

Liquid Stone Concrete - CSP

Location:

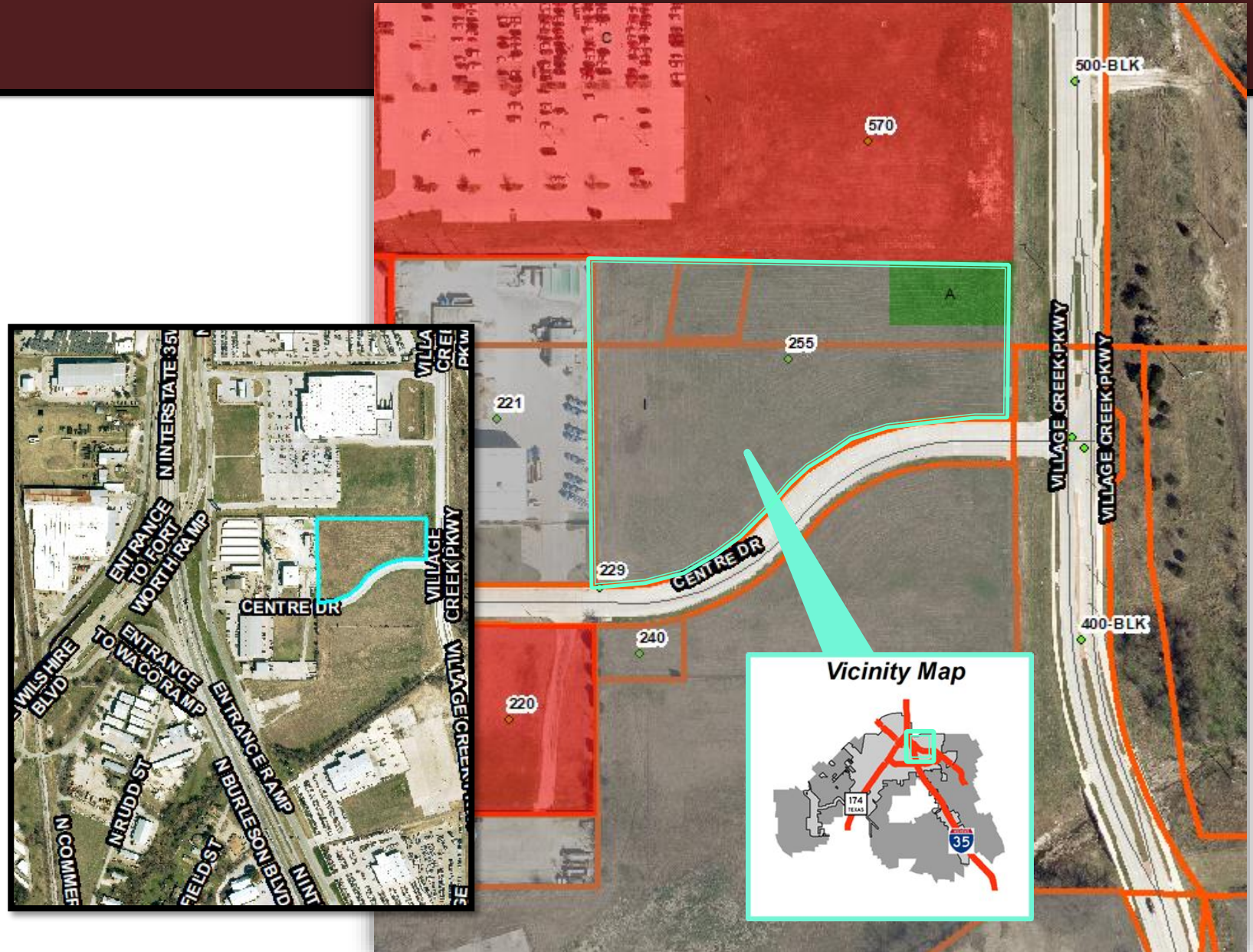
- 255 Centre Dr
- 4.41 acres

Applicant:

Angel Sanchez - Applicant
Jason Burghart - Owner

Item for approval:

Site Plan (22-165)



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Background:

- Liquid Stone Concrete currently operates immediately to the west of the subject site.
- Proposing to expand batching operations to the site in question.
- Site is located within the IH-35 Overlay and all standards shall be applied. However, any waivers requested to this section do not require a recommendation from P&Z.
- Recommendation of the site plan shall be made without consideration of the waivers.



