

UTILITY NOTES

PRIOR TO COMMENCING ANY CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES...

A. GENERAL

- 1. THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SEWERS, GAS LINES, ETC., SHOWN ON THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION...

C. MATERIALS (SEWER)

- 1. ALL GRAVITY SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO ASTM D 3034, SDR 26...

D. MATERIALS (STORM)

- 1. REINFORCED CONCRETE PIPE (RCP), O-RING PIPE SHALL CONFORM TO ASTM C 76 (CLASS B, UNLESS OTHERWISE SPECIFIED) AND AASHTO M 170 STANDARD SPECIFICATIONS...

GENERAL NOTES

A. GENERAL 1. ALL INFRASTRUCTURE AND IMPROVEMENTS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE LOCAL JURISDICTION...

- 2. SITE LOCATION: 111 NW. JOHN JONES DR., BURLESON, TX. 76028 3. THIS SITE LIES IN FLOOD ZONE XXX, F.I.R.M. PANEL XXXXX XXXXX, DATED XXXXX.

THE CONTRACTOR SHALL HAVE TWO (2) SETS OF AS-BUILT PLANS, SIGNED AND SEALED BY SURVEYOR OF RECORD, ON SITE THE DAY OF THE CIVIL ENGINEERING FINAL PUNCH LIST INSPECTION...

PLEASE CONTACT THE CITY'S CONSTRUCTION INSPECTION MANAGER, TOM CLARK AT (817) 907-7119 AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION.

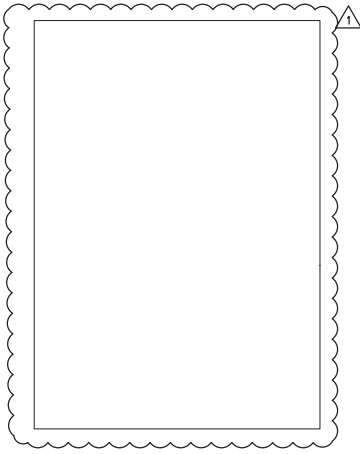
REVISION ISSUE LOG

Table with columns: REV #, ISSUE DATE, DESCRIPTION, AFFECTED SHEETS, BY. Row 1: 1, 12/11/2024, CITY COMMENTS, C-1.0, C-2.0, C-3.3, C-3.4, C-4.0, RA.

SITE CONSTRUCTION PLANS



111 NW. JOHN JONES DRIVE BURLESON, TEXAS 76028



STORE # 02786

CONTACTS

OWNER/LEASEE CHICK-FIL-A 5200 BUFFINGTON ROAD ATLANTA, GEORGIA 30349

ENGINEER/APPLICANT

INTERPLAN LLC 220 E CENTRAL PKWY, SUITE 4000 ALTAMONTE SPRINGS, FL 32701

ARCHITECT

INTERPLAN LLC 220 E CENTRAL PKWY, SUITE 4000 ALTAMONTE SPRINGS, FL 32701

LANDSCAPE ARCHITECT

MLD STUDIO 51 OLD CANTON STREET ALPHARETTA, GA 30009

SITE DATA

Table with columns: LEASE AREA, PROPOSED PAVEMENT AREA, EXISTING BUILDING AREA, etc.

Table with columns: MAXIMUM BUILDING HEIGHT, ALLOWED, PROVIDED

ZONING

COMMERCIAL (C)

NUMBER OF SEATS

Table with columns: INDOOR, OUTDOOR, SEATS

BUILDING SETBACKS

Table with columns: NORTH (Side, NW, John Jones Dr), SOUTH (Side), etc.

LANDSCAPE BUFFER

Table with columns: NORTH (Side, NW, John Jones Dr), SOUTH (Side), etc.

PARKING REQUIRED

ONE (1) SPACE FOR EVERY THREE (3) SEATS UNDER THE MAXIMUM SEATING ARRANGEMENT.

PARKING PROVIDED

Table with columns: REGULAR, HANDICAP, TOTAL, SPACES

VICINITY MAP



INDEX TO DRAWINGS

Table with columns: SHEET NO., DESCRIPTION. Rows include C-1.0 COVER SHEET, C-1.1 BOUNDARY and TOPOGRAPHIC SURVEY, etc.

Chick-fil-A logo and address: 5200 Buffington Road Atlanta, Georgia 30349-2998

Professional Engineer seal for Stuart A. Anderson, State of Texas, License No. 116598

CHICK-FIL-A SOUTH BURLESON 111 NW. JOHN JONES DRIVE BURLESON, TX. 76028

FSR#02786

PERMIT REVISION SCHEDULE table and CONSULTANT PROJECT # 2024.0827

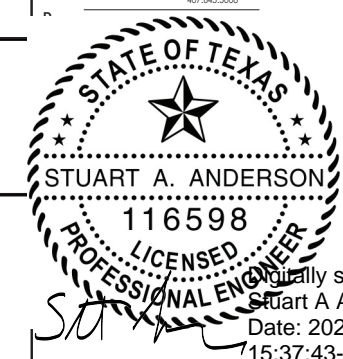
C-1.0



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Digitally signed by Stuart A Anderson
 Date: 2025.01.21 15:37:43-05'00'

CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R
 RELEASE: v23.08
 PRINTED FOR: PERMIT
 REVISION SCHEDULE

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627
 DATE 10/2024
 DRAWN BY MJ
 CHECKED BY FAR

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DEMOLITION PLAN
 SHEET NUMBER
C-1.2

DEMOLITION NOTES

- PRIOR TO COMMENCEMENT OF DEMOLITION THE CONTRACTOR WILL COORDINATE HIS ACTIVITIES WITH ALL THE UTILITY COMPANIES SERVING THIS AREA. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- THE CONTRACTOR IS TO COMPLETELY REMOVE AND DISPOSE OF ALL STRUCTURES AND BUILDINGS THAT ARE SO INDICATED INCLUDING FOUNDATIONS, TIMBER AND BRUSH, EXCEPT AS OTHERWISE INDICATED. STUMPS AND ROOTS, EXISTING PAVEMENT, OTHER STRUCTURES AS SHOWN OR REASONABLY IMPLIED IN THE DRAWINGS.
- EXCEPT IN AREAS WHERE EXISTING TREES SHALL BE PRESERVED, A MINIMUM DEPTH OF REMOVAL SHALL BE (2) FOOT BELOW SUBGRADE IN ROADWAY AREAS AND TO ORIGINAL SOILS ELSEWHERE. WHERE EXISTING BUILDINGS ARE TO BE DEMOLISHED, ALL TRACES OF FOUNDATIONS AND UNDERGROUND UTILITIES ARE TO BE REMOVED (UNLESS OTHERWISE NOTED ON PLANS). THE CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF ALL WASTE MATERIAL.
- WHERE PAVING OR STRUCTURES ARE TO BE REMOVED WHICH ABUT OR ARE A PART OF CONNECTED FACILITIES (THAT ARE OFF-SITE), RESTORATION OF ANY DAMAGE THAT MIGHT RESULT FROM DEMOLITION IS TO BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTING UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE LOCATION OF ALL EXISTING UTILITIES, STORM DRAINAGE AND TREES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND IS GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND DETERMINE THE EXISTENCE & LOCATION OF ALL STRUCTURES, UTILITIES & TREES SHOWN OR NOT ON THE PLANS, WHICH WOULD NEED TO BE REMOVED OR PRESERVED.
- THE CONTRACTOR IS TO COORDINATE THE RELOCATION OR REMOVAL OF ALL OVERHEAD/UNDERGROUND UTILITIES, UTILITY POLES, LIGHTS AND LINES IN THE RIGHT-OF-WAY AND ON THE PROPERTY WITH THE APPROPRIATE SERVICE PROVIDER.
- THE CONTRACTOR SHALL REFERENCE AND RESTORE PROPERTY CORNERS AND LAND MARKERS DISTURBED DURING CONSTRUCTION. (UNDER THE DIRECTION OF A STATE REGISTERED LAND SURVEYOR).

DEMOLITION KEY NOTES

① EXISTING TRAFFIC SIGN AND FOOTING TO BE REMOVED

NOTICE - PEDESTRIAN SAFETY

THE CONTRACTOR SHALL TAKE NECESSARY MEASURES TO SEPARATE EACH WORK AREA FROM PEDESTRIAN TRAFFIC AND TO INSURE SAFE PEDESTRIAN PASSAGE AT ALL TIMES. THE CONTRACTOR SHALL ALSO UTILIZE SAFE WARNING SIGNS, BARRICADES AND OTHER RELATED MEASURES, AS NECESSARY. THE CONTRACTOR SHALL COORDINATE PERIODICALLY WITH THE PROJECT MANAGER TO REVIEW SAFETY CONCERNS AND ADVISE OF ACTIVE WORK AREAS.

EROSION CONTROL NOTE

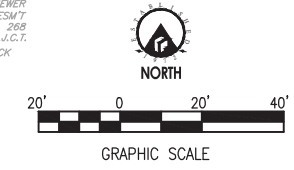
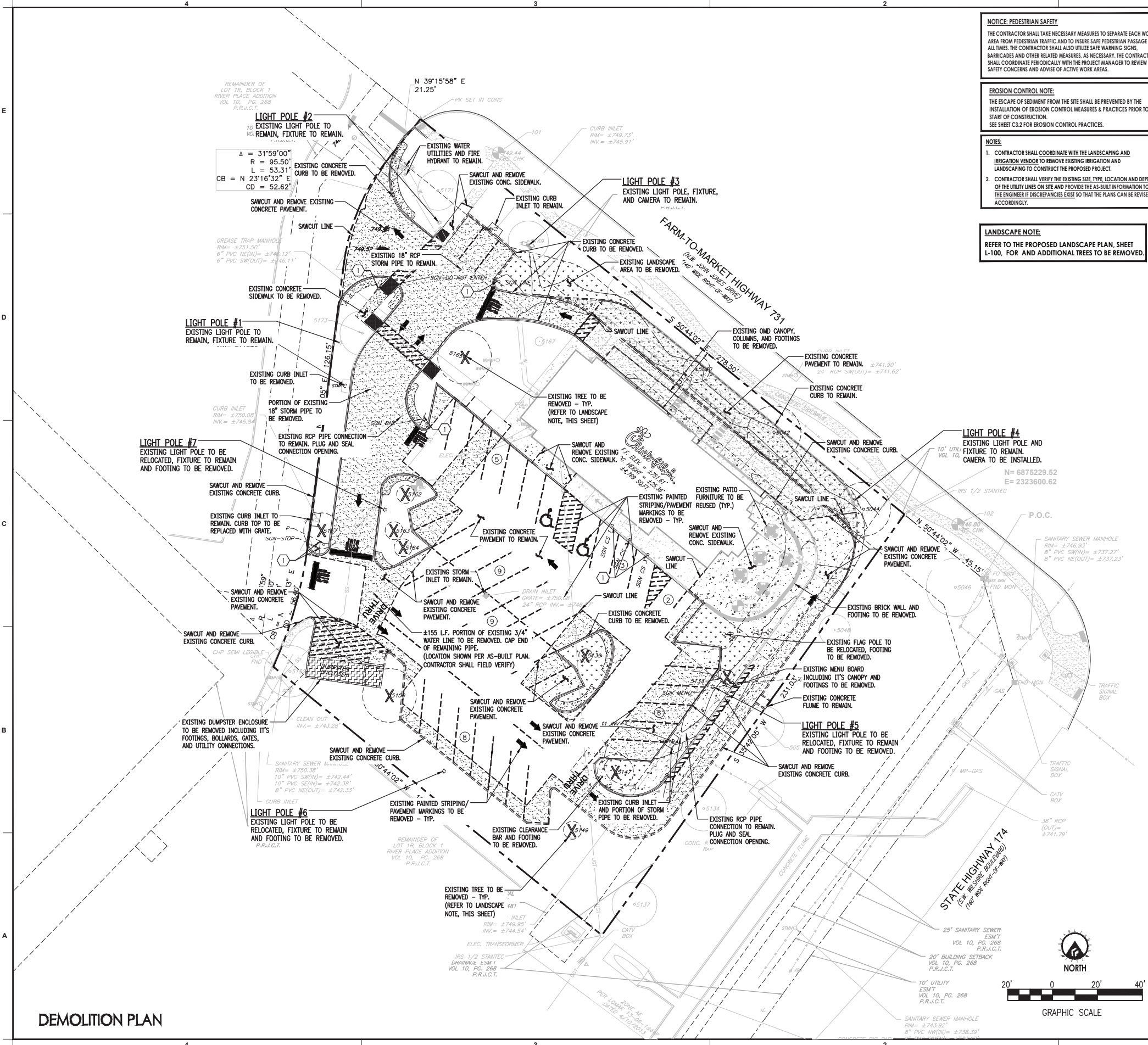
THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES & PRACTICES PRIOR TO START OF CONSTRUCTION. SEE SHEET C3.2 FOR EROSION CONTROL PRACTICES.

NOTES

- CONTRACTOR SHALL COORDINATE WITH THE LANDSCAPING AND IRRIGATION VENDOR TO REMOVE EXISTING IRRIGATION AND LANDSCAPING TO CONSTRUCT THE PROPOSED PROJECT.
- CONTRACTOR SHALL VERIFY THE EXISTING SITE, TYPE, LOCATION AND DEPTH OF THE UTILITY LINES ON SITE AND PROVIDE THE AS-BUILT INFORMATION TO THE ENGINEER IF DISCREPANCIES EXIST SO THAT THE PLANS CAN BE REVISED ACCORDINGLY.

LANDSCAPE NOTE

REFER TO THE PROPOSED LANDSCAPE PLAN, SHEET L-100, FOR AND ADDITIONAL TREES TO BE REMOVED.



DEMOLITION PLAN

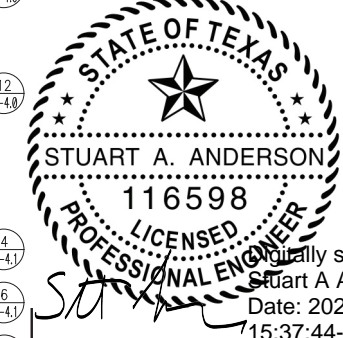


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CHICK-FIL-A
 SOUTH BURLESON
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 BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R

RELEASE: v0.23.08

PRINTED FOR: PERMIT

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	12/2024	CITY COMMENTS

CONSULTANT PROJECT # 2024.0627

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SITE PLAN

SHEET NUMBER

C-2.0

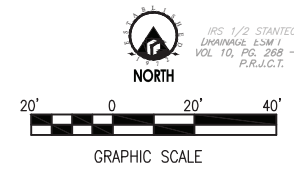
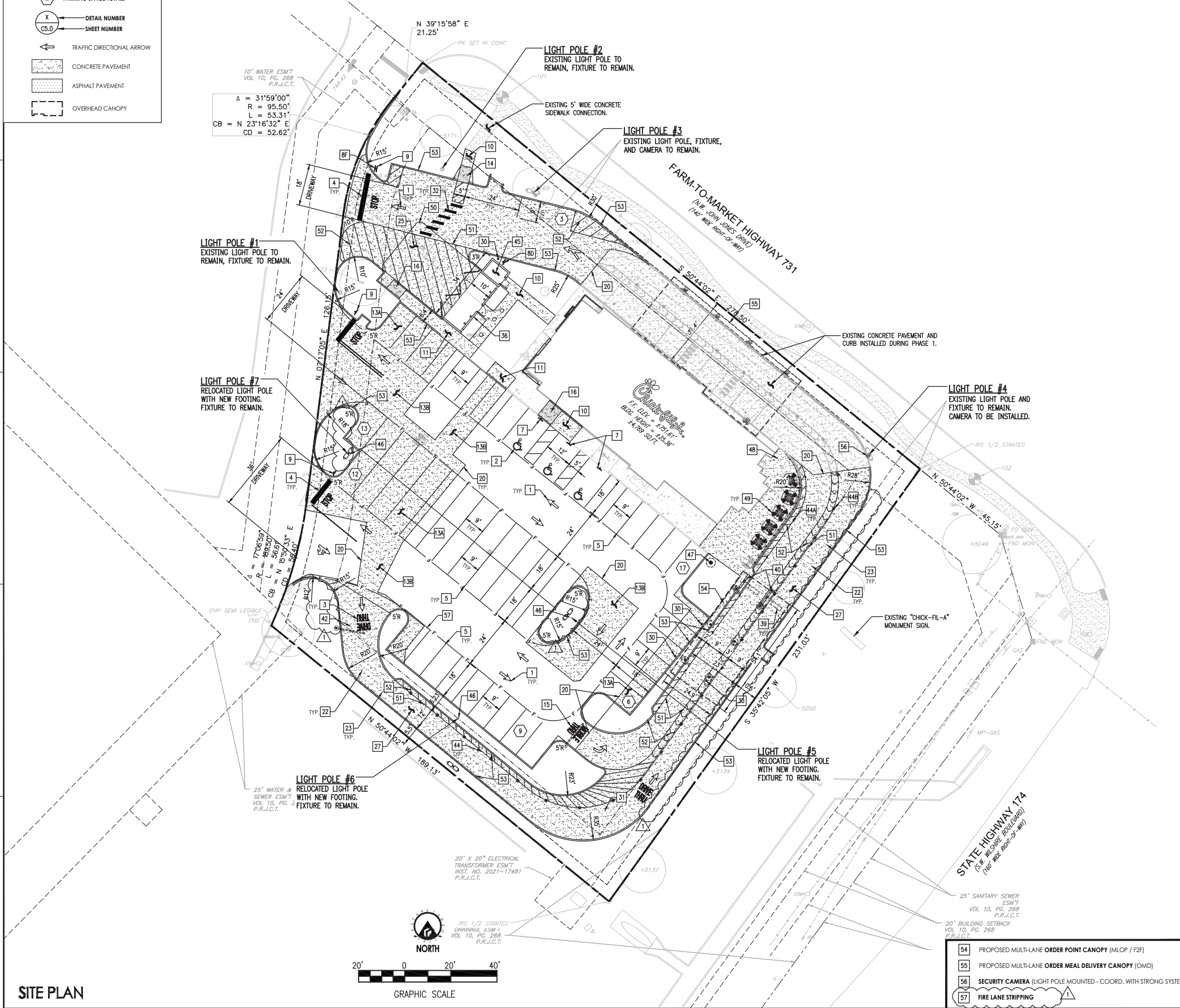
SITE PLAN DESIGN NOTES & KEY PLAN

- 1 DIRECTIONAL ARROW
 - 2 PAINTED HANDICAP PARKING SYMBOL
 - 3 DRIVE-THRU GRAPHICS
 - 4 STOP LINE GRAPHIC
 - 5 STANDARD PARKING STALL
 - 6 BOLLARD MOUNTED SIGN
 - 7 ACCESSIBLE PARKING SIGN
 - 8 DIRECTIONAL SIGNAGE
- NOTES:
 1. ALL SIGNS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" BY THE U.S. DEPARTMENT OF TRANSPORTATION.
 2. SIGNS SHALL BE PROVIDED AND INSTALLED BY CHICK-FIL-A GENERAL CONTRACTOR UNLESS A BRAND-IMAGE REMODEL.
- 8A CIRCLE BUILDING FOR DRIVE-THRU SIGN
 - 8B LEFT-TURN-ONLY SIGN
 - 8C RIGHT-TURN-ONLY SIGN
 - 8D CAUTION - WATCH FOR PEDESTRIAN SIGN
 - 8E ONE-WAY WITH ARROW SIGN
 - 8F DO NOT ENTER SIGN
- 9 STOP SIGN
 - 10 CONCRETE SIDEWALK
 - 11 SIDEWALK WITH CURB AND GUTTER
 - 12 24" CONCRETE CURB AND GUTTER
 - 12A STANDARD CURB & GUTTER
 - 12B MOUNTABLE CURB & GUTTER
 - 13 CONCRETE PAVEMENTS
 - 13A MEDIUM DUTY (PARKING STALLS)
 - 13B HEAVY DUTY (DRIVE AISLES)
 - 14 CURB RAMP w/ SHORT FLARED SIDES
 - 15 MOBILE-THRU GRAPHICS
 - 16 SIDEWALK ACCESSIBLE RAMP
 - 17 DETECTABLE WARNING DEVICE (ADA) - CAST-IN-PLACE
 - 18 SOLID YELLOW PLASTIC WHEEL STOP
 - 19 EXPANSION JOINT
 - 20 DOWELED CONST. JOINT (EX. CONCRETE TO NEW)
 - 21 KEYED CONSTRUCTION JOINT (NEW CONC. TO EX. ASPH)
 - 22 CONTRACTION JOINT
 - 23 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
 - 24 PAVEMENT EDGE (ASPHALT & CONCRETE)
 - 25 CONCRETE APRON AT DUMPSTER ENCLOSURE
 - 26 LONGITUDINAL BUILT JOINT
 - 27 CONCRETE PAVING AT DRIVE-THRU LANES
 - 28 TYPICAL H/MAG (ASPHALT) PAVEMENT SECTION
 - 29 BUILT JOINT (EX. ASPHALT TO NEW)
 - 30 CONCRETE BOLLARD (6" STEEL PIPE)
 - 31 MULTI-LANE DIRECTIONAL GRAPHICS
 - 32 CROSSWALK MARKINGS (CONTINENTAL TYP.)
 - 33 ALUMINUM HANDRAIL
 - 34 TYPICAL ADA RAMP AND HANDRAIL (RAMP > C RISE)
 - 35 ENTRY-DOOR FROST SLAB
 - 36 SCREENED REFUSE ENCLOSURE
 - 37 SCREENED REFUSE ENCLOSURE PLAN (ALT.)
 - 38 SCREENED REFUSE ENCLOSURE (ALT. DRAINAGE)
 - 39 MENU BOARD LOOP DETECTION SYSTEM
 - 40 DRIVE-THRU ORDER POINT ISLAND CURB (MENU BOARDS)
 - 41 DRIVE-THRU PLAN - PICKUP (AUTOMATIC DOOR)
 - 42 DRIVE-THRU CLEARANCE BAR
 - 43 DRIVE-THRU ISOMETRIC
 - 44A MOVABLE "MAGNETIC BASE" DELINEATOR (TOTAL QTY: 14)
 - 44B MOVABLE "RUBBER BASE" DELINEATOR (TOTAL QTY: 10)
 - 45 REFUSE STORAGE BUILDING (REFER TO ARCH'L PLANS)
 - 46 TYPICAL LIGHT POLE BASE (REFER TO SHEET ES-1.0)
 - 47 RELOCATED FLAGPOLE WITH NEW FOOTING - EX. SERIES FOOT FLAG POLE PACKAGE, APPROVED VENDORS: THE FLAG COMPANY OR ATLAS FLAGS
 - 48 CASH STATION (ON 4" THICK, 5x5' CONCRETE PAD)
 - 49 OUTDOOR PATIO SEATING (20 SEATS) (REFER TO ARCH'L PLANS FOR DETAILS)
 - 50 2 FT. CHAMFER ON CONCRETE PAVEMENT
 - 51 4" WIDE WHITE STRIPING (SEE PAINT NOTES IN DETAIL 4, SHEET C-4.0)
 - 52 PAINTED DIAGONAL / CHEVRON STRIPING
 - 53 PROPOSED 6" HIGH CONCRETE VERTICAL CURB

