

SEPA 19-22
Comments

Exhibit 25

LETTER OF TRANSMITTAL

TO: City of Camas Community Development (ATTN: Madeline Sutherland)
FROM: Bob Rodgers Rodgers Engineering
DATE: 1/22/20
CLIENT: Andersen Dairy
SUBJECT: Comments on SEPA 19-22 Hidden Ridge Estates Subd
GROUP AREA:
CITY NUMBER:
LEGAL DESCRIPTION:

PARCEL NUMBER: Zoning: Comp Plan:
LOT NUMBERS:
SITE ADDRESS:

NEIGHBORHOOD ASSOCIATION:
ENGINEERS SIGNATURE: Bob Rodgers

☒ Attached ☐ Copy of letter ☐ Print ☐ Mylars
☐ Plans and Profiles ☐ Miscellaneous ☐ Other ☐ Vellums

Comments:

Pages

1-2 Our Sepa Comments

3-8 Copies of Reports & Documents

Form Hidden Ridge Estate Subd

Sincerely,

Robert H. Rodgers, P.E.

9-10 Olson's Revised SW
§ 11 Outfall Plan

SEPA Comments on Hidden Ridge Estates SUBD. SEPA 19-22

January 21, 2020

The following are Rodgers Engineering and Anderson Dairy's professional engineering and planning comments on **Hidden Ridge Estates Subd. SEPA 19-22**. I have reviewed the City of Camas project file for the project. In addition, I have visited the site and some of the off site areas. We have met with the City of Camas Community Development Planners on 1/21/2020 to discuss the project's stormwater plans. They felt that the Green Mountain Phase III – E Engineering plans, were the same as what the consultant for this project and the consultant for Green Mountain Phase III, have indicated on their engineering plans and maps. They tried to find the plans while we were there on the 21st but couldn't locate them and finally discovered that the planning manager had sent them back to Olson Engineering, the consultant on the Green Mountain project. They felt that the plans were compatible with what we provided. They said they would email me a copy of the plans when they obtained them back from Olson Engineering.

In this meeting on 1/21/2020, Bob Rodgers and Ryan Seekins, the Andersen Dairy Manager, met with Madeline Sutherland and her supervisor, of the Community Development Dept, where we discussed the sites' proposed stormwater and drainage. The Hidden Ridge Estates, (Proposed Project) and the projects reports' and documents,' states basically the following: That the project proposes to collect its surface stormwater on site and discharge it to a proposed storm line in NE Ingles Road. The stormwater runoff from the project area will be collected, conveyed and treated by a stormwater filter vault. The project run off will then be discharged into a proposed storm pipe in NE Ingles Road, that will convey the storm water to an existing stormwater facility, part of the (Green Mountain Subdivision) proposal. A stormwater lateral will be constructed and stubbed from NE Ingles Road to the proposed project.

The proposed project's reports and documents state, that water and sewer will be extended by Green Mountain Project into this project site. We feel it will be a good thing to have an overall understanding of timing on when the sewer and stormwater lines will be brought to the project's site. This would help to assure that there are no significant negative adverse environmental impacts during the different phases of this project.

Stormwater drainage offsite maps from the projects SEPA Document (SEPA Checklist), are being attached with this report. This offsite aerial map shows the site location and NE Ingles Road, all the way down past both ski lakes, to the DNR's property. This map shows the drainage from the site being conveyed down NE Ingles Rd. in a pipeline or conveyance channel. This stormwater system will convey all the drainage down NE Ingles Road and discharge it into an existing 18-inch cross culvert.

The following are comments on the Projects SEPA document as submitted to the City of Camas.

3. Water

a. Surface: Does the Site have any intermittent Creeks?

c. Water Runoff (including stormwater).

1). It is stated, in the SEPA that the treated water from the proposed site will be discharged into a stormwater pipe in NE Ingles Rd. The Future Development of Green Mountain Phase 2A will install a Stormwater Lateral in NE Ingles Rd.

