

# Exhibit 1



# TOWN OF BARTONVILLE SITE PLAN APPLICATION/SITE PLAN AMENDMENT APPLICATION

**1. Applicant:**

Name: McAdams/ Cara King

Address: 201 Country View Drive

City/State: Roanoke, Texas Zip: 76262

Office #: 940.391.8999 Cell #: 940.391.8999 Fax #: \_\_\_\_\_

Email Address: cking@mcadamsco.com/ mmarmon@mcadamsco.com

**2. Property Owner:**

Name: BryFam Properties, LLC

Address: 913 Hat Creek Court

City/State: Bartonville, Texas Zip: 76226

Office #: 972.849.5177 Cell #: 972.849.5177 Fax #: \_\_\_\_\_

Email Address: martywbryan@gmail.com

**3. Site Location:**

Street Address: 1001 IT Neely Rd (South of Marty B's & West of 7-11

Lot, Block, & Subdivision Name: Lot 1R & 2, Block A, Yeti Addition

**4. Summarize the proposed development. If necessary, use a separate sheet.**

Event Center & Chapel

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**5. Present Zoning:** VC - Village Center **Present Land Use:** Vacant

**Future Land Use Designation:** VC - Village Center



6. All applications must contain the required information as specified in the Town of Bartonville's Comprehensive Zoning Ordinance, (Code of Ordinances, Chapter 14, Exhibit "A").

**I UNDERSTAND THAT IT IS NECESSARY FOR ME OR MY AGENT TO BE PRESENT AT BOTH THE PLANNING AND ZONING COMMISSION MEETING AND TOWN COUNCIL MEETING**

**FAILURE TO APPEAR** before the Planning and Zoning Commission or Town Council for more than one (1) hearing without an approved delay by the Town Administrator or his/her designee shall constitute sufficient grounds to table or deny the request unless the Town is notified at least 72 hours prior to the hearing.

**DENIALS BY THE PLANNING AND ZONING COMMISSION** shall be forwarded to Town Council, along with the Commission's reasons for denial and will require a  $\frac{2}{3}$  favorable vote of all members of Town Council.

**TABLED BY THE PLANNING AND ZONING COMMISSION:** The Commission may not defer its report for more than 90 days from the time it was posted on the agenda, or until it has had an opportunity to consider other proposed changes, which may have a direct bearing, unless a postponement is requested by the applicant.

Applicant Name (print or type): Cara King

Applicant signature: *Cara King*

Owner Name (print or type): Marty Bryan

Owner signature: *Marty Bryan*

Date Received \_\_\_\_\_ Date Paid \_\_\_\_\_ Receipt Number \_\_\_\_\_



NOTARY FORM  
Town of Bartonville

THE FOLLOWING IS TO BE COMPLETED BY EACH OWNER THAT IS NOT SIGNING THIS APPLICATION.

Dated: 11/29/23

I, Marty Bryan, owner of the Property located at 1001 IT Neely do hereby certify that I have given my permission to McAdams, to submit this ~~Conditional Use~~ permit application.

Marty Bryan  
Print Name

[Signature]  
Signature of Owner

(972) 849-5177

Address

Phone No.

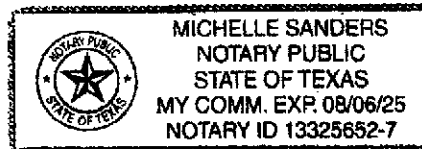
State of Texas §  
County of Denton §

Have BryFern sign this as well, he can get it notarized or we can notarize it

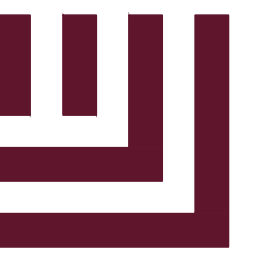
Before me, Michelle Sanders, a Notary Public in and for said County and State, on this day personally appeared Marty Bryan, 11-29-23 known to me to be the person whose name is subscribed to the foregoing certificate, and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

(Seal)

Michelle Sanders  
Notary







McAdams

The John R. McAdams Company, Inc.  
201 Country View Drive  
Roanoke, Texas 76262

phone 940.240.1012  
fax 972.436.9715  
TBP: 19762 TBP: 10194440

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CLIENT

BRYFAM PROPERTIES, LLC  
913 HAT CREEK COURT  
BARTONVILLE, TX 76226  
972.819.5177  
MARTYWBRYAN@GMAIL.COM



THE RESERVE AT MARTY B'S  
CONSTRUCTION PLANS  
1001 I.T. NEELY DRIVE  
TOWN OF BARTONVILLE, TX, 76226



REVISIONS

NO.	DATE	DESCRIPTION
1	12-4-2023	1ST SUBMITTAL

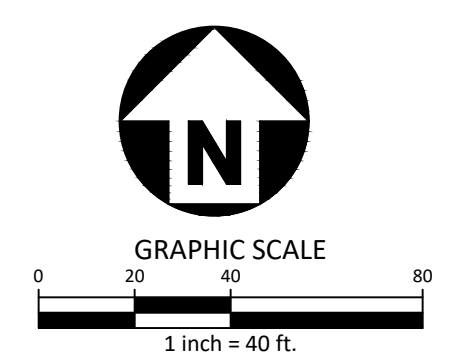
PLAN INFORMATION

PROJECT NO. BFP22001  
FILENAME BFP22001-S1.DWG  
CHECKED BY CMK  
DRAWN BY SDP  
SCALE 1"=40'  
DATE 12-4-2023

SHEET

SITE PLAN

C2.00



BENCHMARKS:

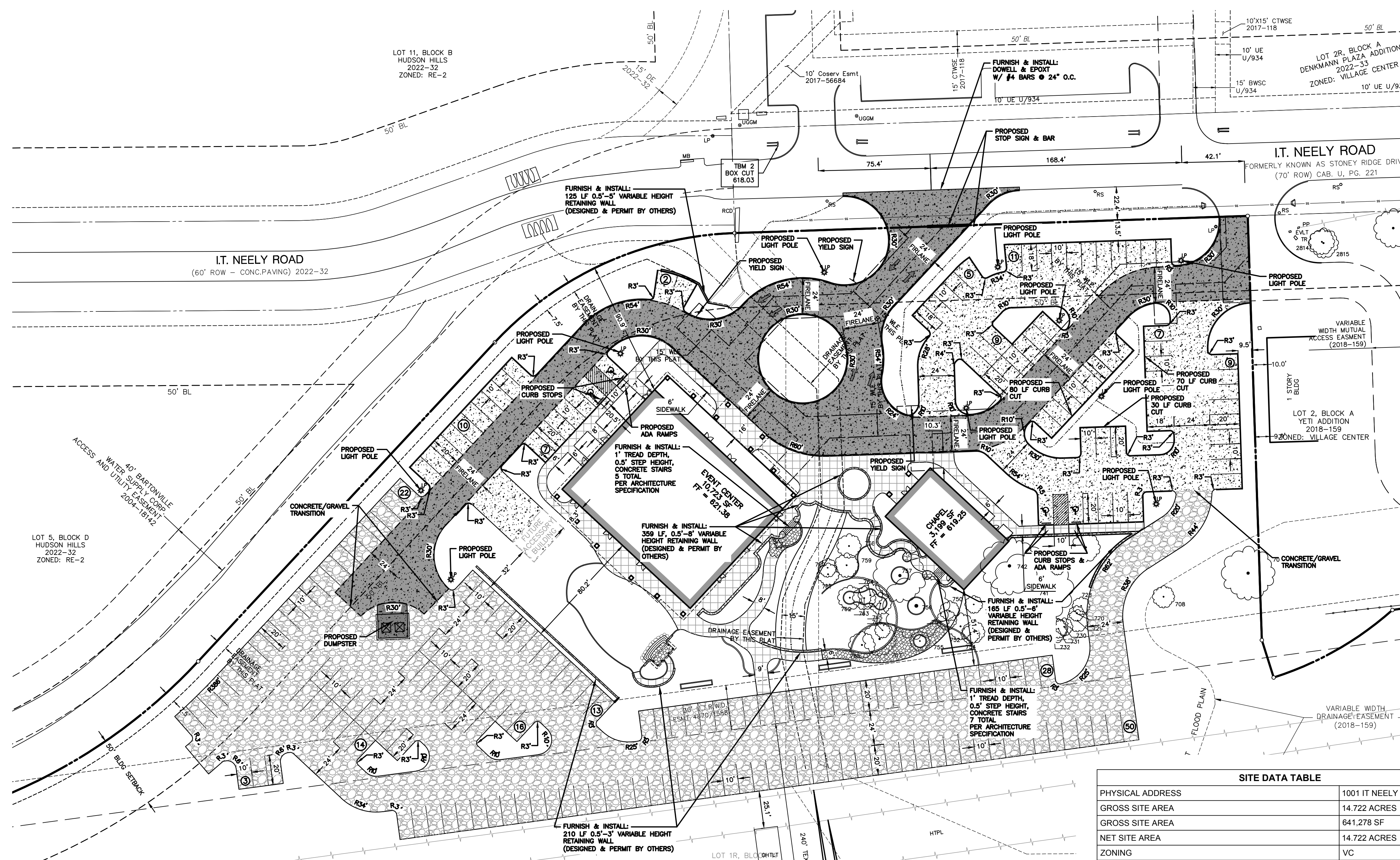
TBM #1: "+ " CUT IN THE NORTHWEST CORNER OF A STORM INLET, SAID STORM INLET IS LOCATED ON THE WEST CURB LINE OF FM 407, AND SAID INLET IS APPROXIMATELY 345 FEET SOUTH OF THE INTERSECTION OF FM 407 AND I.T. NEELY DRIVE.  
N: 7082425.93 E: 2387125.23 ELEV: 618.03

TBM #2: "+ " CUT ON THE SOUTHEAST CORNER OF AN 18" RCP HEAD WALL IS LOCATED ON THE NORTH SIDE OF I.T. NEELY DRIVE, ON THE WEST SIDE OF THE WESTERN ENTRANCE TO MARTY B'S, BEING APPROXIMATELY 540 FEET WEST OF THE INTERSECTION OF I.T. NEELY DRIVE AND FM 407.  
N: 7082425.93 E: 2387125.23 ELEV: 618.03

HORIZONTAL: TEXAS COORDINATE SYSTEM, NAD83, ZONE 4202  
VERTICAL: NAVD83  
GRID TO SURFACE SCALE FACTOR: 1.00014904337

GENERAL NOTES:

- ALL DIMENSIONS ON THIS SHEET ARE TO FACE OF CURB AND TO PC OF RADI UNLESS OTHERWISE NOTED
- THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND TAKES RISK OF UNKNOWN CONDITIONS
- THE PAVING CONTRACTOR SHALL NOT PLACE PERMANENT PAVEMENT UNTIL SLEEVING FOR UTILITIES HAS BEEN INSTALLED. IT SHALL BE THE PAVING CONTRACTOR'S RESPONSIBILITY TO INSURE ALL SLEEVING IS IN PLACE PRIOR TO PLACING PERMANENT PAVING, PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL PERMITS AND APPROVALS HAVE BEEN OBTAINED.
- SIDEWALK RAMPS AND DRIVEWAY CROSSING ARE TO BE DESIGNED AND INSTALLED SO THEY ARE IN COMPLIANCE WITH THE TEXAS ACCESSIBILITY STANDARDS AND ADA.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES DURING THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING, UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
- MAXIMUM RUNNING SLOPE SHALL BE NO GREATER THAN 5% AND PATHS OF TRAVEL (ACROSS DRIVEWAYS AND FROM HANDICAP PARKING SPACES TO BUILDING).
- BASE FLOOD ELEVATIONS (BFE) ALONG THIS PROJECT RANGE FROM 615 TO 617. THE ELEVATION DIFFERENCE BETWEEN THE EXISTING 617 CONTOUR AND THE PROPOSED CHAPEL FINISHED FLOOR (619.25) IS 2.25 FEET WHILE THE PROPOSED EVENT CENTER FINISHED FLOOR (621.38) HAS AN ELEVATION DIFFERENCE OF 4.38 FEET.



SITE DATA TABLE

PHYSICAL ADDRESS	1001 IT NEELY DRIVE
GROSS SITE AREA	14.722 ACRES
GROSS SITE AREA	641,278 SF
NET SITE AREA	14.722 ACRES
ZONING	VC
CURRENT USE	VACANT
PROPOSED USED	EVENT CENTER & CHAPEL

LOT COVERAGE DATA

BUILDING COVERAGE	0.320 AC	2.17%
IMPERVIOUS AREA	4.166 AC	28.30%
PERVIOUS AREA	10.236 AC	69.53%

PARKING SUMMARY

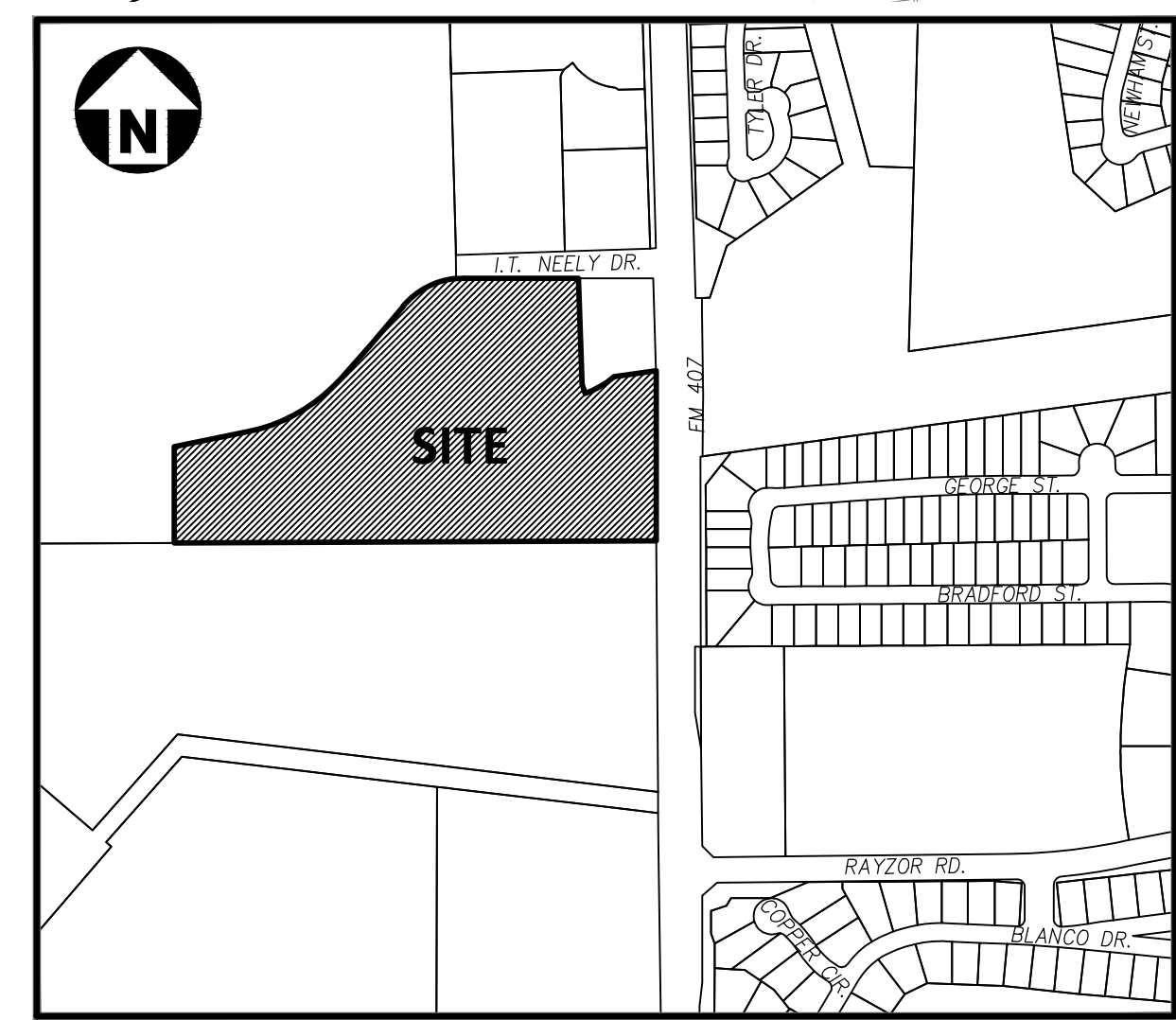
REQUIRED PARKING (296 SEATS) 1:3 SEATS IN THE MAIN AUDITORIUM/SANCTUARY	99 SPACES
REQUIRED TOTAL	99 SPACES
PROVIDED PARKING	223 SPACES (77 CONCRETE, 146 GRAVEL)
MINIMUM ACCESSIBLE PARKING (201 TO 300 TOTAL PARKING PROVIDED IN PARKING FACILITY)	4 SPACES
PROVIDED ACCESSIBLE PARKING	4 SPACES

BUILDING DATA

EVENT CENTER	
NUMBER OF FLOORS	1
BUILDING HEIGHT	28'-5"
CHAPEL	
NUMBER OF FLOORS	1 PLUS MEZZANINE
BUILDING HEIGHT	34'-10"
BUILDINGS SQUARE FOOTAGES	
EVENT CENTER	10,723 SF
CHAPEL	3,199 SF
TOTAL SQUARE FOOTAGE	13,922 SF
FLOOR AREA RATIO: 1	0.022

PAVING SPECIFICATIONS:

- SIDEWALK AREA:**  
4" 3,600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W.  
(HATCH PATTERN DOES NOT REFLECT CONST. OR EXPANSION JOINT LOCATIONS)
- PARKING AREA:**  
6" 3,600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W. ON SUB-BASE COMPACTED TO 95% STD. PROCTOR DENSITY. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS.
- FIRE LANE:**  
7" 3,600 PSI CONC. PAVEMENT W/ #3 BARS @ 18" O.C.E.W. ON 8" STABILIZED SUBGRADE OR APPROVED EQUAL, REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL SPECIFICATIONS
- FLEX BASE:**  
6" TYPE "A" CRUSHED STONE PRODUCED AND GRADED FROM OVERSIZED QUARRIED AGGREGATE THAT ORIGINATES FROM A SINGLE, NATURAL OCCURRING SOURCE. ON SUB-BASE COMPACTED TO 95% STD. PROCTOR DENSITY. DO NOT USE GRAVEL OR MULTIPLE SOURCES. (REFER TO TXDOT FLEX BASE TYPE "A").



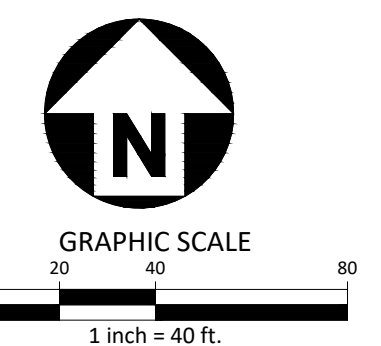
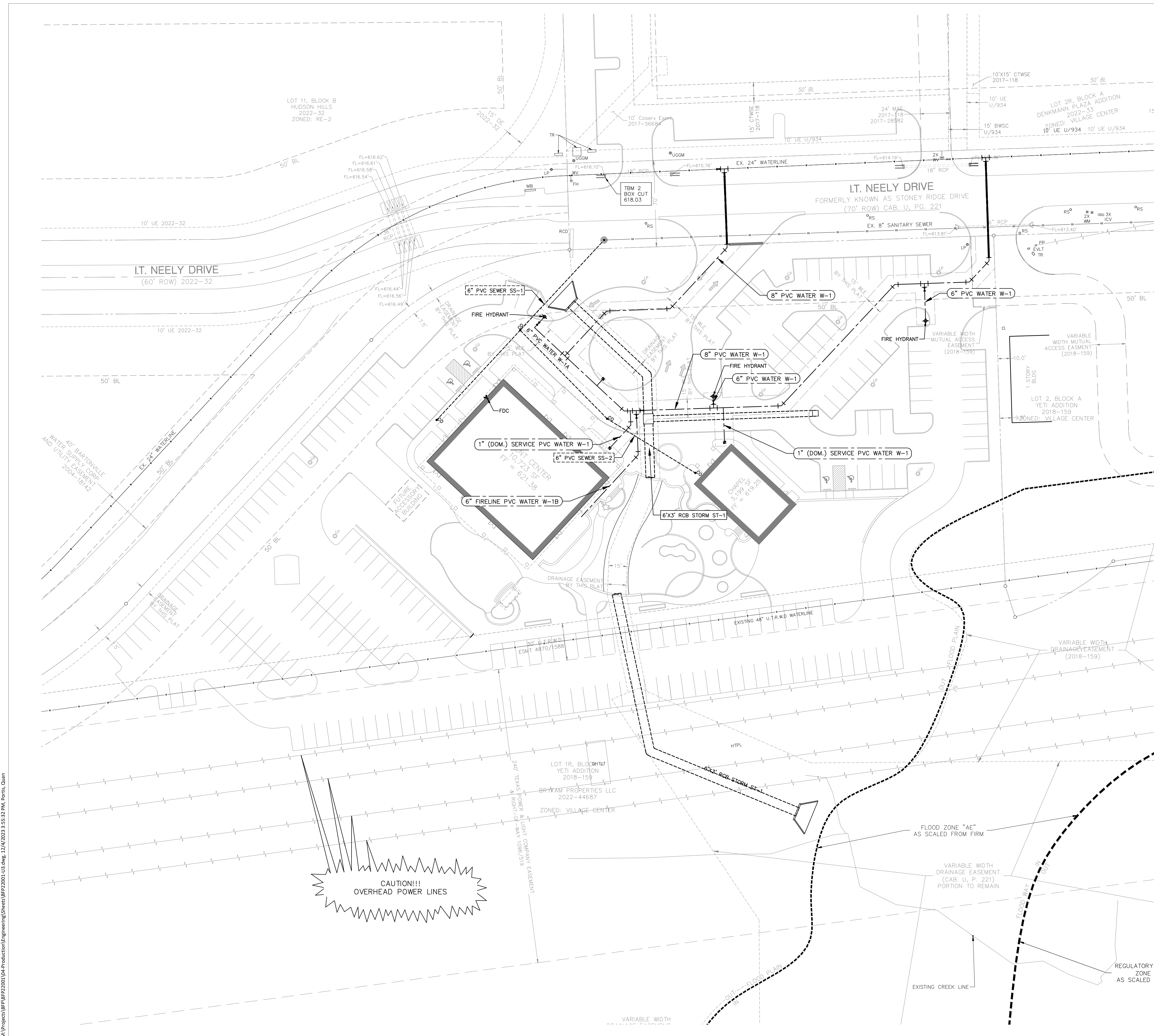
VICINITY MAP

1"=500'

M:\Projects\BFP\BFP22001\04-Production\Engineering\Sheets\BFP22001-S1.dwg, 12/20/2023 11:36:01 AM, Peris, Quan

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





**BENCHMARKS:**

TBM #1: "+" CUT IN THE NORTHWEST CORNER OF A STORM INLET, SAID STORM INLET IS LOCATED ON THE WEST CURB LINE OF FM 407, AND SAID INLET IS APPROXIMATELY 345 FEET SOUTH OF THE INTERSECTION OF FM 407 AND I.T. NEELY DRIVE.  
 N: 7082076.36 E: 2387659.98 ELEV: 615.83

TBM#2: "+" CUT ON THE SOUTHEAST CORNER OF AN 18" RCP HEAD WALL IS LOCATED ON THE NORTH SIDE OF I.T. NEELY DRIVE, ON THE WEST SIDE OF THE WESTERN ENTRANCE TO MARTY B'S, BEING APPROXIMATELY 540 FEET WEST OF THE INTERSECTION OF I.T. NEELY DRIVE AND FM 407.  
 N: 7082425.93 E: 2387125.23 ELEV: 618.03

HORIZONTAL: TEXAS COORDINATE SYSTEM, NAD83, ZONE 4202  
 VERTICAL: NAVD83  
 GRID TO SURFACE SCALE FACTOR: 1.00014904337

**GENERAL NOTES:**

1. ALL T.C.E.Q. SEPARATION REQUIREMENTS MUST BE MET
2. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
3. ALL WATER MAINS SHALL HAVE MINIMUM COVER OF 48" INCHES PER TOWN STANDARDS.
4. ALL UTILITY SLEEVES MUST BE INSTALLED BEFORE PAVING CAN BEGIN.
5. FIRE HYDRANT ASSEMBLY INCLUDES 6" LEAD WITH 90° BEND PER TOWN STANDARD CONSTRUCTION DETAILS.
6. STORM CONSTRUCTION WILL INCLUDE FURNISHING AND INSTALLING THE MATERIALS AND ALL STORM DRAINS PIPES, BOXES, INLETS, APPURTENANCE, INCLUDING EXCAVATION, EMBEDMENT AND BACKFILL, AS SHOWN ON THESE PLANS.
7. REPLACE MANHOLE RING AND COVER WITH WATER TIGHT MANHOLE RING AND COVER BOLTED AND GASKETED.



**McADAMS**

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 201 Country View Drive  
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**CLIENT**

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 BARTONVILLE, TX 76226  
 972.819.5177  
 MARTYWBRYAN@GMAIL.COM



**THE RESERVE AT MARTY B'S  
 CONSTRUCTION PLANS  
 1001 I.T. NEELY DRIVE  
 TOWN OF BARTONVILLE, TX, 76226**



**REVISIONS**

NO.	DATE	DESCRIPTION

**PLAN INFORMATION**

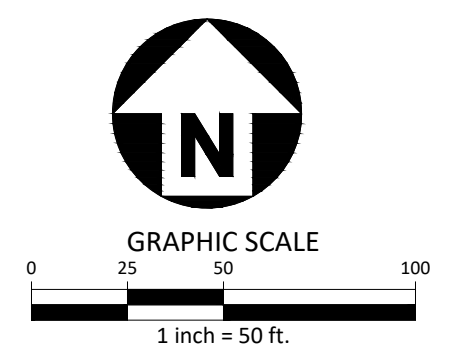
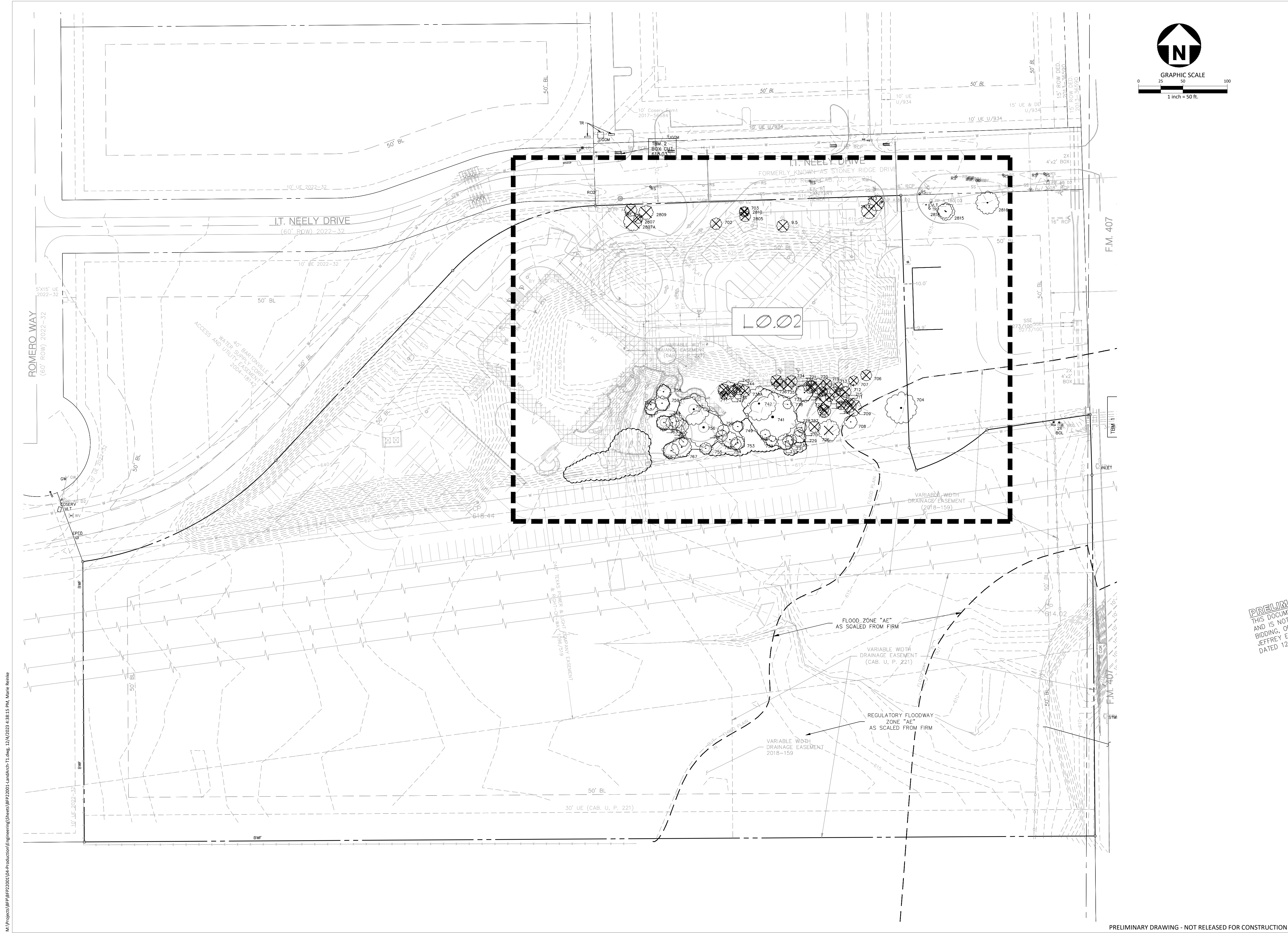
PROJECT NO. BFP22001  
 FILENAME BFP22001-U3.DWG  
 CHECKED BY CMK  
 DRAWN BY SDP  
 SCALE 1"=40'  
 DATE 12-4-2023

**SHEET**

**OVERALL UTILITY  
 PLAN  
 C4.00**

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**McADAMS**  
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**THE RESERVE AT MARTY B'S**  
 CONSTRUCTION PLANS  
 1001 I.T. NEELY DRIVE  
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**PRELIMINARY PLANS**  
 THIS DOCUMENT IS FOR INTERIM REVIEW  
 AND IS NOT INTENDED FOR CONSTRUCTION,  
 BIDDING, OR PERMIT PURPOSES.  
 JEFFREY E. BENNETT LAND ARCHITECTS  
 DATED 12/4/2023

**REVISIONS**

NO.	DATE	DESCRIPTION

**PLAN INFORMATION**

PROJECT NO. BFP22001  
 FILENAME BFP22001-LANDARCH-T1.DWG  
 CHECKED BY JEB  
 DRAWN BY MMR  
 SCALE 50 SCALE  
 DATE 10.2.2023

**SHEET**

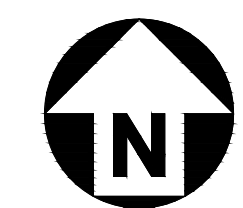
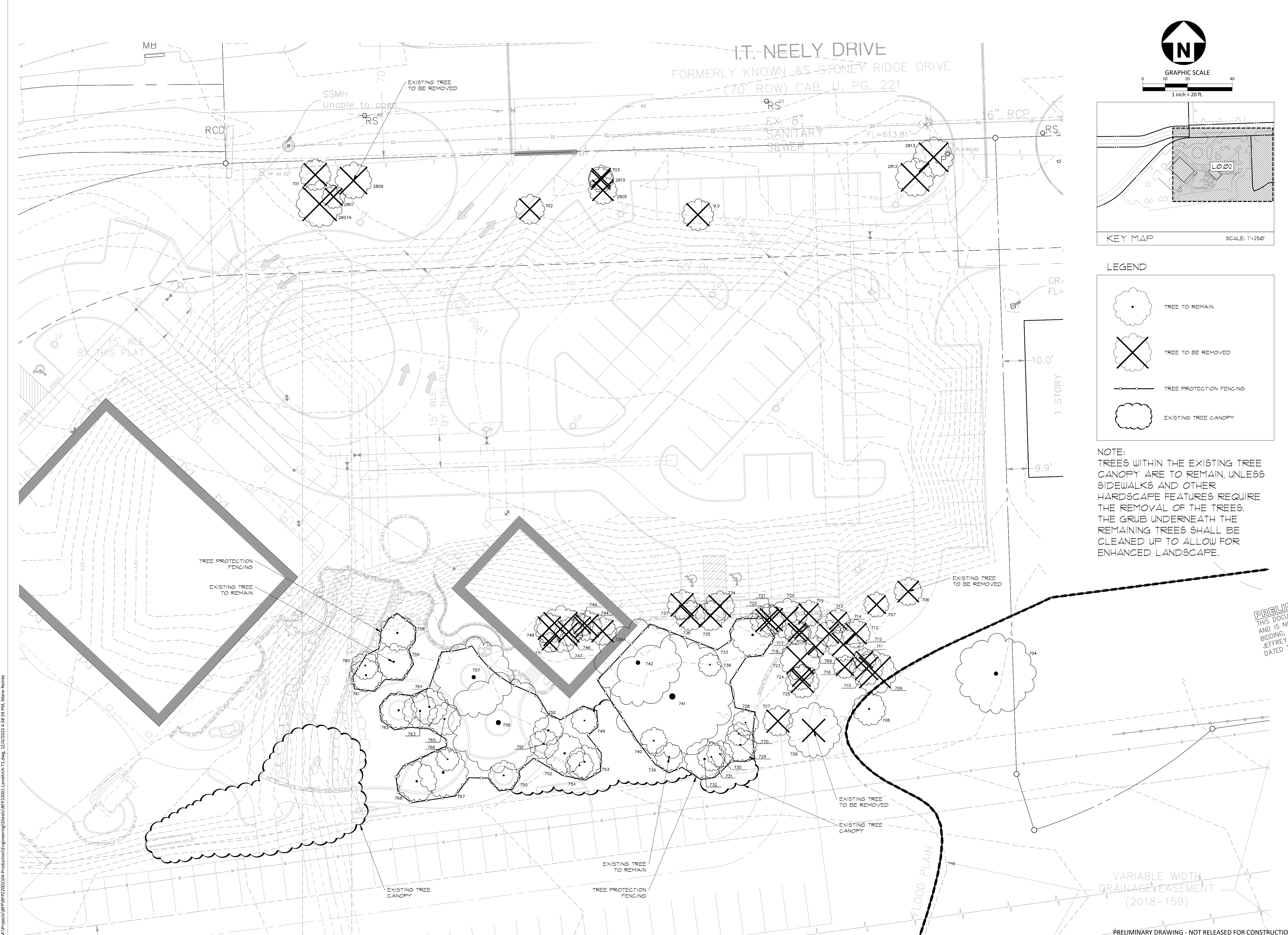
**TREE INVENTORY PLAN**

**LO.01**

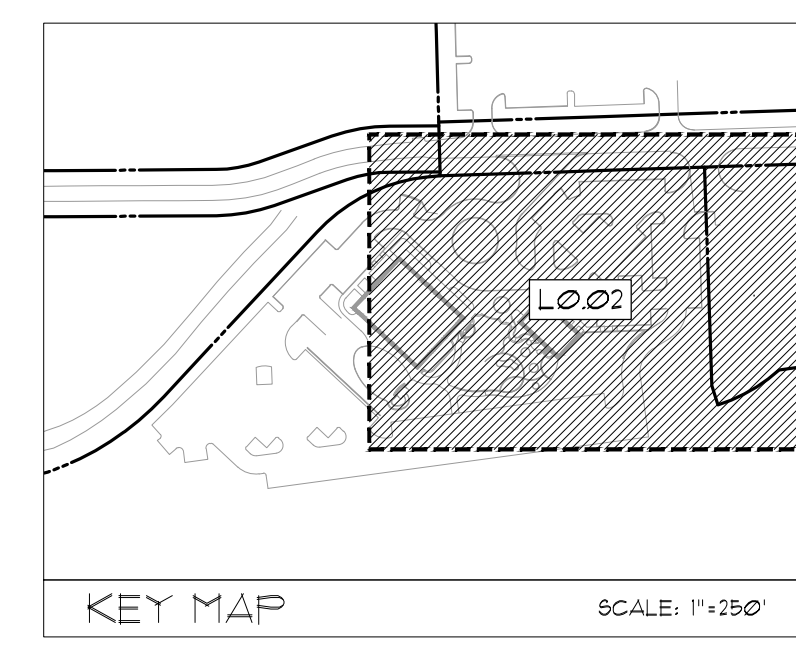
M:\Projects\BFP\BFP22001\4-production\Engineering\Sheets\BFP22001-LandArch-T1.dwg, 12/4/2023, 4:38:15 PM, Marie Reinke

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





GRAPHIC SCALE  
1 inch = 20 ft.