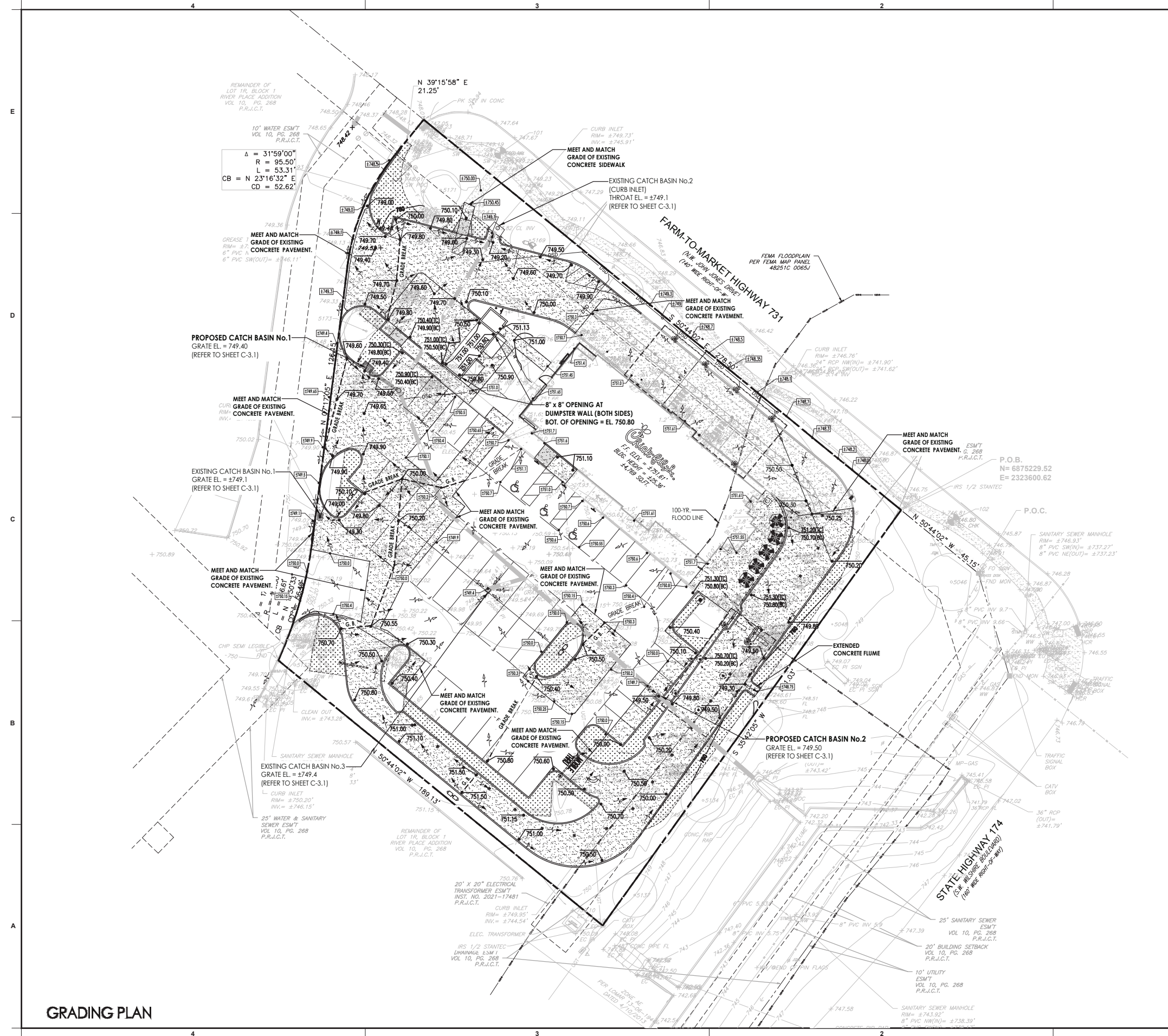
STRIPING NOTE:
 CONTRACTOR SHALL ERADICATE EXISTING STRIPING WITH EITHER SAND BLASTING OR WATER PRESSURE THEN SEAL EXISTING ASPHALT BEFORE APPLYING NEW STRIPING. OR USE DOUBLE BLACKOUT PAINT OVER EXISTING STRIPING.

LEGEND

- PARKING SPACE TOTALS
- DETAIL NUMBER
SHEET NUMBER
- TRAFFIC DIRECTIONAL ARROW
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- OVERHEAD CANOPY



SITE PLAN



LEGEND

- PROPOSED SPOT ELEVATION (SEE NOTE BELOW)
- PROPOSED CONTOUR ELEVATION
- EXISTING CONTOUR (BY SURVEY)
- EXISTING SPOT-ELEVATION
- EXISTING SPOT-ELEVATION (APPROX.)
- DIRECTION OF FLOW AND PERCENT SLOPE
- DSD DOWN SPOUT DRAINS
- STORM SEWER
- GB GRADE BREAK
- B1 BORING LOCATION (SEE GEOTECH SOILS REPORT)
- CLEANOUT (CO)
- TC TOP OF CURB
- BC BOTTOM OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL (AT GRADE)
- MEG MATCH EXISTING GRADING (EDGE OF PAVEMENT)
- PROPOSED INLET

NOTE: PROPOSED SPOT ELEVATIONS ARE DESIGNED TO BE AT BOTTOM OF CURB (AKA GUTTER LINE).

ADA GRADING NOTES:

GENERAL DESIGN PARAMETERS OF THE ENTIRE ACCESSIBLE PATH ARE AS FOLLOWS (SEE STANDARD CIVIL DETAILS FOR ADDITIONAL INFORMATION):

RUNNING SLOPE OF PATH	= 5.0% (1:20) OR LESS
CROSS-SLOPE OF PATH	= 1.5% (1:67) OR LESS
RUNNING SLOPE OF RAMPS	= 7.1% (1:14) OR LESS
CROSS-SLOPE OF RAMPS	= 1.5% (1:67) OR LESS
SLOPE IN ALL DIRECTIONS OF ACCESSIBLE PARKING STALLS & LOADING AREAS	= 1.5% (1:67) OR LESS

CONTRACTOR RESPONSIBLE FOR GRADING THE ADA PARKING SPACES, ACCESSIBLE PATH WITHIN THE CROSSWALK, AND ADA PATHS TO OUTDOOR PATIO AREAS TO ADA STANDARDS. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ENGINEER IMMEDIATELY.

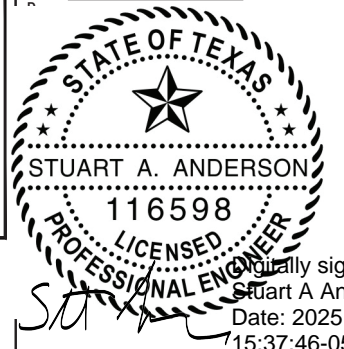


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FSR#02786

BUILDING TYPE / SIZE: SBOC - R

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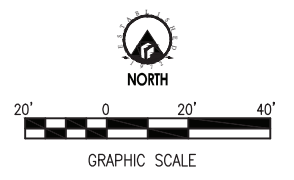
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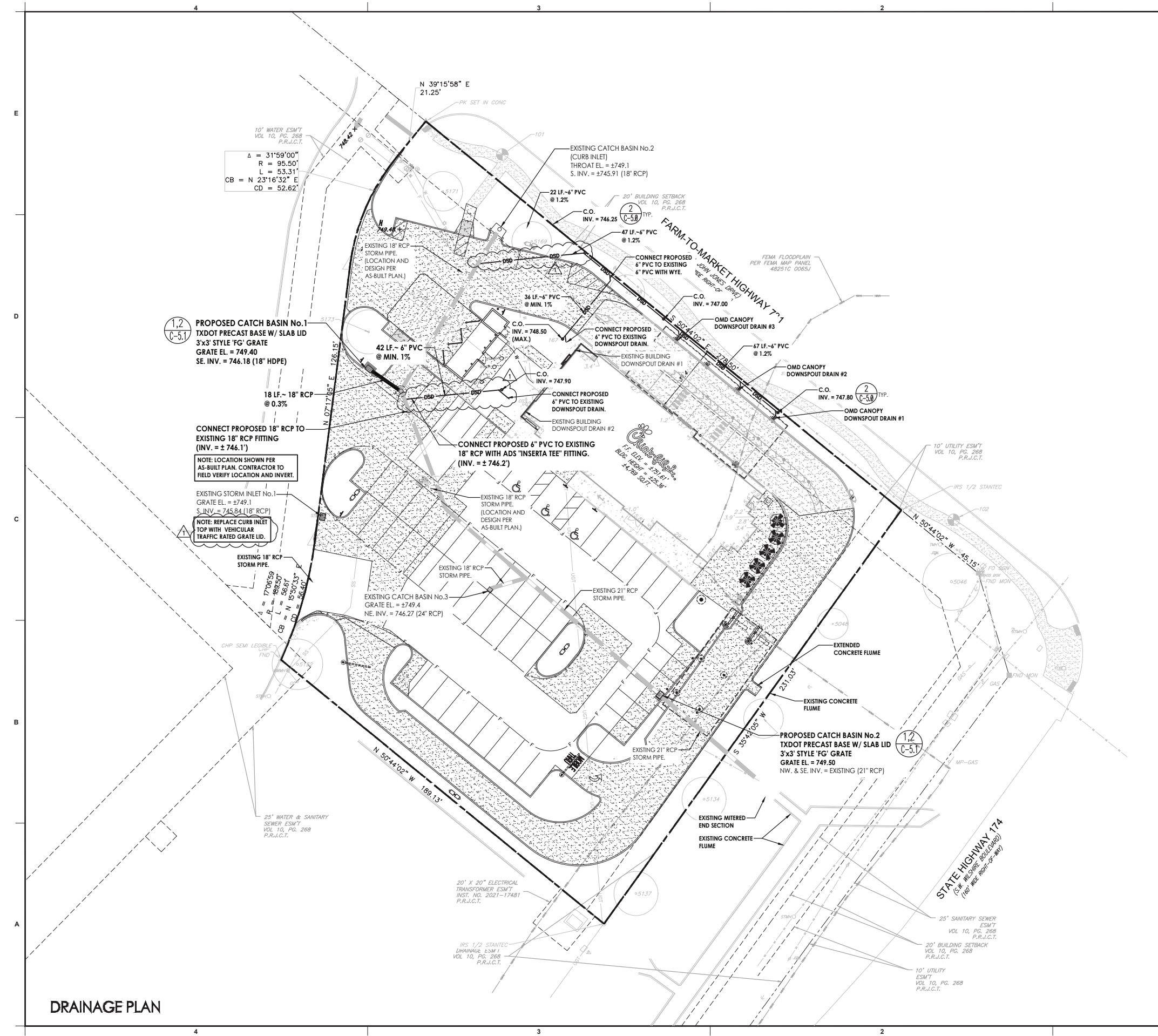
GRADING PLAN

SHEET NUMBER

C-3.0

GRADING PLAN





DRAINAGE PLAN

- ### LEGEND
- 15.60 PROPOSED SPOT ELEVATION (SEE NOTE BELOW)
 - 15.5 PROPOSED CONTOUR ELEVATION
 - 88 EXISTING CONTOUR (BY SURVEY)
 - 95.9 EXISTING SPOT-ELEVATION
 - 100.0 EXISTING SPOT-ELEVATION (APPROX.)
 - 1.0% DIRECTION OF FLOW AND PERCENT SLOPE
 - DSD DOWN SPOUT DRAINS
 - SS STORM SEWER
 - GB GRADE BREAK
 - B1 BORING LOCATION (SEE GEOTECH SOILS REPORT)
 - CO CLEANOUT (CO)
 - TC TOP OF CURB
 - BC BOTTOM OF CURB
 - TW TOP OF WALL
 - BW BOTTOM OF WALL (AT GRADE)
 - MEG MATCH EXISTING GRADING (EDGE OF PAVEMENT)
 - PROPOSED INLET
- NOTE: PROPOSED SPOT ELEVATIONS ARE DESIGNED TO BE AT BOTTOM OF CURB (AKA GUTTER LINE).

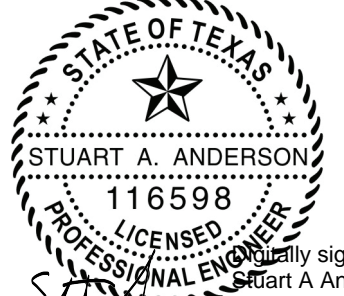
- ### ADA COMPLIANCE NOTES:
1. 2% MAX. SLOPE IN ANY DIRECTION FOR HANDICAP PARKING SPACES.
 2. ACCESSIBLE ROUTES (CROSSWALK AREAS) AND SIDEWALKS SHALL NOT EXCEED A 2% MAX. CROSS SLOPE OR 5% MAX. LONGITUDINAL SLOPE.



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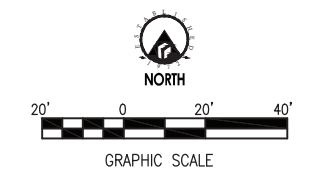
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DRAINAGE PLAN
SHEET NUMBER

C-3.1

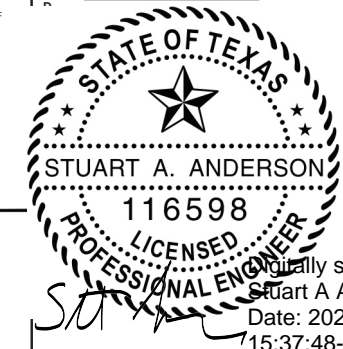




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EROSION CONTROL PLAN

SHEET NUMBER

C-3.2

KEY NOTES:

- FODS TRACKOUT CONTROL SYSTEM MAT.
- FODS SAFETY SIGN.
- ANCHOR POINT.
- SILT OR ORANGE CONSTRUCTION FENCE.

REMOVAL:

- REMOVAL OF FODS TRACKOUT CONTROL SYSTEM IS REVERSE ORDER OF INSTALLATION.
- STARTING WITH THE LAST MAT, THE MAT THAT IS PLACED AT THE INNERMOST POINT OF THE SITE OR THE MAT FURTHEST FROM THE EXIT OR PAVED SURFACE SHOULD BE REMOVED FIRST.
- THE ANCHORS SHOULD BE REMOVED.
- THE CONNECTOR STRAPS SHOULD BE UNBOLTED AT ALL LOCATIONS IN THE FODS TRACKOUT CONTROL SYSTEM.
- STARTING WITH THE LAST MAT IN THE SYSTEM, EACH SUCCESSIVE MAT SHOULD THEN BE MOVED AND STACKED FOR LOADING BY FORKLIFT OR EXCAVATOR ONTO A TRUCK FOR REMOVAL FROM THE SITE.

INSTALLATION:

- THE SITE WHERE THE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED SHOULD CORRESPOND TO BEST MANAGEMENT PRACTICES AS MUCH AS POSSIBLE. THE SITE WHERE FODS TRACKOUT CONTROL SYSTEM IS PLACED SHOULD ALSO MEET OR EXCEED THE LOCAL JURISDICTION OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- CALL FOR UTILITY LOCATES 3 BUSINESS DAYS IN ADVANCE OF THE FODS TRACKOUT CONTROL SYSTEM INSTALLATION FOR THE MARKING OF UNDERGROUND UTILITIES. CALL THE UTILITY NOTIFICATION CENTER AT 811.
- ONCE THE SITE IS ESTABLISHED WHERE FODS TRACKOUT CONTROL SYSTEM IS TO BE PLACED, ANY EXCESSIVE UNEVEN TERRAIN SHOULD BE LEVELED OUT OR REMOVED SUCH AS LARGE ROCKS, LANDSCAPING MATERIALS, OR SUDDEN ABRUPT CHANGES IN ELEVATION.
- THE INDIVIDUAL MATS CAN START TO BE PLACED INTO POSITION. THE FIRST MAT SHOULD BE PLACED NEXT TO THE CLOSEST POINT OF EGRESS. THIS WILL ENSURE THAT THE VEHICLE WILL EXIT STRAIGHT FROM THE SITE ONTO THE PAVED SURFACE.
- AFTER THE FIRST MAT IS PLACED DOWN IN THE PROPER LOCATION, MATS SHOULD BE ANCHORED TO PREVENT THE POTENTIAL MOVEMENT WHILE THE ADDITIONAL MATS ARE INSTALLED. ANCHORS SHOULD BE PLACED AT EVERY ANCHOR POINT (IF FEASIBLE) TO HELP MAINTAIN THE MAT IN ITS CURRENT POSITION.
- AFTER THE FIRST MAT IS ANCHORED IN ITS PROPER PLACE, AN H BRACKET SHOULD BE PLACED AT THE END OF THE FIRST MAT BEFORE ANOTHER MAT IS PLACED ADJACENT TO THE FIRST MAT.
- ONCE THE SECOND MAT IS PLACED ADJACENT TO THE FIRST MAT, MAKE SURE THE H BRACKET IS CORRECTLY SITUATED BETWEEN THE TWO MATS, AND SLIDE MATS TOGETHER.
- NEXT THE CONNECTOR STRAPS SHOULD BE INSTALLED TO CONNECT THE TWO MATS TOGETHER.
- UPON PLACEMENT OF EACH NEW MAT IN THE SYSTEM, THAT MAT SHOULD BE ANCHORED AT EVERY ANCHOR POINT TO HELP STABILIZE THE MAT AND ENSURE THE SYSTEM IS CONTINUOUS WITH NO GAPS IN BETWEEN THE MATS.
- SUCCESSIVE MATS CAN THEN BE PLACED TO CREATE THE FODS TRACKOUT CONTROL SYSTEM REPEATING THE ABOVE STEPS.

USE AND MAINTENANCE:

- VEHICLES SHOULD TRAVEL DOWN THE LENGTH OF THE TRACKOUT CONTROL SYSTEM AND NOT CUT ACROSS THE MATS.
- DRIVERS SHOULD TURN THE WHEEL OF THEIR VEHICLES SUCH THAT THE VEHICLE WILL MAKE A SHALLOW S-TURN ROUTE DOWN THE LENGTH OF THE FODS TRACKOUT CONTROL SYSTEM.
- MATS SHOULD BE CLEANED ONCE THE VOIDS BETWEEN THE PYRAMIDS BECOME FULL OF SEDIMENT. TYPICALLY THIS WILL NEED TO BE PERFORMED WITHIN TWO WEEKS AFTER A STORM EVENT. BRUSHING IS THE PREFERRED METHOD OF CLEANING, EITHER MANUALLY OR MECHANICALLY.
- THE USE OF ICE MELT, ROCK SALT, SNOW MELT, DEICER, ETC., SHOULD BE UTILIZED AS NECESSARY DURING THE WINTER MONTHS AND AFTER A SNOW EVENT TO PREVENT ICE BUILDUP.