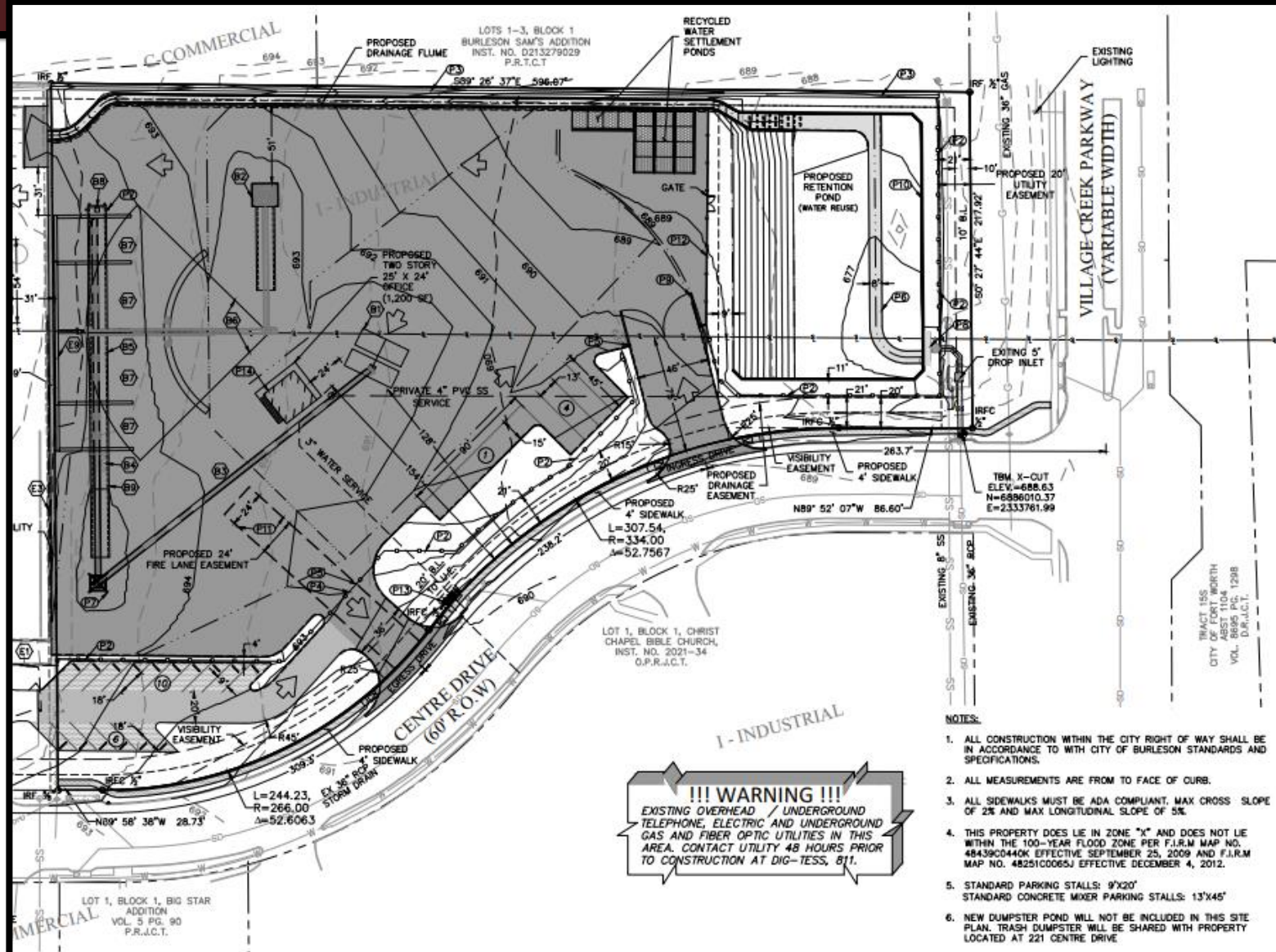
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Property Information:

- Zoning change ordinance (Case 22-167) is running concurrently

Site Plan Summary:

- 1,200 SF Building
- 24 feet in Height, two-stories
- Use – Concrete batching plant (permanent)
- 6 waivers to the IH-35 Standards



