

SITE INFORMATION	
NORTH SITE	
EX. ZONING:	A W/ IH-35 OVERLAY
PROP. ZONING:	A W/ IH-35 OVERLAY
PROP. LAND USE:	AUTO SALES
PROP. SITE ACREAGE:	5.79
PROP. BUILDING AREA (S.F.):	29,525
REQUIRED RETAIL PARKING:	70 (1 SPACE PER 200 S.F.)
PROVIDED RETAIL PARKING:	70
REQUIRED SERVICE PARKING:	32 (1 SPACE PER 500 S.F.)
PROVIDED SERVICE PARKING:	32
TOTAL PARKING PROVIDED:	102
REQUIRED ADA PARKING:	5
PROVIDED ADA PARKING:	5
TOTAL INVENTORY PARKING:	296
TOTAL PARKING AREA (S.F.):	112,407
SOUTH SITE	
EX. ZONING:	A W/ IH-35 OVERLAY
PROP. ZONING:	A W/ IH-35 OVERLAY
PROP. LAND USE:	AUTO SALES
PROP. SITE ACREAGE:	6.21
PROP. BUILDING AREA (S.F.):	17,037
REQUIRED RETAIL PARKING:	86 (1 SPACE PER 200 S.F.)
PROVIDED RETAIL PARKING:	86
TOTAL PARKING PROVIDED:	86
REQUIRED ADA PARKING:	4
PROVIDED ADA PARKING:	4
TOTAL INVENTORY PARKING:	369
TOTAL PARKING AREA (S.F.):	121,863

LEGEND	
	FIRE LANE
	FIRE HYDRANT
	FDC

PAVING LEGEND	
	SIDEWALKS (PUBLIC)
	SIDEWALKS (PRIVATE)
	LIGHT DUTY PAVING
	HEAVY DUTY PAVING
	DUMPSTER AREA PAVING
	DRIVE APPROACH PAVING (PUBLIC)

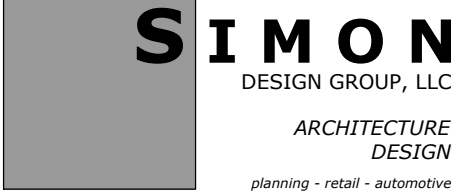
- NOTES**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE SPECIFIED.
 - ALL CURB RADII ARE TO BE 3' UNLESS ALONG FIRELANE UNLESS OTHERWISE SPECIFIED.
 - FIRELANE STRIPING SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO CITY DETAIL AND SPECIFICATIONS FOR EXACT LOCATION.
 - AN APPROVED OSSF PERMIT, OR CONNECTION TO CITY SEWER, IS REQUIRED TO ISSUANCE OF DEVELOPMENT PERMITS. ANY CHANGES TO THE SITE PLAN AS A RESULT OF THE OSSF PERMIT AND REVIEW PROCESS, WILL REQUIRE AN AMENDMENT TO THE SITE PLAN TO BE REVIEWED AND APPROVED THROUGH THE CITY OF BURLESON.

PROJECT:



INTERNATION AUTOS KIA
1264 S BURLESON BLVD, BURLESON, TX

ARCHITECT:



807 Waukegan Road, Suite 150
Deerfield, IL 60015

Tel: 847-571-3814
Attn: Simon Yu

CIVIL:

Manhard Consulting
505 Pecan St, Suite 201
Fort Worth, TX 76102

Tel: 817-865-5378
Attn: John Hamilton



LANDSCAPE ARCHITECT:



TALSON DESIGN

505 Pecan St, Suite 201
Fort Worth, TX 76102
www.talsondesign.com

T: 214-669-2519
Attn: Jake Schwarz

SITE PLAN

C1.0



PLANTING SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Cercis canadensis	Eastern Redbud	3" Cal.		30
	Quercus fusiformis	Texas Live Oak	3" Cal.		35
	Quercus shumardii	Shumard Oak	3" Cal.		27
	Ulmus crassifolia	Cedar Elm	3" Cal.		73
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Leucophyllum frutescens	Texas Sage	5 gal.	Pot	437
	Yucca filamentosa	Color Guard Yucca	5 gal.	Pot	534
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Cynodon x Tifton 419	Tifgreen Bermudagrass			117,405 SF
	River Cobble		3" DEPTH		20,217 SF
	Seasonal Color				400 SF

