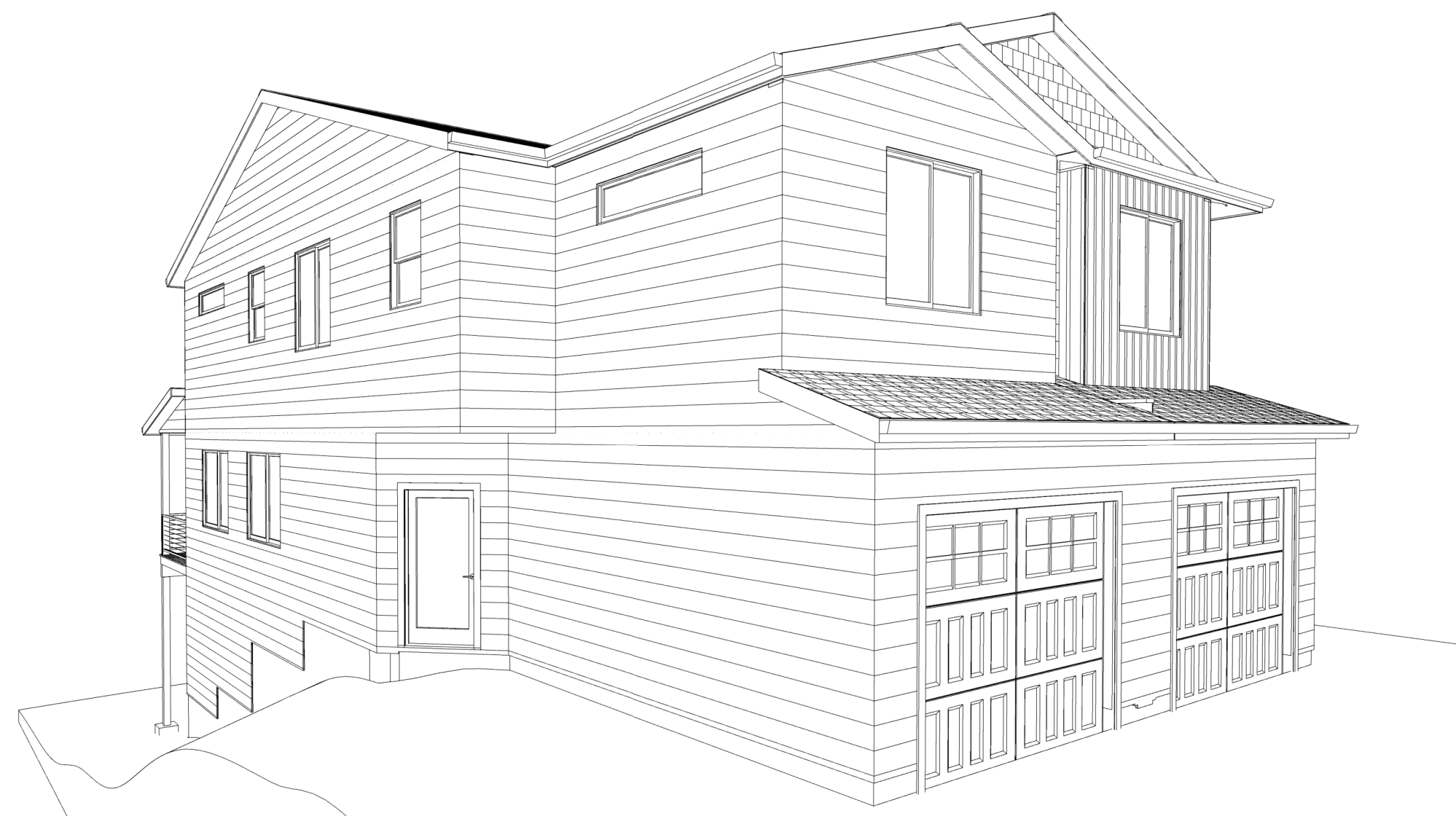
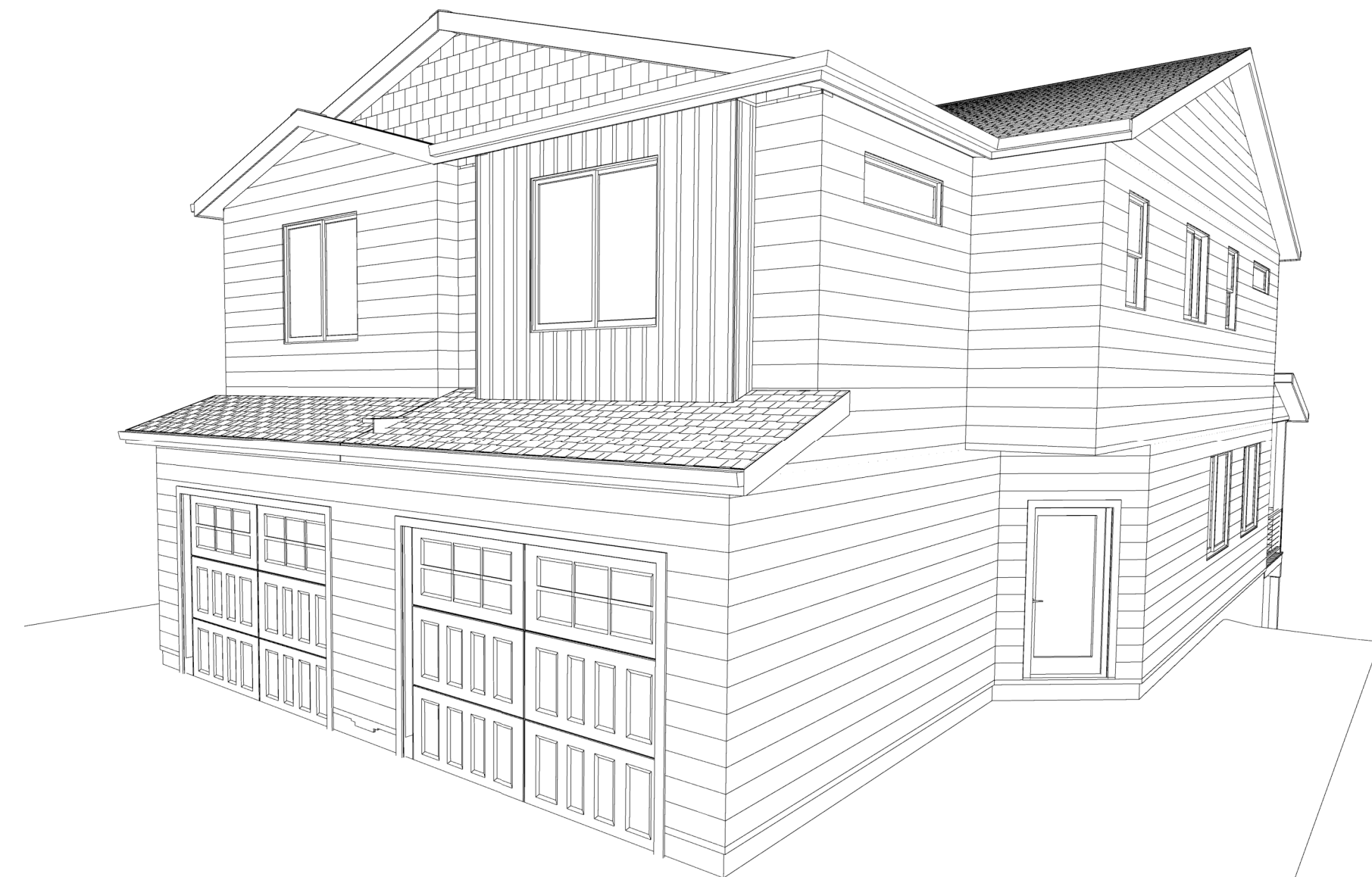