1 FODS TRACKOUT CONTROL SYSTEM NTS



EROSION CONTROL PLAN

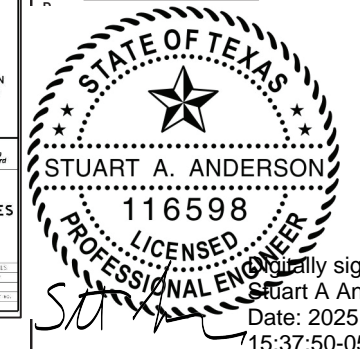




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 Atlanta, Georgia
 30349-2998

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Stuart A. Anderson
 Date: 2025.01.21
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CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: S08C - R
 RELEASE: v0.23.08
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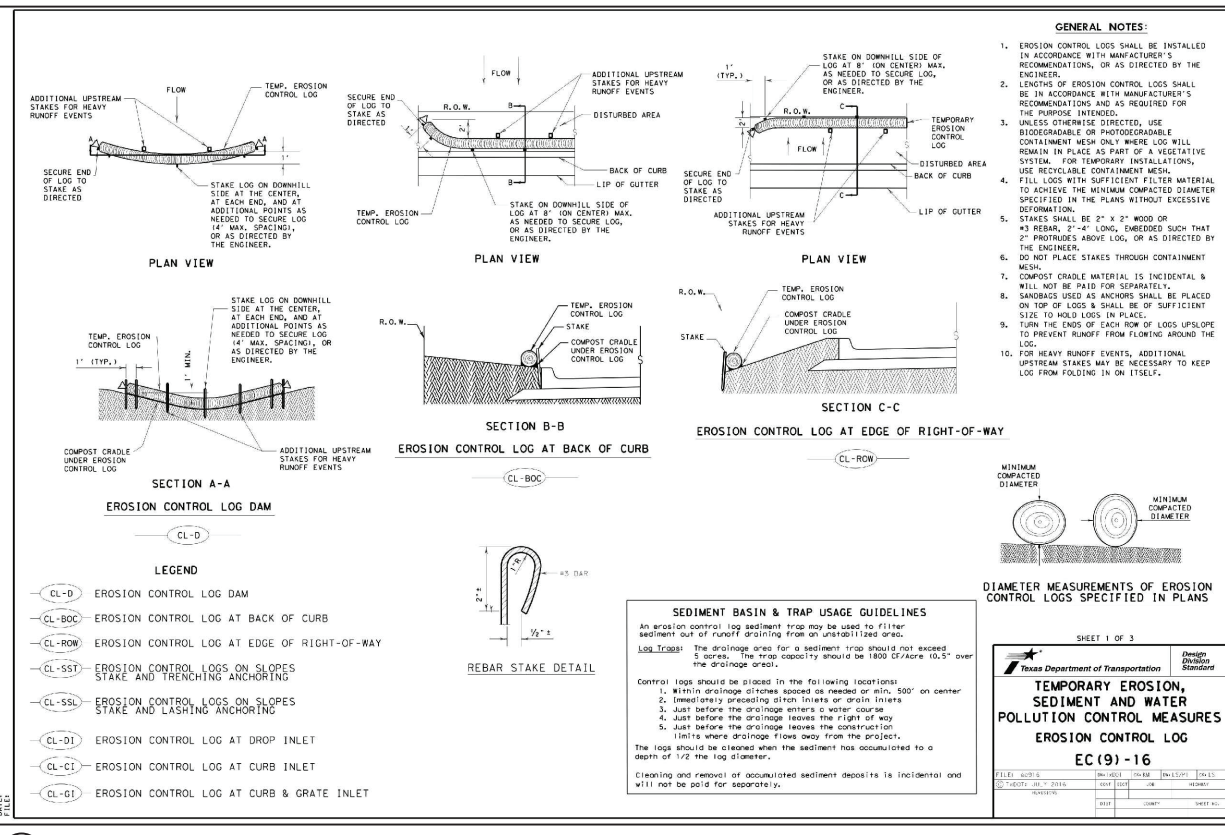
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NO.	DATE	DESCRIPTION
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CONSULTANT PROJECT #	
DATE	10/2024
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CHECKED BY	FAR

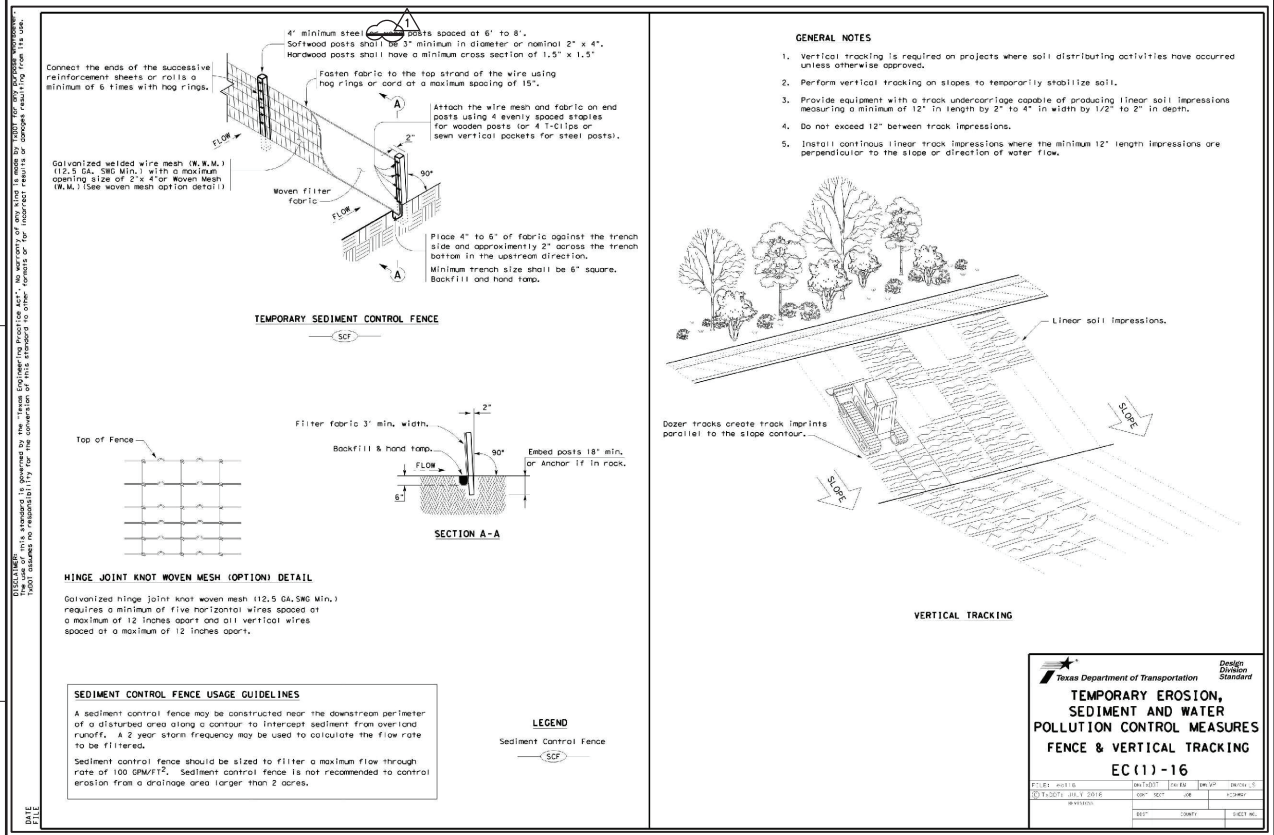
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EROSION CONTROL DETAILS
 SHEET NUMBER

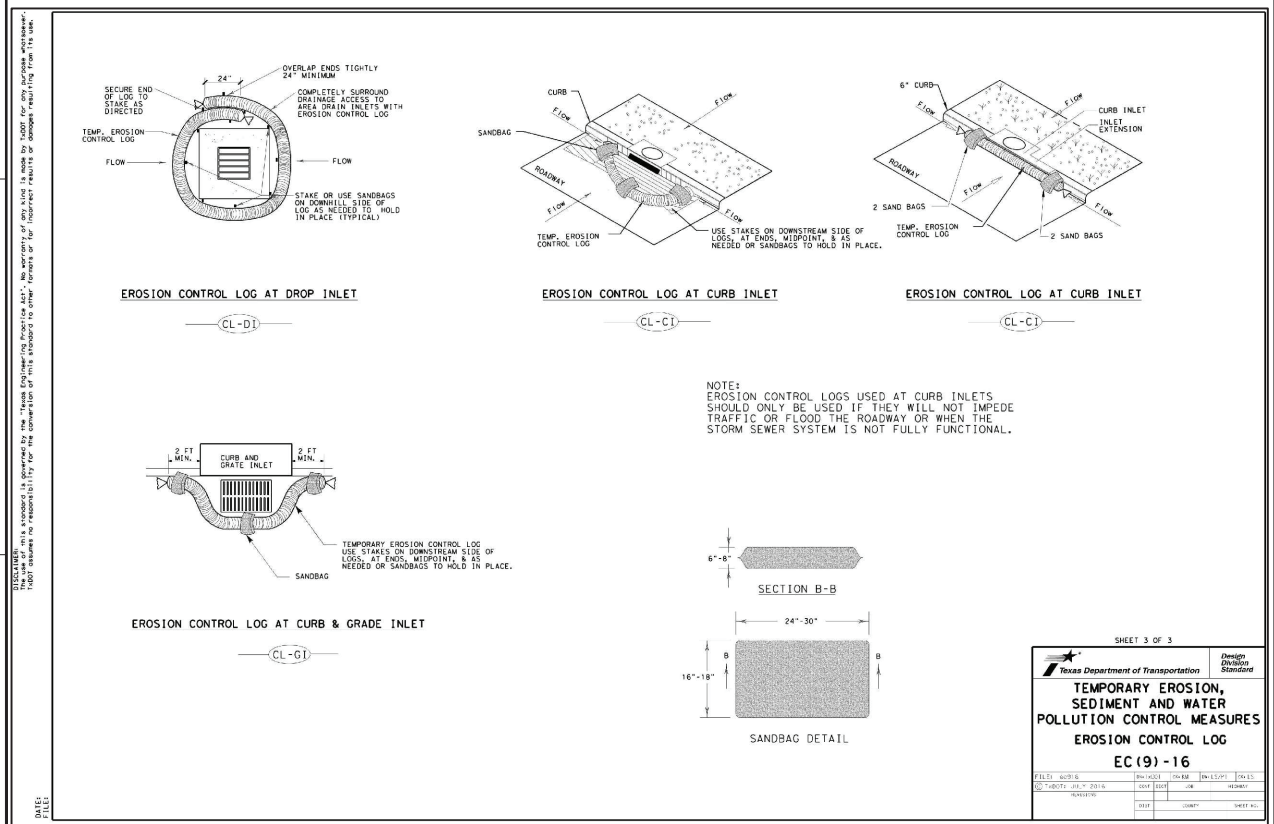
C-3.3



② TXDOT EROSION CONTROL LOG DETAIL NTS



① TXDOT TEMPORARY EROSION AND SEDIMENT FENCING DETAIL NTS



③ TXDOT EROSION CONTROL LOG DETAIL (SHEET 3 OF 3) NTS

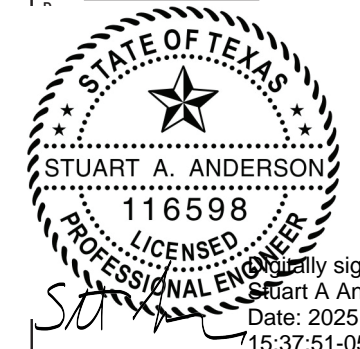


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 BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R
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CONSULTANT PROJECT # 2024.0627
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 CHECKED BY FR

PROP. BASIN MAP

SHEET NUMBER
C-3.4

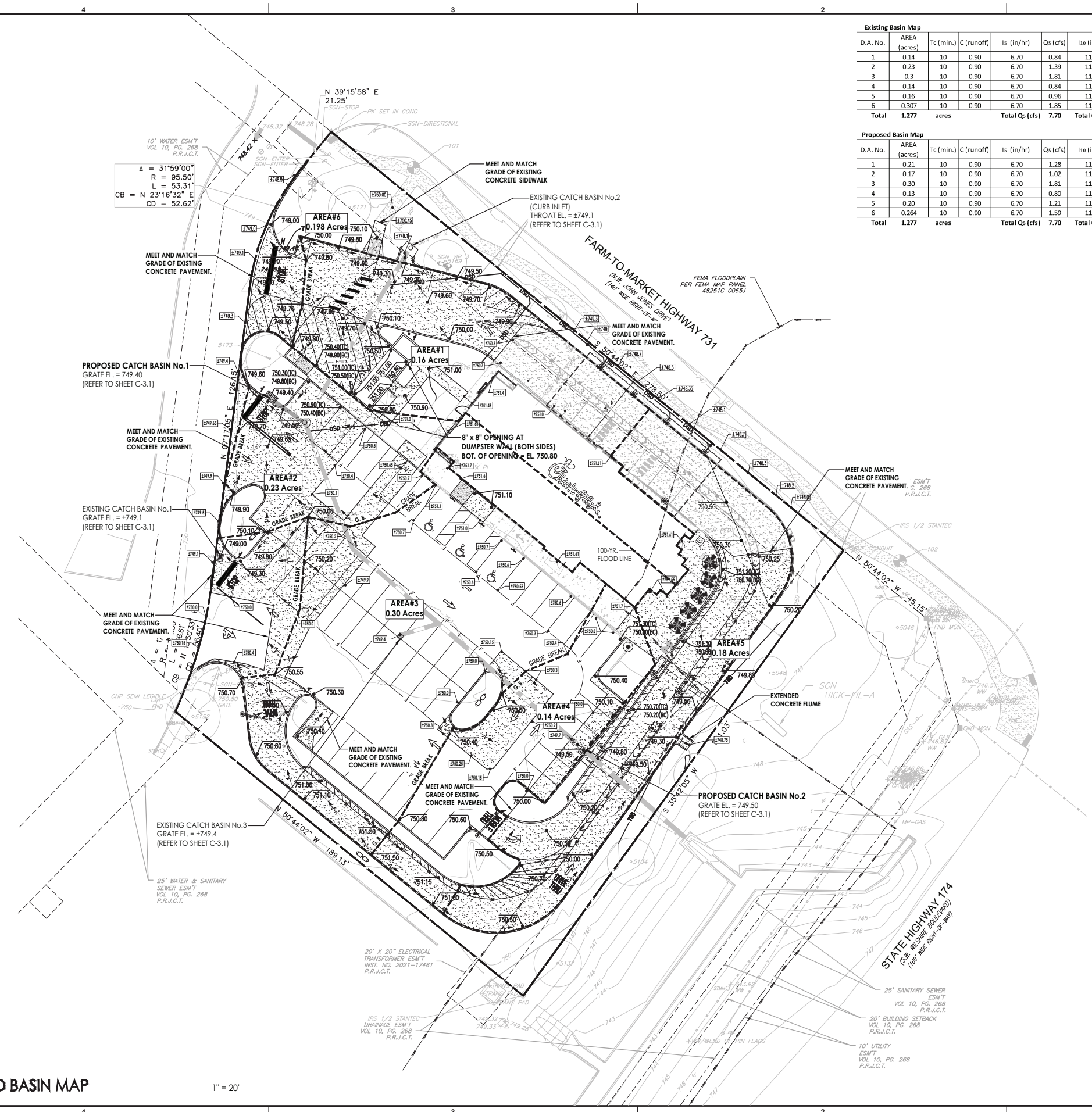
Existing Basin Map								
D.A. No.	AREA (acres)	Tc (min.)	C (runoff)	Is (in/hr)	Qs (cfs)	Ito (in/hr)	Qto (cfs)	Comments
1	0.14	10	0.90	6.70	0.84	11.60	1.46	
2	0.23	10	0.90	6.70	1.39	11.60	2.40	
3	0.3	10	0.90	6.70	1.81	11.60	3.13	
4	0.14	10	0.90	6.70	0.84	11.60	1.46	
5	0.16	10	0.90	6.70	0.96	11.60	1.67	
6	0.307	10	0.90	6.70	1.85	11.60	3.21	
Total	1.277	acres		Total Qs (cfs)	7.70	Total Ito (cfs)	13.33	

Proposed Basin Map								
D.A. No.	AREA (acres)	Tc (min.)	C (runoff)	Is (in/hr)	Qs (cfs)	Ito (in/hr)	Qto (cfs)	Comments
1	0.21	10	0.90	6.70	1.28	11.60	2.21	
2	0.17	10	0.90	6.70	1.02	11.60	1.76	
3	0.30	10	0.90	6.70	1.81	11.60	3.14	
4	0.13	10	0.90	6.70	0.80	11.60	1.38	
5	0.20	10	0.90	6.70	1.21	11.60	2.09	
6	0.264	10	0.90	6.70	1.59	11.60	2.75	
Total	1.277	acres		Total Qs (cfs)	7.70	Total Ito (cfs)	13.33	

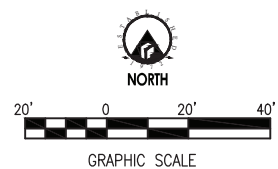
LEGEND

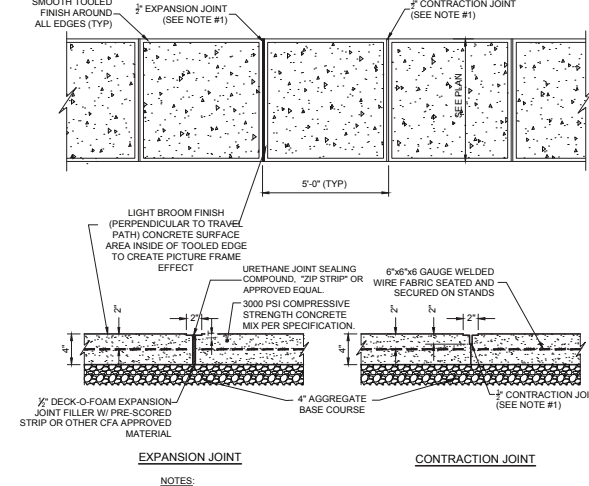
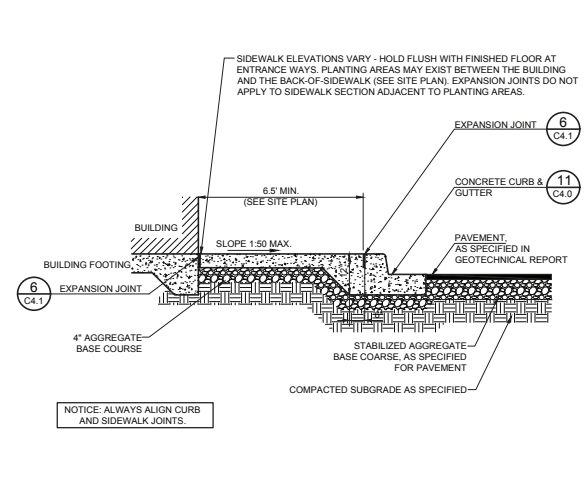
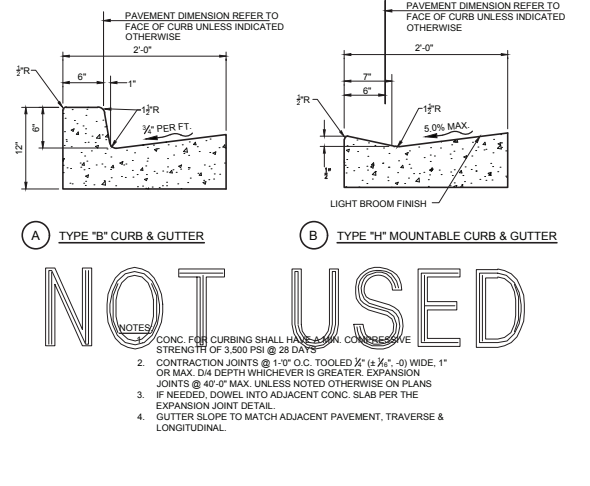
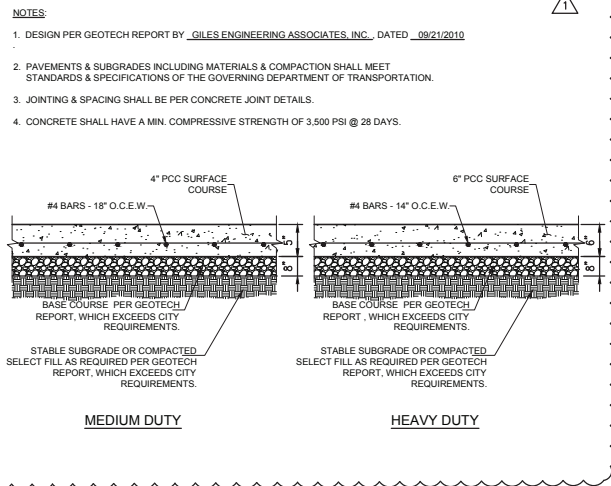
- EXISTING CONTOUR (BY SURVEY)
- DSD DOWN SPOUT DRAINS
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED INLET
- EXISTING INLET
- AREA# DRAINAGE AREA NUMBER ACRES
- DRAINAGE DIVIDE

- LEGEND**
- 1/2" ROW ROAD FOUND (UNLESS NOTED)
 - 1/2" ROW ROAD SET
 - ROW FENCE FOUND
 - RAIL FENCE FOUND
 - COMPUTED POINT
 - MONUMENT SET
 - CUT "X"
 - POLE
 - POWER POLE
 - POLE OFF
 - FIRE HYDRANT
 - WATER VALVE
 - METER METER
 - TELEPHONE RISE
 - CABLE TV RISE
 - ELECTRIC BOX
 - GAS METER
 - GAS VALVE
 - PLAT RECORDS OF BURLESON COUNTY TEXAS
 - ARROW COUNTY TEXAS
 - PARKING SPACE
 - HANDICAP SPACE
 - DOTS DENOTES "E" EXCEPTIONS
 - WOOD FENCE
 - CHAIN LINK FENCE
 - WIRE FENCE
 - CHANGING ELEC. LINE
 - STORM SEWER LINE
 - WATER LINE
 - WASTE WATER LINE
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - USE LINE
 - ELECTRIC MANHOLE
 - MANHOLE
 - WATER METER
 - TELEPHONE MANHOLE
 - STORMWATER MANHOLE
 - TRAFFIC CONTROL BOX
 - TRAFFIC SIGNAL POST
 - SON
 - BELLS
 - DRAINAGE INLET
 - RECORD INFORMATION
 - POINT OF BEGINNING
 - POINT OF COMMENCEMENT
 - BENCHMARK



