



LEGAL DESCRIPTION

**ALL THAT CERTAIN** lot, tract, or parcel of land situated in the William G. Ray A-731, City of Burleson, Johnson County, Texas and being all of Lots 4 & 5, Block A, Victron Burleson Addition, an addition to the City of Burleson, Texas according to the plat recorded in Document No. 2021-157 in the Official Public Records of Johnson County, Texas, and being part of a called 32.535 acre tract of land recorded in Document No. 2021-31682 in said Official Public Records, and being more completely described as follows:

**BEGINNING** a 'X' scribed in concrete found in the south right of way line of Farm to Market Road 917 (variable width right of way), and being the northeast corner of Lot 24R, Sparks-Dale Addition, an addition to the City of Burleson, Texas according to the plat recorded in Volume 10, Page 621 in said Official Public Records, and being the northwest corner of said Lot 4;

**THENCE** along the common line south line of said Farm to Market Road and north line of said Lot 4, the following:

North 88 degrees 13 minutes 52 seconds East, a distance of 83.43 feet to a 1/2 inch iron rod set;

North 29 degrees 44 minutes 20 seconds West, a distance of 2.40 feet to a 1/2 inch iron rod set; and

North 87 degrees 58 minutes 45 seconds East, a distance of 336.35 feet to a 1/2 inch iron rod set for the northeast corner of said Lot 4, and being in the west line of a called 20.028 acre tract of land described in a deed to John Settle and Anne Settle recorded in Document No. 2021-11236 of said Official Public Records;

**THENCE** South 26 degrees 43 minutes 38 seconds East departing said south right of way line of Farm to Market Road 917, and along the common east line of said Lot 4 and Lot 5 and the west line of said called 20.028 acre tract, passing at a distance of 184.59 feet to a 5/8 inch iron rod with cap found, continuing along said common line a total distance of 1,144.90 feet to a 5/8 inch iron rod found for the southeast corner of said Lot 5, and being the northeast right-of-way of County Road 810 (variable width right of way);

**THENCE** South 60 degrees 51 minutes 34 seconds West along the common south line of said Lot 5 and the north right of way line of said County Road 810, a distance of 762.91 feet to a 5/8 inch iron rod found in the easternmost southwest corner of said Lot 5 and the southeast corner of a called 0.129 acre tract of land described in a deed to IRA Plus Southwest, LLC recorded in Document No. 20090024588 in said Official Public Records;

**THENCE** North 29 degrees 37 minutes 05 seconds West departing said north right of way line of County Road 810 and along the common west line of said Lot 5 and the east line of said called 0.129 acre tract, a distance of 75.48 feet to a 5/8 inch iron rod found in an ell corner of said Lot 5 and the northeast corner of said called 0.129 acre tract;

**THENCE** South 59 degrees 57 minutes 45 seconds West along the common said west line of Lot 5 and the north line of said called 0.129 acre tract, a distance of 74.99 feet to a 5/8 inch iron rod found (bent) in the northernmost southwest corner of said Lot 5 and the northwest corner of said 0.129 acre tract, and being in the east line of a tract described as the east 326.0 feet of Lot 1, Sparks-Dale Addition, an addition to the City of Burleson, Texas according to the plat recorded in Volume 396, Page 643, Deed Records of Johnson County, Texas;

**THENCE** North 29 degrees 34 minutes 27 seconds West along the said west line of Lot 5 and the said east line of the called east 326.0 feet of Lot 1, a distance of 125.26 feet to a 5/8 inch iron rod found (bent), and being the southeast corner of a called 4.610 acre tract of land described in and deed to PCS Properties, LLC recorded in Document No. 2018-17179 in said Official Public Records;

**THENCE** North 29 degrees 37 minutes 55 seconds West along the common west line of said Lot 5 and the east line of said 4.610 acre tract, a distance of 399.80 feet to a 5/8 inch iron rod found for an ell corner in said west line of Lot 5 and the northeast corner of said called 4.610 acre tract, and being in the south line of Lot 3, Block A of said Victron Burleson Addition;

**THENCE** North 60 degrees 21 minutes 52 seconds East along the common said west line of Lot 5 and the south line of said Lot 3, a distance of 40.24 feet to a 5/8 inch iron rod with cap found for an ell corner in same;

**THENCE** along the said common west line of Lot 5 and said Lot 4, and the east line of Lot 3, the following:

North 29 degrees 38 minutes 08 seconds West, a distance of 375.51 feet to a 5/8 inch iron rod with cap found for an angle corner in said Lot 4; and

North 03 degrees 09 minutes 22 seconds West, a distance of 189.27 feet to an 'X' scribed in concrete set for the northwest corner of said Lot 4 and on the said east line of Lot 3, and being in the south right-of-way of Enterprise Drive (a 100 foot right of way)

**THENCE** North 88 degrees 17 minutes 50 seconds East along the common most westerly north line of said Lot 4, the south right-of-way of Enterprise Drive, and the south line of said Lot 24R, a distance of 266.63 feet to a 1/2 inch iron rod capped found for an ell corner of said Lot 4 and being the southeast corner of said Lot 24R;

**THENCE** North 01 degree 43 minutes 57 seconds West along the common most northerly west line of said Lot 4 and the east line of said Lot 24R, a distance of 349.99 feet to the **PLACE OF BEGINNING** containing 22.584 acres (983,746.24 square feet square feet) of land.

OWNER'S CERTIFICATION

§ STATE OF TEXAS  
§ COUNTY OF JOHNSON

KNOW ALL MEN BY THESE PRESENTS

That We, **DMJ Properties, Ltd.**, do hereby adopt this plat designating the hereinbefore described property as **Victron Burleson Addition**, an Addition to the City of Burleson, Johnson County, Texas, and do hereby dedicate to the public use forever all streets, rights-of-way, alleys and easements shown thereon. The City or any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths in which any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easements, and the City or any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Burleson, Texas.

\_\_\_\_\_  
Guhania Almakdad Sharaf  
President of DMJ, LLC &  
Managing General Partner of DMJ Properties, LLC

§ STATE OF TEXAS  
§ COUNTY OF JOHNSON

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Guhania Almakdad Sharaf, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein.

WITNESS MY HAND AND SEAL OF OFFICE THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2023.

\_\_\_\_\_  
Notary Public in and for the State of Texas

NOTES

The City of Burleson reserves the right to require minimum finish floor elevation on any lot within this subdivision. The minimum elevations shown are based on the most current information available at the time the plat is filed and may be subject to change.

According to the Flood Insurance Rate Map (FIRM) Community Panel No. 48251C0070J dated December 4, 2012 the subject property is located within the following zones:

Zone X - Areas determined to be outside the 500-year floodplain.

This plat does not alter or remove existing deed restrictions or covenants, if any, on this property.

The City of Burleson is not responsible for the design, construction, operation, maintenance or use of any storm water storage facility and associated drainage easements hereinafter referred to as "improvements," to be developed and constructed by developer or successors. Developer will indemnify, defend and hold harmless the City of Burleson, its officers, employees and agents from any direct or indirect loss, damage, liability or expense and attorneys' fees for any negligence whatsoever, arising out of the design, construction, operation, maintenance condition or use of the improvements, including any non-performance of the foregoing. Developer will require any successor in interest to accept full responsibility and liability for the improvements. All of the above shall be covenants running with the land. It is expressly contemplated that developer shall impose these covenants upon Lot 6 abutting, adjacent or served by the improvements the full obligation and responsibility of maintaining and operating said improvements.

SURVEYORS CERTIFICATION

I, MONTY NIXON, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION.

PRELIMINARY  
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE  
AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL  
SURVEY DOCUMENT

MONTY NIXON DATE \_\_\_\_\_  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5542

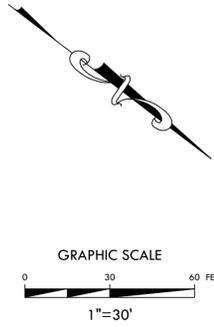
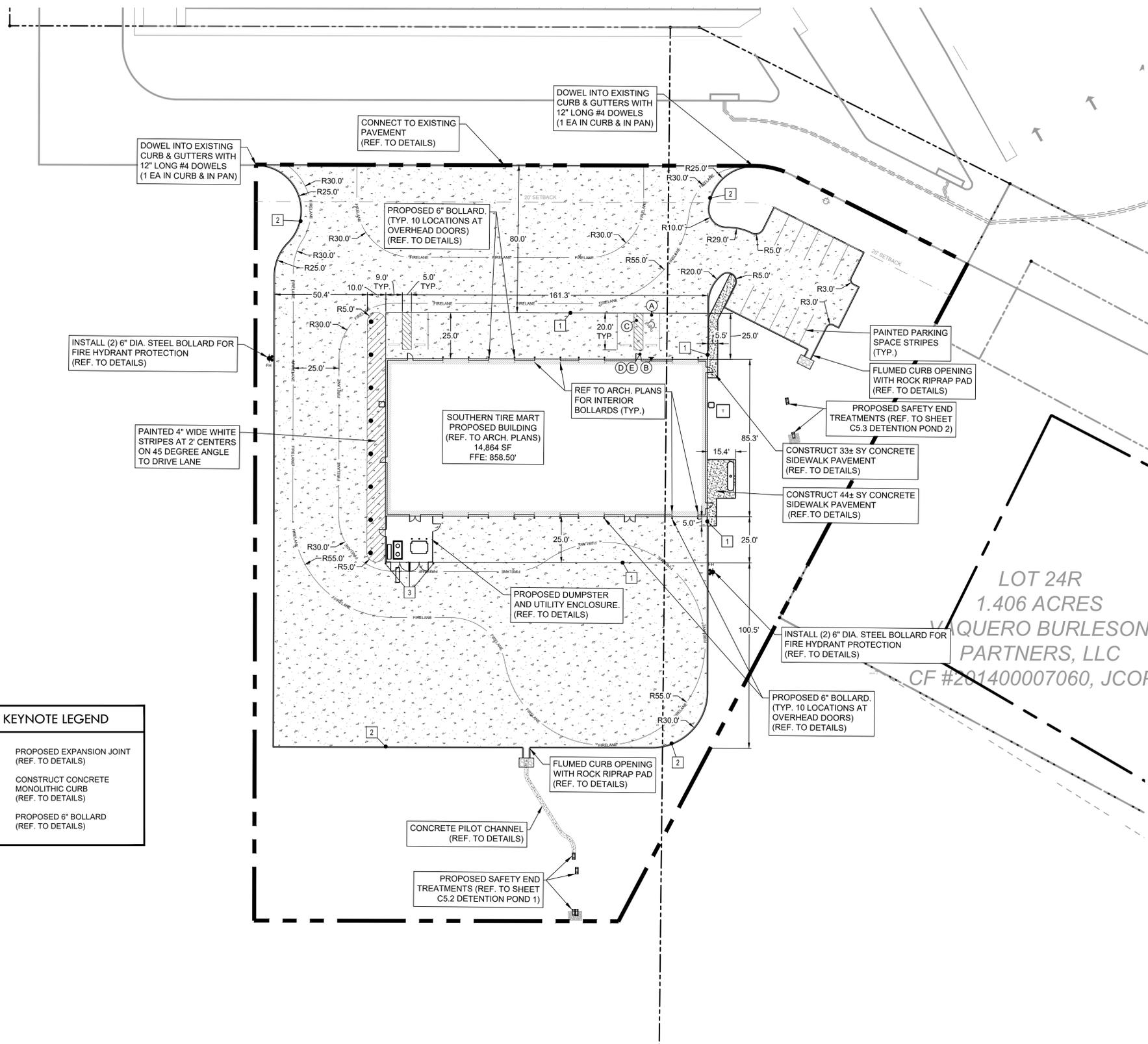
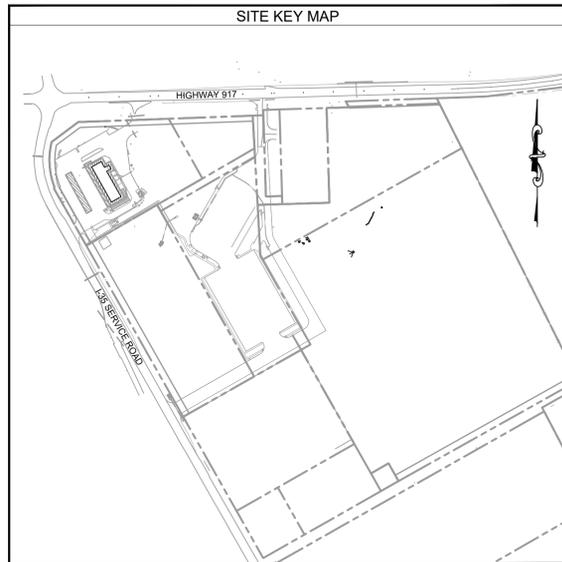


REPLAT  
LOTS 4 & 5, BLOCK A,  
VICTRON BURLESON ADDITION  
22.584 ACRES (983,746 S.F.)  
WILLIAM G. RAY SURVEY, A-731  
CITY OF BURLESON, JOHNSON COUNTY, TEXAS

THE PURPOSE OF THIS PLAT IS TO REVISE PROPERTY LINES FOR LOTS 4 & 5 AND TO CREATE LOT 6

This drawing and all related documents, including those on electronic media, were prepared by Summit Surveying, Inc. (Summit) except as noted otherwise therein. An instrument of service, and shall remain the property of Summit. The information herein shall be used only by the client to whom the services are rendered. Any other use of said documents, including (without limitation) any reproduction or alteration, is strictly prohibited, and the user shall hold harmless and indemnify Summit from all liabilities which may arise from such unauthorized use. Such use shall never, in any instance, which may arise from the use or result of any such unauthorized use or changes.





