UTILITY NOTES

SETWEEN THE PLANS AND FIELD CONDITIONS.

- 1. THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, EN SHOWN ON THE "PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTION. THE ENGINEER AND OWNER ASSUME NO LIABILITY FOR ACCURACY AND COMPLETIESS. IT IS THE CONTRACTIONS REPONSIBILITY OF CONTRACT ALL UTILITY COMPANIES AND FORE WATER REPONSIBILITY OF CONTRACT ALL UTILITY COMPANIES AND FORE THE PROPERTY.
- 2. DUE TO GRAPHIC LIMITATIONS OF THE DRAWING SCALE, ALL STORM SEWER DRAINAG TER AND SANITARY SEWER MAINS, SERVICES, LATERALS, CONNECTIONS, AND PRIVILED ANNIAN I SETTER MANIFS, SERVILES, LUTERIAS, CUMPICLIONS, AND UNIVERSIDATE VIOLES OTHERWISE (COATED BY DIMENSIONS - PREPRIETHANCES DEPICIED HEBBRI - UNIVESS OTHERWISE (COATED BY DUMENSIONS - REFLECT S CHEMATIC LOCATIONS ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THAN LOCATIONS IN ACTUAL CONSTRUCTION AND INSTALLATION OF THE PROPOSED WHROVEMBRIS, INCLUDING ANY REQUISITE COORDINATION WITH THE RESPECTIVE SOVERNING AGENCY/UTILLY PROVIDER.
- ALL WATER AND SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF BURLESON AND JOHNSON COUNTY, RESPECTIVELY, AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
- ECTS. MARK DEFECTIVE MATERIALS WITH WHITE PAINT AND PROMPTL REMOVE FROM SITE.
- 5. LAY SEWER PIPING BEGINNING AT LOW POINT OF SYSTEM (CONNECTION TO OFF SITE SYSTEM OR PUMP STATION), TRUE TO GRADES AND AUGINMENT INDICATED WITH UNBRC CONTINUITY OF INVERTS. PLACE BELL ENDS OR GROOVE ENDS OF PIPING FACING
- MAINTAIN 36" COVER OVER MAINS, AND 36" OVER SERVICES/LATERALS
- B. WHEN PROPOSED CONSTRUCTION OCCURS AT EXISTING MANHOLES, INLETS, VAULTS, AND OTHER STRUCTURES, THE CONTRACTOR SHALL MODIFY THE STRUCTURES, FRAMES, AN GRATES TO MEET THE PROPOSED GRADES UNLESS OTHERWISE DIRECTED.
- P. INSTALL CONTINUOUS LOCATOR TAPE/WIRE, LOCATED DIRECTLY OVER POTABLE WATE AINS AND SANITARY SEWER MAINS AT 6" TO 8" ABOVE PIPE
- . CONTRACTOR SHALL PROVIDE SLEEVES FOR IRRIGATION LINES UNDER PAVEMENT.
- 2. ALL TRENCHES EXCAVATED FOR THE PURPOSES OF LITHITY/STORM INSTALLATION SHA PIPES DURING INSTALLATION
- NITIATED. SATISFACTORY BACTERIOLOGICAL TEST RESULTS, PRESSURE TEST RESULTS, AND A AS BUILT SURVEY SHALL BE SUBMITTED TO ENGINEER PRIOR TO FINAL CERTIFICATION
- 14. SUITABLE COUPLINGS COMPLYING WITH ASTM SPECIFICATIONS ARE REQUIRED FOR
- 5. DEFLECTION TESTS ARE REQUIRED FOR ALL ELEVIRLE PIPE. TESTING REQUIREMENTS: 15. DEFLECTION TESTS ARE REQUIRED FOR ALL FLEXIBLE PIPE. TESTING REQUIREMENTS: 1) IP PIPE SHALL EXCEED A DEFLECTION OF 5%; 2) USING A RIGID BALL OR MANDREL FOR THE DEFLECTION TEST WITH A DIAMETER NOT LESS THEN 95% OF THE BASE INSIDE DIAMETER OR AVERAGE INSIDE DIAMETER OF THE PIPE; 3) PERFORMING THE TEST WITHOUT MECHANICA

- . SERVICE PIPE SHALL BE 2" POLYETHYLENE (PEI.
- . WATER MAINS SHALL BE PVC ASTM C900, DR 18 WITH INTEGRAL BELLS AND ELASTOMERI OINTS PER ASTM C3139 AND GASKETS PER ASTM F477.
- . CORPORATION STOPS SHALL BE 1 1/2" BRASS, EQUIPPED WITH CONNECTIONS COMPATIBLE WITH SERVICE PIPE AND THREADED IN ACCORDANCE WITH SPECIFICATION NWWA C800. CURB STOPS SHALL BE SIZED TO MATCH THE METER SIZE AND CONFORM W NWWA C800 AND AWWA C901.
- 5. FITTINGS SHALL BE BRASS, CAST AND MACHINED IN ACCORDANCE WITH AWWA C800 AND AWWA C901, WITH COMPATIBLE PIPE CONNECTIONS.
- 6. SERVICE SADDIES SHALL BE USED FOR ALL SERVICE LINE TAPS. SERVICE SADDIES SHALL BE DOUBLE STRAP, ANCHORED BY A MINIMUM FOUR (A) BOLT PATTERN ON A DUCTILE ROY SADDIE BODY. FOR PVC PIPE, DOUBLE STRAP'S SHALL BE CORROSION RESISTANT ALLOY STEEL, STED EXACTLY TO THE PIPE OUTSIDE DIAMETER. SEALING GASKETS SHALL BE BUNAN-
- ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT WILL BE COLOR CODED SING BLUE AS A PREDOMINANT COLOR.

- . BEDDING AND INITIAL BACK FILL OVER SEWER MAINS AND SERVICES SHALL BE SAND W

- I. REINFORCED CONCRETE PIPE (RCP): O-RING PIPE SHALL CONFORM TO ASTM C 76 (CLASS III, UNLESS OTHERWISE SPECIFIED) AND AASHTO M 170 STANDARD SPECIFICATION AND ASTM C 443 STANDARD SPECIFICATION FOR JOINTS FOR RCP USING RUBBER GASKE
- 2. ELLIPTICAL RCP SHALL CONFORM TO ASTM C 507 (CLASS III) AND AASHTO M 207 STANDARD SPECIFICATIONS.
- HDPE PIPE AND HITINGS SHALL MEET THE REQUIREMENTS OF AASHTO M-252 (3"-10"), M-294 (12" AND LARGER), TYPE S (CORRUGATED OUTSIDE SMOOTH INSIDE, 4"-60"), AND MP7 (60" TYPE S).
- A. BELL/SPIGOT GASKET FOR HDPE PIPE SHALL BE SOIL/SILT TIGHT PER AASHTO SECTION
- PVC STORM SEWER PIPE (12" OR LESS) AND FITTINGS SHALL BE NON-PRESSURE POLYV. CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.

GENERAL NOTES

S. JEPPERAL

ALL INTRASTRUCTURE AND IMPROVEMENTS SHALL CONFORM TO THE STANDARDS AND PECIFICATIONS OF THE LOCAL JURISDICTION AND WILL BE SUBJECT TO THEIR INSPECTION IND ACCEPTANCE.

- . SITE LOCATION: 111 NW. JOHN JONES DR., BURLESON, TX. 76028
- O NE. LOOP 410, SUITE 1100, SAN ANTONIO, TX. 78216. DATED JUNE 14, 2023.
- 5. BENCHMARK REFER TO TOPOGRAPHIC SURVEY BY **Santec Consulting Services in** Dated **June 14, 2023.** See Note 4 Above.
- LEGAL DESCRIPTION SHOWN HEREIN IS EURNISHED BY SURVEYOR, AND IS INCLUDED FO ERMITTING AND APPROVAL PURPOSES, AND AS A COURTESY FOR THE CONTRACTOR. ITERPLAN LLC. ASSUMES NO LIABILITY FOR ITS ACCURACY OR COMPLETENESS.
- ONTAINED THEREIN. IF ADDITIONAL SERVICES ARE REQUIRED, THE CONTRACTOR SHALI MAKE A REQUEST TO THE OWNER.
- DISTRUCTION, ALL IN CONFORMANCE WITH CURRENT LOCAL, COUNTY AND STATE
- . THE DELIFERIOUS MATERIAL SUCH AS FENCES, WALLS, FOUNDATIONS, LOGS, SHRUE RUSH, WEEDS, OTHER VEGETATION, AND ACCUMULATION OF RUBBISH OF WHATEVI ATURE. OFF-SITE DISPOSAL, INCLUDING ANY HAZARDOUS MATERIAL ENCOUNTE E IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL RULES AND
- THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR ANY DESIGN CHANGE HICLL HE MAY INCORPORATE INTO THE PLANS WITHOUT PRIOR WRITTEN CONSENT AN PPROVAL FROM THE OWNER AND THE ENGINEER.
- VAY WITH THE CITY OF BURLESON AND THE TEXAS DEPARTMENT OF TRANSPORTATION

- 6. ALL DISTURBED AREAS SHALL BE SODDED.
- NAL CERTIFICATION PROCESS WILL BEGIN. THE CONTRACTOR SHALL PROVIDE OCUMENTS AND INFORMATION, IN A TIMELY MANNER, TO ENGINEER, INCLUDING,
- THOUT LIMITATION: 1. SURVEYED "AS-BUILTS" PER AS-BUILT SURVEY SCOPE IN SPEC MANUAL.
- COMPACTION AND DENSITY TEST REPORTS, AND PRESSURE TESTING AND BACTERIOLOGICAL TESTING RESULTS, AS REQUIRED, FOR WATER TRIBUTION AND/OR WASTEWATER COLLECTION/TRANSMISSION SYSTEM

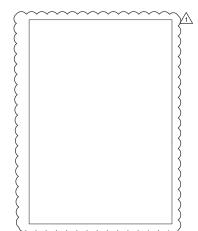
HE CONTRACTOR SHALL HAVE TWO (2) SETS OF ASSRULLT PLANS SIGNED AND SEALED RY THE CONTRACTOR SHALL HAVETWO (2) SEIS OF AS-BUILT PLANS, SIGNED AND SEALED BY SURVEYOR OF RECORD, ON SIET HE DAY OF THE CUTULE MEGNICERUS FRANK PUNCH LIST INSPECTION. THE GENERAL CONTRACTOR IS TO GIVE THE TWO AS-BUILT PLANS TO THE REPRESENTATIVE ROOM INTERFALM COMPLETING THE INSPECTION. IF ANY DEFICIENCES AND SURVEY OF THE CONTRACTOR OF THE CONTRAC

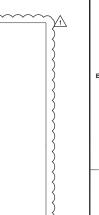
- EQUIREMENTS OF THE CITY OF BURLESON AND/OR THE TEXAS DEPARTMENT OF RANSPORTATION.
- 9. PARKING STALLS SHALL CONFORM WITH LOCAL CODE. ACCESSIBLE PARKING SPACE: ND ACCESS ROUTES SHALL FURTHER CONFORM WITH CURRENT ADA REQUIREMENTS.
-). HANDICAP PAVEMENT MARKINGS AND SIGNAGE SHALL CONFORM WITH CURRENT DA REQUIREMENTS AND LOCAL ORDINANCE.
- I. LANDSCAPE SHALL BE TRIMMED TO ENSURE SIGHT VISIBILITY OF TRAFFIC CONTROL
- 22. ALL PAVEMENT IS DIMENSIONED TO FACE OF CURB
- 4. ALL CURB RETURN RADII ARE 5' UNLESS NOTED.
- 5. BUILDING AND SITE IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO NORTHE
- ATION WITHIN THE PROJECT LIMITS BY A STATE LICENSED SURVEYOR

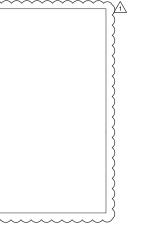
PLEASE CONTACT THE CITY'S CONSTRUCTION INSPECTION MANAGER, TOM CLARK AT (817) 907-7119 AT LEAST 48 HOURS PRIOR

SITE CONSTRUCTION **PLANS**









111 NW. JOHN JONES DRIVE **BURLESON, TEXAS 76028**

SITE DATA

LEASE AREA

STORE # 02786

VICINITY MAP

PPOPOSED IMPERVIOUS AREA PROPOSED PERVIOUS (OPEN SPACE) AREA EXISTING PERVIOUS (OPEN SPACE) AREA 15,923 SF

ALLOWED BUILDING HEIGHT

NUMBER OF SEATS

WEST (Rear)

LANDSCAPE ARCHITECT CONTACT: AARON NEITZKE, PLA, ASLA PHONE (770) 442-8171 FAX (770) 442-1123 EMAIL: ANEITZKE@MLDSTUDIO.COM

CONTACTS

OWNER/LEASEE

ARCHITECT

ENGINEER/APPLICANT

INTERPLAN LLC. 220 E CENTRAL PKWY, SUITE 4000

ZZU C CENTRAL FRWT, SUITE 4000
ALTAMONTE SPRINGS, FI. 32701
EOR: STUART ANDERSON, P.E.
CONTACT: FELIPE REYES, E.I.
PHONE (407) 645-5008
FAX (407) 629-9124
EMAÎL: FREYES@INTERPLANLLC.COM

INTERPLAN LLC.
220 E CENTRAL PKWY, SUITE 4000
ALTAMONTE SPRINGS, FL 32701
AOR: TAN VU, R.A., NCARB

PHONE (407) 645-5008 FAX (407) 629-9124 EMAIL: TREYNOLDS@INTERPLANLLC.COM

CONTACT: TRAVIS REYNOLDS

51 OLD CANTON STREET ALPHARETTA, GA 30009

OWNEY/LEASEE
CHICKFILA
5200 BUFFINGTON ROAD
ATLANIA, GEORGIA 30349
CONTACT: PATRICK I HOMPSON
PHONE (404) 755-8000
FAX (404) 755-8700
FAX EMAIL PATRICK, HOMPSON®CFACORP, COM

PROPOSED PAVEMENT AREA 39.434 SF 70.9% 20.6% PROPOSED GREEN AREA EXISTING BUILDING AREA 4,769 SF 8.5% 100 % 20.6% 28.6% PROVIDED MAXIMUM BUILDING HEIGHT

55,644 SF

1.280 ACRES

PROVIDED

31 FT.

87 FT.

PROVIDED

3 SPACES

COMMERCIAL (C) ZONING

OUTDOOR 20 SEATS BUILDING SETBACKS REQUIRED NORTH (Side, NW. John Jones Dr.) 20 FT.

EAST (Front, SW, Wilshire Blvd.) WEST (Rear) LANDSCAPE BUFFER REQUIRED NORTH (Side, NW. John Jones Dr.) SOUTH (Side) EAST (Front, SW. Wilshire Blvd.)

PARKING REQUIRED

PARKING PROVIDED HANDICAP



INDEX TO DRAWINGS

SHEET NO

SHELLING.	DESCRIPTION		
C-1.0	COVER SHEET		
C-1.1	BOUNDARY and TOPOGRAPHIC SURVEY		
C-1.2	DEMOLITION PLAN		
C-2.0	SITE PLAN		
C-3.0	GRADING PLAN		
C-3.1	DRAINAGE PLAN		
C-3.2	EROSION CONTROL PLAN	1	
C-3.3	EROSION CONTROL PLAN DETAILS	r	
C-3.4	PROP. BASIN MAP]	
C-4.0	CHICK-FIL-A STANDARD DETAILS		
C-4.1	CHICK-FIL-A STANDARD DETAILS		
C-4.2	CHICK-FIL-A STANDARD DETAILS		
C-4.3	CHICK-FIL-A STANDARD DETAILS		
C-5.0	CONSTRUCTION DETAILS		
C-5.1	TXDOT STANDARD DETAILS		
PS-1.0	PLUMBING SITE PLAN		
L-100	LANDSCAPE PLAN		
L-101	LANDSCAPE DETAILS		
L-102	L-102 LANDSCAPE & MAINTENANCE SPECIFICATIONS		
(, , , ,	<u> </u>]	
(1	

5200 Buffington Road Atlanta, Georgia 30349-2998

INTERPLAN

1111111 ATE OF TEXAS ••••••••••••• STUART A. ANDERSON CENSED COMMENT A STUDENT A ASSET A ASS NAL Estuart A Anderson Date: 2025.01.21 15:37:41-05'00'

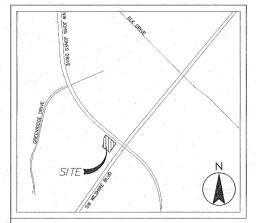
DRIVE BURLESON **X-FIL** 111 NW. JOHN JONES BURLESON, TX. 76028 SOUTH

FSR#02786

PERMIT REVISION SCHEDULE NO. DATE DESCRIPTION 1 12/2024 CITY COMMENTS

REVISION ISSUE LOG

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	BY
1	12/11/2024	CITY COMMENTS	C-1.0, C-2.0, C-3.3, C-3.4, C-4.0	RA



CITY OF BURLESON, JOHNSON COUNTY, TEXAS VICINITY MAP

TITLE POLICY NOTES:

GF NO.: 2211005732

ONDER POLICY DATE: APRIL 7, 2011

ONDER POLICY NO.: 2211005732.0

THE SURVEY WAS PREPARED IN CONJUNCTION WITH THE TITLE COMMITMENT PREPARED BY CHICAGO

TITLE INSURANCE COMPANY POLICY NO. 2211005732, DATED APRIL 7, 2011, AND IS SUBJECT TO THE

STATE OF FACIS CONTAINED THEREM, AND LISTED BELOW. POLICY DATE: APRIL 7, 2011

NAME OF INSURED: CHICK-FIL-A, INC., A GEORGIA CORPORATION

4. THE LAND REFERRED TO IN THIS POLICY IS DESCRIBED AS FOLLOWS:

TRACE : BEING ALL HAY CERTAN LOT, TRACE OR PARCEL OF LAND STUATED IN THE CITY OF RETERMINENT CONTROL OF THE CITY OF REPORT OF THE CITY OF REPORT CONTROL OF THE CITY OF REPORT CONTROL OF A TEXAS LIMITED PRINTERSPIP ITY DEED RECORDED IN DOLLAR 4549, PACE 859 OF THE BEST RECORDED RECORDS OF OUNISON COUNTY, TEXAS ACCORDING TO THE CITY OF BURISSON, JOHNSON COUNTY, TEXAS ACCORDING TO THE CITY OF BURISSON, SON SAME SENO A REPORT OF LOT 10 OF BUCKS 10 OF BURISSON COUNTY, TEXAS ACCORDING TO THE PACE ADDITION, AN ADDITION TO THE CITY OF BURISSON, JOHNSON COUNTY TEXAS ACCORDING TO THE PACE THE CORD RECORDED IN VOLUME 9, PACE 950 OF THE PACE ADDITION, AN ADDITION TO THE CITY OF BURISSON, JOHNSON COUNTY TEXAS ACCORDING TO THE PACE THE PACE ADDITION, AN ADDITION TO THE CITY OF BURISSON, JOHNSON COUNTY TEXAS ACCORDING TO THE PACE THE FEROM FEROMED IN VOLUME 9, PACE 950 OF THE PACE ADDITION, AND ADDITION OF THE PACE ADDITION OF THE PAC

TRACT II: CRITICAL ACCESS EASEMENT AS CREATED IN SHORT FORM LEASE, EXECUTED BY AND BETWEEN HEB GROCERY COMPANY, IP, A TEXAS LIMITED PARTHERSHIP AND CHICK-FIL-A, INC, A CECROCA CORPORATION, DATED PARE 4, 2011 AND LEEP FOR RECORD ON APRIL 7, 2011 AND RECORDO UNIDER CLERK'S FILE NO. 2011 DOOG8281, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXAS, AND BERNG EPICTED ON LEMBER 74" OF SINS 9-90RT FORM LESSES, SUBJECT OF TEXAS, MODERNO EPICTED ON LEMBER 74" OF SINS 9-90RT FORM LESSES, SUBJECT OF TEXAS, MODERNO EPICTED ON LEMBER 74" OF SINS 9-90RT FORM LESSES, SUBJECT OF TEXAS, MODERNO EPICTED ON LEMBER 74" OF SINS 9-90RT FORM LESSES, SUBJECT OF TEXAS, MODERNO EPICTED ON LEMBER 74" OF SINS 9-90RT FORM LESSES, SUBJECT OF TEXAS, MODERNO EPICTED ON LESSES, SUBJECT OF TEXAS, MODERNO EPICT, SUBJECT OF TEXAS, MODERNO EPICT ON LESSES, SUBJECT OF TEXAS, MODERNO EPICT ON LESSES, SUBJECT OF TEXAS, MODERNO EPICT ON LESSES, SUBJECT OF TEXAS, SUBJECT OF TEXAS,

SCHEDULE "B"

LOWING RESTRICTIVE COVENANTS OF RECORD ITEMIZED BELOW (WE MUST EITHER INSERT RECORDING DATA OR DELETE THIS EXCEPTION.);

VOLUME 4290, PAGE 722, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXAS; BUT OMITTING ANY COMENANT OR RESTRICTION BASED ON RACE, COLOR, RELIGION, SEX, HANDICAP, FAMILIAL, STATUS OR NATIONAL ORIGIN UNLESS AND ONLY TO THE EXTENT THAT SAM COVENANT (A) IS EXEMPT VINDER CHAPTER 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCROMMENT AGAINST HANDICAPED PERSONS, SUBJECT TO

2. SHORTAGES IN AREA. (TRACT ONE)

ANY DISCREPANCIES, CONFLICTS, OR SHORTAGE IN AREA OR BOUNDARIES LINES, OR ANY ENCROACHMENTS OR PROTRUSIONS, OR ANY OVERLAPPING OF IMPROVEMENTS. (TRACT TWO) 3. HOMESTEAD OR COMMUNITY PROPERTY OR SURVIVORSHIP RIGHTS, IF ANY, OF ANY SPOUSE OF ANY

- ANY TITLES OR RIGHTS ASSERTED BY ANYONE, INCLUDING BUT NOT LIMITED TO, PERSONS, THE PUBLIC, CORPORATIONS, GOVERNMENTS OR OTHER ENTITIES,
- TO TIDELANDS, OR LANDS COMPRISING THE SHORES OR BEDS OF NAVIGABLE OR PERENNIAL RIVERS AND STREAMS, LAKES, BAYS, GULFS OR OCEANS, OR
- b. TO LANDS BEYOND THE LINE OF THE HARBOR OR BULKHEAD LINES AS ESTABLISHED OR CHANGED BY ANY GOVERNMENT. OR
- c. TO FILLED-IN LANDS, OR ARTIFICIAL ISLANDS, OR
- d. TO STATUTORY WATER RIGHTS, INCLUDING RIPARIAN RIGHTS, OR
- e. TO THE AREA EXTENDING FROM THE LINE OF MEAN LOW TIDE TO THE LINE OF VEGETATION, OR THE RIGHT OF ACCESS TO THAT AREA OR EASEMENT ALONG AND ACROSS THAT AREA.
- STANDBY FEES, TAXES AND ASSESSMENTS BY ANY TAXING AUTHORITY FOR THE YEAR 1996, AND DIBSEQUENT YEARS, AND SUBSEQUENT TAXES, AND ASSESSMENTS BY ANY TAXING AUTHORITY FOR PRIOR YEARS DUE TO CHANGE IN LAND USAGE OR OWNERSHIP. NOT A SURVEY RELATED ITEM a. ALI, LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF COAL, LIGHTE, OIL, GAS AND OTHER MINERAES, TOGETHER WITH ALL RIGHTS, PRINCIPERS, AND IMMAINTIES RELATING THEREO, APPEARNI IN THE PUBLIC RECORDS WHETHER USED IN SCHEDULE OR HOT. THERE WAY BE LEASE, GRANTS, EXCEPTIONS OR RESERVATIONS OF MINERAL INTEREST THAT ARE NOT LISTED. NOT A SUNCY RELATED.

b. THE FOLLOWING ITEMS AS SHOWN OR PROVIDED FOR ON PLAT RECORDED IN VOLUME 10, PAGE 268, PLAT RECORDS, JOHNSON COUNTY, TEXAS

- 2) TEN (10) FOOT UTILITY EASEMENT; SUBJECT TO, AS SHOWN
- PORTION OF A TWENTY FIVE (25) FOOT WATER & SANITARY SEWER LOCATED IN SOUTHWESTERLY CORNER AREA; SUBJECT TO, AS SHOWN
- 4) TWENTY (20) FOOT BUILDING LINE ALONG THE NORTHEAST SIDE. SUBJECT TO, AS SHOWN c. RELOCATION RIGHTS RETAINED IN UTILITY EASEMENT RESERVED BY THE CITY OF BURLESON IN ORDINANCE C-428, DATED FEBRUARY 27, 1992, FILED MAY 28, 1992, RECORDED IN VOLUME 1821, PAGE 988, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXPS, SUBJECT LOST

d. EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT.

GRANTED TO: TEXAS ELECTRIC SERVICE COMPANY PURPOSE: EASEMENT AND RIGHT OF WAY RECORDING DATE: DECEMBER 22, 1979 RECORDING NO: VOLUME 978, PAGE 700, REAL PROPERTY RECORDS, JOHNSON COUNTY, TEXAS, NOT SUBJECT TO

e. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT:

ENTILLED: WARDER N THAT CENTAN DESCRIPTION OF THE PROPERTY PROPERTY DATED: MARCH 1, 1989 SECURITED BY TOM PETERS AND WIFE, RAMONA PETERS, AND GLENN WILSON AND WIFE, RECORDING ONLY UNLINE 1407, PAGE 629, REAL PROPERTY RECORDING ON STUDIES 107, PAGE 629, REAL PROPERTY RECORDING ON STIPLIATIONS TOWN STIPLIATIONS FOR STIPLIATIONS FERRICES FOR, MONOL OTHER THINGS: TERMS, CONDITIONS AND STIPLIATIONS REFERENCE IS HEREOF MADE 10 SAID DOCUMENT FOR FULL PARTICULARS. NOT SUBJECT TO.

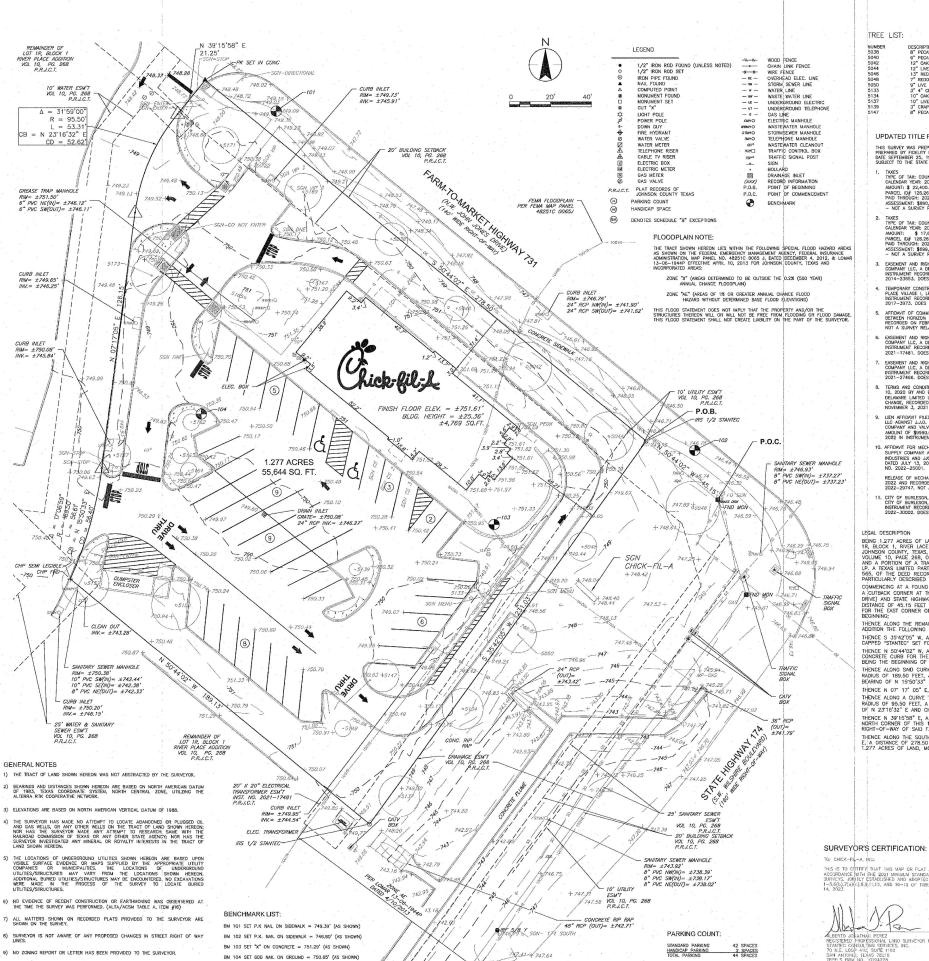
INLET LOCATED ON SUBJECT PROPERTY AS SHOWN ON SURVEY LAST REVISED MARCH 17, 2011. EXISTING IMPROVEMENTS SHOWN ON SURVEY.

g. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS SET FORTH THEREIN AS DISCLOSED BY THE DOCUMENT.

EMITTEE, MENORANUM OF LESSE
LESSER: HE MERCERY COMPANY, LP
LESSER: HE MERCERY COMPANY, LP
LESSER: HONORON CHASE BANK, N.A.
RECORDINO DATE: FEBRUARY 14, 2011, 2011, 2011–3528, REAL PROPERTY RECORDS, JOHNSON
COUNTY, TEXAS (RFECTS TRACT II GNLY). SUBJECT TO

b. TERMS, PROVISIONS, CONDITIONS AND EASEMENTS CONTIANED IN GROUND LEASE AGREEMENT, AS EVIDENCED BY SHORT FORM LEASE BY AND BETWEEN HEB GROCERY COMPANY, LP., A TEMAS LUMIED PARTICIPATION AND THE APPL. 4, 2011, A DEGRADA COMPORTION, DATED APPL. 4, 2011, FILED FOR RECORD ON APPL. 7, 2011 AND RECORDED UNDER CLERK'S FILE NUMBER NO. 2011000/2818, INCAR. PROPERTY RECORDS, OLINIONS COUNTY, TOXAS, SUBJECT 10.

i. ANY AND ALL LIENS ARISING BY REASON OF UNPAID BILLS OR CLAMS FOR WORK PERFORMED OR MATERIALS FURNISHED IN CONNECTION WITH IMPROVEMENTS PLACED, OR TO BE PLACED, UPON THE SUBJECT LANC. COMMONWEATH LAND TITLE INSURANCE COMPANY FORM T-1 (REV. 02/01/10) (ORDER §: 2211005732) PAGE 4 POLICY NO. 22110057320 CONTINUATION OF SCHEDULE 9 GRORER NO. 2211005732. NOT A SURVEY RELIZED ITEM



TREE LIST:

4" CRAPE MYRTLE 5" 5" 7" WEST JUNIPE 7" 4" 5" WEST JUNIPE 8" PECAN
3" 2" CRAPE MYRTLE
3" 2" CRAPE MYRTLE
3" 2" CRAPE MYRTLE
12" REDOAK
2" CRAPE MYRTLE
9" CHINESE PISTACHE
9" LIVE DAK
10" CHINESE PISTACHE

UPDATED TITLE REPORT

THIS SURVEY WAS PREPARED IN CONJUNCTION WITH THE TITLE REPORT PREPARED BY FIDELITY NATIONAL TITLE, ORDER NO. 39000194, BEGINNING DATE SEPTEMBER 25, 1998 EXTENDING THROUGH JUNE 23, 2023 AND IS SUBJECT TO THE STATE OF FACIS CONTAINED THEREIN, AND LISTED BELOW

ASSESSMENT: \$890,645.00 (TOTAL = LAND AND IMPROVEMENTS, IF ANY).

- NOT A SURVEY RELATED ITEM

ASSESSMENT: \$699,999.00 (TOTAL = LAND AND IMPROVEMENTS, IF ANY).

NOT A SURVEY RELATED ITEM

EASEMENT AND RIGHT OF WAY IN FAVOR OF ONCOR ELECTRIC DELIVERY COMPANY LLC, A DELAWARE LIMITED LABILITY COMPANY SET FORTH IN INSTRUMENT RECORDED ON OCTOBER 31, 2014 IN INSTRUMENT NO. 2014—23:653. DOES NOT EFFECT

TEMPORARY CONSTRUCTION EASEMENT AGREEMENT IN FAVOR OF COUNTRY PLACE VILLAGE I, LP, A TEXAS LIMITED PARTNERSHIP SET FORTH IN INSTRUMENT RECORDED ON FEBRUARY 17, 2017 IN INSTRUMENT NO. 2017—3973. DOES NOT EFFECT

AFFIDAVIT OF COMMENCEMENT DATED FEBRUARY 8, 2019, BY AND BETWEEN HORIZON CONSTRUCTION COMPANY AND CHICK-FIL-A, RECORDED ON FEBRUARY 12, 2019 IN INSTRUMENT NO. 2019-3 NOT A SURVEY RELATED ITEM

EASEMENT AND RIGHT OF WAY IN FAVOR OF ONCOR ELECTRIC DELIVERY COMPANY LLC, A DELWARE LIMITED LABILITY COMPANY SET FORTH IN INSTRUMENT RECORDED ON MAY 14, 2021 IN INSTRUMENT NO. 2021–17481. DOES NOT AFFECT (AS SHOWN)

EASEMENT AND RIGHT OF WAY IN FAVOR OF ONCOR ELECTRIC DELIVERY COMPANY LLC, A DELAWARE LIMITED LIABILITY COMPANY SET FORTH IN INSTRUMENT RECORDED ON JULY 27, 2021 IN INSTRUMENT NO 2021—27466. DOES NOT AFFECT

TERMS AND CONDITIONS OF MEMORYNDUM OF LEASE DATED FEBRUARY 10, 2020 BY AND BETWEEN H-E-B, LP, AND VALVOUNC LLC, A DELWAWER LIMITED LUBBLITY COMPANY DEPK VALVOUNCE INSTAIR OIL CHANGE, RECORDED ON NOTWEETS J, 2021 IN INSTRUMENT NO. 2021—41801. DOES NOT AFFECT

LIEN AFFIDAVIT FILED BY CRIS W. CRAFT AND CRUSADERS INDUSTRIES, LLC AGNISTI J.JO. CONSTRUCTION SOUTHWEST, LLC H.E. BUTT GROCER COMPANY AND VALVOLINE, LLC DBB VALVOLINE LUBRICANTS, LLC, IN THE AMOUNT OF \$9990.00, DATED MAY 13, 2022 AND RECORDED MAY 13, 2022 IN INSTRUMENT NO. 2022—19962. DOES NOT AFFECT AFFIDAVIT FOR MECHANICS AND MATERIALMANS LIEN FILED BY MOORE SUPPLY COMPANY AGAINST H.E. BUTT GROCERY COMPANY, CRUSADER'S NOUSTRIES AND JUD CONSTRUCTION, IN THE AMOUNT OF \$445.10, DATED JULY 13, 2022 AND RECORDED JULY 14, 2022 IN INSTRUMENT NO. 2022—25001.