PLANTING MATERIALS SCHEDULE

ITEM:	ITEM & DESCRIPTION:	MODEL / SIZE:	COLOR:	FINISH:	MFR. / CONTACT:	NOTE TO CONTRACTOR:
A	STEEL EDGING	3/16" THICKNESS	BLACK	FLUSH WITH TOP OF FINISHED GRADE	BORDER CONCEPTS BORDER GUARD OR EQ. (800) 845-3343	STEEL EDGING AND STAKES SHALL BOTH BE COLOR BLACK
B	TREE STAKES	ARBORSTAKES UNDERGROUND STAKE	N.A.	N.A.	ARBORSTAKES ARBORSTAKES.COM	REFER TO DETAIL FOR INSTALLATION FOR ALL STANDARD TREES NOTED.
C	PLANTING MULCH	TEXAS HARDWOOD MULCH 3" DEPTH	N.A.	N.A.	LIVING EARTH (972) 869-4332 (OR APPROVED EQUAL)	MULCH THICKNESS PER SPECIFICATIONS AND/OR NOTES.
D	RIVER COBBLE	2"-3" STONES 3" DEPTH	GREY	N.A.		COBBLE THICKNESS PER SPECIFICATIONS AND/OR NOTES.

LANDSCAPE PLANTING NOTE:

*AT TIME OF PLANTING, TREES SHALL BE A MINIMUM OF THREE-INCH (3") CALIPER, AS MEASURED TWELVE (12) INCHES ABOVE SOIL LEVEL AND EIGHT (8) FEET IN HEIGHT.

*SHRUBS SHALL BE A MINIMUM OF TWO (2) FEET AT PLANTING.

*LANDSCAPED AREAS SHALL BE PROTECTED BY RAISED CURBS, EXCEPT WHERE THERE ARE WHEEL STOPS.

PARKING LOT COVERAGE NOTE:

*PARKING REAR OF BUILDING FOR INVENTORY ONLY.

CUSTOMER PARKING IN FRONT OF BUILDING COMPLIES WITH 60'-0" TREE TRUNK ADJACENCY CITY ORDINANCE.

OVERALL LANDSCAPE REQUIREMENTS

ZONING DISTRICT: I-35 OVERLAY - CITY OF BURLESON	REQUIRED	PROPOSED
DESCRIPTION		
LOT AREA: 12 AC - 523,942 SF		
LANDSCAPE AREA - GRASS/GC/VS/ROCKS	20% OF OVERALL SITE 523,942 SF X 0.2 = 104,788 SF	26.73% OF LOT AREA 140,055 TOTAL
LANDSCAPE AREA - FRONT YARD	40% OF LANDSCAPE AREA 104,788 SF X .4 = 41,915	17.5% OF LANDSCAPED AREA 18,245 SF VARIANCE REQUIRED

I-35 STREET LANDSCAPE REQUIREMENTS

ZONING DISTRICT: I-35 OVERLAY - CITY OF BURLESON	REQUIRED	PROPOSED
DESCRIPTION		
LOT AREA: 12 AC - 523,942 SF		
I-35 STREET TREES	1 - 3" CAL TREE EVERY 30' O.C. Total: 24 TREES	24 - 3" CAL TREES
I-35 SHRUBS	15 - 5 GAL. SHRUB EVERY 30' OF FRONTAGE Total: 360 SHRUBS	450 5 GAL SHRUBS

BUILDING FOUNDATION REQUIREMENTS

ZONING DISTRICT: I-35 OVERLAY - CITY OF BURLESON	REQUIRED	PROPOSED
DESCRIPTION		
LOT Area: 12 AC - 523,942 SF		
FOUNDATION PLANTING WITHIN 30' OF FOUNDATION BLDG SF - 46,562	1 - 3" CAL TREE EVERY 7.500 SF Total: 7 TREES	13 - 3" CAL TREES

IRRIGATION SYSTEM NOTE:

IRRIGATION PLANS TO BE SUBMITTED UPON S.U.P. APPROVAL. IRRIGATION SYSTEM PROVIDED SHALL COMPLY WITH THE DESIGN STANDARDS SET FORTH BY THE STATE COMMISSION ON ENVIRONMENTAL QUALITY, IN 30 TEX. ADMIN CODE CH. 344 LANDSCAPE IRRIGATION.