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Site Conformance Table

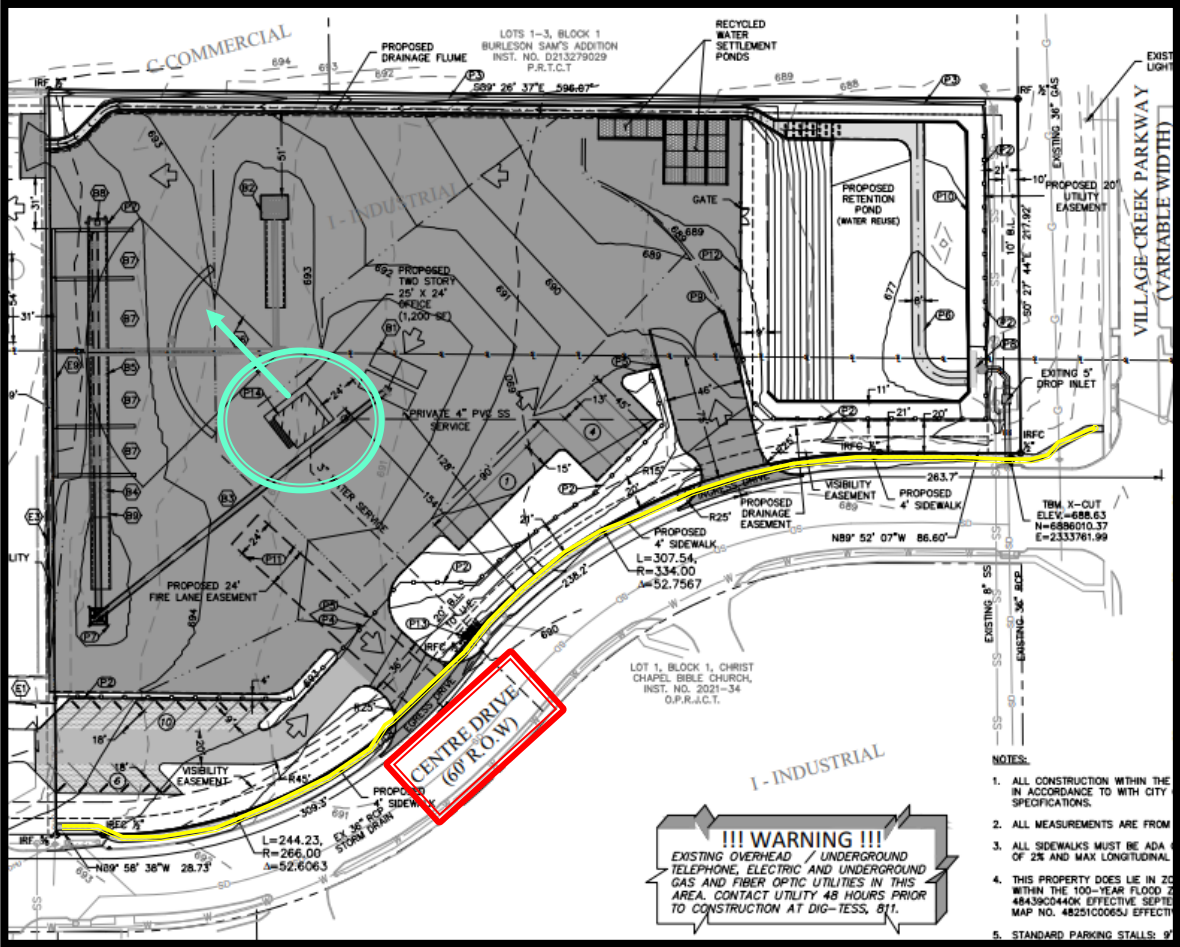
<i>Required</i>	<i>Staff's Findings</i>
<u>Lot Size, Coverage and Setbacks</u> Specific lot information as shown on site plan	Complies. Site plan is in compliance with all development regulations with the exception of: <ul style="list-style-type: none">• 4 - IH-35 Building Design standards• 1 - IH-35 Landscaping standard• 1 - IH-35 Screening standard
<u>Landscaping –</u> 20% of Total Site shall be landscaped: 38,446sf	Complies with all General landscaping. Landscaping proposed: 47,644sf with credits as listed on landscaping plans.
<u>Parking Requirement –</u> 1 space for each two employees: 6 spaces 1 ADA spaces	Complies. Parking provided: 21 spaces ADA spaces: 1 spaces

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Waiver Request:

➤ IH-35 Building Design (a)

<u>Required:</u>	One primary entryway shall face the principal street and connect directly to a sidewalk along the principal street.
<u>Provided:</u>	Primary entryway will not face towards nor connect to principal street. Sidewalk will be constructed along principal street.
<u>Justification:</u>	Primary use of the site is industrial. The main building / site are not intended for public use and will be screened accordingly