**LEGEND**

- TREE TO REMAIN
- TREE TO BE REMOVED
- TREE PROTECTION FENCING
- EXISTING TREE CANOPY

**NOTE:**  
TREES WITHIN THE EXISTING TREE CANOPY ARE TO REMAIN, UNLESS SIDEWALKS AND OTHER HARDSCAPE FEATURES REQUIRE THE REMOVAL OF THE TREES. THE GRUB UNDERNEATH THE REMAINING TREES SHALL BE CLEANED UP TO ALLOW FOR ENHANCED LANDSCAPE.

**McADAMS**  
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**THE RESERVE AT MARTY B'S**  
CONSTRUCTION PLANS  
1001 I.T. NEELY DRIVE  
TOWN OF BARTONVILLE, TX, 76226

PRELIMINARY PLANS  
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BIDDING, OR PERMIT PURPOSES.  
JEFFREY E. BENNETT LAND ARCHITECTS  
STATE OF TEXAS  
DATED 12/4/2023

**REVISIONS**

NO.	DATE	DESCRIPTION

**PLAN INFORMATION**

PROJECT NO.	BFP22001
FILENAME	BFP22001-LANDARCH-T1.DWG
CHECKED BY	JEB
DRAWN BY	MMR
SCALE	20 SCALE
DATE	10.2.2023

**TREE INVENTORY PLAN**

**LO.02**

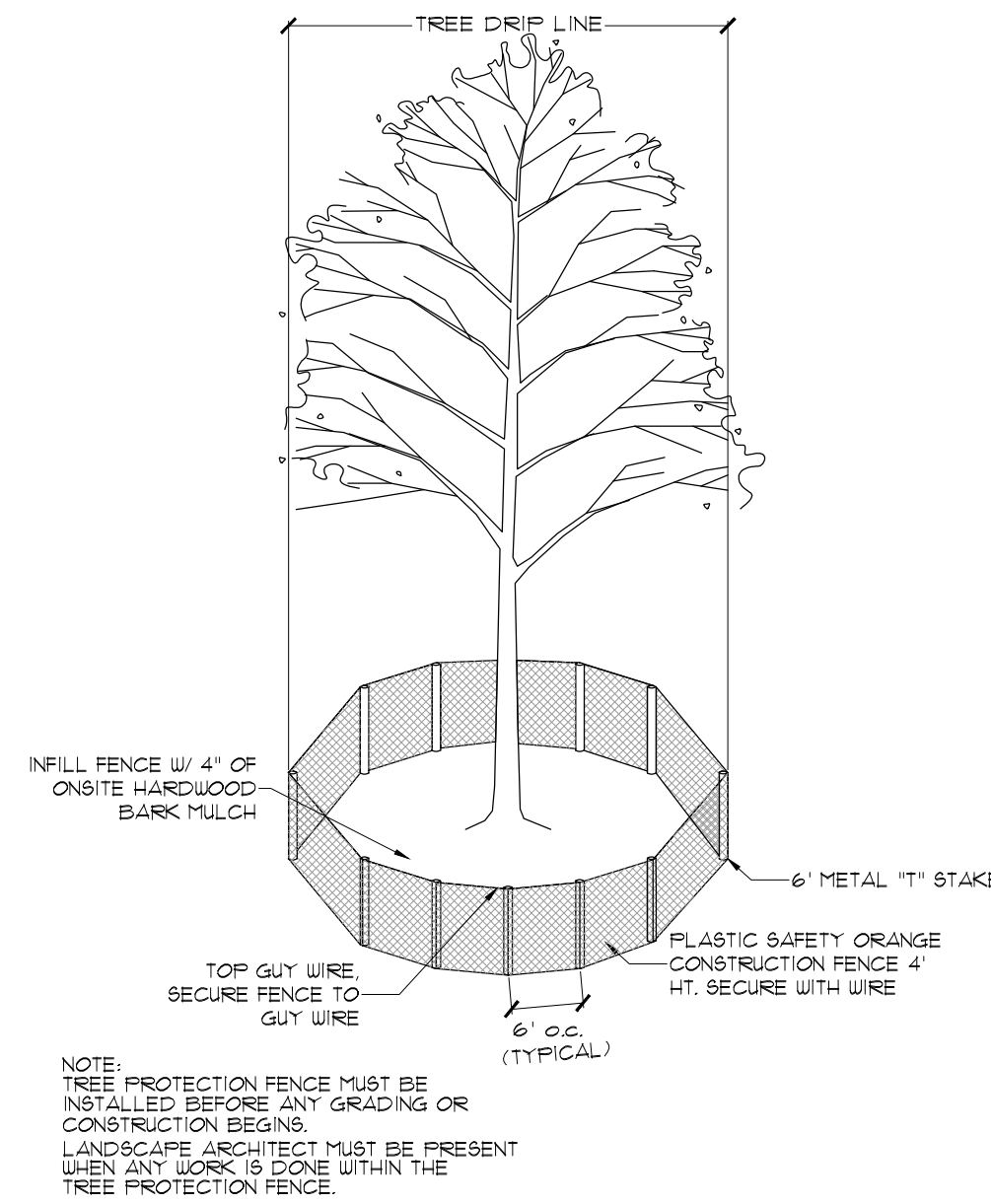
M:\Projects\BFP\BFP22001\4-production\Engineering\Sheets\BFP22001-LandArch-T1.dwg, 12/4/2023, 4:38:39 PM, Marie Rehrke

VARIABLE WIDTH  
DRAINAGE EASEMENT  
(2018-159)

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



LIST #	TAG #	CAL. (")	COMMON NAME	BOTANICAL NAME	PROTECTED	REMOVED	REMARKS	MITIGATION
1	701	9.5	AMERICAN ELM	<i>Ulmus americana</i>	NO	YES		NO
2	702	14	AMERICAN ELM	<i>Ulmus americana</i>	YES	YES		YES
3	703	7.5	CEDAR ELM	<i>Ulmus crassifolia</i>	NO	YES	MULTI-TRUNK	NO
4	704	24	POST OAK	<i>Quercus stellata</i>	YES	NO		
5	706	8.5	AMERICAN ELM	<i>Ulmus americana</i>	NO	YES		NO
6	707	7.5	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	YES		NO
7	708	10	BLACKJACK OAK	<i>Quercus marilandica</i>	YES	NO		
8	709	13	POST OAK	<i>Quercus stellata</i>	YES	YES		YES
9	710	10	POST OAK	<i>Quercus stellata</i>	YES	YES		YES
10	711	7	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
11	712	8.5	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	YES		NO
12	713	7.5	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	YES		NO
13	714	8	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
14	715	10	POST OAK	<i>Quercus stellata</i>	YES	YES		YES
15	716	7	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	YES		NO
16	717	7.5	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
17	718	6	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
18	719	8	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	YES		NO
19	720	12	BLACKJACK OAK	<i>Quercus marilandica</i>	YES	YES		YES
20	721	9	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
21	722	10	POST OAK	<i>Quercus stellata</i>	YES	YES		YES
22	723	12	POST OAK	<i>Quercus stellata</i>	YES	YES		YES
23	724	7.5	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
24	725	10	POST OAK	<i>Quercus stellata</i>	YES	YES		YES
25	726	16.5	BLACKJACK OAK	<i>Quercus marilandica</i>	YES	YES	DEAD	NO
26	727	9	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
27	728	8	POST OAK	<i>Quercus stellata</i>	NO	NO		
28	729	10	POST OAK	<i>Quercus stellata</i>	YES	NO		
29	730	8	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	NO		
30	731	8.5	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	NO		
31	732	12	POST OAK	<i>Quercus stellata</i>	YES	NO		
32	733	13	POST OAK	<i>Quercus stellata</i>	YES	NO		
33	734	9	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
34	735	9	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
35	736	9	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
36	737	9	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
37	738	7	CEDAR ELM	<i>Ulmus crassifolia</i>	NO	NO		
38	739	8.5	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	NO		
39	739A	8.5	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	YES		NO
40	740	8	POST OAK	<i>Quercus stellata</i>	NO	NO		
41	741	37	POST OAK	<i>Quercus stellata</i>	YES	NO		
42	742	26	POST OAK	<i>Quercus stellata</i>	YES	NO		
43	744	9	CEDAR ELM	<i>Ulmus crassifolia</i>	NO	YES		NO
44	745	6.5	CEDAR ELM	<i>Ulmus crassifolia</i>	NO	YES		NO
45	746	8.5	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
46	747	14	POST OAK	<i>Quercus stellata</i>	YES	YES		YES
47	748	9	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
48	749	8	POST OAK	<i>Quercus stellata</i>	NO	NO		
49	750	9	POST OAK	<i>Quercus stellata</i>	NO	NO		
50	751	9	POST OAK	<i>Quercus stellata</i>	NO	NO		
51	752	12	POST OAK	<i>Quercus stellata</i>	YES	NO		
52	753	10	POST OAK	<i>Quercus stellata</i>	YES	NO		
53	754	8.5	POST OAK	<i>Quercus stellata</i>	NO	NO		
54	755	9	POST OAK	<i>Quercus stellata</i>	NO	NO		
55	756	30	POST OAK	<i>Quercus stellata</i>	YES	NO		
56	757	24	POST OAK	<i>Quercus stellata</i>	YES	NO		
57	758	16.5	POST OAK	<i>Quercus stellata</i>	YES	NO	MULTI-TRUNK	
58	759	11	POST OAK	<i>Quercus stellata</i>	YES	NO		
59	760	13	POST OAK	<i>Quercus stellata</i>	YES	NO	MULTI-TRUNK	
60	761	10	POST OAK	<i>Quercus stellata</i>	YES	NO		
61	762	11	POST OAK	<i>Quercus stellata</i>	YES	NO		
62	763	10.5	POST OAK	<i>Quercus stellata</i>	YES	NO		
63	764	11	POST OAK	<i>Quercus stellata</i>	YES	NO		
64	765	10	POST OAK	<i>Quercus stellata</i>	YES	NO		
65	766	10.5	POST OAK	<i>Quercus stellata</i>	YES	NO	MULTI-TRUNK	
66	767	15	POST OAK	<i>Quercus stellata</i>	YES	NO		
67	768	18	POST OAK	<i>Quercus stellata</i>	YES	NO	MULTI-TRUNK	
68	769	6.5	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
69	770	7	BLACKJACK OAK	<i>Quercus marilandica</i>	NO	NO		
70	771	6	POST OAK	<i>Quercus stellata</i>	NO	YES		NO
72	2805	8.5	HACKBERRY	<i>Celtis occidentalis</i>	NO	YES		NO
73	2807	7	AMERICAN ELM	<i>Ulmus americana</i>	NO	YES		NO
74	2807A	14	HICKORY	<i>Carya texana</i>	YES	YES		YES
75	2809	11	HICKORY	<i>Carya texana</i>	YES	YES		YES
76	2810	7.5	CEDAR ELM	<i>Ulmus crassifolia</i>	NO	YES		NO
77	2812	11.5	POST OAK	<i>Quercus stellata</i>	YES	YES		YES
78	2813	12	AMERICAN ELM	<i>Ulmus americana</i>	YES	YES		YES
81		9.5			NO	YES		NO



### 1. TREE PROTECTION FENCING

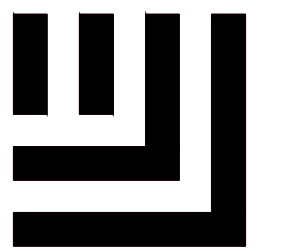
NTS

NOTE:  
TREE PROTECTION FENCE MUST BE INSTALLED BEFORE ANY GRADING OR CONSTRUCTION BEGINS.  
LANDSCAPE ARCHITECT MUST BE PRESENT WHEN ANY WORK IS DONE WITHIN THE TREE PROTECTION FENCE.

M:\Projects\BFP22001\As-Production\Engineering\Sheets\BFP22001-LandArch-T1.dwg, 12/14/2023, 4:38:45 PM, Marie Reinke

NOTE:  
REQUIRED MITIGATION = 13 NEW TREES

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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fax 972. 436. 9715  
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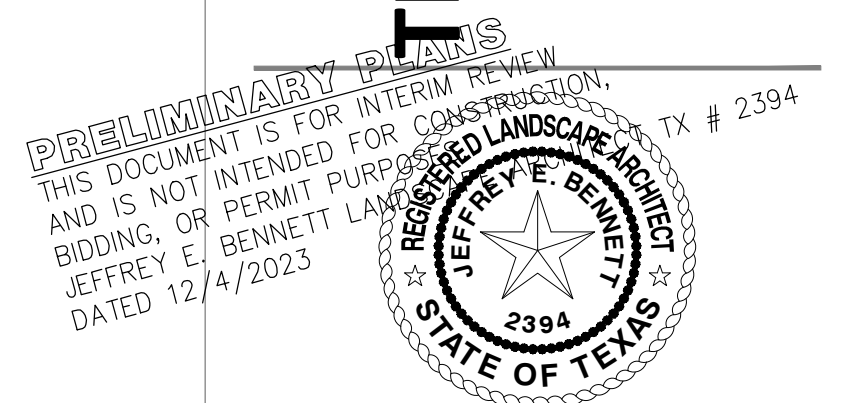
www.mcadamsco.com

**CLIENT**

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MARTYWBRYAN@GMAIL.COM  
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**THE RESERVE AT MARTY B'S**  
CONSTRUCTION PLANS  
1001 I.T. NEELY DRIVE  
TOWN OF BARTONVILLE, TX, 76226



**REVISIONS**

NO. DATE DESCRIPTION

**PLAN INFORMATION**

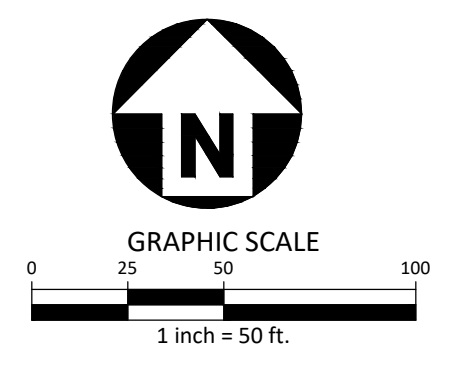
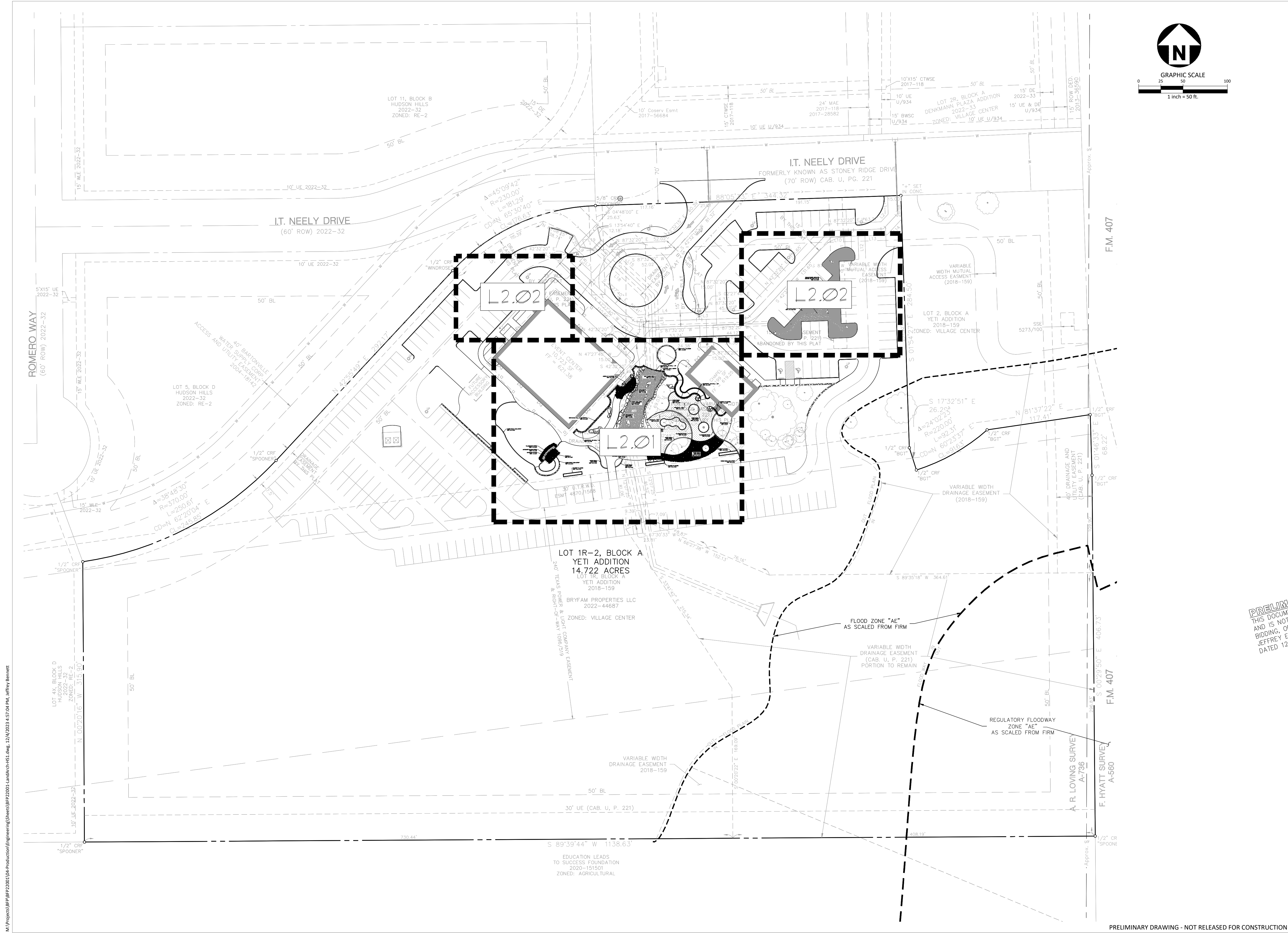
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FILENAME BFP22001-LANDARCH-T1.DWG  
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DRAWN BY MMR  
SCALE  
DATE 10.2.2023

**SHEET**

**TREE INVENTORY PLAN**

**L0.03**





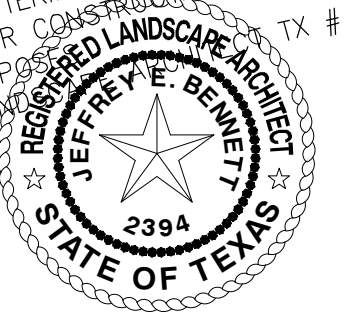
**McADAMS**  
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 JEFFREY E. BENNETT LAND ARCHITECTS  
 DATED 12/4/2023 TX # 2394



**REVISIONS**

NO.	DATE	DESCRIPTION
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**PLAN INFORMATION**

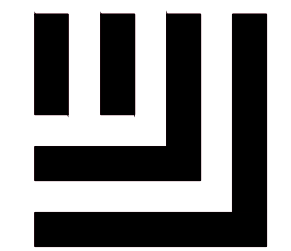
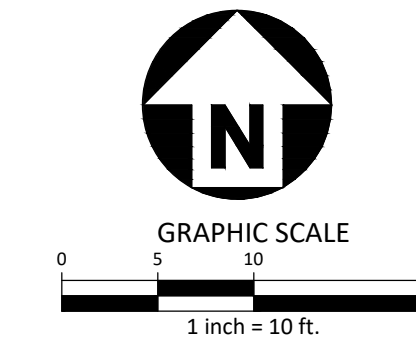
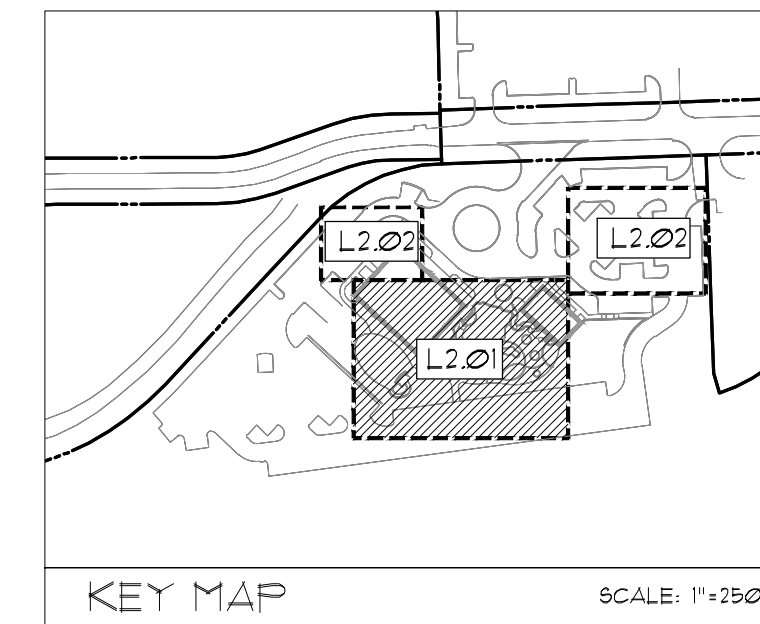
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 DRAWN BY JEB  
 SCALE 50 SCALE  
 DATE 10.2.2023

**SHEET**  
**HARDSCAPE PLAN**  
**L2.00**

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JEFFREY E. BENNETT LANDSCAPE ARCHITECT  
STATE OF TEXAS  
DATED 12/4/2023

**REVISIONS**

NO.	DATE	DESCRIPTION

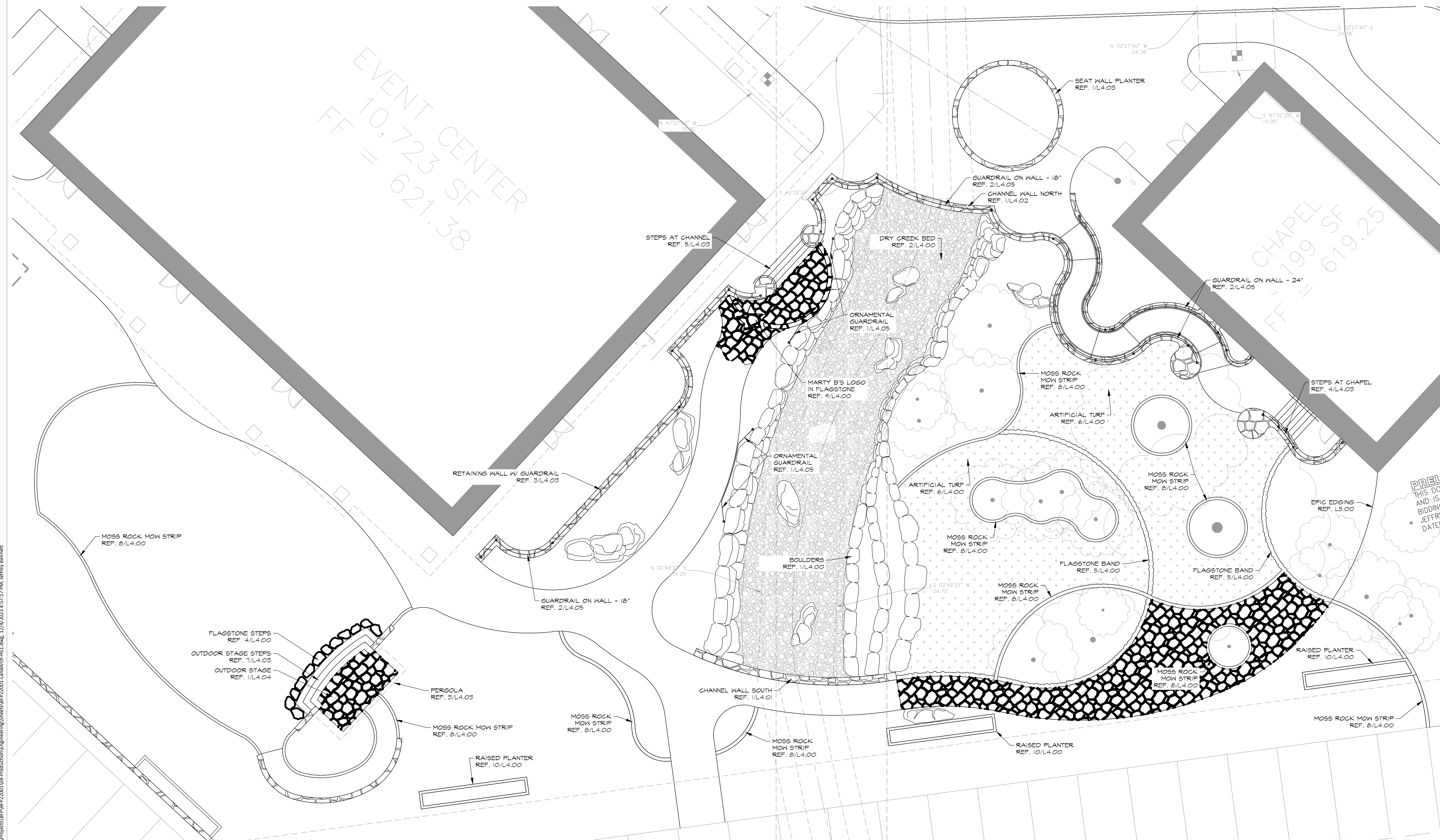
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FILENAME BFP22001-LANDARCH-HS1.DWG  
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DATE 10.2.2023

**SHEET**

**HARDSCAPE PLAN**

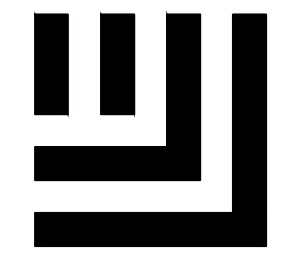
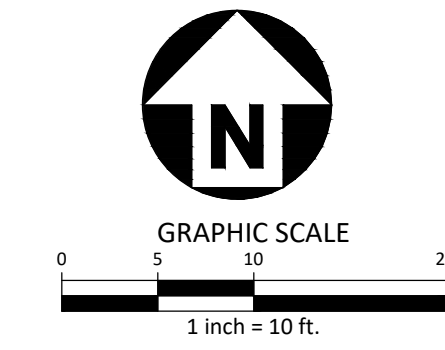
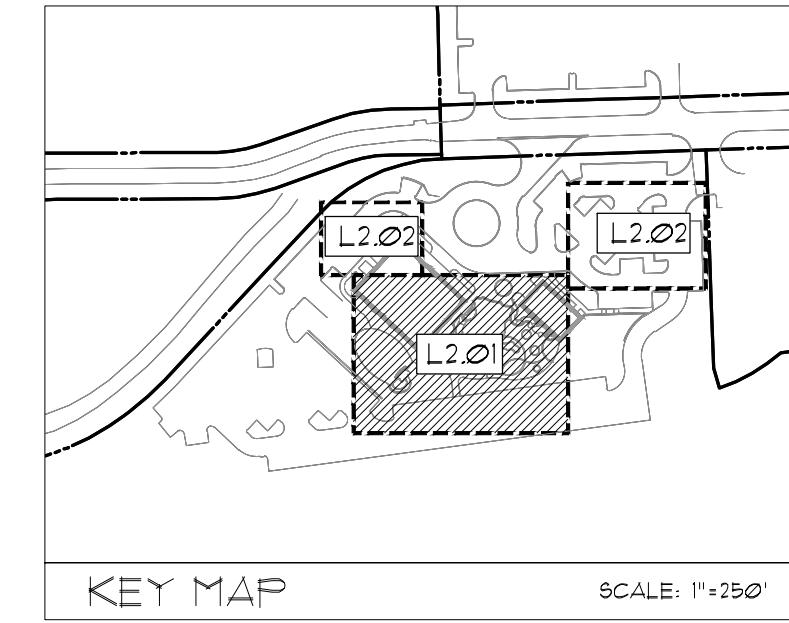
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DATED 12/4/2023