LEGEND	
PROPOSED FACE AND BACK OF CURB	
PROPOSED FIRELANE	
PROPOSED CONCRETE WHEEL STOP	
PROPOSED FIRE HYDRANT	
PROPOSED PROPANE TANK	
PROPOSED TRANSFORMER PAD	
PROPOSED 24" BOLLARD (8 TOTAL)	
PROPOSED 7" 4000 PSI PORTLAND CEMENT CONCRETE PAVEMENT	
PROPOSED CONCRETE SIDEWALK PAVEMENT (REF. TO DETAILS)	

SITE INFORMATION	
ZONING:	COMMERCIAL
PROPOSED USE:	AUTO MAINTENANCE
PROPOSED BUILDING HEIGHT:	19' - 9 1/2"
TOTAL LOT AREA:	122,317.38 SF (2.81 AC)
TOTAL IMPERVIOUS AREA:	74,727.41 SF (1.72 AC)

PARKING REQUIREMENTS	
TOTAL BUILDING AREA:	14,864± S.F.
PARKING SPACES REQUIRED:	15 (1 SPACE/1,000 S.F.)
TOTAL SPACES PROVIDED:	16
ACCESSIBLE PARKING SPACES REQUIRED:	1
ACCESSIBLE PARKING SPACES PROVIDED:	1

STANDARD ACCESSIBILITY REQUIREMENTS	
<b>PARKING:</b>	
(A)	ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE FOR NO LESS THAN ONE VAN SPACE FOR EVERY 6 ACCESSIBLE SPACES.
(B)	EACH ACCESSIBLE PARKING SPACE SHALL HAVE A WALL MOUNTED SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. APPROPRIATE VAN ACCESSIBLE SPACES MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF SIGN.
(C)	ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.
<b>SIDEWALKS AND ACCESSIBLE ROUTES:</b>	
(D)	SIDEWALKS (ACCESSIBLE ROUTES) MUST BE AT LEAST 36" WIDE WITH 5'X5' CLEAR PASSING OPPORTUNITIES IN INCREMENTS LESS THAN 150 LF SIDEWALK. CROSS SLOPE SHALL NOT EXCEED 1:48 (2%)
(E)	LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

KEYNOTE LEGEND	
1	PROPOSED EXPANSION JOINT (REF. TO DETAILS)
2	CONSTRUCT CONCRETE MONOLITHIC CURB (REF. TO DETAILS)
3	PROPOSED 6" BOLLARD (REF. TO DETAILS)

**\*\* NOTICE TO CONTRACTORS - TOPOGRAPHIC SURVEY \*\***

TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY 360 SURVEYORS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**\*\*NOTICE TO CONTRACTORS - UTILITIES\*\***

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.



**811**  
Know what's below.  
Call before you dig.  
THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

LOT 24R  
1.406 ACRES  
VAQUERO BURLESON PARTNERS, LLC  
CF #201400007060, JCOPR

Date	Description	No.
Revisions		
09/01/2023		
Langan Engineering and Environmental Services, Inc. 1101 ESE Loop 323, Suite 101 Tyler, TX 75701 T: 903.324.8400 www.langan.com TBPE FIRM REG. #F-13709		
<b>SOUTHERN TIRE MART AT PILOT</b> CITY OF BURLESON JOHNSON COUNTY TEXAS Drawing Title		
<b>SITE PLAN</b>		
Project No.	532028801	Drawing No.
Date	SEPTEMBER 2023	C3.0
Drawn By	ELP	
Checked By	MSH	

**LANDSCAPE PROJECT NOTES**

Refer to Sitework Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tilled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at an additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, to the outside of utility easements with a clear ten feet (10') around fire hydrants and twenty feet (20') min. from all irrigation control zone valve boxes. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

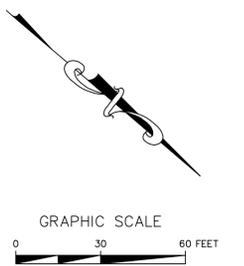
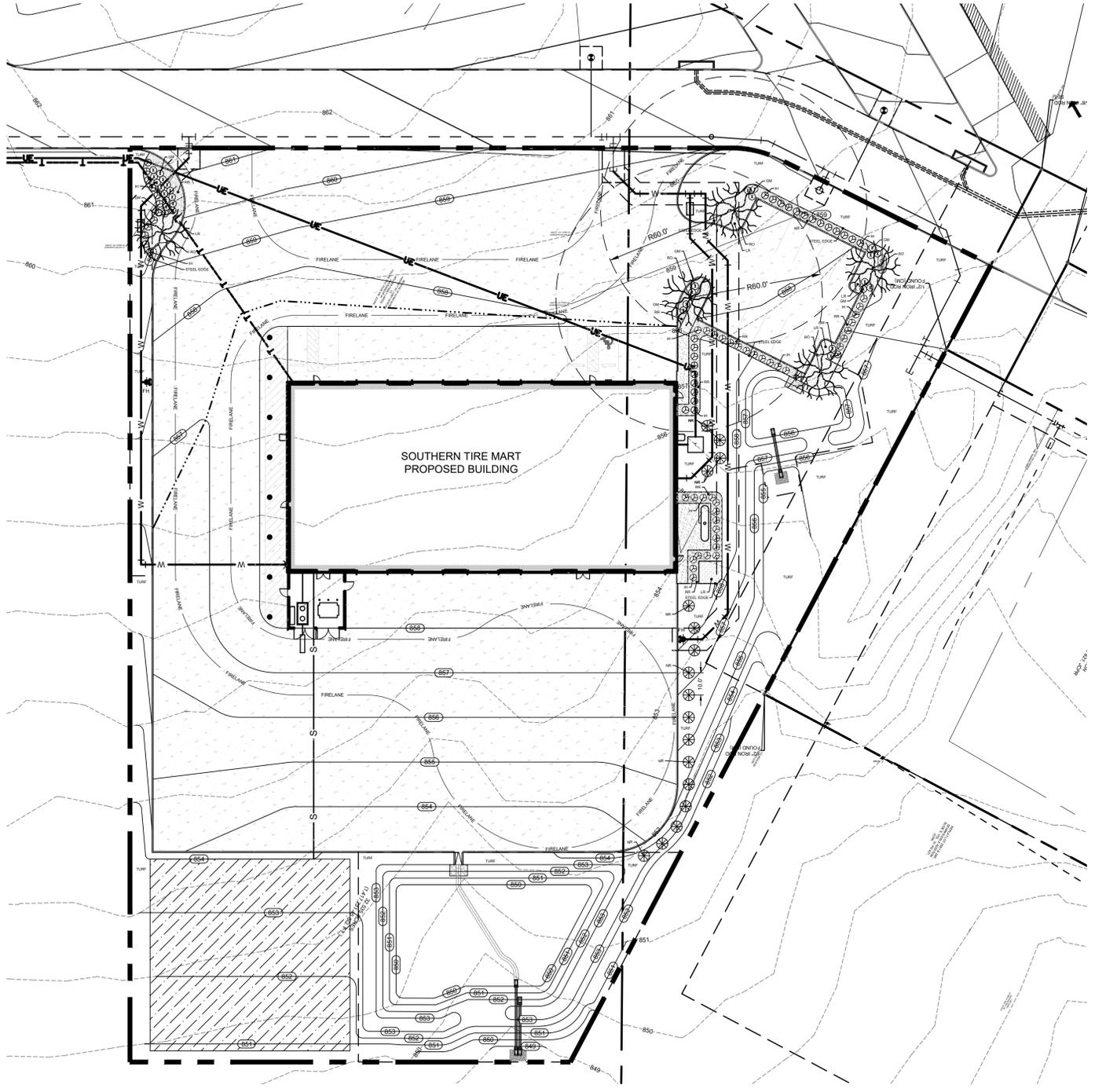
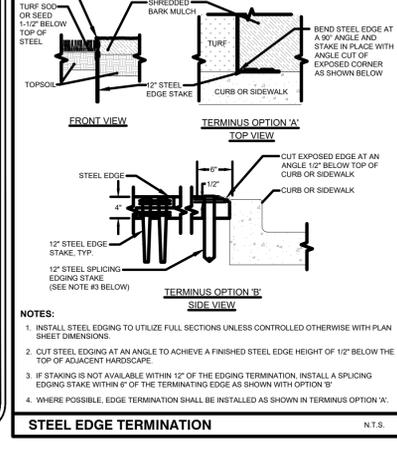
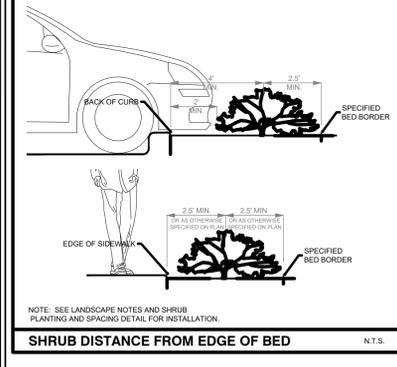
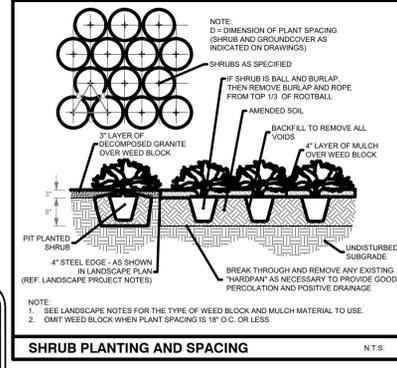
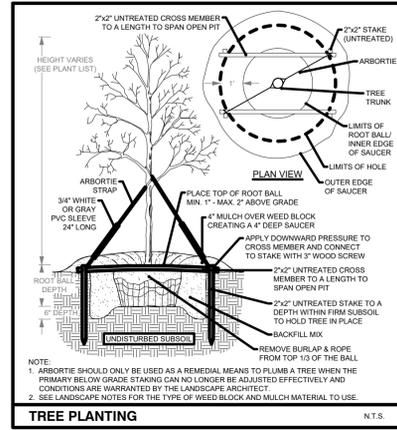
All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 1/2" min. thickness unless bed is bordered by concrete. Steel edging adjacent to river rock beds shall have a 1/2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees and within all beds with plants spaced 18" o.c. or greater. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of river rock as designated shall be locally available and of an average diameter of one and one-half inches (1 1/2") minimum to three inches (3") maximum. Contractor shall install to a depth of three inches (3"). Rock should be compacted and stable under foot when applied in a pedestrian area.



**TURF RE-ESTABLISHMENT NOTES**

**EROSION CONTROL:**  
Throughout the project and the maintenance period for turfgrass, it is the Contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion or any other construction activities will be replaced by the Contractor until ESTABLISHMENT and ACCEPTANCE is achieved.

**SOIL PREPARATION:**  
All slopes and areas disturbed by construction, except those occupied by buildings, structures, or paving shall be graded smooth and four (4") inches of topsoil applied. If adequate topsoil is not available onsite, the Contractor shall provide topsoil as approved by the Owner. The area shall be dressed to typical sections and plowed to a depth of five (5") inches. Soil shall be further prepared by the removal of debris, weeds and stones larger than 3/4 inch in diameter. After tilage and cleaning, all areas to receive turf shall be leveled, fine graded, and drag with a weighted spike harrow or float drag.

**GRASS SOD:**  
At a minimum, three feet (3') of solid sod shall be installed along all impervious edges. This includes, but is not limited to: curbing, sidewalks, building foundation, storm water inlets, manholes, and planting bed perimeter treatments. Additional areas of sod will be installed in any areas disturbed by construction operations to repair and re-establish turf as necessary.