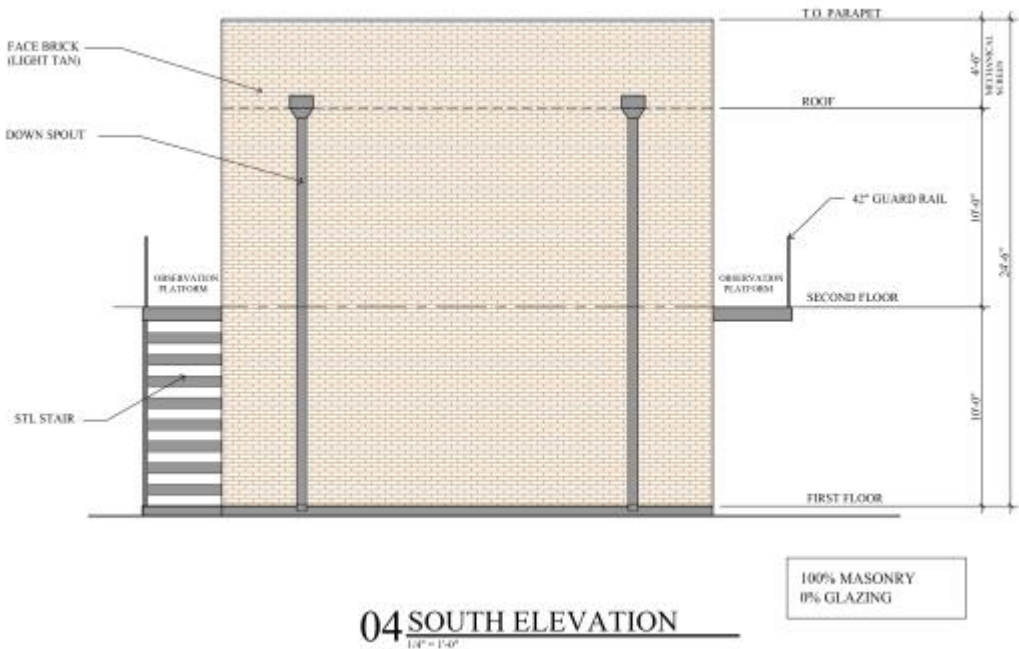
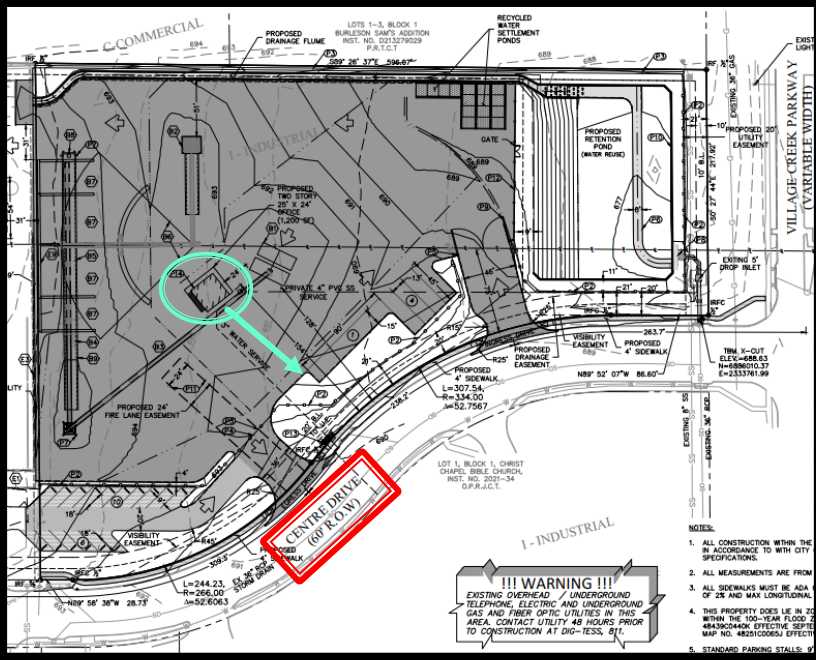


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Waiver Request:

➤ IH-35 Building Design (c)

<u>Required:</u>	On the building façade facing the principal street, at least 35 percent of the wall area on the first floor shall consist of windows or similar glazing
<u>Provided:</u>	South façade facing the principal street does not provide any glazing. <ul style="list-style-type: none">• North elevation: 15%• East elevation: 13%
<u>Justification:</u>	Building is designed as a control area for the plant with specific views to the equipment and trucks. Windows are intended for observation of strategic operations and safety requirements.