LEGAL DESCRIPTION
BEING 1.277 ACRES OF LAND MORE OR LESS, AND BEING A PORTION OF LOT
18, BLOCK 1, RIVER LACE ADDITION, AN ADDITION TO THE CITY OF BURLESON,
VOLUME 10, PAGE 288, OF THE PHAT RECORDS OF JOINSON COUNTY, TEXAS
AND A PORTION OF A TRACT OF LAND CONVEYED TO HEB GROCERY COMPANY,
LP, A TEXAS LIMITED PARTICISENHELY BY DEED RECORDED IN VOLUME 4049, PAGE
565, OF THE DEED RECORDS OF JOINSON COUNTY, TEXAS, BBIND MAY
18, THE SAME DEALINES AS FOLLOWS,
SEE CONTROLLED TO THE SAME DEALINES AS FOLLOWS.

COMMENCING AT A FOUND TO-DOT MONUMENT TYPE II ON THE NORTH END OF A CUTBACK CORNER AT THE INTERSECTION OF F.M. 731 (N.W. JOHN JOHES DEVICE) AND STARE HIGHWAY 174 (S.W. WILSHINGE BOULEVARD), NO 4440 2° W, DEVICE AND STARE HIGHWAY 174 (S.W. WILSHINGE BOULEVARD), NO 4440 2° W, NORTH HIGH STARE OF THE STARE SAME BEING THE POINT OF BEONNING:

THENCE S 35'42'05" W, A DISTANCE OF 231.03 FEET TO A 1/2 INCH IRON F CAPPED "STANTEC" SET FOR THE SOUTH CORNER OF THIS 1.277 ACRES; THENCE N 50'44'02" W. A DISTANCE OF 189.13 FEET TO AN "X" FOUND ON CONCRETE CURB FOR THE WESTERMINDST CORNER OF THIS 1.277 ACRES, SAN BEING THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT; BEING THE BEGINNING OF A NON-TANGENT COUNCE TO THE LEFT; THENCE ALONG SAID CURVE TO THE LEFT, A DISTANCE OF 56.61 FEET, HAVING RADIUS OF 189.50 FEET, A CENTRAL ANGLE OF 1706'59" SECONDS, A CHORD BEARING OF N 15'50'33" E AND CHORD DISTANCE OF 56.40 FEET, TO A POIN' THENCE N 07' 17' 05' E, A DISTANCE OF 128.15 FEET TO A POINT;
THENCE ALONG A CURVE TO THE RICHT A DISTANCE OF 53.31 FEET, HAVING A RADIUS OF 95.50 FEET, A CENTRAL ANGLE OF 31' 59' 00", A CHORD BEARING OF N 23'15'32" E AND CHORD DISTANCE OF 52.62 FEET, TO A POINT. THENCE N 39'15'58" E, A DISTANCE OF 21.25 FEET TO A PK NAIL SET FOR NORTH CORNER OF THIS 1.277 ACRES, SAME BEING ALONG THE SOUTHWEST RIGHT-OF-WAY OF SAID FM. 731:

THENCE ALONG THE SOUTHWEST RIGHT-OF-WAY OF SAID F.M. 731, S 50*44*0 E, A DISTANCE OF 278.50 FEET TO THE POINT OF BEGINNING AND CONTAININ 1.277 ACRES OF LAND, MORE OR LESS.

V JOHN JONES I SON, TX 76028 7 S 0 STREET, THE 111 NW BURLES

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Chick-fil-A 5200 Buffington Road Atlanta, Georgia 30349-2998 P: (404) 765 8000

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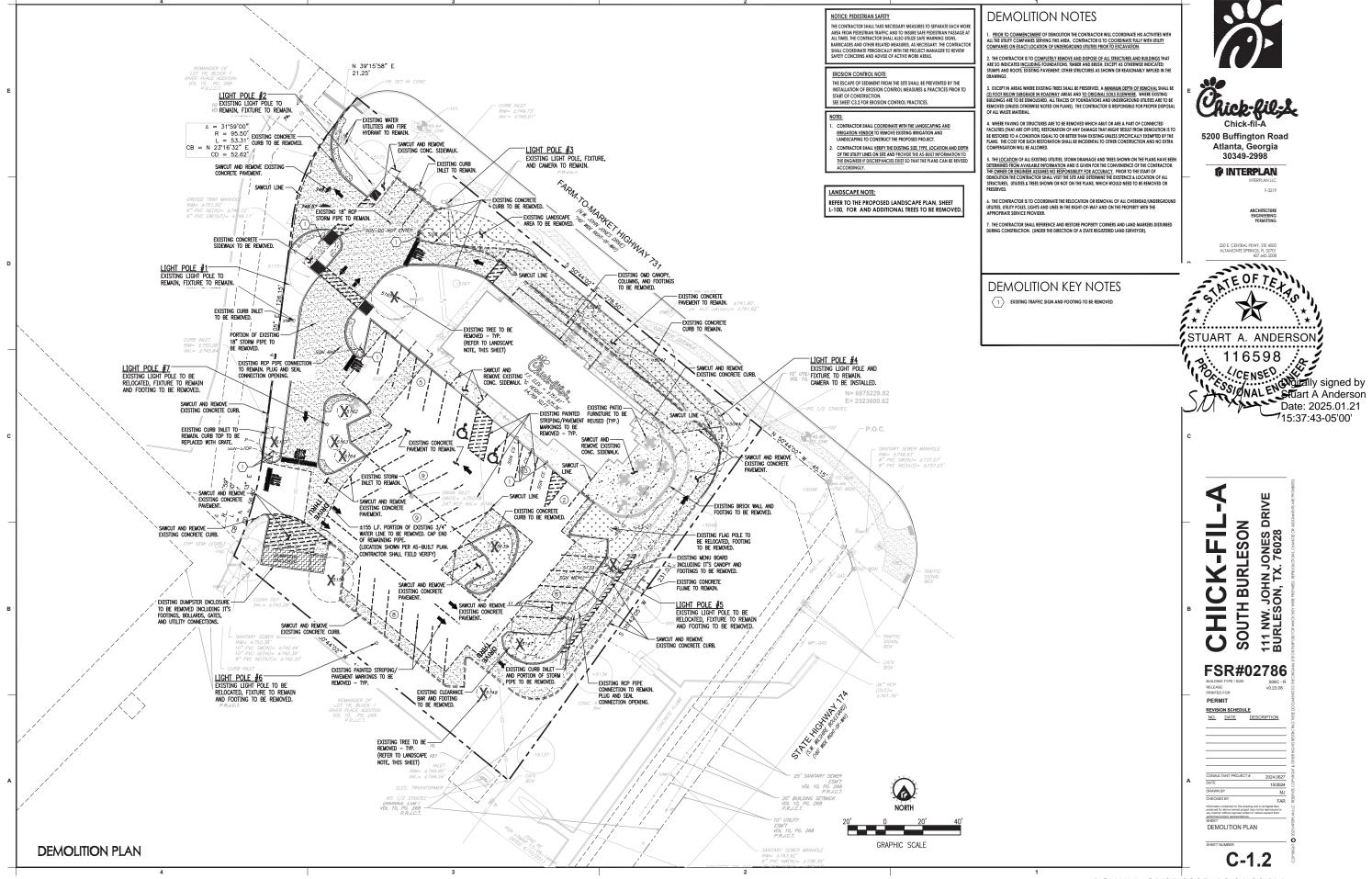
xxxxxxxxx REVISION SCHEDULE NO. DATE

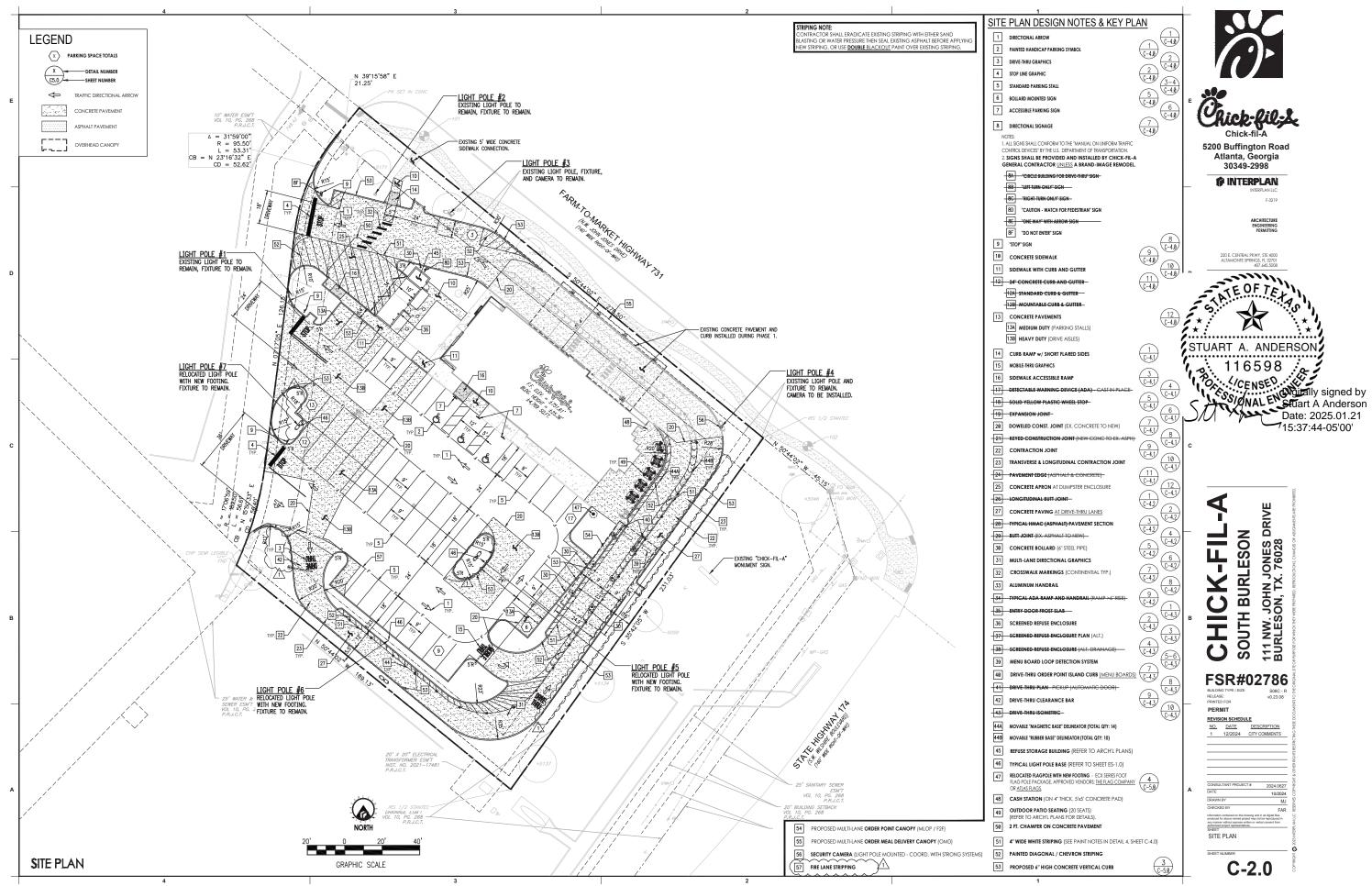
CONSTITUTANT DECISET # 222012829 Project Status 2023/09/01 DRAWN BY EM/KGM