PROPOSED BASIN MAP
 1" = 20'



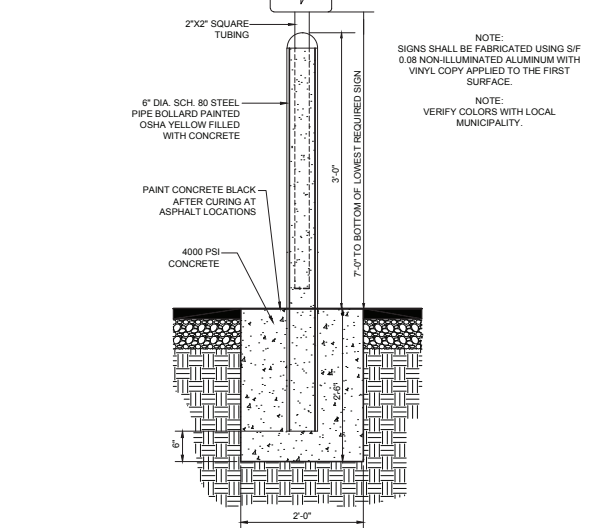
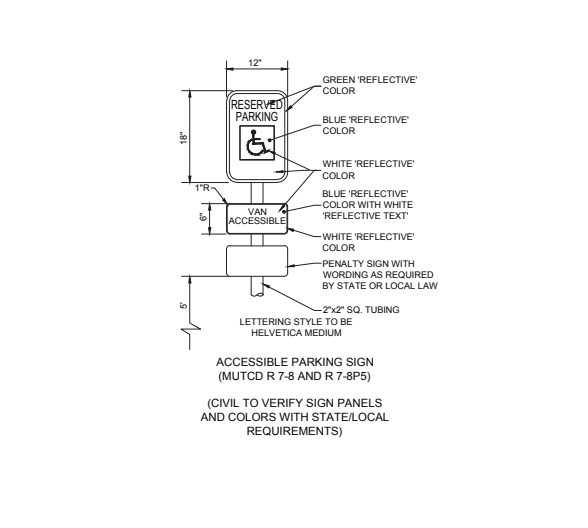
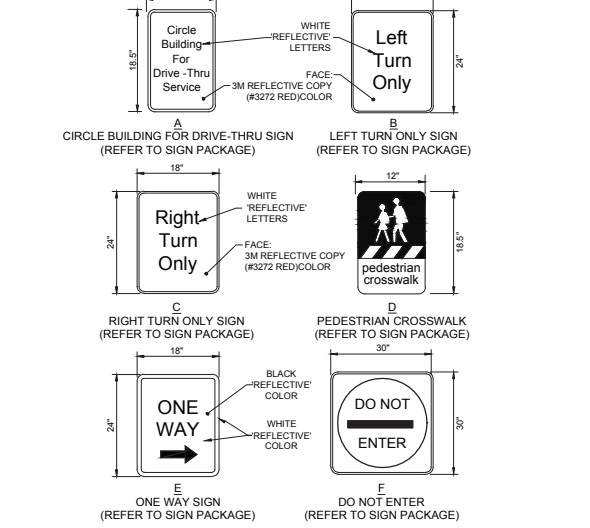
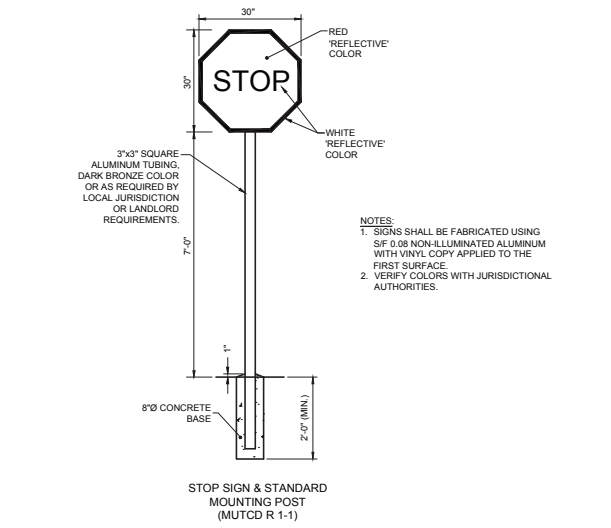


12 CONCRETE PAVEMENTS
C4.0 NOT TO SCALE

11 CONCRETE CURB & GUTTER
C4.0 NOT TO SCALE

10 SIDEWALK W/ CURB & GUTTER
C4.0 NOT TO SCALE

9 CONCRETE SIDEWALK
C4.0 NOT TO SCALE

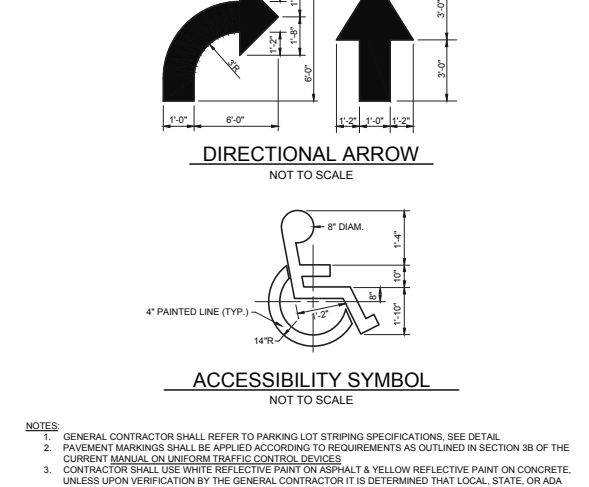
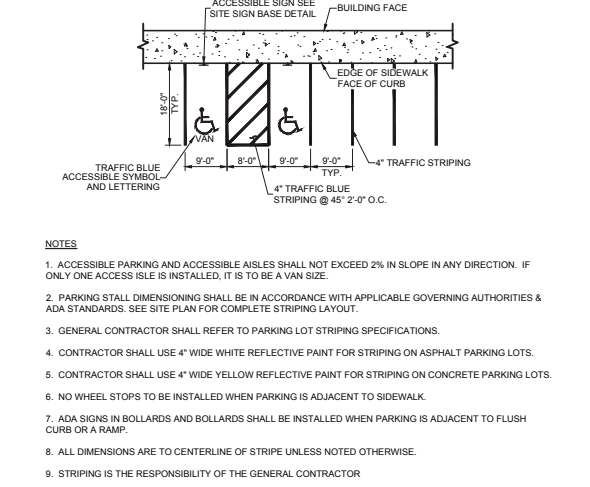
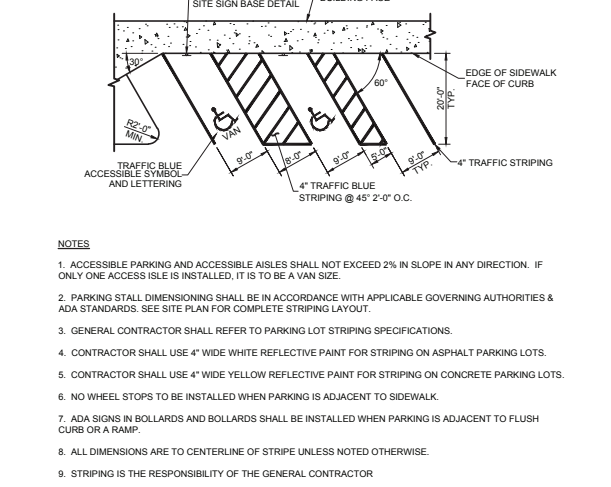


8 STOP SIGN
C4.0 NOT TO SCALE

7 DIRECTIONAL SIGNAGE
C4.0 NOT TO SCALE

6 ACCESSIBLE PARKING SIGN
C4.0 NOT TO SCALE

5 BOLLARD MOUNTED SIGN
C4.0 NOT TO SCALE



4 60° ANGLED PARKING STRIPING
C4.0 NOT TO SCALE

3 90° PARKING STRIPING
C4.0 NOT TO SCALE

2 PAVEMENT MARKINGS - 2
C4.0 NOT TO SCALE

1 PAVEMENT MARKINGS - 1
C4.0 NOT TO SCALE

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STUART A. ANDERSON
116598
LICENSED PROFESSIONAL ENGINEER

Stuart A. Anderson
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15:37:52-05'00'

CHICK-FIL-A
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FSR#02786
BUILDING TYPE / SIZE: SBOC - R
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CHICK-FIL-A STANDARD DETAILS
SHEET NUMBER

C-4.0

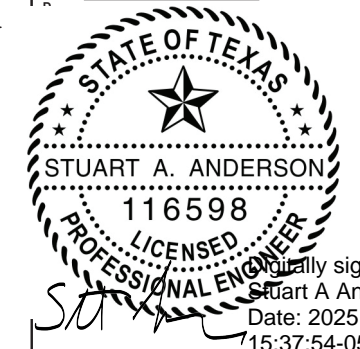


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SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R
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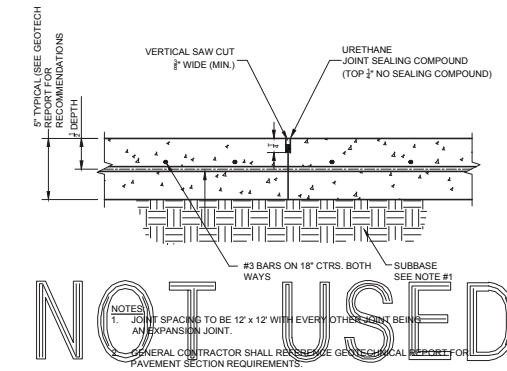
CONSULTANT PROJECT # 2024.0627
DATE 10/20/24

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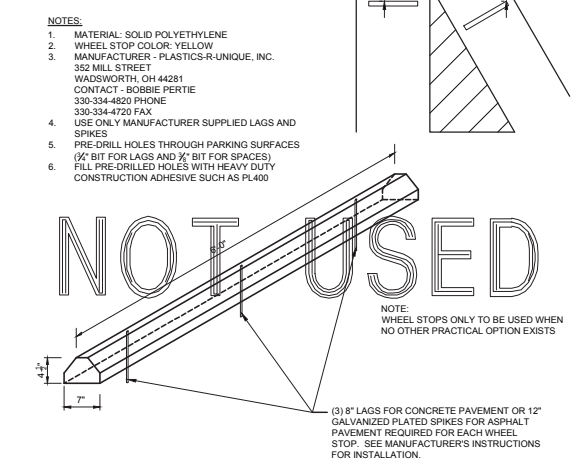
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CHICK-FIL-A STANDARD
DETAILS

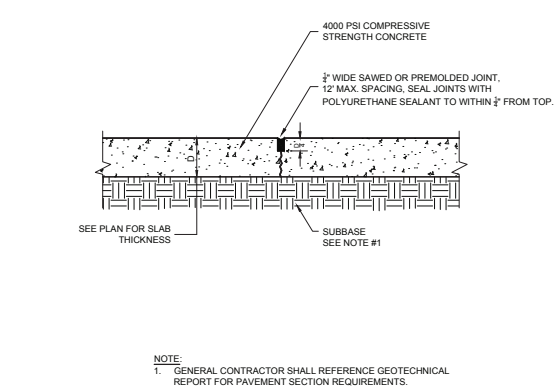
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C-4.1



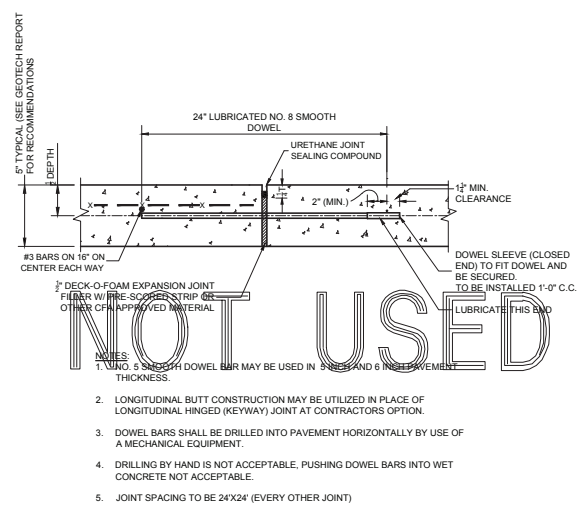
9 CONTRACTION JOINT
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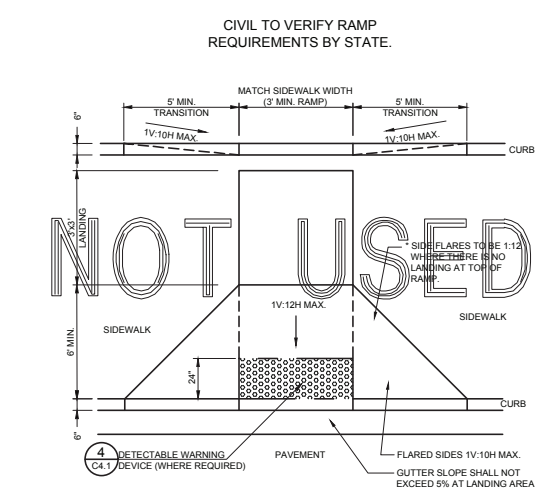
5 SOLID PLASTIC WHEEL STOP
C4.1 NOT TO SCALE



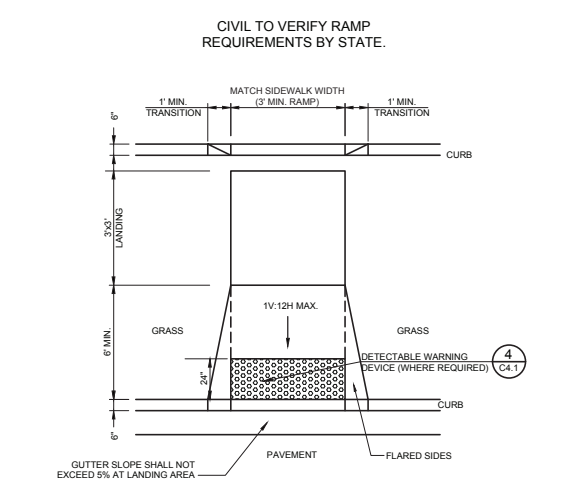
10 TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT
C4.1 NOT TO SCALE



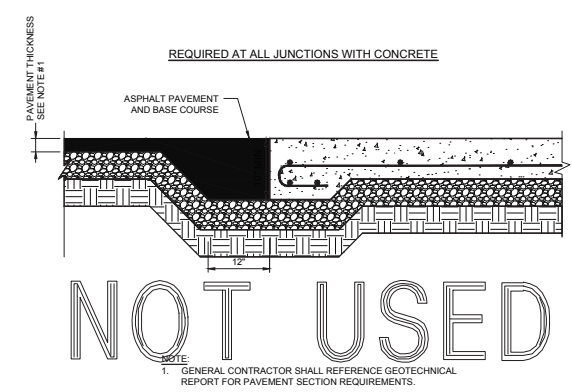
6 EXPANSION JOINT
C4.1 NOT TO SCALE



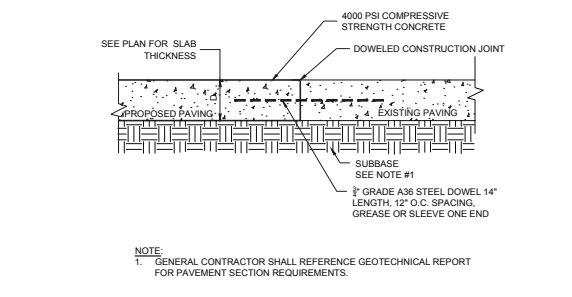
2 CURB RAMP w/ FLARED SIDES
C4.1 NOT TO SCALE



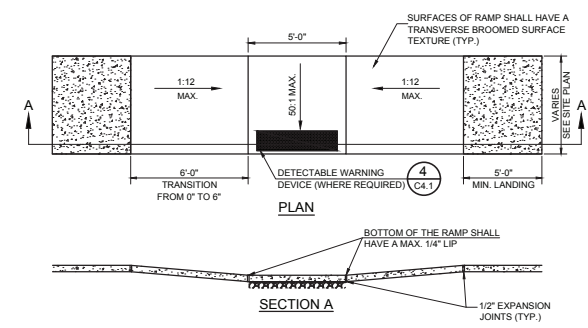
1 CURB RAMP w/ SHORT FLARED SIDES
C4.1 NOT TO SCALE



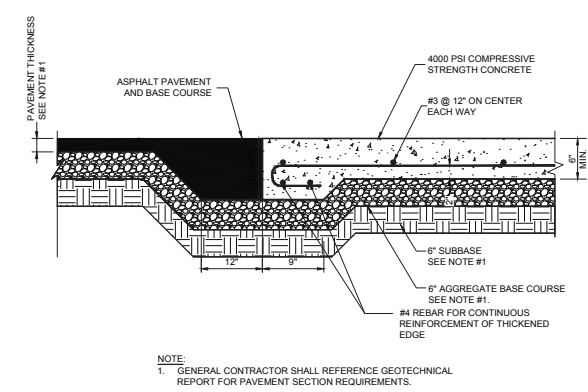
11 PAVEMENT EDGE DETAIL
C4.1 NOT TO SCALE



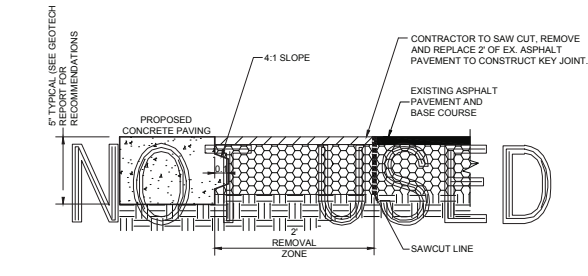
7 TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT
C4.1 NOT TO SCALE



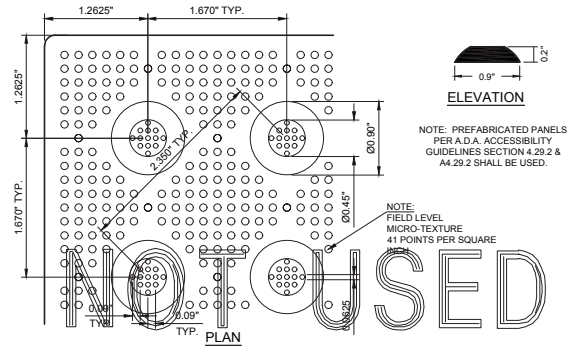
3 SIDEWALK ACCESSIBLE RAMP
C4.1 NOT TO SCALE



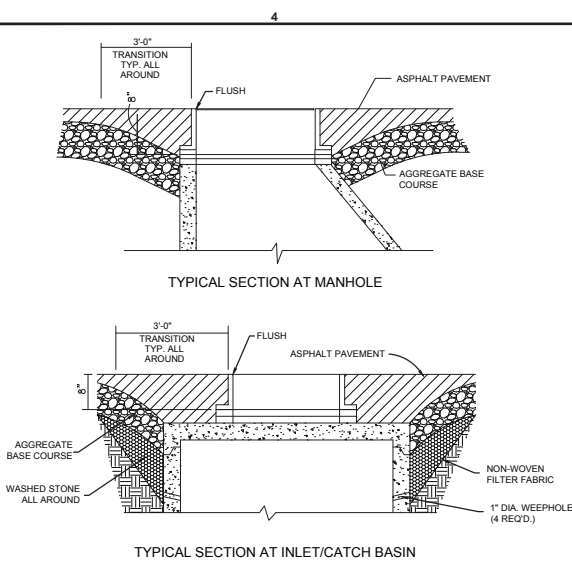
12 CONCRETE APRON AT TRASH ENCLOSURE
C4.1 NOT TO SCALE



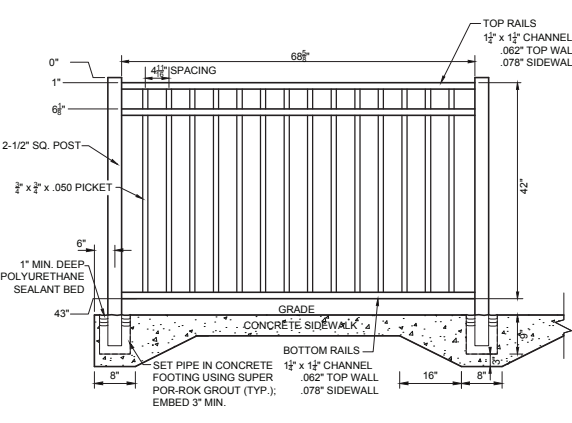
8 KEYED CONSTRUCTION JOINT
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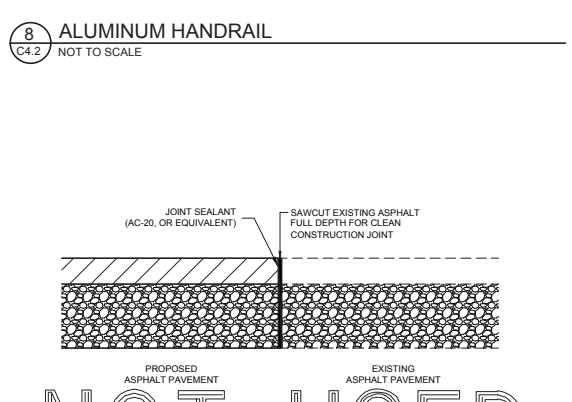
4 DETECTABLE WARNING DEVICE
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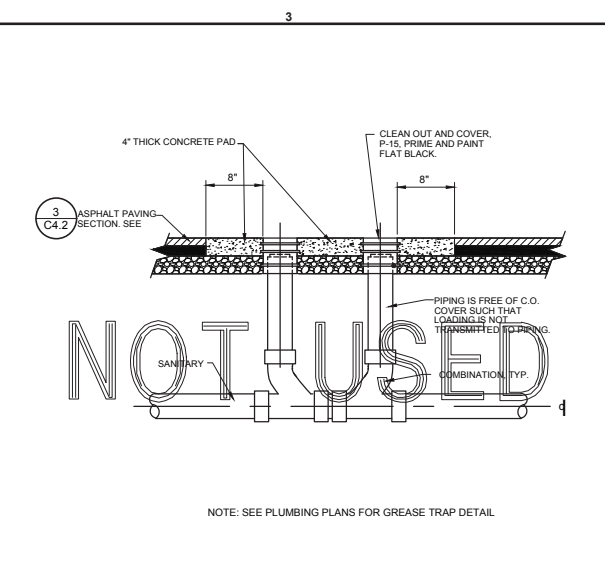
12 TYPICAL SECTION @ BASINS
C4.2 NOT TO SCALE