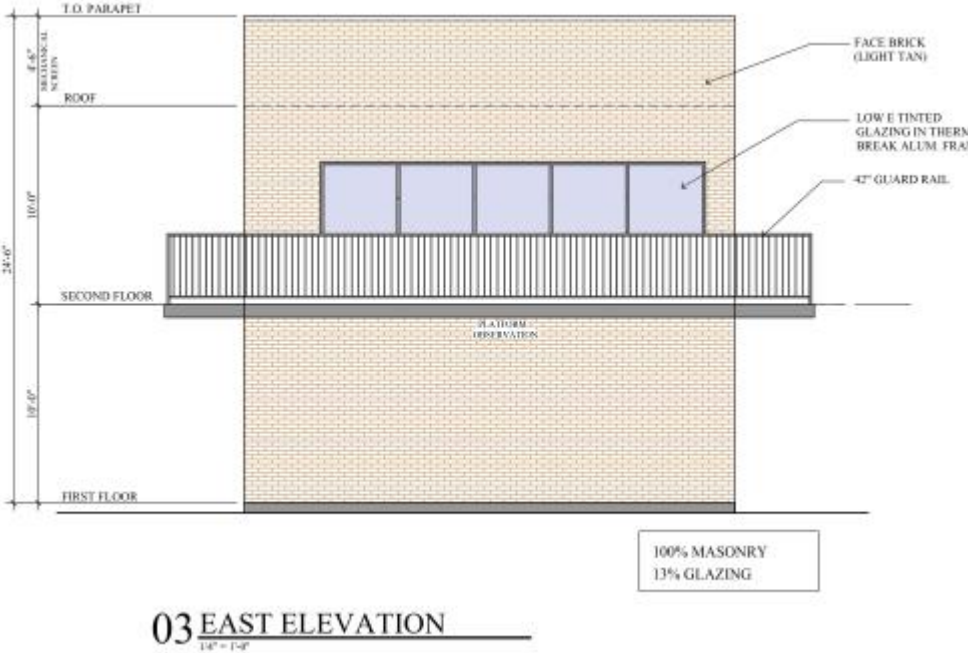
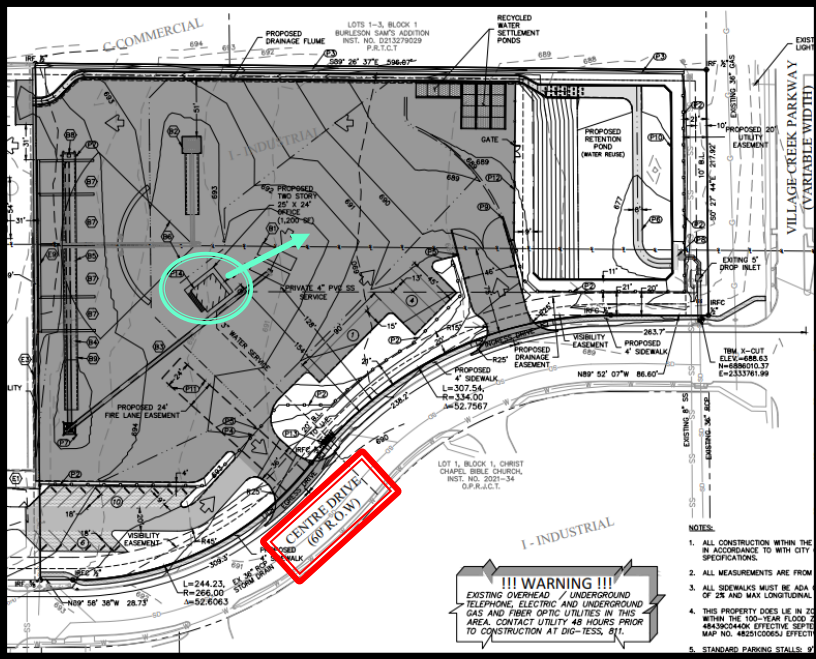


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Waiver Request:

➤ IH-35 Building Design (d)

<u>Required:</u>	On all other publicly visible façades, at least 20 percent of the wall area shall consist of windows or similar glazing.
<u>Provided:</u>	Other publically visible façade to the east provides 13% glazing <ul style="list-style-type: none">North elevation: 15%
<u>Justification:</u>	Building is designed as a control area for the plant with specific views to the equipment and trucks. Windows are intended for observation of strategic operations and safety requirements.

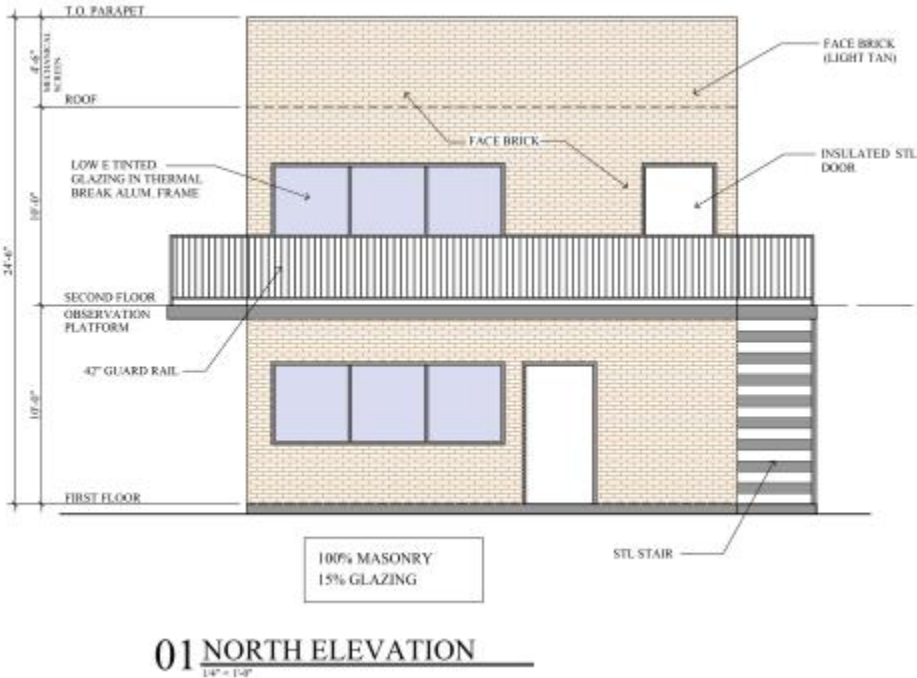
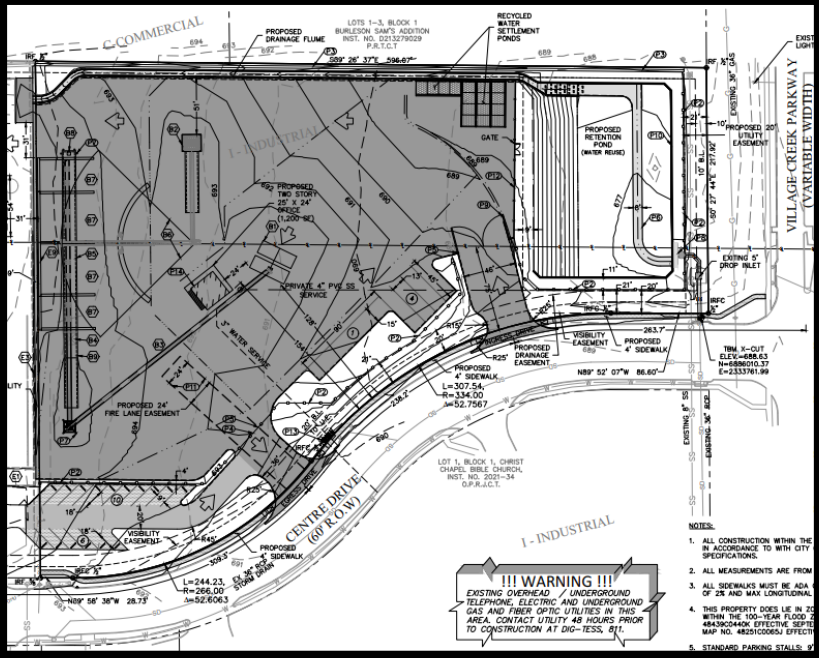