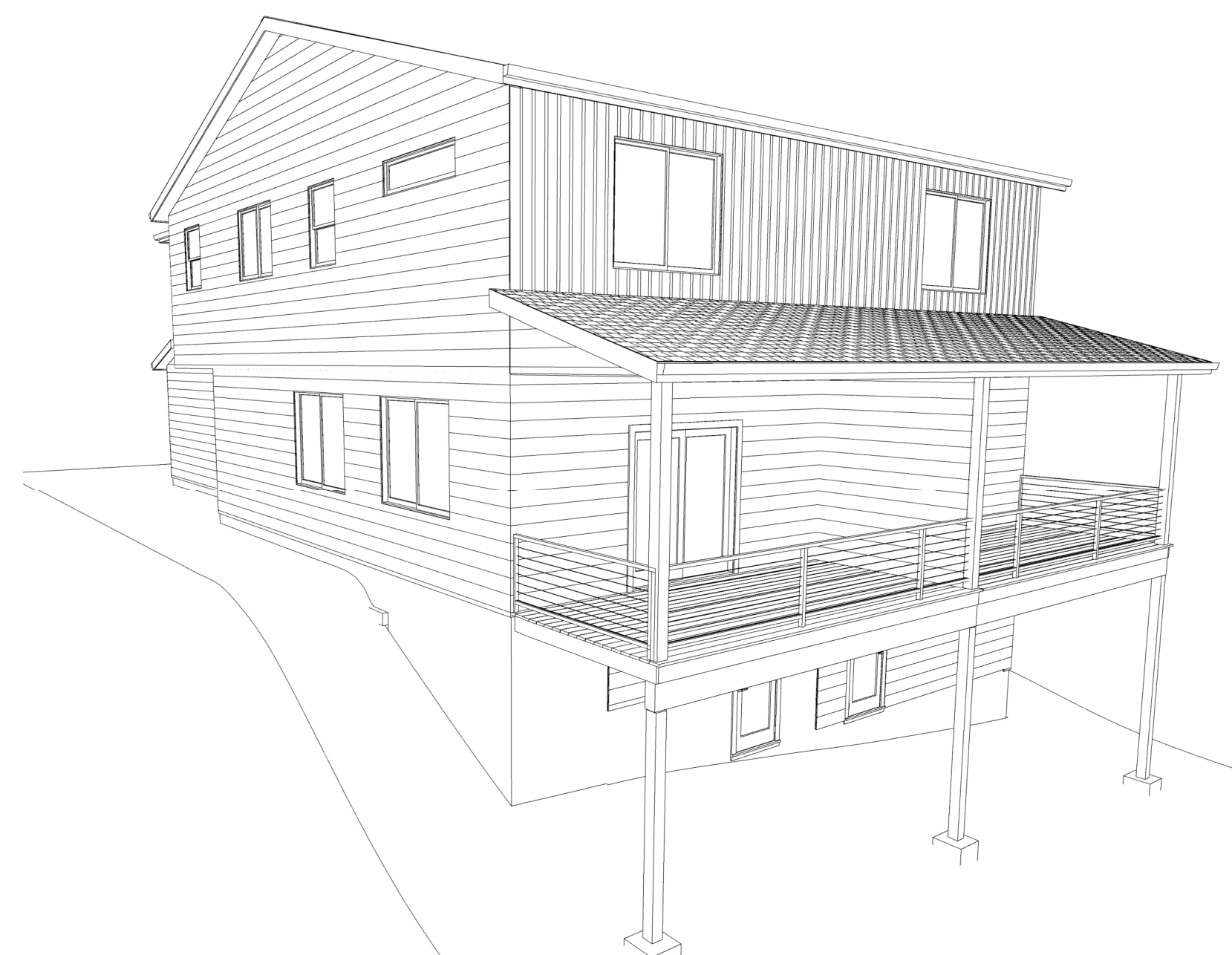
GEACU RESIDENCE



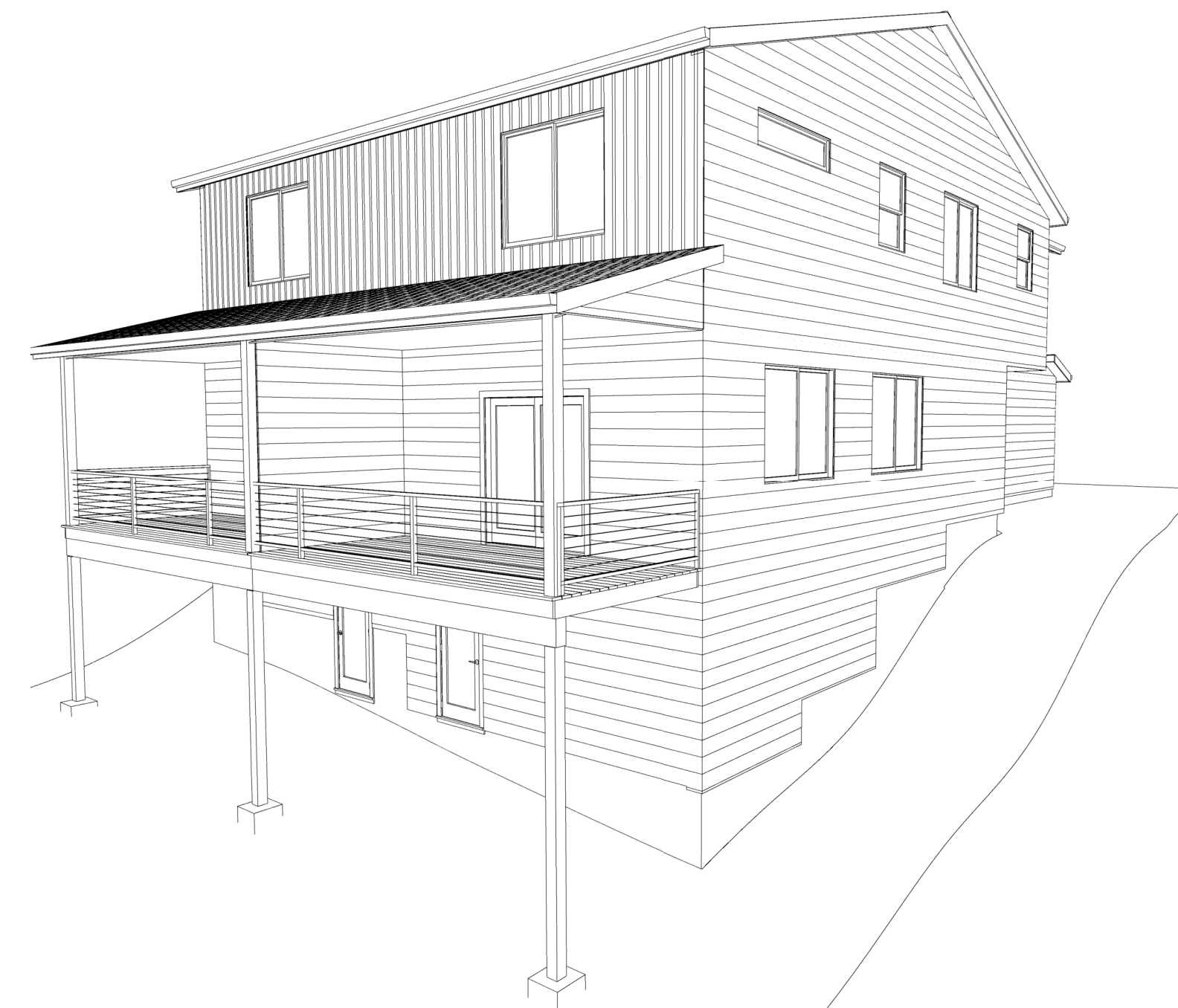
NORTHEAST SIDE PERSPECTIVE
N.T.S.



NORTHWEST SIDE PERSPECTIVE
N.T.S.



SOUTHWEST SIDE PERSPECTIVE
N.T.S.



SOUTHEAST SIDE PERSPECTIVE
N.T.S.

NOTE:
PERSPECTIVE ELEVATIONS ARE A DESIGNER'S RENDERING OF THE RESIDENCE. THEY ARE PLACED FOR A VISUAL HELP ONLY.

PROJECT DIRECTORY

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PROJECT DESCRIPTION: NEW HOME

FLOOR AREA

UNIT "A"	
MAIN FLOOR LIVING.....	632 SQ. FT.
UPPER FLOOR LIVING.....	843 SQ. FT.
TOTAL LIVING.....	1475 SQ. FT.
GARAGE.....280 SQ. FT.	
COVERED DECK.....	142 SQ. FT.
UNIT "B"	
MAIN FLOOR LIVING.....	632 SQ. FT.
UPPER FLOOR LIVING.....	843 SQ. FT.
TOTAL LIVING.....	1475 SQ. FT.
GARAGE.....280 SQ. FT.	
COVERED DECK.....	142 SQ. FT.

INDEX OF DRAWINGS

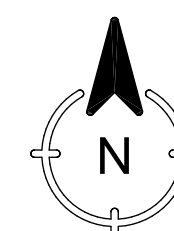
- G1.0 - COVER PAGE
- G2.0 - NOTES
- A1.0 - EXTERIOR ELEVATIONS
- A2.0 - FOUNDATION PLAN & MAIN FLOOR PLAN
- A3.0 - UPPER FLOOR & ROOF PLAN
- A4.0 - SECTIONS
- A5.0 - DETAILS

VICINITY MAP



LEGAL DESCRIPTION

PROPERTY PARCEL NUMBER: 986039342
COUNTY: CLARK



GENERAL NOTES:

1. ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE IRC 2018, AND ALL APPLICABLE STATE, COUNTY, OR LOCAL REGULATIONS.
2. ALL EXTERIOR DIMENSIONS ARE TO THE FRAMING OR MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).
3. INTERIOR WALLS: 1/2" GYPSUM WALL BOARD ON EACH SIDE OF 2X4 WOOD STUDS @ 16" O.C. 4-1/2" THICK TYPICAL (UNLESS NOTED).
4. EXTERIOR WALLS: LAP SIDING OVER MOISTURE BARRIER PAPER (HOUSE WRAP) ON 7/16" O.S.B. SHEATHING ON 2X6 WOOD STUDS @ 16" O.C. 5-1/2", 1/2" GYPSUM WALL BOARD (GLUE & SCREW), STONE SUPPLIER TO SIZE AND PROVIDE STEEL LINTELS AT MASONARY OPENINGS AS REQUIRED.
5. PORCHES, DECKS, BALCONIES, FOUNDATION AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.
6. NO WORK IS AT START UNTIL THE REQUIRED PERMITS ARE OBTAINED. THE OWNER WILL PROVIDE A BUILDING PERMIT. ALL OTHER PERMITS SHALL BE OBTAINED AND PAID FOR BY THE GENERAL CONTRACTOR OR THE RESPECTIVE TRADE SUB-CONTRACTOR.
7. ALL LABOR, MATERIAL, EQUIPMENT AND SUPERVISION NECESSARY TO PROVIDE A COMPLETE PROJECT, SHALL BE PROVIDED BY THE GENERAL CONTRACTOR WORK OR EQUIPMENT WHICH IS NOT SPECIFICALLY IDENTIFIED OR SPECIFIED, BUT WHICH IS NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK CALLED FOR IN THE DRAWINGS SHALL BE PROVIDED BY THE GENERAL CONTRACTOR.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, SAFETY PROCEDURES AND METHODS TO PROTECT THE LIFE, HEALTH AND SAFETY OF WORKERS, SUBCONTRACTORS, SUPPLIERS AND THE PUBLIC ON ALL WORK RELATED TO THIS PROJECT, IN FULL CONFORMANCE WITH OSHA REQUIREMENTS.
9. SPECIFIC MANUFACTURERS AND MATERIALS DEPICTED ON THESE PLANS ARE AN INDICATION OF QUALITY AND STRENGTH. VERIFY ALL CONSTRUCTION MATERIAL SUBSTITUTIONS WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PRIOR TO INSTALLATION/SUBSTITUTION.
10. THE LOCATION OF UNDERGROUND UTILITIES IS UNKNOWN. THE CONTRACTOR SHALL TAKE EXTREME CARE DURING EXCAVATION TO PREVENT DAMAGE TO EXISTING UTILITIES. SHOULD UTILITIES NEED TO BE RELOCATED TO ACCOMMODATE THE NEW WORK, SUCH RELOCATION SHALL BE COMPLETED IMMEDIATELY TO MINIMIZE INTERRUPTION OF SERVICE(S).
11. CONTRACTOR SHALL ARRANGE FOR ALL TEMPORARY SERVICES SUCH AS POWER, WATER, REFUSE AND SANITATION. CONTRACTOR SHALL ALSO ENSURE THAT THE ADJOINING RIGHT OF WAY IS KEPT CLEAR AND CLEAN OF DIRT AND DEBRIS.
12. THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START AND/OR DURING CONSTRUCTION. THE DESIGNER IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR AND/OR SUB-CONTRACTOR.
13. BUILDING THIS PLAN ON SITE CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE PLANS MAY REQUIRE MODIFIED FOUNDATION AND FRAMING DETAILS. THE CONTRACTOR IS RESPONSIBLE TO REVIEW SPECIFIC SITE CONDITIONS WITH THE DESIGNER BEFORE CONSTRUCTION.
14. VERIFY FOUNDATION AND FRAMING DETAILS (WHERE APPLICABLE) WITH MECH, PLUMBING, ELECTRICAL AND OTHER SUB-CONTRACTORS TO ASSURE PROPER CONSTRUCTION INSTALLATION.
15. PLUMBING, ELECTRICAL, AND MECHANICAL DIAGRAMS, LAYOUTS AND/OR DESIGN TO BE SUPPLIED BY CONTRACTOR AND/OR SUB-CONTRACTOR.
16. ENGINEERED PRODUCTS (I.E. ROOF TRUSSES, FLOOR JOISTS) TO HAVE DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT SUPPLIED FROM MANUFACTURER.
17. THIS PLAN SET, COMBINED WITH THE BUILDING CONTRACT, PROVIDES BUILDING DETAILS FOR THE RESIDENTIAL PROJECT. THE CONTRACTOR SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES. CONTRACTOR SHALL BE RESPONSIBLE AND BEAR ANY FINES OR PENALTIES FOR CODE, ORDINANCE, REGULATION OR BUILDING PROCESS VIOLATIONS. INSURANCES SHALL BE IN FORCE THROUGHOUT THE DURATION OF THE BUILDING PROJECT.
18. WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS). ALL TRADES SHALL MAINTAIN A CLEAN WORK SITE AT THE END OF EACH WORK DAY.
19. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

ENERGY REQUIREMENTS

- INSULATION:
- A. EXTERIOR WALLS =R-21 INT (FILL IN GAPS & VOIDS, INSULATED HEADERS)
 - B. ATTIC SPACE =R-49 F.G LOOSE FILL
 - C. VAULTED CEILING =R-49 ADV. (0.5 PERM VAPOR RETARDER)
 - D. CRAWL SPACE =R-38 F.G BATT UNDER FLOOR W/ V.B. UP.
 - E. BASEMENT WALLS =R-21 F.G BATT (ONE-PERM VAPER RETARDER)
 - F. SLAB FLOOR EDGE =R-10 RIGID POLYSTYRENE FOAM
 - G. POLYISOCYANURATE TYPE FOAM INSULATION AT PLATE, FLOOR, CORNER STUD CAVITIES AND WINDOW/DOOR ROUGH OPENING.
 - H. INSULATE TO R-8 ALL PIPES (HOT & COLD WATER) AND DUCTWORK (HEATING & COOLING) IN NON-CONDITIONED SPACES.
 - I. POLYFOAM SILL SEALER ON TOP OF CONCRETE FOUNDATION WALLS.
 - J. WINDOW CLASS =U-0.28 OR LOWER
 - K. MAIN ENTRY DOOR =U-0.20
 - L. ALL OTHER DOORS =U-0.20
 - M. SKYLIGHT CLASS =U-0.50