On 3/5/2018, the project engineering plans for Green Mountain phase III were revised by the consultant (Olson Engineering) for the stormwater system in NE Ingle Rd. The proposed NE Ingles Rd conveyance system will provide for the existing stormwater discharge along Ingle Road and convey it to the 18-inch cross culvert. These new stormwater plans revised the stormwater sewer outfall for the runoff from Ingle Rd. and north & east of this road. These revised sheets show the discharge from the stormwater wetland pond facility in track B, in Green Mountain phase III development, being conveyed by a new stormwater conveyance system to the existing 18" cross culvert. These revised plans show the storm facility and storm sewer bypass main to discharge to a new Stormwater conveyance system, in NE Ingles Rd, with two option: new pipe line or the existing ditch on NE side of Ingles Road , if the ditch is determined to have sufficient compacity at the time of design. These approved and stamped project plans were done by Olson Engineering. They illustrate the way the drainage will be conveyed from the existing stormwater wetland pond facility, track B, all the way down Ingle Rd. and discharging into an 18-inch culvert across NE. Ingles Rd. These final approved preliminary engineering plans for Green Mountain Phase III storm sewer outfall, were stamped and submitted to the City of Camas Community Development Department, these represented a final design. These plans basically show that stormwater drainage and runoff will be conveyed from the top of NE Ingles Road by the BPA right way down NE Ingles Road through their stormwater wetlands facility and convey all the way down to where there is an 18inch cross culvert. The email that came with the revised stormwater plans for the stormwater outfall, from Olson Engineering stated; please see attached exhibit that shows the revised outfall for the project, (Green Mountain Phase III), as you will see, it shows the discharge being routed to the DNR property. The exhibit has been submitted to the City. Robert Maul assisted with this.

We are presently waiting for copies of this approved stormwater outfall plan sheet, from the City of Camas. Madeline Sutherland said they will try to email it to us, as soon as she can before the deadline of comments on this SEPA on Thursday, January 23rd 2020. We thank the City of Camas for assisting us in reviewing this SEPA.

Respectfully Submitted,



Robert H. Rodgers, P. E.

Rodgers Engineering

CMC SECTION 16.53: WETLANDS

There is no wetlands on the site.

TRANSPORTATION

After meetings and close coordination with city staff and the developer to the east (Green Mountain Phase 3A), a proposed private road with a cul-de-sac has been designed and will provide direct access to the proposed 14 lots. No direct access onto NE Ingles Road is proposed. The new cul-de-sac will have 28-foot paved section plus curb and sidewalks on both sides located within a total of 48-foot right-of-way. This project or Green Mountain Phase 3A will build the frontage improvements along NE Ingles Road. Green Mountain Phase 3 will build N. Lompoc Drive which is located north portion of the site that runs east and west. North Lompoc Drive will connect NE Ingle Road to Green Mountain Phase 3A

EROSION CONTROL

Appropriate erosion control measures will be placed on the site prior to construction. A final erosion control plan and details will be prepared for review and approval and will be designed in accordance with City of Camas Municipal Code.

STORMWATER

Stormwater runoff from the cul-de-sac will be collected conveyed and treated by a stormwater filter vault. The runoff will then be discharged into an proposed storm pipe in NE Ingle Road that will convey the treated water into an existing stormwater facility (Green Mountain Subdivision) that has already being analyzed and approved for detention as part of the overall study prepared by "Green Mountain" project. A separate stormwater lateral will be constructed and stubbed from NE Ingle Road into the subject parcel.

A separate conveyance system will collect runoff from offsite and direct it into the existing system.

Conveyance pipes will be installed in the private street and the conveyance pipes collecting runoff from the lots will be placed within an easement.

Maintenance of the stormwater filter, storm storage pipe, and conveyance pipes within the private road will be provided by the HOA.

SANITARY SEWER & WATER UTILITIES

The site is within the water and sanitary sewer service areas of the City of Camas and the site will connect to the City's public sewer and water systems. Both water and sewer will be extended by Green Mountain project into the project site. The private cul-de-sac will provide individual sewer laterals and water services to each individual lot.

CMC SECTION 17.11.030D: PRELIMINARY PLAT APPROVAL CRITERIA

Section 17.11.030D of the City's municipal code provides approval criteria for preliminary plat applications. This section of code includes a list of 10 approval criteria. The approval criteria are provided in a numbered list below followed by a discussion (see italic text) of how each criterion has been satisfied with the proposal.

1. The proposed subdivision is in conformance with the Camas comprehensive plan, parks and open space comprehensive plan, neighborhood traffic management plan, and any other city adopted plans;

The preliminary plat proposes a large open space area located on the north portion of the site. Within this large open space a public trail can be constructed. This public trail can connect to NE Ingles Road and Green Mountain project to the east.

