

Basden Storage at 755 E Renfro St

Location:

- 755 E Renfro St.
- 3.255 acres

Applicant/Owner:

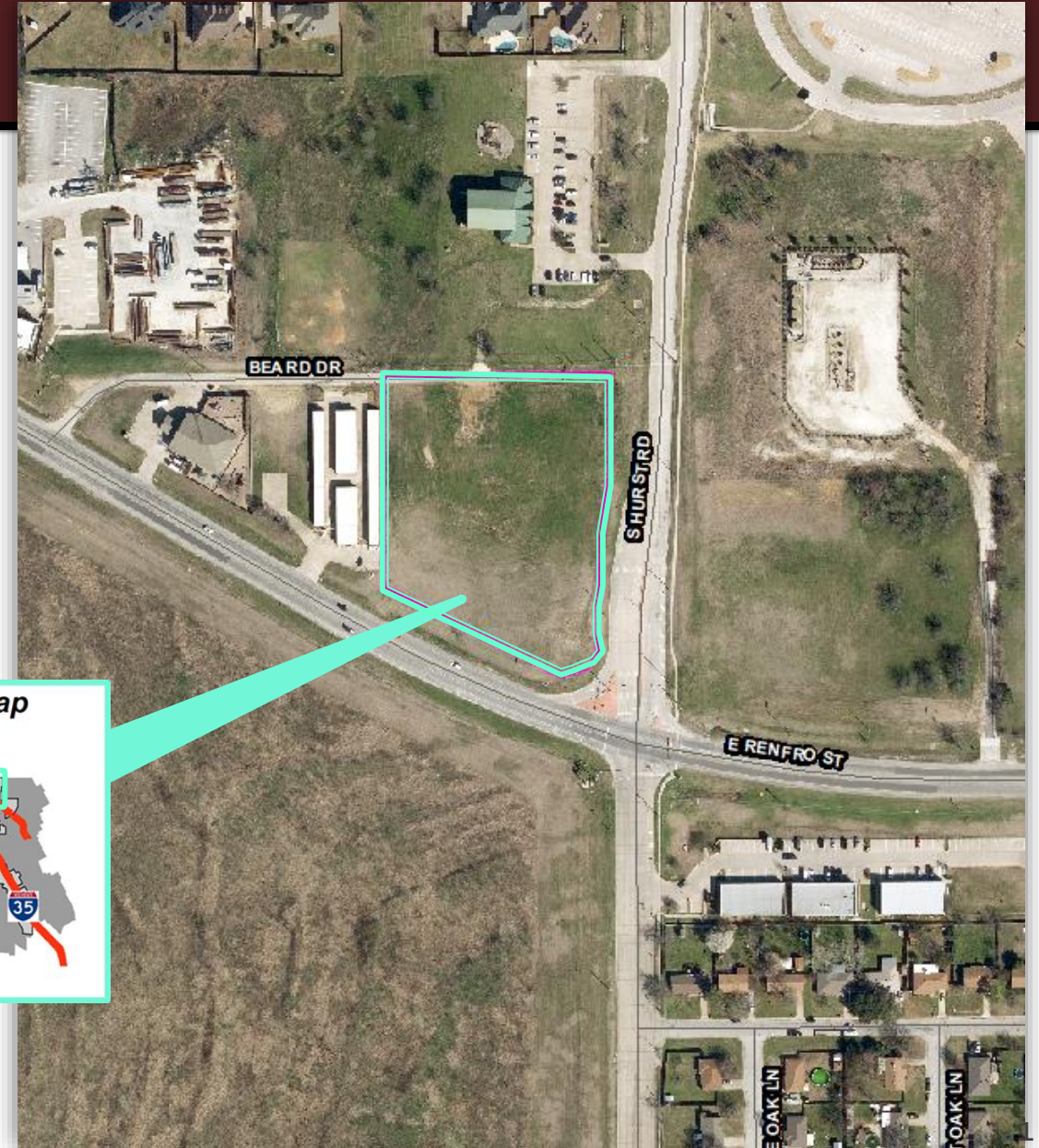
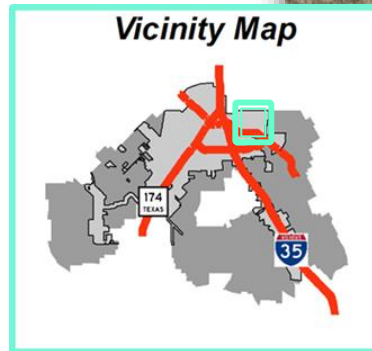
Chad Wallace – (Applicant)

Bruce Basden – (Owner)