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DRAWING TITLE:
COVER PAGE

GEACU RESIDENCE
PROJECT ADDRESS:
633 NW 7TH AVE. CAMAS, WA 98607

DATE
AUGUST 29, 2022
(REV. 1)

SCALE
AS NOTED

SHEET NO:
G1.0

FOUNDATION NOTES:

- POURED CONCRETE WALL/FOOTING INCLUDING ALL REINFORCING BARS TO BE DETERMINED BY OTHERS.
 - AT GARAGE POUR 4" CONCRETE SLAB 12" UNDER TOP OF STEM WALL.
 - VERIFY ALL UTILITY LOCATIONS IN FIELD.
 - PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
 - "S" - STEPPED FOUNDATION.
 - PROVIDE 18" MIN. CRAWL SPACE BELOW FLOOR DECKING & 12" MIN. BELOW BEAMS. COVER CRAWL SPACE WITH 6 mil. BLACK VAPOR BARRIER. LAP JOINTS 12" MIN. AND EXTEND UP STEM WALL AND STAPLE TO MUD SILL.
 - FOUNDATION FOOTINGS, PIER AND COLUMN FOOTINGS TO BEAR ON UNDISTURBED SOIL WITH MINIMUM DEPTH OF BOTTOM OF FOOTING TO BE 18" BELOW FINAL GRADE. SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF.
 - ALL EXCESS GRADING MATERIAL TO BE EXPORTED FROM THIS SITE TO AN APPROVED DISPOSAL LOCATION.
 - EXCAVATE SITE TO PROVIDE A MINIMUM OF 18" CLEARANCE UNDER ALL GIRDERS.
 - CLEAN ALL FOOTING EXCAVATIONS OF LOOSE AND ORGANIC MATERIALS.
 - MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
 - DO NOT BACKFILL FOUNDATION WALLS UNTIL MAIN FLOOR INCLUDING SUB-FLOORING AND WALL DIAPHRAGMS ARE IN PLACE AND FULLY NAILED AND ANCHORED AND FOUNDATION WALLS HAVE BEEN CAST AND CURED FOR 28 DAYS.
- 13. CONCRETE:**
 **BASEMENT AND FOUNDATIONS WALLS AND FOOTINGS NOT EXPOSED TO WEATHER - 6 SACK/YD., 4" MAX. SLUMP, 3000 PSI
 **BASEMENT AND INTERIOR SLABS ON GRADE - 6 SACK/YD., 4" MAX. SLUMP, 3000 PSI
 **BASEMENT WALLS, FOUNDATIONS AND FOOTINGS EXPOSED TO WEATHER - 6 SACK/YD., 4" MAX. SLUMP, 3000 PSI
 **PORCHES, STEPS, CARPORT AND OTHER EXTERIOR SLABS DIRECTLY EXPOSED TO WEATHER, 5% - 7% MAX. AIR ENTRAINED - 7 SACK/YD. 4" MAX. SLUMP, 3500 PSI.
- ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
 - ALL CONCRETE FORMS, SHORING AND POURING METHODS SHALL CONFORM TO CURRENT A.C.I. STANDARDS.
 - ALL FOUNDATIONS TO BE 8" CONCRETE WALLS ON 16" X 8" MIN. CONCRETE FOOTINGS OR 6" CONCRETE WALLS ON 12" X 6" MIN. CONCRETE FOOTINGS. REFER TO FOUNDATION PLAN FOR ADDITIONAL REQUIREMENTS. ALL FOUNDATIONS OVER 48" HIGH REQUIRE TO BE ENGINEERED CONCRETE WALLS AND FOOTINGS.
 - ALL FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95% MINIMUM.
 - CONCRETE SLABS TO HAVE TOOLED CONTROL JOINTS AT 25 FT. MAXIMUM INTERVALS EACH WAY.
 - PROVIDE (12) 16" X 6" (96 SQ. IN.) CLOSEABLE SCREENED FOUNDATION AIR VENTS WITH 1/8" CORROSION RESISTANT SCREENED WIRE MESH. SPACE WITHIN 36" OF OUTSIDE CORNERS AND EQUALLY DISTRIBUTED AROUND PERIMETER OF CRAWLSPACE. (A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 150 SQ. FT. OF CRAWL AREA REQUIRED). VENTS TO BE MIN. 12" AWAY FROM HOLD-DOWNS AND 3'-0" MAX. FROM CORNER.
1042 SQ. FT. CRAWL SPACE / 150 SQ. FT. = 6.94 SQ. FT. X 144 = 1000.3 SQ. IN.
1000.3 SQ. IN. / 96 SQ. IN. = 10.42
 - VERIFY THE LOCATIONS AND DIMENSIONS OF ALL ANCHOR BOLTS AND STRAP TIE HOLDOWNS PRIOR TO INSTALLATION.
 - EXTEND HEIGHT TO FRONT GARAGE CONCRETE STEM WALLS SO THE TOP OF WALL TO BOTTOM OF GARAGE DOOR HEADER DOES NOT EXCEED 8'-0" MAX. FOR PORTAL FRAMING OR UNLESS NOTED.
 - GARAGE FLOOR TO BE 4"- 3000 PSI MINIMUM CONCRETE SLAB ON 4" MINIMUM CLEAN COMPACTED FILL WITH A 2" SLOPE (1/8" PER FT. MIN.) TOWARD OPENING AS REQUIRED FOR DRAINAGE. PROVIDE TOOLED CONTROL JOINTS AT APPROXIMATELY 11 FT. o.c. EACH WAY.
 - PROVIDE BLOCK OUTS FOR DOWNDRAFT COOKTOPS AND DRYER VENTS AND 18" WIDE BLOCK OUT AT FOUNDATION WALL FOR MECH. PLENUM. VERIFY SIZE AND PLACEMENT WITH BUILDER/ SUB-CONTRACTORS PRIOR TO INSTALLATION.
 - PROVIDE A 3" DIA. PVC PIPE IN FOUNDATION WALL FOR ELECTRICAL SERVICE ENTRANCE. VERIFY PLACEMENT WITH BUILDER/ SUB-CONTRACTOR.
 - PROVIDE A 4" DIA. PVC LOW POINT CRAWL SPACE DRAIN THROUGH FOUNDATION WALL BLOCKOUT. DRAIN TO BE SLOPED FOR GRAVITY DRAINAGE AND CONNECTED TO AN APPROVED STORM DRAIN.
 - COVER ENTIRE CRAWL AREA WITH 6-MIL BLACK POLYETHYLENE VAPOR BARRIER AND EXTEND UP WALLS TO MUD SILLS. LAP SEAMS 12" MIN.
 - ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# ROLLED ROOFING.
 - ALL GIRDERS AND BEAM POCKETS TO HAVE A 1/2" AIR SPACE AT SIDES AND END WITH A 3" MIN. BEARING ON CONCRETE PLACED ON A 55# ASPHALT SHINGLE.
 - ALL HOLDOWNS, JOISTS HANGERS AND BEAM HANGERS TO BE 'SIMPSON OR EQUAL.
 - PROVIDE A 22" X 30" CRAWL ACCESS (18" X 24" MIN.) FROM OUTSIDE OR THROUGH FLOOR. PIPES, DUCTS AND OTHER CONSTRUCTION MUST NOT OBSTRUCT ACCESSIBILITY INTO AND OUT-OF CRAWL SPACE.
 - CRAWL SPACE SHALL BE CLEANED OF ALL VEGETATION, ORGANIC MATERIAL, ALL WOOD CONCRETE FORMING AND OTHER CONSTRUCTION MATERIAL PRIOR TO BUILDING BEING OCCUPIED.
 - PROVIDE A GROUNDING ELECTRODE SYSTEM USING (1) UNCOATED #4 BAR INSTALLED NOT LESS THAN 3 INCHES FROM THE BOTTOM OF THE FOOTING AND NOT LESS THAN 20 FT. IN LENGTH ENCASED WITH A 2" MIN. OF CONCRETE. STUB BAR UP AT LEAST 12" MIN. ABOVE FLOOR PLATE LINE. TIE TO FOOTING BAR WITH A 12" MIN. LAP.
 - PROVIDE (1) MIN. 3" DIA. X 36" HIGH STEEL PROTECTIVE POST IN FRONT OF FURNACE AND HOT WATER HEATER IN A 12" DIA. X 24" DEEP CONCRETE FOOTING. (INSTALL IF REQUIRED FOR PROTECTION FROM CARS).

FLOOR PLAN NOTES:

- ALL EXTERIOR WINDOW AND DOOR HEADERS TO BE 4 X 10 DF-L NO. 2 UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALL TO BE 2 X 6 STUDS @ 16" o.c. AND INTERIOR WALLS TO BE 2 X 4 STUDS @ 16" o.c. FOUNDATION CRIPPLE WALLS SHALL BE FRAMED OF STUDS OF NOT LESS THEN THE STUDDING ABOVE.
- STANDARD STUD HEIGHT TO BE 116-5/8" FOR 10'-1" CEILING HEIGHTS.
- WINDOW AND DOOR HEADER HEIGHTS TO BE 8'-11" TYPICAL UNLESS NOTED OTHERWISE. ADJUST HEIGHT OF WINDOW ROUGH OPENINGS WITH DOOR ROUGH OPENINGS SO THAT CASING AT WINDOW AND DOOR HEADS ARE ALIGNED.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE TO BE PRESSURE TREATED AND/OR PROTECTED BY 55# ROLLED ROOFING FELT.
- PROVIDE POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENINGS.
- BEARING FOR JOISTS, SUPPORT MEMBERS, HEADERS, AND BEAMS TO BE 1/2 THE MEMBERS WIDTH AND SOLID BEARING TO FOOTINGS. 2 X JOISTS TO HAVE 1-1/2" MIN. BEARING.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER U.B.C. SECTION 708.
- BLOCK ALL STUD WALLS AT SHEATHING SPLICES OR AS REQUIRED.
- INTERIOR PASSAGE DOORS TO HAVE A MINIMUM OF (2) 2 X TRIMMERS EACH SIDE OF DOOR AND TO BE CENTERED IN HALLS.
- ALL HOLDOWNS, JOISTS HANGERS, BEAM HANGERS AND OTHER CONNECTORS TO BE 'SIMPSON OR EQUAL.
- ALL STUD WALLS SHALL HAVE DOUBLE TOP PLATES OF SAME SIZE AND DIMENSION AS THE STUD FRAMING. PLATES SHALL OVERLAP A MINIMUM OF 48" BETWEEN SPLICES WITH AT LEAST (8) 16d NAILS THROUGH BOTH PLATES EACH SIDE OF SPLICE.
- DO NOT NOTCH OR DRILL THROUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT STRUCTURAL ENGINEER IF ANY QUESTIONS.
- EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM CLEARANCE WIDTH OF 20 INCHES AND A BOTTOM SILL HEIGHT LESS THEN 44 IN. ABOVE FINISHED FLOOR.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2" DEAD BOLT LOCKS ON ALL EXTERIOR DOORS. PROVIDE PEEP HOLES 54"-66" ABOVE FINISHED EXT. DOOR FLOOR.
- WINDOWS MUST MEET THE U-VALUE OR CLASS REQUIREMENT FOR THE APPORRIATE ENERGY PATH AND BE LABELED ACCORDINGLY. SITE BUILT WINDOWS MAY BE USED PROVIDED THEY MEET THE CRITERIA AS OUTLINED IN SEC. C704.
- WINDOWS ARE TO BE TEMPERED IF THEY ARE WITHIN 18 INCHES OF THE FLOOR, WITHIN A 24 INCH ARCH OF ANY DOOR IN A CLOSED POSITION, GLAZING USED IN RAILINGS, GLAZING IN FIXED OR SLIDING DOORS, WHERE THE BOTTOM EDGE IS WITHIN 60 INCHES ABOVE STAIRS, HOT TUBS, BATHTUBS, WHIRLPOOLS, AND/ OR SHOWERS
- SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON INSIDE UNLESS PLEXIGLASS. GLASS TO HAVE A MAXIMUM CLEAR SPAN OF 25 INCHES. SKYLITE FRAME IS TO BE ATTACHED TO A 2 X CURB AND TO BE 4 INCHES MINIMUM ABOVE ROOF PLANE.
- ALL TUB AND SHOWER ENCLOSURE DOORS TO BE GLAZED WITH SAFETY GLASS.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED DIRECTLY TO THE OUTSIDE VIA METAL DUCTING WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR (90 CFM MIN). EXHAUST FANS HAVING BATHING FACILITIES TO BE CONNECTED TO A TIMER, DEHUMIDISTAT OR SIMILAR MEANS OF AUTOMATIC CONTROL. DRYER AND RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE. VENTS TO BE PROVIDED WITH BACK-DRAFT DAMPERS
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE THE IMMEDIATE VICINITY OF EACH BEDROOM AREA AND ON EACH STORY OF THE DWELLING. ALL DETECTORS SHALL BE INTERCONNECTED TO MAIN POWER SOURCE AS THE PRIMARY POWER AND BATTERY BACKUP AS SECONDARY POWER. ACTUATION OF ONE ALARM WILL ACTURATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL BEDROOMS.
- SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION R314.3:
 - LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER.
 -IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIACE.
 -IONIZATIO SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIACE..
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- RECESSED LIGHT FIXTURES ARE NOT PERMITTED IN ANY INSULATED CAVITY UNLESS THE FIXTURES ARE LABELED AS BEING SUITABLE (I.C. LABEL) FOR DIRECT CONTACT WITH INSULATION.
- ALL DOORS BETWEEN GARAGE AND LIVING AREAS SHALL BE ONE-HOUR FIRE RATED ASSEMBLIES WITH 1-3/4" SOLID CORE DOOR OR CODE APPROVED EQUAL WITH A SELF-CLOSING MECHANISM.
- USE 1/2" GYPSUM BOARD IN HOUSE WALLS AND CEILINGS AND UNDER STAIRS. USE 5/8" TYPE X GYPSUM BD. ON WALLS AND CEILINGS BETWEEN GARAGE AND LIVING AREAS. PROVIDE 1/2" WATERPROOF GYPSUM BD. ABOVE ALL SHOWER AND TUB/SHOWER UNITS AND IN ANY WATER SPLASH AREAS.
- ALL FIREPLACE OPENINGS SHALL HAVE TEMPERED GLASS DOORS. PROVIDE OUTSIDE COMBUSTION AIR VENTS (WITH SCREENS AND BACK DAMPER) FOR FIREPLACES, WOOD STOVES, AND ANY APPLIANCES WITH OPEN FLAME.
- APPLIANCES PRODUCING A SPARK, GLOW OR FLAME CAPABLE OF IGNITING FLAMMABLE VAPORS SHALL NOT BE INSTALLED IN A GARAGE UNLESS THE PILOTS, BURNERS, HEATING ELEMENTS OR SWITCHES ARE AT LEAST 18 INCHES ABOVE THE FLOOR.
- PROVIDE 90% MIN. EFFICIENT NATURAL GAS FURNACE WITH BACKDRAFT DAMPER AND NATURAL GAS HOT WATER HEATER WITH BACKDRAFT DAMPER. PROVIDE R-4 INSULATION AROUND HOT WATER LINES IN UNHEATED AREAS. ELEVATE FLAME IN UNITS 18" ABOVE FINISH FLOOR.
- FLASHING REQUIREMENTS: GALVANIZED FLASHING REQUIRED ABOVE BELLY BANDS, WINDOW AND DOOR TRIM, DECKS AND ALL OTHER SIMILAR PROJECTIONS. WINDOWS ARE REQUIRED TO BE INSTALLED, PROPERLY FLASHED, AND INSPECTED PRIOR TO COVER.

ELEVATION NOTES:

- ROOFING MATERIAL TO BE 30 YEAR ARCHITECTURAL STYLE OR EQUAL COMPOSITION SHINGLE ON 30# FELT PAPER. NAILING PER MANUFACTURED INSTRUCTIONS FOR AN 80 MPH MIN. WIND AREA.
- PROVIDE ICE & WATER SHIELD MIN 6'-0" COVERAGE AT ALL VALLEYS.
- METAL FLASHING AS REQUIRED BY CODE.
- ROOF & SOFIT VENTS AS REQUIRED BY CODE.
- BRICK MANUFACTURER TO SIZE AND PROVIDE STEEL LINTELS AT MASONRY OPENINGS AS REQUIRED.
- ALL GRADES SHOWN ARE ASSUMED AND APPROXIMATE, ACTUAL SITE CONDITIONS AND TOPOGRAPHY MAY VARY FROM THAT SHOWN.
- INFORMATION CONTAINED IN PLAN VIEWS TAKES PRECEDENT OVER ELEVATIONS/SECTIONS.
- THE TYPE OF EXTERIOR FINISH (MATERIALS, ETC.) SHOWN ARE SUGGESTIONS ONLY, THE INSTALLATION AND THE WATERPROOFING MATERIALS AND INSTALLATION/FLASHING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER.
- NO WINDOW AND DOOR SURROUND TRIM TO BE INSTALLED OR AS NOTED.
- SIDING TO BE HARD-LAP ON ALL SIDES OR AS SHOWN ON PLAN. CAULK ALL CORNER BOARDS, JOINTS, WINDOWS, DOORS AND SURROUNDS.
- ALL CORNERS TO BE (2) PIECE 54" X 4" R.S. PRIMED PRIOR TO INSTALL.
- COVERED PORCHES AND EAVE SOFFITS TO BE 2" CC EXT. PLY. OR EQUAL. CAULK ALL JOINTS.
- MASONRY VENEER TO BE BRICK OR EQUAL AS SHOWN ON PLAN. PROVIDE GI FLASHING ON A MASONRY SILL CAP OVER VENEER. VERIFY LOCATION AND TYPE OF MASONRY WITH BUILDER PRIOR TO CONSTRUCTION.
- PROVIDE 2 X 10 R.S. CEDAR OR EQUAL FLOOR/CEILING BANDING WITH A GALVANIZED 'Z' FLASHING AT EXPOSED TOP. LOCATIONS AS SHOWN ON PLAN.
- GARAGE DOOR TO BE A 4-PANEL METAL INSULATED WITH WINDOWS ON ALL PANELS. VERIFY TYPE WITH BUILDER.
- PROVIDE VINYL WINDOWS.
- EXPOSED CONCRETE WALKS TO BE BROOM FINISH MINIMUM.
- MAXIMUM FOUNDATION EXPOSURE TO BE 18" FROM FINISHED GRADE.
- MAXIMUM SLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZONTAL TO ONE (1) VERTICAL FOR BUILDINGS, STRUCTURES, FOUNDATIONS, AND RETAINING WALLS.
- FINISH GRADE TO BE 1:1 MAXIMUM SLOPE WITH A 6" MINIMUM IN 10'-0" MINIMUM SLOPE AWAY FROM STRUCTURE ALL AROUND.



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DRAWING TITLE:
NOTES

GEACU RESIDENCE
 PROJECT ADDRESS:
 633 NW 7TH AVE. CAMAS, WA 98607

DATE
 AUGUST 29, 2022
 (REV. 1)

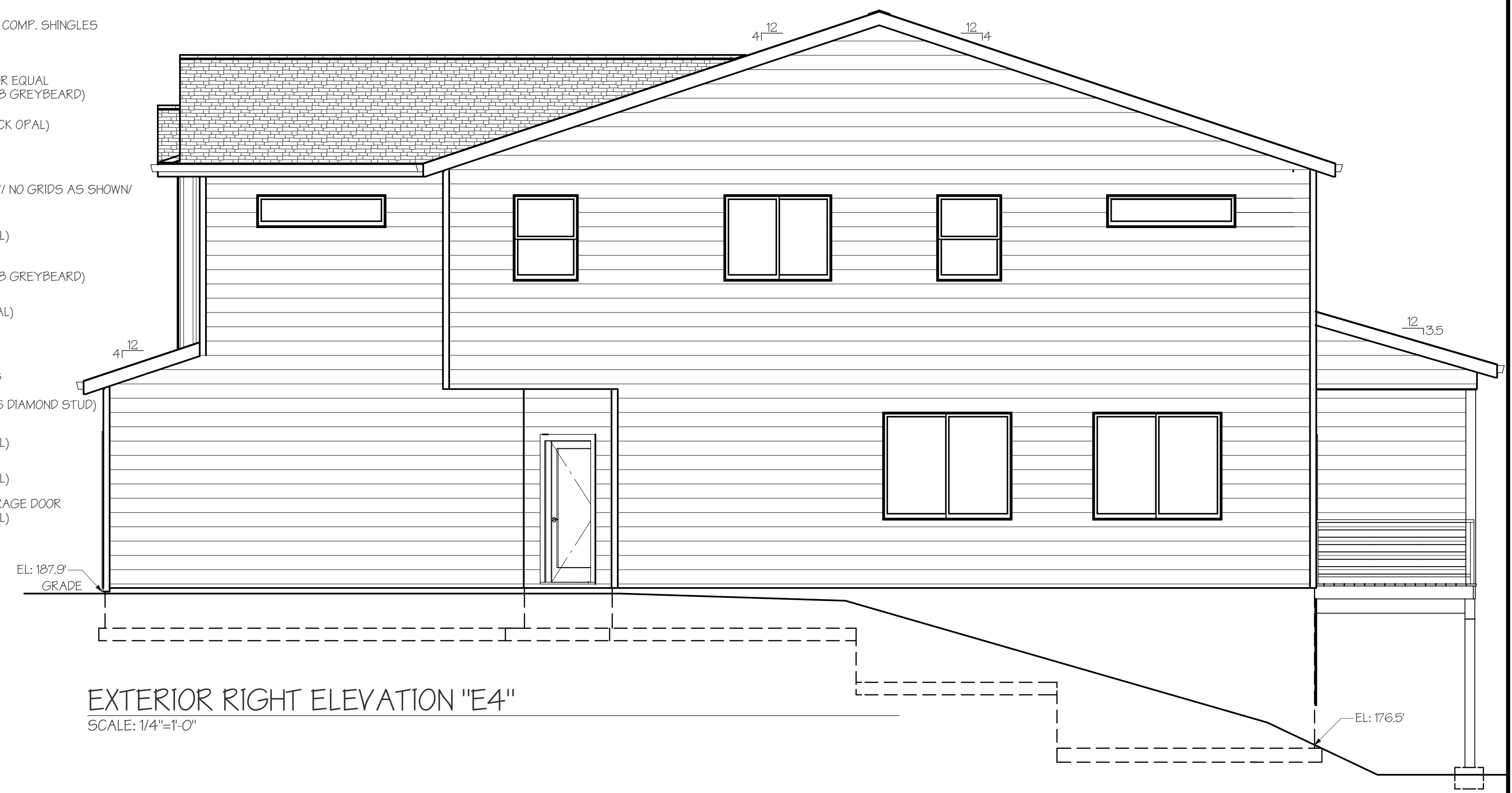
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THE BUILDER/SUB-CONTRACTORS/OWNER ASSUMES FULL RESPONSIBILITY FOR THE ENTIRE BUILDING WEATHER ENVELOPE INCLUDING THE CORRECT INSTALLATION OF ALL EXTERIOR MATERIALS / FINISHES AND WATERPROOFING. KARNAFEL DESIGNS DOES NOT ASSUME RESPONSIBILITY FOR DETAILS AND/OR THE INTEGRITY OF THE BUILDING ENVELOPE.