Hidden Ridge Estates Stormwater TIR

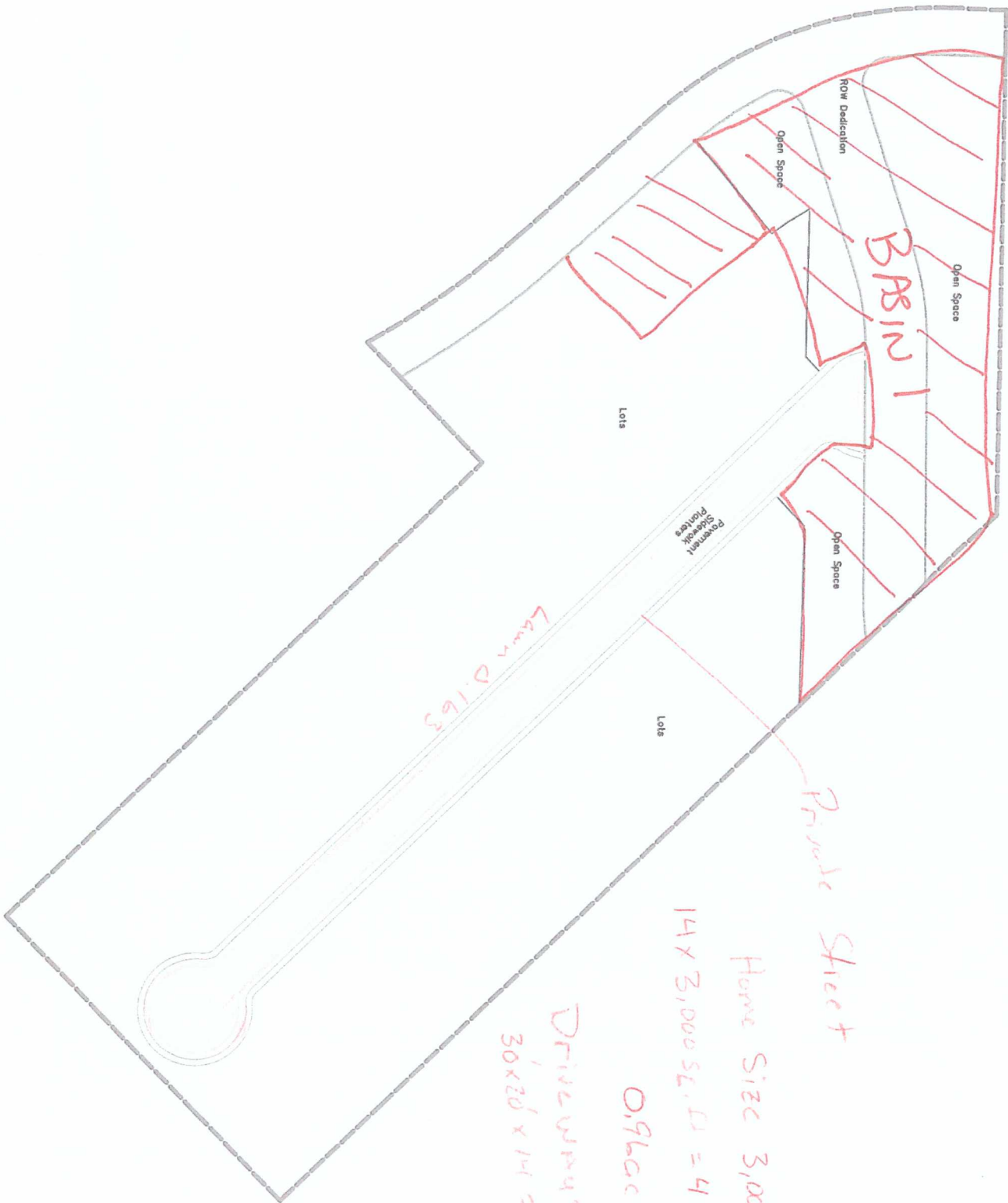
Exhibit 25



→ DRAINAGE FLOW PATH

Natural Drainage Flow

Post Basin MAP



Home Size 3,000 sq. ft.
 $14 \times 3,000 \text{ sq. ft.} = 42,000 \text{ sq. ft.}$
or
0.96 acre
Drive ways
 $30 \times 20 \times 14 = 0.19 \text{ acre}$



*Olson's Email (Revised SW Outfall
Green Mtn. Ph III)*

Peter Tuck <peter@olsonengr.com>

3/5/2018 12:38 PM

RE: Revised Stormwater plans

To Bob Rodgers <rodgersengr1@comcast.net>

Hi Bob,

Please see attached exhibit that shows the revised outfall for the project. As you will see, it shows the discharge being routed to the DNR property. The exhibit has been submitted to the City.

Let me know if you have any questions.

Thanks,

Peter Tuck, P.E.