Turfgrass sod shall be 100% "Cynodon dactylon" (Common Bermuda grass). Sod shall consist of stolons, leaf blades, rhizomes and roots with a healthy, viable system of dense, thickly matted roots throughout the soil of the sod for a thickness not less than three-quarters (3/4") inch. Sod shall be alive, healthy, vigorous, free of insects, disease, stones, and undesirable foreign materials and grasses. The grass shall have been mowed prior to sod cutting so that the height of grass shall not exceed two (2") inches. Sod shall have been produced on growing beds of clay-loam topsoil. Sod shall not be harvested or planted when its moisture condition is so excessively wet or dry that its survival will be affected. All sod is to be harvested, delivered, and planted within a thirty-six (36) hour period of time. Sod shall be protected from exposure to wind, sun, and freezing. Should installation occur between November and March, sod shall include an over-seed of Annual Rye for a grown-in appearance.

**GRASS SEED:**  
SPRING AND SUMMER PERMANENT GRASSING (May 15 through September 15): Hydromulch seed with hulled Common Bermuda at a rate of 4 lbs/1000 sf. Seeding shall be accomplished immediately after bed preparation. Hydrosed mixture shall contain cellulose mulch applied at a rate of 2000 lbs/acre, with a maximum of 50 lbs/100 gallons of water. If seeding is delayed after mixing 0.5 - 2 hours, add 50% seed mix. If delay is longer than 2 hours, begin with new mixture.

FALL AND WINTER TEMPORARY GRASSING (September 15 through May 15): Seed with annual rye at a rate of 10 lbs/1000 sf. After May 15, Contractor shall remove rye to effectively establish permanent seeding.

**IRRIGATION:**  
In the absence of an irrigation system or areas beyond the coverage limits of a permanent irrigation system, Contractor shall water sod temporarily to develop adequate growth and establishment before regular maintenance begins. Turf shall be watered until firmly established.

Water shall be furnished by the Contractor with means and methods available to achieve acceptable turf. The water source shall be clean and free of industrial wastes or other substances harmful to the growth of the turf.

**MAINTENANCE REQUIREMENTS:**  
Vegetation should be inspected regularly to ensure that plant material is established properly and remains healthy. Mowing, trimming and supervision of water applications shall be the responsibility of the Contractor until the Owner or Owner's Representative accepts and assumes regular maintenance.

**ESTABLISHMENT AND ACCEPTANCE:**  
All disturbed areas receiving sod shall receive topsoil as specified and be adequately established with turf such that any absence of water will not kill the turf, but promote a state of turf dormancy, until the next rainfall event.

Regardless of unseasonable climatic conditions or other adverse conditions affecting planting operations and the growth of the turf grass, it shall be the sole responsibility of the Contractor to establish a uniform stand of grass. UNIFORM STAND OF GRASS is defined as minimum 80% coverage per square foot (no bare areas).

Contractor to make a written request for inspection to Owner or Owner's representative a minimum of 5 days prior to the anticipated inspection date.

**LANDSCAPE REQUIREMENTS for the City of BURLESON**

**86-103. Landscaping Generally**  
(a) Landscaping of 20 percent of the total lot shall be required, unless credits are obtained by additional plantings as set forth in section 86-106. Landscaping which includes the planting of new and the retention of existing shrubs, trees, and flowering plants in excess of the minimum standards established in this section, may not reduce the landscape requirement to less than ten percent of the total lot area;  
(g) A minimum of 20 percent of total lot area must be devoted to landscaping. Grass, groundcover, trees, shrubs, flowering and nonflowering plants, stonework, and water features may all be used as components of required landscaping in conjunction with the following minimum planting standards;  
(h) Grass and/or groundcovers shall not be allowed to comprise over 90 percent of any required landscape area.

**86-105. Location criteria.**  
(a) Not less than 40 percent of the total landscaping shall be located in the designated front yard.  
(b) In the (i) Industrial district only the front yard 40 percent of the total 20 percent shall be required. The rear and side yard landscape requirements may be waived upon submittal of a landscape plan showing other requirements.

**LANDSCAPE CALCULATIONS for the City of Burleson**

GENERAL LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED
Minimum 20% of Total Lot Area must be Landscape	24,463.48 SF (0.56 AC)	47,589.97 SF (1.09 AC)
40% of Total Landscape located in Front Yard	9,785.39 SF (0.22 AC)	10,668.3 SF (0.24 AC)
Grass and/or GC shall not be over 90% of landscape	22,017.13 SF (<90%)	18,409 SF (0.42 AC)
Total Lot Area = 122,317.38 SF (2.81 AC)		

**Plant Material List**

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
RO	5	Texas Red Oak Quercus texana	N/A	B&B	3' cal.	12' min.	6' min.		Full Canopy, Healthy, Good Form Strong Central Leader
NR	17	Nellie R. Stevens Holly Ilex x 'Nellie R. Stevens'	N/A	Cont.	7 gal.	36" min.	18" min.		Full, Healthy, Even Growth
IH	70	Indian Hawthorn 'Snow' Raphiolepis indica	48"	Cont.	5 gal.	24" min.	24" min.		Full, Healthy, Even Growth
GM	31	Gulf Muhly Grass Muhlenbergia capillaris	36"	Cont.	3 gal.	18" min.	18" min.		Full, Healthy, Even Growth
LR	895 sf	Big Blue Liriope Liriope muscaris 'Big Blue'	18"	Cont.	1 gal.	12" min.	12" min.		Full, Healthy
RR	1600 sf	River Rock	-	-	-	-	-	-	Locally Available

In Accordance to the Current Edition of The American Standard for Nursery Stock

**LANDSCAPE CALCULATIONS for the City of Burleson**

IH-35 LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED
20 SF of Landscape per Parking Space @ 16 spaces	320 SF	713 SF
Tree w/in 60 feet of Parking Space, Tree @ End cap	Provided	Provided
25% of Landscape must be Natural Open Space	6,115.87 SF ( 25%)	7,899.36 SF (32.3%)
Total Lot Area = 122,317.38 SF (2.81 AC)		
Required Landscape Area = 24,463.48 SF (0.56 AC)		

**COJAX designs**  
P.O. Box 8232 Greenville, TX 75404  
Direct: 972.670.9407  
Email: Jill@cojaxdesigns.com

Date	Description	No.
09.22.23	Revised per City Comments	2

Revisions

09.22.2023

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
1101 ESE Loop 323, Suite 101  
Tyler, TX 75701  
T: 903.324.8400 www.langan.com  
TBPE FIRM REG. #F-13709

**SOUTHERN TIRE MART AT PILOT**  
CITY OF BURLESON TEXAS  
JOHNSON COUNTY  
Drawing Title

**LANDSCAPE PLAN**

Project No. 532028801 Drawing No. L1.0  
Date AUGUST 2023  
Drawn By MJR  
Checked By MJR

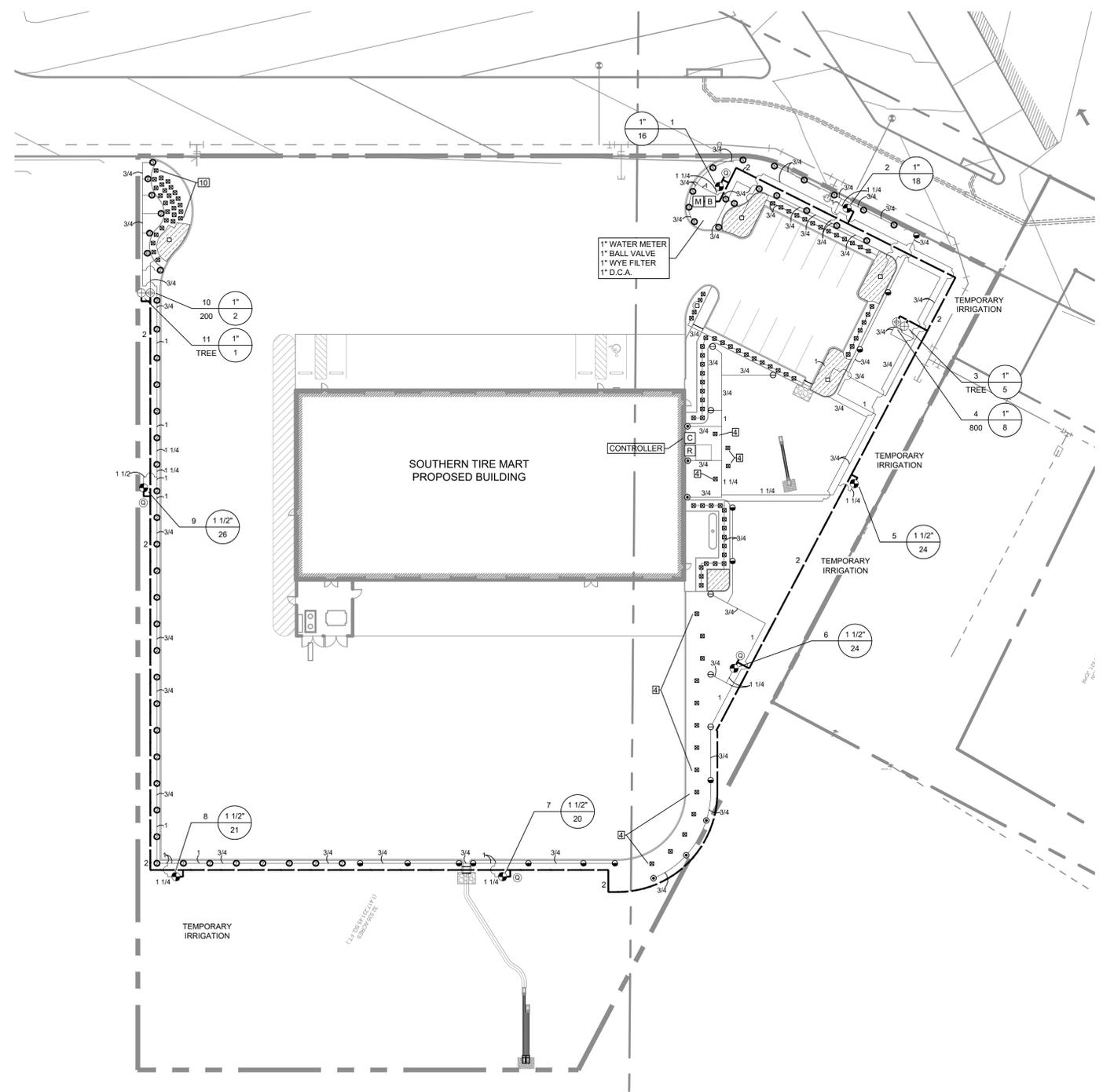
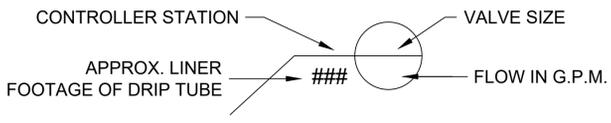


**IRRIGATION LEGEND**

- ☐ RAINBIRD XERI-BUG SINGLE / MULTI OUTLET (XB-T-10-PC / XBT-10-6) POINT SOURCE DRIP EMITTERS.  
SEE INSTALLATION NOTE ABOUT SHRUB DRIP FOR EMITTER LAYOUT AND CONNECTION TO DRIP VALVE ASSEMBLY
- ☐ RAINBIRD 1806-SAM-PRS SERIES POP UP SPRAY HEADS WITH RAINBIRD SQ NOZZLES, MODEL #3QTR, SET TO 2.5' THROW (TWO PER LARGE CANOPY TREE). SEE INSTALLATION NOTE REGARDING TREE BUBBLER LATERAL PIPE
- ☐ RAINBIRD 1804-SAM-PRS SERIES POP UP SPRAY HEAD WITH HE VAN-SERIES NOZZLE AS NOTED BELOW  

ARC/NOZZLE	5	8	10	12	15	EST	SST
SYMBOL	⊙	⊙	⊙	⊙	⊙	⊙	⊙
- ⊙ RAINBIRD 5004PCSAMR, ADJUSTABLE ARC 4" POP UP ROTARY HEAD, PART CIRCLE, #1.5 LA NOZZLE
- ⊙ RAINBIRD 5004PCSAMR, ADJUSTABLE ARC 4" POP UP ROTARY HEAD, PART CIRCLE, #2.5 NOZZLE
- ⊙ RAINBIRD 5004PCSAMR, ADJUSTABLE ARC 4" POP UP ROTARY HEAD, PART CIRCLE, #4.0 NOZZLE
- ▨ NETAFIM TECHLINE TLHCVXR5-12 SERIES DRIP TUBE IN SHRUB BED INSTALLED AT 2" DEPTH  
SEE INSTALLATION NOTE REGARDING DRIP TUBE LAYOUT IN SHRUB BEDS.
- ⊕ RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL VALVE
- ⊕ RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL, "TREE BUBBLER ZONE" VALVE
- ⊕ NETAFIM CONTROL ZONE KIT MODEL #NCZ-1S SERIES WITH 50 PSI PRESSURE REGULATOR AND SCREEN FILTER
- ⊕ RAINBIRD 33-DNP QUICK COUPLING VALVE WITH LOCKING PURPLE COVER AND 3/4" PVC BALL VALVE
- ⓑ ZURN / WILKINS 350 SERIES D.C.A. INSTALLED PER CITY CODE, WITH SAME SIZE ZURN / WILKINS 850 SERIES BRONZE BALL VALVE AND ZURN / WILKINS YB SERIES BRONZE WYE FILTER WITH 20 MESH STAINLESS STEEL SCREEN
- Ⓜ IRRIGATION WATER METER AND TAP, SIZE AS NOTED ON THE PLAN
- Ⓒ RAINBIRD ESP12LXME2 SERIES AUTOMATIC CONTROLLER WITH ONE ESPLXMSM12 MODULE AND WR2-RFC RAIN / FREEZE SENSOR, LOCATE SENSOR AS FIELD DIRECTED BY THE LANDSCAPE ARCHITECT
- Ⓡ
- CLASS 200 PVC MAINLINE PIPE
- CLASS 200 ( EXCEPT 1/2 INCH #315 ) PVC LATERAL PIPE
- - - ONE 4" CLASS 200 SLEEVE PIPE
- ≡≡≡ MAINLINE IN TWO 4" CLASS 200 SLEEVE PIPES

L.I.C. SHALL SELECT SPRAY NOZZLES FOR "HEAD-TO-HEAD" COVERAGE, ADJUSTED FOR NO OVERSPRAY ONTO WALLS AND WALKS. NO OVERSPRAY INTO STREETS IS PERMITTED.