EXTERIOR FRONT ELEVATION "E1"
SCALE: 1/4"=1'-0"



EXTERIOR RIGHT ELEVATION "E4"
SCALE: 1/4"=1'-0"



EXTERIOR LEFT ELEVATION "E2"
SCALE: 1/4"=1'-0"



EXTERIOR REAR ELEVATION "E3"
SCALE: 1/4"=1'-0"

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KARNAFEL@GMAIL.COM

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EXTERIOR ELEVATIONS

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LEGEND:

- ⊗ EXHAUST FAN
- ⊙ CO/SMOKE ALARM

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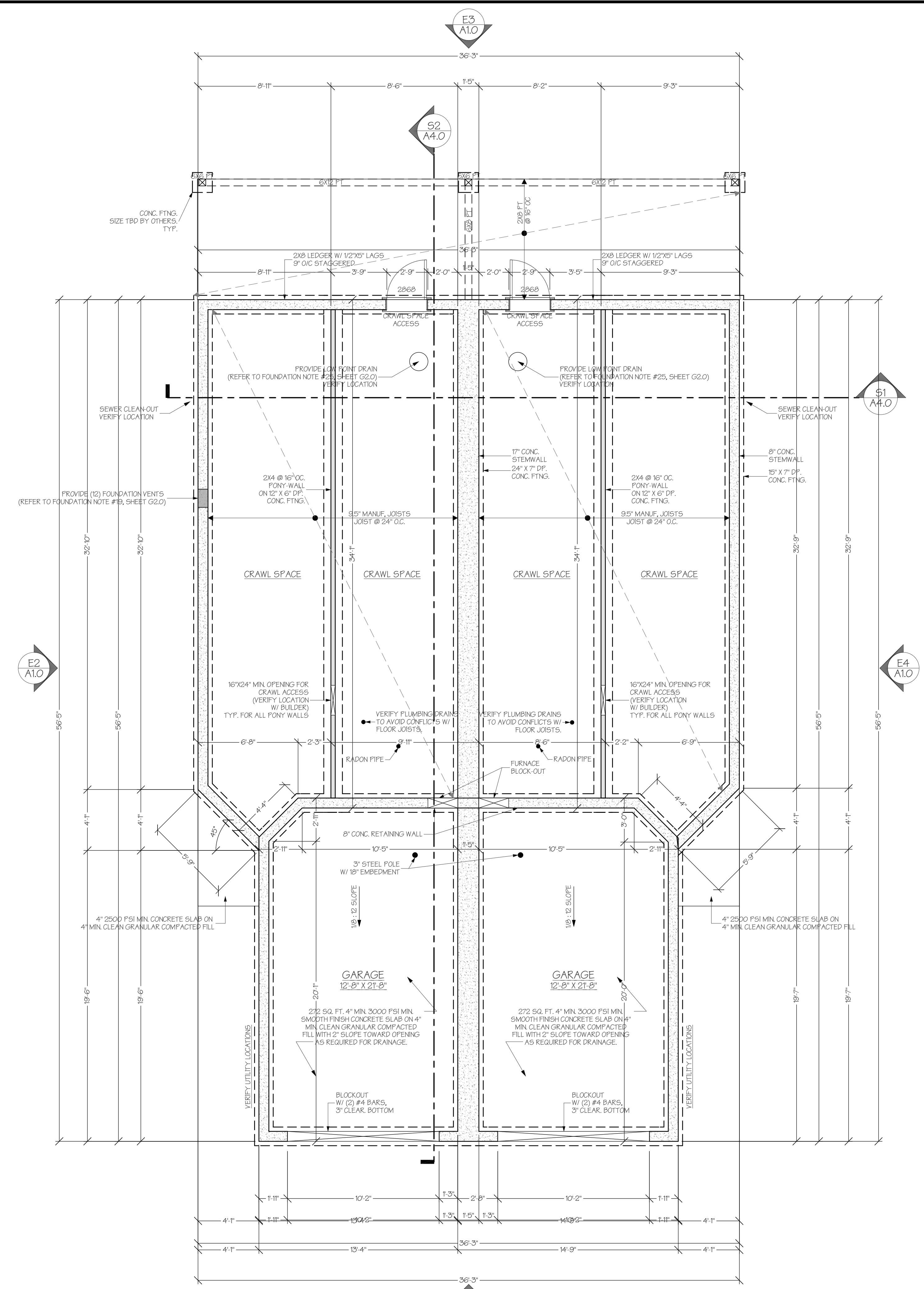
DRAWING TITLE:
FOUNDATION PLAN

GEACU RESIDENCE
 PROJECT ADDRESS:
 633 NW 7TH AVE. CAMAS, WA 98607

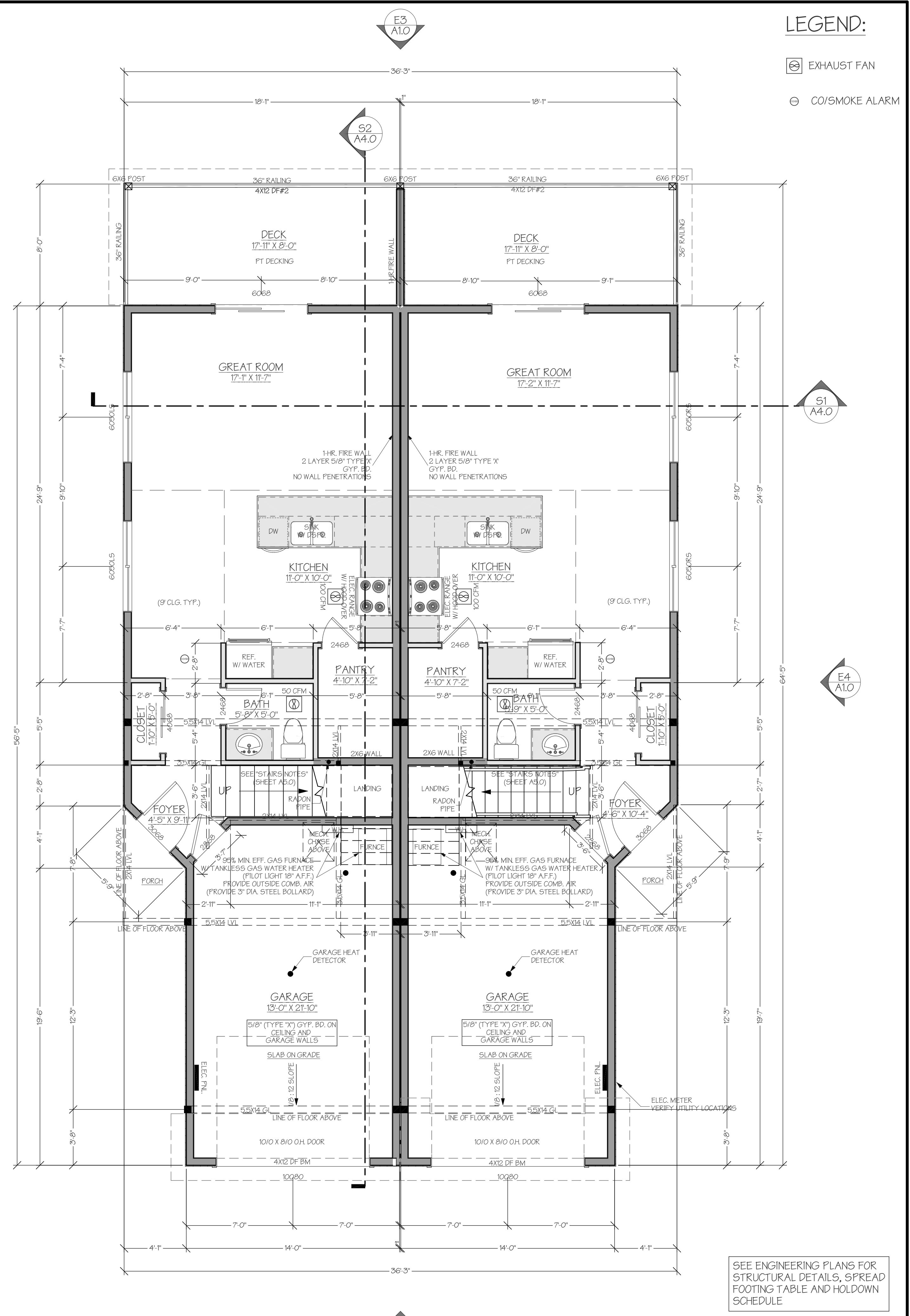
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A2.0



FOUNDATION PLAN
 SCALE: 1/4"=1'-0"





MAIN FLOOR PLAN
 SCALE: 1/4"=1'-0"

SEE ENGINEERING PLANS FOR
 STRUCTURAL DETAILS, SPREAD
 FOOTING TABLE AND HOLD-DOWN
 SCHEDULE

SEE FLOOR ENGINEERING
 PLANS FOR
 MATERIAL LIST AND LAYOUT

LEGEND:

-  EXHAUST FAN
-  CO/SMOKE ALARM

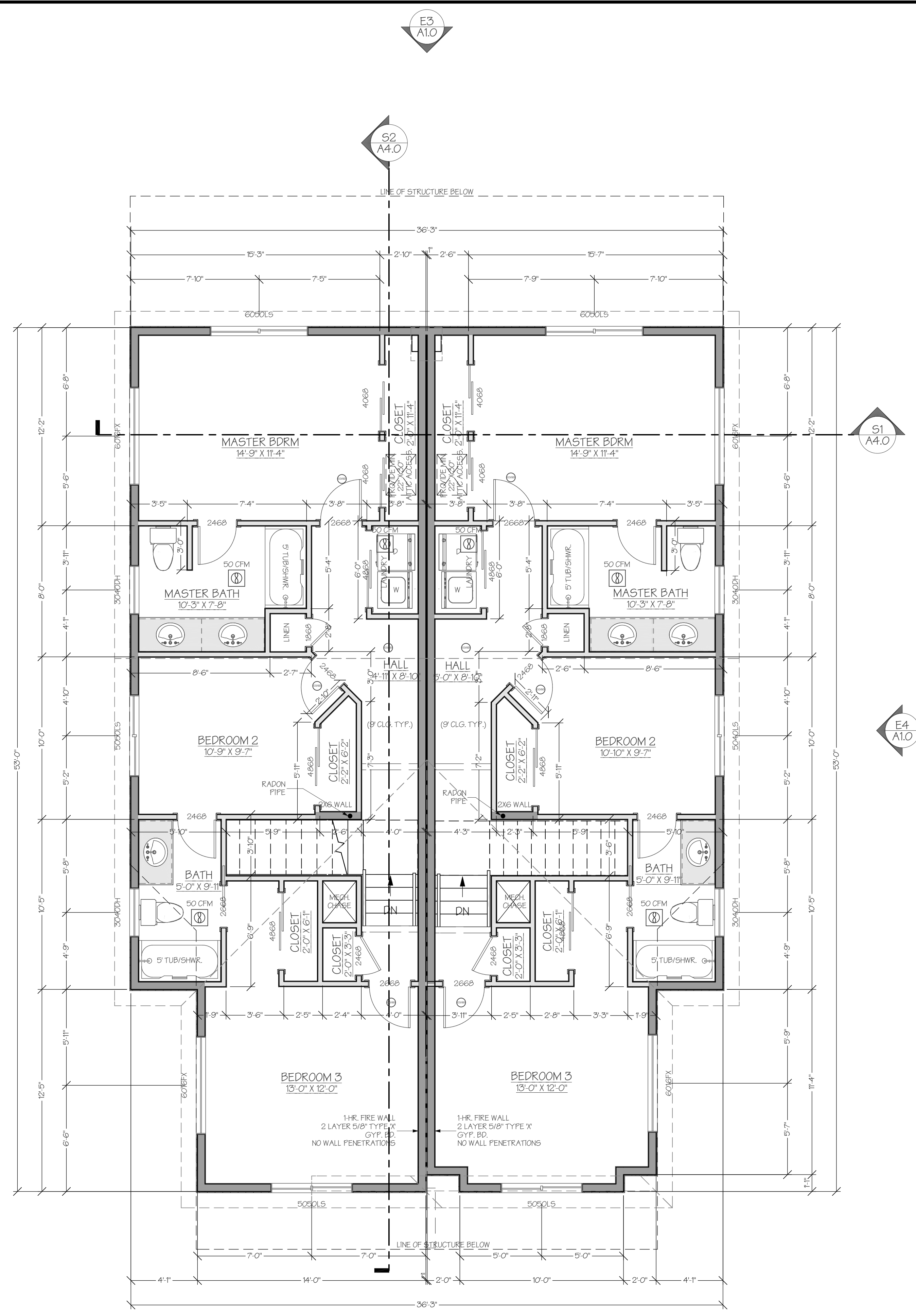
ROOF PLAN NOTES:

1. ROOFING MATERIAL TO BE 30 YEAR MINIMUM ARCHITECTURAL STYLE OR EQUAL COMPOSITION SHINGLES. REFER TO ELEVATION NOTES. ROOF SHINGLES TO BE NAILED PER MANUFACTURED INSTRUCTIONS FOR 105 MIN. MPH WIND AREAS.
2. ROOF PITCH TO BE 3.5:12 AND 4:12 AS SHOWN ON PLAN.
3. ROOF DESIGN TO BE MANUFACTURED TRUSSES @ 24" o.c. BY COUNTY/CITY APPROVED MANUFACTURERS SPECIFICATIONS. MANUFACTURER TO SUPPLY DESIGN, ENGINEERING SPECIFICATIONS AND LAYOUT.
4. MANUFACTURED TRUSSES SHALL BE LATERALLY BRACED ACCORDING TO APPROPRIATE MANUFACTURERS ENGINEERED DESIGN.
5. TRUSS MEMBERS SHALL NOT BE NOTCHED, BORED, DRILLED THOUGH OR ALTERED UNLESS DESIGNED BY AND SHOWN ON MANUFACTURERS SPECIFICATIONS.
6. TRUSS/RAFTER SPANS ARE BASED ON A COMPOSITION OR WOOD SHINGLE ROOFING MATERIAL WITH A MINIMUM 25# L.L. + 7# D.L. = 32# T.L. DEFLECTION LIMITED BY L/240 MIN. FOR LIVE LOAD ONLY.
7. ALL HIP'S, VALLEYS AND RIDGES TO BE NOT LESS IN DEPTH THAN THE CONNECTION END OF THE RAFTER UNLESS NOTED OTHERWISE.
8. ALL PLANT-ON VALLEYS TO BE 2 X 10 WITH (2) 16d AT EACH RAFTER/TRUSS.
9. ALL EAVE OVERHANGS TO BE CLOSED IN AT 12" AS SHOWN ON PLAN. ALL CORNICE TO BE 18" UNLESS NOTED OTHERWISE.
10. EAVES TO BE CLOSED-IN SOFFITS WITH A 5"K1 G26 GA. FACIA GUTTER AND 3" G26 GA. DOWNSPOUTS (DS) AS SHOWN ON PLAN.
11. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER BAY AT VAULTED CEILING AREAS. INSTALL INSULATION BAFFLES AT EACH EAVE VENT BETWEEN RAFTER BAYS. RAFTER VENTILATION IS ALSO REQUIRED AT BLOCKING LOCATIONS ABOVE PLATES.
12. ROOF DIAPHRAGM TO BE CONSTRUCTED WITH 15/32" EXPOSURE 1, C-D (APA 24/0 RATED) PLYWOOD OR 1/2" 2-M-W OR 2-M-3 OSB, OR BETTER SHEATHING. LONG DIMENSION SHALL BE PERPENDICULAR AND END JOINTS SHALL BE STAGGERED. FASTEN SHEATHING WITH 8d COMMON NAILS AT 6" o.c. AT GABLE ENDS AND ALL EDGES AND 8d COMMON NAILS AT 12" o.c. AT ALL INTERMEDIATE FRAMING MEMBERS.
13. DO NOT NOTCH, BORE OR DRILL THOUGH ANY SUPPORT COLUMNS, GIRDERS, BEAMS, JOIST SUPPORTING BEARING WALLS OR ANY OTHER CONCENTRATED LOAD BEARING MEMBER UNLESS SPECIFICALLY NOTED ON PLANS. CONTACT DESIGNER IF ANY QUESTIONS.
14. PROVIDE A SIMPSON H-2.5' HURRICANE CLIP AT EACH RAFTER CONNECTION TO EXTERIOR WALL TOP PLATES.
15. ATTICS WITH A CLEAR HEIGHT OF 30 INCHES OR MORE MUST BE PROVIDED WITH AN ACCESS. THE ACCESS OPENING SHALL 22" X 30" MINIMUM. OPENING TO HAVE 30" MINIMUM CLEARANCE FROM TOP OF OPENING TO BOTTOM OF ROOF ALL AROUND.
16. FLASHING SHALL BE INSTALLED AT JUNCTIONS OF CHIMNEYS AND ROOFS, IN ROOF VALLEYS AND AROUND ALL ROOF OPENINGS.
17. FRAME DOWN CEILINGS TO MAINTAIN R-30 INSULATION IN VAULTED AREAS.
18. TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURER'S DRAWINGS & SPECIFICATIONS.
19. ALL TRUSSES SHALL CARRY MANUFACTURER'S STAMP.
20. TRUSSES SHALL NOT BE FIELD ALTERED WITHOUT PRIOR ENGINEERING APPROVAL.
21. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.
22. PROVIDE (10) 50 SQ. IN. SCREENED ATTIC AIR VENTS AT RIDGE WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED AS SHOWN ON PLAN. PROVIDE (24) 20 SQ. IN., 2" X 10" SCREENED AIR VENTS AT EAVES WITH 1/8" CORROSION RESISTANT SCREENED MESH AND EQUALLY SPACED. A MINIMUM OF ONE (1) SQUARE FOOT OF VENTILATION AREA FOR EACH 300 SQ. FT. OF ATTIC SPACE AREA REQUIRED. PROVIDE 50 PERCENT AT RIDGE AND 50 PERCENT AT EAVES. REFER TO ATTIC VENTILATION CALCULATIONS TABLE.

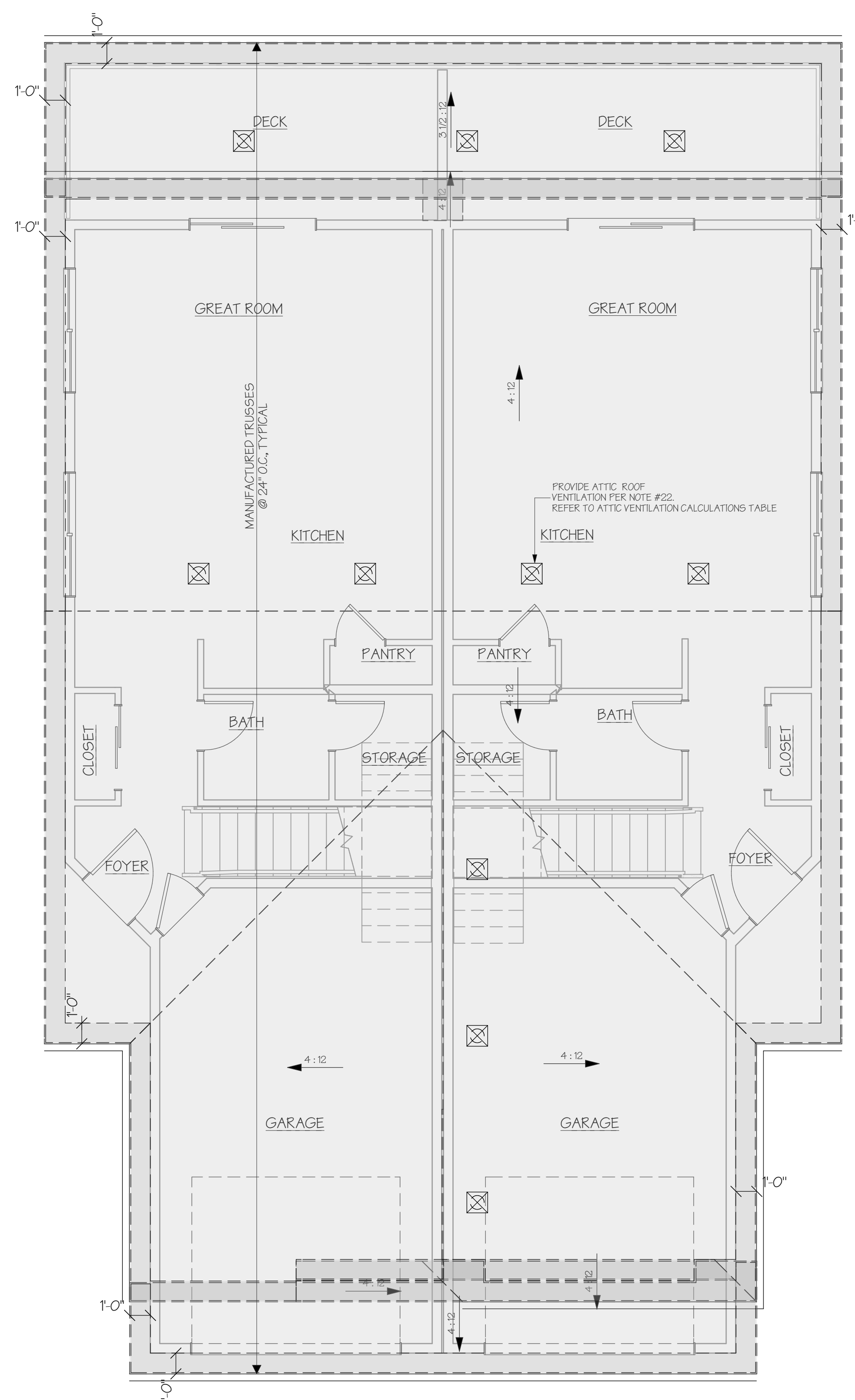
ATTIC VENTILATION CALCULATIONS

VENTILATION REQUIRED IN ATTIC AREA:
2025 SQ. FT. X 144 SQ. IN. X 1/300 = 972 SQ. IN. REQUIRED

LOCATION:	REQUIRED SQ. IN.	NO. OF VENTS:	VENT SIZE:	TOTAL SQ. IN.
AT RIDGE	468	10	50 SQ. IN.	500
AT EAVES	468	24	20 SQ. IN.	480
TOTAL:	972	---	---	980