**REVISIONS**

NO.	DATE	DESCRIPTION
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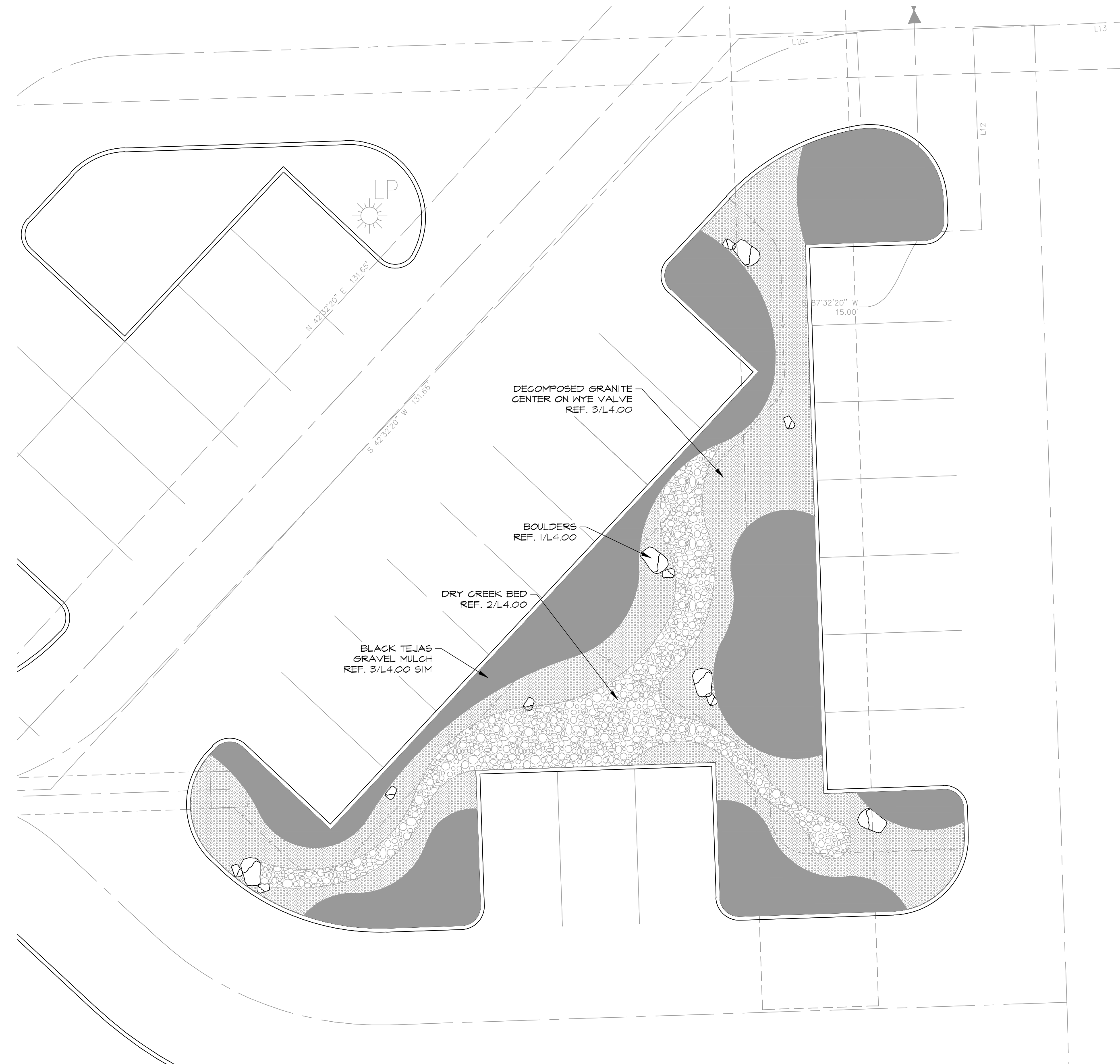
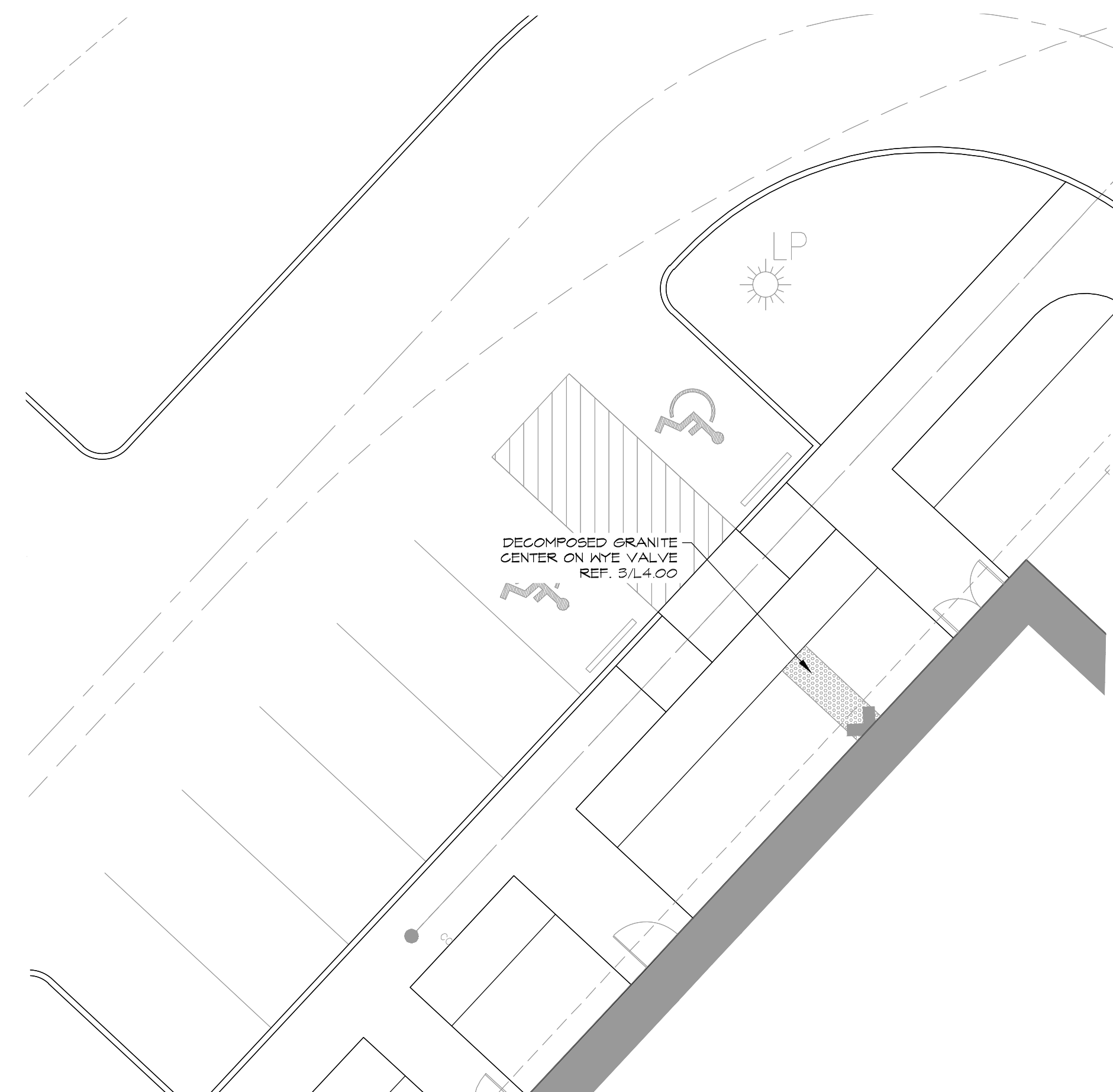
**PLAN INFORMATION**

PROJECT NO. BFP22001  
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CHECKED BY JEB  
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SCALE 10 SCALE  
DATE 10.2.2023

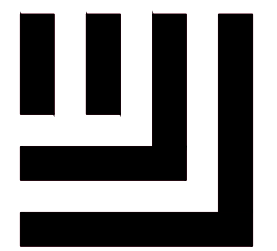
**SHEET**

**HARDSCAPE PLAN**

**L2.02**







# McADAMS

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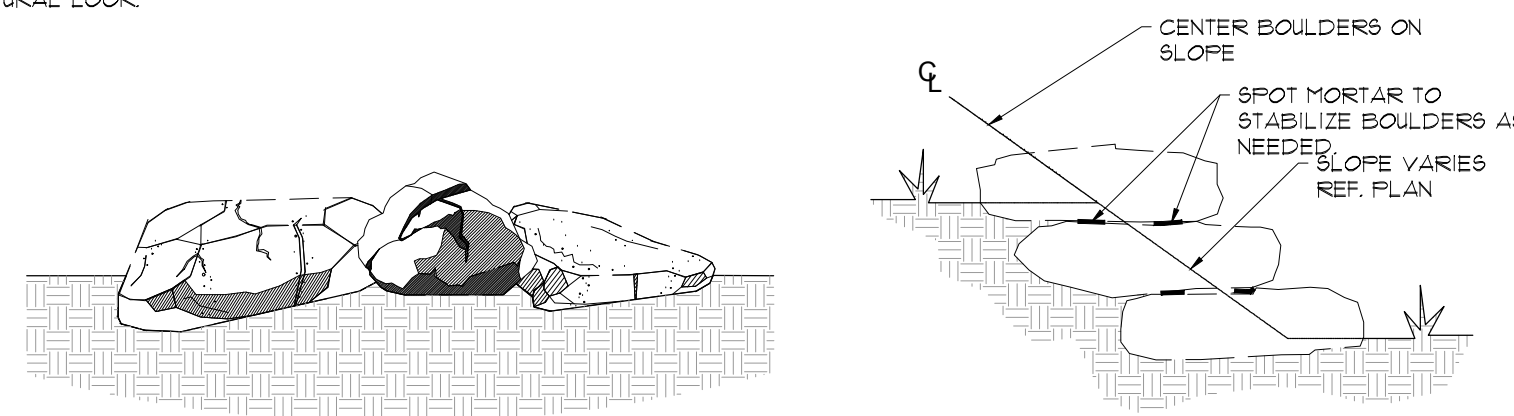
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MARTYWBRYAN@GMAIL.COM  
972.819.5177

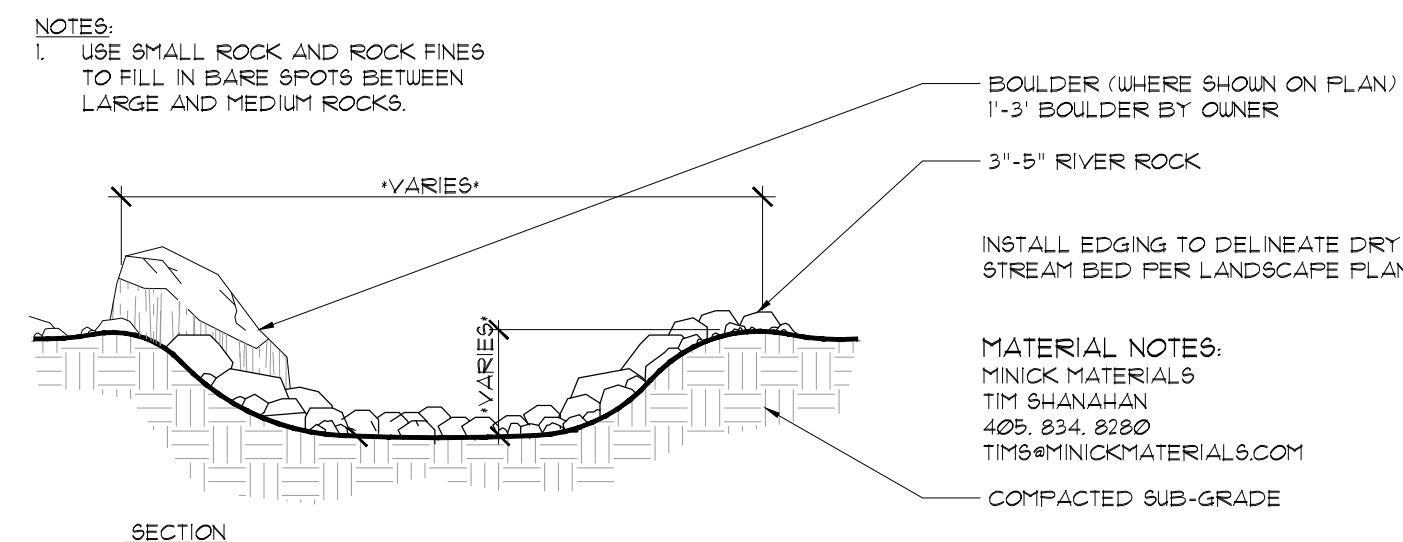


## THE RESERVE AT MARTY B'S CONSTRUCTION PLANS 1001 I.T. NEELY DRIVE TOWN OF BARTONVILLE, TX, 76226

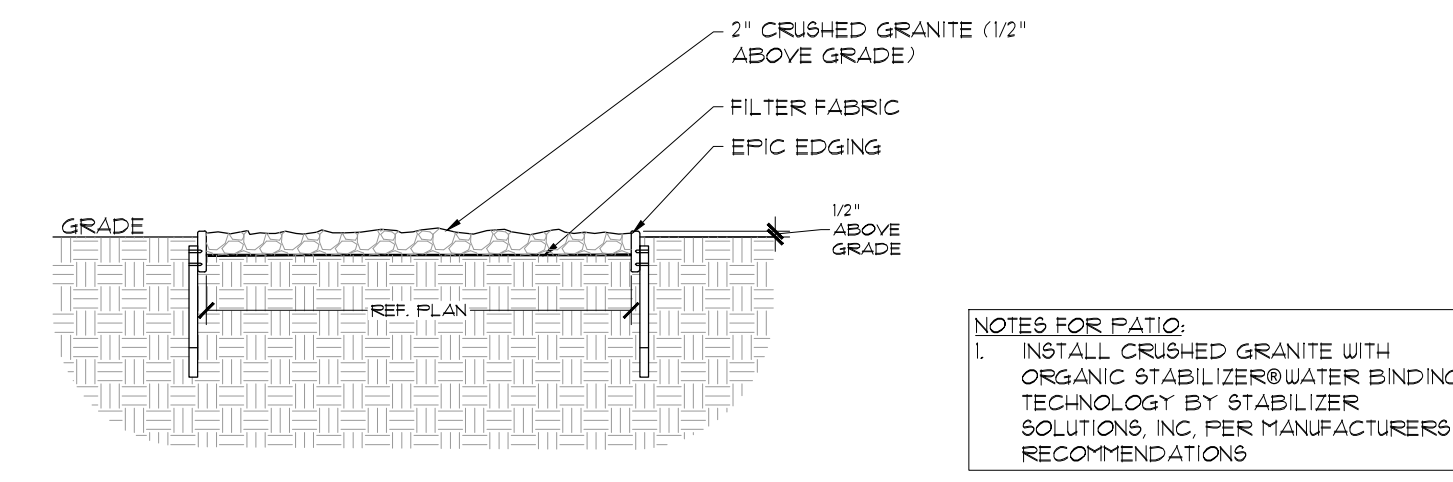
- NOTES:
- BOULDERS LABELED ON PLAN SHALL VARY IN SIZE ACCORDING TO SYMBOL SIZE. SMALLER BOULDERS SHALL HAVE A MINIMUM EXPOSED HEIGHT OF EIGHTEEN INCHES (18"), MINIMUM WIDTH OF THIRTY-SIX INCHES (36") AND A MINIMUM DEPTH OF TWENTY-FOUR INCHES (24"). LARGER BOULDERS SHALL HAVE A MINIMUM EXPOSED HEIGHT OF TWENTY-FOUR INCHES (24"), MINIMUM WIDTH OF FORTY-EIGHT (48") AND A MINIMUM DEPTH OF THIRTY-SIX (36").
  - BOULDERS SHALL BE RECESSED INTO THE GRADE SUCH THAT 1/4 OF THE TOTAL MASS OF EACH BOULDER IS BELOW THE FINISH GRADE OR TOP OF ROCK/MULCH.
  - ORIENT BOULDERS SO THAT ITS LONGEST SIDE IS PARALLEL TO THE GROUND PLANE TO ACHIEVE A NATURAL LOOK.



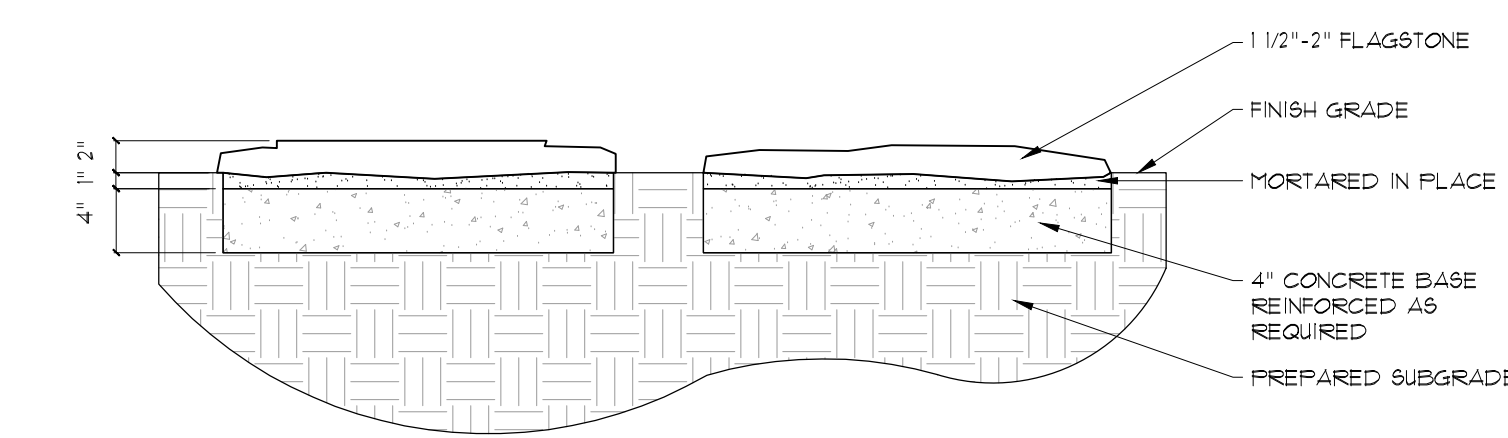
1. **BOULDER PLACEMENT DETAIL**  
SCALE: 1"=1'-0"



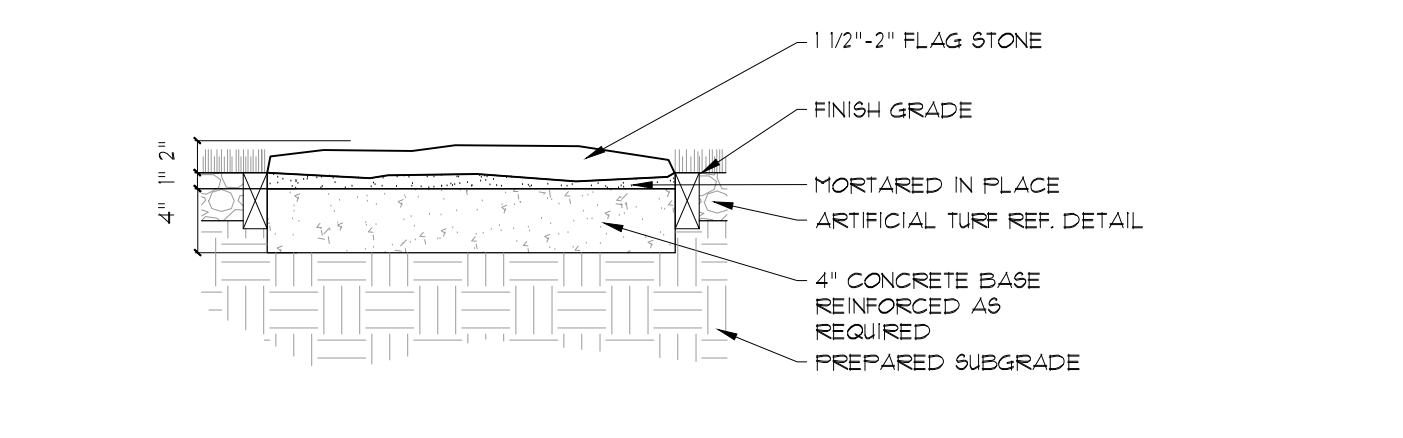
2. **DRY CREEK BED**  
SCALE: NOT TO SCALE



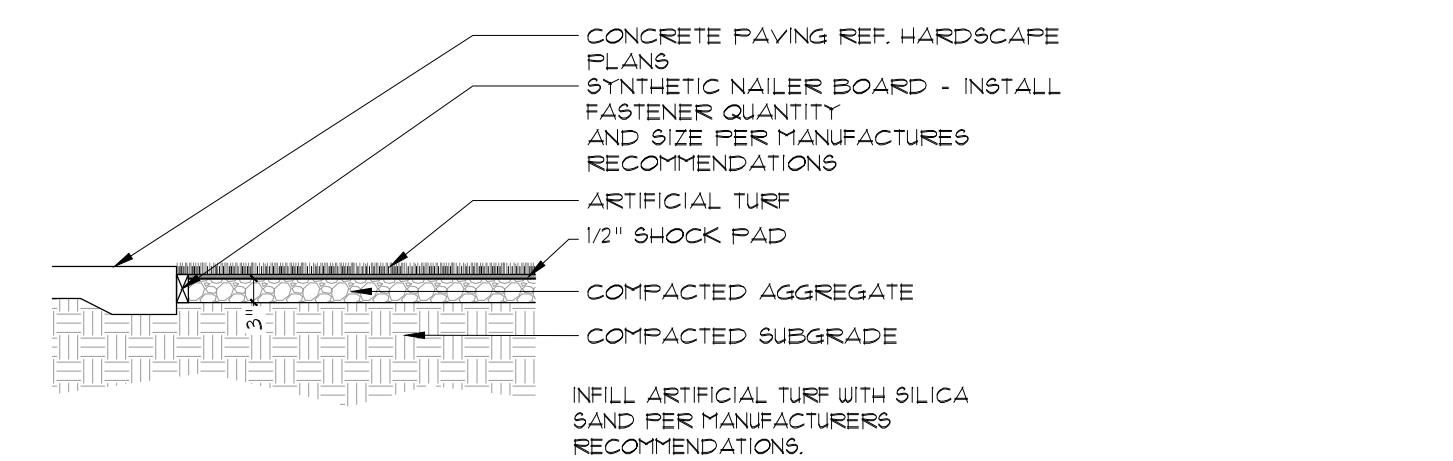
3. **DECOMPOSED GRANITE**  
SCALE: 1"=1'-0"



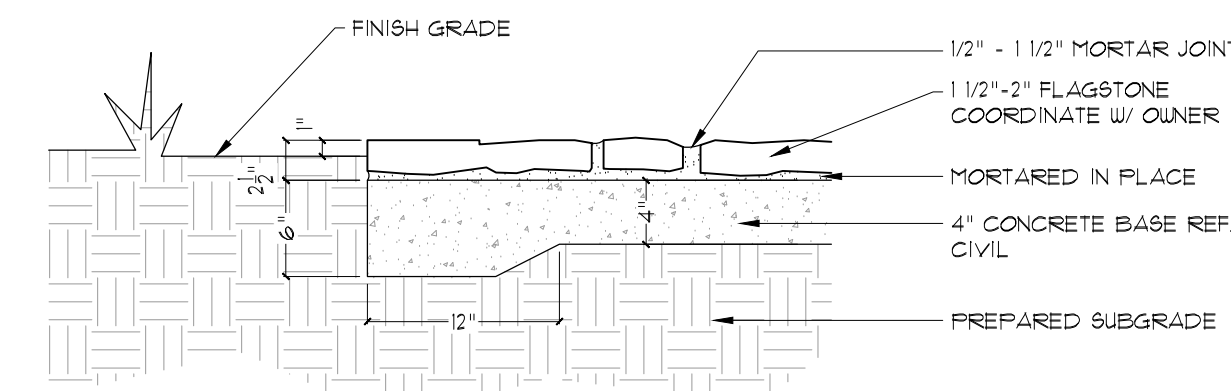
4. **FLAGSTONE STEPS - GRASS AREAS**  
SCALE: 1"=1'-0"



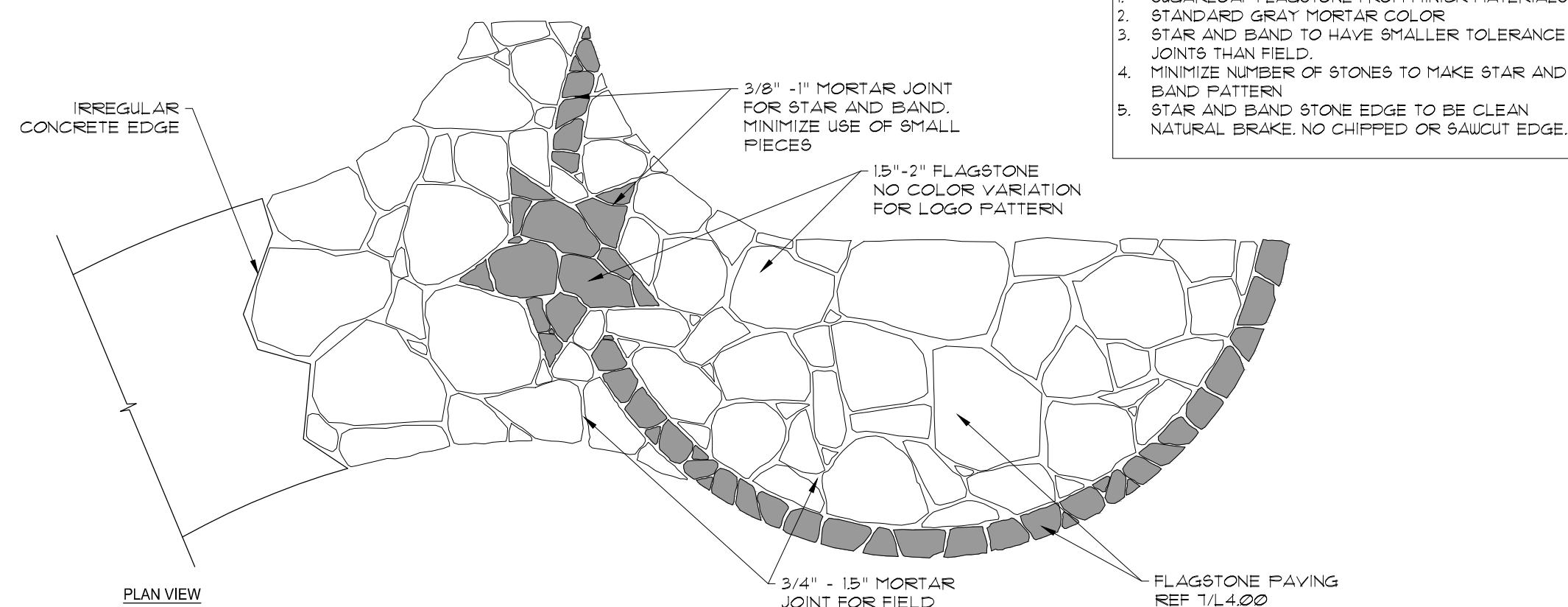
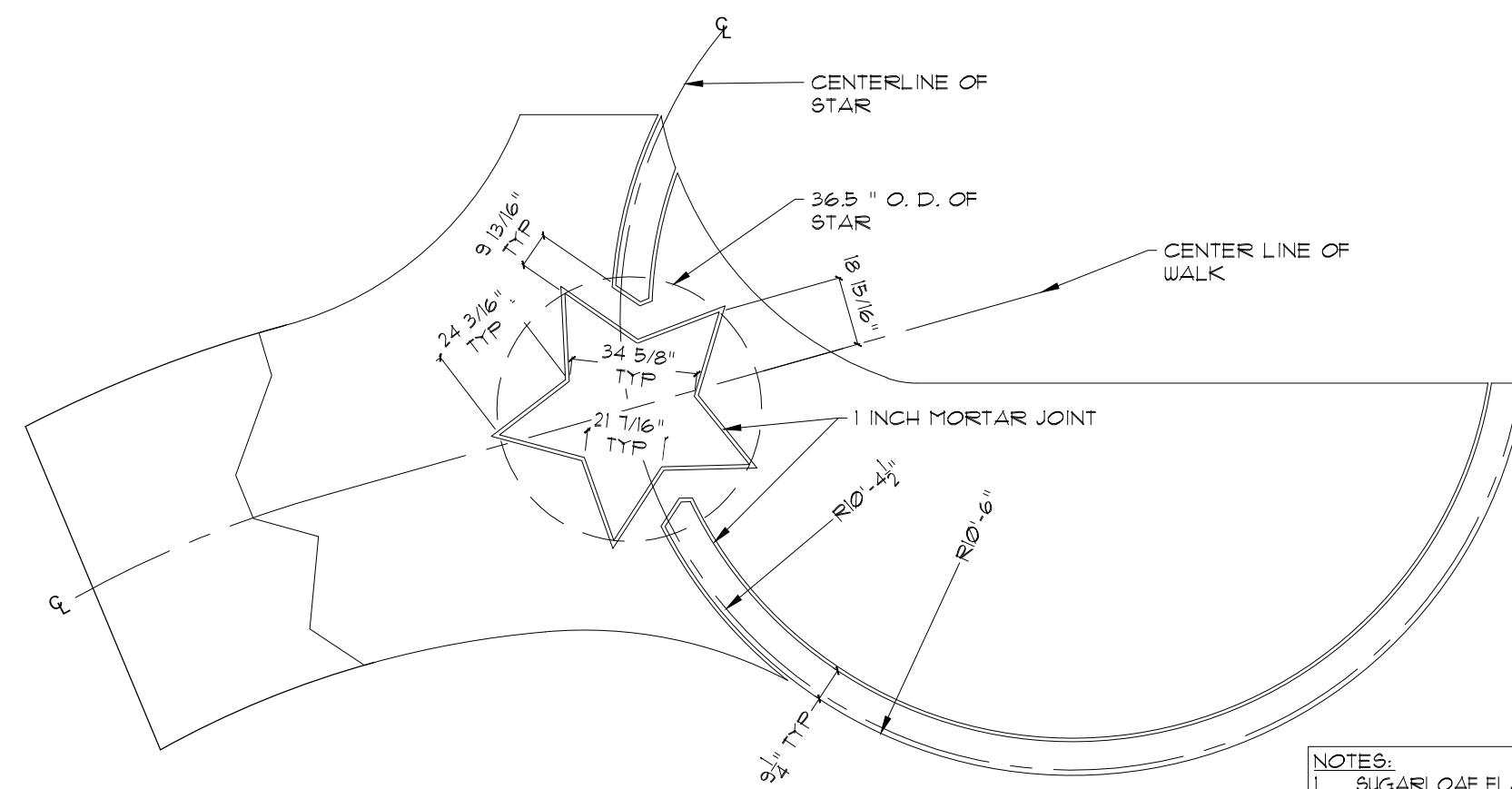
5. **FLAGSTONE BAND - ARTIFICIAL TURF**  
SCALE: 1"=1'-0"