**TEMPORARY IRRIGATION**  
 THE CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN AND PROVIDE TEMPORARY IRRIGATION FOR THE ESTABLISHMENT OF ALL PROPOSED PLANT MATERIALS LOCATED OUTSIDE THE LIMITS OF COVERAGE PROVIDED BY THE PERMANENT SYSTEM.



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

Date	Description	No.	
Revisions			
<h2 style="margin: 0;">LANGAN</h2> <p style="margin: 0;">Langan Engineering and Environmental Services, Inc.            1101 ESE Loop 323, Suite 101            Tyler, TX 75701            T: 903.324.8400      www.langan.com            TBPE FIRM REG. #F-13709</p>			
<h3 style="margin: 0;">SOUTHERN TIRE MART AT PILOT</h3> <p style="margin: 0;">CITY OF BURLESON</p>			
<p style="margin: 0;">JOHNSON COUNTY TEXAS</p> <p style="margin: 0;">Drawing Title</p> <h2 style="margin: 0;">IRRIGATION PLAN</h2>			
Project No.	Drawing No.		
532028801	L2.0		
Date			AUGUST 2023
Drawn By			TD
Checked By			TD

**IRRIGATION DESIGN & CONSULTING**

(972) 330-7408    tamaradiggs@chatamdesigns.com    LI0027095  
 (972) 998-7013    chrisdiggs@chatamdesigns.com    LI0010311

IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), (MC-235), P.O. BOX 13087, AUSTIN, TEXAS 78711-3087. T.C.E.Q.'S WEBSITE IS: WWW.TCEQ.TEXAS.GOV.

**IRRIGATION NOTES**

**GENERAL**

- ALL IRRIGATION WORK SHALL BE PERFORMED BY A LICENSED IRRIGATION CONTRACTOR (L.I.C.). POWER TO CONTROLLER LOCATION SHALL BE COORDINATED BY G.C. AND INSTALLED BY LICENSED ELECTRICIAN.
- L.I.C. SHALL CONFIRM PLAN SITE CONDITIONS PRIOR TO INSTALL. L.I.C. SHALL NOT PROCEED WITH INSTALL IF SITE CONDITIONS DIFFER FROM PLAN OR UNLESS NOTIFIED BY OWNER.
- TEN (10) DAYS PRIOR TO INSTALL, L.I.C. TO CONFIRM STATIC PRESSURE OF A MINIMUM OF 65.0 PSI. IF STATIC PRESSURE IS LESS THAN 65.0 PSI, A SECOND STATIC READING SHALL BE PERFORMED ON A SEPARATE DAY TO RECONFIRM LOW PRESSURE READING PRIOR TO CONTACTING THE LANDSCAPE DESIGNER. WORK SHALL NOT COMMENCE UNTIL NOTIFIED BY LANDSCAPE DESIGNER. DESIGN PRESSURE IS 62.00. MINIMUM OF 65.0 PSI AT HIGHEST ELEVATION ON SITE SHALL BE VERIFIED.
- L.I.C. SHALL CONTACT PROPER AUTHORITIES AND CONFIRM ALL UTILITY LOCATIONS PRIOR TO INSTALL.
- L.I.C. SHALL CONFORM TO ALL STATE AND LOCAL IRRIGATION AND PLUMBING CODES. ALL STATE AND LOCAL CODES SHALL PREVALE OVER ANY DISCREPANCIES HEREIN AND SHALL BE ADDRESS BEFORE ANY CONSTRUCTION BEGINS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE, AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION, AND INSTALLATION OF MATERIALS. IN CASE OF CONFLICT BETWEEN THESE PLANS AND LOCAL AND/OR STATE CODES, CODES SHALL PREVAIL.
- THE IRRIGATION PLAN IS GENERALLY DIAGRAMMATIC; COORDINATE IRRIGATION INSTALLATION WITH UTILITY INSTALLATIONS. ACTUAL LOCATION OF IRRIGATION EQUIPMENT MAY NEED TO BE ADJUSTED BASED ON ACTUAL SITE CONDITIONS.
- FOR CLARITY PURPOSES, SOME IRRIGATION LINES AND EQUIPMENT ARE SHOWN IN HARDSCAPE AREAS; THESE LINES SHALL BE INSTALLED IN A COMMON TRENCH OR AT THE BACK OF CURB IN LANDSCAPE AREAS. MINOR FIELD ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- L.I.C. SHALL SECURE ALL REQUIRED PERMITS AT NO ADDITIONAL COST TO OWNER.
- L.I.C. SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK AND SHALL OBTAIN ALL APPLICABLE PLANS AND DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- L.I.C. SHALL ACCEPT ALL RESPONSIBILITY FOR IRRIGATION SYSTEM OPERATION IF ANY DEVIATIONS ARE MADE TO THIS PLAN AND ANY AND ALL DEVIATIONS SHALL BE NOTED IN RED ON ALL IRRIGATION PLAN.
- L.I.C. SHALL PROVIDE OWNER WITH A SEASONALLY BASED WATERING SCHEDULE, CONTROLLER CHART, WARRANTY INFORMATION, AS BUILT DRAWINGS, AND ALL APPLICABLE EQUIPMENT OWNER'S MANUALS AFTER INSTALLATION.

**SPECIFICATIONS**

- BACKFLOW PREVENTERS SHALL BE INSTALLED AND LOCATED PER LOCAL CODE WITH A BALL VALVE ON THE UPSTREAM SIDE OF THE BACKFLOW PREVENTER. BELOW GROUND D.C.A.S SHALL BE INSTALLED WITH A W.Y.E. FILTER ON THE UPSTREAM SIDE OF THE BACKFLOW AND DOWNSTREAM OF THE BALL VALVE AND SHALL BE BOXED AND LOCATED PER LOCAL CODE.
- LATERAL PIPE TO TREE BUBBLERS AND EMITTERS ARE OMITTED FOR GRAPHIC CLARITY.
- ALL LATERAL PIPES SHALL BE SIZED TO NOT EXCEED VELOCITIES OVER 5 FEET PER SECOND PER MANUFACTURER'S RECOMMENDATIONS.
- ALL PVC PIPE AND FITTINGS TO BE INSTALLED USING COLORED PRIMER PRIOR TO APPLYING PVC CEMENT. (SEE UNIFORM PLUMBING CODE SECTION 316 OR THE INTERNATIONAL PLUMBING CODE SECTION 605).
- L.I.C. SHALL COORDINATE IRRIGATION INSTALLATION WITH PLANTING PLAN AND SITE CONDITIONS AND SHALL MAKE MINOR ADJUSTMENTS TO ENSURE PROPER COVERAGE WITH NO OVER SPRAY AT NO ADDITIONAL COST TO OWNER.
- ADJUSTABLE NOZZLES SHALL BE UTILIZED WITH LESS THAN 90° ANGLES AND ADJUSTED FOR NO OVERSPRAY ONTO IMPERVIOUS SURFACES.
- L.I.C. SHALL SELECT AND ADJUST ALL POP UP AND ROTARY SPRAY NOZZLES TO DIRECT FLOW AWAY FROM ALL HARDSCAPE AND IMPERVIOUS MATERIAL.
- L.I.C. TO INSTALL ALL POP UP AND ROTARY SPRAY HEADS A MINIMUM OF 4" AWAY FROM ALL HARDSCAPE OR AS REQUIRED BY LOCAL CODE.
- DRIP TUBE SHALL NOT BE INSTALLED CLOSER THAN 6" FROM IMPERVIOUS SURFACES OR BED EDGES.
- ALL ROTARY HEADS AND QUICK COUPLERS SHALL BE INSTALLED USING RAIN BIRD TSJ SERIES (OR APPROVED EQUAL) SWING JOINT ASSEMBLIES UNLESS OTHERWISE NOTED.
- ALL SPRAY HEADS SHALL BE INSTALLED WITH RAIN BIRD SA-125050 OR APPROVED EQUAL SWING ASSEMBLIES.
- THE PVC SHALL BE SOLVENT WELDED TO SCHEDULE 40 PVC FITTINGS WITH WELD-ON #795 SOLVENT AND #P-70 PRIMER.
- HAND TRENCH IN EXISTING ROOT ZONES ONLY. WHEN HAND TRENCHING, NO ROOTS LARGER THAN 1" DIAMETER SHALL BE CUT. STAKE ALL PROPOSED TRENCH ROUTES NEAR EXISTING TREES FOR APPROVAL BY THE LANDSCAPE ARCHITECT BEFORE DIGGING BEGINS. HAND TRENCHING SHALL BE PROVIDED AT NO COST TO THE OWNER.
- GENERAL CONTRACTOR TO PROVIDE ELECTRICAL POWER WITHIN FIVE FEET OF CONTROLLER LOCATION. IRRIGATION CONTROLLER TO BE HARD WIRED.
- 24 VOLT VALVE WIRE SHALL BE A MINIMUM OF #14 GAUGE, U.F. APPROVED FOR DIRECT BURIAL, SINGLE CONDUCTOR 'IRRIGATION WIRE'. WIRE SPLICES FOR CONVENTIONAL WIRED CONTROLLERS SHALL BE PROTECTED BY 3M D.B.Y. CONNECTORS. WIRE NUTS SHALL BE PUSHED ALL THE WAY INTO THE D.B.Y. WIRE CONNECTOR. ALL FIELD SPLICES SHALL BE LOCATED IN A RAIN BIRD 10" ROUND VALVE BOX. ALL TWO WIRE SHALL BE INSTALLED AND SPLICED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. WHERE CALSENSE CONTROLLED SYSTEMS SHALL UTILIZE 3M SCOTCH CAST FOR ALL SPLICES.
- VALVE BOXES SHALL BE INSTALLED FLUSH TO GRADE AND SUPPORTED BY BRICKS OR PAVERS. BOX SUPPORTS SHALL NOT REST DIRECTLY ON, NOR TOUCH LATERAL OR MAINLINE PIPE. A MINIMUM OF FOUR INCHES OF CLEAN PEA GRAVEL SHALL BE LOCATED BELOW THE VALVE WITH A MINIMUM 1" AIR GAP BETWEEN THE TOP OF THE GRAVEL AND THE BOTTOM OF THE VALVE. FOR ALL VALVES UP TO 1", RAIN BIRD VB SERIES 10" ROUND VALVE BOXES SHALL BE INSTALLED. FOR ALL 1 1/2" TO 2" VALVES AND QUICK COUPLING VALVES, RAIN BIRD VB SERIES 17" X 22" RECTANGULAR VALVE BOXES SHALL BE INSTALLED. PURPLE LID SHALL BE INSTALLED FOR EACH QUICK COUPLER BOX. CONTRACTOR SHALL INSTALL PROPER RAIN BIRD VB SERIES VALVE BOXES FOR ALL VALVES WHERE PIPE IS LARGER THAN 3.5" DIAMETER. FOR ALL DRIP VALVE ASSEMBLIES / REMOTE CONTROL VALVES, RAIN BIRD VB SERIES RECTANGULAR VALVE BOXES SHALL BE INSTALLED.
- L.I.C. TO PROVIDE ONE QUICK COUPLER KEY WITH SWIVEL HOSE ELL FOR EVERY SIX QUICK COUPLER VALVES. ONE SET MINIMUM REQUIRED IF QUICK COUPLERS ARE INDICATED.