Items for approval:

SUP for Mini-warehouse

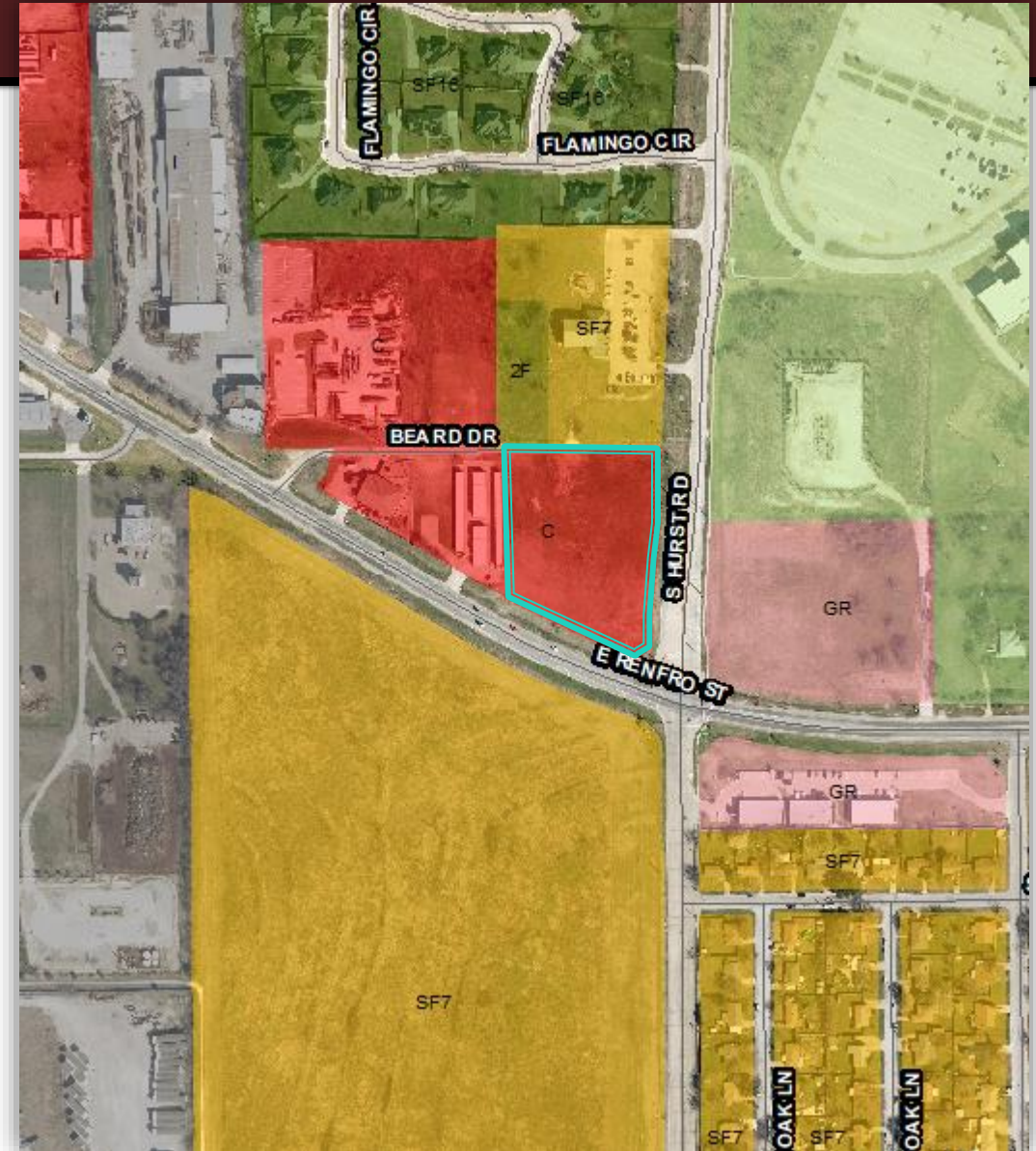
Commercial Site Plan with Waivers



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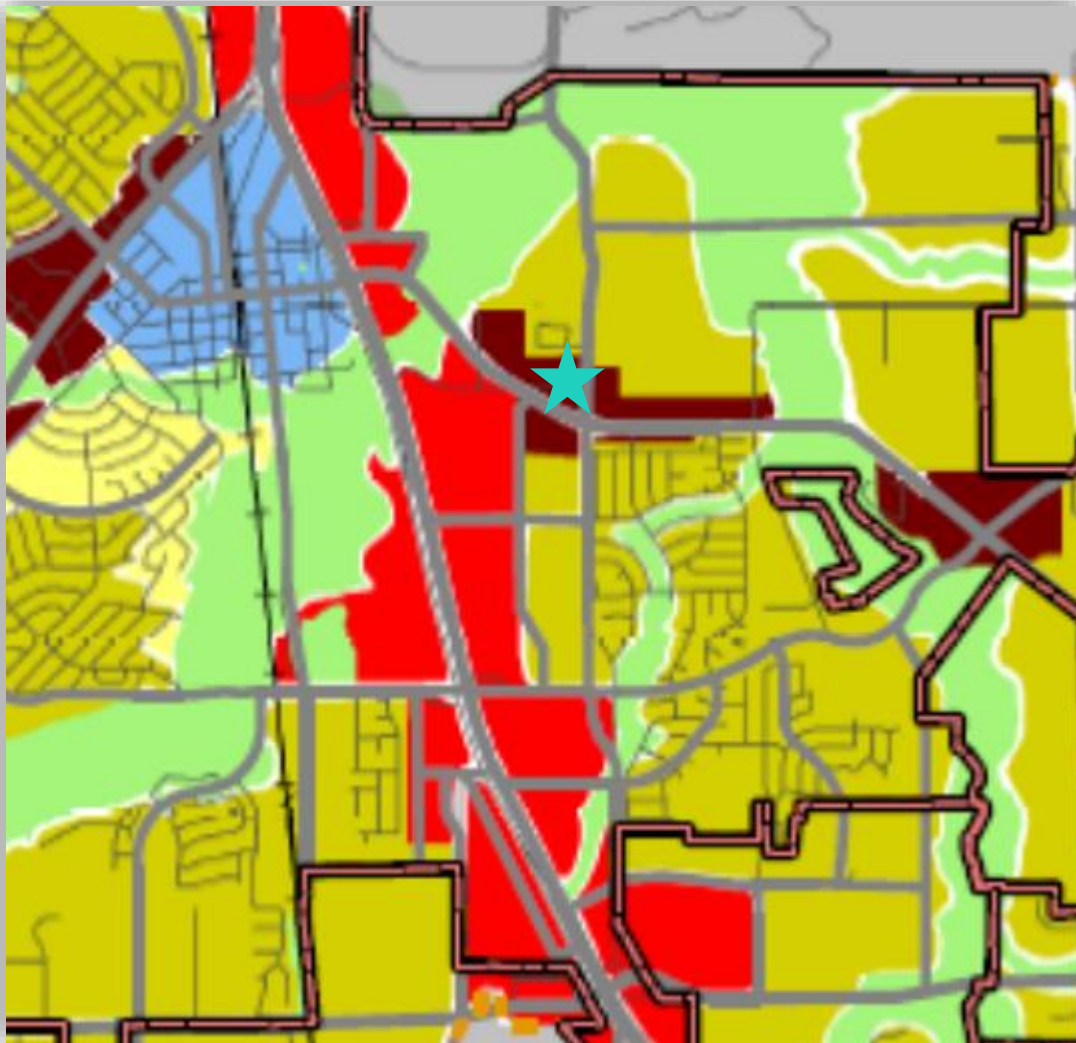
Zoning Information

- Zoning: C, Commercial
- Overlay: IH-35 Specific plan area 1 “Spinks”
 - Requesting a SUP to allow for the use of “Mini-warehouse”
- The applicant has also submitted a Commercial Site Plan (23-041) proposing to construct a retail / self-storage facility on the subject site.
 - Site is located within IH-35 Overlay – standards were applied during the site plan review process. However, any waivers requested to this section do not require a recommendation from P&Z.
 - Recommendation of the site plan shall be made without consideration of the IH-35 & Screening waiver requests.