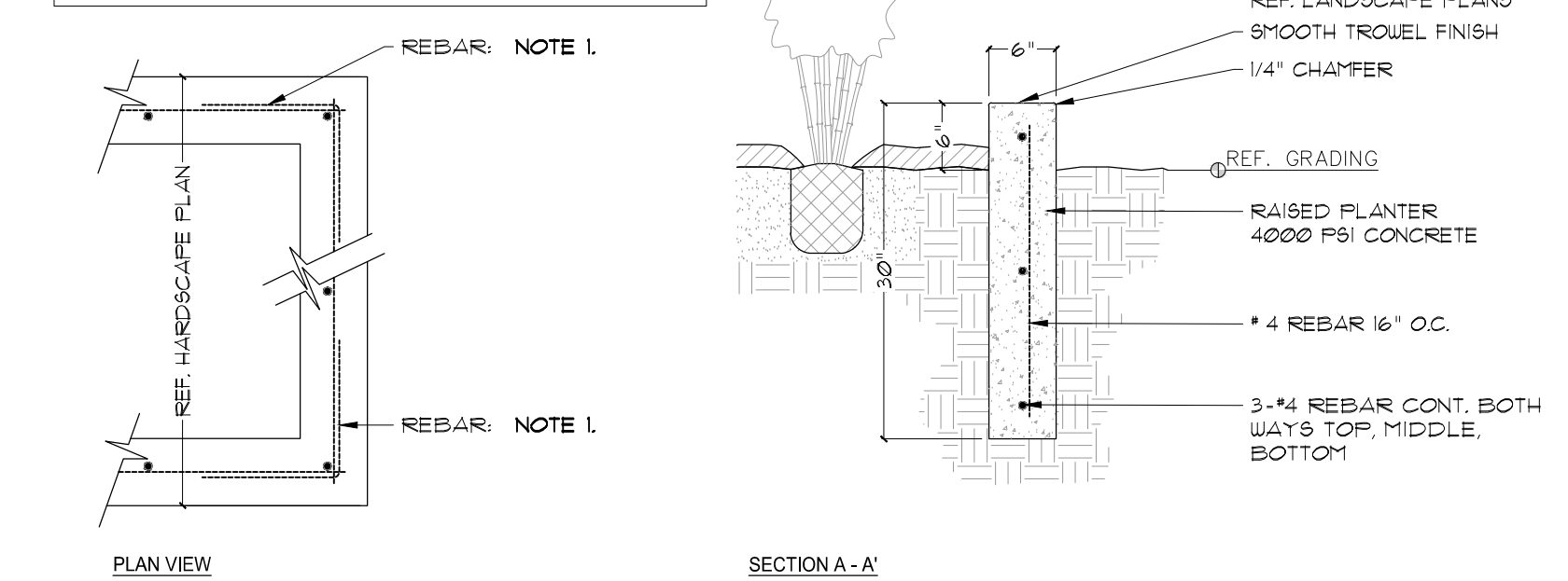
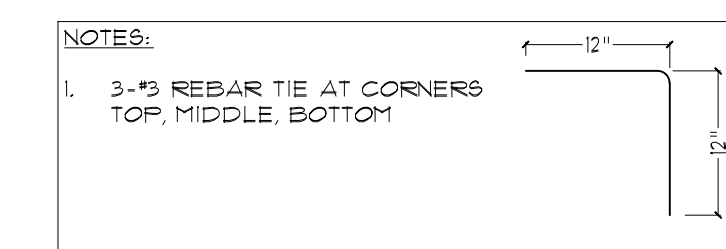
6. **ARTIFICIAL TURF @ CONCRETE WALK**  
SCALE: 1/2"=1'-0"



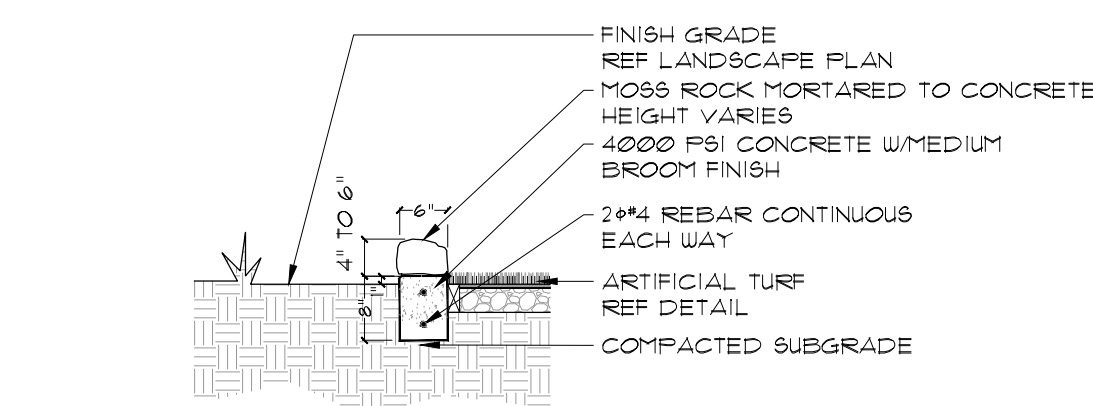
7. **FLAGSTONE PAVING**  
SCALE: 1"=1'-0"



9. **MARTY B'S LOGO IN FLAGSTONE**  
SCALE: 1/4"=1'-0"



10. **RAISED PLANTER - BAMBOO**  
SCALE: 3/4"=1'-0"



8. **MOSS ROCK MOW STRIP**  
SCALE: 1/2"=1'-0"

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JEFFREY E. BENNETT, LICENSED ARCHITECT  
DATED 12/4/2023



## REVISIONS

NO.	DATE	DESCRIPTION
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## PLAN INFORMATION

PROJECT NO. BFP22001  
FILENAME BFP22001-LANDARCH-HD1.DWG  
CHECKED BY JEB  
DRAWN BY JEB  
SCALE AS SHOWN  
DATE 10.2.2023

## SHEET

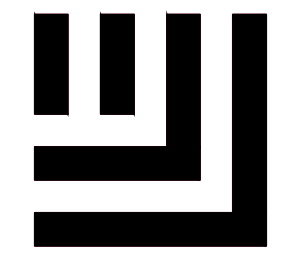
## HARDSCAPE DETAILS

# L4.00









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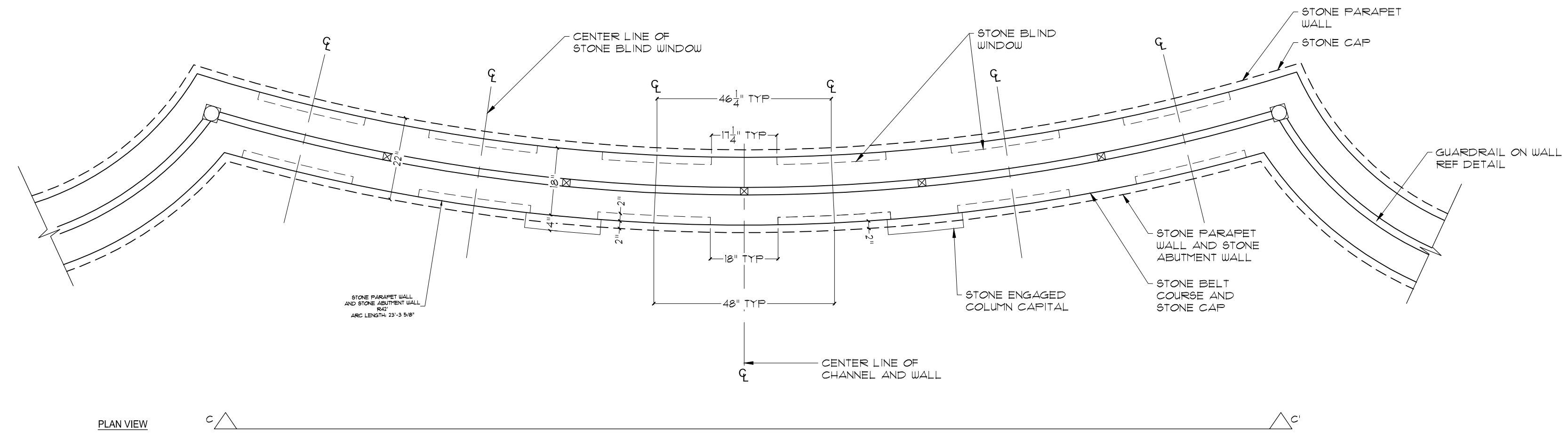
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## CLIENT

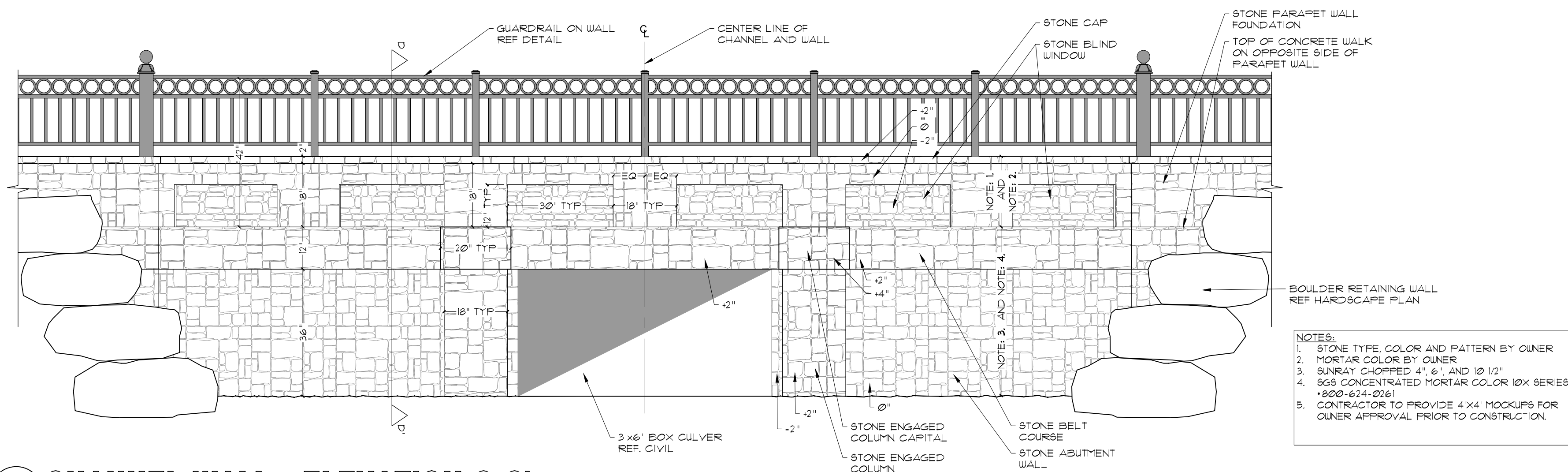
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BARTONVILLE, TX 76226  
MARTYWBRYAN@GMAIL.COM  
972.819.5177



**THE RESERVE AT MARTY B'S**  
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1001 I.T. NEELY DRIVE  
TOWN OF BARTONVILLE, TX, 76226

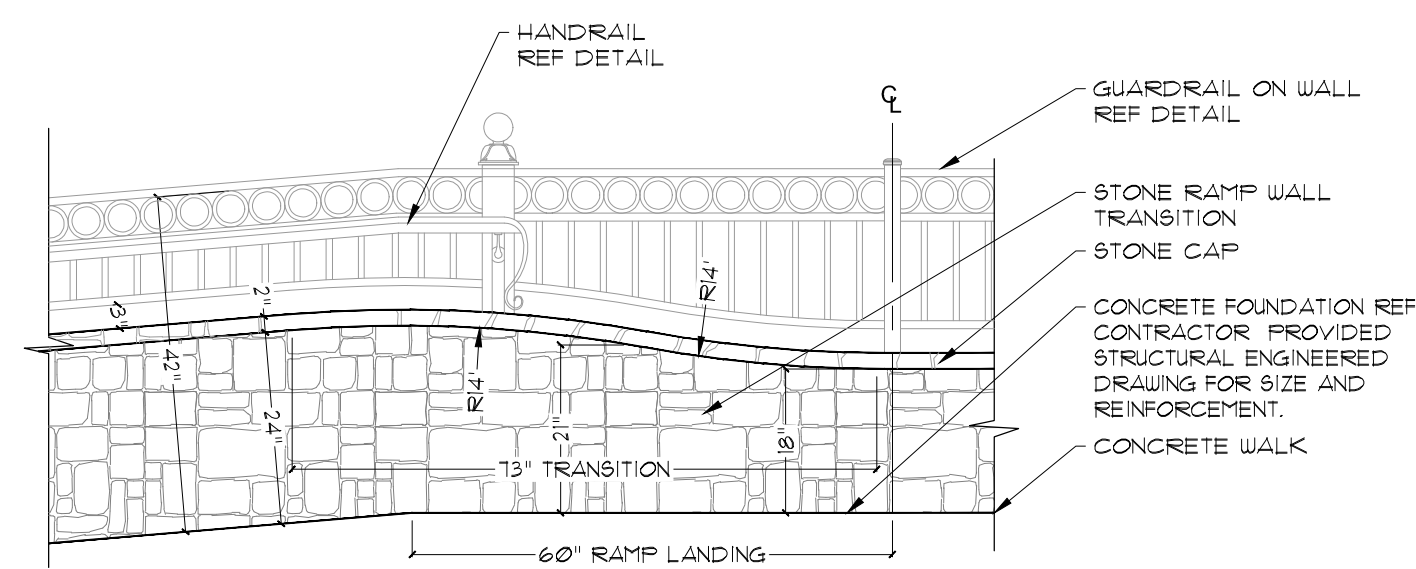


**1 CHANNEL WALL - NORTH**  
SCALE: 1/2" = 1'-0"

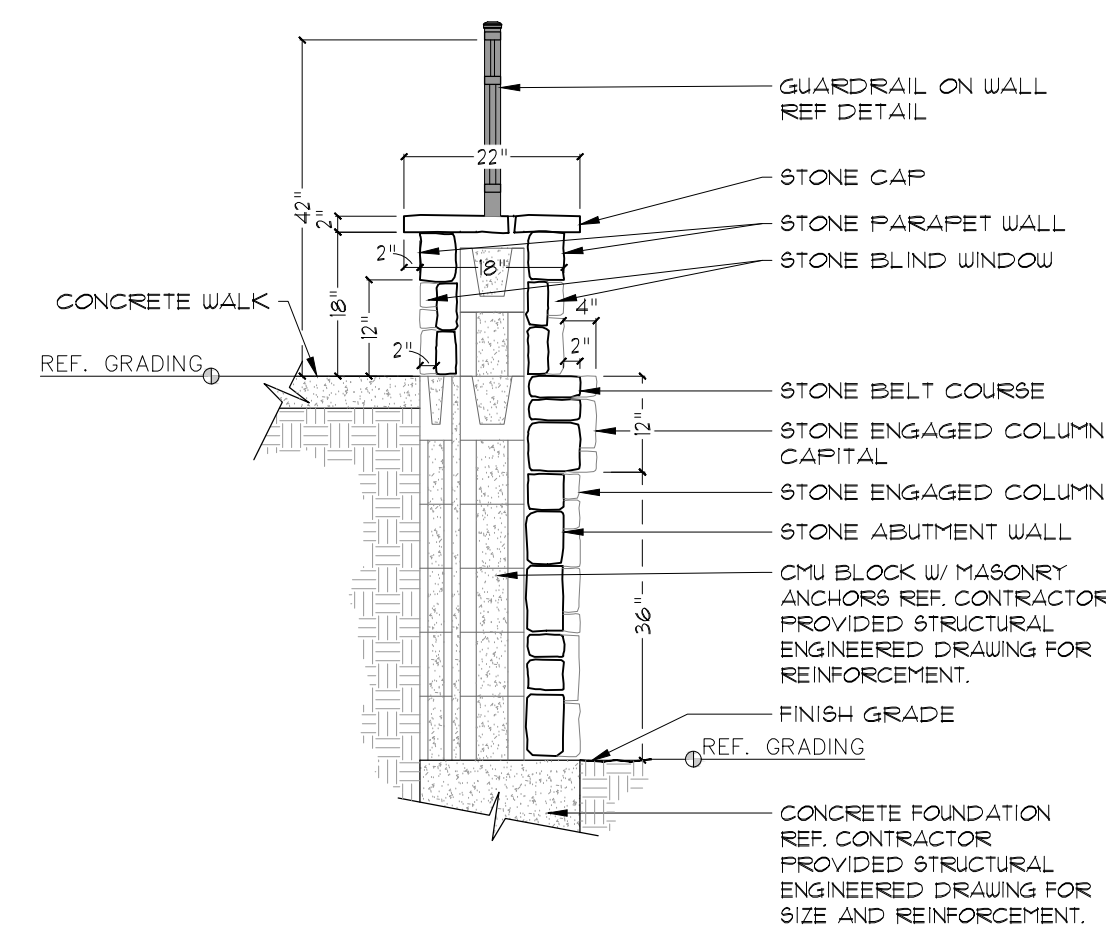


**2 CHANNEL WALL - ELEVATION C-C**  
SCALE: 1/2" = 1'-0"

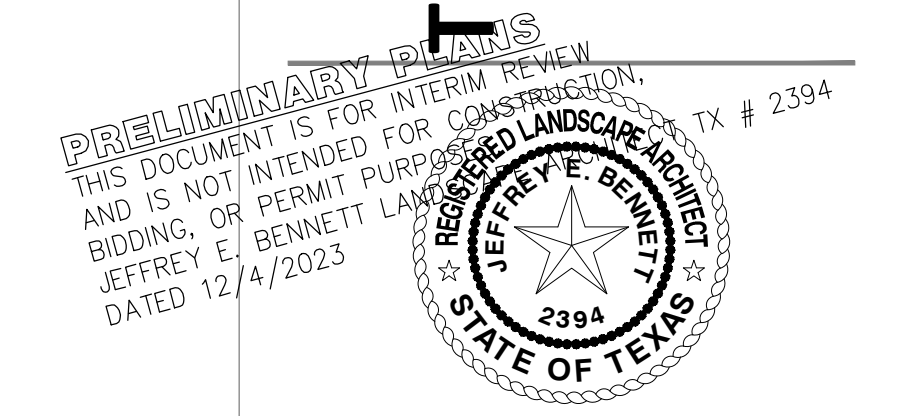
NOTES:  
1. STONE TYPE, COLOR AND PATTERN BY OWNER  
2. MORTAR COLOR BY OWNER  
3. SUNRAY CHIPPED #1, 8" AND 10 1/2"  
4. S65 CONCENTRATED MORTAR COLOR 10X SERIES  
\*820-614-0261  
5. CONTRACTOR TO PROVIDE 4"x4" MOCKUPS FOR OWNER APPROVAL PRIOR TO CONSTRUCTION.



**3 WALL AT RAMP LANDING - TRANSITION FROM 18" HT. TO 24" HT.**  
SCALE: 1/2" = 1'-0"



**4 CHANNEL WALL - SECTION D-D**  
SCALE: 1/2" = 1'-0"



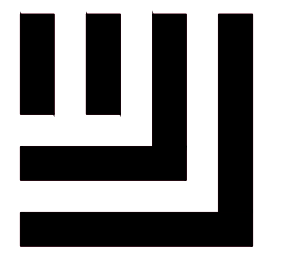
## REVISIONS

NO.	DATE	DESCRIPTION

## HARDSCAPE DETAILS

# L4.02





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STATE OF TEXAS  
2394  
DATED 12/4/2023

## REVISIONS

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## PLAN INFORMATION

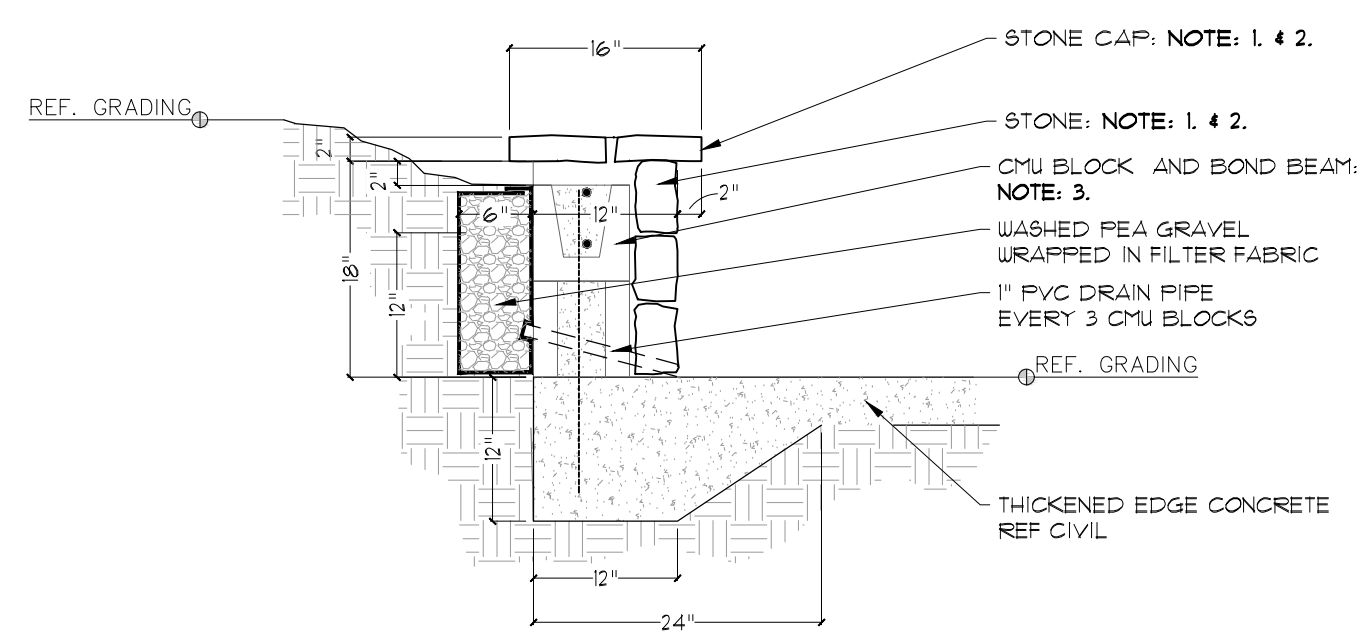
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FILENAME	BFP22001-LANDARCH-HD1.DWG
CHECKED BY	JEB
DRAWN BY	JEB
SCALE	AS SHOWN
DATE	10.2.2023

## SHEET

## HARDSCAPE DETAILS

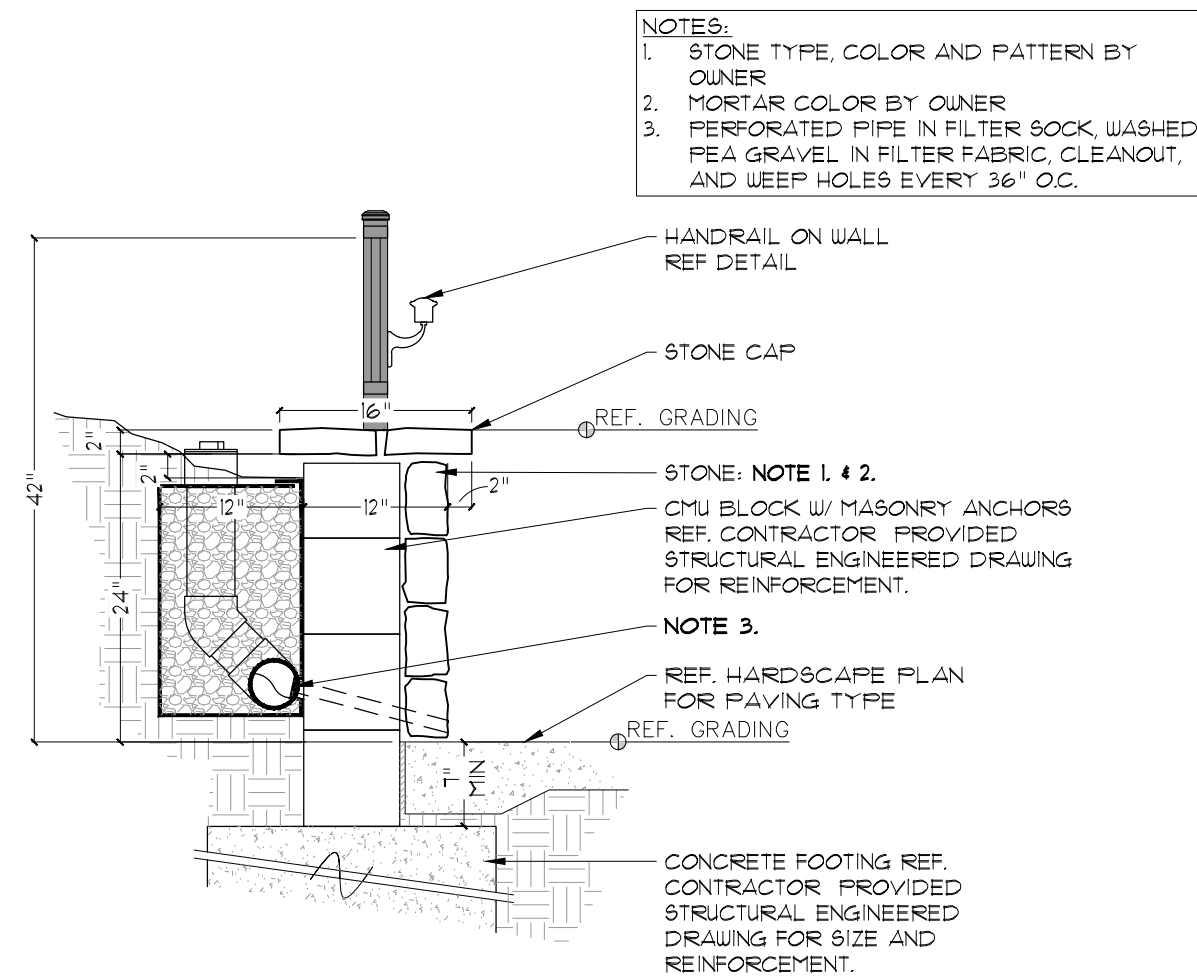
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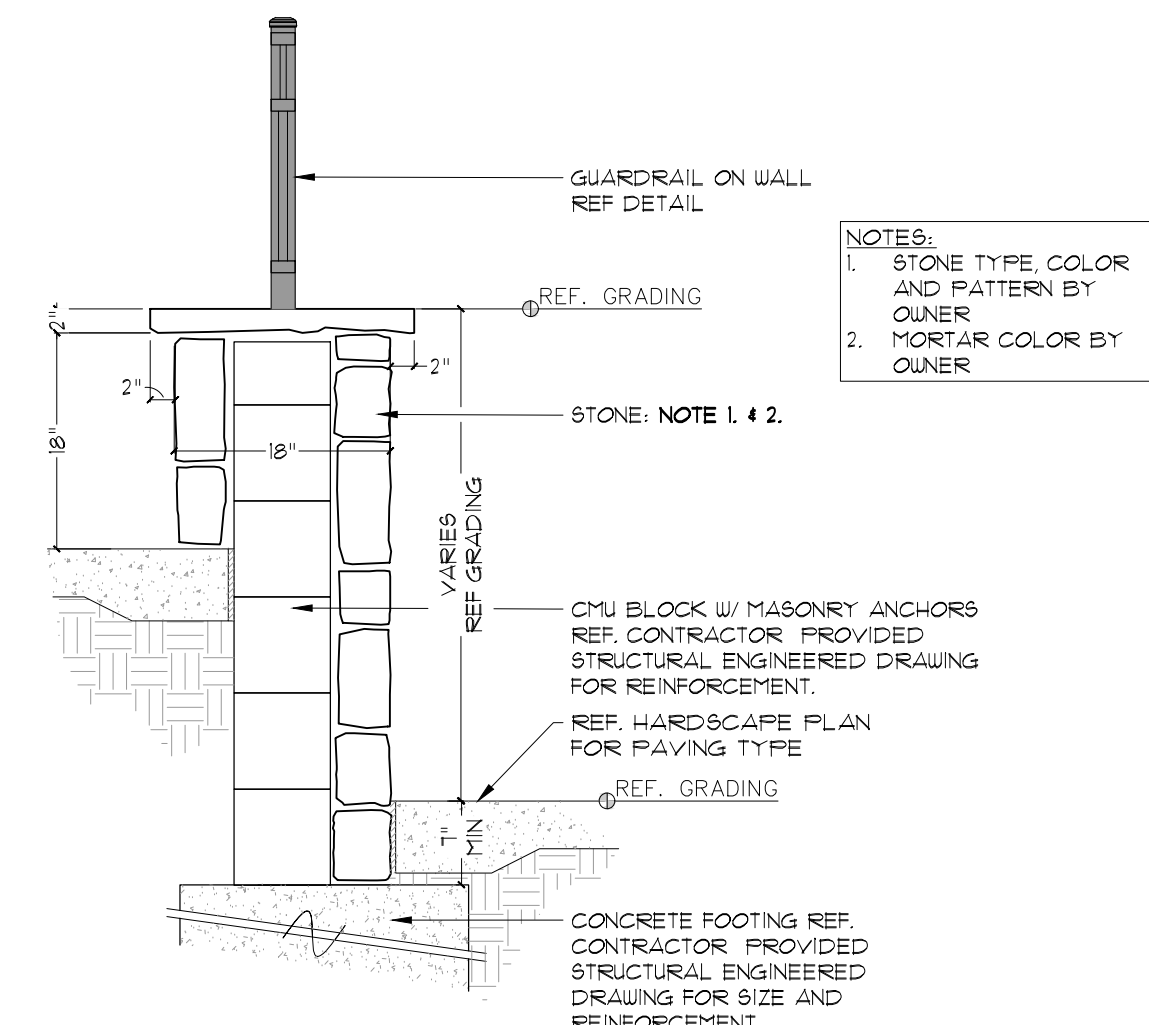
- NOTES:  
1. STONE TYPE, COLOR AND PATTERN BY OWNER  
2. MORTAR COLOR BY OWNER  
3. MASONRY ANCHORS 18" O.C. TOP 4 BOTTOM VERTICAL 15 REBAR EVERY OTHER CELL EMBEDDED IN THICKENED EDGE OF CONCRETE. 2 - 15 REBAR TOP 4 BOTTOM IN BOND BEAM W/ 18" OVERLAP EACH WAY.

**1 SEAT WALL PLANTER**  
SCALE: 3/4" = 1'-0"



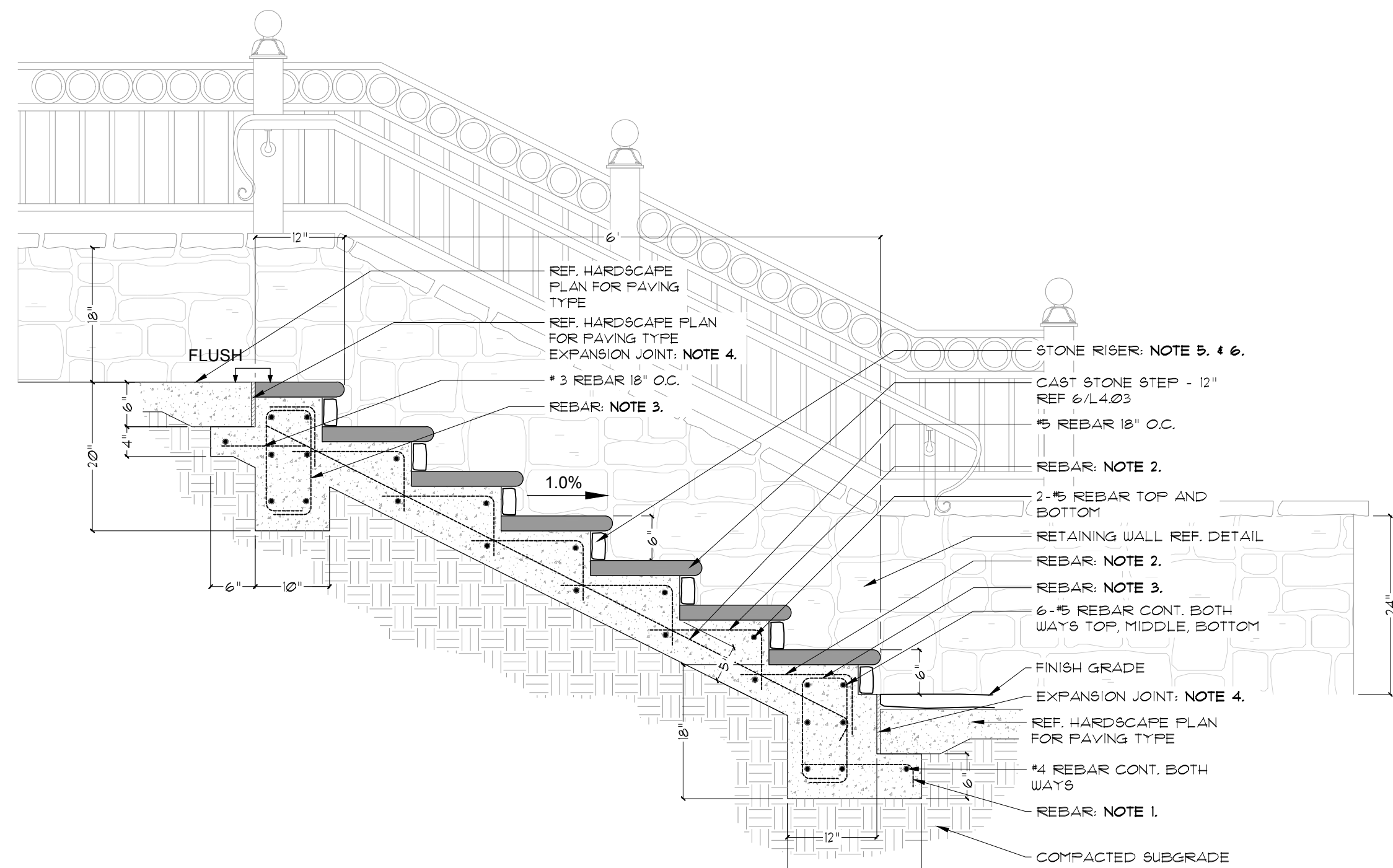
- NOTES:  
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2. MORTAR COLOR BY OWNER  
3. PERFORATED PIPE IN FILTER SOCK, WASHED PEA GRAVEL IN FILTER FABRIC, CLEANOUT, AND LEAF HOLES EVERY 36" O.C.