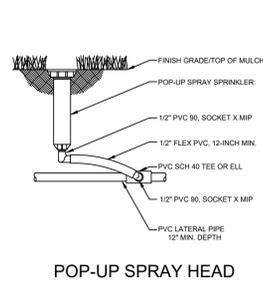
**DRIP**

- WHEN DRIP IS SPECIFIED FOR SHRUBS AND GROUND COVER, DRIP TUBE SHALL INCLUDE PRE-INSTALLED .60 GPH DRIP EMITTERS AT 12" INTERVALS INSTALLED IN CENTER FED GRIDS WITH 18" ROW SPACING (SEE LEGEND FOR SPECIFICATIONS). INDIVIDUAL DRIP TUBE RUNS SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS. DRIP TUBING SHALL BE STAKED EVERY 24". DRIP TUBE SHALL BE INSTALLED WITH RAIN BIRD Q.F. DRIP LINE HEADER. DRIP TUBE SHALL BE INSTALLED 2" BELOW FINISH GRADE IN SHRUB BEDS AND SHALL NOT BE INSTALLED ON SURFACE BELOW MULCH WITHOUT WRITTEN APPROVAL FROM OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION. IF INSTALLED ON SURFACE WITHOUT PRIOR APPROVAL, L.I.C. WILL BE REQUIRED TO RE-INSTALL DRIP TUBE AS NOTED ON PLANS. FLUSH VALVES SHALL BE INSTALLED AT THE FARTHEST DISTANCE FROM CONTROL ZONE KIT. USE 17 MM BARBED FITTINGS FOR DRIP LINE CONNECTIONS. THE MAXIMUM OPERATING PRESSURE FOR DRIP TUBE SHALL BE 50 PSI. INSTALL DRIP LINE PERPENDICULAR TO SLOP FACE. SAME MANUFACTURER CHECK VALVES SHALL BE INSTALLED FOR EVERY 4.6 FEET OF ELEVATION CHANGE OR SPLIT DRIP ZONE. INSTALL OPERATION INDICATOR AT FARTHEST DISTANCE FROM CONTROL ZONE KIT AT EACH DRIP TUBE GRID WITHIN DRIP ZONE AND SET FLUSH TO GRADE. DRIP ZONE INDICATOR TO BE INSTALLED CLOSE TO BED EDGES FOR EASY IDENTIFICATION OF ZONE OPERATION. WHERE DRIP EMITTERS ARE SHOWN ON PLANS WITHOUT LATERAL CONNECTING LINES, EMITTERS SHALL BE CONNECTED TO NEAREST DRIP ZONE GRID WITH LATERAL LINES SIZED TO NOT EXCEED VELOCITIES OVER 5 FEET PER SECOND.

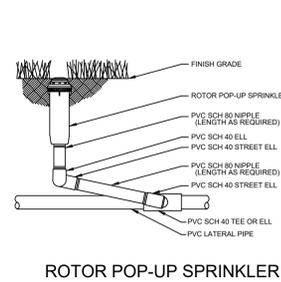
**IRRIGATION LEGEND**

	RAINBIRD XERI-BUG SINGLE / MULTI OUTLET (XB-T-10-PC / XBT-10-6) POINT SOURCE DRIP EMITTERS. SEE INSTALLATION NOTE ABOUT SHRUB DRIP FOR EMITTER LAYOUT AND CONNECTION TO DRIP VALVE ASSEMBLY
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	RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL, "TREE BUBBLER ZONE" VALVE
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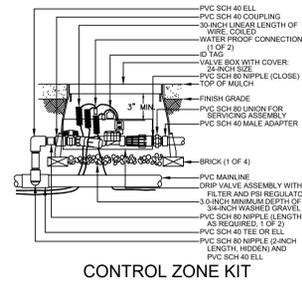
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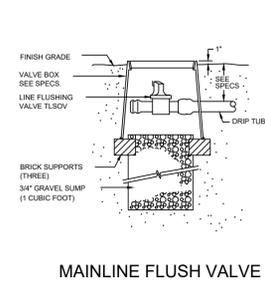
**POP-UP SPRAY HEAD**



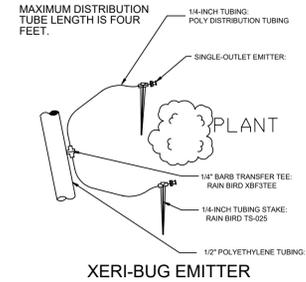
**ROTOR POP-UP SPRINKLER**



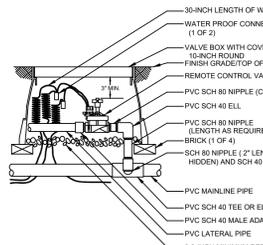
**CONTROL ZONE KIT**



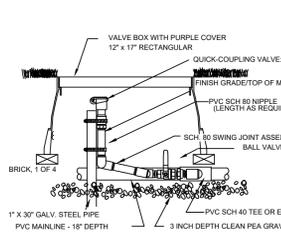
**MAINLINE FLUSH VALVE**



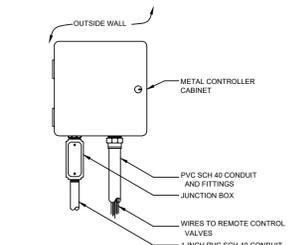
**XERI-BUG EMITTER**



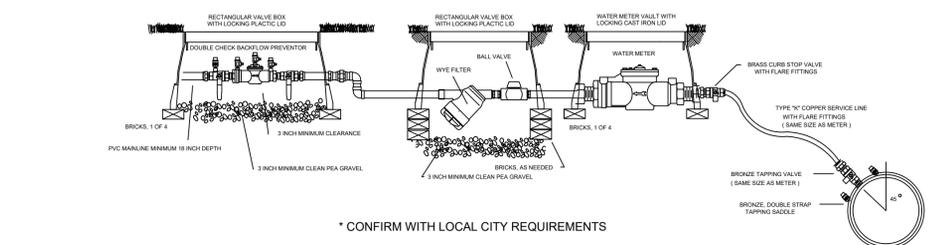
**REMOTE CONTROL VALVE**



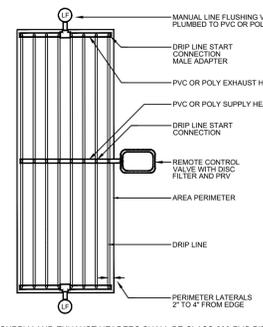
**QUICK COUPLER VALVE WITH PVC BALL VALVE**



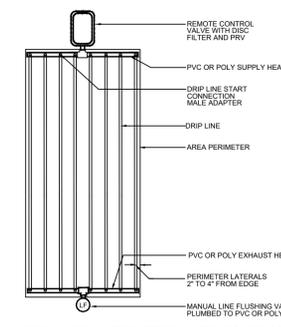
**WALL MOUNT CONTROLLER**



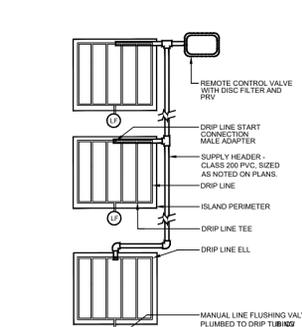
**WATER METER AND BACKFLOW ASSEMBLY**



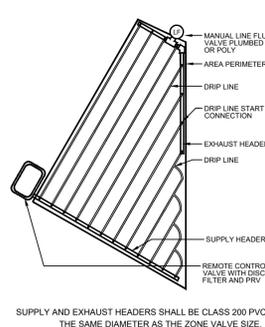
**DRIP CENTER FEED LAYOUT**



**DRIP END FEED LAYOUT**



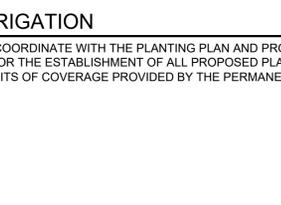
**DRIP ISLAND LAYOUT**



**IRREGULAR AREA DRIP LAYOUT**



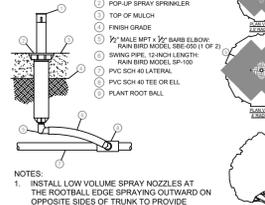
**DRIP CENTER FEED LAYOUT**



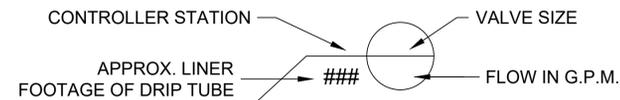
**DRIP END FEED LAYOUT**



**DRIP ISLAND LAYOUT**



**IRREGULAR AREA DRIP LAYOUT**



**CONTROLLER STATION**

**APPROX. LINER FOOTAGE OF DRIP TUBE**

**VALVE SIZE**

**FLOW IN G.P.M.**

SUPPLY AND EXHAUST HEADERS SHALL BE CLASS 200 PVC PIPE, OF THE SAME DIAMETER AS THE ZONE VALVE SIZE.

USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

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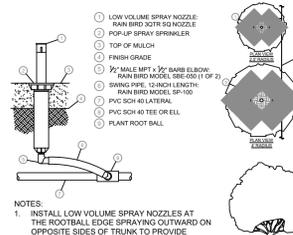
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**TREE BUBBLER**

NOTES:  
1. INSTALL LOW VOLUME SPRAY NOZZLES AT THE ROOTBALL EDGE SPRAYING OUTWARD ON OPPOSITE SIDES OF TRUNK TO PROVIDE COVERAGE UNDER PLANT CANOPY.  
2. THE NOZZLE RADIUS CAN BE ADJUSTED FROM 2.5" TO 4" BY TURNING THE NOZZLE.

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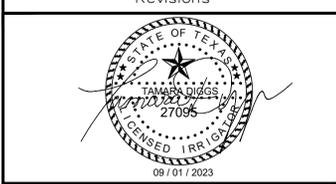
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2. THE NOZZLE RADIUS CAN BE ADJUSTED FROM 2.5" TO 4" BY TURNING THE NOZZLE.

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Date	Description	No.
Revisions		



**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
1101 ESE Loop 323, Suite 101  
Tyler, TX 75701  
T: 903.324.8400 www.langan.com  
TBPE FIRM REG. #F-13709

**SOUTHERN TIRE MART AT PILOT**

CITY OF BURLESON  
JOHNSON COUNTY TEXAS

**IRRIGATION NOTES**

Project No.	Drawing No.
532028801	
Date	
AUGUST 2023	
Drawn By	
TD	
Checked By	
TD	

**chatam designs LLC**  
IRRIGATION DESIGN & CONSULTING

(972) 330-7408 tamaradiggs@chatamdesigns.com L10027095  
(972) 998-7013 chrisdiggs@chatamdesigns.com L10010311

IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), 1 MC-235, P.O. BOX 13087, AUSTIN, TEXAS 78711-3087. T.C.E.Q.'S WEBSITE IS: WWW.TCEQ.TEXAS.GOV.

STATE/CITY SPECIFIC STAMP

ISSUE	DATE	DESCRIPTION
1	02/20/2023	Permit Set
2	07/31/2023	PEMB Coordination
3	09/06/2023	GLAZING CHANGES
4	10/05/2023	TOWER ENTRY

PROJECT INFORMATION

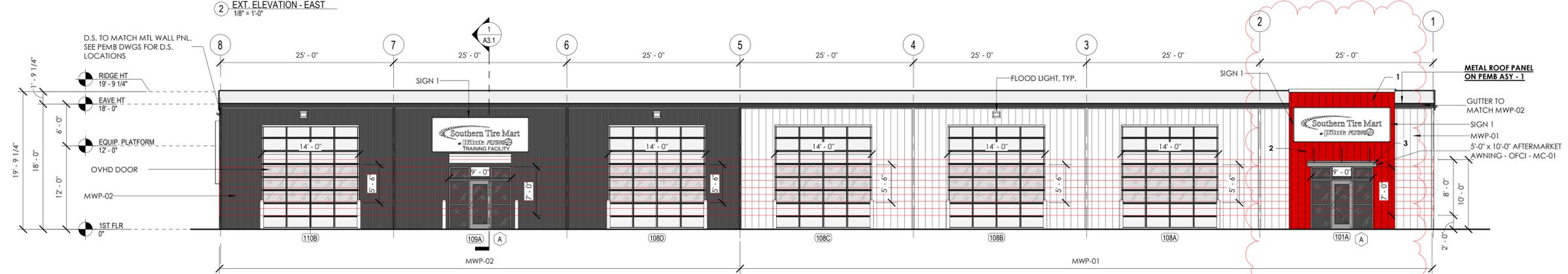
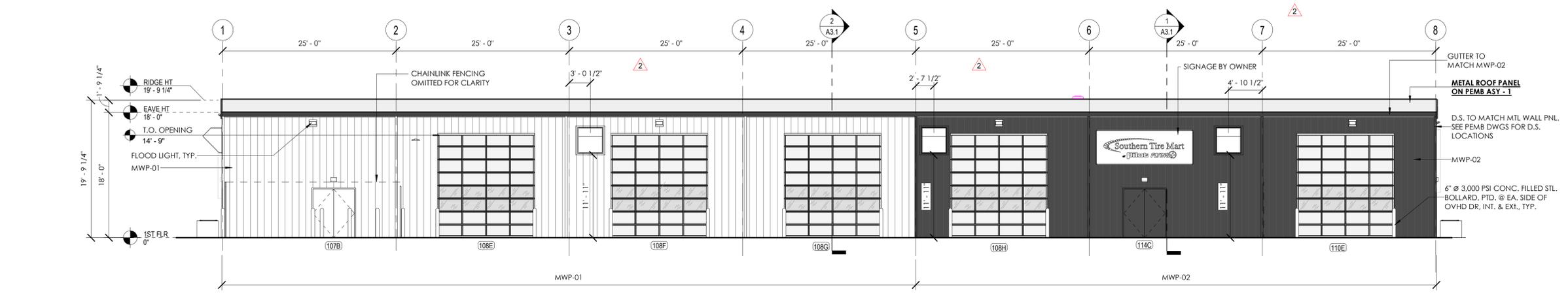
PROJECT NO:	TLW.36330
DATE:	07/26/2023
SCALE:	AS NOTED
DRAWN BY:	R.PATEL
CHECKED BY:	R.PILU