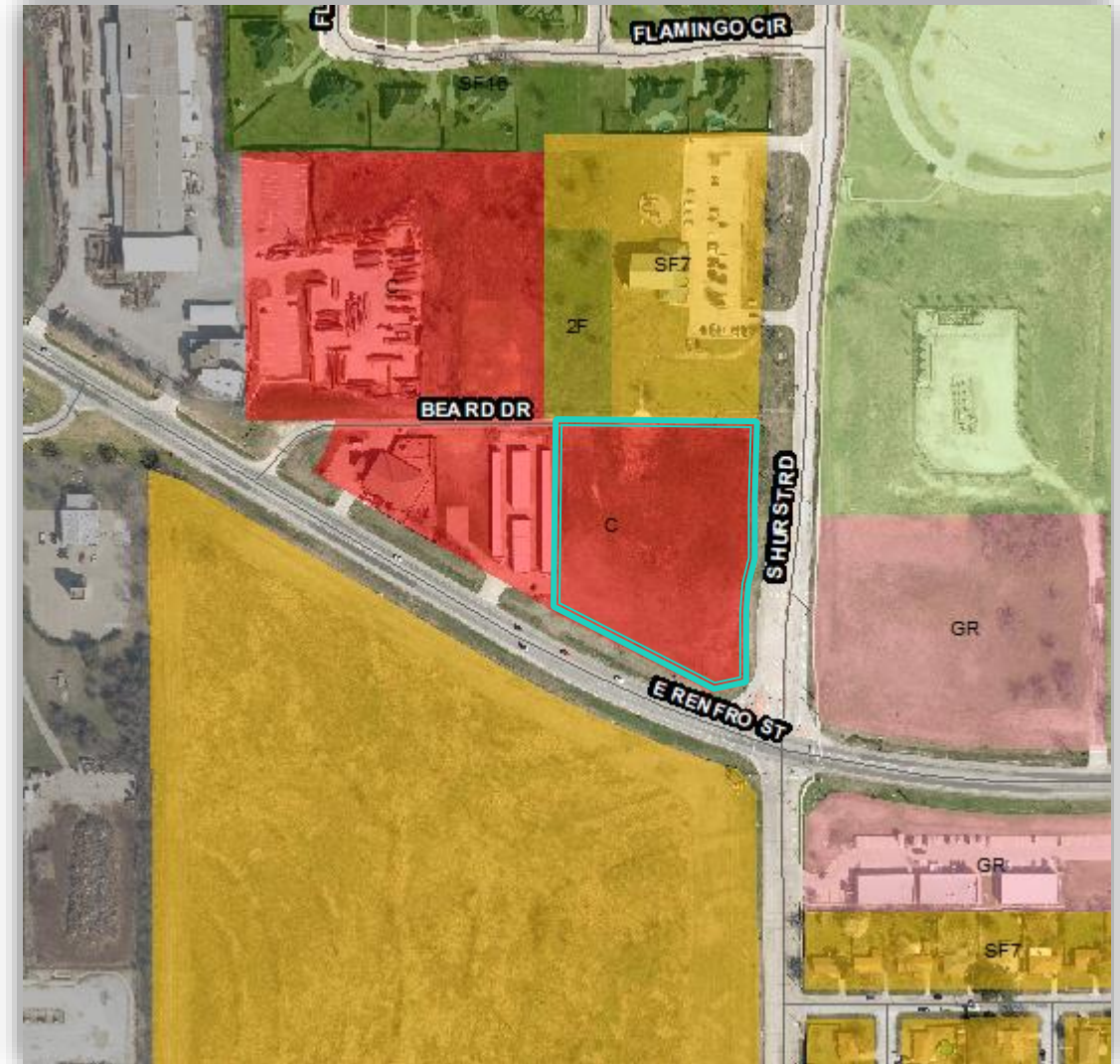
Comprehensive Plan

Community Commercial



Zoning

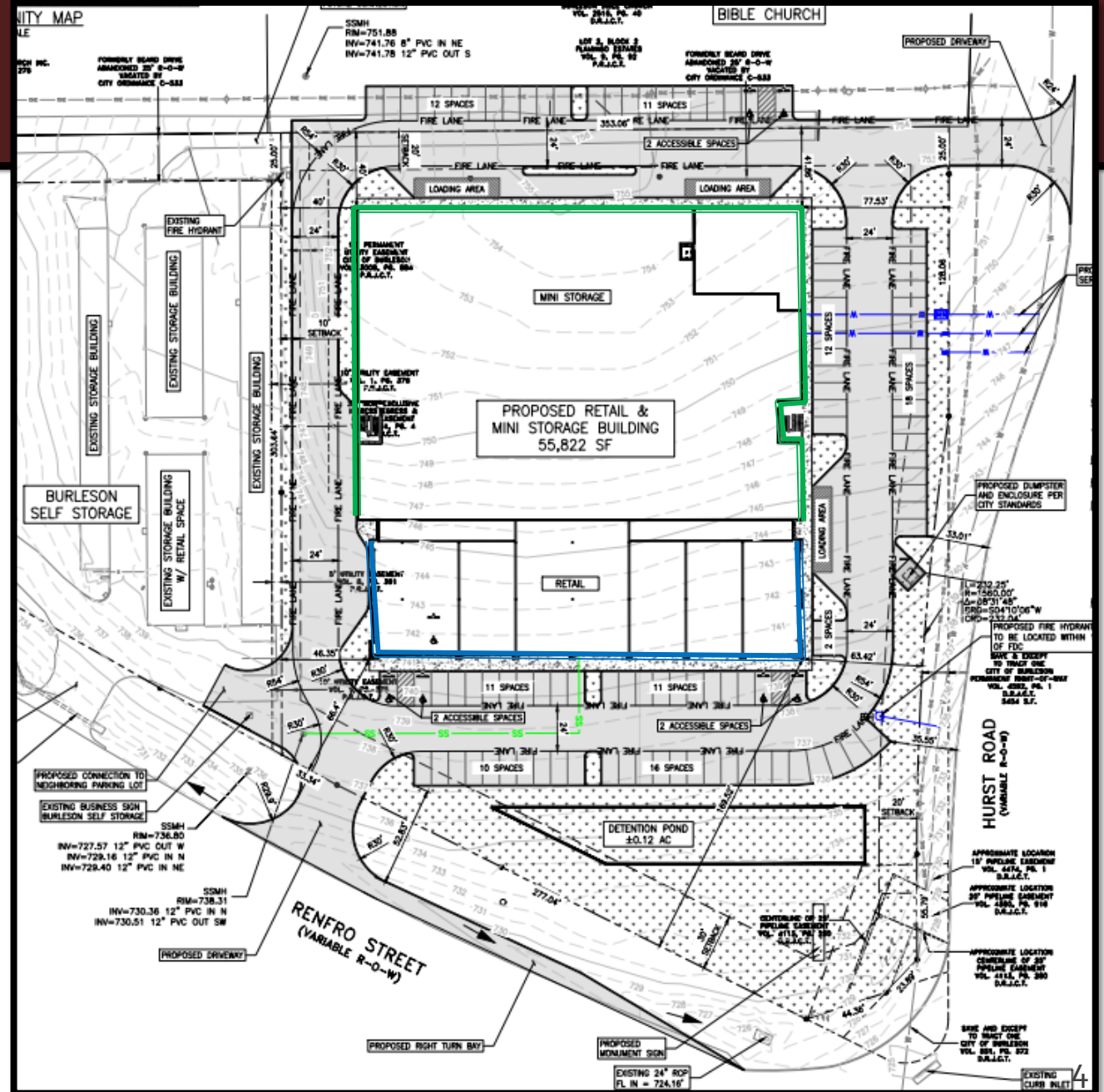
C, Commercial



Basden Storage CSP

Site Plan Summary:

- Building footprint: 55,822sf
- Gross floor area: 153,648sf
- Height: 45 feet / Three-stories
- Use: Retail / Self-storage