**2 RETAINING WALL AT CHAPEL**  
SCALE: 3/4" = 1'-0"



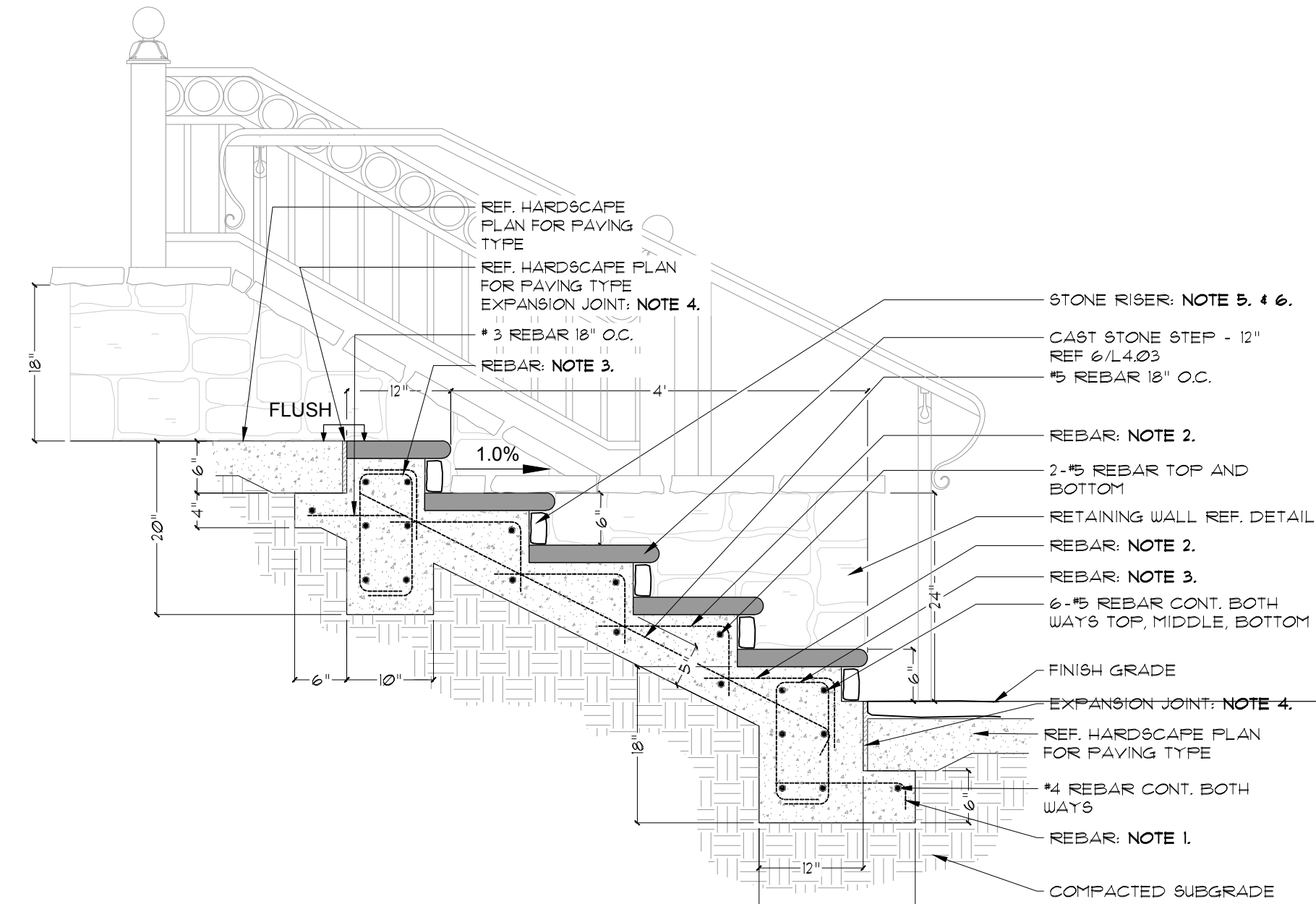
- NOTES:  
1. STONE TYPE, COLOR AND PATTERN BY OWNER  
2. MORTAR COLOR BY OWNER

**3 RETAINING WALL W/ GUARDRAIL**  
SCALE: 3/4" = 1'-0"



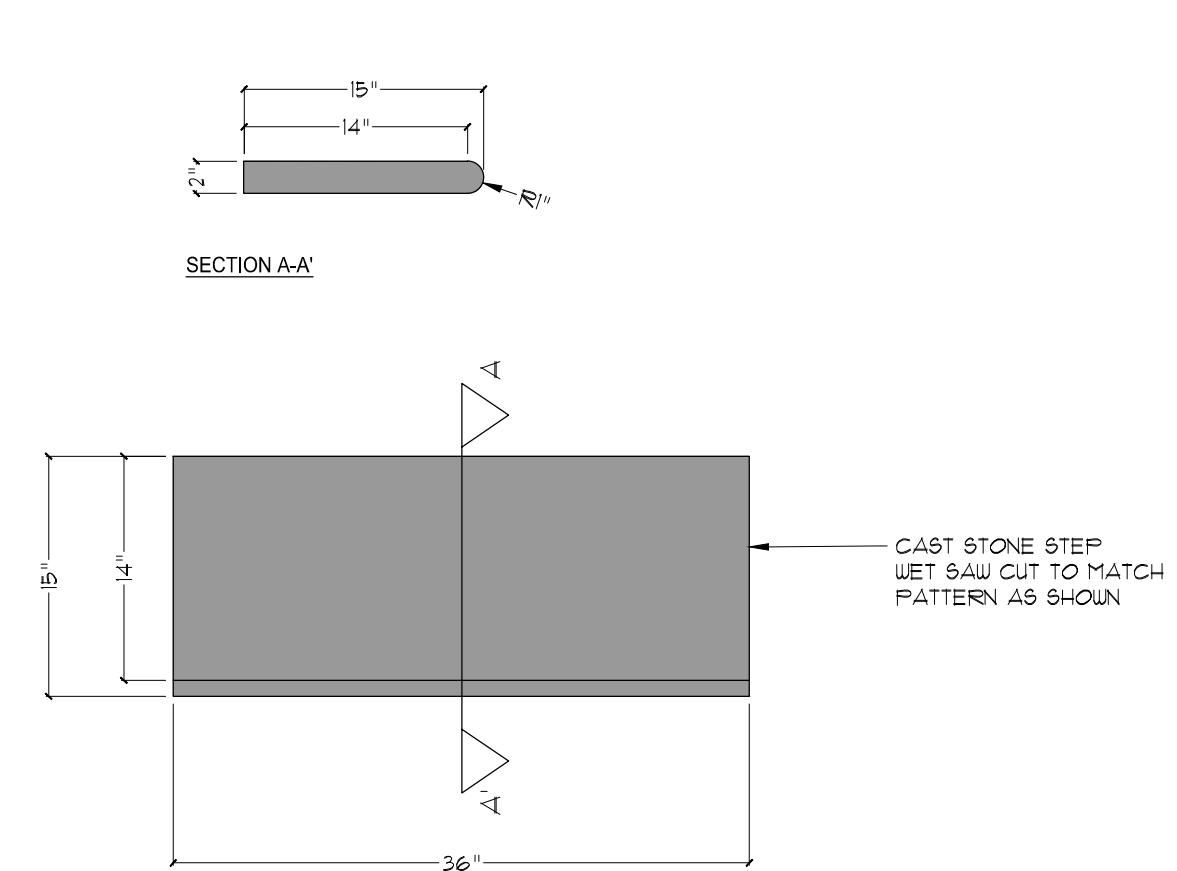
- NOTES:  
1. #3 REBAR TIE 18" O.C.  
2. #3 REBAR TIE 18" O.C.  
3. #3 REBAR STIRRUP 18" O.C.  
4. 1/2" EXPANSION JOINT WITH #4 18" SMOOTH DOUCEL W/SLEEVE ONE SIDE 18" O.C.  
5. STONE TYPE AND COLOR BY OWNER  
6. MORTAR COLOR BY OWNER

**4 STEPS AT CHAPEL**  
SCALE: 3/4" = 1'-0"

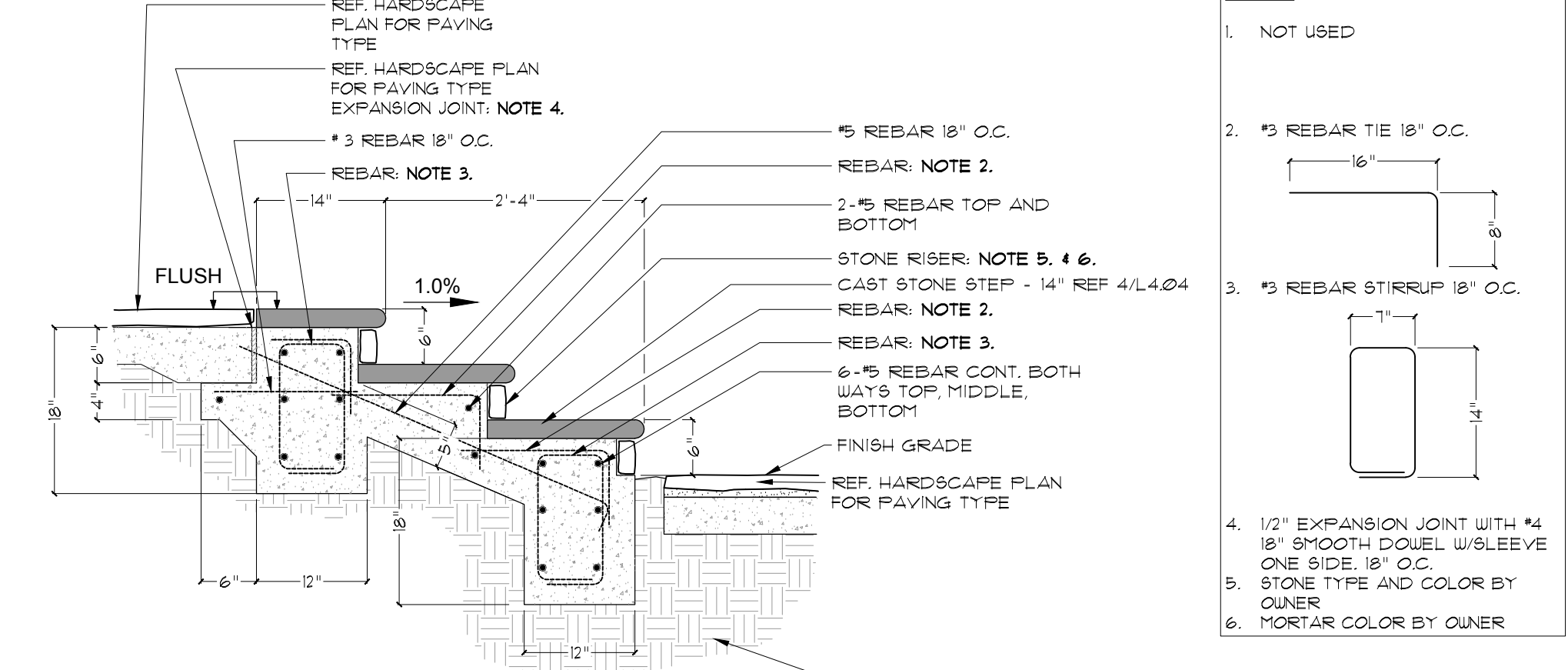


- NOTES:  
1. #3 REBAR TIE 18" O.C.  
2. #3 REBAR TIE 18" O.C.  
3. #3 REBAR STIRRUP 18" O.C.  
4. 1/2" EXPANSION JOINT WITH #4 18" SMOOTH DOUCEL W/SLEEVE ONE SIDE 18" O.C.  
5. STONE TYPE AND COLOR BY OWNER  
6. MORTAR COLOR BY OWNER

**5 STEPS AT CHANNEL**  
SCALE: 3/4" = 1'-0"



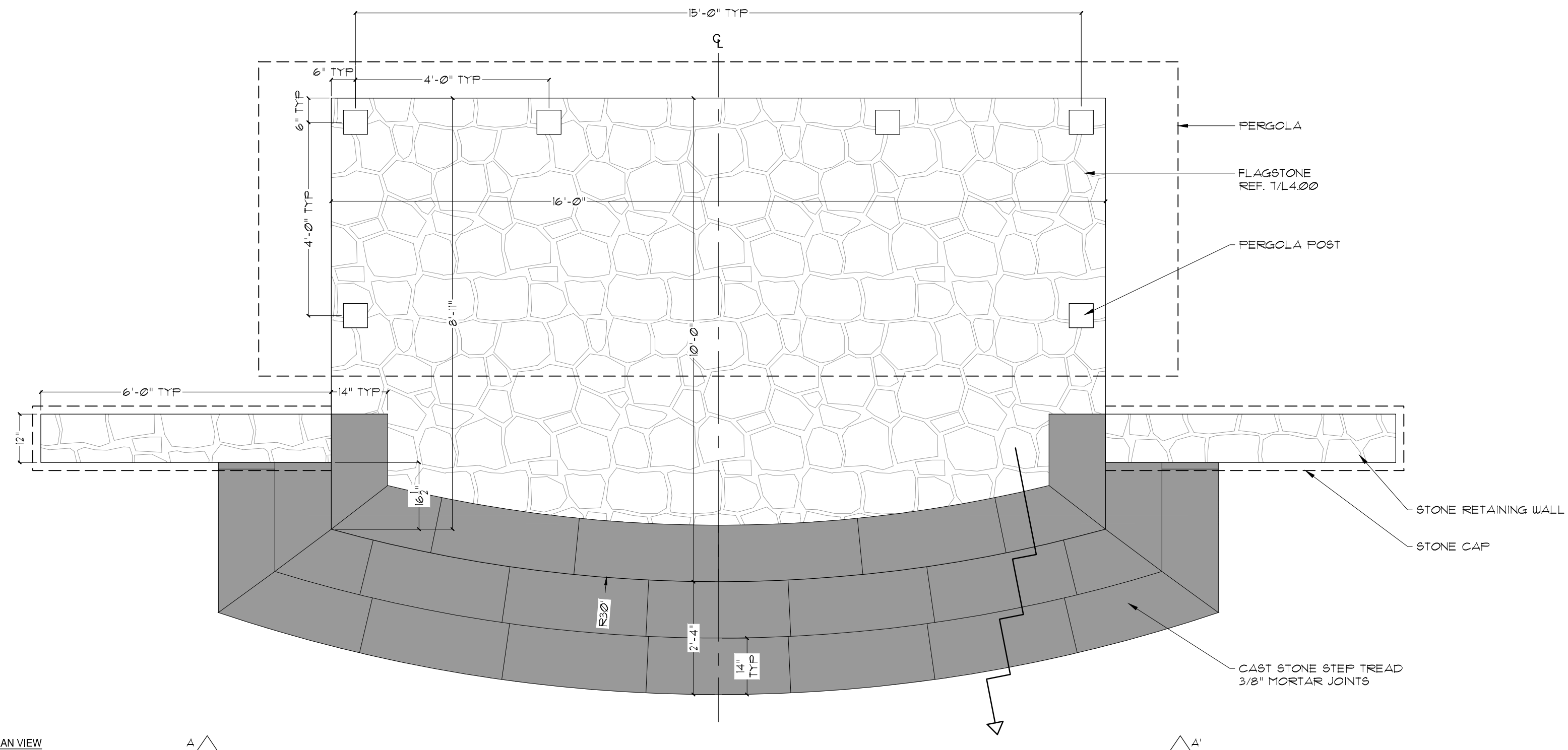
**6 CAST STONE STEP - 12"**  
SCALE: 1" = 1'-0"



- NOTES:  
1. NOT USED  
2. #3 REBAR TIE 18" O.C.  
3. #3 REBAR STIRRUP 18" O.C.  
4. 1/2" EXPANSION JOINT WITH #4 18" SMOOTH DOUCEL W/SLEEVE ONE SIDE 18" O.C.  
5. STONE TYPE AND COLOR BY OWNER  
6. MORTAR COLOR BY OWNER

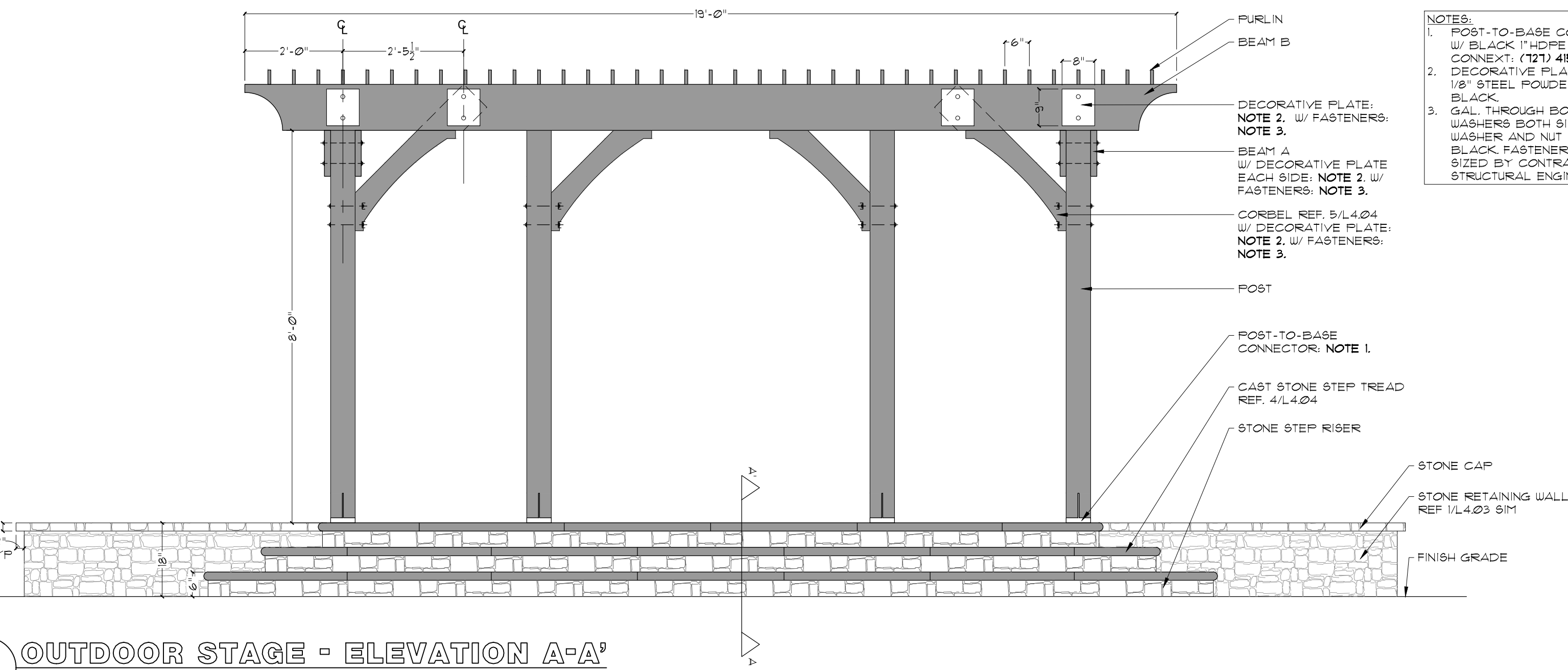
**7 OUTDOOR STAGE STEPS**  
SCALE: 3/4" = 1'-0"



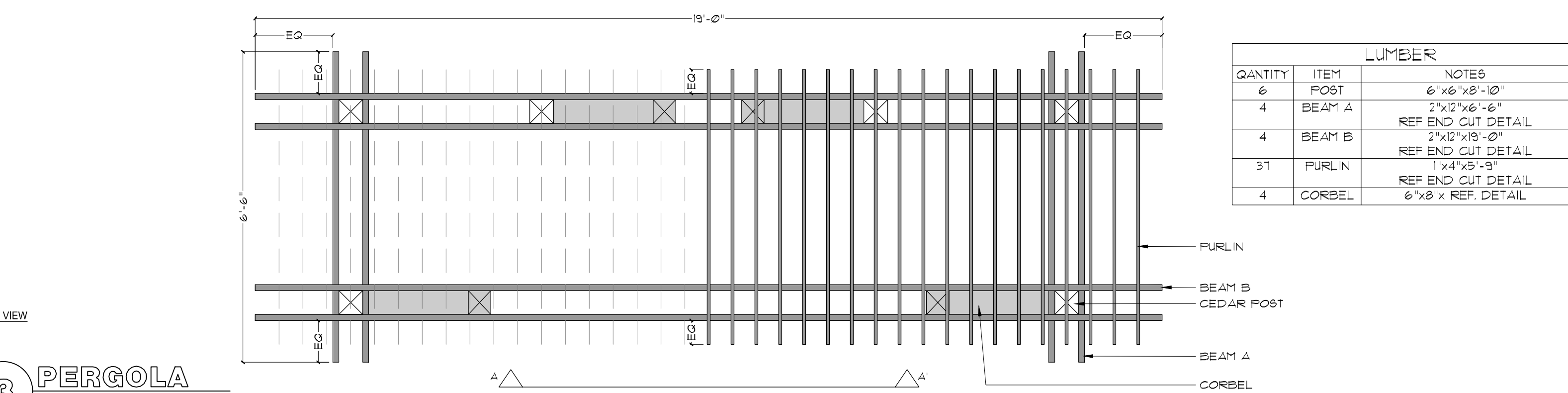


PLAN VIEW

**1 OUTDOOR STAGE**  
SCALE: 1/2" = 1'-0"

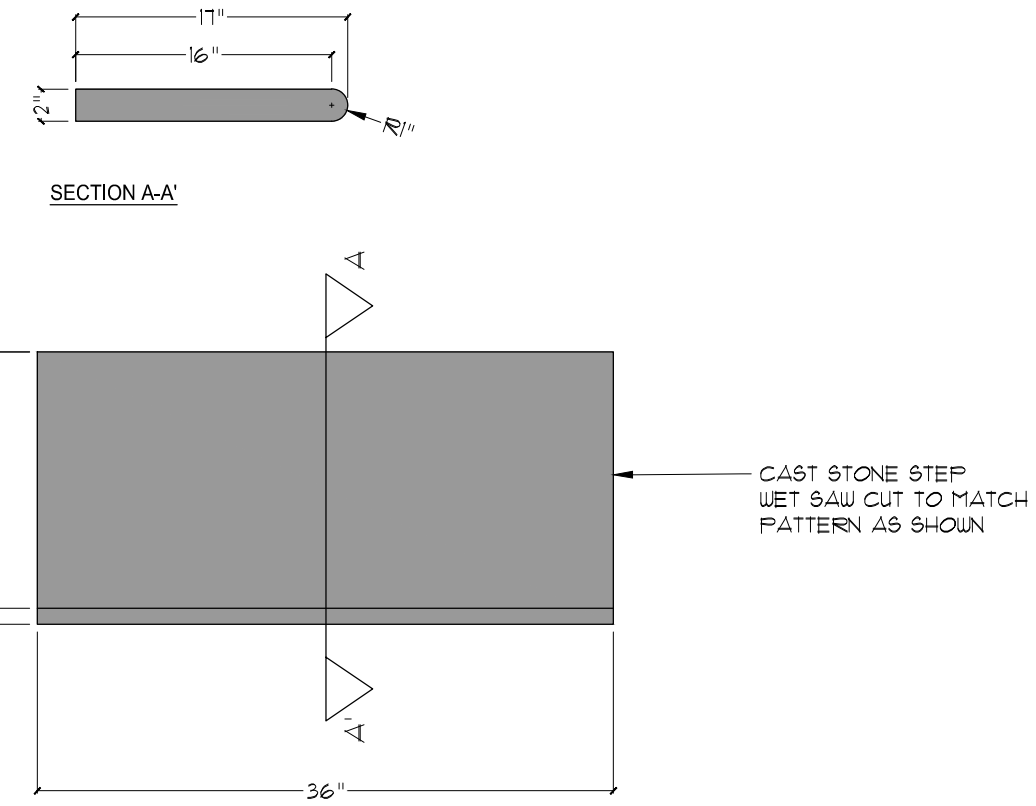


**2 OUTDOOR STAGE - ELEVATION A-A'**  
SCALE: 1/2" = 1'-0"



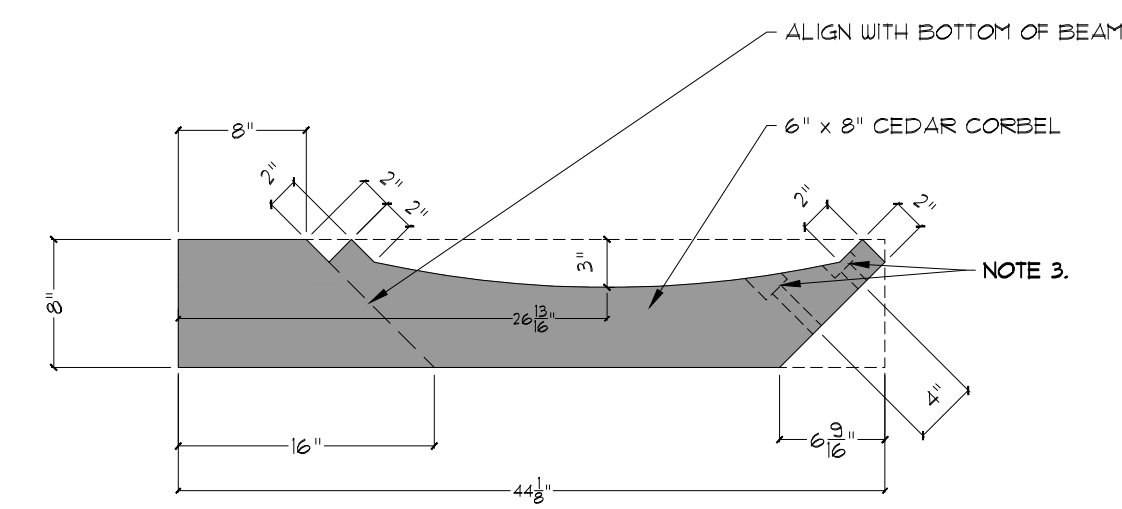
PLAN VIEW

**3 PERGOLA**  
SCALE: 1/2" = 1'-0"

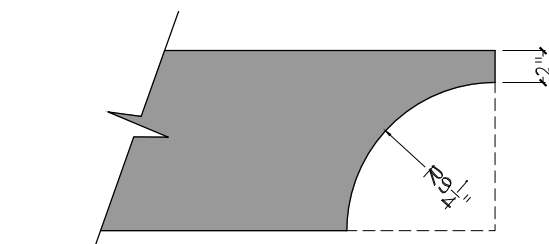


**4 CAST STONE STEP - 14"**  
SCALE: 1" = 1'-0"

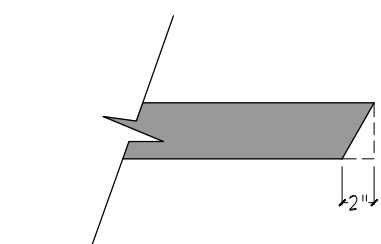
- NOTES:
- CUTS ARE 45 DEGREES.
  - MATCH CORBEL 8 INCH DIMENSIONAL LUMBER W/ 6X6 DIMENSIONAL LUMBER POST.
  - PRE DRILL HOLES AND COLLAR USE A FORSTNER BIT OF ADEQUATE SIZE FOR THE WASHER TO FIT INTO THE COLLAR. DEPTH OF COLLAR SHALL BE EQUAL TO BOLT HEAD AND WASHER TOGETHER.