Principal



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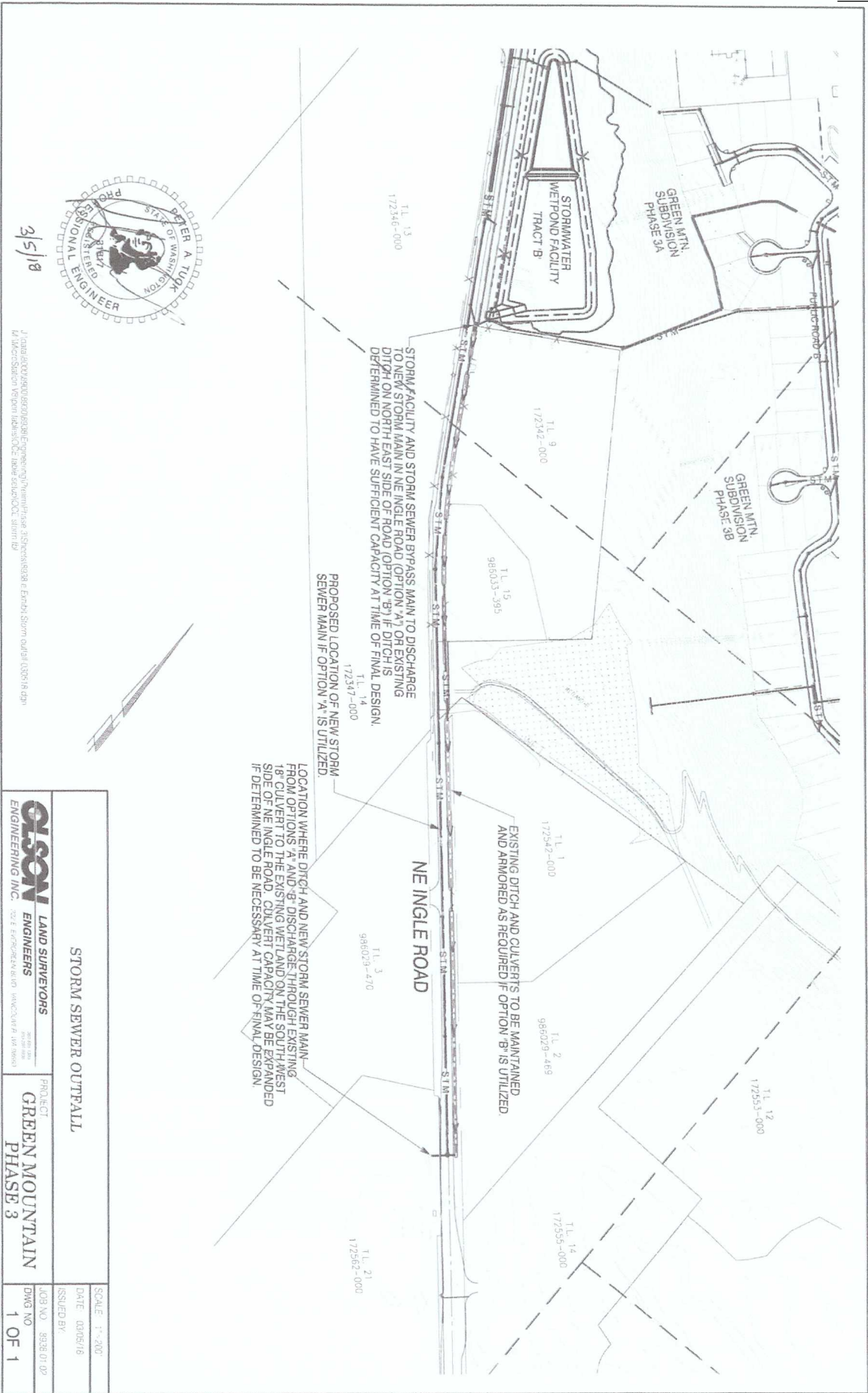
From: Bob Rodgers [mailto:rodgersengr1@comcast.net]
Sent: Sunday, March 04, 2018 6:22 PM
To: peter@olsonengr.com
Subject: Revised Stormwater plans

Peter,

Thank you for meeting with me & Ryan at the Andersen Dairy property across from your Green Mountain Development. I am sending this so you have my email. Look forward to seeing your revised stormwater plans.

Bob

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- Green Mountain Phase 3 - Revised Pond Outfall.pdf (252 KB)
 - image001.jpg (6 KB)



J:\Users\peter.tuck\Documents\Green Mountain Phase 3 Storm Sewer Outfall\032518.dwg
172346-000 to 172562-000
172346-000 to 172562-000
172346-000 to 172562-000

STORM SEWER OUTFALL		SCALE: 1"=200'
DATE: 03/05/18		ISSUED BY:
PROJECT: GREEN MOUNTAIN PHASE 3		JOB NO: 8838 01 02
ENGINEERING INC.		DWG NO: 1 OF 1