 - Six retail suites (17,000sf) ■
 - Three levels of climate controlled self-storage (137,000sf) ■
- 11 waivers being requested
 - one warrants P&Z Recommendation
- Parking agreement



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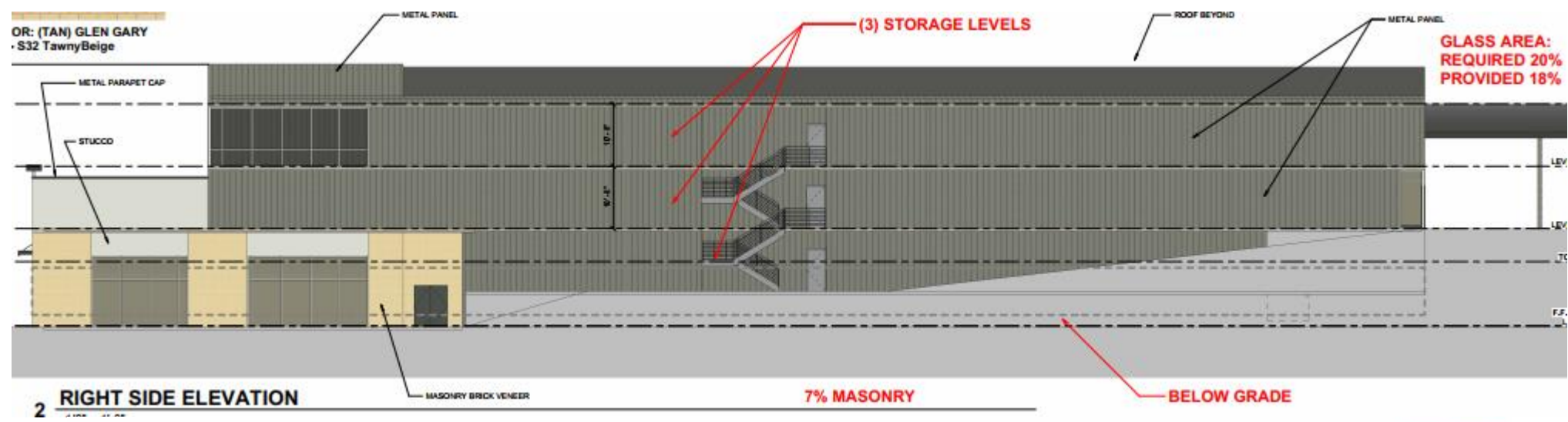
Elevations:

- Perspective at corner of Renfro and Hurst

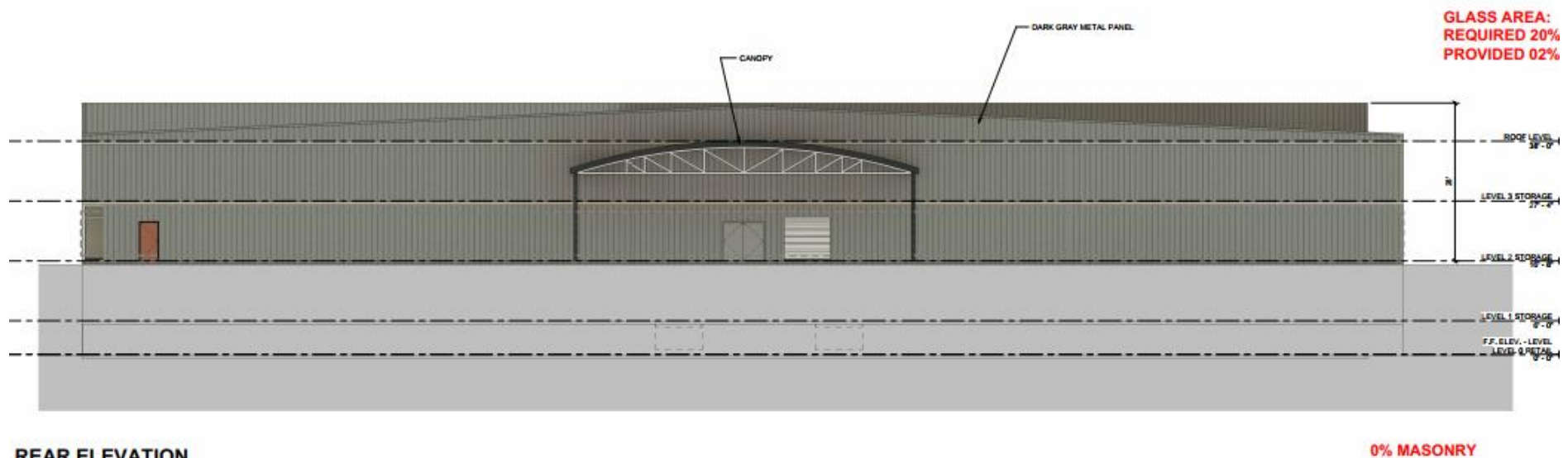


Basden Storage CSP

East



North



Basden Storage at 755 E Renfro St

Site Conformance Table

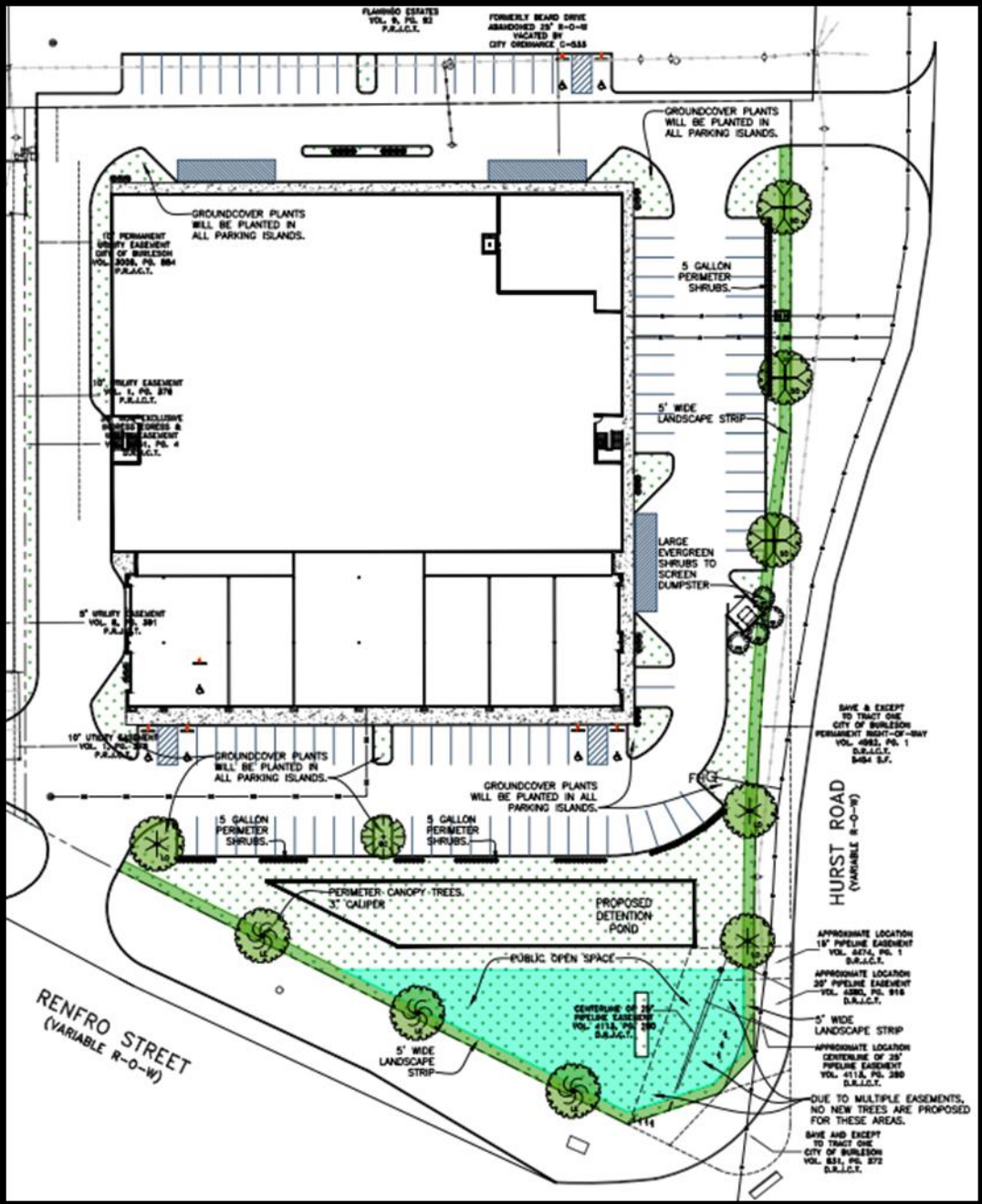
<i>Required</i>	<i>Staff's Findings</i>
<u>Lot Size, Coverage and Setbacks</u> Specific lot information as shown on site plan	Site plan is in compliance with all development regulations with the exception of: <ul style="list-style-type: none">• 8 - IH-35 Building Design Standards• 2 - Fencing and Screening Regulations• 1 - Landscaping Generally Requirement
<u>Landscaping –</u> 20% of Total Site shall be landscaped: 28,360 SF 40% of Total required in front yard: 11,344 SF 90% maximum of grass/groundcover	Landscaping provided: 21.9% (32,071 SF) Landscaping provided: 89% (28,645 SF) Waiver request: 96% grass/groundcover proposed
<u>Parking Requirement –</u> 1 space per 300 SF (retail): 57 spaces 1 space per 3,000 SF (storage): 46 spaces 5 ADA spaces	Complies. – Via Parking Agreement Parking provided: 57 spaces Parking provided: 46 spaces ADA spaces: 6 spaces

Basden Storage CSP

Waiver Request:

- Landscaping generally (h)