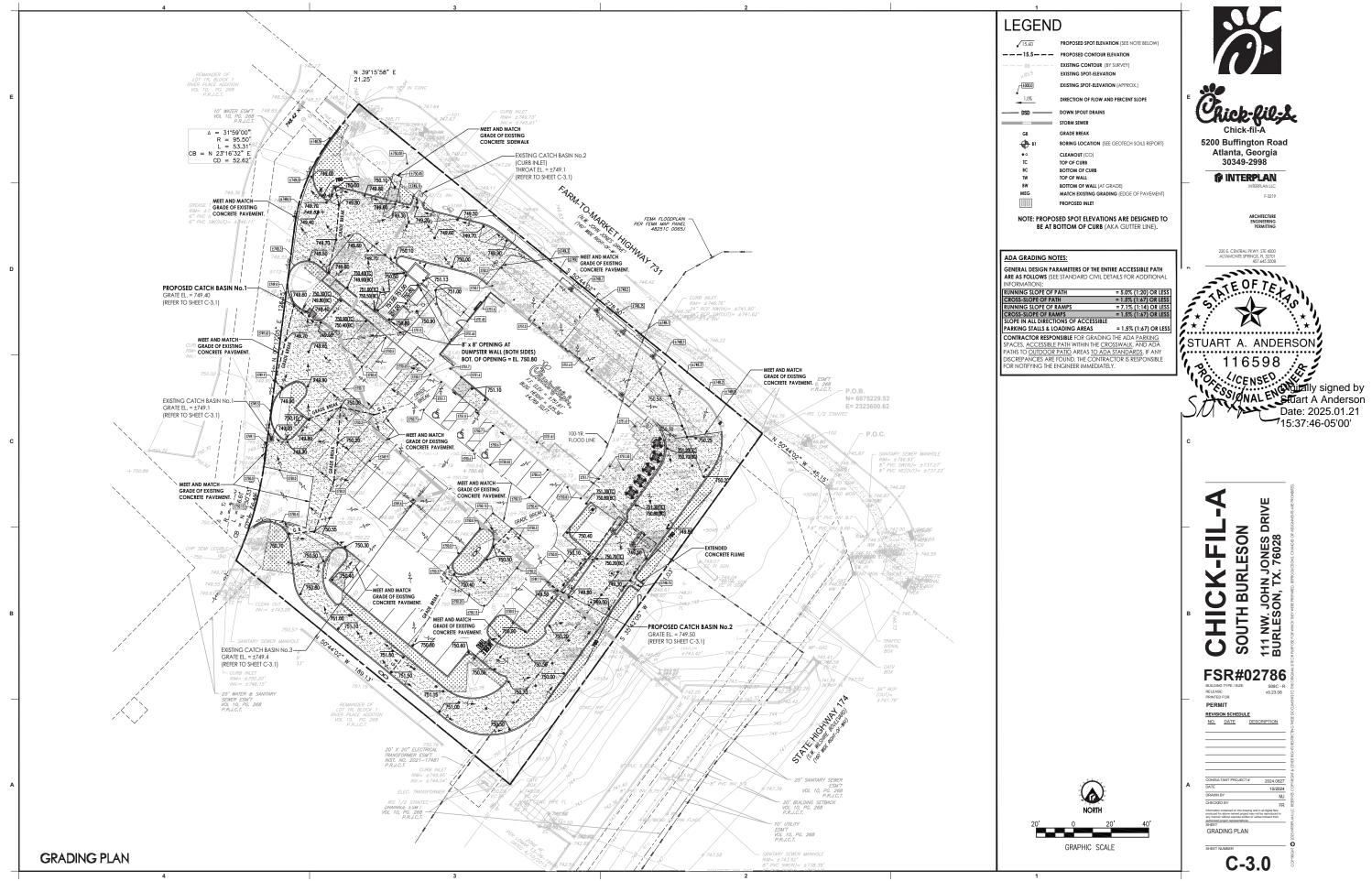
SHEET

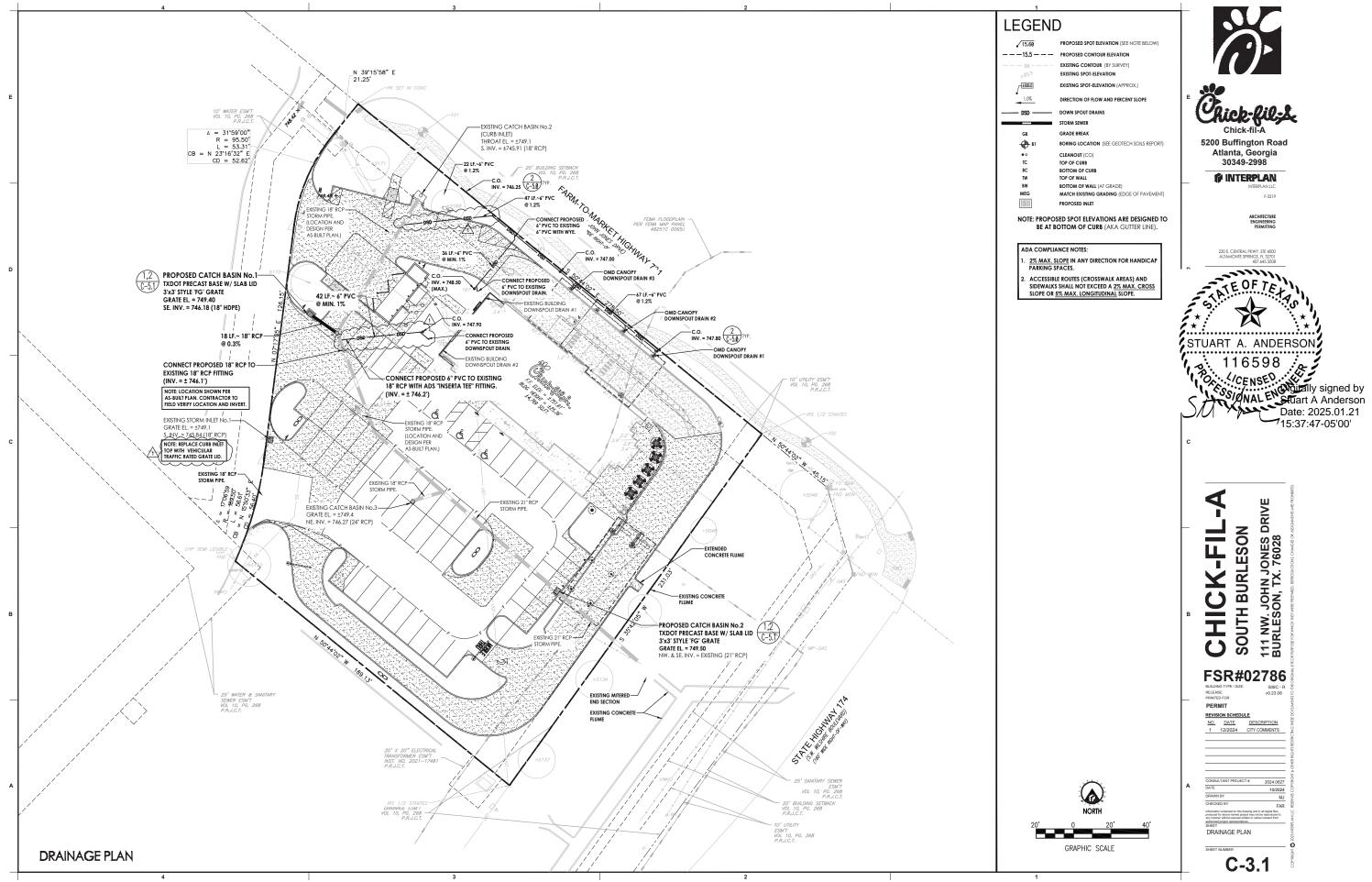
ALTA/NSPS SURVEY

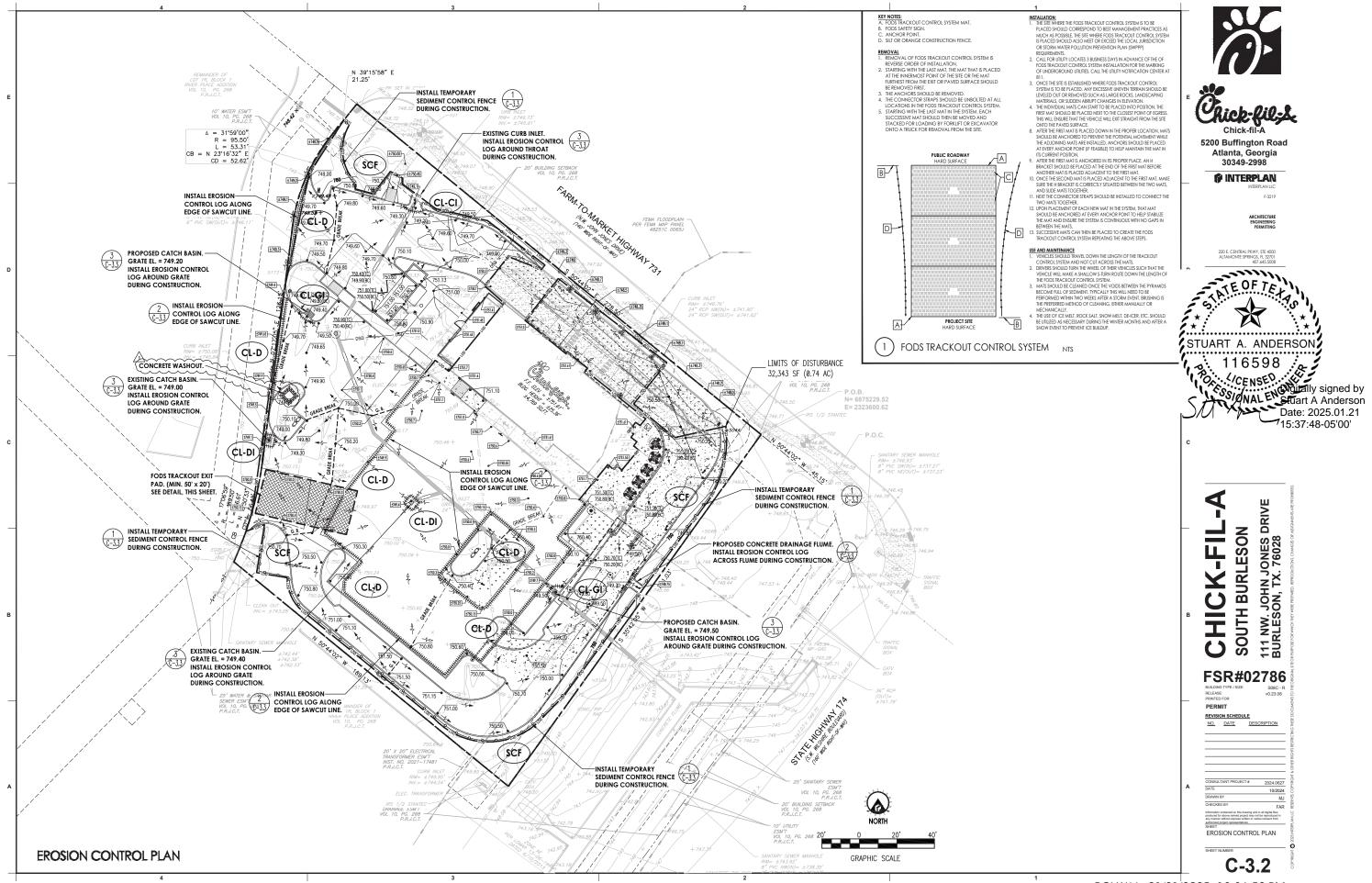
C-1.1

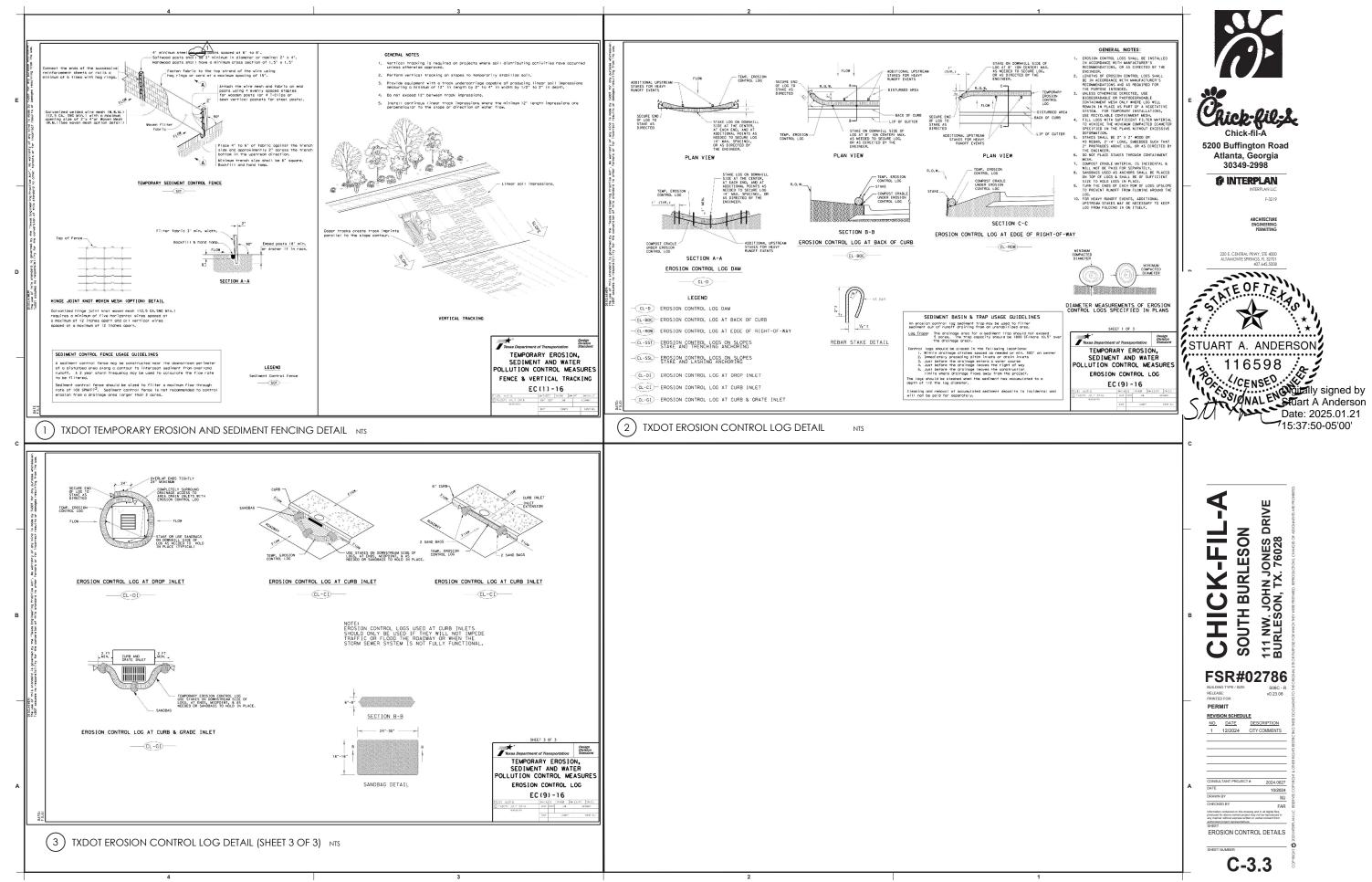


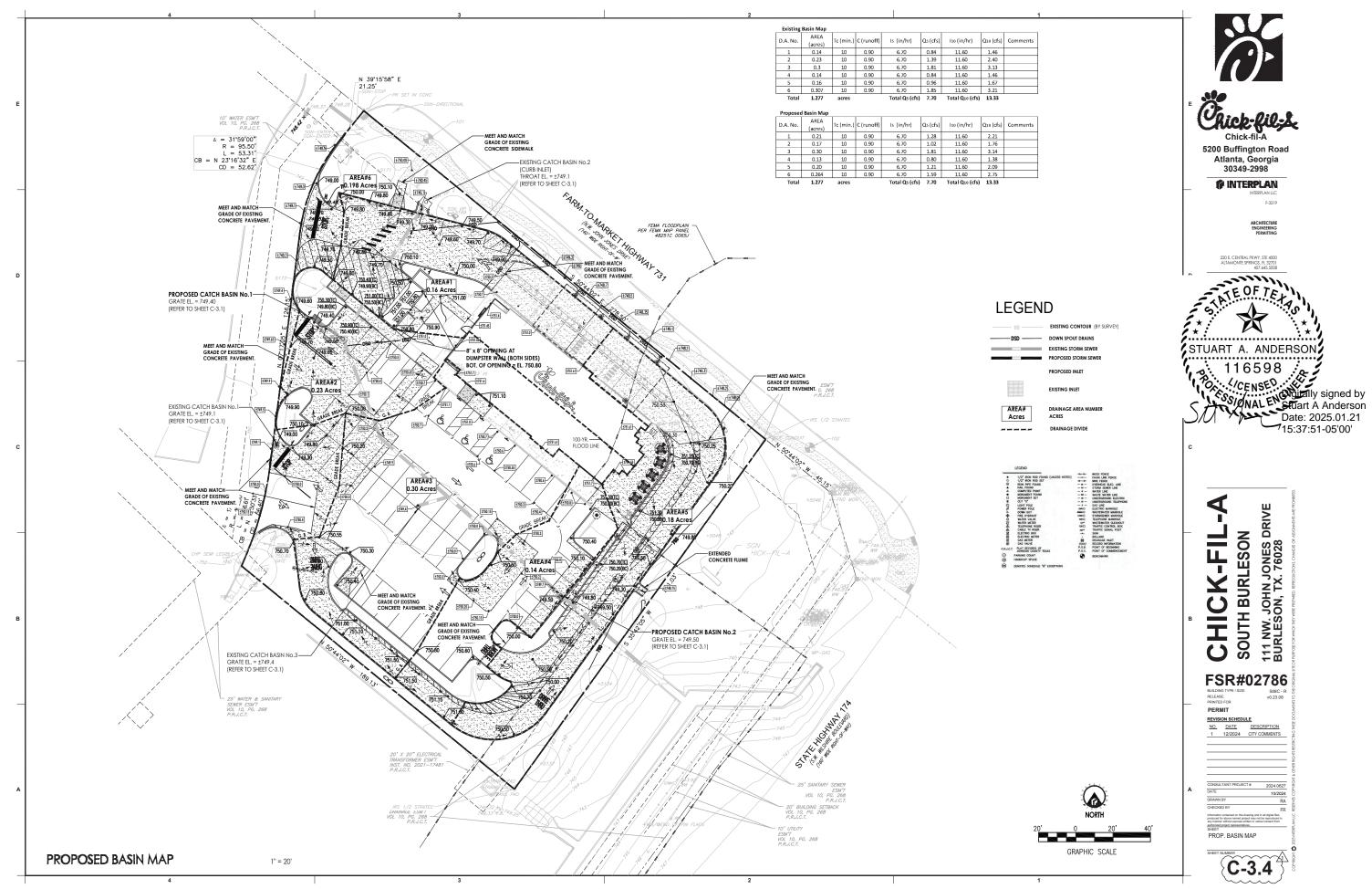


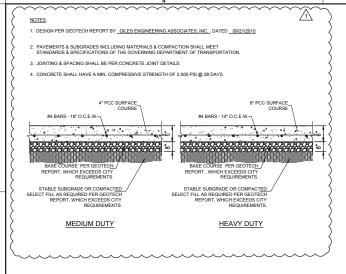


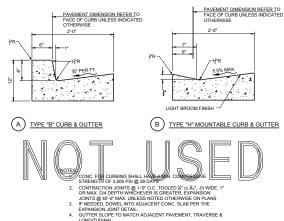


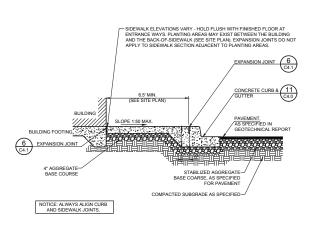


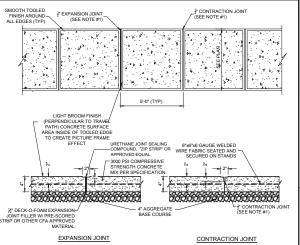






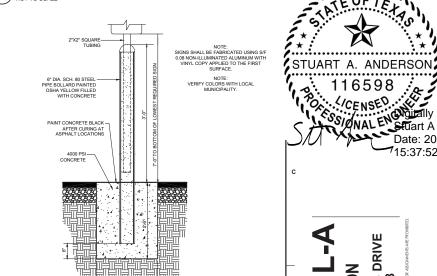




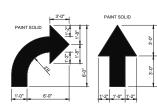


JOINTS AT 5-0° O.C. TOOLED $\frac{1}{2}$ * WIDE, 1° DEEP OR MAX. $\frac{9}{4}$ DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20 MAX. & ALL P.C.S. JUNESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.

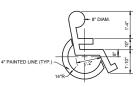
9 CONCRETE SIDEWALK
NOT TO SCALE



5 BOLLARD MOUNTED SIGN
ONT TO SCALE



DIRECTIONAL ARROW

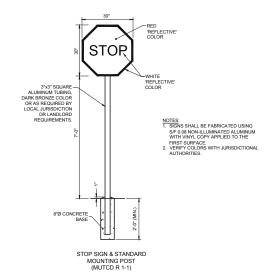


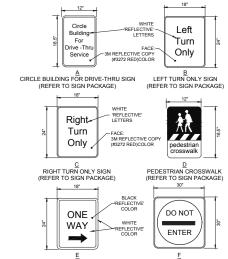
ACCESSIBILITY SYMBOL

- SECHERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL PAVENERY MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 38 OF THE CURRENT MANUL ON UNIFORM TRAFFIC CONTROL DEVICES.

 CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT A YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERSIFICATION BY THE GENERAL CONTRACTOR ITS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.
- 1 PAVEMENT MARKINGS 1 NOT TO SCALE

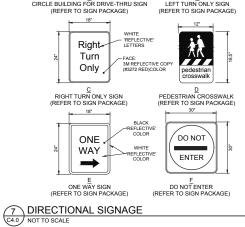






CONCRETE CURB & GUTTER

C4.0 NOT TO SCALE





SIDEWALK W/ CURB & GUTTER

C4.0 NOT TO SCALE





-WHITE 'REFLECTIVE' COLOR

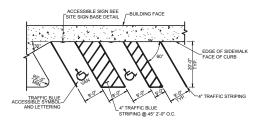
-2"x2" SQ. TUBING

ACCESSIBLE PARKING SIGN (MUTCD R 7-8 AND R 7-8P5)

(CIVIL TO VERIEY SIGN PANELS

STOP BAR

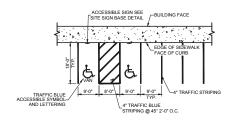
8 STOP SIGN C4.0 NOT TO SCALE



ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.

2. PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITIES & ADA STANDARDS. SEE SITE PLAN FOR COMPLETE STRIPING LAYOUT.

- 4. CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PAIN
- 5. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS 6. NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK.
- 7. ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUX CURB OR A RAMP.
- 8. ALL DIMENSIONS ARE TO CENTERLINE OF STRIPE UNLESS NOTED OTHERWISE
- 9. STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR
- 4 60° ANGLED PARKING STRIPING NOT TO SCALE



ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN SLOPE IN ANY DIRECTION. IF ONLY ONE ACCESS ISLE IS INSTALLED, IT IS TO BE A VAN SIZE.