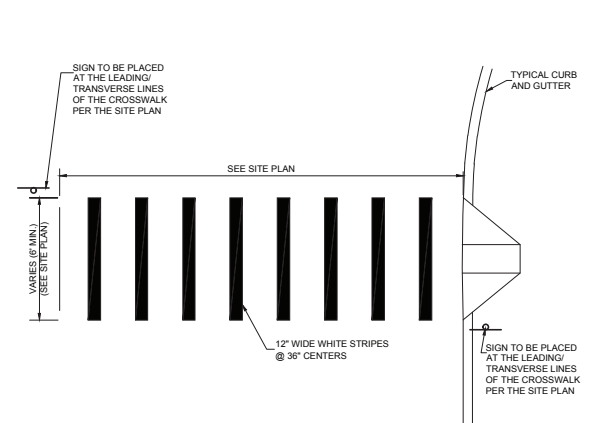
8 ALUMINUM HANDRAIL
C4.2 NOT TO SCALE



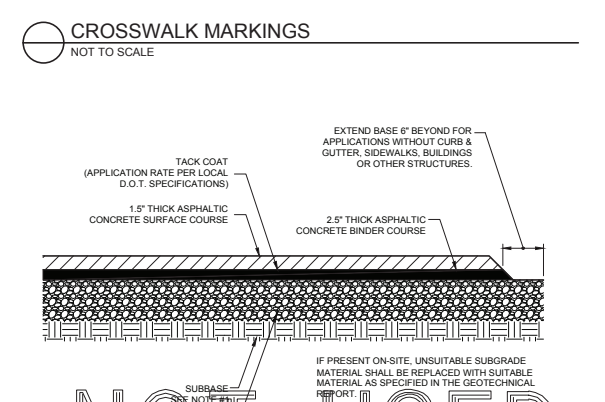
4 BUTT JOINT
C4.2 NOT TO SCALE



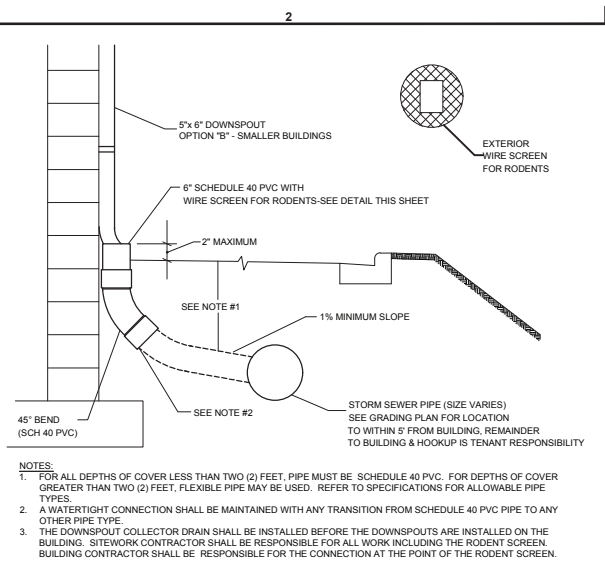
11 CLEAN-OUT OUTSIDE OF BUILDING
C4.2 NOT TO SCALE



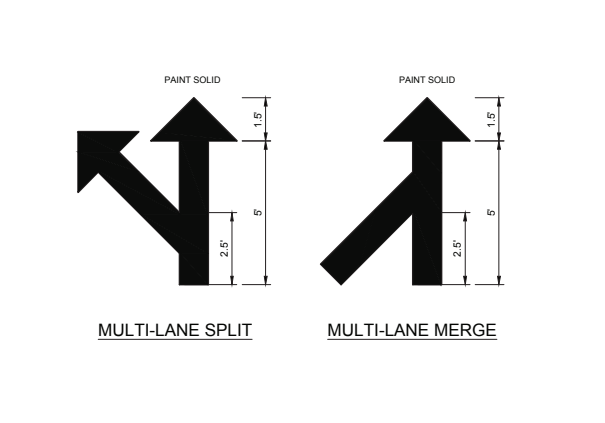
11 CROSSWALK MARKINGS
NOT TO SCALE



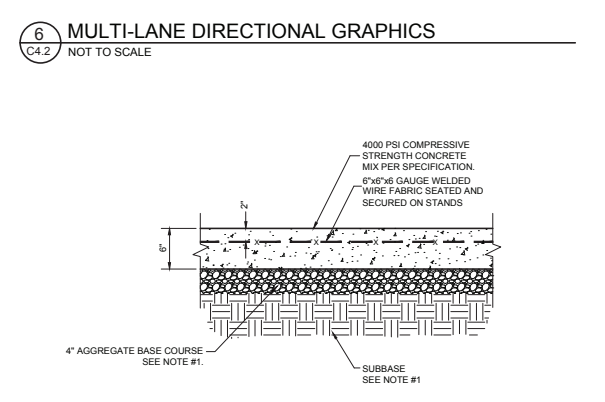
3 TYPICAL HMAC PAVEMENT SECTION
C4.2 NOT TO SCALE



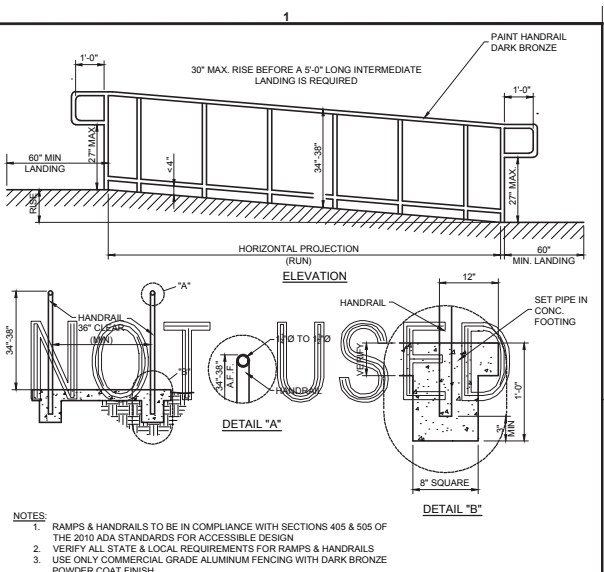
10 BUILDING DOWNSPOUT CONNECTION
NOT TO SCALE



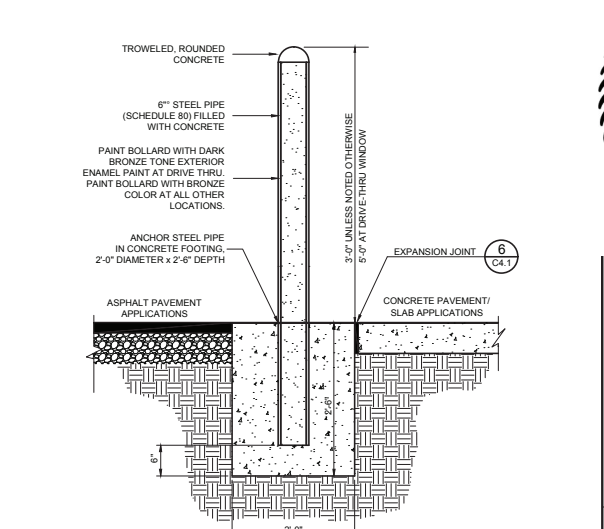
6 MULTI-LANE DIRECTIONAL GRAPHICS
C4.2 NOT TO SCALE



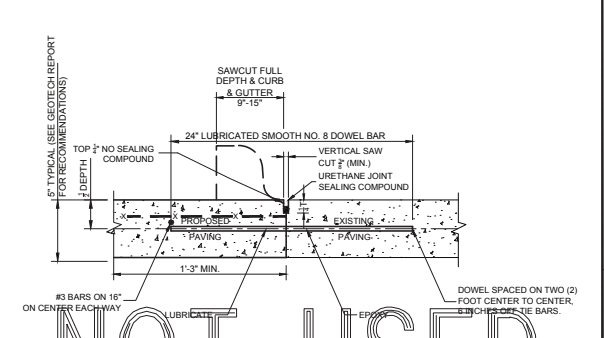
2 CONCRETE PAVEMENT DRIVE-THRU LANE
C4.2 NOT TO SCALE



9 TYPICAL ADA RAMP & HANDRAIL
C4.2 NOT TO SCALE



5 CONCRETE BOLLARD
C4.2 NOT TO SCALE



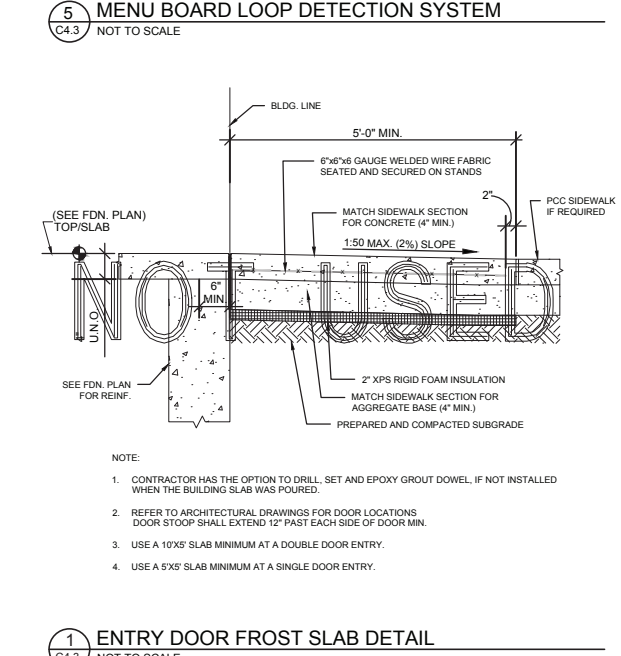
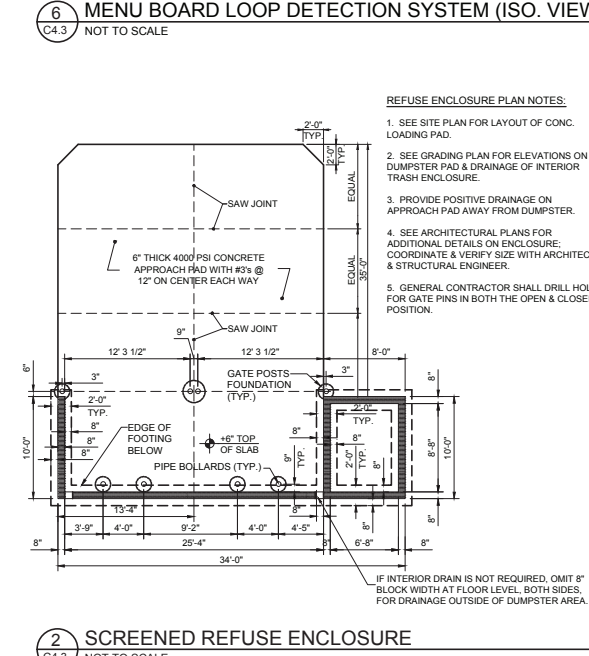
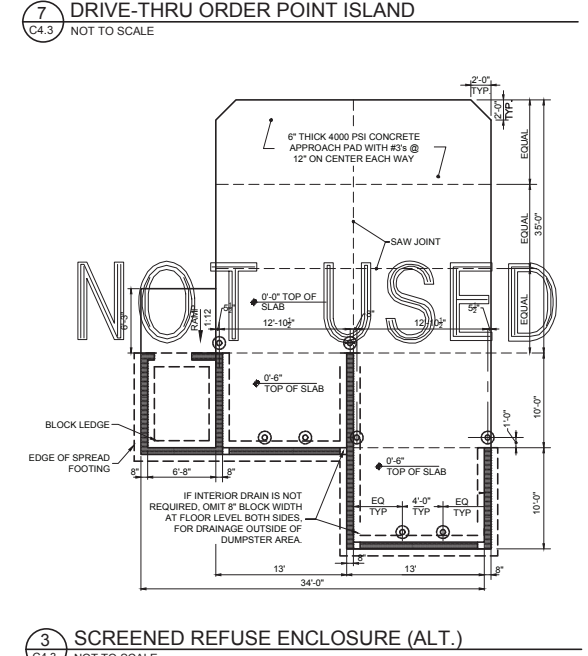
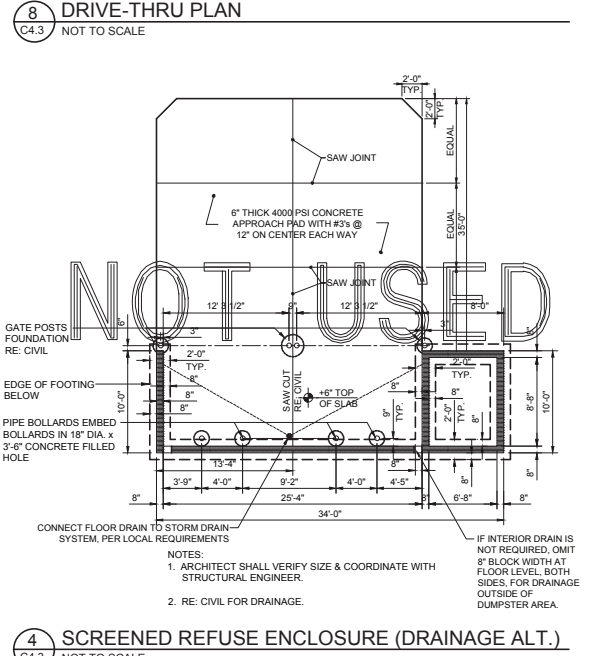
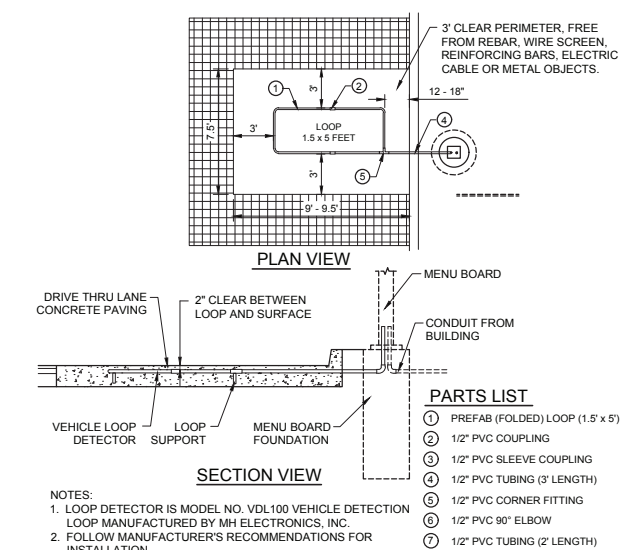
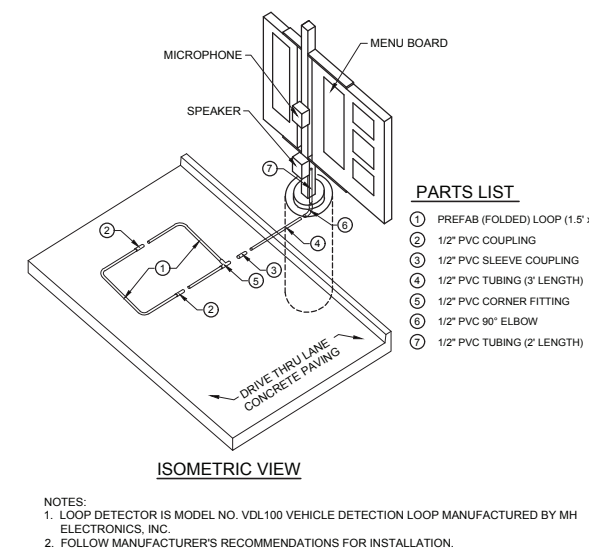
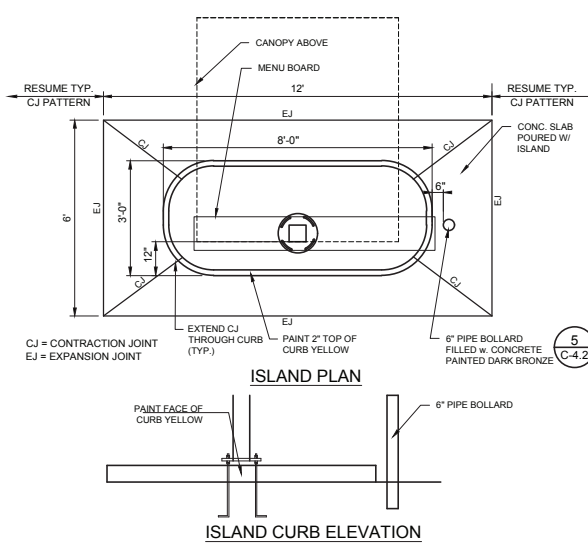
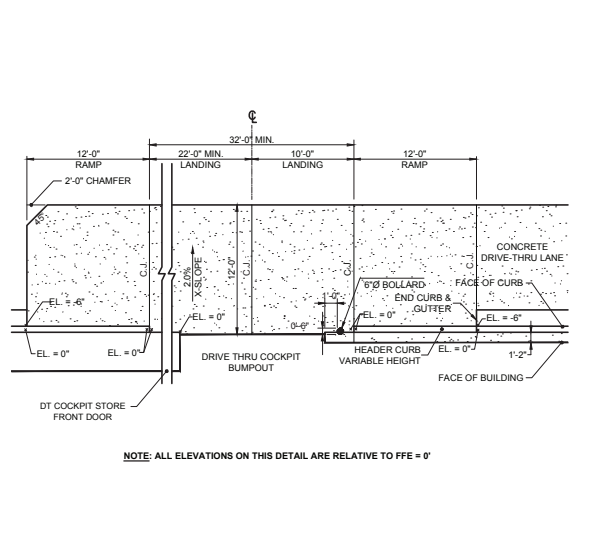
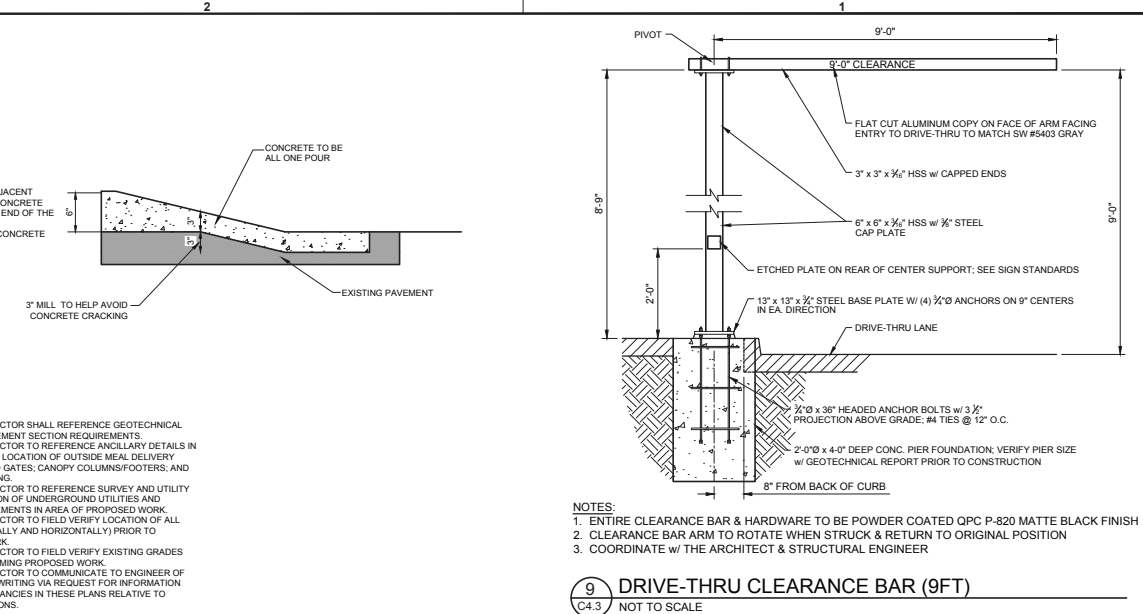
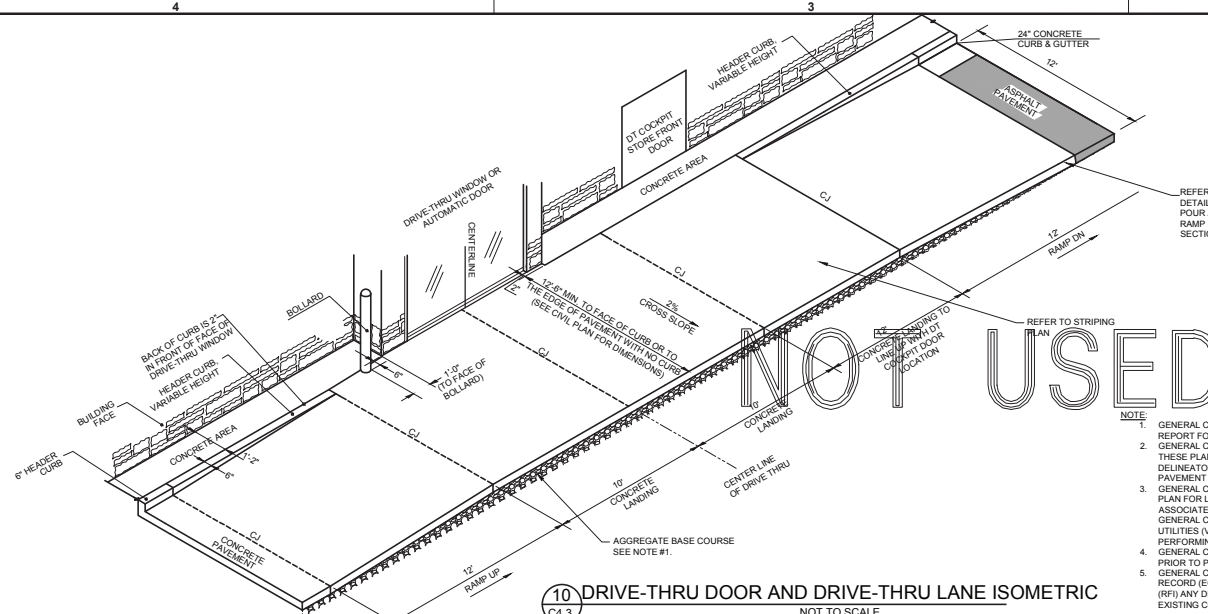
1 LONGITUDINAL BUTT JOINT
C4.2 NOT TO SCALE