UPPER FLOOR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

SEE TRUSS ENGINEERING PLANS FOR STRUCTURAL DETAILS, SIZE AND SPACING

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DRAWING TITLE:
MAIN FLOOR PLAN

GEACU RESIDENCE
PROJECT ADDRESS:
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DATE
AUGUST 29, 2022
(REV. 1)

SCALE
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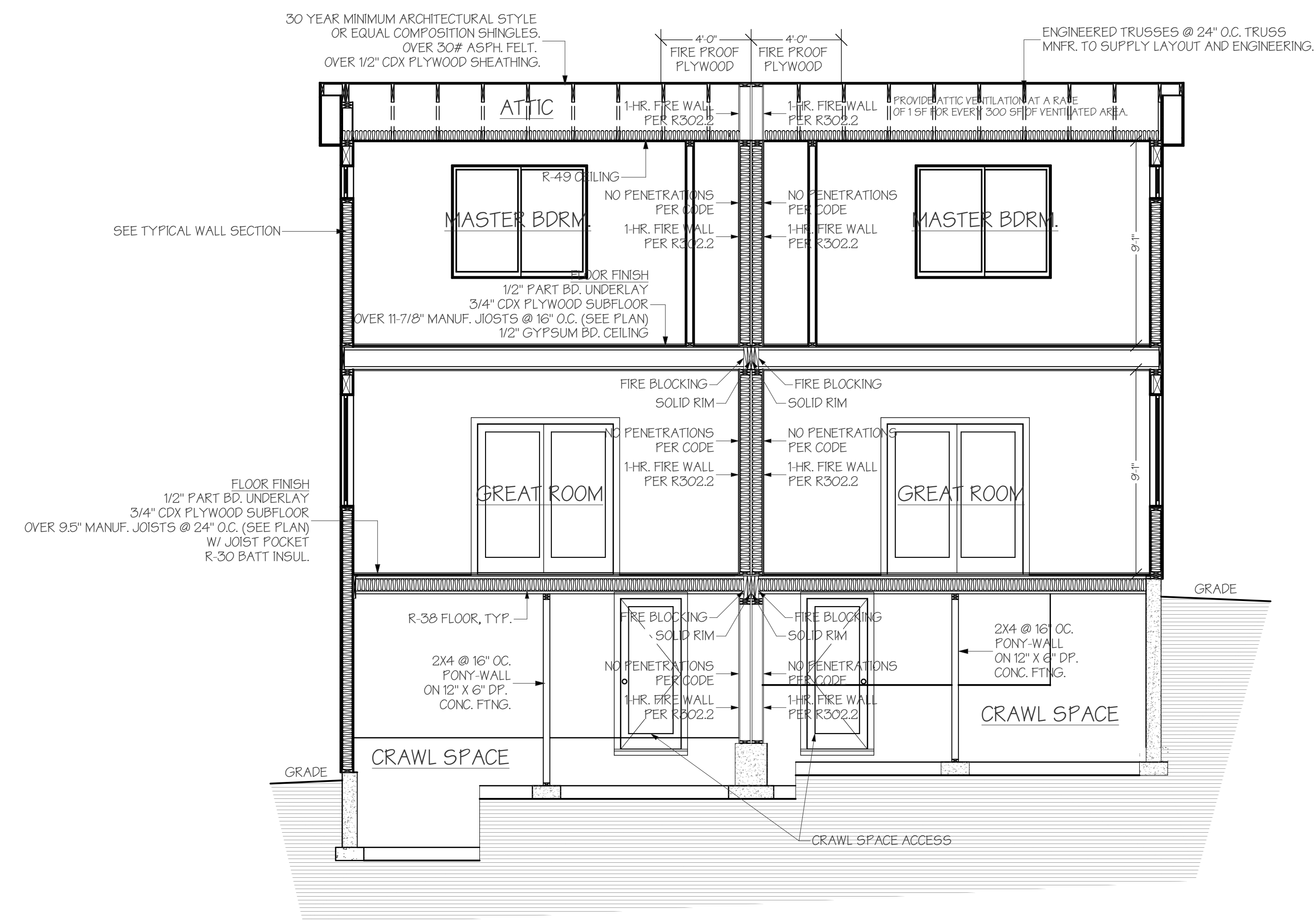
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SECTIONS

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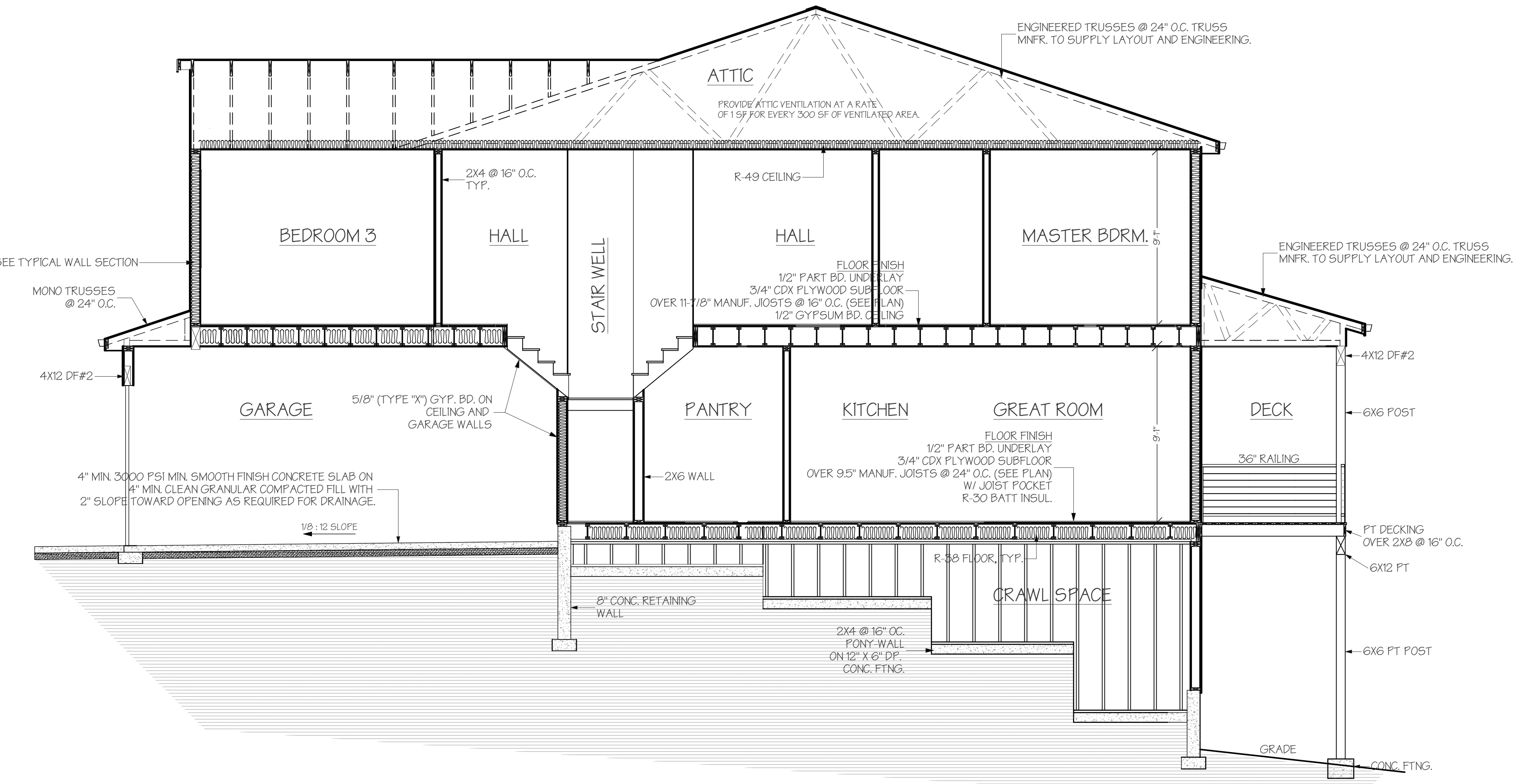
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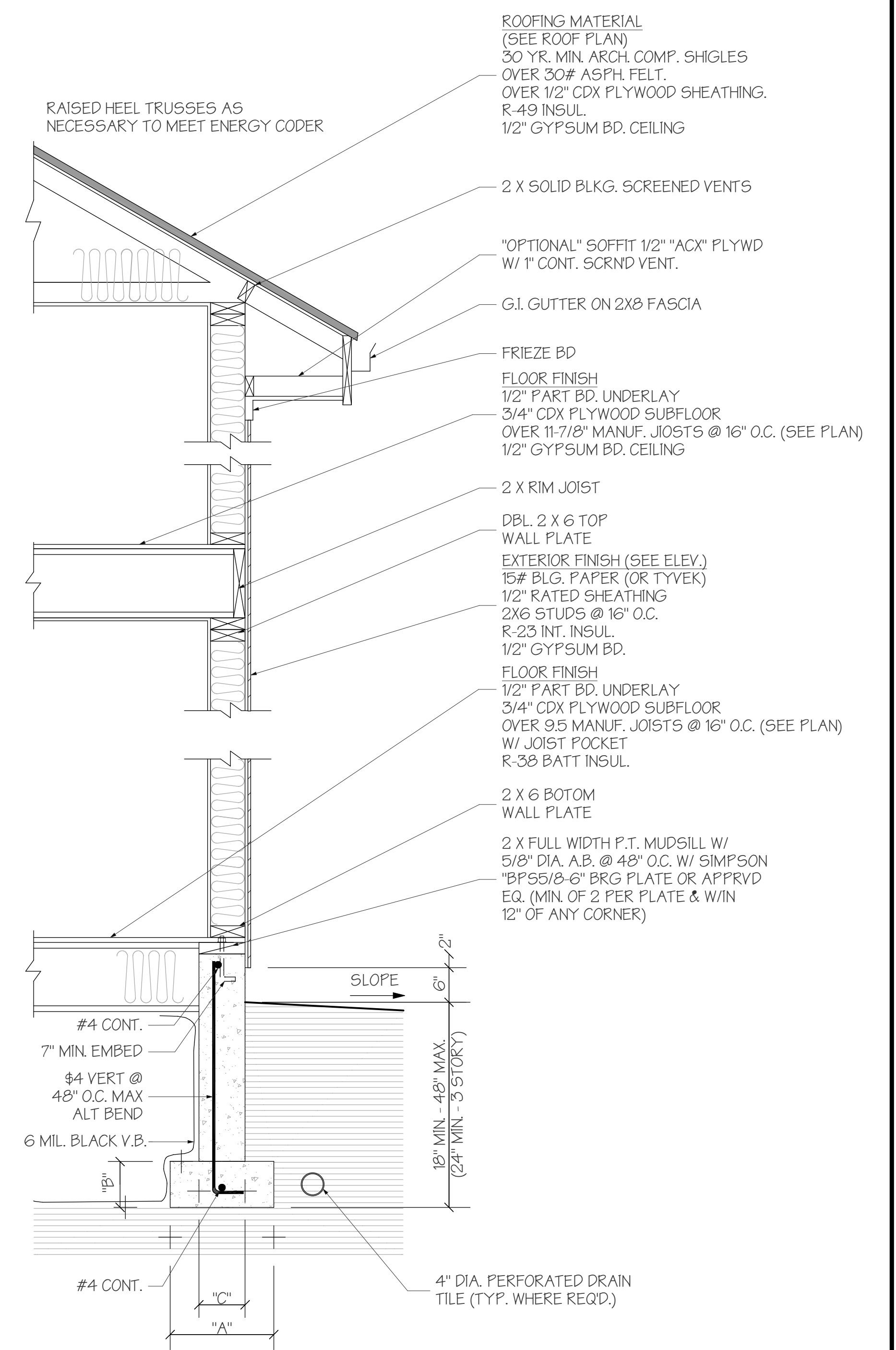
SHEET NO:
 A4.0



BUILDING CROSS SECTION "S1"
 SCALE: 1/4"=1'-0"



BUILDING CROSS SECTION "S2"
 SCALE: 1/4"=1'-0"



RECOMMENDED FDTN DIMS. (I.N.O.)