- 5. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS
- 6. NO WHEEL STOPS TO BE INSTALLED WHEN PARKING IS ADJACENT TO SIDEWALK
- 7. ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.
- 8. ALL DIMENSIONS ARE TO CENTERLINE OF STRIPE UNLESS NOTED OTHERWISE 9. STRIPING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR
- 3 90° PARKING STRIPING NOT TO SCALE

PAVEMENT MARKINGS - 2

OUT TO SCALE

ROXALV - 01/21/2025 12:37:12 PM

CENSE OF THE STUART A Anderson Date: 2025.01.21 15:37:52-05'00' BURLESON K-FIL SOUTH BURLESON 111 NW. JOHN JONES D BURLESON, TX. 76028 S H FSR#02786 PERMIT REVISION SCHEDULE NO. DATE DESCRIPTION 1 12/2024 CITY COMMENTS CHICK-FIL-A STANDARD DETAILS SHEET NUMBER

C-4.0

5200 Buffington Road

Atlanta, Georgia 30349-2998 INTERPLAN

200011111

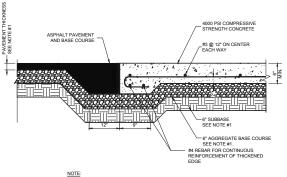
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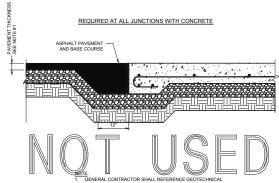
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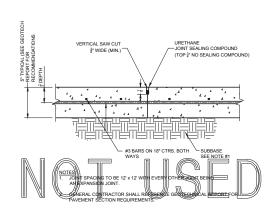
116598

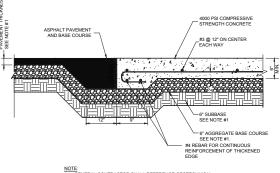
STOP BAR-

EDGE OF PAVEMENT OR FACE OF CURE









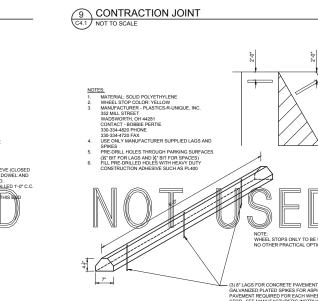
(12) CONCRETE APRON AT TRASH ENCLOSURE
(C4.1) NOT TO SCALE

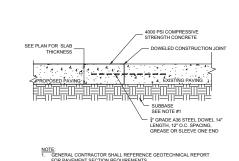


CONTRACTOR TO SAW CUT, REMOVE AND REPLACE 2' OF EX. ASPHALT

11 PAVEMENT EDGE DETAIL









2° (MIN.)

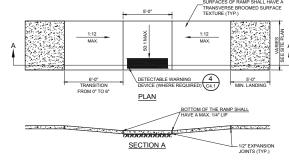
5 SOLID PLASTIC WHEEL STOP

000000 00000000000000 ELEVATION

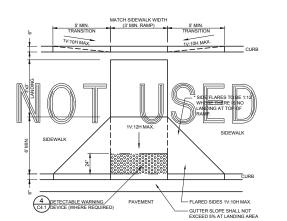
4 DETECTABLE WARNING DEVICE

On NOT TO SCALE





3 SIDEWALK ACCESSIBLE RAMP NOT TO SCALE



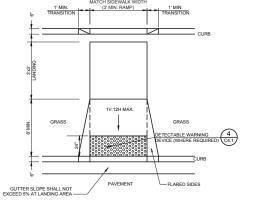
CIVIL TO VERIFY RAMP

REQUIREMENTS BY STATE

2 CURB RAMP w/ FLARED SIDES

6 EXPANSION JOINT NOT TO SCALE

CIVIL TO VERIFY RAMP REQUIREMENTS BY STATE.





5200 Buffington Road Atlanta, Georgia 30349-2998

₱ INTERPLAN

22201111

ATE OF TEXAS

....... STUART A. ANDERSON

116598

116598 CENSE STURNLE STUART A Anderson Date: 2025.01.21

15:37:54-05'00'

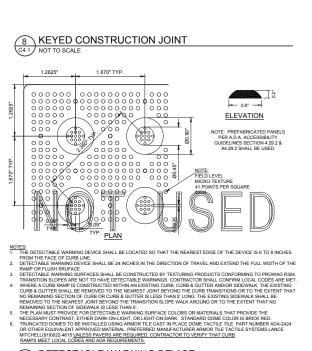
FSR#02786 PERMIT NO. DATE DESCRIPTION CHICK-FIL-A STANDARD

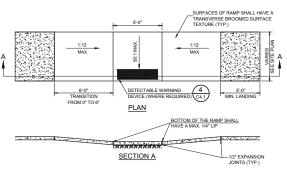
C-4.1

DETAILS

SHEET NUMBER

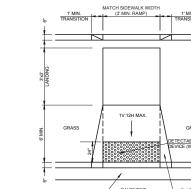
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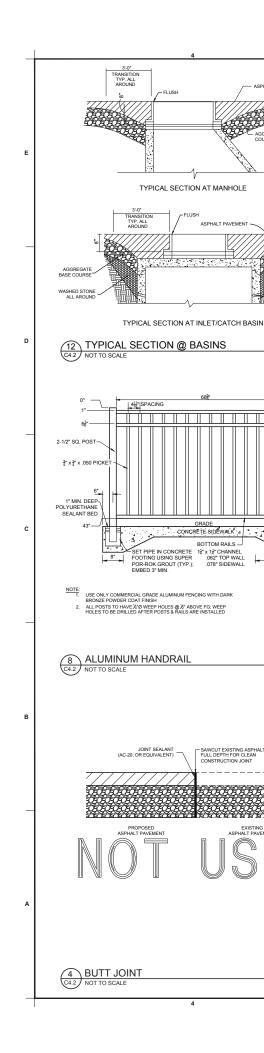


NOTES:

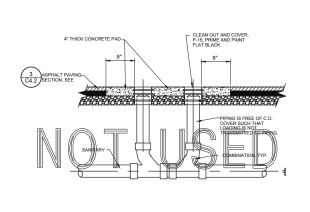
THE SURFACE OF THE RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL
CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.
2. CONSTRUCT PER AD.A. STANDARDS.
3. REFER TO PLANS FOR ADJACENT SLOPES.
4. THE CROSS ADDICE OF THE RAMP SHALL BE SHALL BE NO GREATER THAN 1:50.
5. CONSTRUCTION OF THE RAMP SHALL MATCH ADJOINING SIDEWALK DETAIL.
6. CONCRETE SHALL BEP.AC. 500 PSI.



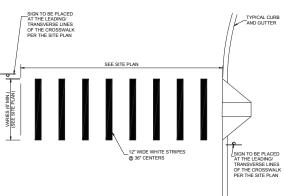
1 CURB RAMP w/ SHORT FLARED SIDES



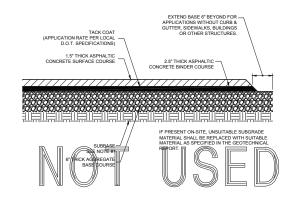
BOTTOM RAILS -



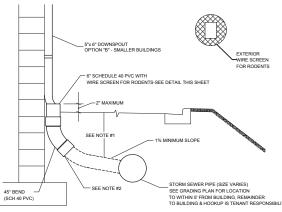
CLEAN-OUT OUTSIDE OF BUILDING
NOT TO SCALE



- MARKINGS FOR STREET SHALL BE ACCORDING TO LOCAL CODE REQUIREMENTS AND AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- 2 MARKINGS WITHIN PRIVATE PARKING LOT SHALL BE PER THIS DETAIL
- CROSSWALK MARKINGS



3 TYPICAL HMAC PAVEMENT SECTION
C42 NOT TO SCALE



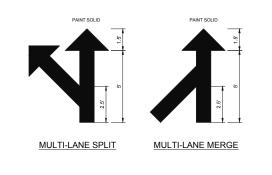
- NOTES

 1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE

 2. A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.

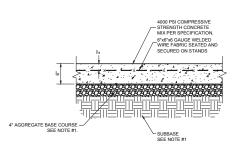
 3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BIULDING. STEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK NICULIONIST HER GOODEN'S GREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.

8 BUILDING DOWNSPOUT CONNECTION NOT TO SCALE

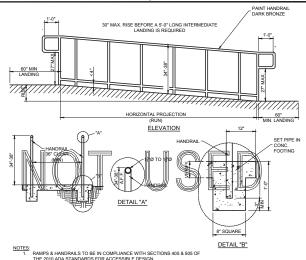


PARKING LOT STATE OF THE PARKING LOT STATE OF THE PARKING LOT STATE OF THE PARKING WHITE STATE PARKING ON ASPHALT & YELLOW