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STATE OF TEXAS
STUART A. ANDERSON
116598
LICENSED PROFESSIONAL ENGINEER
Stuart A. Anderson
Date: 2025.01.21
15:37:55-05'00'

CHICK-FIL-A
SOUTH BURLESON
111 NW. JOHN JONES DRIVE
BURLESON, TX. 76028

FSR#02786
BUILDING TYPE / SIZE: SBOC - R
RELEASE: v0.23.08
PERMIT
REVISION SCHEDULE
NO. DATE DESCRIPTION
CONSULTANT PROJECT # 2024.0627
DATE 10/2024
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CHICK-FIL-A STANDARD DETAILS
SHEET NUMBER
C-4.2



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CHICK-FIL-A STANDARD DETAILS
SHEET NUMBER

C-4.3

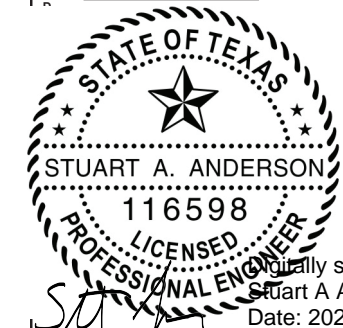


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FSR#02786
 BUILDING TYPE / SIZE: S08C - R
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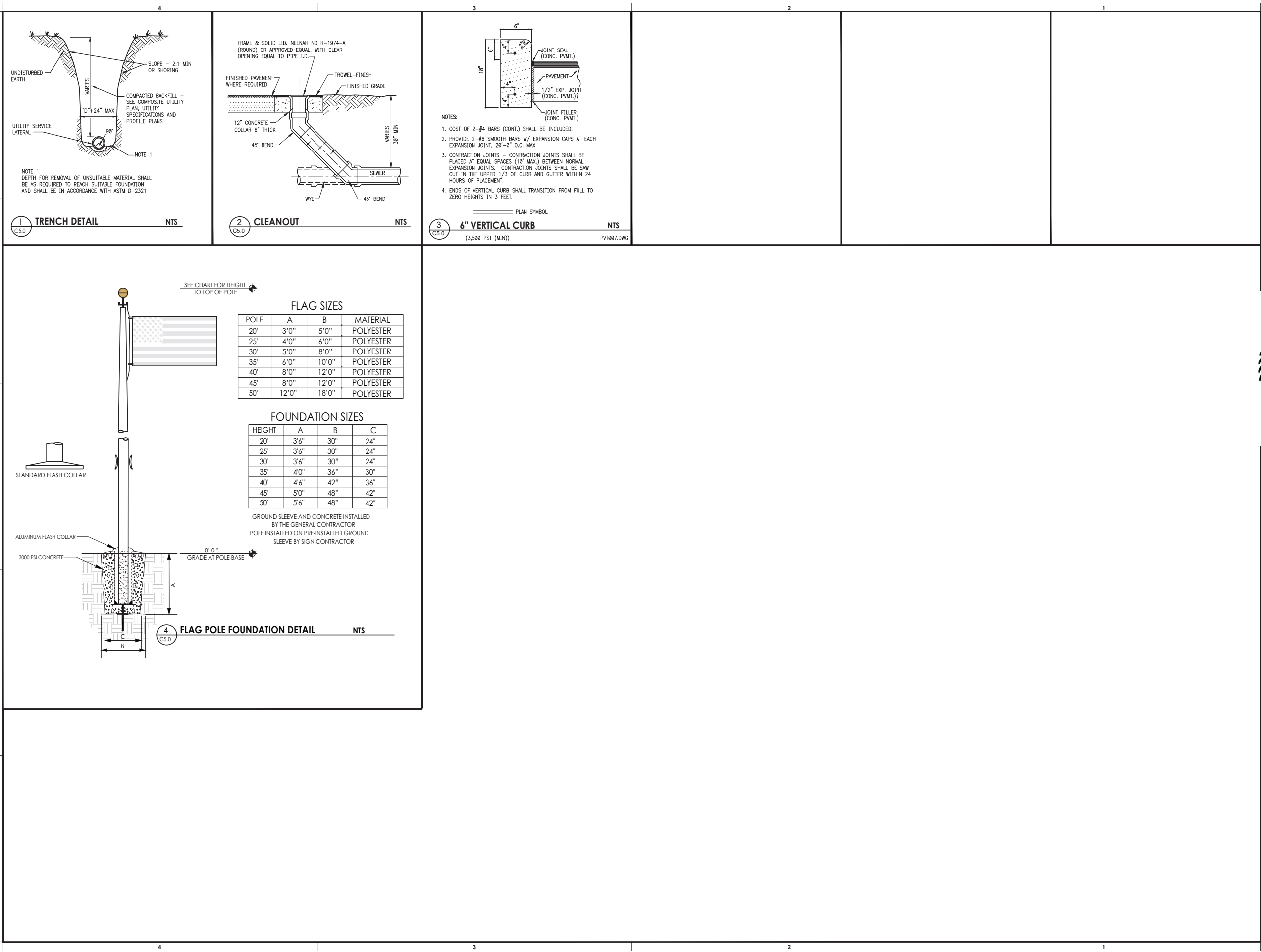
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REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627
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CONSTRUCTION DETAILS

SHEET NUMBER
C-5.0





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FSR#02786

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TXDOT STANDARD DETAILS

SHEET NUMBER

C-5.1

Style	Size (B x H)	#4	A x B (MINIMUM)	Sheet Span (Riser Steel Area)	Long Span (Riser Steel Area)
SL	3'x3'	0"	0"	0.37 sq/ft	0.37 sq/ft
AN.MC.RE.SH.SI.PG.	3'x3'	0"	3'x2" or 3" Dia.	0.37 sq/ft	0.37 sq/ft
SFG	3'x3'	0"	3'x2"	0.37 sq/ft	0.37 sq/ft
SL	4'x4'	0"	0"	0.37 sq/ft	0.37 sq/ft
AN.MC.RE.SH.SI.PG.	4'x4'	0"	3'x2" or 3" Dia.	0.41 sq/ft	0.41 sq/ft
SFG	4'x4'	0"	4'x4'	0.37 sq/ft	0.37 sq/ft
SL	3'x3'	0"	0"	0.37 sq/ft	0.37 sq/ft
AN.MC.RE.SH.SI.PG.	3'x3'	0"	3'x2" or 3" Dia.	0.48 sq/ft	0.48 sq/ft
SFG	3'x3'	0"	3'x2"	0.48 sq/ft	0.48 sq/ft
SL	4'x4'	0"	0"	0.42 sq/ft	0.42 sq/ft
AN.MC.RE.SH.SI.PG.	4'x4'	0"	3'x2" or 3" Dia.	0.42 sq/ft	0.42 sq/ft
SFG	4'x4'	0"	4'x4'	0.42 sq/ft	0.42 sq/ft
SL	3'x3'	0"	0"	0.48 sq/ft	0.48 sq/ft
AN.MC.RE.SH.SI.PG.	3'x3'	0"	3'x2" or 3" Dia.	0.48 sq/ft	0.48 sq/ft
SFG	3'x3'	0"	3'x2"	0.48 sq/ft	0.48 sq/ft
SL	4'x4'	0"	0"	0.48 sq/ft	0.48 sq/ft
AN.MC.RE.SH.SI.PG.	4'x4'	0"	3'x2" or 3" Dia.	0.48 sq/ft	0.48 sq/ft
SFG	4'x4'	0"	4'x4'	0.48 sq/ft	0.48 sq/ft
SL	3'x3'	0"	0"	0.48 sq/ft	0.48 sq/ft
AN.MC.RE.SH.SI.PG.	3'x3'	0"	3'x2" or 3" Dia.	0.48 sq/ft	0.48 sq/ft
SFG	3'x3'	0"	3'x2"	0.48 sq/ft	0.48 sq/ft
SL	4'x4'	0"	0"	0.48 sq/ft	0.48 sq/ft
AN.MC.RE.SH.SI.PG.	4'x4'	0"	3'x2" or 3" Dia.	0.48 sq/ft	0.48 sq/ft
SFG	4'x4'	0"	4'x4'	0.48 sq/ft	0.48 sq/ft

- FABRICATION NOTES:**
- Locate reinforcement (style, size, ring and cover) (style, size, ring and cover) (style, size, ring and cover) in concrete. Only one production is allowed per slab.
 - Provide Class "M" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
 - Provide rebar (size, spacing, steel or equivalent steel) in slab for structural reinforcement and 2" form and steel for shrinkage and temperature reinforcement. Provide steel area in 0.11 sq/ft each way.
 - Slabs with a thickness of 8" or greater require shrinkage and temperature reinforcement. Provide steel area in 0.11 sq/ft each way.
 - No substitution is allowed for diagonal #4 bars around openings.
 - Design (longitudinal) grooves joints for full closure on both shoulders. Minimum width shall be 1/2".
 - Provide fitting devices in accordance with Manufacturer's recommendations.
- INSTALLATION NOTES:**
- Precast slab lids are intended for direct traffic and may be placed in roadway.
 - Soil under and grooves joints with prepared or low angle in accordance with Manufacturer's recommendations. Trench and groove joints may be covered or more than 2" between each section, or 2" line joint depth, whichever is greater.
 - Do not use rubber gasket joints without Manufacturer's recommendation.
 - Install installation of grade adjustment rings for 3/16ths for and 1/4" is limited to 1-1/2" dia. as shown.
 - When future construction affects final grade of structure. Make adjustments greater than 2" with additional rebar. Measurements shall be made to the base depth shown on sheet PSL. Structure must be evaluated if Max depth will be increased.
 - Drive long dimension of grate into perpendicular to traffic, unless noted otherwise in plans.

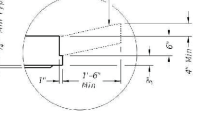
- GENERAL NOTES:**
- Dimensions according to ASTM D393.
 - Refer to Item 405, "Traffic Boxes, Markings, and Signs" by title, style, size, and spacing size when applicable.

Cover dimensions are clear dimensions, unless noted otherwise.

② See sheet PSL for corresponding wall thickness (B) of base and riser.

① Matches inside face of wall of precast base or riser below sheet.

③ Reinforcing mat shown for clarity when an apron is to be cast around PSL, and extend above to create an apron edge on all 4 sides.



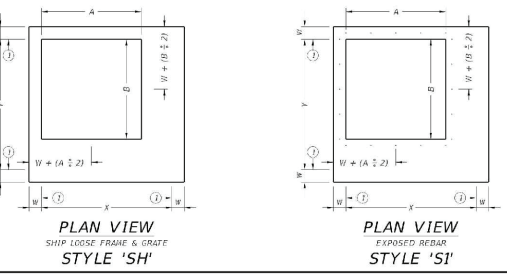
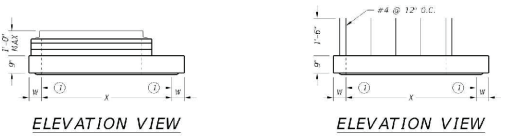
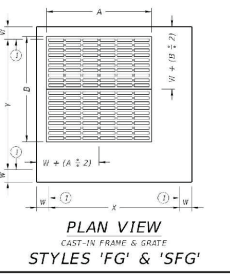
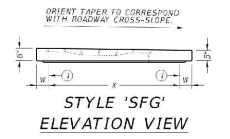
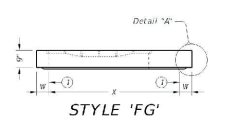
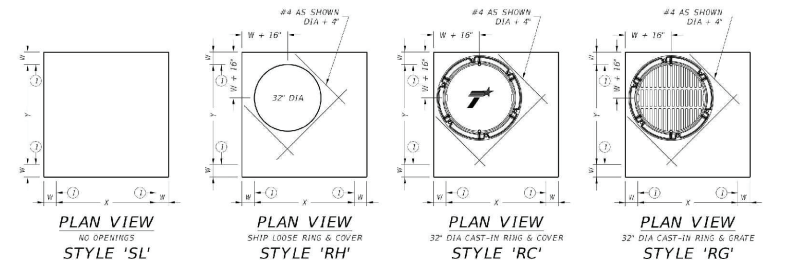
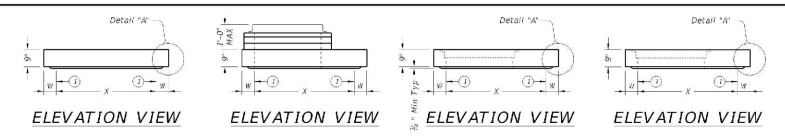
DETAIL "A"
(Reinforcing mat shown for clarity when an apron is to be cast around PSL, and extend above to create an apron edge on all 4 sides.)

HL93 LOADING SHEET 1 OF 2
Texas Department of Transportation Bridge Division Standard
PRECAST SLAB LID

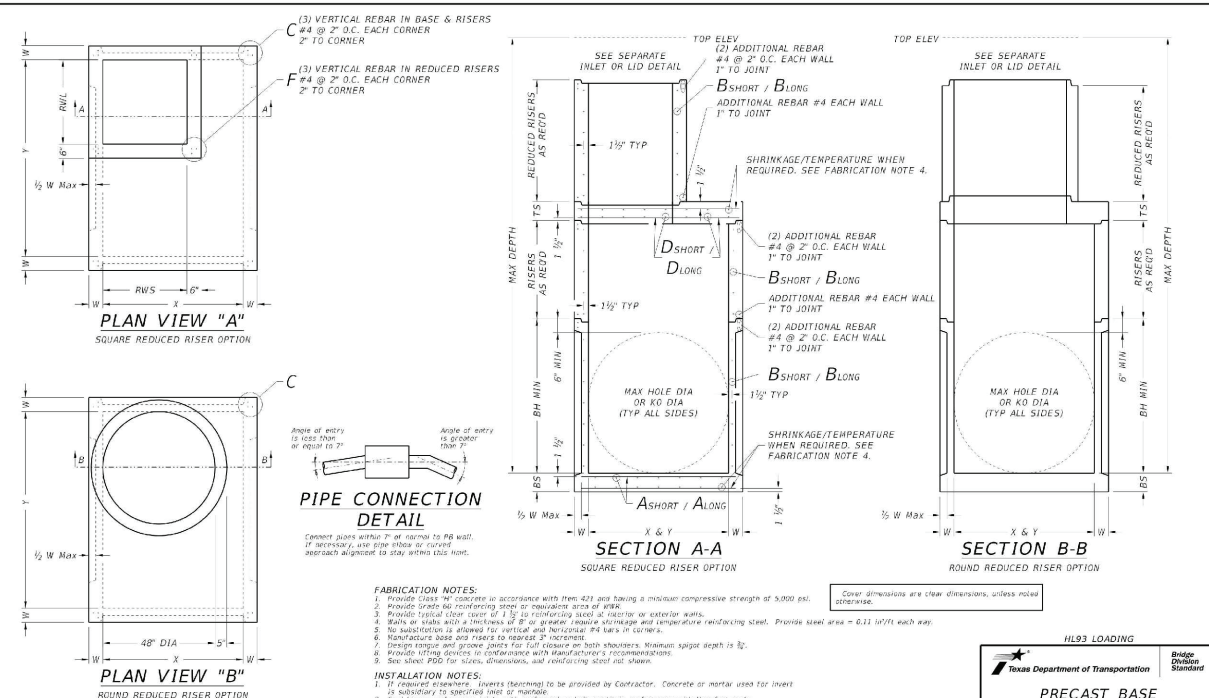
PSL
10-15-03-03-01
REVISED February 2020
DESIGNED BY: [blank]
CHECKED BY: [blank]

HL93 LOADING SHEET 2 OF 2
Texas Department of Transportation Bridge Division Standard
PRECAST SLAB LID

PSL
10-15-03-03-01
REVISED February 2020
DESIGNED BY: [blank]
CHECKED BY: [blank]



① TXDOT STANDARD PRECAST SLAB LID (PSL) AND GRATE DETAIL NTS



PIPE CONNECTION DETAIL
Connect joints within 2" of riser to PSL wall. If necessary, use pipe elbow or curved approach aligned to stay within L250 limit.

- FABRICATION NOTES:**
- Provide Class "M" concrete in accordance with Item 421 and having a minimum compressive strength of 5,000 psi.
 - Provide rebar (size, spacing, steel or equivalent steel) in slab for structural reinforcement and 2" form and steel for shrinkage and temperature reinforcement. Provide steel area in 0.11 sq/ft each way.
 - Slabs with a thickness of 8" or greater require shrinkage and temperature reinforcing steel. Provide steel area = 0.11 sq/ft each way.
 - No substitution is allowed for vertical and horizontal #4 bars in concrete.
 - Manufacture base and risers to resist 2" increments.
 - Design (longitudinal) grooves joints for full closure on both shoulders. Minimum depth shall be 1/2".
 - Provide fitting devices in accordance with Manufacturer's recommendations.
 - See sheet PSL for stress dimensions, and reinforcing steel mat shown.
- INSTALLATION NOTES:**
- If riser elevations (where shown) to be provided by Contractor. Concrete or mortar used for joints is subject to special test or mixture.
 - Soil under and grooves joints with prepared or low angle in accordance with Manufacturer's recommendations. Trench and groove joints may be covered or more than 2" between each section, or 2" line joint depth, whichever is greater.
 - Do not use rubber gasket joints without Manufacturer's recommendation.
 - For 1/2" dia. riser use 1/2" dia. riser with 1/2" dia. riser top and 1/2" dia. riser bottom.
 - For 1/2" dia. riser use 1/2" dia. riser with 1/2" dia. riser top and 1/2" dia. riser bottom.
 - For 1/2" dia. riser use 1/2" dia. riser with 1/2" dia. riser top and 1/2" dia. riser bottom.
- GENERAL NOTES:**
- Precast Base consists of base slab, base unit, riser (as required), reducing slab (as required), and reduced riser (as required). See sheet PSL for details.
 - Designed according to ASTM 191.3.
 - Refer to precast base is subsidiary to the specified title, per Item 405, "Traffic Boxes, Markings, and Signs"

HL93 LOADING
Texas Department of Transportation Bridge Division Standard
PRECAST BASE

PB
10-15-03-03-01
REVISED February 2020
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② TXDOT STANDARD PRECAST BASE (PB) DETAIL NTS



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CHICK-FIL-A
 SOUTH BURLESON
 111 NW. JOHN JONES DRIVE
 BURLESON, TX. 76028

FSR#02786

BUILDING TYPE / SIZE: SBOC - R
 RELEASE: v0.23.08
 PRINTED FOR: v0.23.08

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REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 2024.0627