TREES AND SHRUBS PLANTING COUNTS NOTE:

- CONTRACTOR SHALL BE RESPONSIBLE FOR COUNTING AND VERIFYING ALL PLANT QUANTITIES, AS SHOWN ON THE PLANTING PLANS.
- CONTRACTOR SHALL PROVIDE PHOTOS OF EACH VARIETY OF PLANT MATERIAL FOR REVIEW AND APPROVAL BY OWNER AND LANDSCAPE ARCHITECT. PHOTOS SHALL SHOW THE REPRESENTATIVE SIZE, QUALITY, AND CHARACTER OF EACH VARIETY.
- THE QUANTITIES SHOWN IN THE PLANTING LEGEND ARE FOR CONVENIENCE ONLY. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE AND INSTALL QUANTITIES OF PLANT MATERIAL AS DRAWN OR CALLED OUT ON THE PLAN.
- THE CONTRACTOR SHALL INSTALL 3" DEPTH LAYER OF HARDWOOD PLANTER MULCH AVAILABLE FROM LIVING EARTH (972) 869-4332 OR APPROVED EQUAL. SUBMIT SAMPLE AND TECHNICAL INFORMATION TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN TURF AND SHRUB/GROUND COVER AREAS AS CALLED OUT ON THE CONSTRUCTION PLAN. TOP OF STEEL EDGING SHALL BE FLUSH WITH GRADE AFTER INSTALLED.
- CONTRACTOR SHALL INSTALL ALL LANDSCAPE AND IRRIGATION EQUIPMENT IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS.

LANDSCAPE MAINTENANCE NOTE:

*LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THE LANDSCAPING.
*ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
*MAINTENANCE SHALL INCLUDE MOWING, WATERING, TRIMMING, PRUNING, ETC.
*PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE WITHIN 90 DAYS, WITH A ONE TIME EXTENSION NOT EXCEEDING 90 DAYS BEING APPROVED UPON APPROVAL OF THE DIRECTOR OF COMMUNITY DEVELOPMENT OR THEIR DESIGNEE.

PROJECT:



INTERNATION AUTOS KIA
1264 S BURLESON BLVD, BURLESON, TX

ARCHITECT:



807 Waukegan Road, Suite 150
Deerfield, IL 60015

Tel: 847-571-3814
Attn: Simon Yu

CIVIL:

Manhard Consulting
505 Pecan St, Suite 201
Fort Worth, TX 76102

Tel: 817-866-6378
Attn: John Hamilton



LANDSCAPE ARCHITECT:



TALSON DESIGN
505 Pecan St, Suite 201
Fort Worth, TX 76102
www.talsondesign.com

T: 214-669-2519
Attn: Jake Schwarz

PRELIMINARY
FOR REVIEW ONLY
These documents are for
Design Review and not
intended for Construction,
Bidding or Permit
Purposes. They were
prepared by, or under the
supervision of:
Jacob Schwarz
LA#3400
7/20/2023

MAY 26, 2023 - LANDSCAPE PLAN

JULY 10, 2023 - LANDSCAPE PLAN - REVISIONS

JULY 24, 2023 - LANDSCAPE PLAN - REVISIONS

AUGUST 18, 2023 - LANDSCAPE PLAN - REVISIONS

LANDSCAPE PLAN

LP1.00

Architectural elevation drawing of a building facade. The drawing includes various callouts for materials and signage, as well as dimensions.