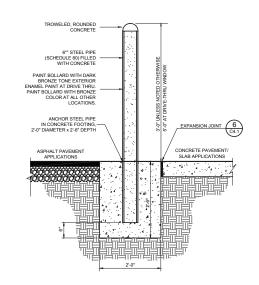
6 MULTI-LANE DIRECTIONAL GRAPHICS
NOT TO SCALE



2 CONCRETE PAVEMENT DRIVE-THRU LANE
(C42) NOT TO SCALE

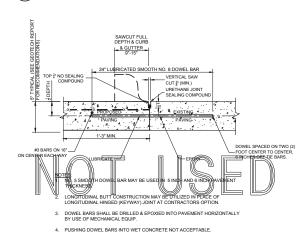


9 TYPICAL ADA RAMP & HANDRAIL
NOT TO SCALE



5 CONCRETE BOLLARD

OC 1.0 NOT TO SCALE



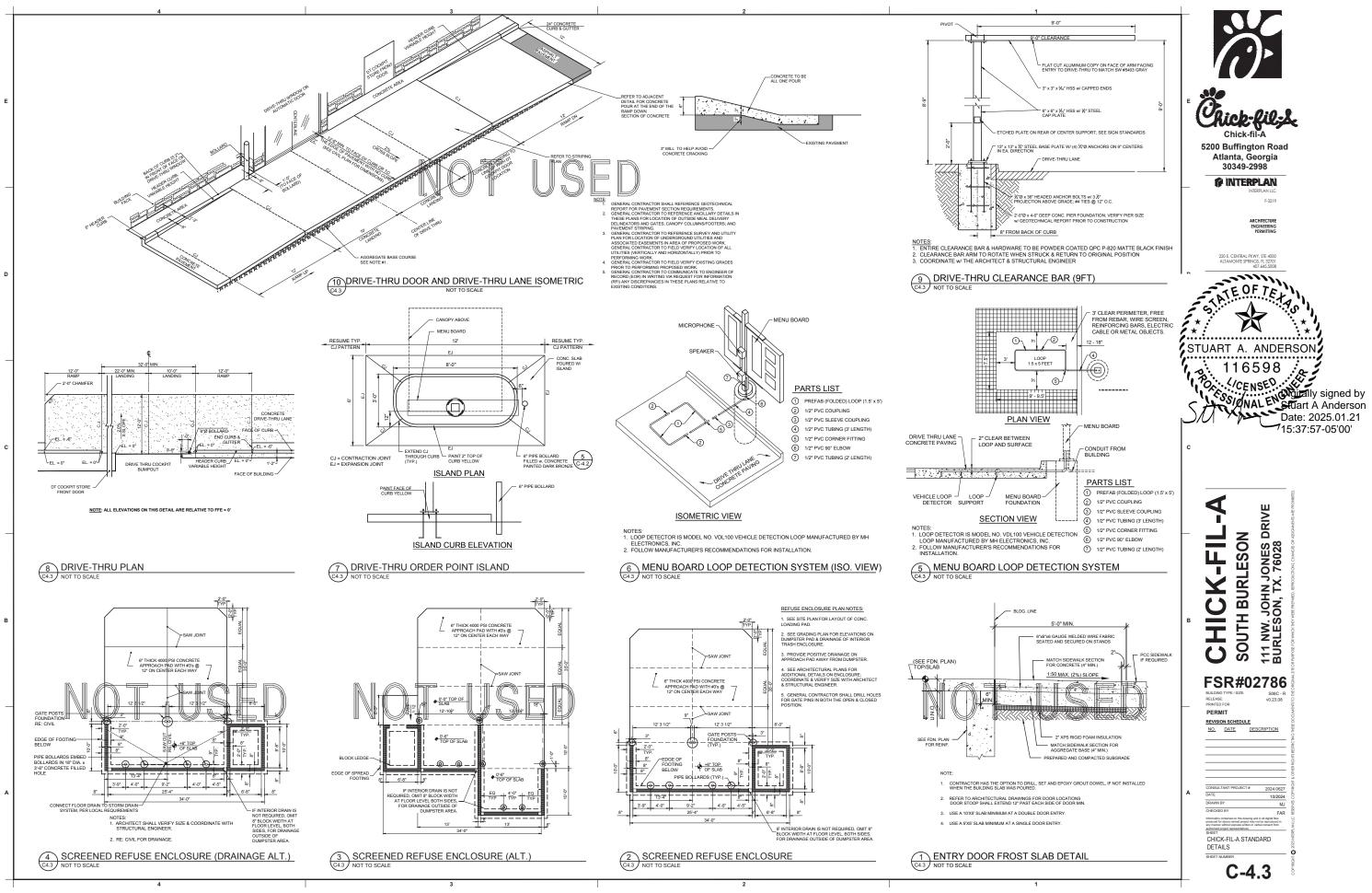
1 LONGITUDINAL BUTT JOINT NOT TO SCALE

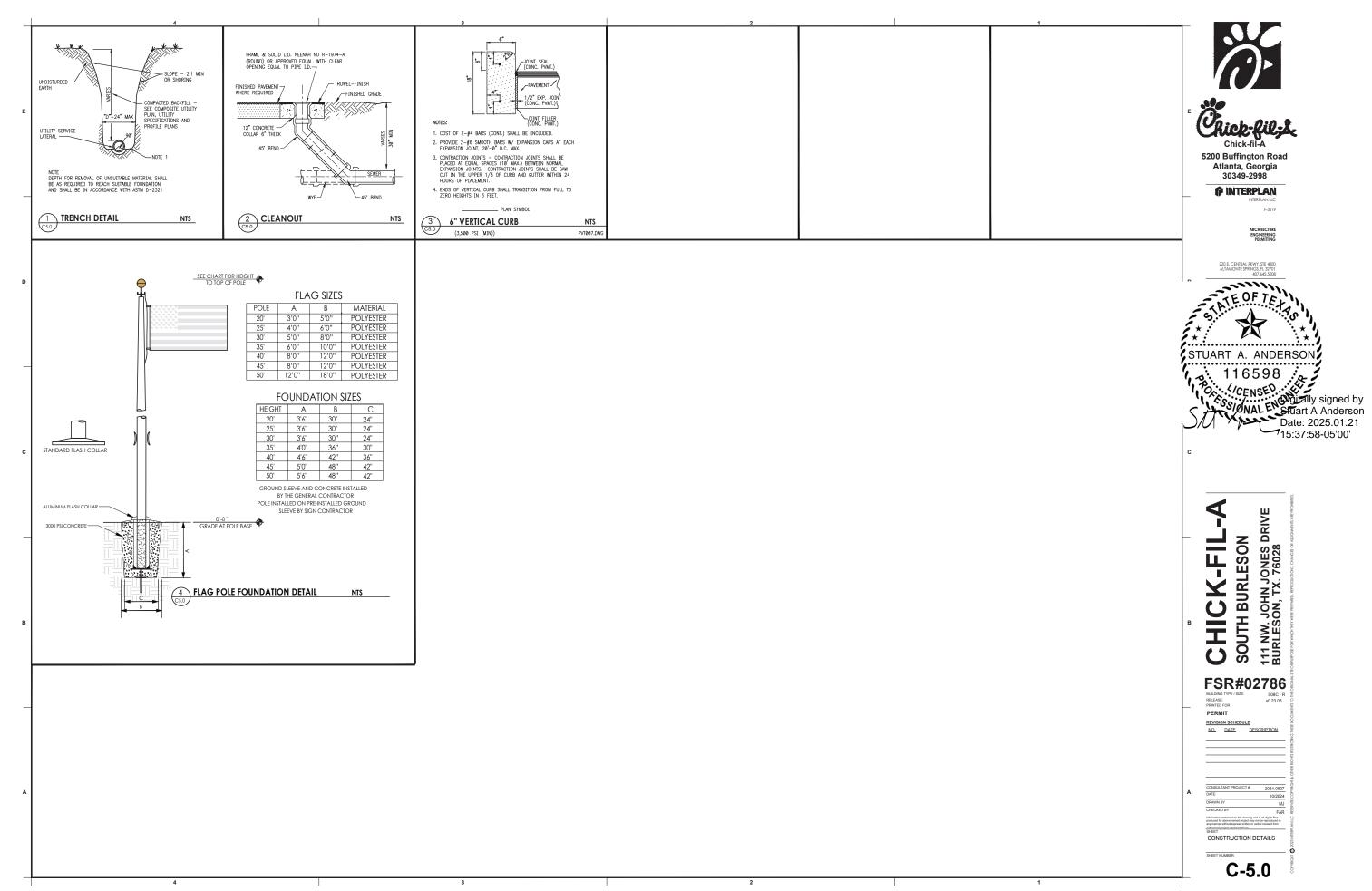


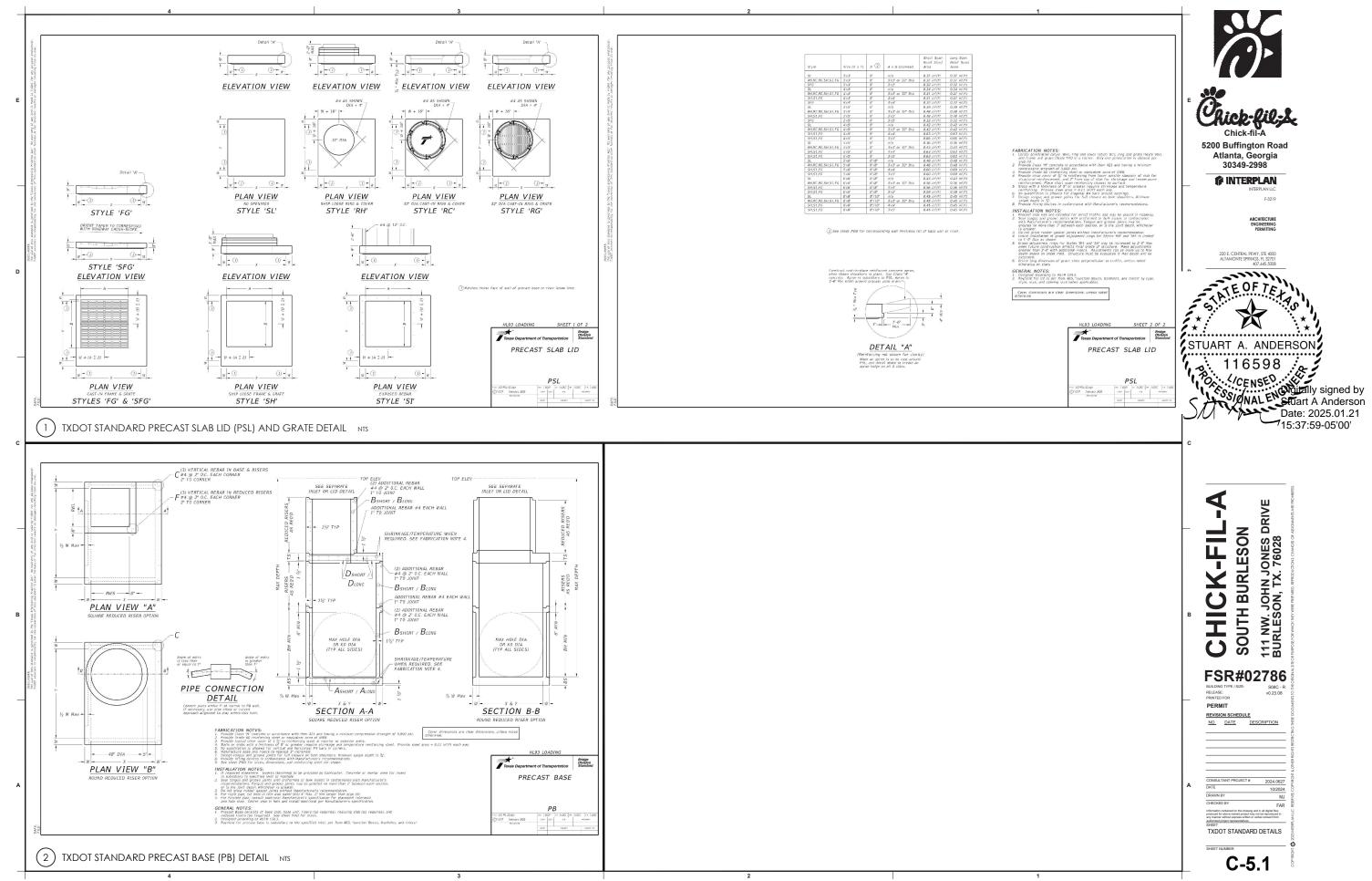
5200 Buffington Road Atlanta, Georgia 30349-2998 **₱ INTERPLAN**

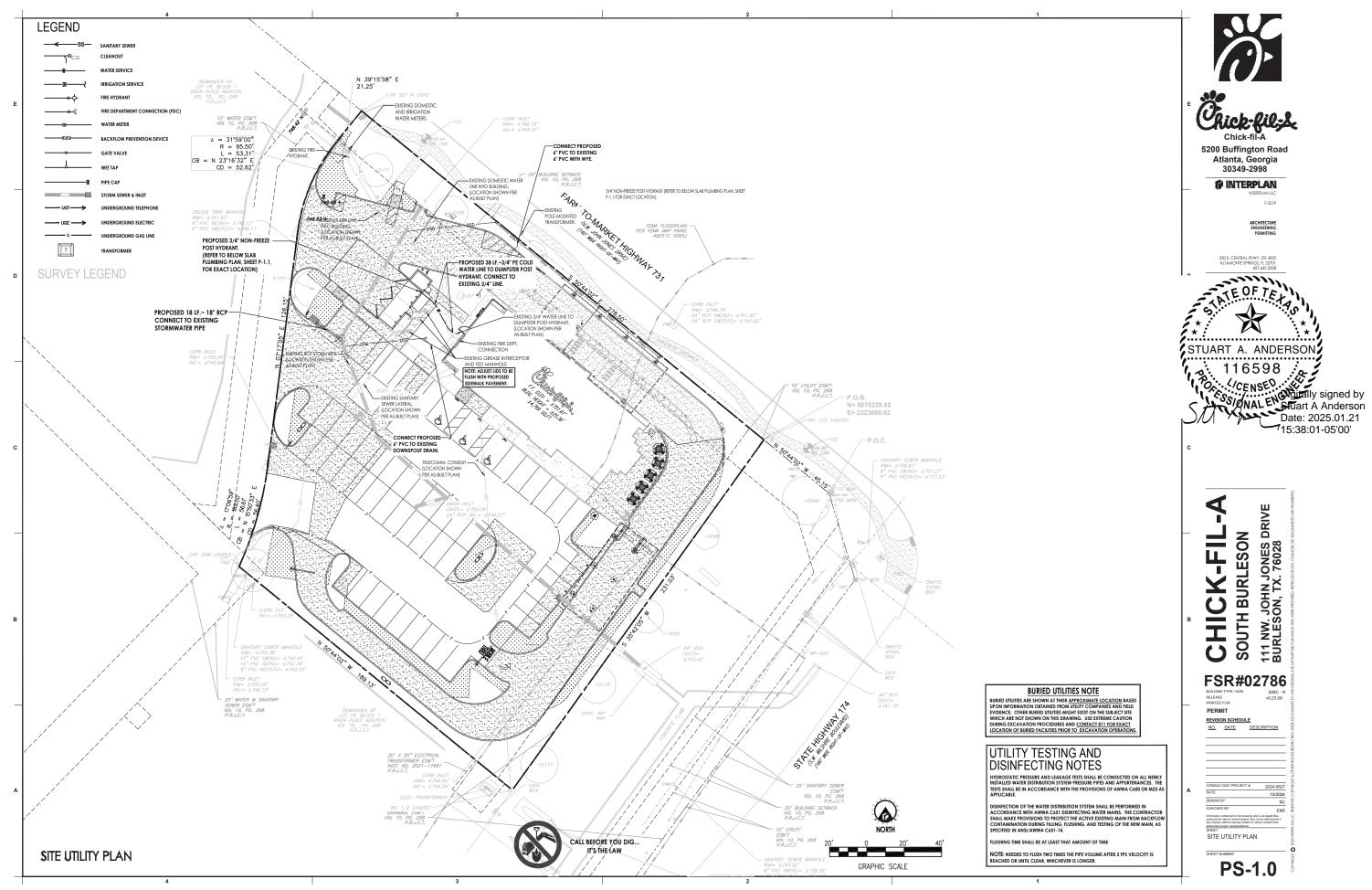
SOUTH BURLESON 111 NW. JOHN JONES DRIVE BURLESON, TX. 76028 HICK-FII FSR#02786 PERMIT NO. DATE DESCRIPTION CHICK-FIL-A STANDARD DETAILS

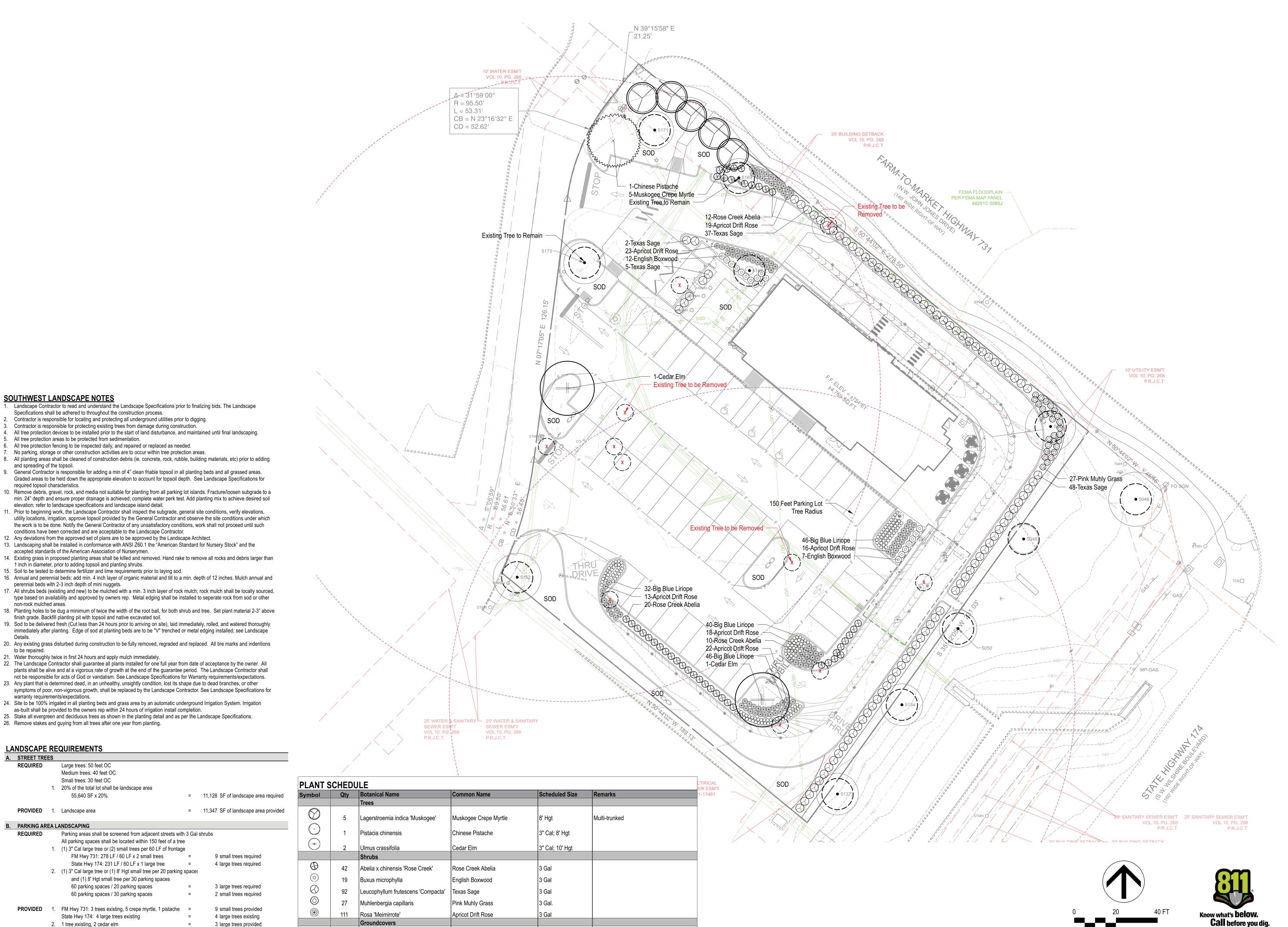
C-4.2











SOUTHWEST LANDSCAPE NOTES

required topsoil characteristics.

non-rock mulched areas.

warranty requirements/expectations.

LANDSCAPE REQUIREMENTS

PROVIDED 1. Landscape area

B. PARKING AREA LANDSCAPING

to be repaired.

A. STREET TREES REQUIRED

REQUIRED

Specifications shall be adhered to throughout the construction process.

elevation; refer to landscape specifications and landscape island detail.

accepted standards of the American Association of Nurserymen.

1 inch in diameter, prior to adding topsoil and planting shrubs.

perennial beds with 2-3 inch depth of mini nuggets.

conditions have been corrected and are acceptable to the Landscape Contractor. 12. Any deviations from the approved set of plans are to be approved by the Landscape Architect.

15. Soil to be tested to determine fertilizer and lime requirements prior to laying sod.

finish grade. Backfill planting pit with topsoil and native excavated soil.

21. Water thoroughly twice in first 24 hours and apply mulch immediately.

26. Remove stakes and guying from all trees after one year from planting.

Large trees: 50 feet OC Medium trees: 40 feet OC Small trees: 30 feet OC

55,640 SF x 20%

as-built shall be provided to the owners rep within 24 hours of irrigation install completion.

1. 20% of the total lot shall be landscape area

Parking areas shall be screened from adjacent streets with 3 Gal shrubs

2 trees existing

O 164 Liriope muscari 'Big Blue'

Big Blue Liriope

Plant 18" OC

All parking spaces shall be located within 150 feet of a tree

1. (1) 3" Cal large tree or (2) small trees per 60 LF of frontage

FM Hwy 731: 278 LF / 60 LF x 2 small trees

State Hwy 174: 231 LF / 60 LF x 1 large tree

and (1) 8' Hgt small tree per 30 parking spaces

60 parking spaces / 20 parking spaces

60 parking spaces / 30 parking spaces

PROVIDED 1. FM Hwy 731: 3 trees existing, 5 crepe myrtle, 1 pistache =

State Hwy 174: 4 large trees existing

2. 1 tree existing, 2 cedar elm

2 trees existing

2. (1) 3" Cal large tree or (1) 8' Hgt small tree per 20 parking spaces

. All tree protection areas to be protected from sedimentation.

Contractor is responsible for locating and protecting all underground utilities prior to digging. . Contractor is responsible for protecting existing trees from damage during construction.

6. All tree protection fencing to be inspected daily, and repaired or replaced as needed. No parking, storage or other construction activities are to occur within tree protection areas.







770.442.8171

URL \mathbf{m}

FSU# 02786

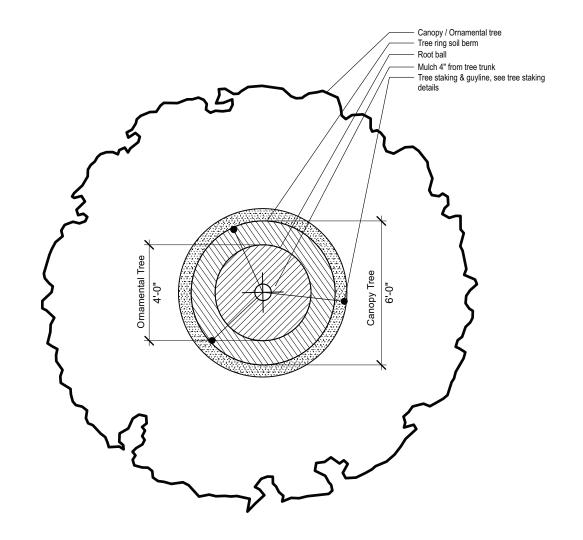
 NO.
 DATE 1/20/25
 BY 1/20/25
 DESCRIPTION NEW SITE PLAN

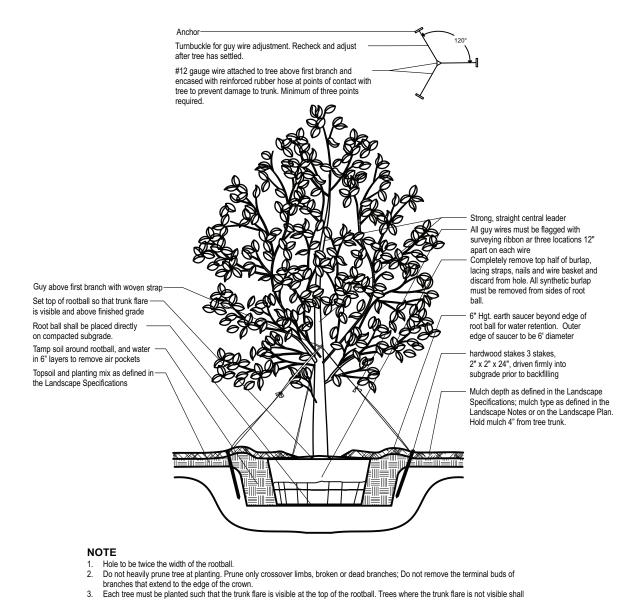
MLD PROJECT # 2024236 PRINTED FOR PERMIT DATE 10/25/24 DRAWN BY

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Landscape Plan

SHEET NUMBER L-101

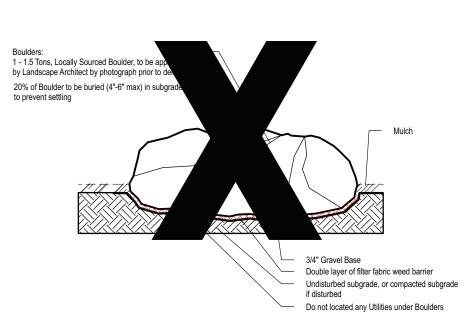




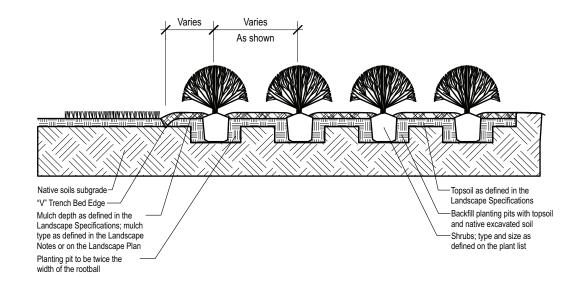
be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.