DATE 10/20/24

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SITE UTILITY PLAN

SHEET NUMBER

PS-1.0

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LEGEND

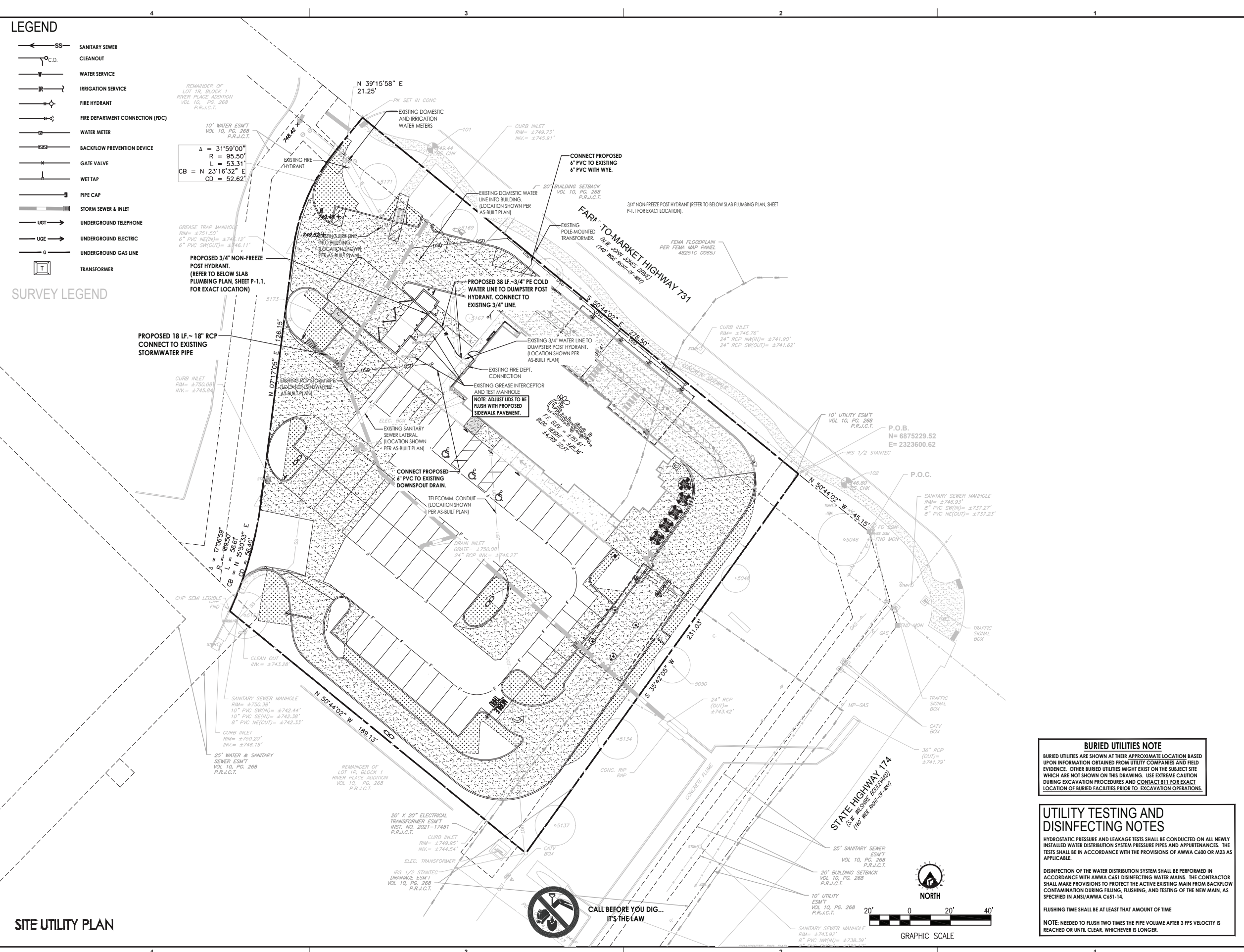
- SANITARY SEWER
- CLEANOUT
- WATER SERVICE
- IRRIGATION SERVICE
- FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- BACKFLOW PREVENTION DEVICE
- GATE VALVE
- WET TAP
- PIPE CAP
- STORM SEWER & INLET
- UNDERGROUND TELEPHONE
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS LINE
- TRANSFORMER

SURVEY LEGEND

REMAINDER OF LOT 12, BLOCK 1 RIVER PLACE ADDITION VOL. 10, PG. 268 P.R.J.C.T.
 $\Delta = 31^{\circ}59'00''$
 $R = 95.50'$
 $L = 53.31'$
 $CB = N 23^{\circ}16'32'' E$
 $CD = 52.62'$

PROPOSED 3/4" NON-FREEZE POST HYDRANT. (REFER TO BELOW SLAB PLUMBING PLAN, SHEET P-1.1, FOR EXACT LOCATION)

PROPOSED 18 LF. - 18" RCP CONNECT TO EXISTING STORMWATER PIPE



BURIED UTILITIES NOTE
 BURIED UTILITIES ARE SHOWN AT THEIR APPROXIMATE LOCATION BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES AND FIELD EVIDENCE. OTHER BURIED UTILITIES MIGHT EXIST ON THE SUBJECT SITE WHICH ARE NOT SHOWN ON THIS DRAWING. USE EXTREME CAUTION DURING EXCAVATION PROCEDURES AND CONTACT 811 FOR EXACT LOCATION OF BURIED FACILITIES PRIOR TO EXCAVATION OPERATIONS.

UTILITY TESTING AND DISINFECTING NOTES
 HYDROSTATIC PRESSURE AND LEAKAGE TESTS SHALL BE CONDUCTED ON ALL NEWLY INSTALLED WATER DISTRIBUTION SYSTEM PRESSURE PIPES AND APPURTENANCES. THE TESTS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF AWWA C600 OR M23 AS APPLICABLE.
 DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651 DISINFECTING WATER MAINS. THE CONTRACTOR SHALL MAKE PROVISIONS TO PROTECT THE ACTIVE EXISTING MAIN FROM BACKFLOW CONTAMINATION DURING FILLING, FLUSHING, AND TESTING OF THE NEW MAIN, AS SPECIFIED IN ANSI/AWWA C651-14.
 FLUSHING TIME SHALL BE AT LEAST THAT AMOUNT OF TIME
 NOTE: NEEDED TO FLUSH TWO TIMES THE PIPE VOLUME AFTER 3 FPS VELOCITY IS REACHED OR UNTIL CLEAR, WHICHEVER IS LONGER.

SITE UTILITY PLAN





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 Landscape Architecture
 51 Old Canton Street
 Alpharetta, GA 30009
 770.442.8171



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SOUTH BURLESON
 111 NW JOHN JONES DRIVE
 BURLESON, TX 76028

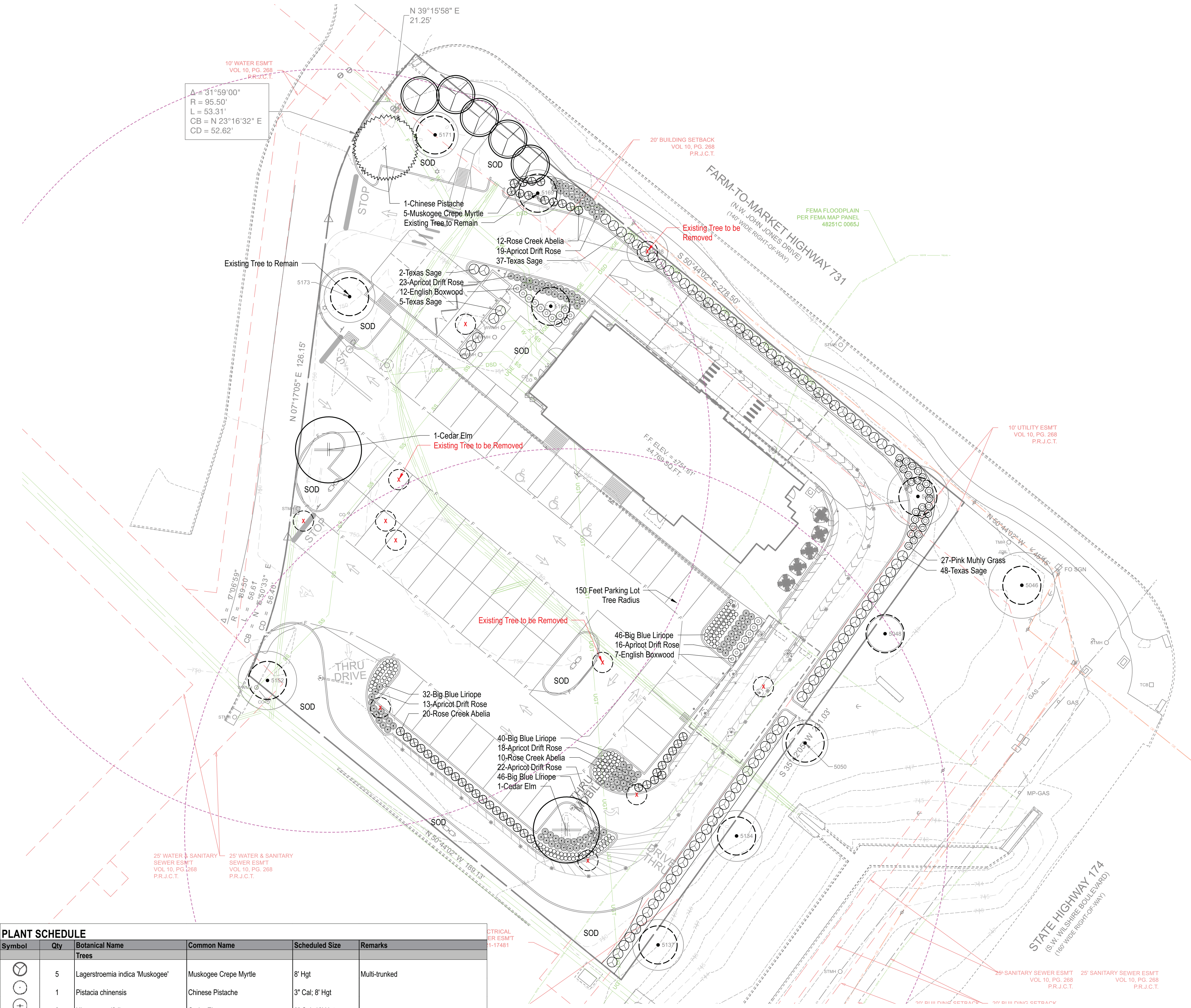
FSU# 02786

NO.	DATE	BY	DESCRIPTION
1	10/25/24		NEW SITE PLAN

MLD PROJECT #	2024236
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SHEET
Landscape Plan
 SHEET NUMBER
L-101



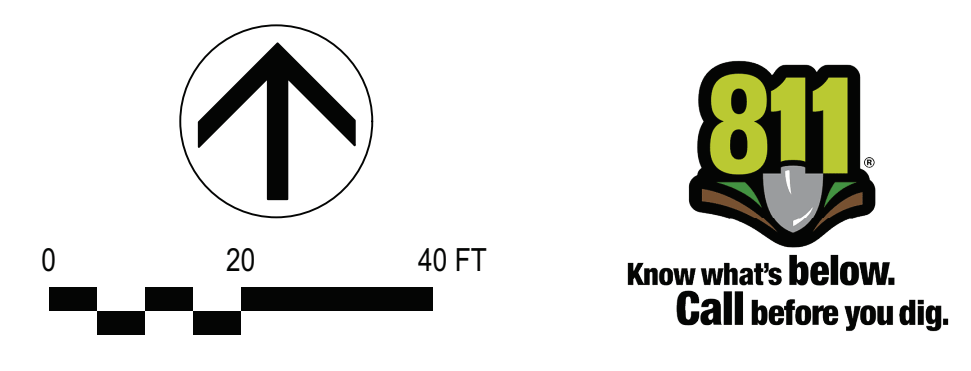
SOUTHWEST LANDSCAPE NOTES

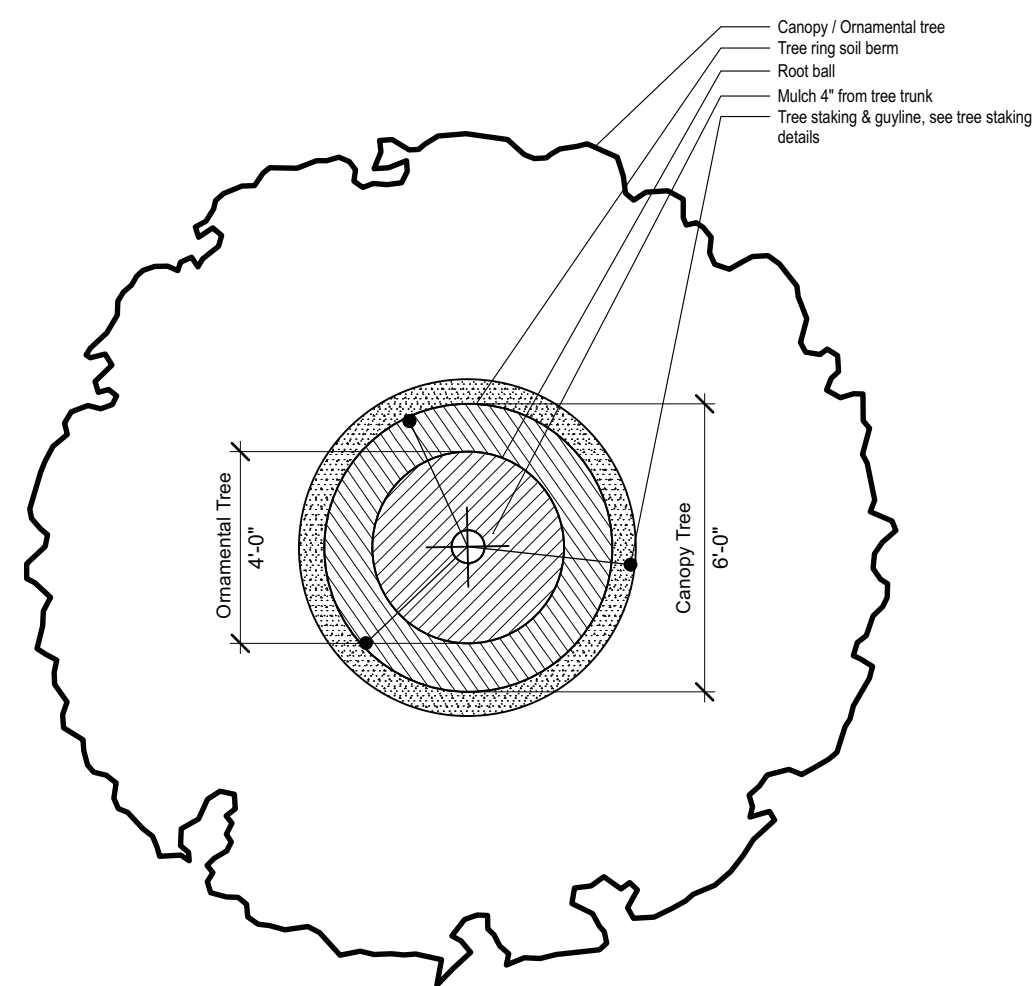
- Landscape Contractor to read and understand the Landscape Specifications prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
- Contractor is responsible for locating and protecting all underground utilities prior to digging.
- Contractor is responsible for protecting existing trees from damage during construction.
- All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
- All tree protection areas to be protected from sedimentation.
- All tree protection fencing to be inspected daily, and repaired or replaced as needed.
- No parking, storage or other construction activities are to occur within tree protection areas.
- All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
- General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
- Remove debris, gravel, rock, and media not suitable for planting from all parking lot islands. Fracture/loosen subgrade to a min. 24" depth and ensure proper drainage is achieved; complete water perk test. Add planting mix to achieve desired soil elevation; refer to landscape specifications and landscape island detail.
- Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
- Any deviations from the approved set of plans are to be approved by the Landscape Architect.
- Landscaping shall be installed in conformance with ANSI Z60.1 the 'American Standard for Nursery Stock' and the accepted standards of the American Association of Nurserymen.
- Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
- Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
- Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
- All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of rock mulch; rock mulch shall be locally sourced, type based on availability and approved by owners rep. Metal edging shall be installed to separate rock from sod or other non-rock mulched areas.
- Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
- Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched or metal edging installed; see Landscape Details.
- Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentations to be repaired.
- Water thoroughly twice in first 24 hours and apply mulch immediately.
- The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
- Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
- Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. Irrigation as-built shall be provided to the owners rep within 24 hours of irrigation install completion.
- Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
- Remove stakes and guying from all trees after one year from planting.

LANDSCAPE REQUIREMENTS

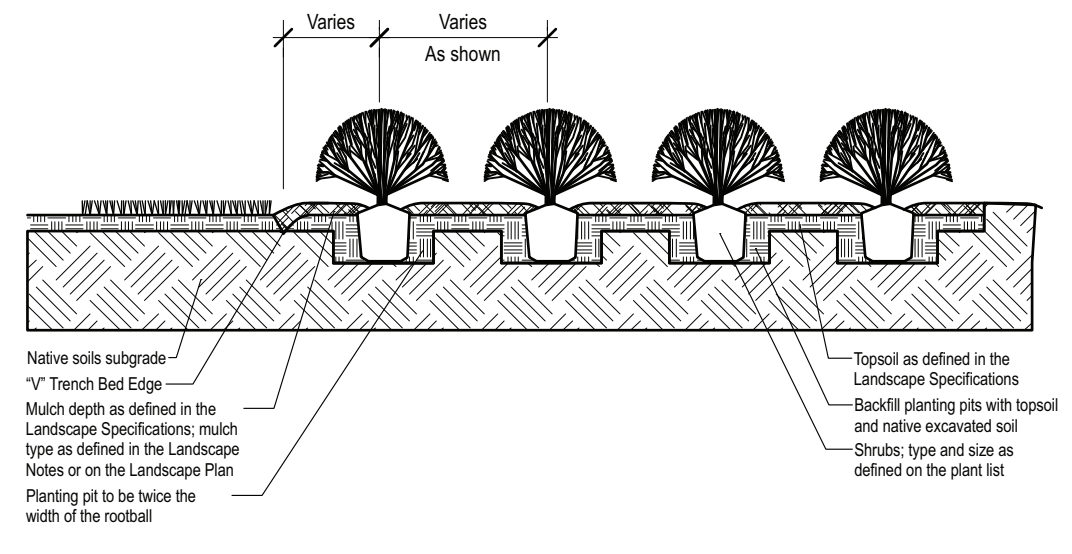
- A. STREET TREES**
- | | | |
|-----------------|--|--|
| REQUIRED | Large trees: 50 feet OC
Medium trees: 40 feet OC
Small trees: 30 feet OC | |
| 1. | 20% of the total lot shall be landscape area
55,640 SF x 20% | = 11,128 SF of landscape area required |
| PROVIDED | 1. Landscape area | = 11,347 SF of landscape area provided |
- B. PARKING AREA LANDSCAPING**
- | | | |
|-----------------|--|--|
| REQUIRED | Parking areas shall be screened from adjacent streets with 3 Gal shrubs
All parking spaces shall be located within 150 feet of a tree | |
| 1. | (1) 3" Cal large tree or (2) small trees per 60 LF of frontage
FM Hwy 731: 278 LF / 60 LF x 2 small trees = 9 small trees required
State Hwy 174: 231 LF / 60 LF x 1 large tree = 4 large trees required | |
| 2. | (1) 3" Cal large tree or (1) 8' Hgt small tree per 20 parking spaces and (1) 8' Hgt small tree per 30 parking spaces
60 parking spaces / 20 parking spaces = 3 large trees required
60 parking spaces / 30 parking spaces = 2 small trees required | |
| PROVIDED | 1. FM Hwy 731: 3 trees existing, 5 crepe myrtle, 1 pistache = 9 small trees provided
State Hwy 174: 4 large trees existing = 4 large trees existing | |
| 2. | 1 tree existing, 2 cedar elm = 3 large trees provided
2 trees existing = 2 trees existing | |

Symbol	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees					
⊗	5	Lagerstroemia indica 'Muskogee'	Muskogee Crepe Myrtle	8' Hgt	Multi-trunked
⊙	1	Pistacia chinensis	Chinese Pistache	3" Cal, 8' Hgt	
⊕	2	Ulmus crassifolia	Cedar Elm	3" Cal, 10' Hgt	
Shrubs					
⊗	42	Abelia x chinensis 'Rose Creek'	Rose Creek Abelia	3 Gal	
⊙	19	Buxus microphylla	English Boxwood	3 Gal	
⊕	92	Leucophyllum frutescens 'Compact'	Texas Sage	3 Gal	
⊗	27	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal	
⊙	111	Rosa 'Meimirole'	Apricot Drift Rose	3 Gal	
Groundcovers					
⊙	164	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal	Plant 18" OC
Other					