- P&Z consideration is required when making recommendation

<u>Required:</u>	Grass and/or groundcovers shall not be allowed to comprise over 90 percent of any required landscape area.
<u>Provided:</u>	The landscaping plan is proposing 96% of the landscape area to be grass and/or groundcover in lieu of the required maximum of 90%.
<u>Justification:</u>	The percentage of grass and groundcover exceeds the required amount due to the reduction of trees and shrubs as a result of the sites topography.



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Utilities & Drainage:

- **Water** – The subject property will be served by Bethesda Water Supply Corporation.
- **Sewer** – The subject property will be served by the City of Burleson.
- **Storm** – The subject property will subject to the City of Burleson Design Standards Manual and will include a small detention pond.

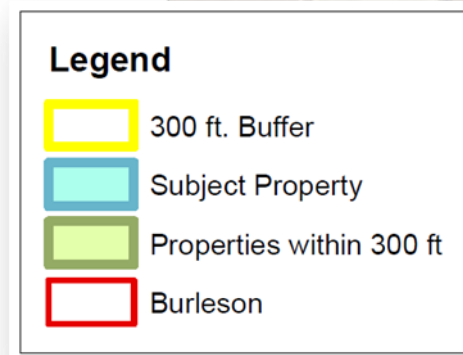
Traffic:

- Access to E. Renfro is controlled by TxDOT and is subject to their regulations including a right turn lane.
- Access to Hurst Road is controlled by the City of Burleson and subject to the Design Standards Manual.