4. Remove Guy Wires and Staking when warranty period has expired (after one year).

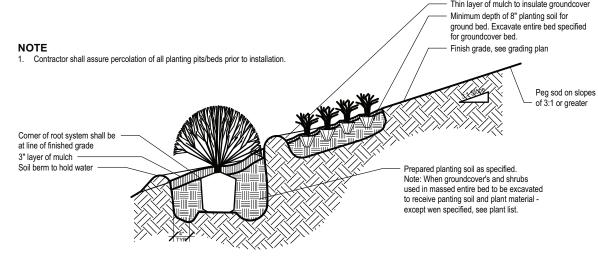
TREE PLANTING & STAKING



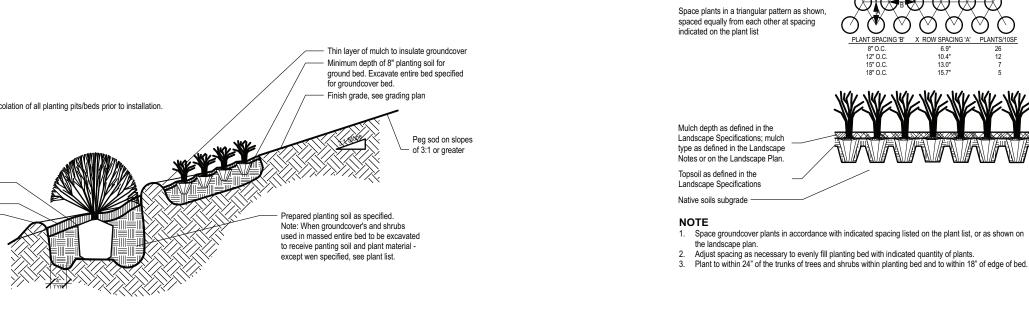
BOULDER INSTALLATION DETAIL
SCALE: NTS



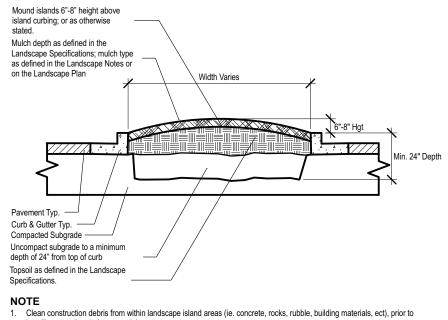
SHRUB BED PLANTING DETAIL



SLOPE PLANTING DETAIL



GROUNDCOVER PLANTING DETAIL



installing topsoil and plant material.

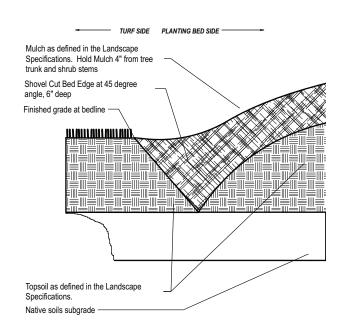
2. Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting.

PARKING ISLAND DETAIL

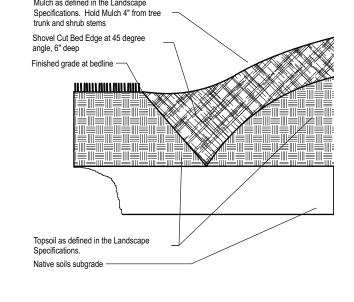
SCALE: NTS

- Once subgrade is clean of debris and loosened, add topsoil to a minimum bermed 6"-8" height above island curbing.

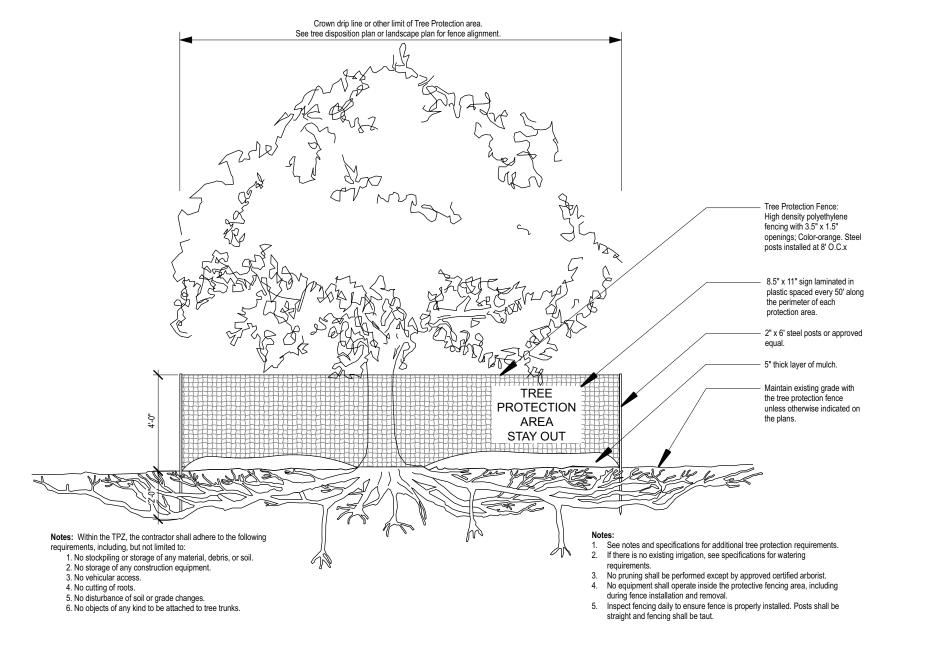
 3. Contractor to perform a water percolation test to ensure proper drainage. Amend subsoils as needed based on perc test.
- Schladd plant material as per the Landscape Plan.
 Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
 Install mulch or sod as specified on the Landscape Plan, and as defined in the Landscape Specifications.



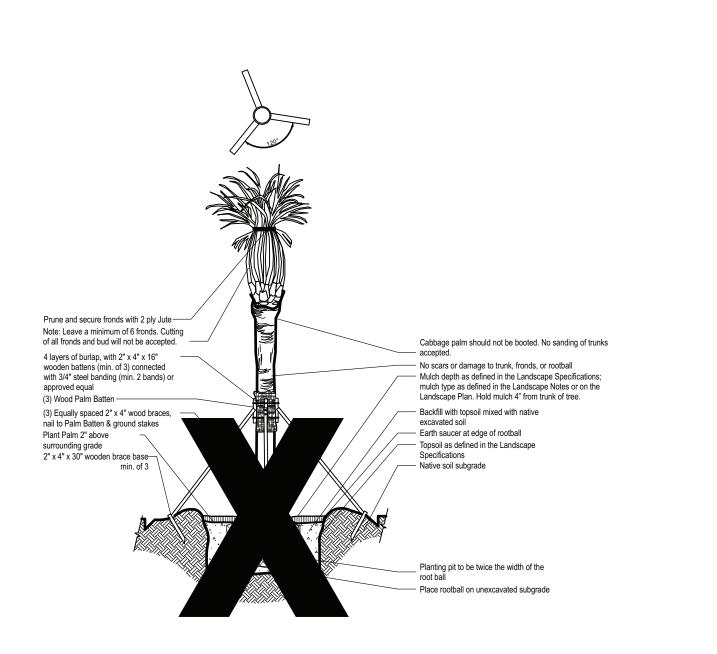
"V" TRENCH BED EDGING SCALE: NTS



ROCK MULCH W/ METAL EDGING DETAIL



TREE PROTECTION FENCING DETAIL SCALE: NTS



Underlay stone with, 8 oz. Non-woven filter fabric.

Staple to soil / subgrade with 6" staples 18" O.C

Adjacent concrete flatwork

PALM PLANTING & STAKING DETAIL





Atlanta, Georgia 30349-2998



River Rock; see specifications

Metal Edging; install per manufacturers

Adjacent plant bed, see planting plan

FSU# 02786

REVISION SCHEDULE
NO. DATE BY DESCRIPTION

MLD PROJECT# 2024236 PERMIT PRINTED FOR DATE 10/25/24 DRAWN BY

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Landscape Details

SHEET NUMBER L-102

LANDSCAPE SPECIFICATIONS

PART 1 - GENERAL

DESCRIPTION

Provide trees, shrubs, ground covers, sod, and annuals/perennials as shown and specified on the landscape plan. The work includes:

- Soil preparation.
- 2. Trees, shrubs, ground covers, and annuals/perennials.
- Planting mixes. 4. Top Soil, Mulch and Planting accessories.
- Maintenance. Decorative stone.

Related Work:

Irrigation System. **QUALITY ASSURANCE**

Plant names indicated; comply with "Standardized Plant Names" as adopted by the latest edition of the American Joint Committee of Horticultural Nomenclature. Names of varieties not listed conform generally with names accepted by the nursery trade. Provide stock true to botanical name and legibly tagged.

Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock". A plant shall be dimensioned as it stands in its natural position.

All plants shall be nursery grown under climatic conditions similar to those in the locality of the project for a minimum of 2 years.

Nursery Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable, at no additional cost, and providing that the larger plants will not be cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.

Before submitting a bid, the Contractor shall have investigated the sources of supply and be satisfied that they can supply the listed plants in the size, variety and quality as specified. Failure to take this precaution will not relieve the Contractor from their responsibility for furnishing and installing all plant materials in strict accordance with the Contract Documents without additional cost to the Owner. The Landscape Architect shall approve any substitutes of plant material, or changes in plant material size, prior to the Landscape Contractor submitting a bid.

DELIVER, STORAGE AND HANDLING

Take all precautions customary in good trade practice in preparing plants for moving. Workmanship that fails to meet the highest standards will be rejected. Spray deciduous plants in foliage with an approved "Anti-Desiccant" immediately after digging to prevent dehydration. Dig, pack, transport, and handle plants with care to ensure protection against injury. Inspection certificates required by law shall accompany each shipment invoice or order to stock. Protect all plants from drying out. If plants cannot be planted immediately upon delivery, properly protect them with soil, wet peat moss, or in a manner acceptable to the Landscape Architect. Water heeled-in plantings daily. No plant shall be bound with rope or wire in a manner that could damage or break the branches. Cover plants transported on open vehicles with a protective covering to prevent wind burn.

list, the planting plans shall govern.

Protect existing utilities, paving, and other facilities from damage caused by landscape operations.

A complete list of plants, including a schedule of sizes, quantities, and other requirements are shown on the drawings. In the event that quantity discrepancies or material omissions occur in the plant materials

The irrigation system will be installed prior to planting. Locate, protect and maintain the irrigation system during planting operations. Repair irrigation system components damaged during planting operations; at the Contractor's expense. Refer to the irrigation specifications, irrigation plan and irrigation details.

Do not begin landscape accessory work before completion of final grading or surfacing.

Warrant plant material to remain alive, be healthy and in a vigorous condition for a period of 1 year after completion and final acceptance of entire project.

Replace, in accordance with the drawings and specifications, all plants that are dead or, are in an unhealthy, or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at the Contractor's expense. Warrant all replacement plants for 1 year after installation.

Warranty shall not include damage, loss of trees, plants, or ground covers caused by fires, floods, freezing rains, lightning storms, winds over 75 miles per hour, winter kill caused by extreme cold, severe winter conditions not typical of planting area, and/or acts of vandalism or negligence on a part of the Owner.

Remove and immediately replace all plants, found to be unsatisfactory during the initial planting

Maintain and protect plant material, lawns, and irrigation until final acceptance is made.

Inspection of planted areas will be made by the Owner's representative.

1. Planted areas will be accepted provided all requirements, including maintenance, have been complied with and plant materials are alive and in a healthy, vigorous condition.

Upon acceptance, the Contractor shall commence the specified plant maintenance.

storage will be rejected if they show signs of growth during the storage period.

CODES, PERMITS AND FEES

Obtain any necessary permits for this Section of Work and pay any fees required for permits.

The entire installation shall fully comply with all local and state laws and ordinances, and with all established codes applicable thereto; also as depicted on the landscape and irrigation construction set.

PART 2 - PRODUCTS

MATERIALS

Plants: Provide typical of their species or variety; with normal, densely developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, disfiguring knots, sun scald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestation. All plants shall have a fully developed form without voids and open spaces. Plants held on

- 1. Balled and plants wrapped with burlap, to have firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery
- Stock". Cracked or mushroomed balls, or signs of circling roots are not acceptable. 2. Container- grown stock: Grown in a container for sufficient length of time for the root system to
- have developed to hold its soil together, firm and whole.
- a. No plants shall be loose in the container.
- b. Container stock shall not be pot bound.
- 3. Plants planted in rows shall be matched in form. 4. Plants larger than those specified in the plant list may be used when acceptable to the
- Landscape Architect. a. If the use of larger plants is acceptable, increase the spread of roots or root ball in
- proportion to the size of the plant. 5. The height of the trees, measured from the crown of the roots to the top of the top branch, shall
- not be less than the minimum size designated in the plant list.
- 6. No pruning wounds shall be present with a diameter of more than 1" and such wounds must show vigorous bark on all edges.
- 7. Evergreen trees shall be branched to the ground or as specified in plant list.
- 8. Shrubs and small plants shall meet the requirements for spread and height indicated in the plant
- a. The measurements for height shall be taken from the ground level to the height of the top
- of the plant and not the longest branch. b. Single stemmed or thin plants will not be accepted.
- c. Side branches shall be generous, well-twigged, and the plant as a whole well-bushed to the ground.
- d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.

ACCESSORIES

Topsoil: Shall be Fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay, lumps, coarse sands, stones, roots, sticks, and other foreign materials, with acidity range of between pH 6.0 and 6.8.

Note: All planting areas shall be cleaned of construction debris (ie. Concrete, rubble, stones, building

- material, etc.) prior to adding and spreading of the top soil.
- 1. Sod Areas: Spread a minimum 4" layer of top soil and rake smooth. 2. Planting bed areas: Spread a minimum 4" layer of top soil and rake smooth.

- 3. Landscape Islands/Medians: Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum berm 6"-8" height above island curbing. Must ensure island have proper drainage; perk test required.
- 4. Annual/Perennial bed areas: Add a minimum of 4" organic matter and till to a minimum 12" depth.

Mulch: Type selected dependent on region and availability; see landscape plans for type of much to be used. Hold mulch 4" from tree trunks and shrub stems.

- 1. Hardwood: (color) dark brown, 6 month old well rotted double shredded native hardwood bark mulch not larger than 4" in length and ½" in width, free of wood chips and sawdust. Install minimum depth of 3".
- 2. Pine Straw: Pine straw to be fresh harvest, free of debris, bright in color. Bales to be
- wired and tightly bound. Needles to be dry. Install minimum depth of 3". 3. Rock Mulch: (color) light gray to buff to dark brown, washed, 1" – 3" in size; or as desired by Owners Representative and locally available. Install in shrub beds to an even
- all edges between rock mulch and sod and/or rock mulch and other types of mulch. 4. Mini Nuggets: Install to a minimum depth of 2"-3" at all locations of annual and perennial beds. Lift the stems and leaves of the annuals and carefully spread the mulch to avoid injuring the plants. Gently brush the mulch off the plants.

Arbortie: Green (or white) staking and guying material to be flat, woven, polypropylene material, 3/4" wide 900 lb. break strength. Arbortie shall be fastened to stakes in a manner which permits tree movement and supports the tree.

depth of 3". Weed control barrier to be installed under all rock mulch areas. Use caution

during installation not to damage plant material. Metal edging shall be installed along

2. Remove Guying/Staking after one year from planting.

Tree Wrap: Tree wraps should be used on young, newly planted thin-barked trees (Cherry, Crabapple, Honey Locust, Linden, Maple, Mountain Ash, Plum) that are most susceptible to sun scald/Sunburn. Standard waterproofed tree wrapping paper, 2-1/2" wide, made of 2 layers of crepe Draft paper weighing not less than 30 lbs. per ream, cemented together with asphalt. Wrap the tree in the fall and leave the wrap in place throughout the winter and early spring. Tree wraps are temporary and no longer needed once trees develop corky bark.

PART 3 – EXECUTION

INSPECTION Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve top soil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.

Planting shall be performed only by experienced workmen familiar with planting procedures under the supervision of a qualified supervisor.

Locate plants as indicated on the plans or as approved in the field after staking by the Landscape Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected and approved by the Landscape Architect; spacing of plant material shall be as shown on the landscape plan.

Excavate circular plant pits with vertical sides, except for plants specifically indicated to be planted in beds. Provide shrub pits at least 12" greater than the diameter of the root system and 24" greater for trees. Depth of pit shall accommodate the root system. Provide undisturbed sub grade to hold root ball at nursery grade as shown on the drawings.

INSTALLATION

Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material 2" – 3" above the finish grade. No filling will be permitted around trunks or stems. Backfill the pit with topsoil mix and excavated material. Do not use frozen or muddy mixtures for backfilling. Form a ring of soil around the edge of each planting pit to retain water.

After balled and wrapped in burlap plants are set, muddle planting soil mixture around bases of balls and fill all voids.

1. Remove all burlap, ropes, and wires from the top 1/3 of the root ball

Space ground cover plants in accordance with indicated dimensions. Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants. Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

1. Mulch tree and shrub planting pits and shrub beds with required mulching material (see landscape plan for mulch type); depth of mulch as noted above. Hold mulch back 4" away from tree trunks and shrub stems. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.

- Decorative Stone: (where indicated on landscape plan) 1. Install weed control barrier over sub-grade prior to installing stone. Lap 6" on all sides.
- 2. Place stone without damaging weed barrier. 3. Arrange stones for best appearance and to cover all weed barrier fabric.

Representative.