SHEET TITLE

EXTERIOR ELEVATIONS

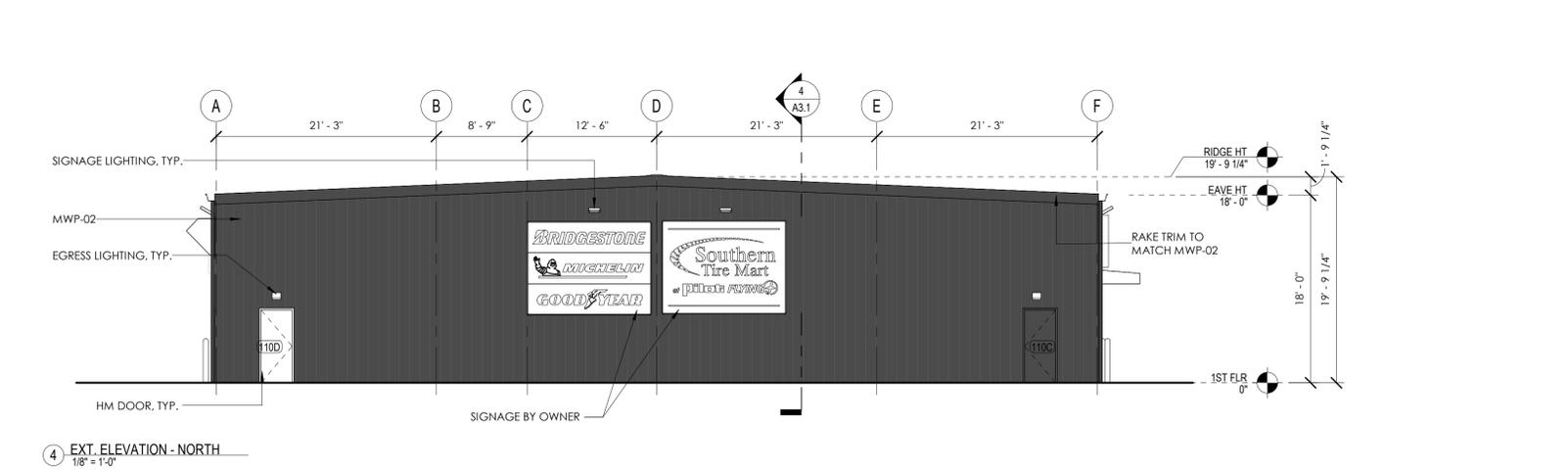
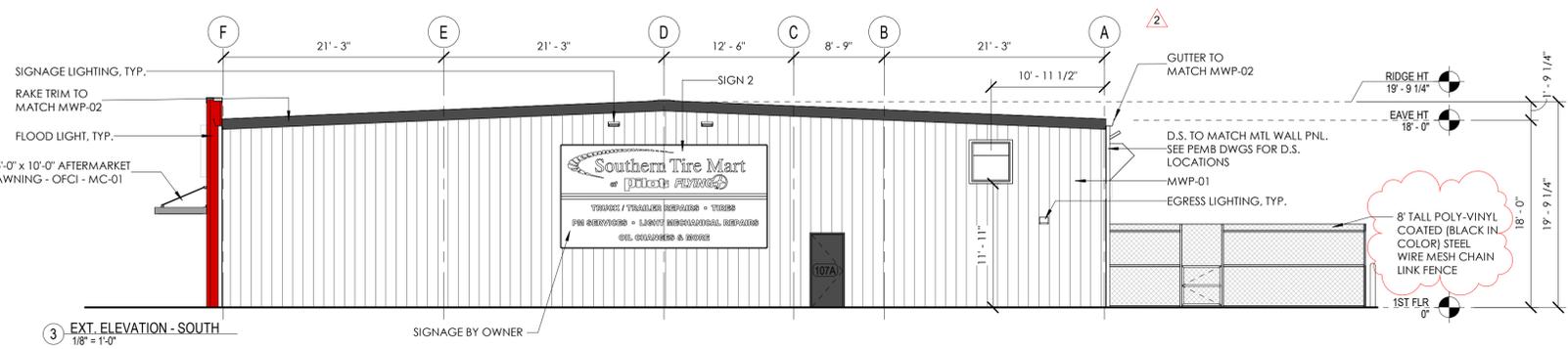
SHEET NUMBER

A2.1



**NOTE:**  
- PROPOSED GLAZING AT WEST ELEVATION FACING THE PRINCIPAL STREET BETWEEN 2'-0" AND 10'-0" AFF. = 509.56 SF @ 34%  
- THERE ARE NO SECOND FLOOR AND NO OTHER ELEVATIONS FACING PRINCIPAL STREETS.

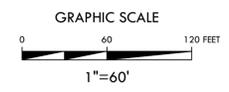
**I-35 DESIGN ELEMENTS PROVIDED**  
1. THE PARAPET WALL SHOWN CREATES VERTICAL INTEREST ALONG THE TOP OF THE BUILDING FACADE.  
2. THE RED ENTRY FEATURE HAS BEEN ADDED TO PROVIDE A FOCAL ELEMENT AS WELL AS HORIZONTAL ARTICULATION OF THE FRONT FACADE.  
3. THE CANOPY ALLOWS FOR ADDITIONAL HORIZONTAL PROJECTION AND INTEREST.



**MAT. LEGEND**

MARK	DESCRIPTION	COLOR
AL-01	ALUM. STOREFRONT	CLEAR ANODIZED
MC-01	MTL. CANOPY - PBR PROFILE	BRITE RED
MRP-01	MTL. ROOF PNL. - PBR PROFILE	POLAR WHITE
MWP-01	MTL. WALL PNL. - PBR PROFILE	OLD TOWN GREY
MWP-02	MTL. WALL PNL. - PBR PROFILE	CHARCOAL GRAY

**NOTE:**  
ALL METAL PANELS TO HAVE PVDF LOW GLOSS FINISH, TYP.



LEGEND	
BASIN NAME	DA-00
ACRES	1.00
100 YR FLOW (CFS)	5.00
DRAINAGE AREA	(Dashed line symbol)
EXISTING FLOW ARROW	(Arrow symbol)

**!!!CAUTION!!!**  
 EXISTING OVERHEAD & UNDERGROUND UTILITIES IN THE VICINITY.  
 VERIFY LOCATION OF EXISTING UNDERGROUND UTILITIES  
 BY VACUUM EXCAVATION OR OTHER POTHOLING TECHNIQUES.



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Date	Description	No.
Revisions		
09/01/2023		

*C. Delaney*

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**SOUTHERN TIRE MART  
AT PILOT**

CITY OF BURLESON  
JOHNSON COUNTY TEXAS

Drawing Title

**EXISTING  
DRAINAGE AREA  
MAP**

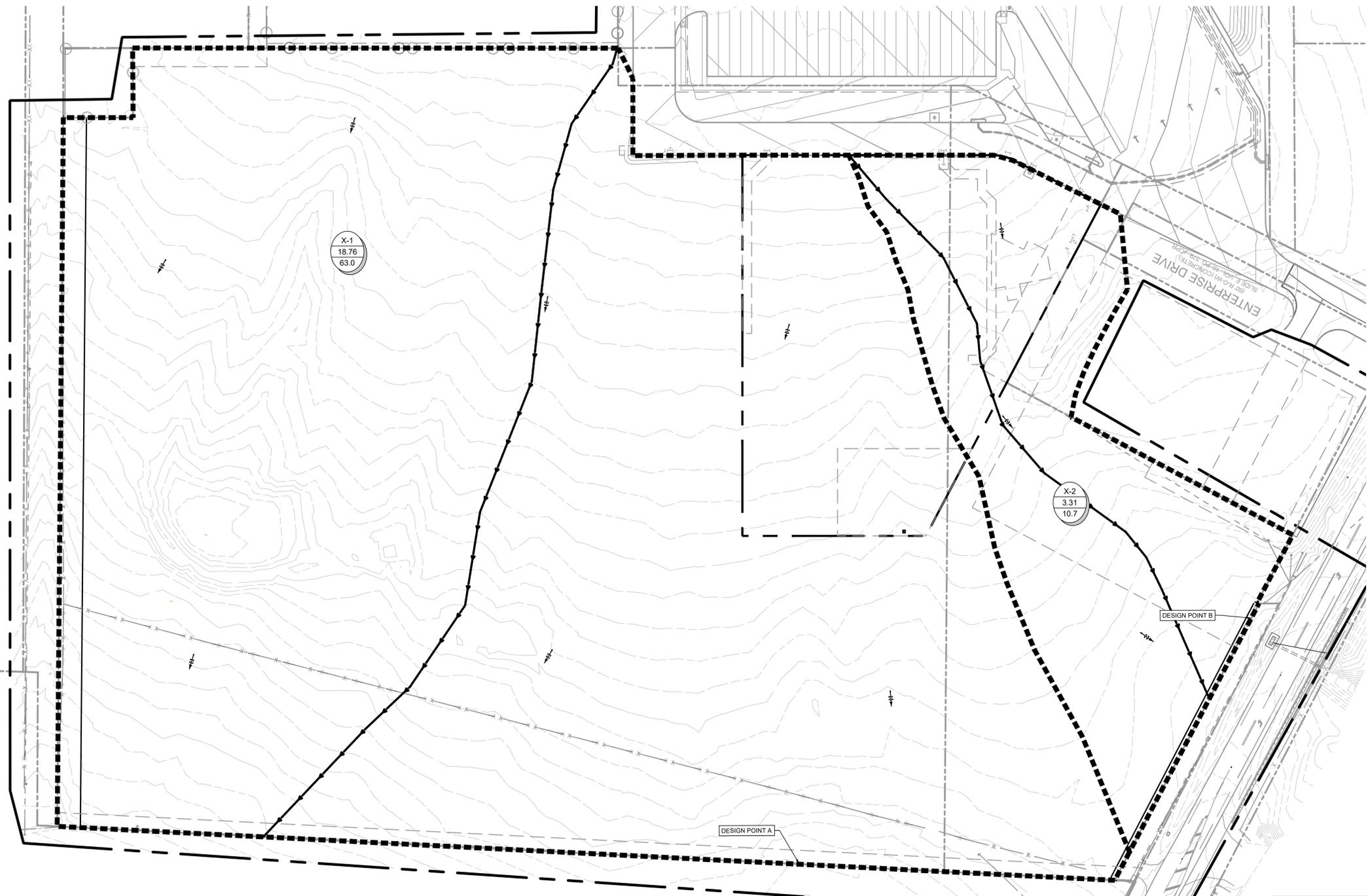
Project No.	Drawing No.
532028801	<b>C5.0</b>
Date	
SEPTEMBER 2023	
Drawn By	
ELP	Checked By
MSH	