Callouts:

- EG-4 (Backlit)
- TRIM-1
- ACM-1
- CW-1 TYP
- ACM-2
- EG-1 Backlit Logo
- ACM-1
- EG-3 Dealersname (Backlit)
- TRIM-1
- TRIM-1
- EIFS-1 TYP
- EIFS-1 TYP
- SFS-1 TYP

Dimensions:

- 16'-0" (Total height)
- 10'-0" (Lower section height)
- 6'-0" (Upper section height)
- 14'-0" (Section height)
- 9'-4" (Section height)
- 3'-0" 3'-0" 3'-0" (Horizontal spacing)
- 7'-4" TYP (Horizontal spacing)
- 30'-4" (Section height)
- 16'-4" (Section height)

Signage and Text:

- SERVICE
- BURLESON
- CAR WASH

1

PROJECT:

 International Autos


Movement that inspires

INTERNATION AUTOS KIA
BURLESON, TX

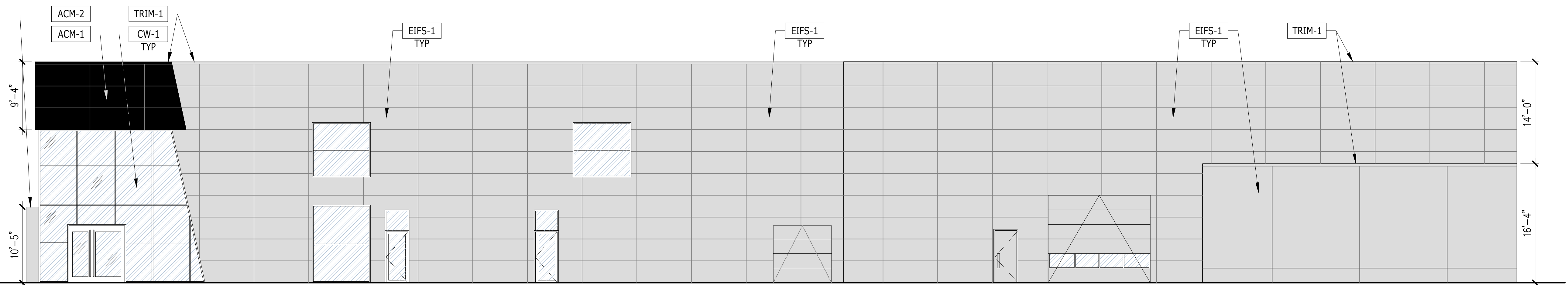
CIVIL:
Manhard Consulting
505 Pecan St, Suite 201
Fort Worth, TX 76102

Tel: 817-865-5378
Attn: John Hamilton

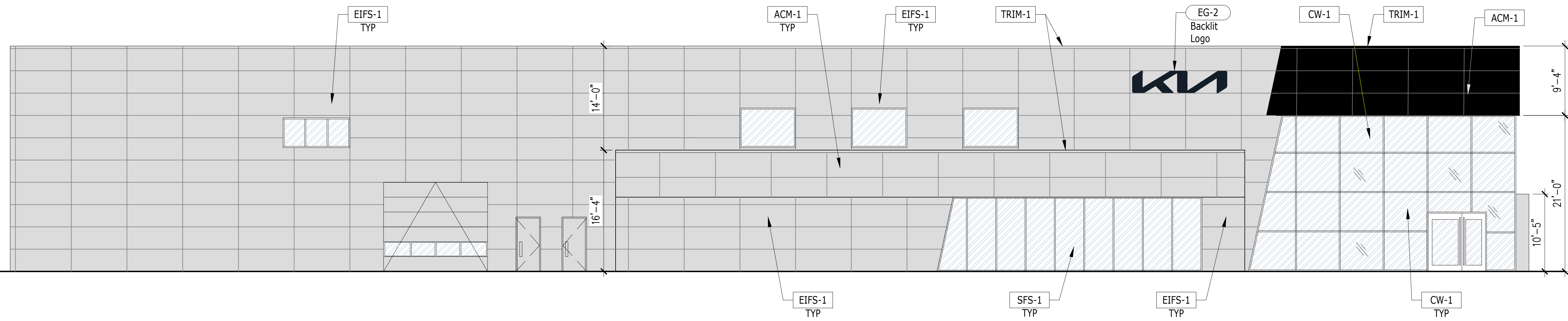
ELEC ENGIN:

EXTERIOR ELEVATIONS

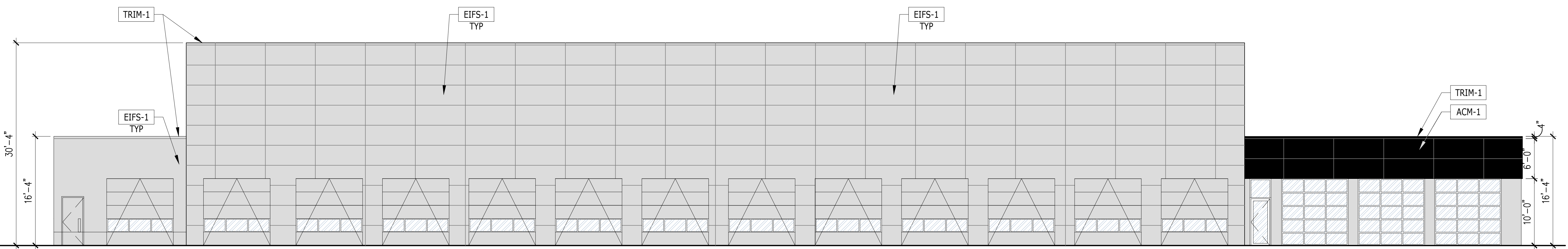
©2024 SIMON ARCH, LLC



2



3

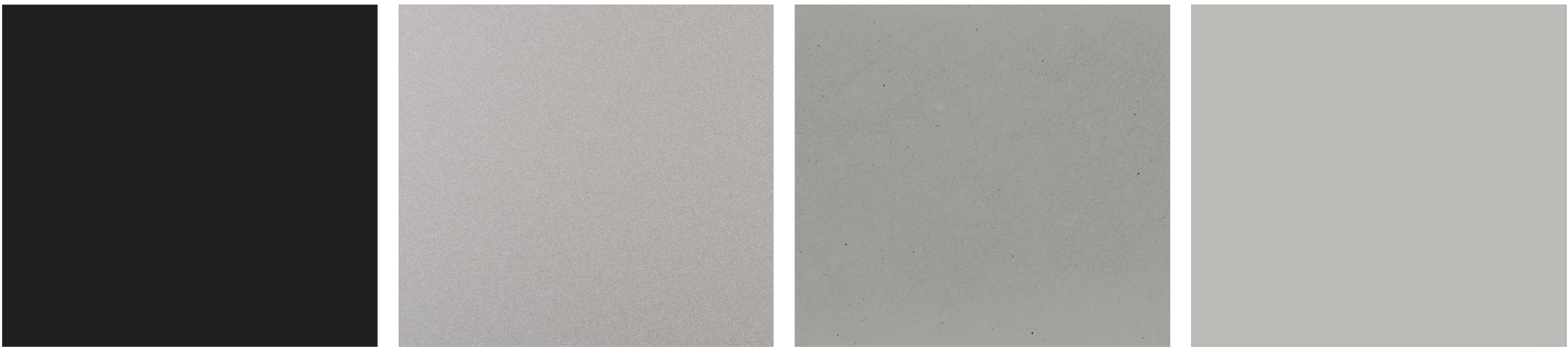


4

NOTE: SIGNAGE SHOWN FOR
REFERENCE ONLY. SIGN REVIEW
TO BE UNDER SEPARATE PERMIT



RENDERING - PROTOTYPE EXTERIOR
SCALE: None



MATERIALS SAMPLES - EXTERIOR
SCALE: None

PROJECT:



INTERNATION AUTOS KIA
BURLESON, TX

ARCHITECT:



807 Waukegan Road, Suite 150
Deerfield, IL 60015
Tel: 847-571-3814
Attn: Simon Yu

CIVIL:

Manhard Consulting
505 Pecan St, Suite 201
Fort Worth, TX 76102
Tel: 817-866-6378
Attn: John Hamilton

MECH / PLUMB ENGIN:

ELEC ENGIN:

JUNE 30, 2023 - PLANNING

EXTERIOR
RENDERING

A4.05