- Wrapping, guying, staking: 1. Inspect trees for injury to trunks, evidence of insect infestation, and improper pruning before wrapping.
- Wrapping:
- a. Wrap trunks of all young newly planted trees known to have thin bark. Wrap spirally from bottom to top with specified tree wrap and secure in place.
- b. Overlap ½ the width of the tree wrap strip and cover the trunk from the ground to the height of the second branch.
- c. Secure tree wrap in place with twine wound spirally downward in the opposite direction, tied around the tree in at least 3 places in addition to the top and bottom.
- d. Wrap the trees in the fall and leave the wrap in place throughout the winter and early d. Tree wraps are temporary and no longer needed once the trees develop corky bark. Staking/Guying:
- a. Stake/guy all trees immediately after lawn sodding operations and prior to acceptance.
- b. Stake deciduous trees 2" caliper and less. Stake evergreen trees under 7'-0" tall. 1. Stakes are placed in line with prevailing wind direction and driven into undisturbed soil. 2. Ties are attached to the tree, usually at the lowest branch.
- c. Guy deciduous trees over 2" caliper. Guy evergreen trees 7'-0" tall and over. 1. Guy wires to be attached to three stakes driven into undisturbed soil, with one stake placed in the direction of the prevailing wind.
- 2. Ties are attached to the tree as high as practical. 3. The axis of the stake should be at 90 degree angle to the axis on the pull of the
- 4. Remove all guying and staking after one year from planting.

1. Prune deciduous trees and evergreens only to remove broken or damaged branches.

WORKMANSHIP During landscape/irrigation installation operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed

in a safe manner to the operators, the occupants and any pedestrians. Upon completion of installation operations, all excess materials, equipment, debris and waste material shall be cleaned up and removed from the site; unless provisions have been granted

debris. Remove all plant tags and other debris from lawns and planting areas. Any damage to the landscape, the structure, or the irrigation system caused by the landscape

by the owner to use on-site trash receptacles. Sweep parking and walks clean of dirt and

MAINTENANCE Contractor shall provide maintenance until work has been accepted by the Owner's

contractor shall be repaired by the landscape contractor without charge to the owner.

Maintenance shall include mowing, fertilizing, mulching, pruning, cultivation, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants and lawns free of insects and disease.

- 1. Re-set settled plants to proper grade and position. Restore planting saucer and adjacent material and remove dead material. 2. repair guy wires and stakes as required. Remove all stakes and guy wires after 1 year.
- 3. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.
- 4. Water trees, plants and ground cover beds within the first 24 hours of initial planting, and not less than twice per week until final acceptance.

LANDSCAPE MAINTENANCE SPECIFICATIONS

The Contractor shall provide as a separate bid, maintenance for a period of *1 year* after final acceptance of the project landscaping. The Contractor must be able to provide continued maintenance if requested by the Owner or provide the name of a reputable landscape contractor who can provide maintenance.

STANDARDS

All landscape maintenance services shall be performed by trained personnel using current, acceptable horticultural practices.

All work shall be performed in a manner that maintains the original intent of the landscape

All chemical applications shall be performed in accordance with current county, state and federal laws, using EPA registered materials and methods of application. These applications shall be performed under the supervision of a Licensed Certified applicator.

written approval by the Owner's Representative (General Manager of the restaurant). All seasonal color selections shall be approved by the General Manager prior to ordering and installation.

Any work performed in addition to that which is outlined in the contract shall only be done upon

SOIL TESTING

The maintenance contractor shall perform soil tests as needed to identify imbalances or deficiencies causing plant material decline. The owner shall be notified of the recommendation for approval, and the necessary corrections made at an additional cost to the owner.

Acceptable Soil Test Results

	Landscape Trees and Shrubs	Turf
H Range	5.0-7.0	6.0-7.0
rganic Matter	>1.5%	>2.5%
lagnesium (Mg)	100+lbs./acre	100+lbs./acre
hosphorus (P2O5)	150+lbs./acre	150+lbs./acre
otassium (K2O)	120+lbs./acre	120+lbs./acre
oluble salts/ onductivity	Not to exceed 900ppm/1.9 mmhos/cm in soil; not to exceed 1400 ppm/2.5 mmhos/cm in high organic mix	Not to exceed 750ppm/0.75 mmhos/cm in soil; not to exceed 2000 ppm/2.0 mmhos/cm in high organic mix

For unusual soil conditions, the following optional tests are recommended with levels not to exceed:

Manganese

Potassium (K2O)

During landscape maintenance operations, all areas shall be kept neat and clean. Precautions shall be taken to avoid damage to existing structures. All work shall be performed in a safe manner to the operators, the occupants and any pedestrians.

3 pounds per acre

50 pounds per acre

20 pounds per acre

450 pounds per acre

Upon completion of maintenance operations, all debris and waste material shall be cleaned up and removed from the site, unless provisions have been granted by the owner to use on-site trash receptacles.

Any damage to the landscape, the structure, or the irrigation system caused by the maintenance contractor, shall be repaired by the maintenance contractor without charge to the

TURF

Prior to mowing, all trash, sticks, and other unwanted debris shall be removed from lawns, plant beds, and paved areas.

Warm season grasses (i.e. Bermuda grass) shall be maintained at a height of 1" to 2" during

the growing season. Cool season grasses, including blue grass, tall fescue, perennial ryegrass, etc., shall be

maintained at a height of 2" to 3" in spring and fall. From June through September, mowing

height shall be maintained at no less than 3". The mowing operation includes trimming around all obstacles, raking excessive grass clippings and removing debris from walks, curbs, and parking areas. Caution: Weed eaters should NOT

Edging of all sidewalks, curbs and other paved areas shall be performed once every other mowing. Debris from the edging operations shall be removed and the areas swept clean. Caution shall be used to avoid flying debris.

LIMING & FERTILIZING

A soil test shall be taken to determine whether an application of limestone in late fall is necessary. If limestone is required, the landscape contractor shall specify the rate, obtain approval from the owner and apply it at an additional cost. A unit price for liming of turf shall accompany the bid based on a rate of 50 pounds per 1000 square feet.

Fertilizer shall be applied in areas based on the existing turf species.

be used around trees because of potential damage to the bark.

LAWN WEED CONTROL: HERBICIDES

Selection and proper use of herbicides shall be the landscape contractor's responsibility. All chemical applications shall be performed under the supervision of a Licensed Certified Applicator. Read the label prior to applying any chemical.

INSECT & DISEASE CONTROL FOR TURF

The contractor shall be responsible for monitoring the site conditions on each visit to determine if any insect pest or disease problems exist. The contractor shall identify the insect pest or disease, as well as the host plant, and then consult the most current edition of the Cooperative Extension Service's "Commercial Insecticide Recommendation for Turf" for control. The licensed applicator shall be familiar with the label provided for the selected product prior to application.

Inspection and treatment to control insect pests shall be included in the contract price.

TREES, SHRUBS, & GROUND COVER

All ornamental trees, shrubs and ground cover shall be pruned when appropriate to remove dead or damaged branches, develop the natural shapes. Do not shear trees or shrubs. If previous maintenance practice has been to shear and ball, then a natural shape will be

restored gradually.

be done in early spring.

- **Pruning Guidelines:** 1. Prune those that flower before the end of June immediately after flowering. Flower buds develop during the previous growing season. Fall, winter or spring pruning would reduce
- the spring flowering display. 2. Prune those that flower in summer or autumn in winter or spring before new growth
- begins, since these plants develop flowers on new growth. 3. Delay pruning plants grown for ornamental fruits, such as cotoneasters, pyracanthas
- 4. Hollies and other evergreens may be pruned during winter in order to use their branches for seasonal decoration. However, severe pruning of evergreens should be done in early
- 5. Broadleaf evergreen shrubs shall be hand-pruned to maintain their natural appearance after the new growth hardens off. 6. Hedges or shrubs that require shearing to maintain a formal appearance shall be
- shearing of the season. 7. Conifers shall be pruned, if required, according to their genus. A. Yews, junipers, hemlocks, arborvitae, and false-cypress may be pruned after new growth has hardened off in late summer. If severe pruning is necessary, it must

pruned as required. Dead wood shall be removed from sheared plants before the first

- B. Firs and spruces may be lightly pruned in late summer, fall, or winter after completing growth. Leave side buds. Never cut central leader.
- C. Pines may be lightly pruned in early June by reducing candles. 8. Groundcover shall be edged and pruned as needed to contain it within its borders.

9. Thinning: Remove branches and water sprouts by cutting them back to their point of origin on parent stems. This method results in a more open plant, without stimulating

excessive growth. Thinning is used on crepe myrtle, lilacs, viburnums, smoke bush,etc. 10. Renewal pruning: Remove oldest branches of shrub at ground, leaving the younger, more vigorous branches. Also remove weak stems. On overgrown plants, this method may be best done over a three-year period. Renewal pruning may be used on abelia, forsythia, deutzia, spiraea, etc.

Plants overhanging passageways and parking areas and damaged plants shall be pruned as

Shade trees that cannot be adequately pruned from the ground shall not be included in the Maintenance Contract. A certified arborist under a separate contract shall perform this type of

SPRING CLEANUP

Plant beds shall receive a general cleanup before fertilizing and mulching. Cleanup includes removing debris and trash from beds and cutting back herbaceous perennials left standing through winter, e.g. ornamental grasses, Sedum Autumn Joy.

For trees, the rate of fertilization depends on the tree species, tree vigor, area available for fertilization, and growth stage of the tree. Mature specimens benefit from fertilization every 3 to 4 years; younger trees shall be fertilized more often during rapid growth stages.

be fertilized. For deciduous trees, 2 to 6 pounds of Nitrogen per 1000 square feet; for narrow-leaf evergreens, 1 to 4 pounds of Nitrogen per 1000 square feet; for broadleaf evergreens, 1 to 3 pounds of Nitrogen per 1000 square feet. Shrubs and groundcover shall be top-dressed with compost 1" deep, or fertilized once in March

SUMMARY OF MAINTENANCE

The current recommendation is based on the rate of 1000 square feet of area under the tree to

with 10-6-4 analysis fertilizer at the rate of 3 pounds per 100 square feet of bed area. Ericaceous material shall be fertilized with an ericaceous fertilizer at the manufacturer's recommendation rate. If plants are growing poorly, a soil sample should be taken.

Annually, all tree and shrub beds will be prepared and mulched, to a minimum depth of 3" with quality mulch to match existing. Bed preparation shall include removing all weeds, cleaning up said bed, edging and cultivating decayed mulch into the soil. Debris from edging is to be removed from beds where applicable. If deemed necessary, a pre-emergent herbicide may be applied to the soil to inhibit the growth of future weeds.

Organically maintained gardens shall not receive any pre-emergent herbicides. Mulch in excess of 4" will be removed from the bed areas. SPECIAL CARE shall be taken in the mulching operation not to over-mulch or cover the base of trees and shrubs. This can be detrimental to the health of the plants.

WEEDING

All beds shall be weeded on a continuous basis throughout the growing season to maintain a neat appearance at all times.

Pre-emergent (soil-applied) and post-emergent (foliar-applied) herbicides shall be used where and when applicable and in accordance with the product's label.

INSECT & DISEASE CONTROL: TREES, SHRUBS & GROUNDCOVER

The maintenance contractor shall be responsible for monitoring the landscape site on a regular basis. The monitoring frequency shall be monthly except for growing season, which will be every other week. Trained personnel shall monitor for plant damaging insect activity, plant pathogenic diseases and potential cultural problems in the landscape. The pest or cultural problem will be identified under the supervision of the contractor.

For plant damaging insects and mites identified in the landscape, the contractor shall consult and follow the recommendations of the most current edition of the state Cooperative Service publication on insect control on landscape plant material.

Plant pathogenic disease problems identified by the contractor that can be resolved by pruning

or physical removal of damaged plant parts will be performed as part of the contract. For an

additional charge, plant pathogenic diseases that can be resolved through properly timed

applications of fungicides shall be made when the owner authorizes it. If the contractor notes an especially insect-or disease-prone plant species in the landscape. he/she will suggest replacement with a more pest-resistant cultivar or species that is consistent

with the intent of the landscape design. NOTE: For identification of plant-damaging insects and mites, a reference textbook that can be used is Insects that feed on Trees and Shrubs by Johnson and Lyon, Comstock Publishing Associates. For plan pathogenic diseases, two references are suggested: Scouting and Controlling Woody Ornamental Diseases in Landscapes and Nurseries, authorized by Gary Moorman, published by Penn State College of Agricultural Sciences, and Diseases of Trees

and Shrubs by Sinclair and Lyon, published by Comstock Publishing Press.

TRASH REMOVAL The maintenance contractor shall remove trash from all shrub and groundcover beds with each

LEAF REMOVAL All fallen leaves shall be removed from the site in November and once in December. If requested by the owner, the maintenance contractor, at an additional cost to the owner shall

The project shall receive a general clean-up once during each of the winter months, i.e.,

- January, February, and March.
- Clean-up includes: Cleaning curbs and parking areas
- Removing all trash and unwanted debris Turning mulch where necessary

Inspection of grounds

perform supplemental leaf removals.

SEASONAL COLOR: PERENNIALS, ANNUALS, AND BULBS

The installation of perennials, annuals, and bulbs, unless specified herein, shall be reviewed with the owner, and, if accepted, installed and billed to the owner.

SEASONAL COLOR MAINTENANCE

Perennialization of Bulbs:

1. After flowering, cut off spent flower heads. 2. Allow leaves of daffodils and hyacinths to remain for six weeks after flowers have faded.

of 2 pounds per 1000 square feet, or top-dress with compost 1" deep. Fall fertilization

3. Allow leaves of other bulbs to yellow naturally and then cut off at base. 4. Apply fertilizer after flowering in spring, possibly again in fall. Apply 10-10-10 at the rate

Flower Rotation:

- 1. Bulbs: Remove the entire plant and bulb after flowers have faded or at the direction of the owner, and install new plants if included in contract. 2. Summer Annuals or Fall Plants:
- a. Dead heading: Pinch and remove dead flowers on annuals as necessary. b. Fertilizing Summer Annuals: Fertilize using one or two methods: Apply a slow-release fertilizer in May following manufacturer's recommendations. A booster

20-20-20 water-soluble fertilizers, not to exceed 2 pounds of 20-20-20 per 100

with a bulb fertilizer or mulching with 1" of compost is optional.

gallons of water, monthly; or mulch with compost 1" deep. c. Removal: If fall plants are to be installed, summer annuals shall be left in the ground

such as 10-10-10 may be necessary in late summer. Or, apply liquid fertilizations of

until the first killing frost and then removed, unless otherwise directed by the owner.

- 1. After initial installation, if a time-released fertilizer has been incorporated during plant installation, no more fertilizer need be applied the first growing season.
- 2. The following year: a. Fertilize perennials with a slow-release fertilizer or any 50% organic fertilizer, or
 - mulch perennials with compost 1" deep.
 - b. Cut all deciduous perennials flush to the ground by March 1, if this was not done the

 - previous fall, to allow new growth to develop freely.
 - c. Mulch the perennial bed once in early spring at 1"-2" depth. If soil is bared in late fall, re-mulch lightly after ground is frozen to protect perennials.
 - d. Inspect for insect or disease problems on perennials. Monitor and control slugs on
 - hostas and ligularias. Powdery mildew on phlox, monardas, and asters can be
 - prevented with properly timed fungicides or use of disease-resistant varieties. e. Weed perennial bed as specified in "WEEDING" above.
 - f. Prune branching species to increase density. Cut only the flowering stems after blooming. Do not remove the foliage.
 - 3. The following fall cut back deteriorating plant parts unless instructed to retain for winter interest, e.g. Sedum Autumn Joy and ornamental grasses. 4. Long-term Care:
- a. Divide plants that overcrowd the space provided. Divide according to the species. Some need frequent dividing, e.g. asters and yarrow every two years; other rarely, if
- b. For detailed information regarding the care of specific perennials, refer to All About Perennials by Ortho; Perennials: How to Select, Grow and Enjoy by Pamela Harper and Frederick McGouty, Hp Books Publisher; Herbaceous Perennial Plants: A Treatise on their Identification, Culture and Garden Attributes by Allan Armitage, Stipes Pub LLC.

7. Mechanically edge curbs and walks.

TREE, GROUNDCOVER, AND SHRUB BED MAINTENANCE

3. Apply pre-emergent herbicides in February and April.

ever, e.g. peonies, hosta, and astilbe.

- I AWN MAINTENANCE 1. Soil analysis performed annually to determine pH. If pH does not fall within specified
- range, adjust according to soil test recommendations 2. Maintain proper fertility and pH levels of the soil to provide an environment conducive to
- turf vitality for cool season grasses 3. Mow warm and cool season on a regular basis and as season and weather dictates.
- Remove no more than the top 1/3 of leaf blade. Clippings on paved and bed areas will
- 4. Aerate warm season turf areas to maintain high standards of turf appearance. 5. Apply pre-emergent to turf in two applications in early February and early April to extend
- 6. Apply post emergent as needed to control weeds.

8. Apply non-selective herbicide, to mulched bed areas and pavement and remove excess runners to maintain clean defined beds.

1. Prune shrubs, trees and groundcover to encourage healthy growth and create a natural

2. Mulch to be applied in February/March with a half rate in late summer to top dress.

6. Ornamental shrubs, trees and groundcovers to be fertilized three (3) times per year with

4. Manual weed control to maintain clean bed appearance. Apply fungicides and insecticides as needed to control insects and disease.

a balanced material (January/February, April/May, and October/November)

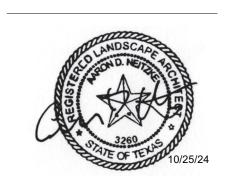
2. Inspect grounds on a monthly basis and schedule inspection with Unit Operator.

7. Edge all mulched beds. 8. Remove all litter and debris.

GENERAL MAINTENANCE 1. Remove all man-made debris, blow edges.

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Landscape & **™** Maintenance **Specifications**

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