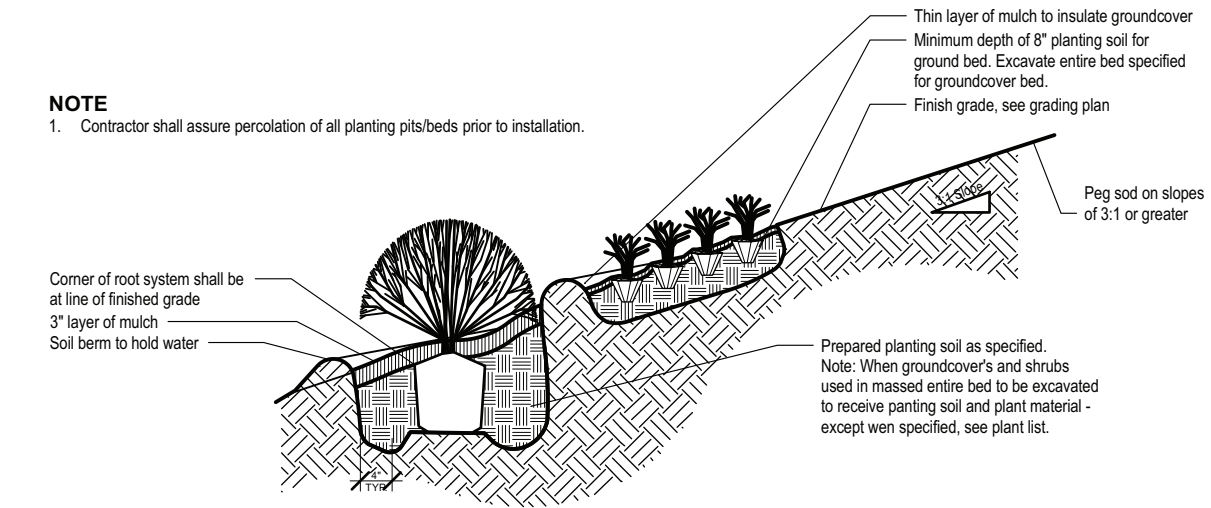




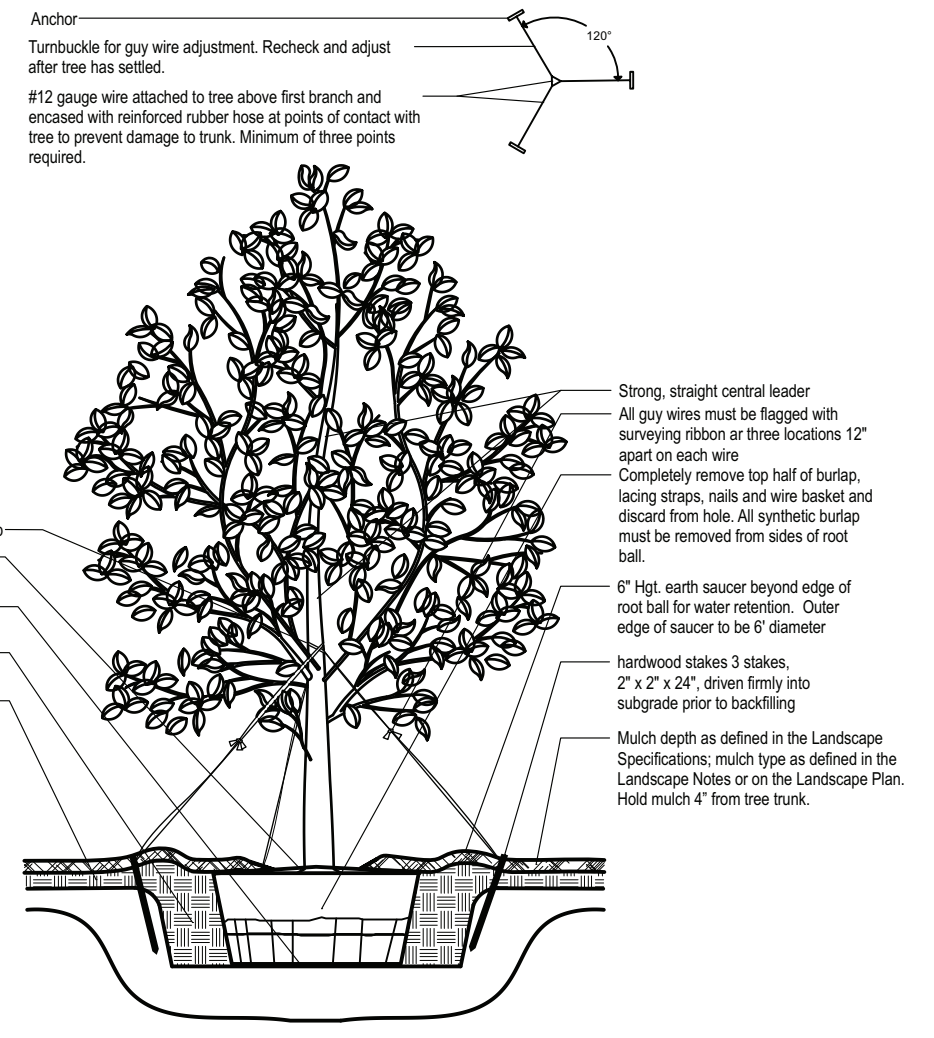
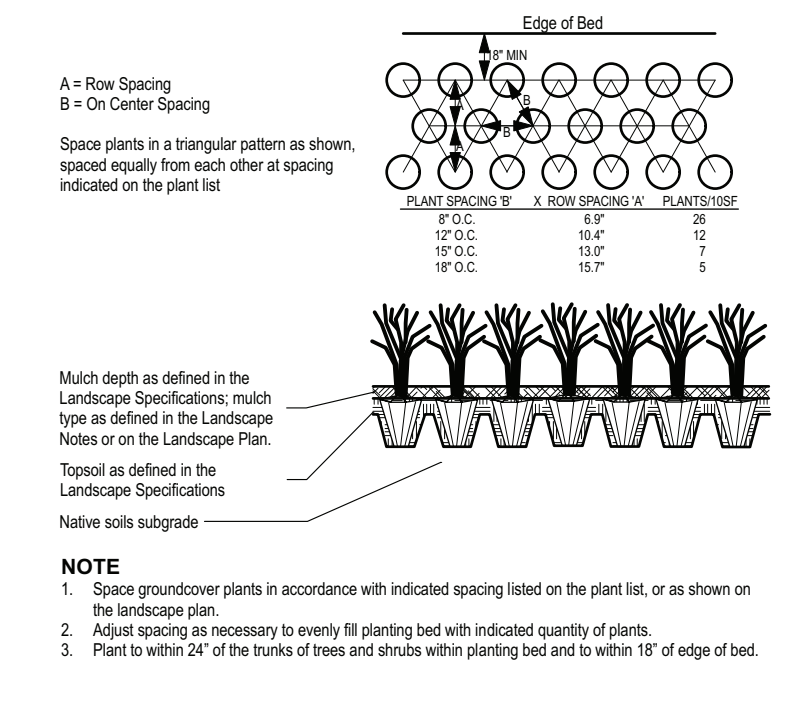
2 SHRUB BED PLANTING DETAIL
SCALE: NTS



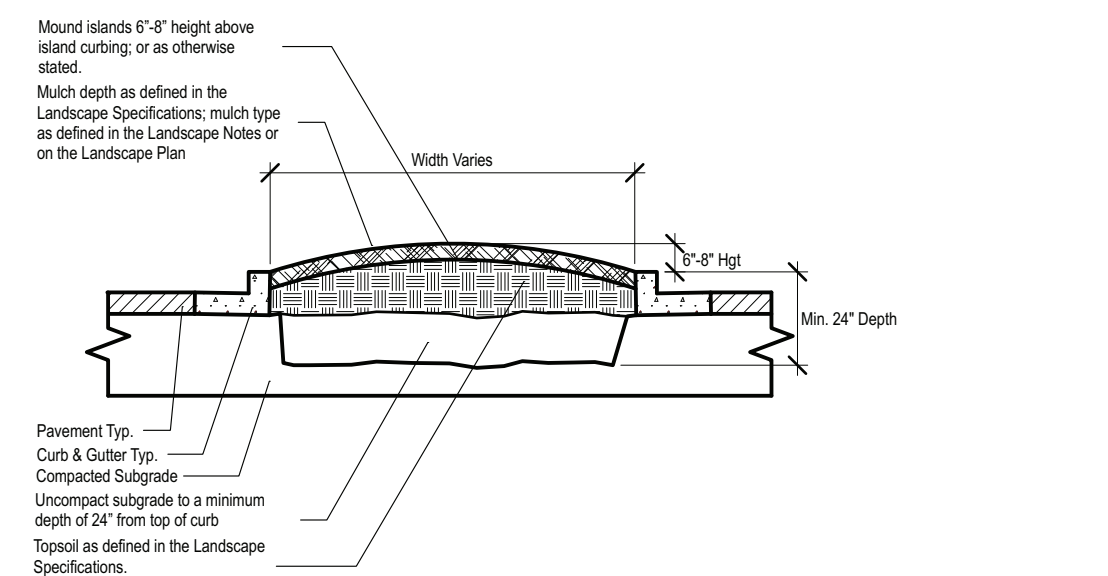
3 SLOPE PLANTING DETAIL
SCALE: NTS



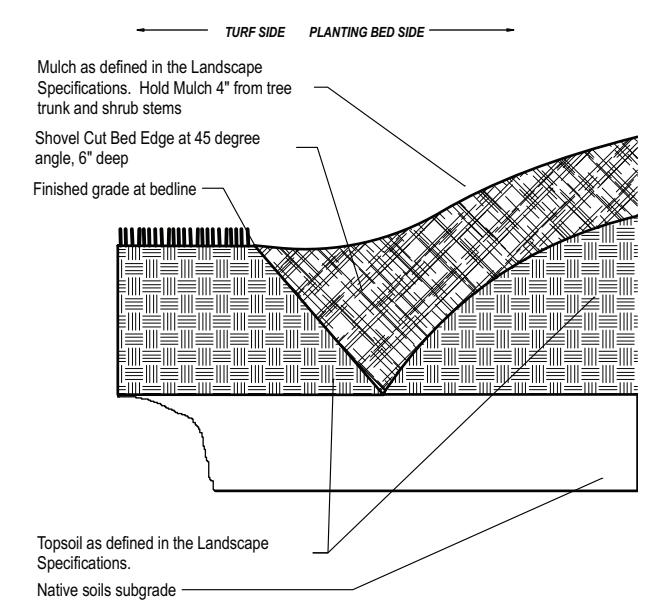
4 GROUNDCOVER PLANTING DETAIL
SCALE: NTS



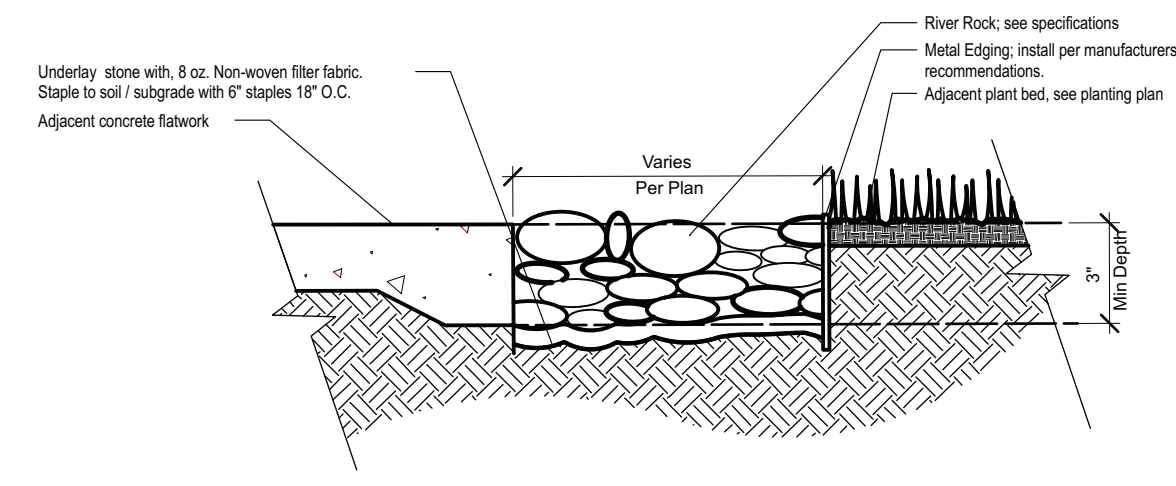
5 PARKING ISLAND DETAIL
SCALE: NTS



6 \"V\" TRENCH BED EDGING
SCALE: NTS



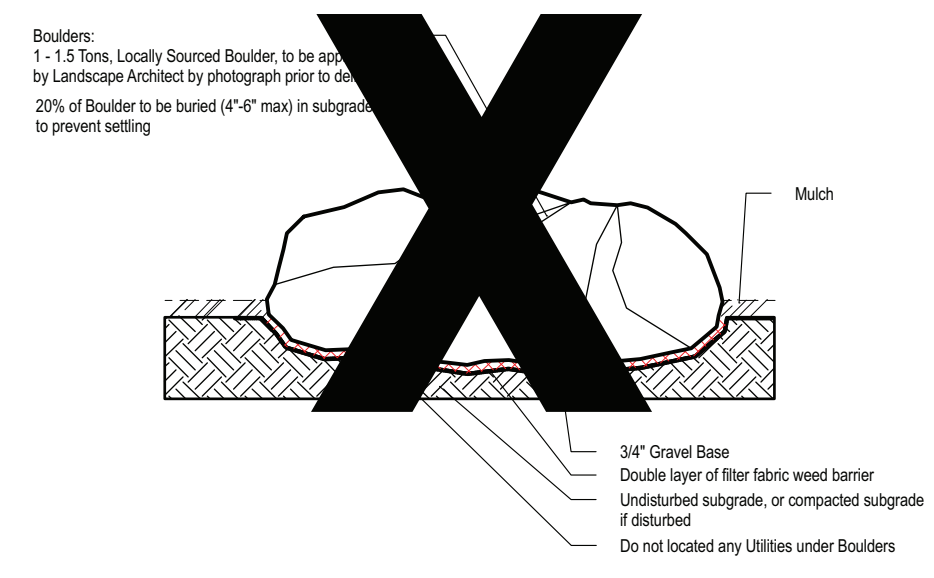
7 ROCK MULCH W/ METAL EDGING DETAIL
SCALE: NTS



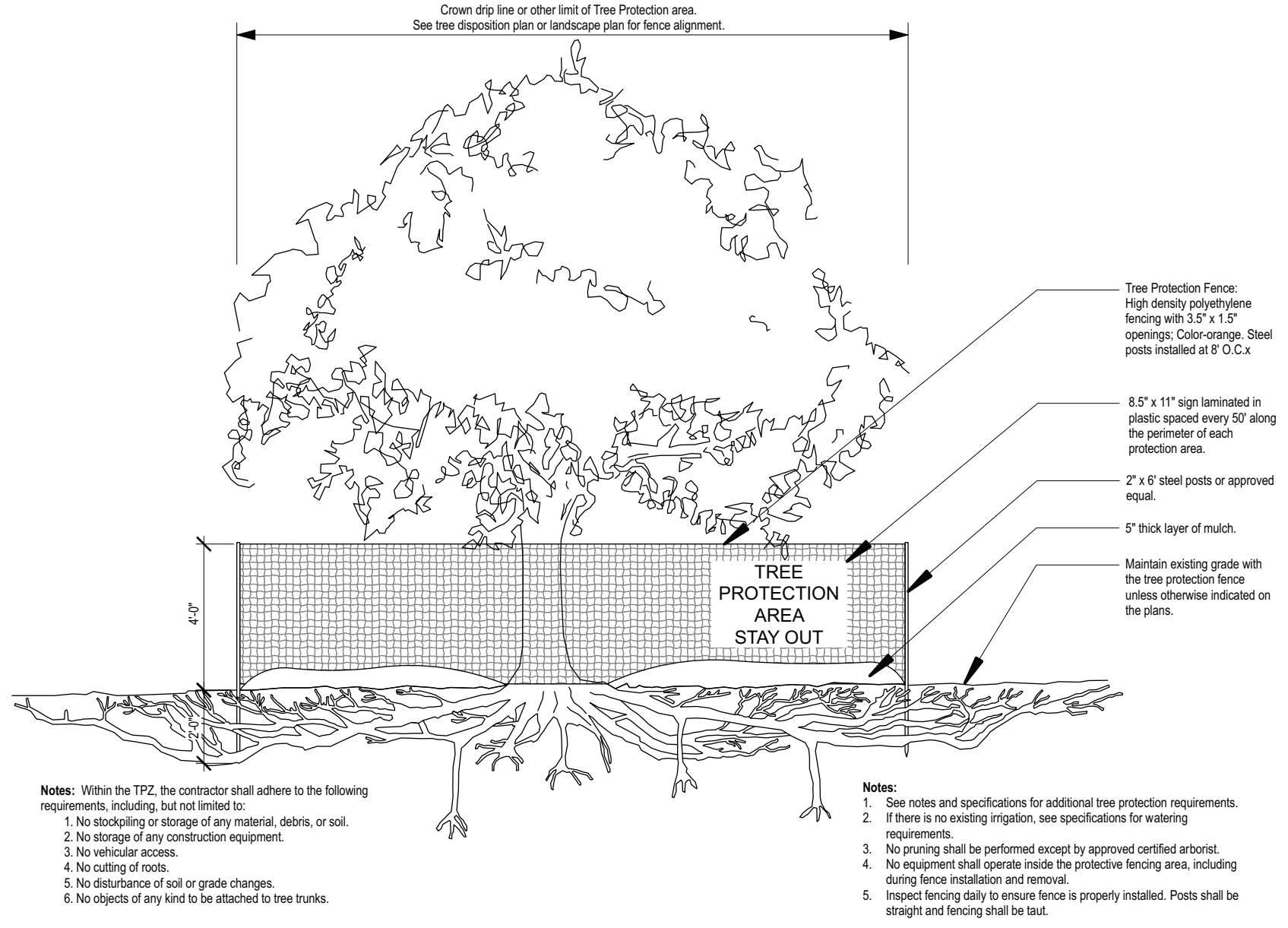
1 TREE PLANTING & STAKING
SCALE: NTS

- NOTE**
- Hole to be twice the width of the rootball.
 - Do not heavily prune tree at planting. Prune only crossover limbs, broken or dead branches. Do not remove the terminal buds of branches that extend to the edge of the crown.
 - Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4\"/>
 - Remove Guy Wires and Staking when warranty period has expired (after one year).

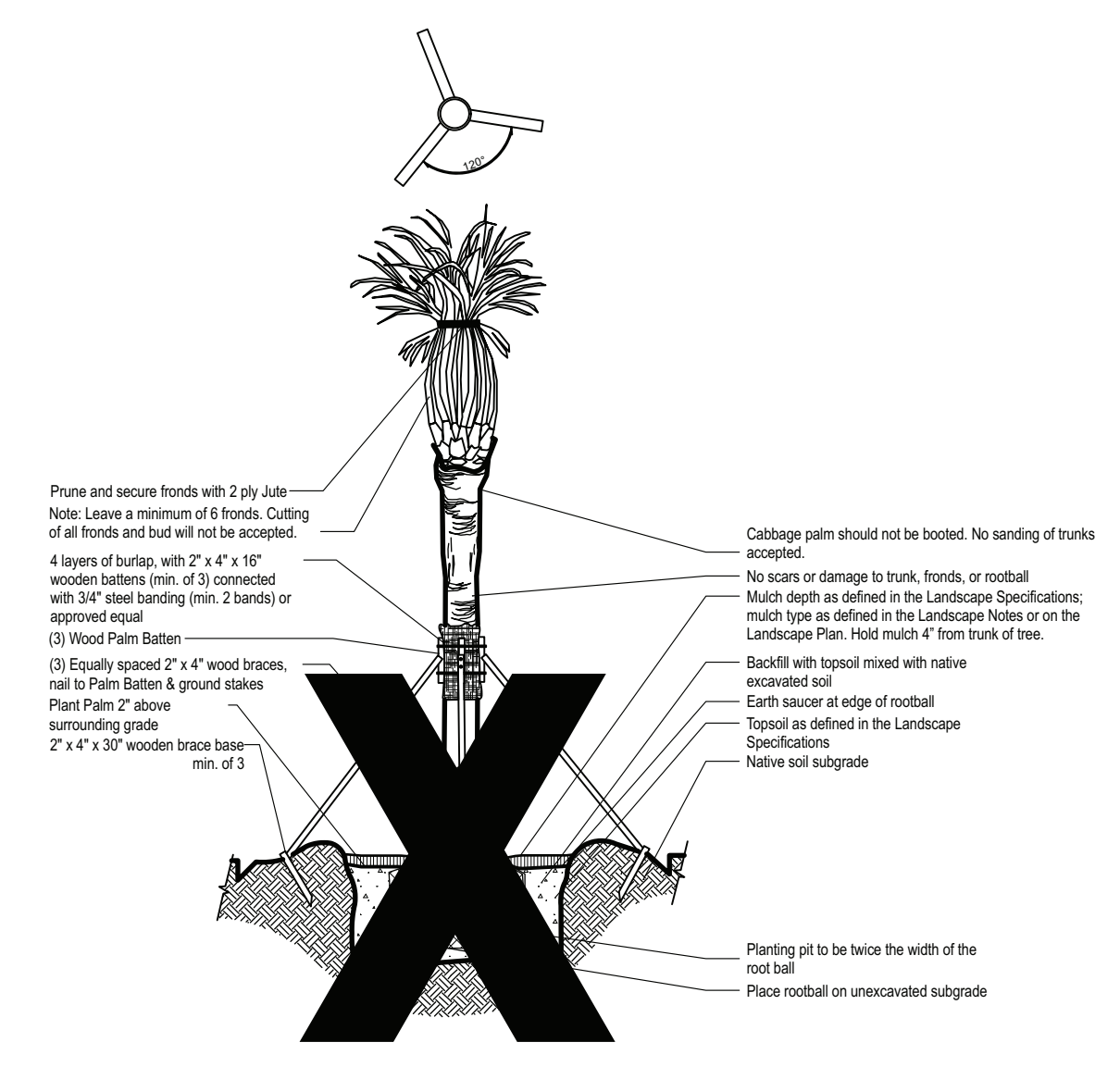
8 BOULDER INSTALLATION DETAIL
SCALE: NTS



9 TREE PROTECTION FENCING DETAIL
SCALE: NTS



10 PALM PLANTING & STAKING DETAIL
SCALE: NTS



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REVISION SCHEDULE

NO.	DATE	BY	DESCRIPTION

MLD PROJECT #	2024236
PRINTED FOR	PERMIT
DATE	10/25/24
DRAWN BY	KCN

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SHEET
Landscape Details
SHEET NUMBER
L-102