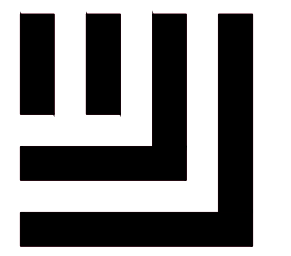
**5 CORBEL**  
SCALE: 1" = 1'-0"



**6 BEAM A AND B END CUT**  
SCALE: 1" = 1'-0"



**7 PURLIN END CUT**  
SCALE: 1" = 1'-0"



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**THE RESERVE AT MARTY B'S**  
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DATED 12/4/2023



**REVISIONS**

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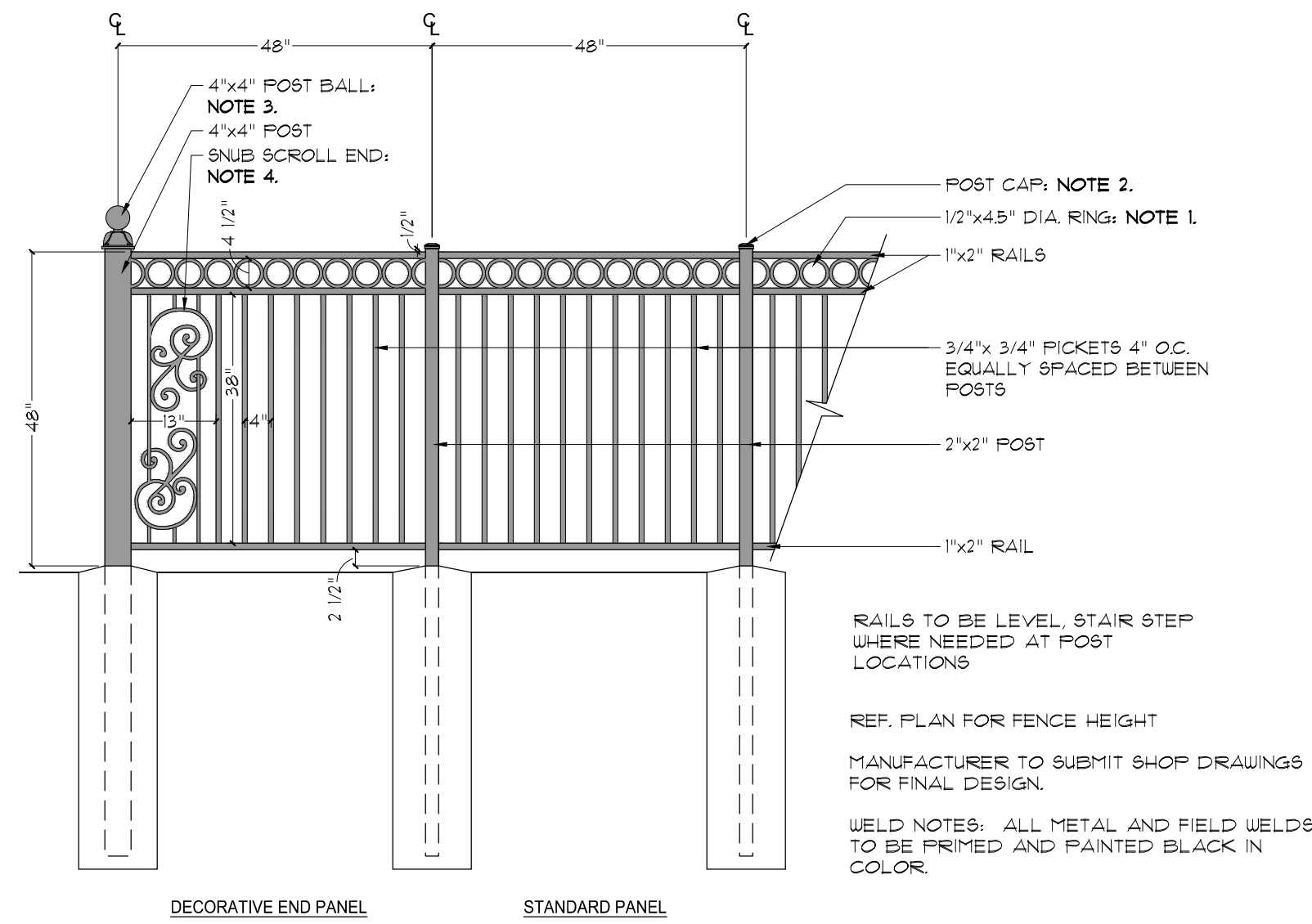
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FILENAME BFP22001-LANDARCH-HD1.DWG  
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DRAWN BY JEB  
SCALE AS SHOWN  
DATE 10.2.2023

**SHEET**

**HARDSCAPE DETAILS**

**L4.04**



- NOTES:
- 1/2"x4.5" DIA. RING BY KING ARCHITECTURAL METALS 44-40-12
  - 2"x2" POST CAP BY KING ARCHITECTURAL METALS 16-801
  - 4"x4" POST BALL BY KING ARCHITECTURAL METALS 45-122
  - SNUB SCROLL END BY KING ARCHITECTURAL METALS 13-33024-430

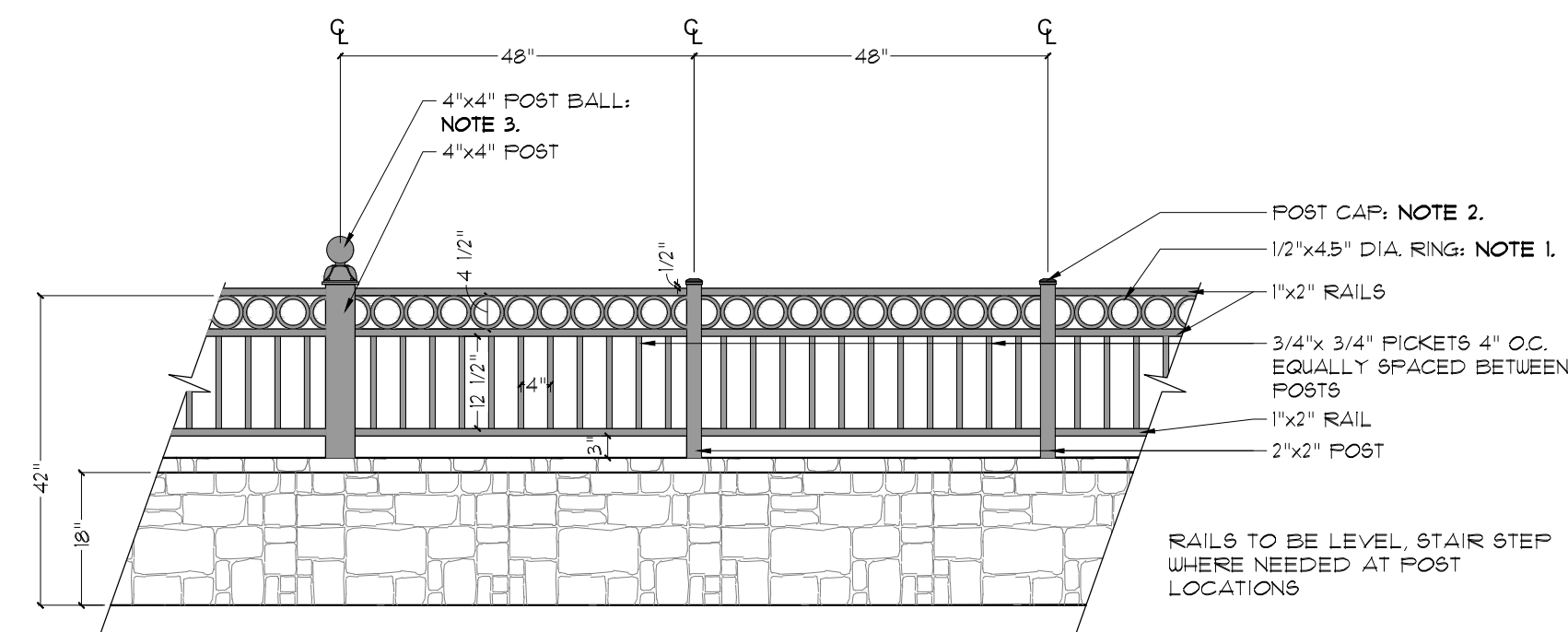
RAILS TO BE LEVEL, STAIR STEP WHERE NEEDED AT POST LOCATIONS

REF. PLAN FOR FENCE HEIGHT

MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR FINAL DESIGN.

WELD NOTES: ALL METAL AND FIELD WELDS TO BE PRIMED AND PAINTED BLACK IN COLOR

**1. ORNAMENTAL GUARDRAIL**  
SCALE: 1/2" = 1'-0"



- NOTES:
- 1/2"x4.5" DIA. RING BY KING ARCHITECTURAL METALS 44-40-12
  - 2"x2" POST CAP BY KING ARCHITECTURAL METALS 16-801
  - 4"x4" POST BALL BY KING ARCHITECTURAL METALS 45-122

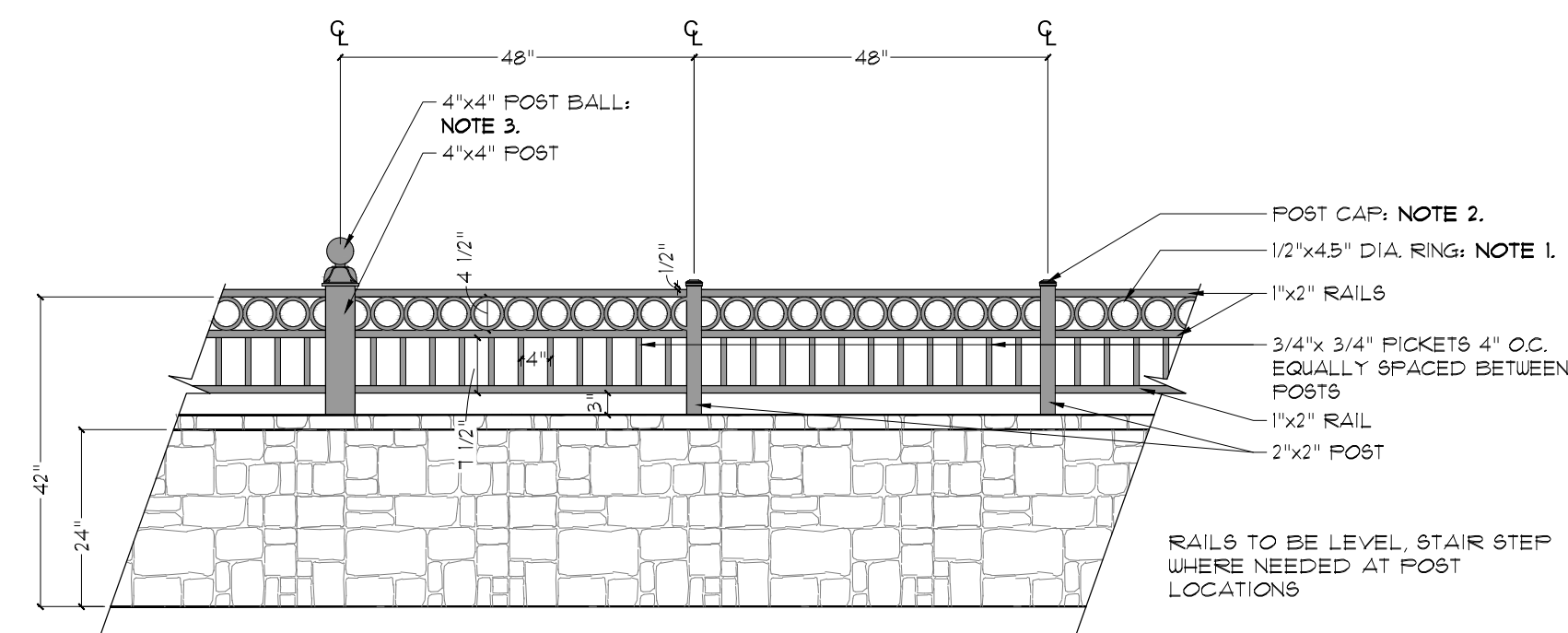
RAILS TO BE LEVEL, STAIR STEP WHERE NEEDED AT POST LOCATIONS

REF. PLAN FOR FENCE HEIGHT

MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR FINAL DESIGN.

WELD NOTES: ALL METAL AND FIELD WELDS TO BE PRIMED AND PAINTED BLACK IN COLOR

**2. GUARDRAIL ON WALL - 18"**  
SCALE: 1/2" = 1'-0"



- NOTES:
- 1/2"x4.5" DIA. RING BY KING ARCHITECTURAL METALS 44-40-12
  - 2"x2" POST CAP BY KING ARCHITECTURAL METALS 16-801
  - 4"x4" POST BALL BY KING ARCHITECTURAL METALS 45-122

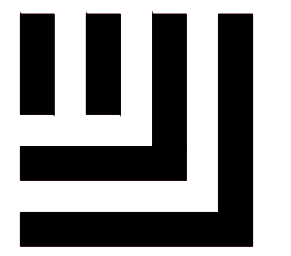
RAILS TO BE LEVEL, STAIR STEP WHERE NEEDED AT POST LOCATIONS

REF. PLAN FOR FENCE HEIGHT

MANUFACTURER TO SUBMIT SHOP DRAWINGS FOR FINAL DESIGN.

WELD NOTES: ALL METAL AND FIELD WELDS TO BE PRIMED AND PAINTED BLACK IN COLOR

**3. GUARDRAIL ON WALL - 24"**  
SCALE: 1/2" = 1'-0"



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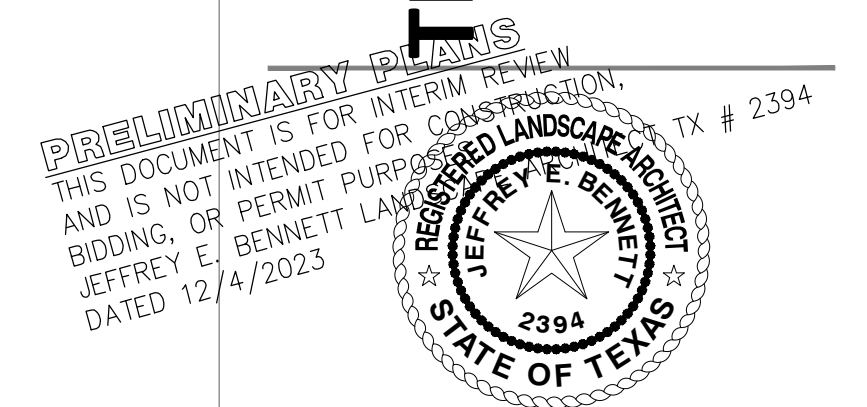
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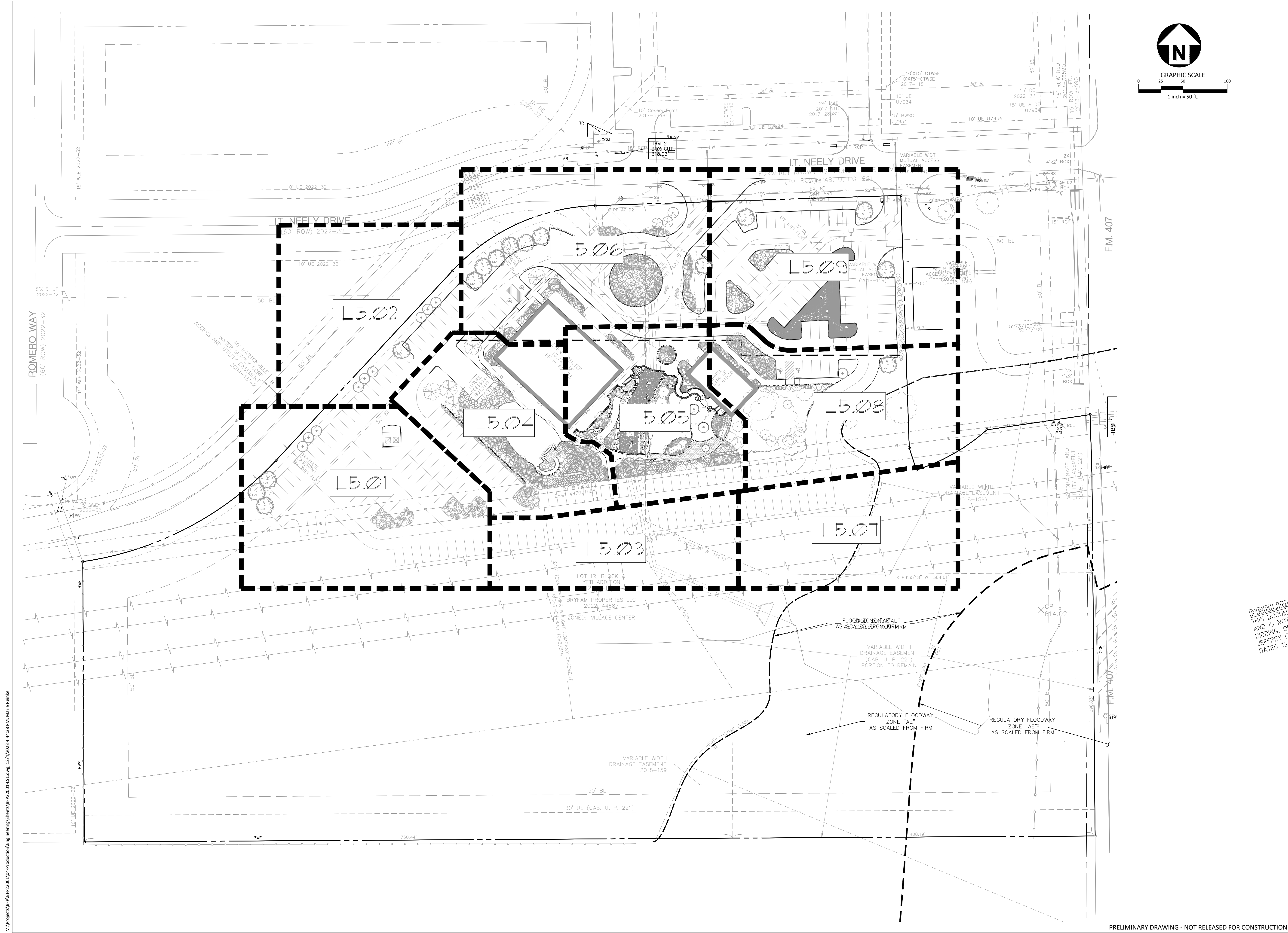
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DATE 10.2.2023

**SHEET**

**HARDSCAPE DETAILS**

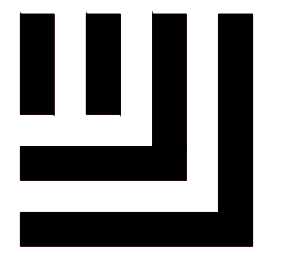
**L4.05**





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DATED 12/4/2023



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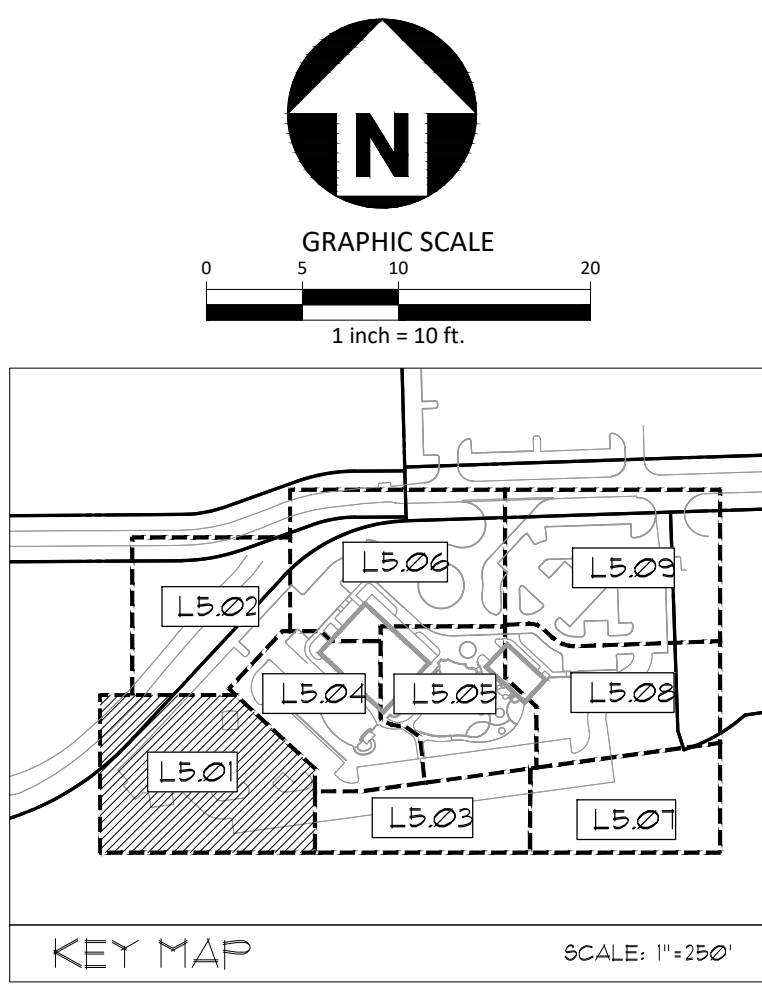
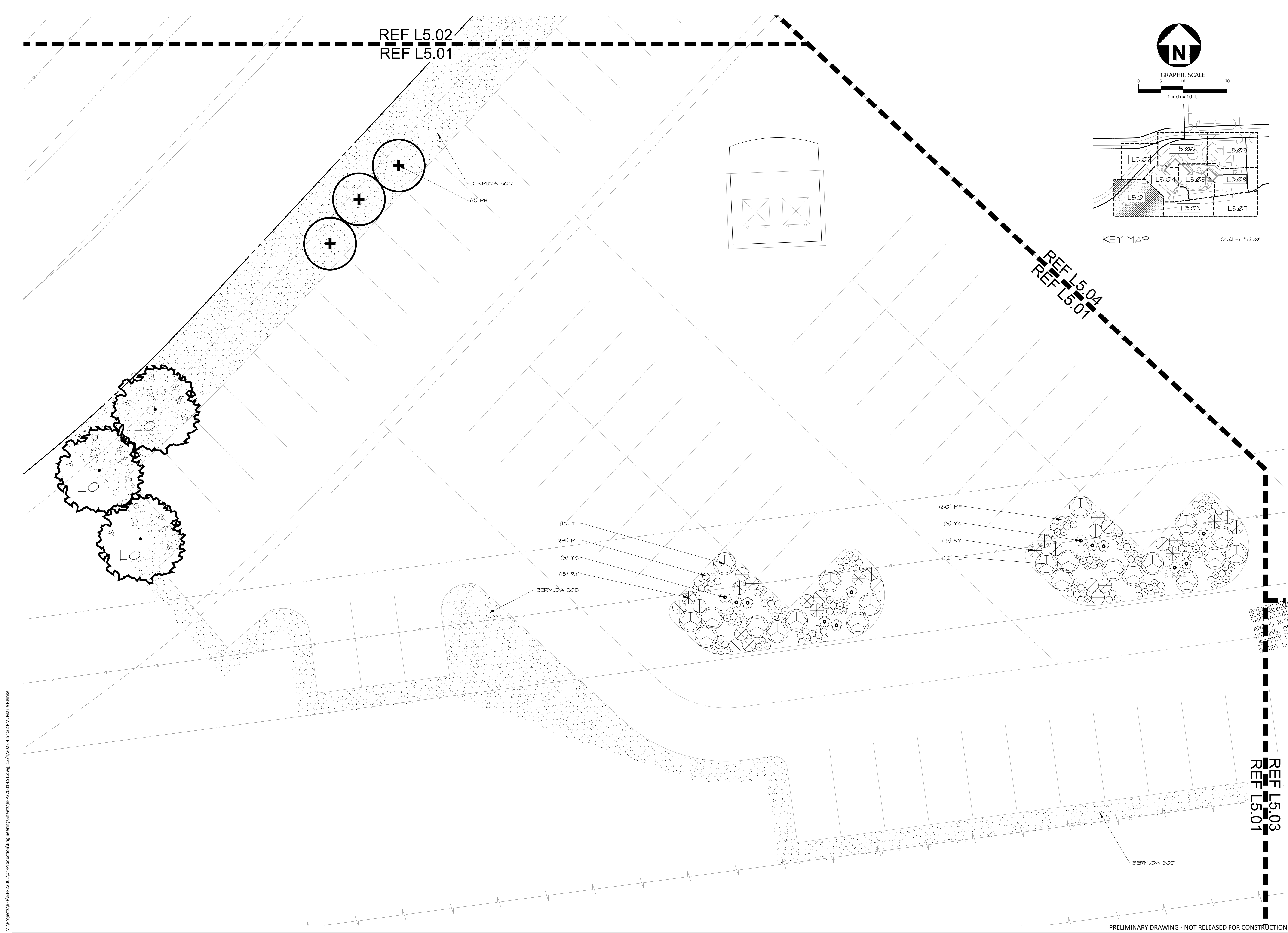
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SCALE 50 SCALE  
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## SHEET

LANDSCAPE PLAN

# L5.00





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 DATE 10.2.2023

**SHEET**

**LANDSCAPE PLAN**

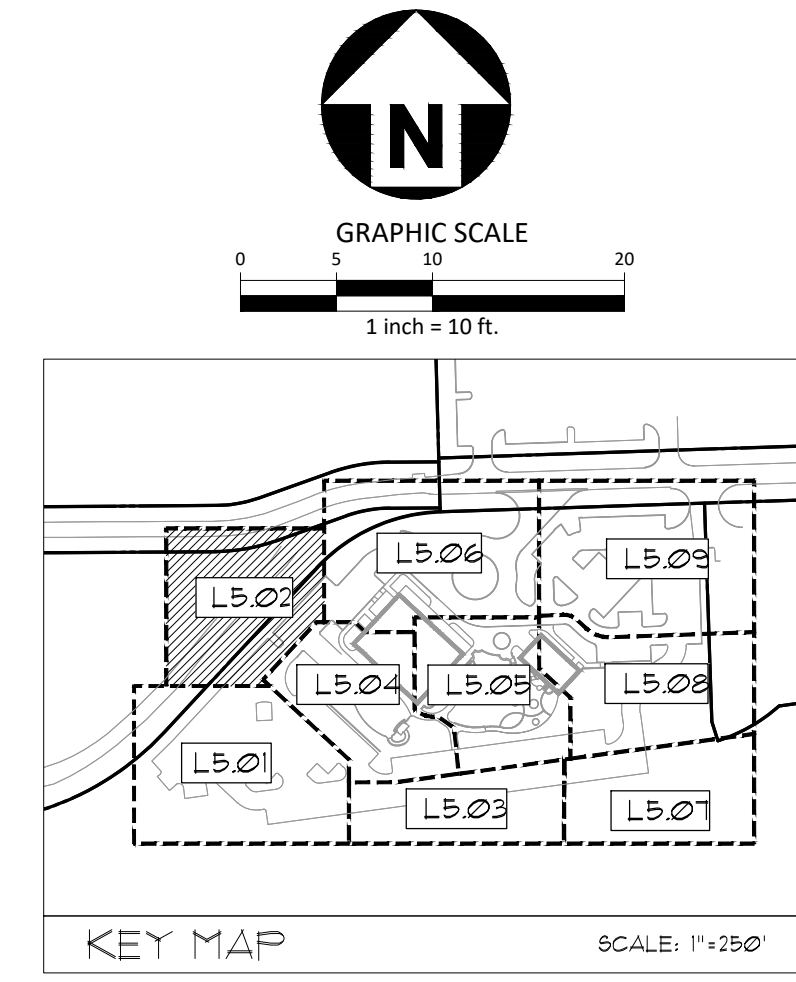
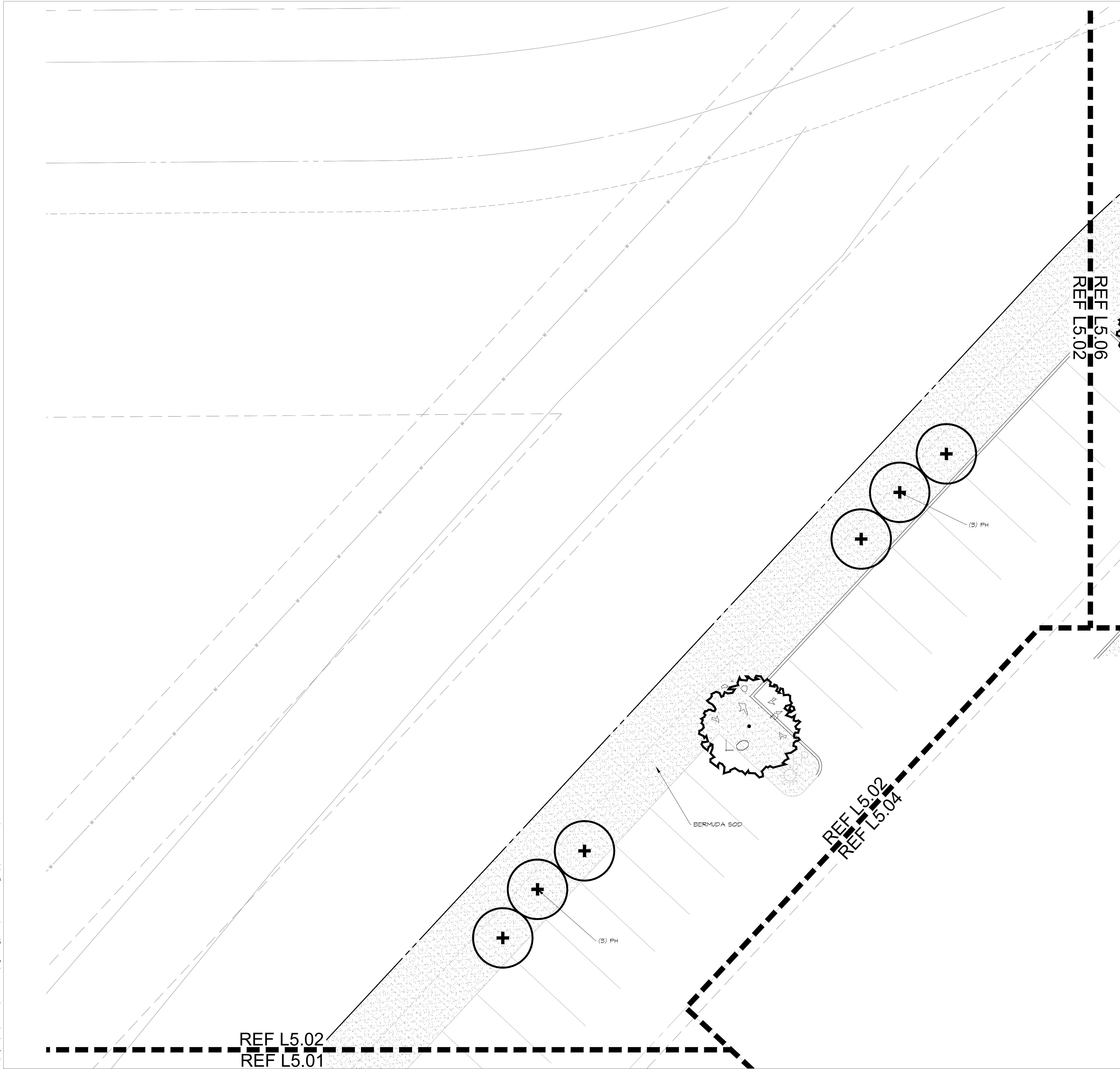
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DATED 12/4/2023  
JEFFREY E. BENNETT  
LANDSCAPE ARCHITECT  
TX # 2394  
STATE OF TEXAS

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**PLAN INFORMATION**

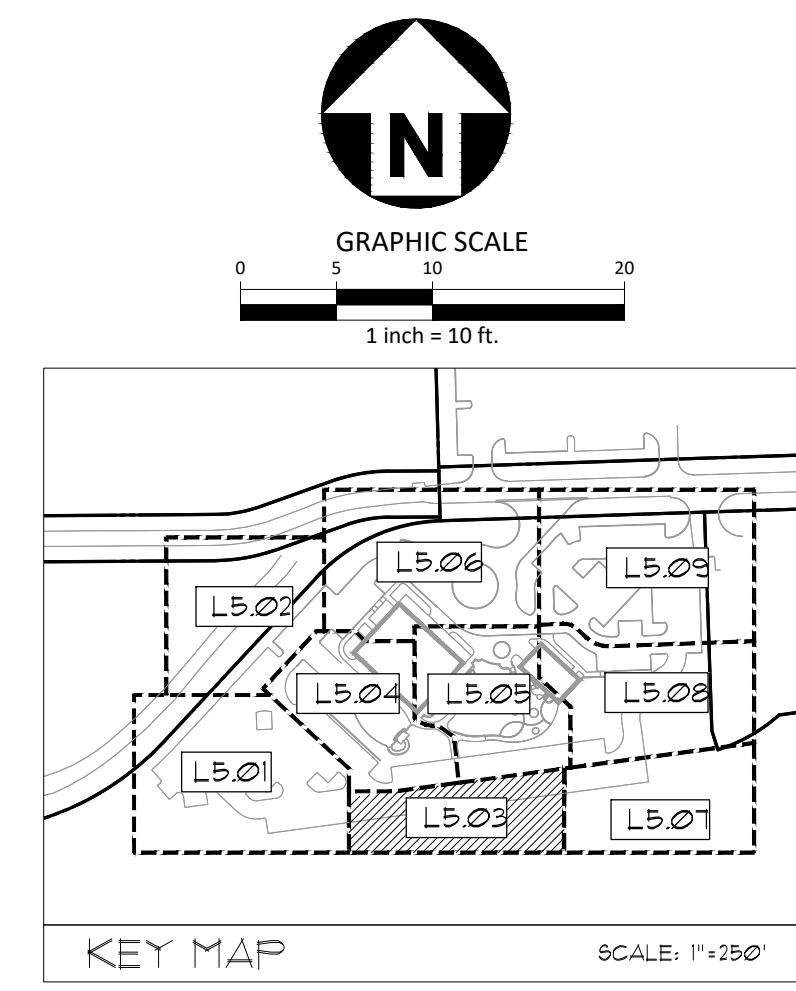
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LANDSCAPE PLAN