2018 I.R.C.	"A"	"B"	"C"
1 STORY:	12"	6"	6"
2 STORY:	15"	7"	8"
3 STORY:	18"	8"	10"

TYPICAL WALL SECTION
 SCALE: 3/4"=1'-0"

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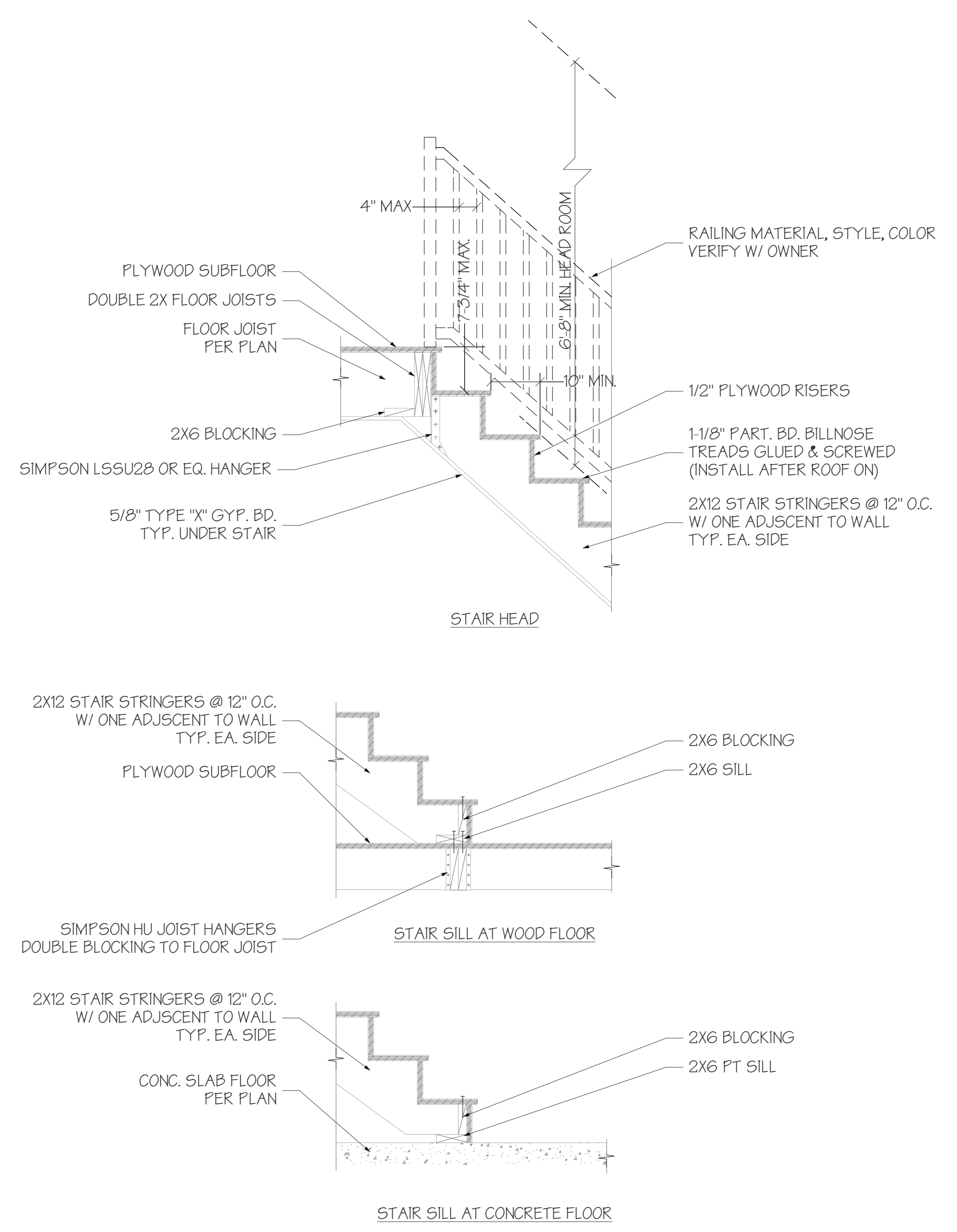
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DETAILS

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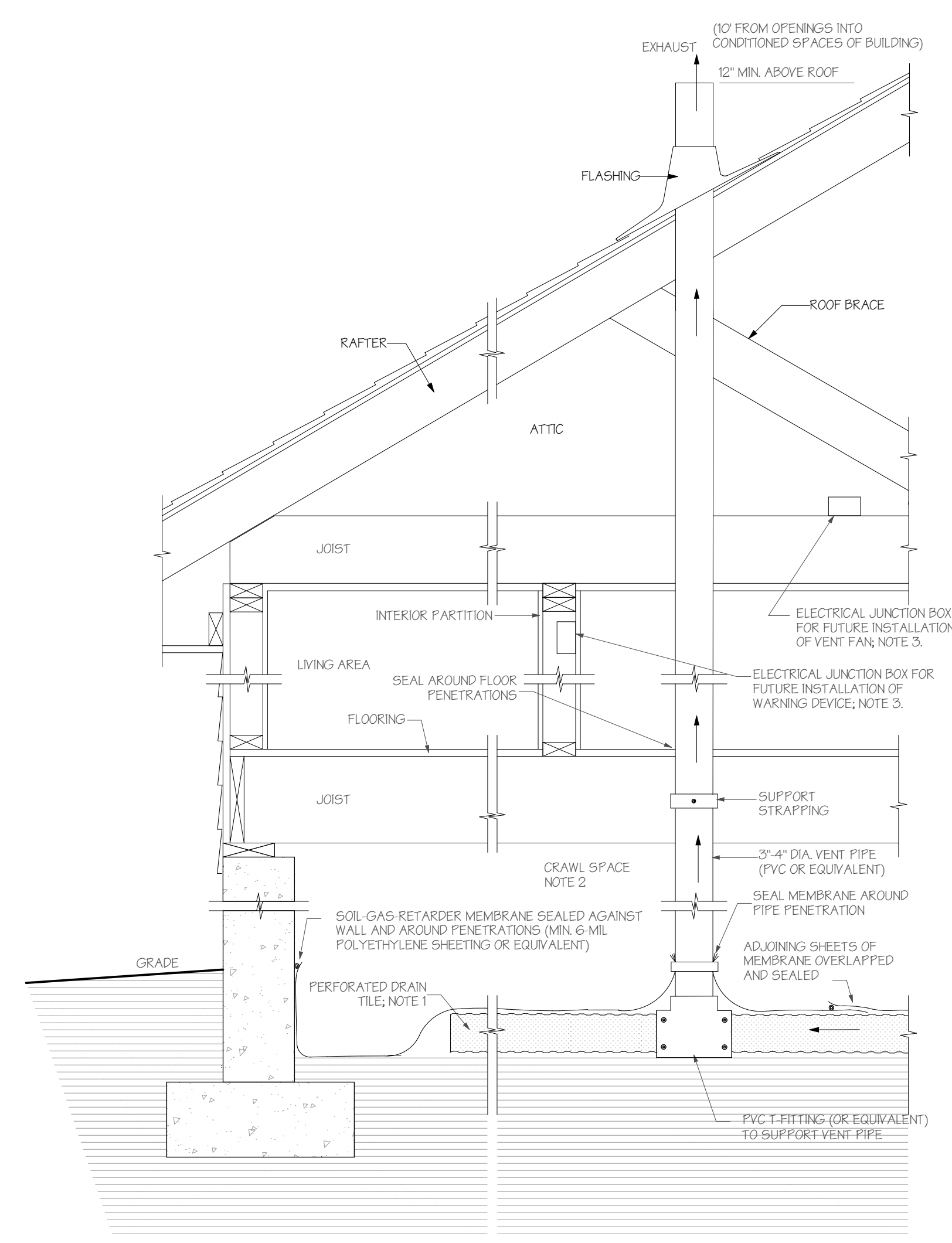
SCALE
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SHEET NO.:
 A5.0



STAIR DETAIL
 SCALE: 3/4"=1'-0"

- STAIRS NOTES:**
1. STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCR OACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.
 2. RISE: MAX. 7-3/4". TREADS SHALL HAVE A MIN. WIDTH OF 10" W/ 3/4" TO 1-1/4" NOSE OR MIN. 1" RUN. STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".
 3. STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.
 4. ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYP GUM WALL BOARD.
 5. STAIRWAYS SHALL HAVE AT LEAST ONE HANDRAIL LOCATED 36" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.
 6. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.
 7. STAIRWAYS HAVING LESS THAN 4 RISERS DO NOT REQUIRE A HAND RAIL.
 8. GUARDRAILS SHALL BE PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW AND SHALL HAVE A 36" MIN. HEIGHT.
 9. RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".
 10. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.
 11. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 15" BETWEEN FLOOR LEVELS OR LANDINGS. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" INCHES MEASURED IN THE DIRECTION OF TRAVEL.



RADON REDUCTION SYSTEM W/ CRAWL SPACE
 SCALE: 1"=1'-0"

- RADON REDUCTION SYSTEM REQUIREMENTS: CRAWL SPACE**
1. INSTALL A LENGTH OF 3" OR 4" DIAMETER PERFORATED DRAIN TILE HORIZONTALLY BENEATH THE SHEETING AND CONNECT TO THE "T" FITTING WITH THE VERTICAL STANDPIPE THROUGH THE SOIL-GAS-RETARDER MEMBRANE. THIS HORIZONTAL PIPE SHOULD NORMALLY BE PLACED PARALLEL TO THE LONG DIMENSION OF THE HOUSE AND SHOULD EXTEND NO CLOSER THAN 6 FEET TO THE FOUNDATION WALL.
 2. VENTILATE CRAWL SPACES IN CONFORMANCE WITH LOCAL CODES; VENTS SHALL BE OPEN TO THE EXTERIOR AND BE OF NONCLOSEABLE DESIGN.
 3. CIRCUITS SHOULD BE A MINIMUM 15 AMP, 115 VOLT, MIN. SCHEDULE 40 PVC PIPING.
 4. "RADON REDUCTION SYSTEM" LABELS TO BE APPLIED TO PIPING AT ALL ACCESSIBLE LOCATIONS.
 5. MIN. 6 MIL. BLACK POLY. VAPOR BARRIER WITH 12" OVERLAP AT SEAMS.
 6. ELECTRICAL JUNCTION BOX FOR FUTURE FAN REQUIRED AT ACCESSIBLE LOCATIONS NEAREST TO PIPE TERMINATION.
 7. RADON DUCT SHALL BE LOCATED WITHIN WARM WALL.