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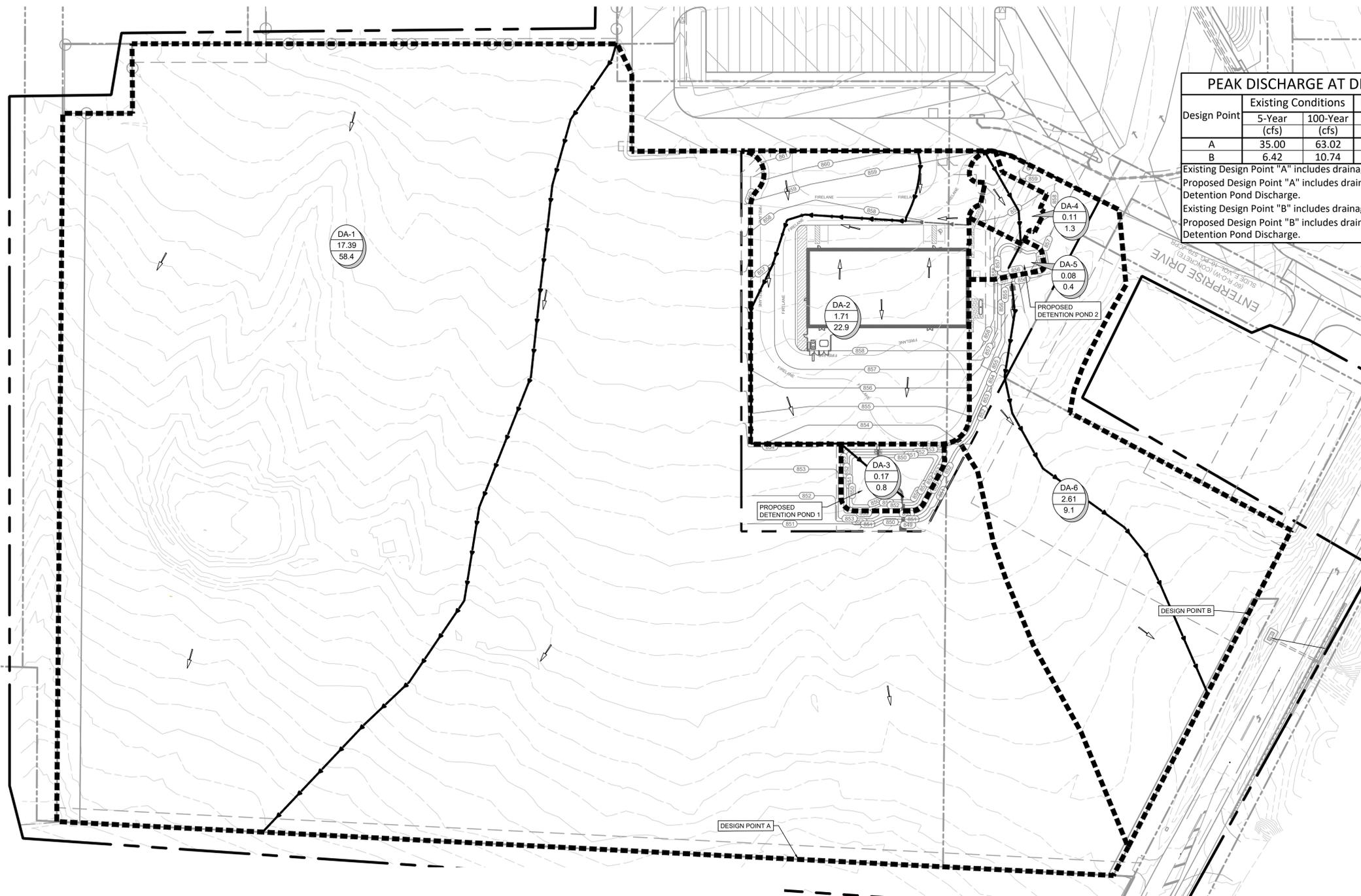


**PRE-DEVELOPMENT DRAINAGE AREA CALCULATIONS**

Drainage Area Designation	Drainage Area (ac)	Runoff Coefficient "C"	Time of Concentration (min)	5-Year Rainfall Intensity (I5) (in/hr)	5-Year Peak Discharge (Q5) (cfs)	25-Year Rainfall Intensity (I25) (in/hr)	25-Year Peak Discharge (Q25) (cfs)	100-Year Rainfall Intensity (I100) (in/hr)	100-Year Peak Discharge (Q100) (cfs)	Comments
X-1	18.76	0.30	12	6.22	35.0	9.08	51.1	11.20	63.0	
X-2	3.31	0.30	11	6.46	6.4	8.76	8.7	10.80	10.7	
<b>Total</b>	<b>22.07</b>				<b>41.4</b>		<b>59.8</b>		<b>73.8</b>	

Note: Calculations based on the Rational Method: Q = C\*I\*A. Intensities taken from City of Burleson Design Standards Manual, Appendix H.

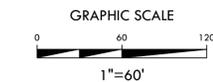
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**PEAK DISCHARGE AT DESIGN POINT**

Design Point	Existing Conditions		Proposed Conditions	
	5-Year (cfs)	100-Year (cfs)	5-Year (cfs)	100-Year (cfs)
A	35.00	63.02	34.78	62.75
B	6.42	10.74	5.65	9.85

Existing Design Point "A" includes drainage area X-1.  
 Proposed Design Point "A" includes drainage area DA-1 and Detention Pond Discharge.  
 Existing Design Point "B" includes drainage area X-2.  
 Proposed Design Point "B" includes drainage area DA-6 and Detention Pond Discharge.



**LEGEND**

BASIN NAME	DA-00
ACRES	1.00
100 YR FLOW (CFS)	5.00
DRAINAGE AREA	---
PROPOSED FLOW ARROW	→

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**POST-DEVELOPMENT DRAINAGE AREA CALCULATIONS**

Drainage Area Designation	Drainage Area	Runoff Coefficient	Time of Concentration	5-Year Rainfall Intensity (I5)	5-Year Peak Discharge (Q5)	25-Year Rainfall Intensity (I25)	25-Year Peak Discharge (Q25)	100-Year Rainfall Intensity (I100)	100-Year Peak Discharge (Q100)	Comments
-	(ac)	"C"	(min)	(in/hr)	(cfs)	(in/hr)	(cfs)	(in/hr)	(cfs)	
DA-1	17.39	0.30	12	6.22	32.4	9.08	47.4	11.20	58.4	
DA-2	1.71	0.90	5	8.50	13.1	12.00	18.5	14.90	22.9	
DA-3	0.17	0.30	5	8.50	0.4	12.00	0.6	14.90	0.8	
DA-4	0.11	0.78	5	8.50	0.7	12.00	1.0	14.90	1.3	
DA-5	0.08	0.34	5	8.50	0.2	12.00	0.3	14.90	0.4	
DA-6	2.61	0.30	10	6.70	5.2	9.40	7.4	11.60	9.1	
<b>Total</b>	<b>22.07</b>				<b>52.2</b>		<b>75.1</b>		<b>92.9</b>	

Note: Calculations based on the Rational Method:  $Q = C \cdot I \cdot A$ . Intensities taken from City of Burleson Design Standards Manual, Appendix H.

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Revisions		
		09/01/2023
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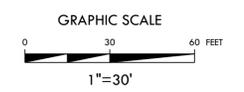
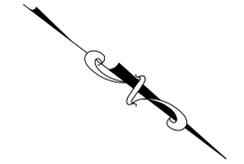
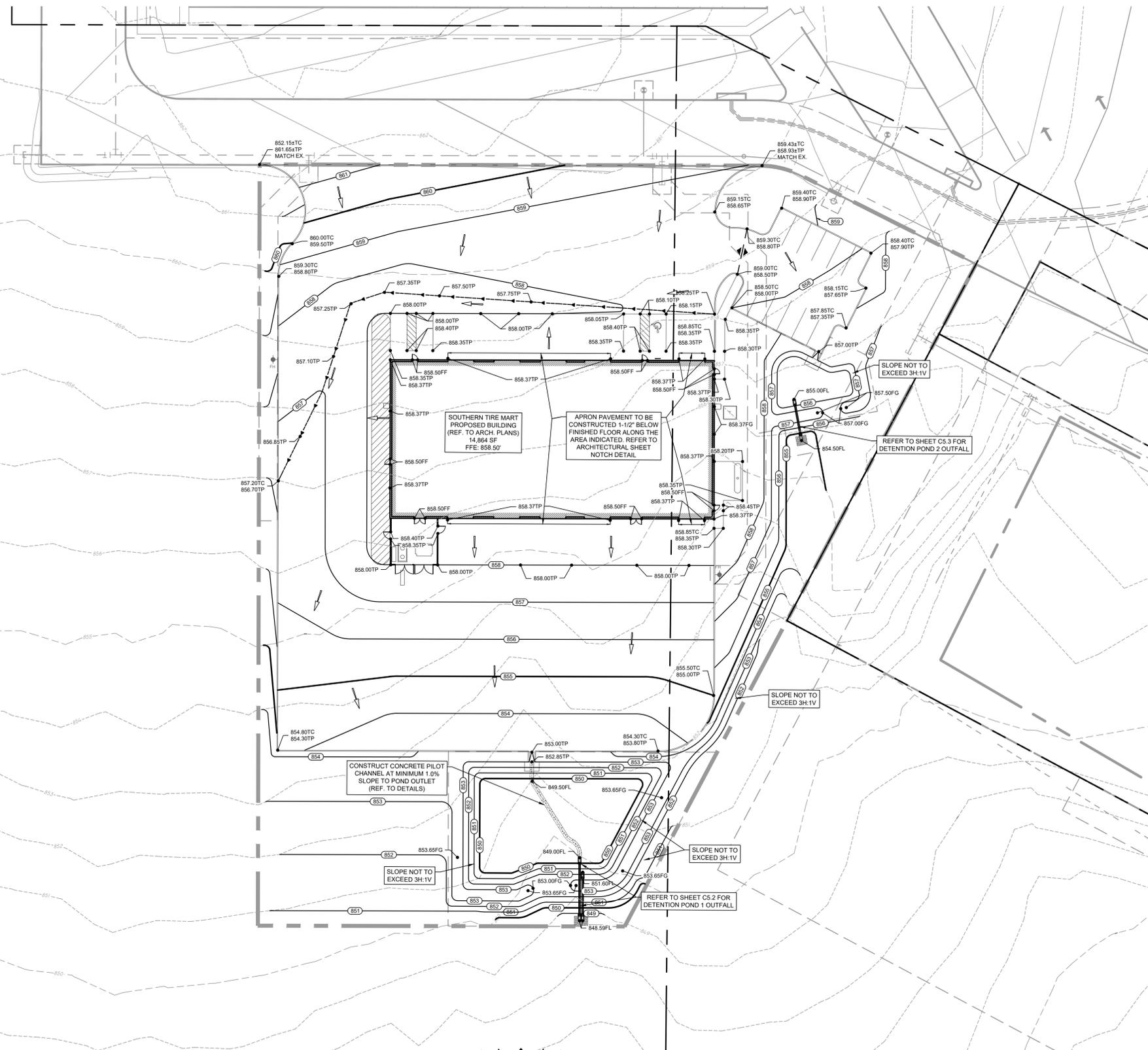
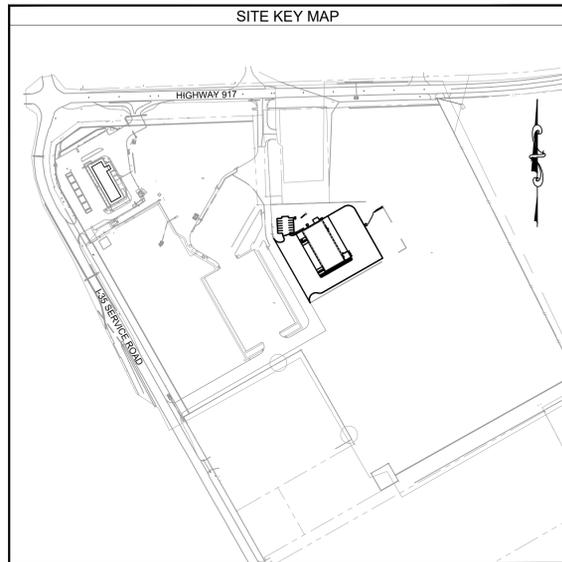
**SOUTHERN TIRE MART AT PILOT**

CITY OF BURLESON  
 JOHNSON COUNTY TEXAS

Drawing Title

**PROPOSED DRAINAGE AREA MAP**

Project No.	Drawing No.
532028801	C5.1
Date	
SEPTEMBER 2023	
Drawn By	
ELP	
Checked By	
MSH	



LEGEND	
PROPOSED CONTOUR	—100—
EXISTING CONTOUR	- - - - -
FLOWLINE	→ → →
GRADE BREAK	—▲—
SPOT GRADE	● 100.00 TP
FG	FINISHED GRADE
TC	TOP OF CURB
TP	TOP OF PAVEMENT
FF	FINISHED FLOOR
FL	FLOW LINE
PROPOSED FLOW ARROW	→