Basden Storage SUP

Public Hearing Notice

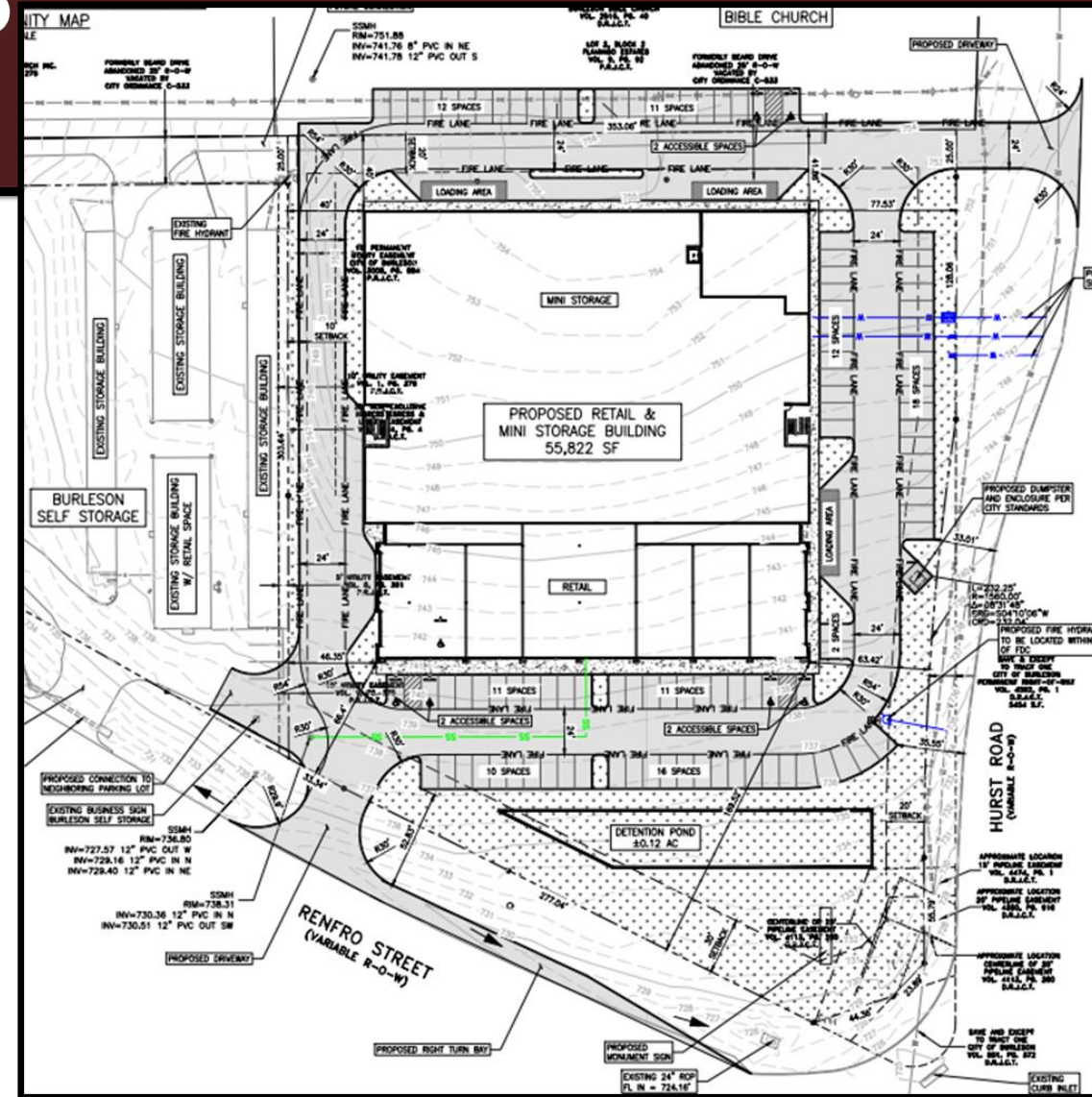
- Public notices were mailed to property owners (based on current JCAD records) within 300 feet of subject property
- Published in newspaper
- Signs Posted on the property



Basden Storage SUP/CSP

Staff Recommendation

Recommend to City Council approval of an ordinance for a specific use permit for mini-warehouse and a commercial site plan with a waiver to Section 86,103(h) (Case 23-010).



Questions/Discussion