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Waiver Request:

➤ IH-35 Building Design (g)

<u>Required:</u>	Buildings shall provide a minimum of three building design elements as provided in the IH-35 Building Design Section.
<u>Provided:</u>	None of the building design element options are being applied to the proposed building.
<u>Justification:</u>	The design standards are not intended to be for a safe and secure industrial facility. The building/site is not intended for public use, therefore no additional building designs or architectural elements are being installed.

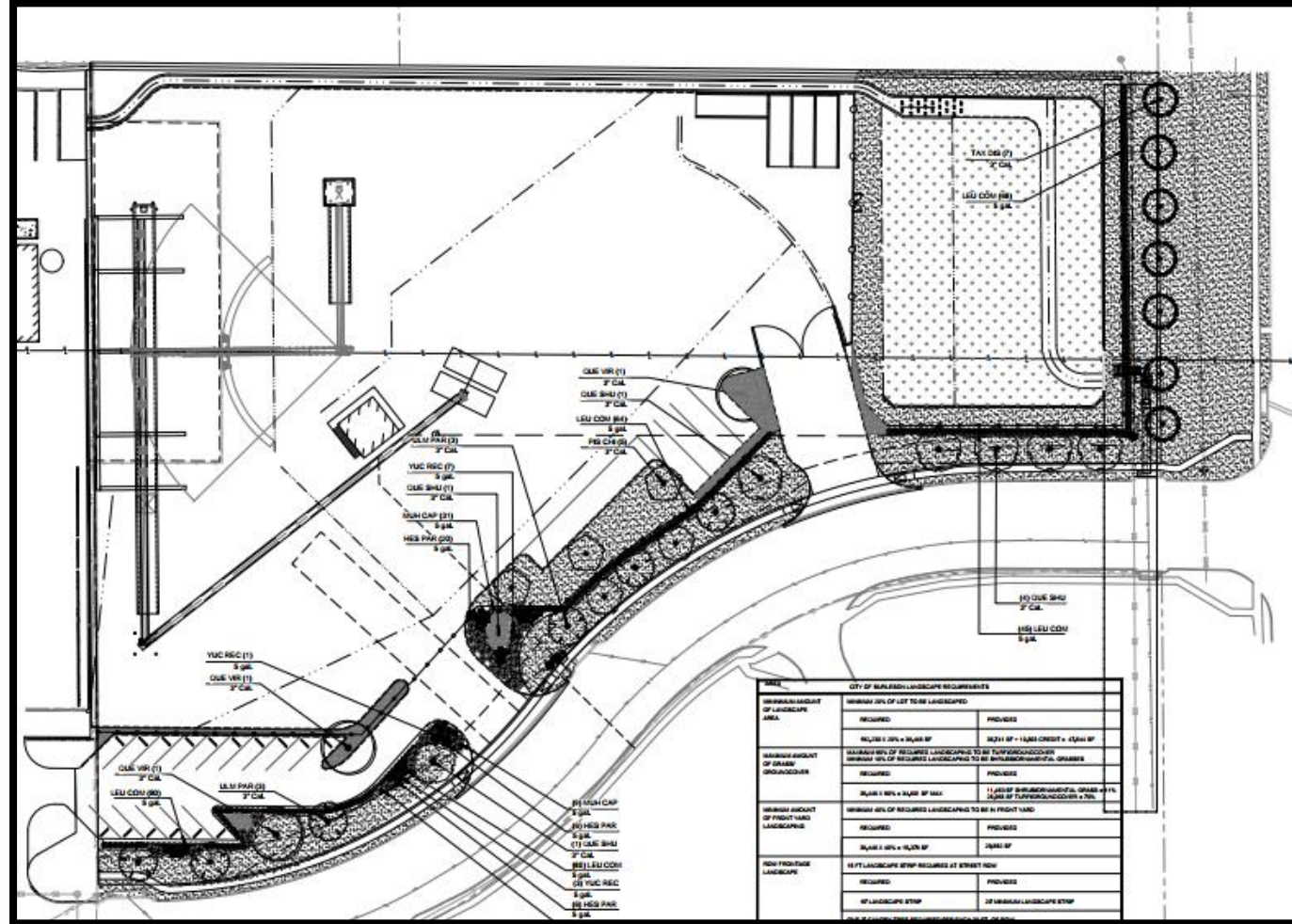


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Waiver Request:

- IH-35 Landscaping (h)

<u>Required:</u>	Developments shall provide at least 25 percent of the required landscaping area as natural open
<u>Provided:</u>	Proposing to provide 14.3% open space in lieu of the required 25%.
<u>Justification:</u>	Due to detention requirements, equipment circulation and safety, the public open space cannot be satisfied entirely.



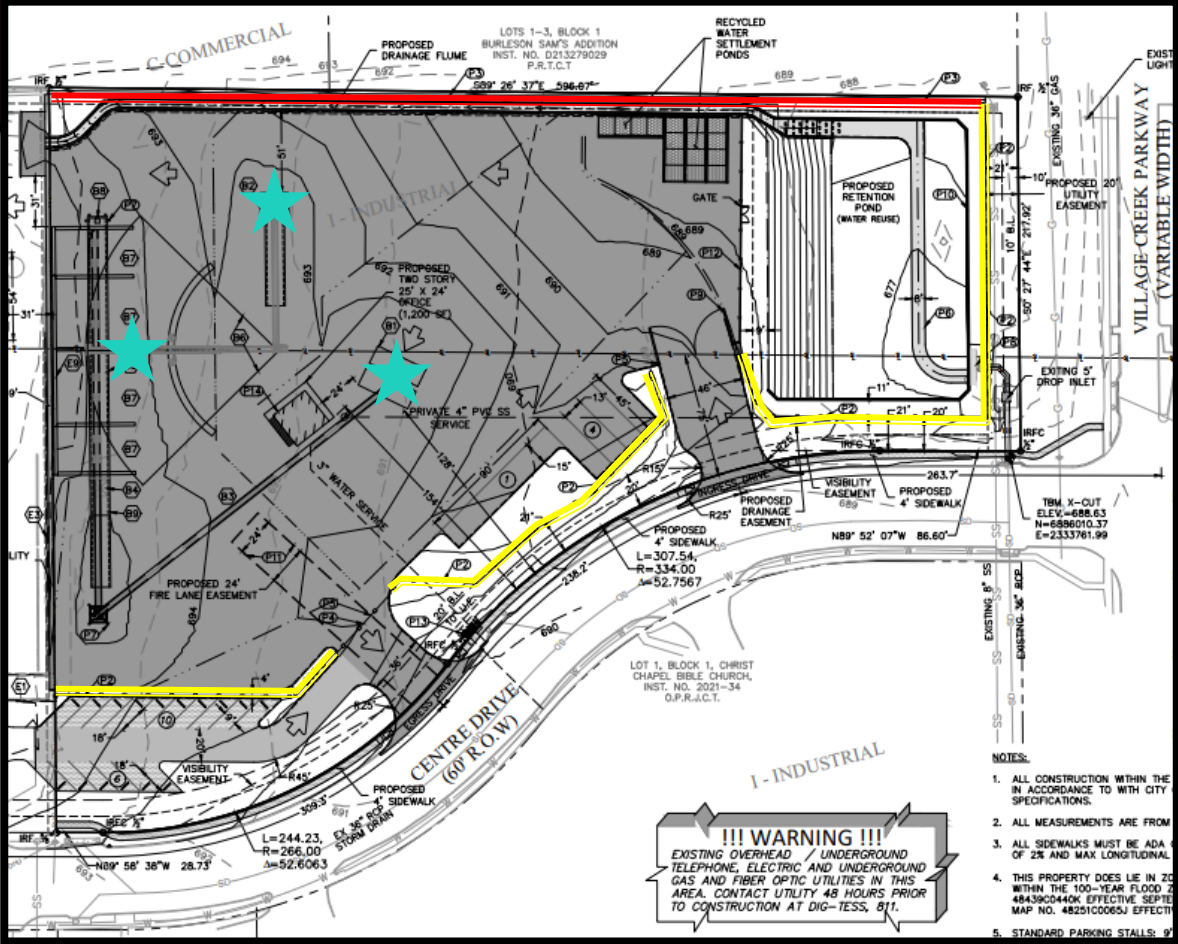
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Waiver Request:

➤ IH-35 Screening (a)

- 8' Masonry Wall
- 12' Masonry Wall
- Equipment

Required:	Mechanical equipment and other support elements for buildings shall be screened from view of any person standing on the property line.
Provided:	<ul style="list-style-type: none">8' masonry wall along the south and east (principal) sides of the property12' masonry wall along the north (rear) property boundary.
Justification:	Screening the equipment entirely cannot be achieved due to the height of batching equipment = 42 – 85 feet



Per the Texas Commission on Environmental Quality (TCEQ):

- 12 foot screening wall; or
- 50 foot buffer from all equipment shall be provided.

The northern property line is the only property line that does not meet the 50' buffer requirement so a 12' masonry fence was proposed.

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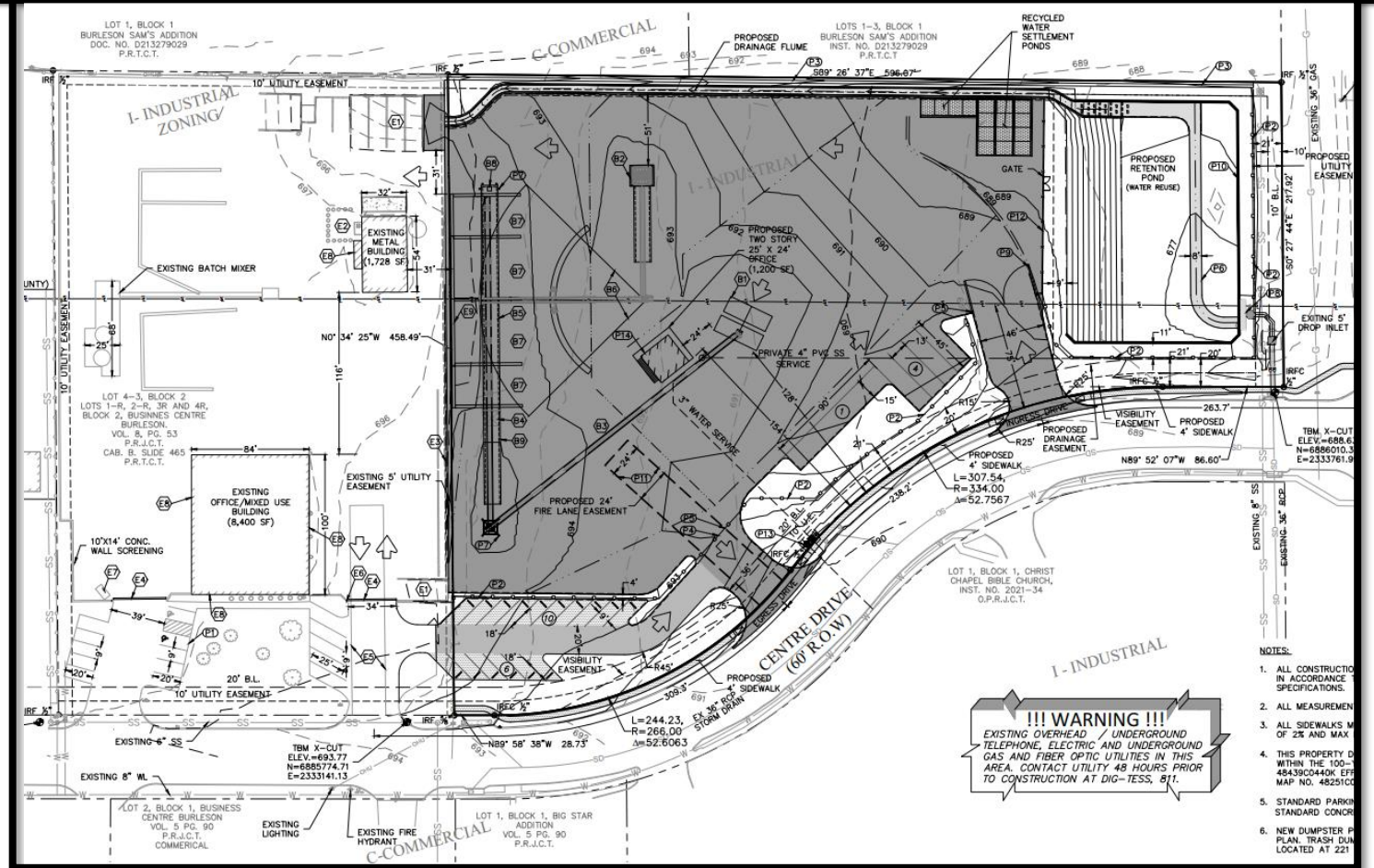
Site Conformance Table

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Staff Recommendation

Recommends approval of a resolution for a commercial site plan (Case 22-165).



Questions/Discussion