**L5.02**

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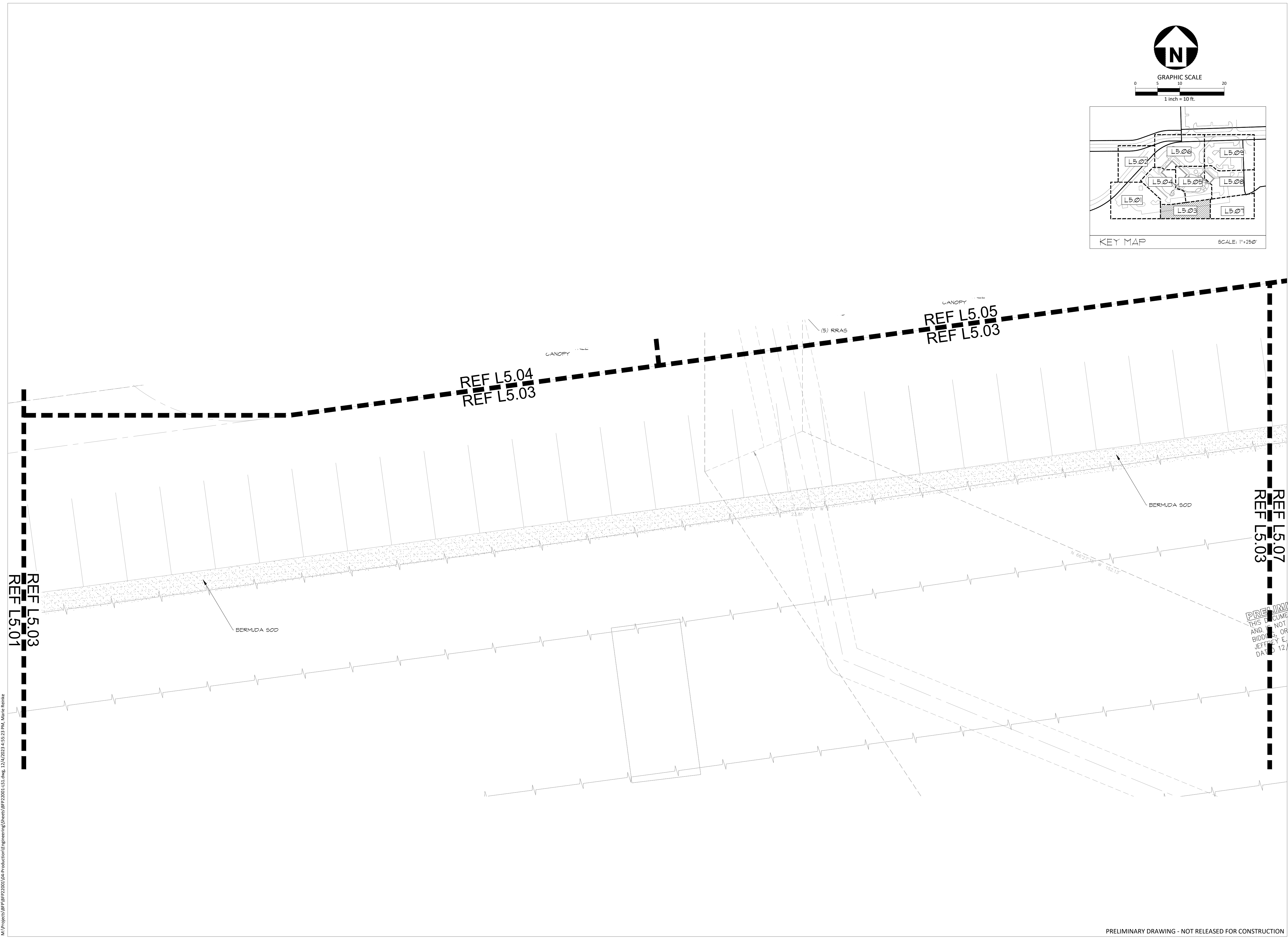
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**LANDSCAPE PLAN**  
**L5.03**

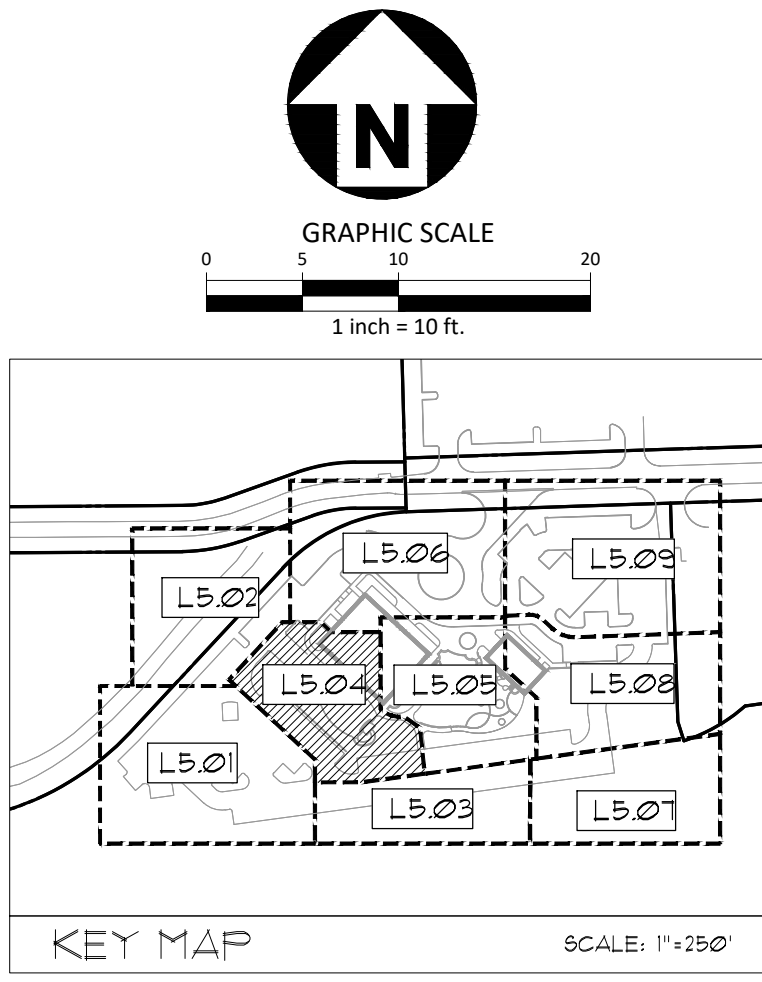
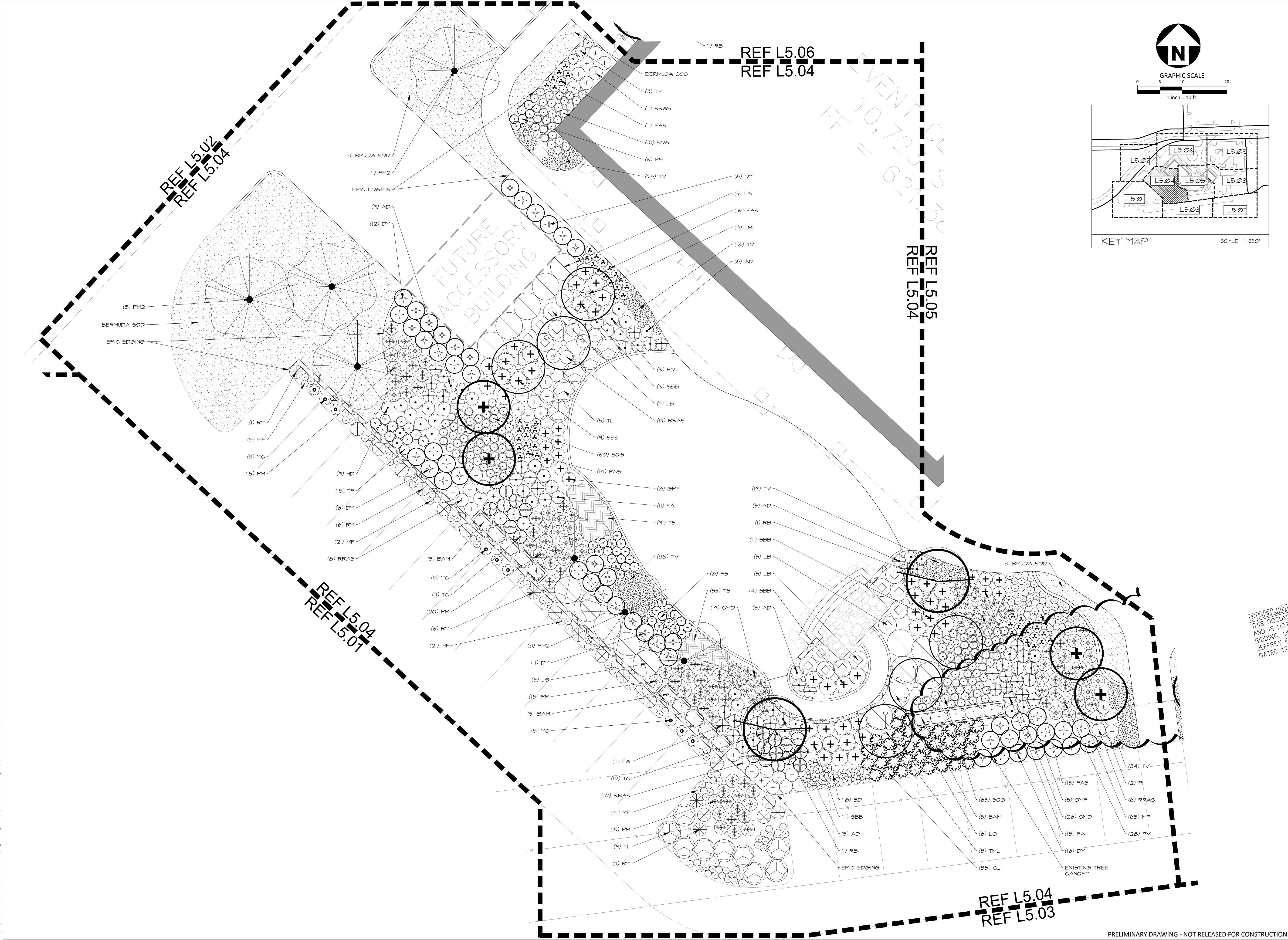


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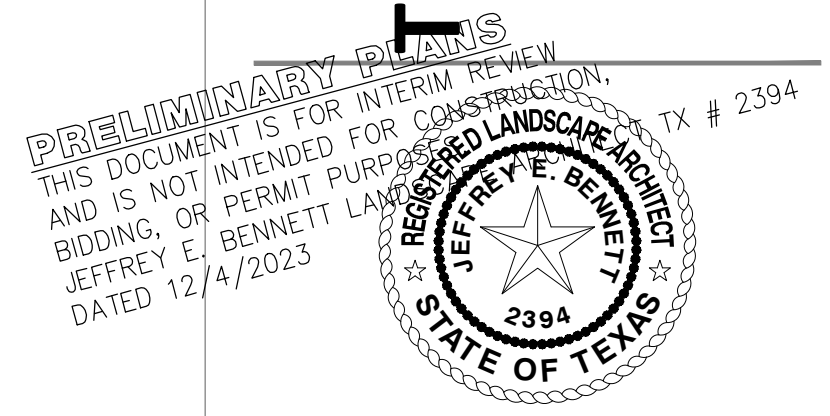


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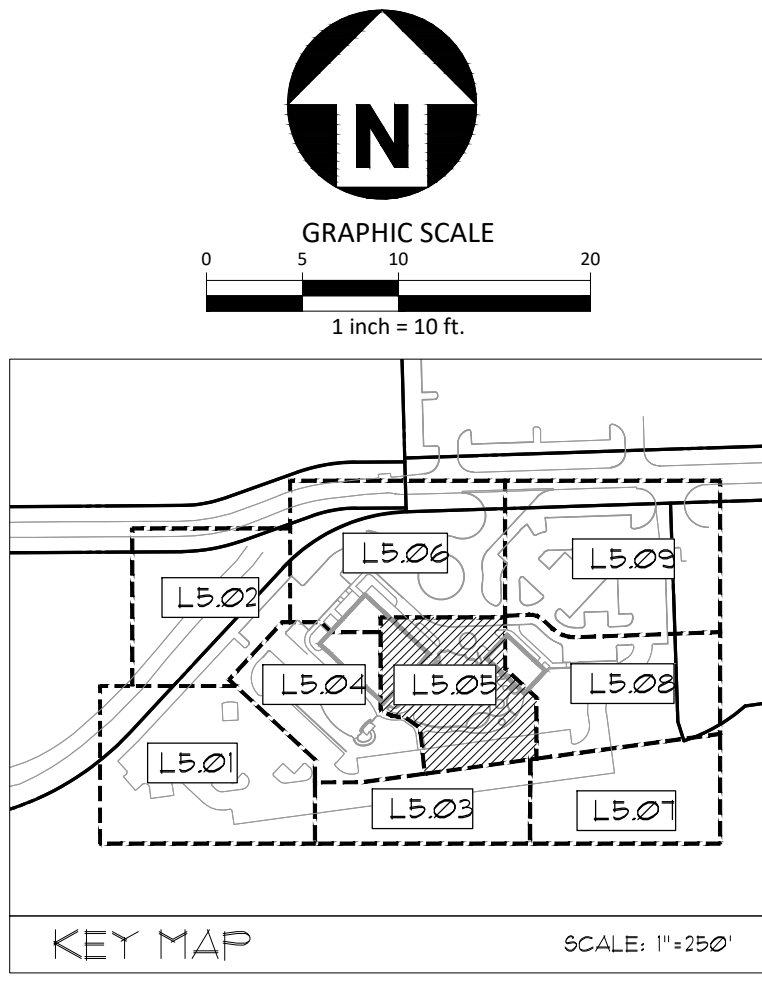
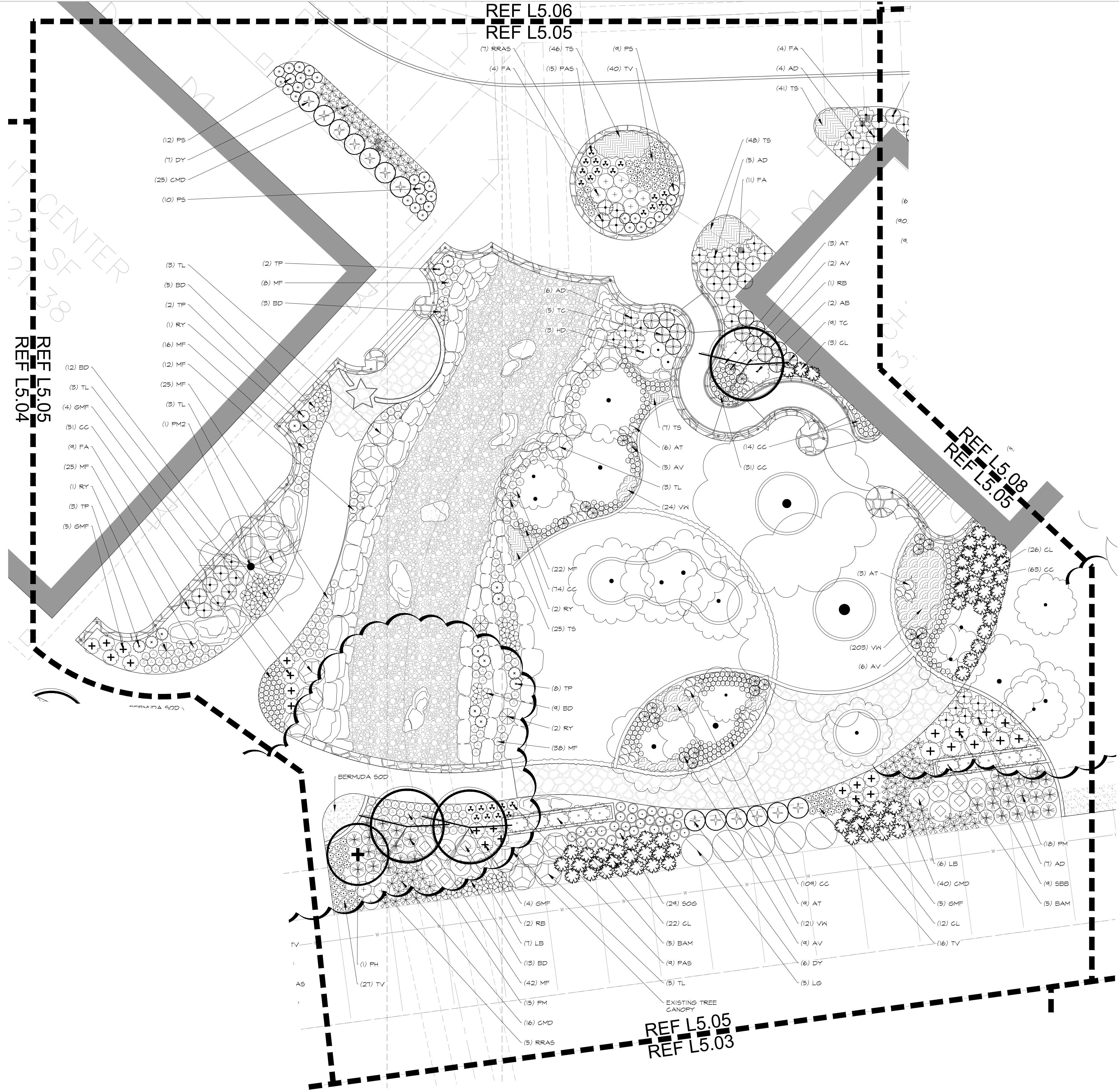
LANDSCAPE PLAN

**L5.04**

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**REVISIONS**

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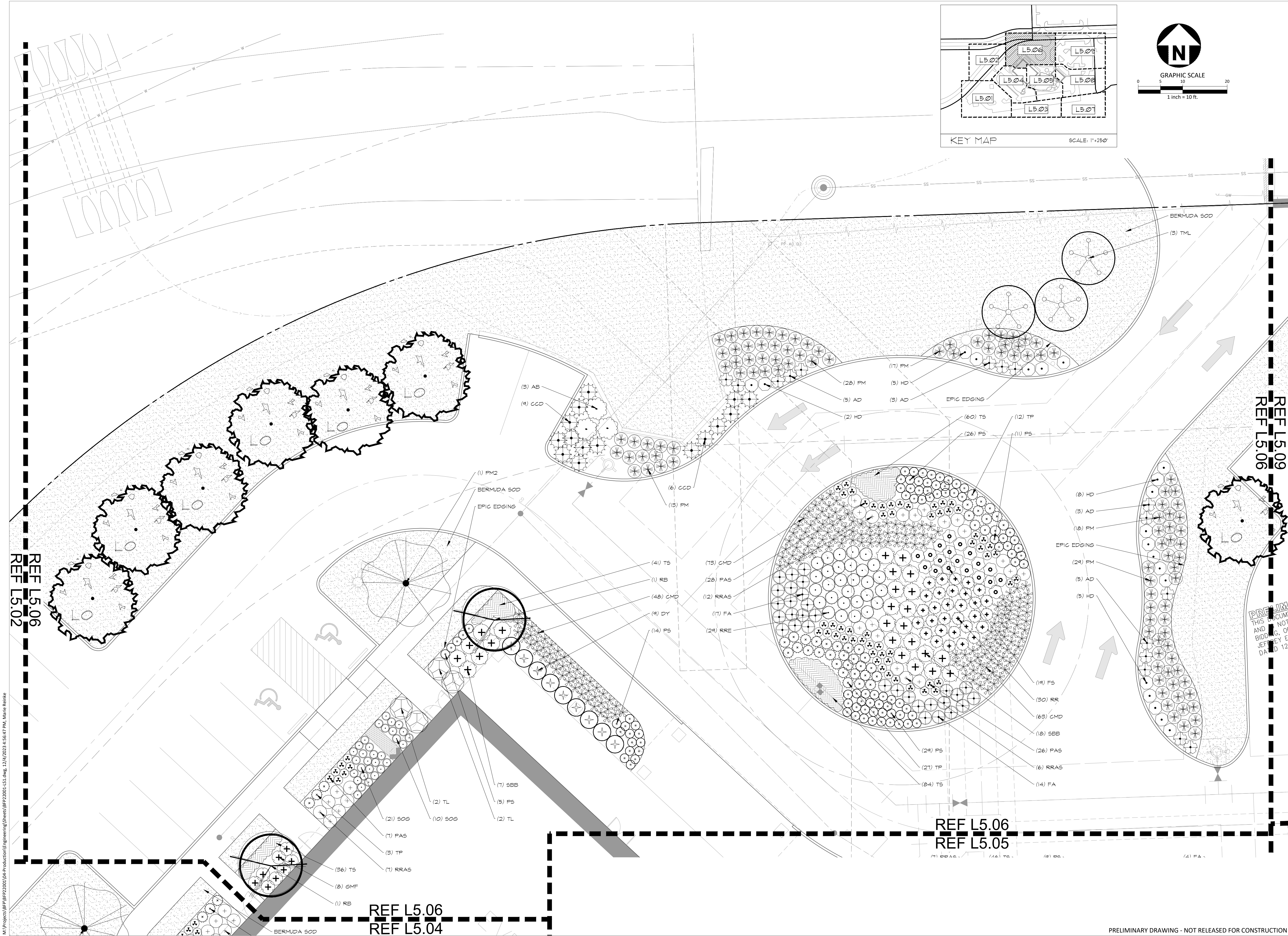
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DATE 10.2.2023

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LANDSCAPE PLAN

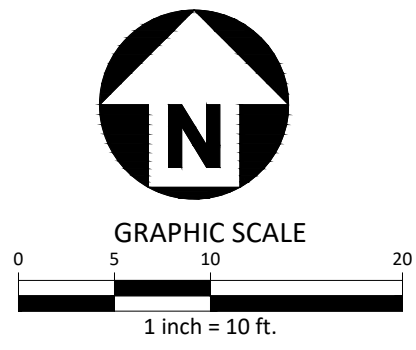
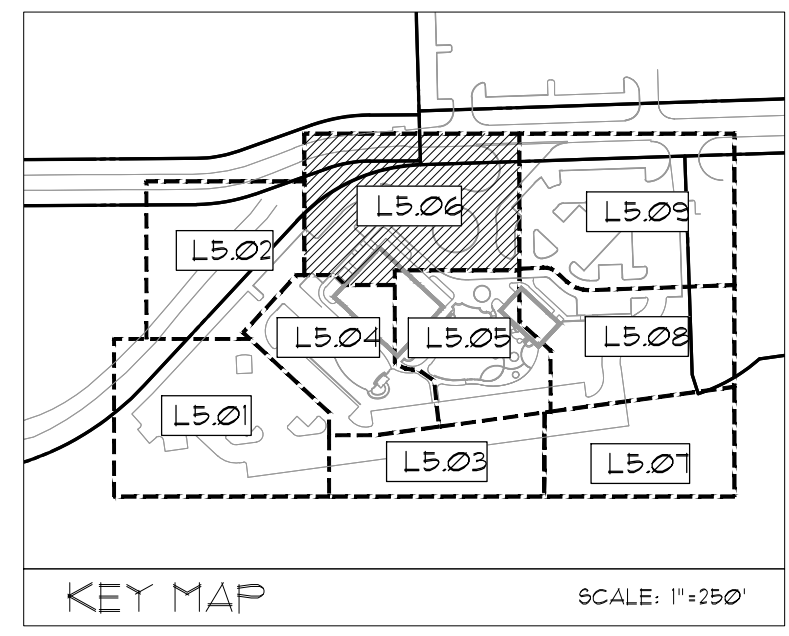
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REF L5.06  
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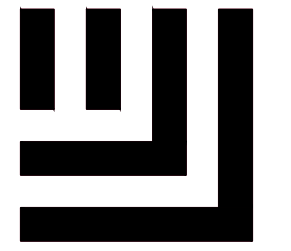
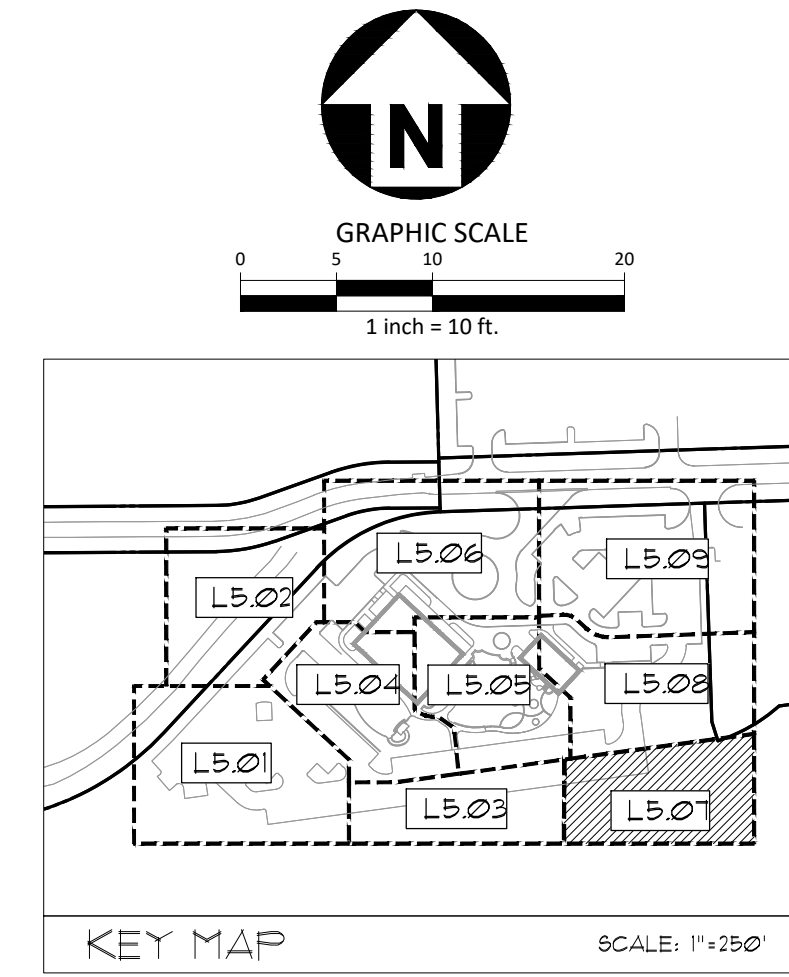
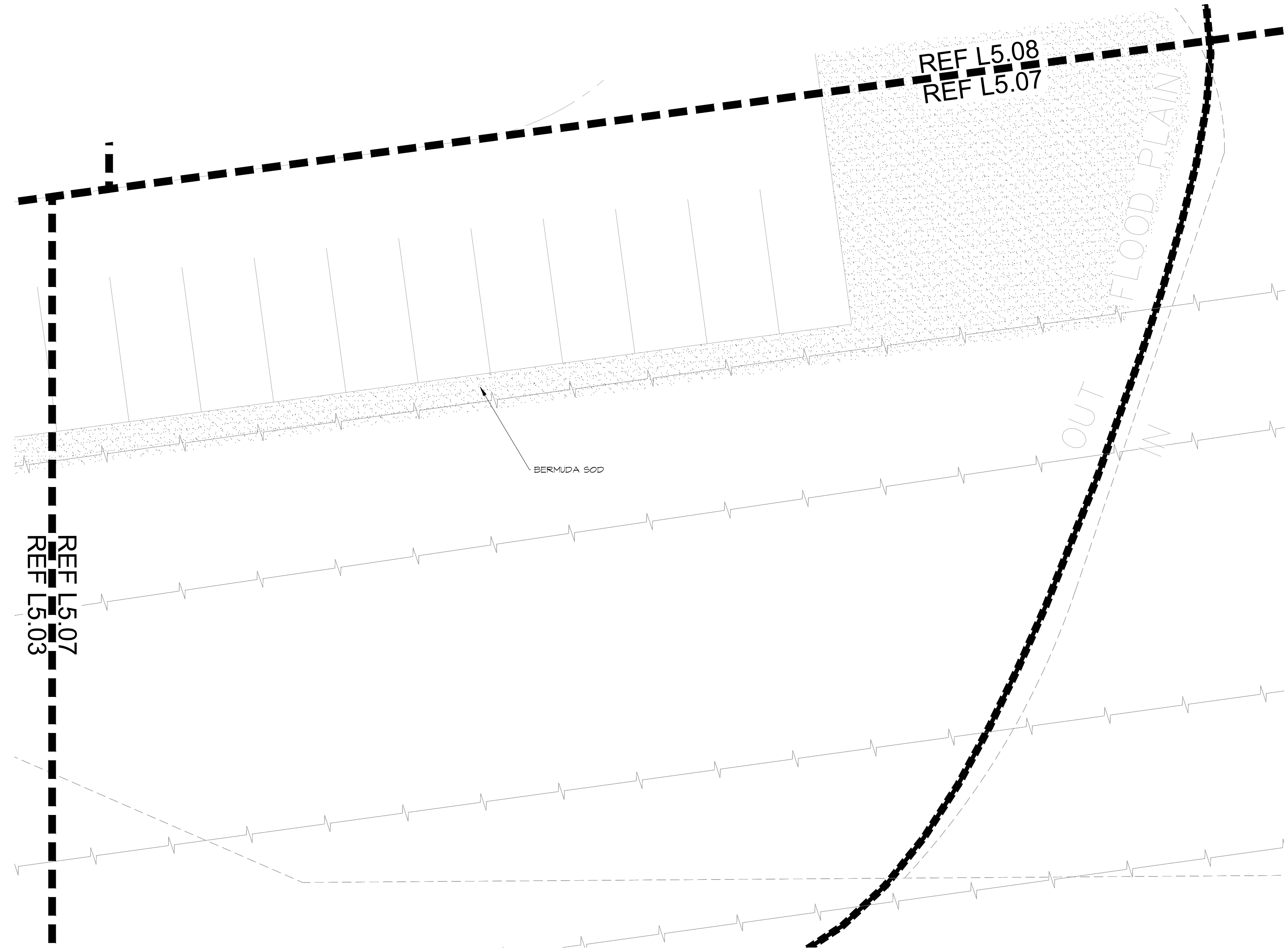
**SHEET**

LANDSCAPE PLAN  
**L5.06**

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**CLIENT**

BRYFAM PROPERTIES, LLC  
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BARTONVILLE, TX 76226  
MARTYWBRYAN@GMAIL.COM  
972.819.5177



**THE RESERVE AT MARTY B'S**  
CONSTRUCTION PLANS  
1001 I.T. NEELY DRIVE  
TOWN OF BARTONVILLE, TX, 76226

PRELIMINARY PLANS  
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JEFFREY E. BENNETT LANDSCAPE ARCHITECT  
DATED 12/4/2023



**REVISIONS**

NO.	DATE	DESCRIPTION
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**PLAN INFORMATION**