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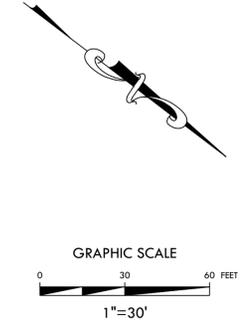
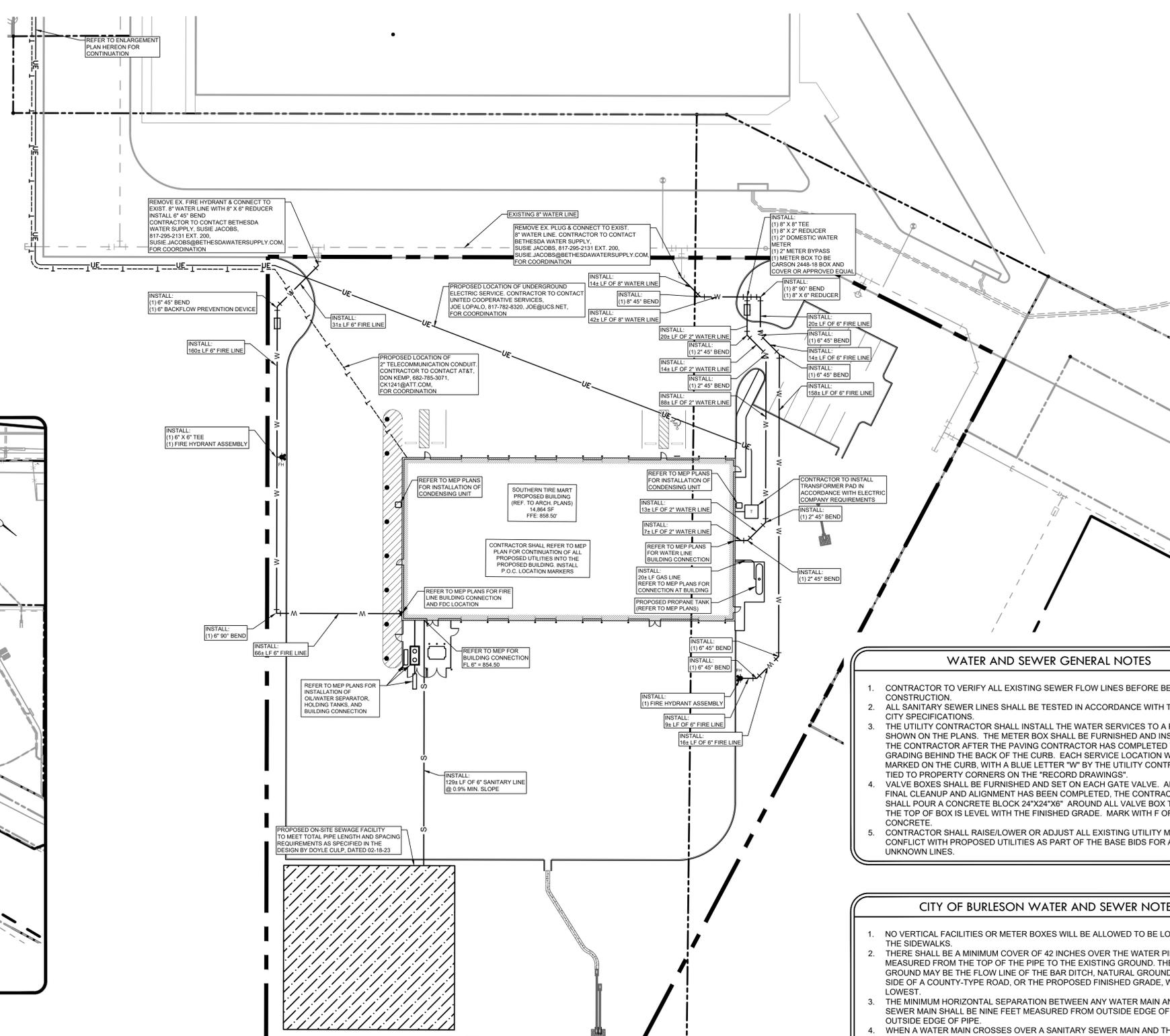
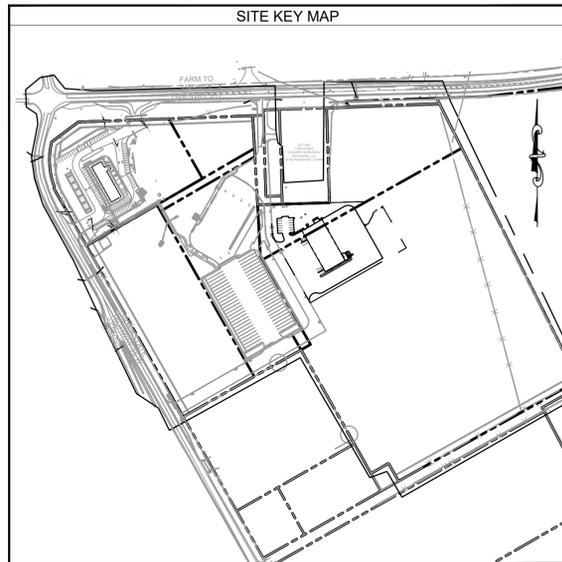
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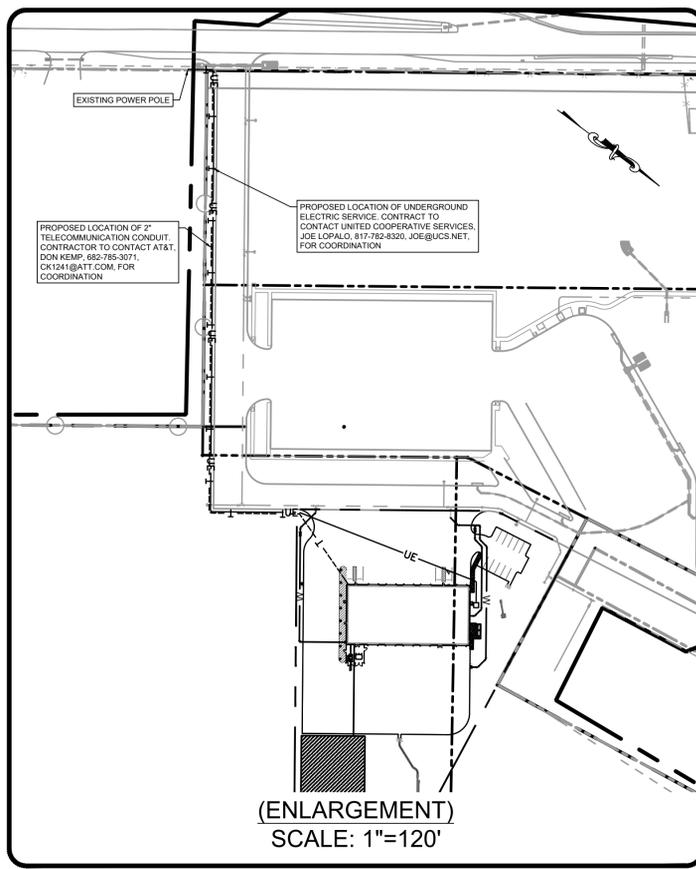
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<b>SOUTHERN TIRE MART AT PILOT</b> CITY OF BURLESON JOHNSON COUNTY TEXAS Drawing Title		
<b>GRADING &amp; DRAINAGE PLAN</b>		
Project No.	Drawing No.	
532028801	<b>C4.0</b>	
Date	SEPTEMBER 2023	
Drawn By	ELP	
Checked By	MSH	



LEGEND	
PROPOSED UNDERGROUND ELECTRIC	— UE —
PROPOSED TELEPHONE SERVICE	--- T --- T --- T ---
PROPOSED SANITARY SEWER	— S —
PROPOSED WATER	— W —
PROPOSED FIRE HYDRANT	● FH



**WATER AND SEWER GENERAL NOTES**

- CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
- ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
- THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT AS SHOWN ON THE PLANS. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS".
- VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEANUP AND ALIGNMENT HAS BEEN COMPLETED, THE CONTRACTOR (UTILITY) SHALL POUR A CONCRETE BLOCK 24"X24"X6" AROUND ALL VALVE BOX TOPS SO THAT THE TOP OF BOX IS LEVEL WITH THE FINISHED GRADE. MARK WITH F OR O OR S IN CONCRETE.
- CONTRACTOR SHALL RAISE/LOWER OR ADJUST ALL EXISTING UTILITY MAINS IN CONFLICT WITH PROPOSED UTILITIES AS PART OF THE BASE BIDS FOR ALL KNOWN OR UNKNOWN LINES.

**CITY OF BURLESON WATER AND SEWER NOTES**

- NO VERTICAL FACILITIES OR METER BOXES WILL BE ALLOWED TO BE LOCATED WITHIN THE SIDEWALKS.
- THERE SHALL BE A MINIMUM COVER OF 42 INCHES OVER THE WATER PIPE AS MEASURED FROM THE TOP OF THE PIPE TO THE EXISTING GROUND. THE EXISTING GROUND MAY BE THE FLOW LINE OF THE BAR DITCH, NATURAL GROUND ON THE LOW SIDE OF A COUNTY-TYPE ROAD, OR THE PROPOSED FINISHED GRADE, WHICHEVER IS LOWEST.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN ANY WATER MAIN AND SANITARY SEWER MAIN SHALL BE NINE FEET MEASURED FROM OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE.
- WHEN A WATER MAIN CROSSES OVER A SANITARY SEWER MAIN AND THE VERTICAL SEPARATION IS LESS THAN NINE FEET, THEN THE SANITARY SEWER SHALL HAVE ONE JOINT (20 FEET) OF PVC PIPE CONFORMING TO ASTM D-3034, SDR-26 INSTALLED CENTERED ON THE WATER LINE. IN ADDITION, THE JOINT SHALL HAVE A MINIMUM OF 12 INCHES OF CEMENT STABILIZED (TWO-SACK MINIMUM) BACKFILL DIRECTLY ABOVE THE SANITARY SEWER PIPE.
- WHEN A WATER MAIN MUST CROSS UNDER A SANITARY SEWER MAIN, THE MINIMUM SEPARATION SHALL BE 24 INCHES. IN ADDITION, THE SANITARY SEWER SHALL HAVE ONE JOINT (20 FEET) OF DUCTILE IRON PIPE CENTERED ON THE WATER MAIN.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN ANY SANITARY SEWER MAIN AND A STORM DRAIN FACILITY SHALL BE EQUAL TO TWO AND ONE-HALF FEET OR ONE-HALF TIMES THE DEPTH OF THE SANITARY SEWER OR STORM DRAIN, WHICHEVER IS GREATER.
- ALL WATER LINE FITTINGS SHALL INCORPORATE MEGALUG MECHANICAL JOINT RESTRAINTS OR APPROVED EQUAL.
- STANDARD SANITARY SEWER PIPE IS SDR 35. IF THE LINE LIES GREATER THAN 12' BELOW THE TOP OF GRADE THEN SDR 26 PIPE IS TO BE INSTALLED.
- SANITARY SEWER LINES MUST END WITH A MANHOLE UNLESS THE LINE SHALL BE EXTENDED IN THE FUTURE IN WHICH CASE A CLEANOUT WILL BE ALLOWED.
- FIRE HYDRANT PRESSURE SHOULD BE CHECKED TO ENSURE THE FOLLOWING REQUIREMENTS ARE MET:
  - 35 PSI STATIC PRESSURE
  - 20 PSI RESIDUAL PRESSURE

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TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY PERFORMED BY 360 SURVEYORS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, IN WRITING, OF ANY DISCREPANCIES OR OMISSIONS TO THE TOPOGRAPHIC INFORMATION. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL/VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES, AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES ARE FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL/VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR(S) SHALL NOTIFY THE OWNER AND ENGINEER IF ANY ERRORS OR DISCREPANCIES ARE FOUND ON THE CONSTRUCTION DOCUMENTS (PS&E), WHICH NEGATIVELY IMPACT THE PROJECT. THE ENGINEER AND OWNER SHALL BE INDEMNIFIED OF PROBLEMS AND/OR COST WHICH MAY RESULT FROM CONTRACTOR'S FAILURE TO NOTIFY ENGINEER AND OWNER.

**\*\*NOTICE TO CONTRACTORS - UTILITIES\*\***

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ANY EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, THE GOVERNING MUNICIPALITY, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION PROVIDED IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

Date	Description	No.
Revisions		
09/01/2023		

*C. Delaney*

**LANGAN**  
Langan Engineering and Environmental Services, Inc.  
1101 ESE Loop 323, Suite 101  
Tyler, TX 75701  
T: 903.324.8400      www.langan.com  
TBPE FIRM REG. #F-13709

**SOUTHERN TIRE MART AT PILOT**

CITY OF BURLESON TEXAS  
JOHNSON COUNTY  
Drawing Title

**UTILITY PLAN**

Project No.	Drawing No.
532028801	C6.0
Date	
SEPTEMBER 2023	
Drawn By	
ELP	
Checked By	
MSH	