PROJECT NO.	BFP22001
FILENAME	BFP22001-LS1.DWG
CHECKED BY	JEB
DRAWN BY	MMR
SCALE	10 SCALE
DATE	10.2.2023

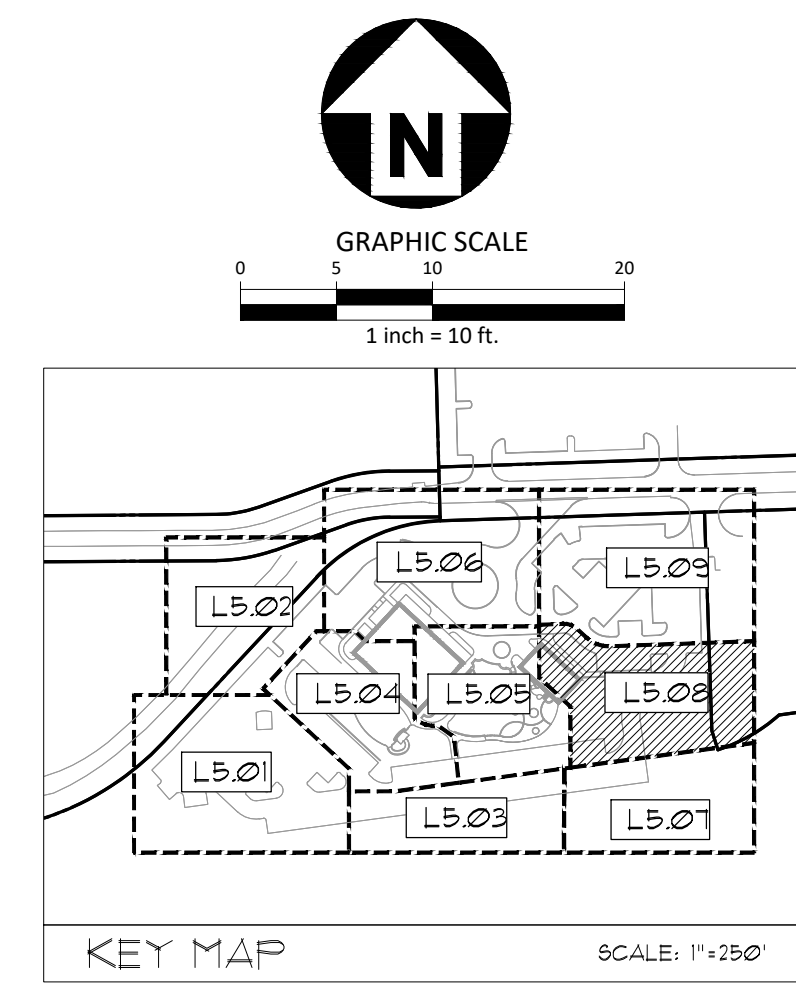
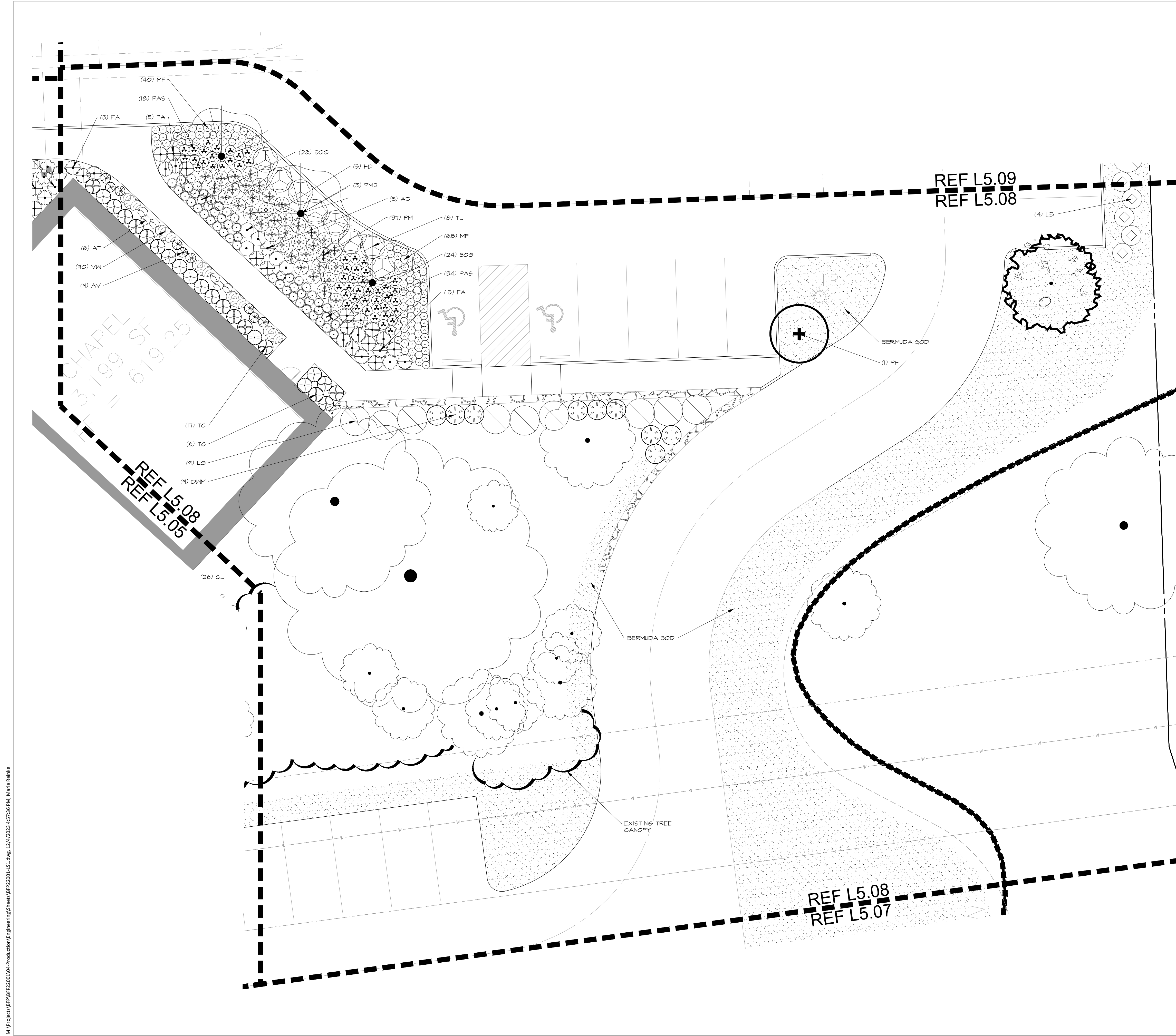
**SHEET**

LANDSCAPE PLAN

**L5.07**

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**McADAMS**  
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 CHECKED BY JEB  
 DRAWN BY MMR  
 SCALE 10 SCALE  
 DATE 10.2.2023

**SHEET**

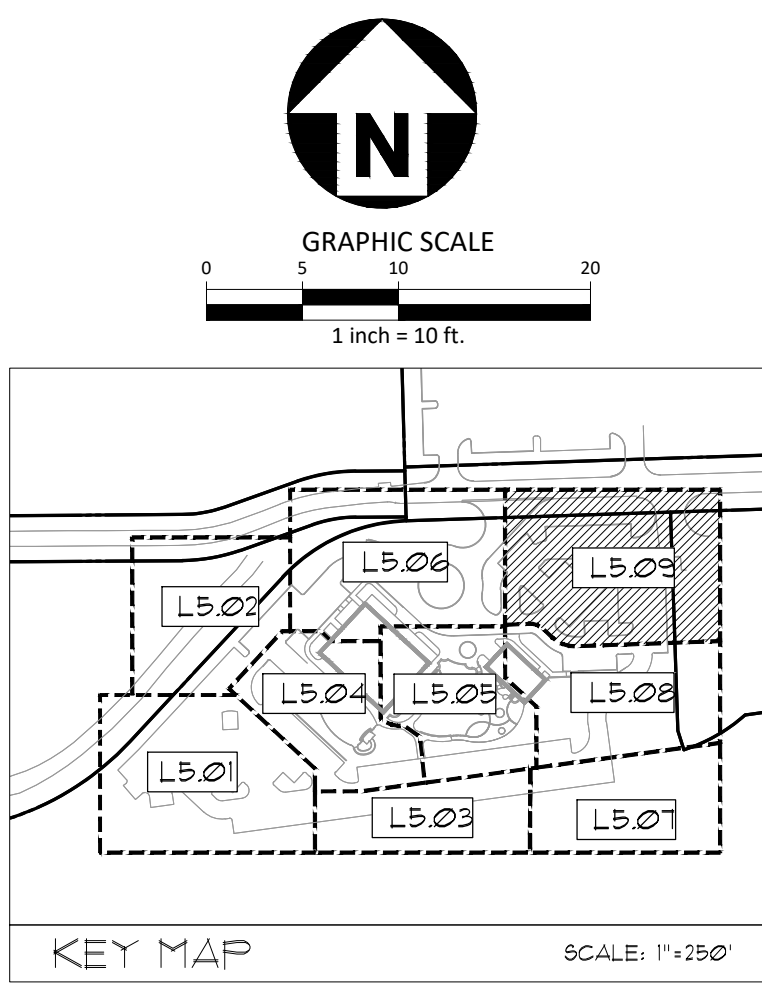
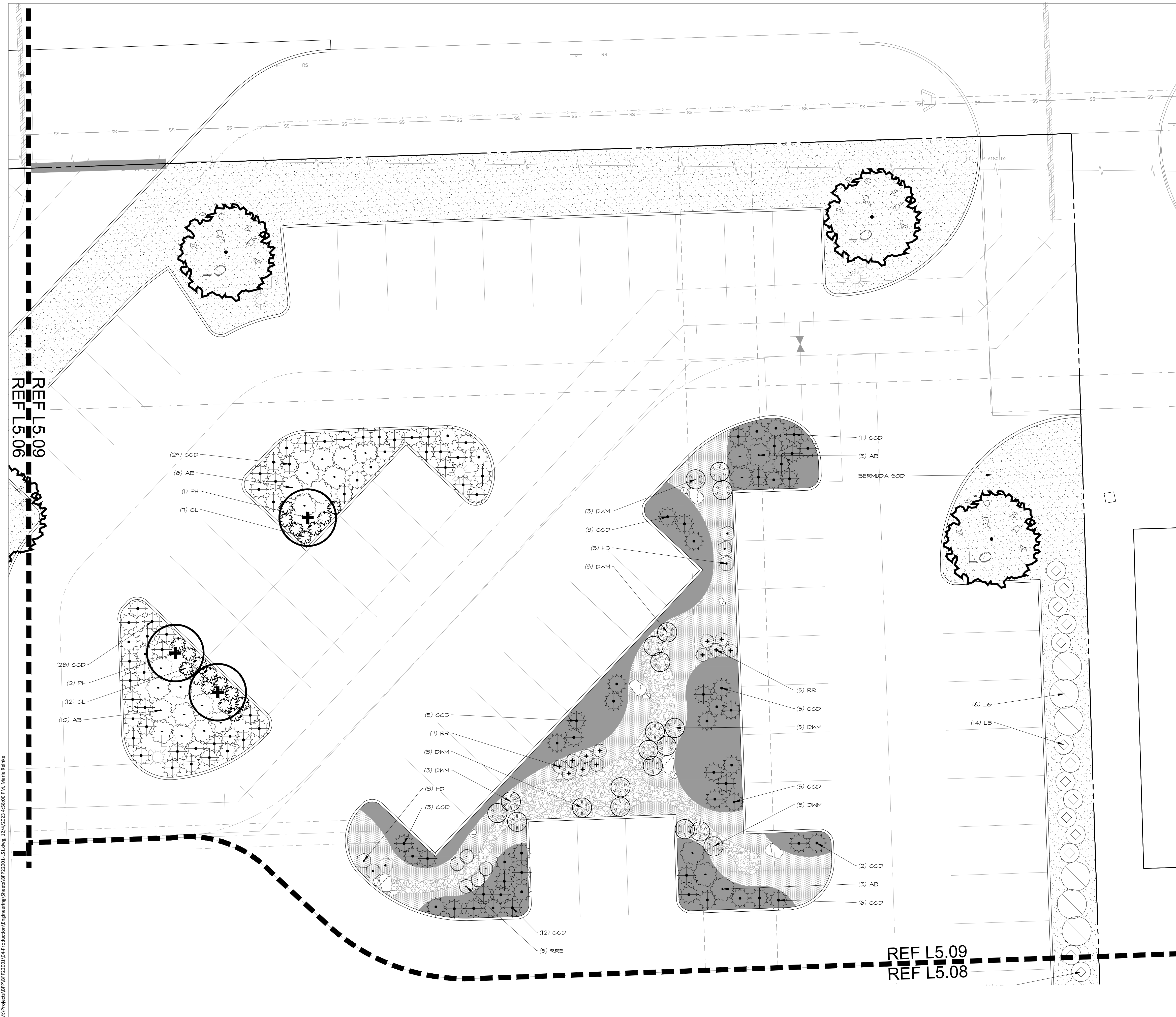
LANDSCAPE PLAN

**L5.08**

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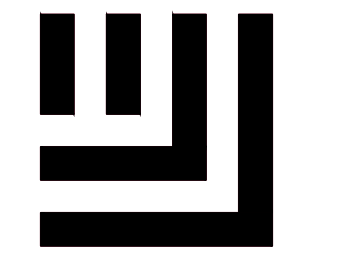
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REF L5.09  
REF L5.06

REF L5.09  
REF L5.08



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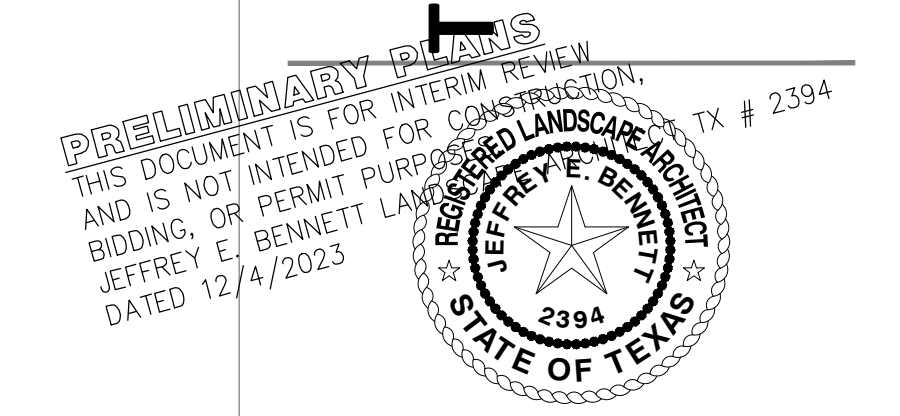
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**SHEET**

**LANDSCAPE PLAN**

**L5.09**

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PLANT SCHEDULE

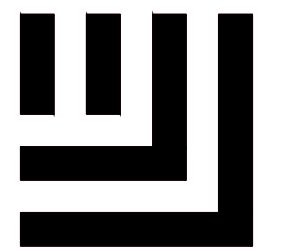
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT	REMARKS
<b>TREES</b>							
	LO	15	Southern Live Oak	Quercus virginiana	3"	10'-12'	PER PLAN
<b>ORNAMENTAL TREES</b>							
	RB	7	Eastern Redbud	Cercis canadensis	20 GAL	7'-8'	PER PLAN
	PH	18	Possumhaw Holly	Ilex decidua	20 GAL	7'-8'	PER PLAN
	PM2	12	Mexican Plum	Prunus mexicana	20 GAL	7'-8'	PER PLAN
	TML	9	Texas Mountain Laurel	Sophora secundiflora	20 GAL	7'-8'	PER PLAN
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD
<b>SHRUBS</b>							
	F5	19	Flame Acanthus	Anisacanthus quadrifidus wrightii	3 gal	18"	3'-0"
	BAM	25	Golden Goddess Hedge Bamboo	Bambusa multiplex 'Golden Goddess'	3 gal		
	AB	29	American Beautyberry	Callicarpa americana	3 gal	36"	
	SBB	75	Southern Beeblossom	Gaura angustifolia	3 gal	24"	4'-0"
	RY	56	Red Yucca	Hesperaloe parviflora	3 gal	12"	3'-0"
	DY	73	Dwarf Yaupon	Ilex vomitoria 'Nana'	3 gal	18"	24"-28"
	LB	47	Texas Sage	Leucophyllum frutescens 'Bertstar Dwarf'	3 gal	18"	PER PLAN
	LG	36	Green Cloud Texas Sage	Leucophyllum frutescens 'Green Cloud'	3 gal	18"	PER PLAN
	TC	60	Turk's Cap	Malvastrum drummondii	3 gal	36"	4'-0"
	DWM	29	Dwarf Southern Wax Myrtle	Myrica pusilla	5 gal	36"	4'-0"
	RR	42	Rock Rose	Pavonia lasiopetala	3 gal	12"	PER PLAN
	RRE	34	Rock Rose 'Ellen's Legacy'	Pavonia lasiopetala	3 gal	18"	PER PLAN
	YC	21	Buckley's Yucca	Yucca constricta	3 gal		
<b>ANNUALS/PERENNIALS</b>							
	AT	27	Texas Gold Columbine	Aquilegia chrysantha hinckleyana 'Texas Gold'	3 gal		
	AV	31	European Columbine	Aquilegia vulgaris	3 gal	12"	
	TP	73	Texas Primrose	Calylophus drummondianus berlandieri	3 gal		
	CMD	310	Damanita	Chrysactinia mexicana	3 gal		
	GMF	39	Gregg's Mistflower	Conoclinium greggii	3 gal		
	TL	65	Texas Lantana	Lantana urticoides	3 gal		
	BD	60	Blackfoot Daisy	Melampodium leucanthum	1 gal	12"	24"o.c.
	AD	69	Augusta Duelberg Mealy Sage	Salvia farnacea 'Augusta Duelberg'	3 gal		
	HD	49	Henry Duelberg Mealy Sage	Salvia farnacea 'Henry Duelberg'	3 gal		
	PAS	189	Purple Autumn Sage	Salvia greggii 'Purple'	3 gal		
	RRAS	85	Radio Red Autumn Sage	Salvia greggii 'Radio Red'	3 gal		
	PS	151	Pink Skullcap	Scutellaria suffrutescens	1 gal	12"	24"o.c.
	FA	122	Fall Aster	Symphotrichum oblongifolium	3 gal		
	CCD	124	Copper Canyon Daisy	Tagetes lemmonii	3 gal		
<b>BULBS</b>							
	TV	217	Society Garlic	Tulbaghia violacea	3 gal		

GRASSES

	SOG	268	Side Oats Grama	Bouteloua curtipendula	3 gal	18"	2'-0"
	CC	342	Cherokee Sedge	Carex cherokeensis	3 gal	6"	12"
	CL	120	Inland Sea Oats	Chasmanthum latifolium	3 gal	12"	2'-0"
	PM	271	Pink Muhly	Muhlenbergia capillans	3 gal	18"	3'-0"
	MF	594	Mexican Feathergrass	Nassella tenuissima	3 gal	12"	2'-0"

SYMBOL

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	HEIGHT	SPREAD
<b>GROUND COVERS</b>							
	CYDA	34,047 sf	Bermuda 419	Cynodon dactylon	Sod		
	TS	534	Four Nerve Daisy	Tetraneuris scaposa	3 gal		
	VW	438	Missouri Violet	Viola missouriensis	3 gal		



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DATED 12/4/2023



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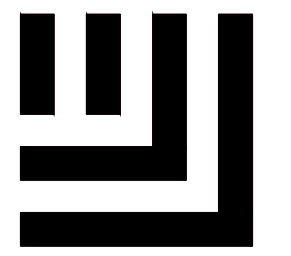
PLAN INFORMATION

PROJECT NO. BFP22001  
FILENAME BFP22001-LS1.DWG  
CHECKED BY JEB  
DRAWN BY MMR  
SCALE #####  
DATE 10.2.2023

SHEET

LANDSCAPE PLAN

L5.10



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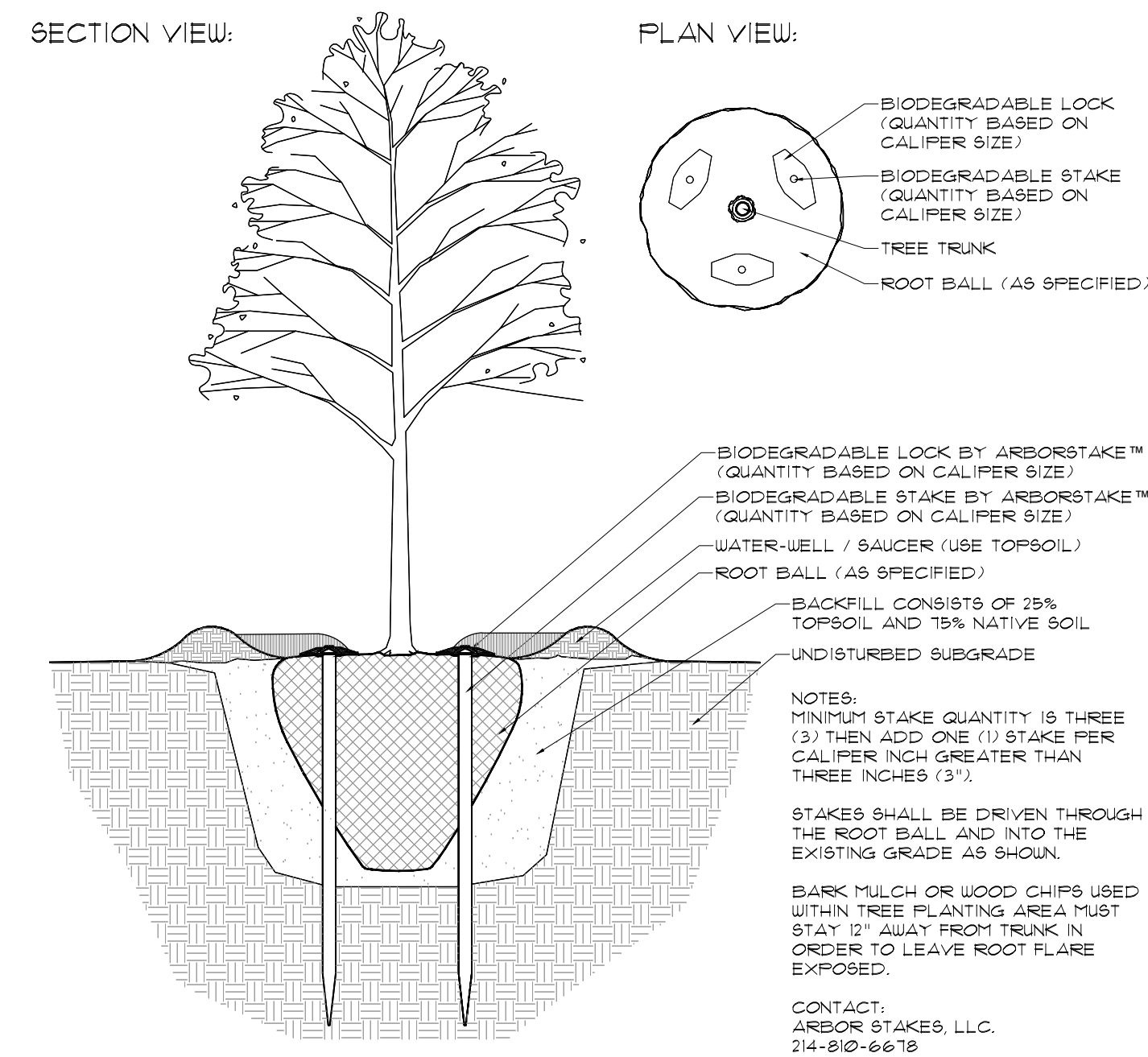
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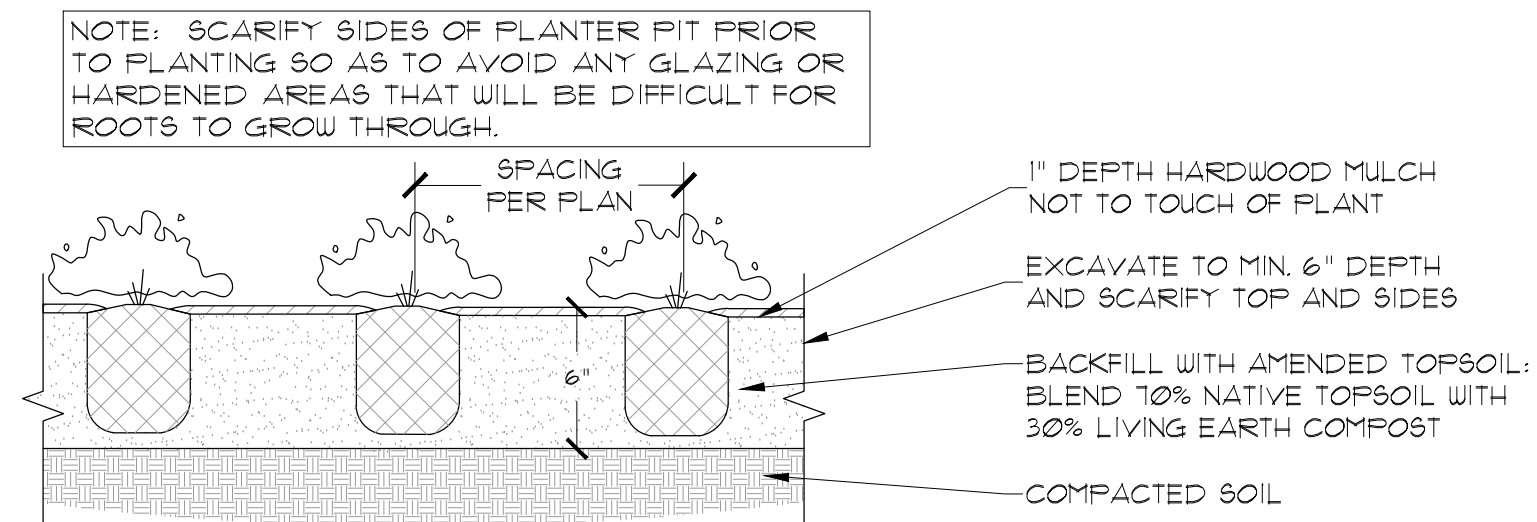
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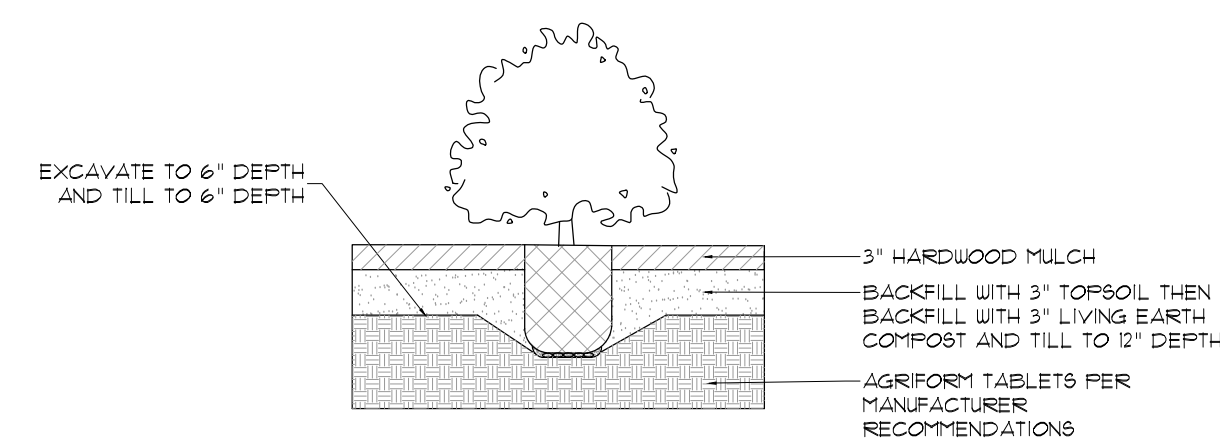
## THE RESERVE AT MARTY B'S CONSTRUCTION PLANS 1001 I.T. NEELY DRIVE TOWN OF BARTONVILLE, TX, 76226



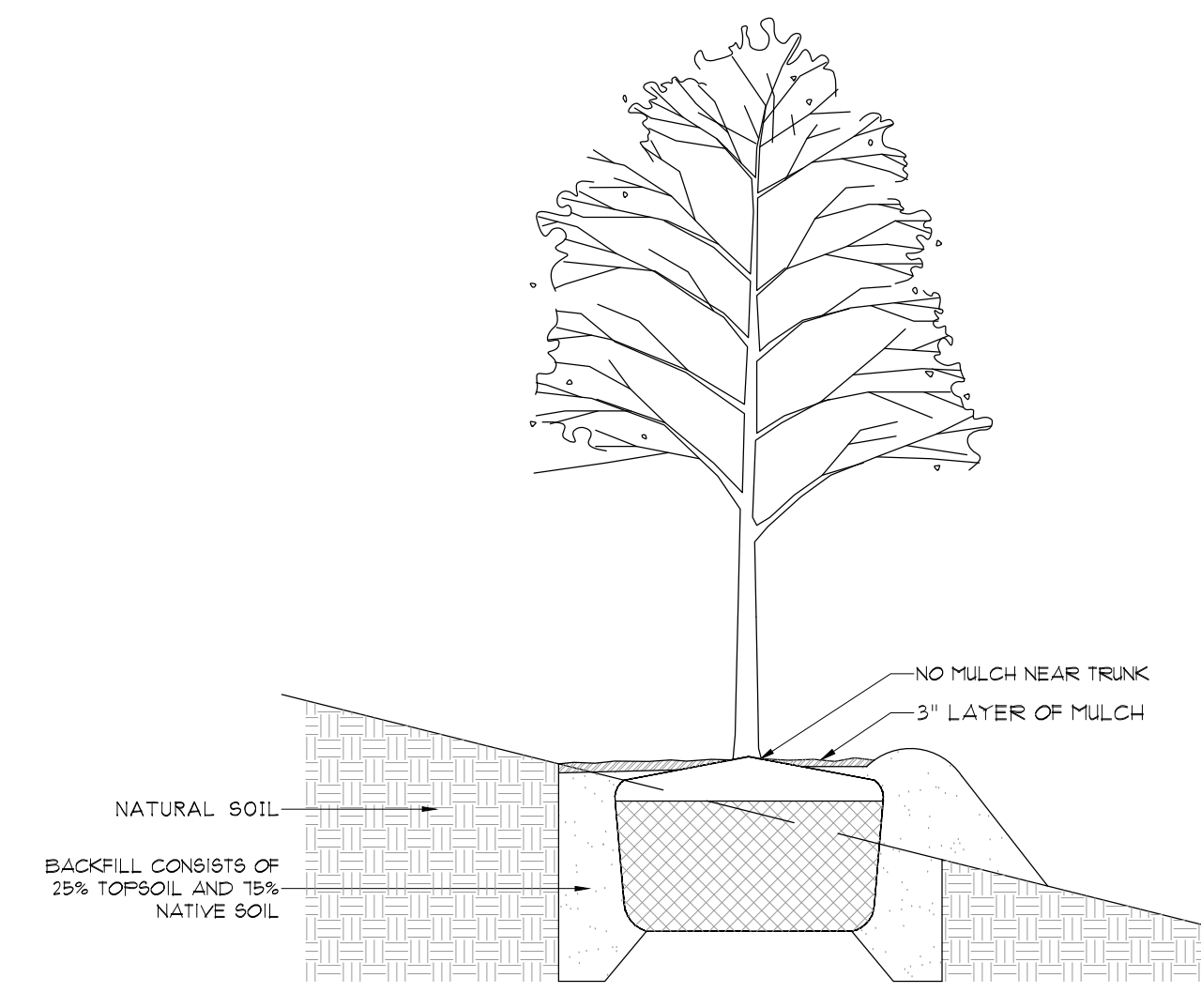
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1/4"=1'



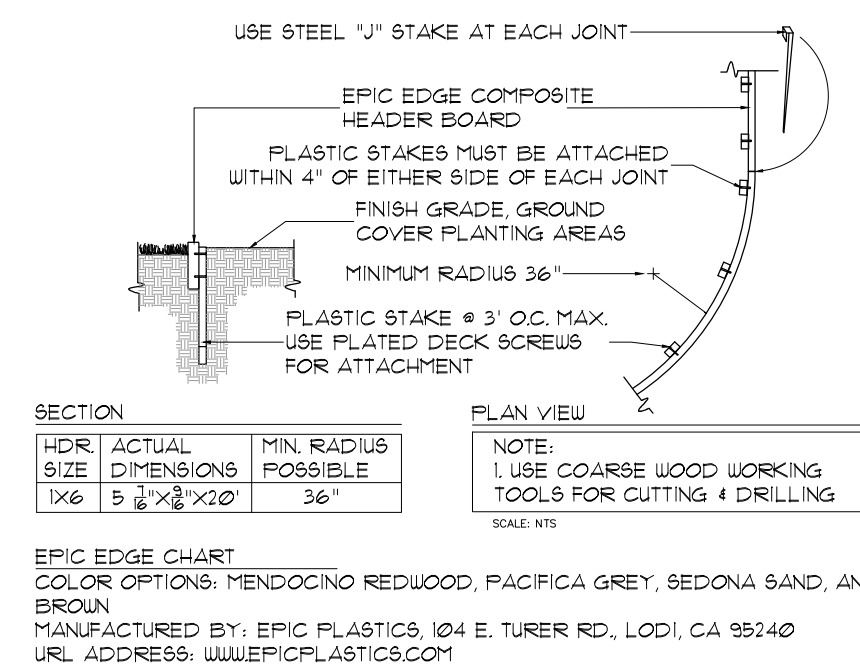
2. GROUNDCOVER PLANTING DETAIL  
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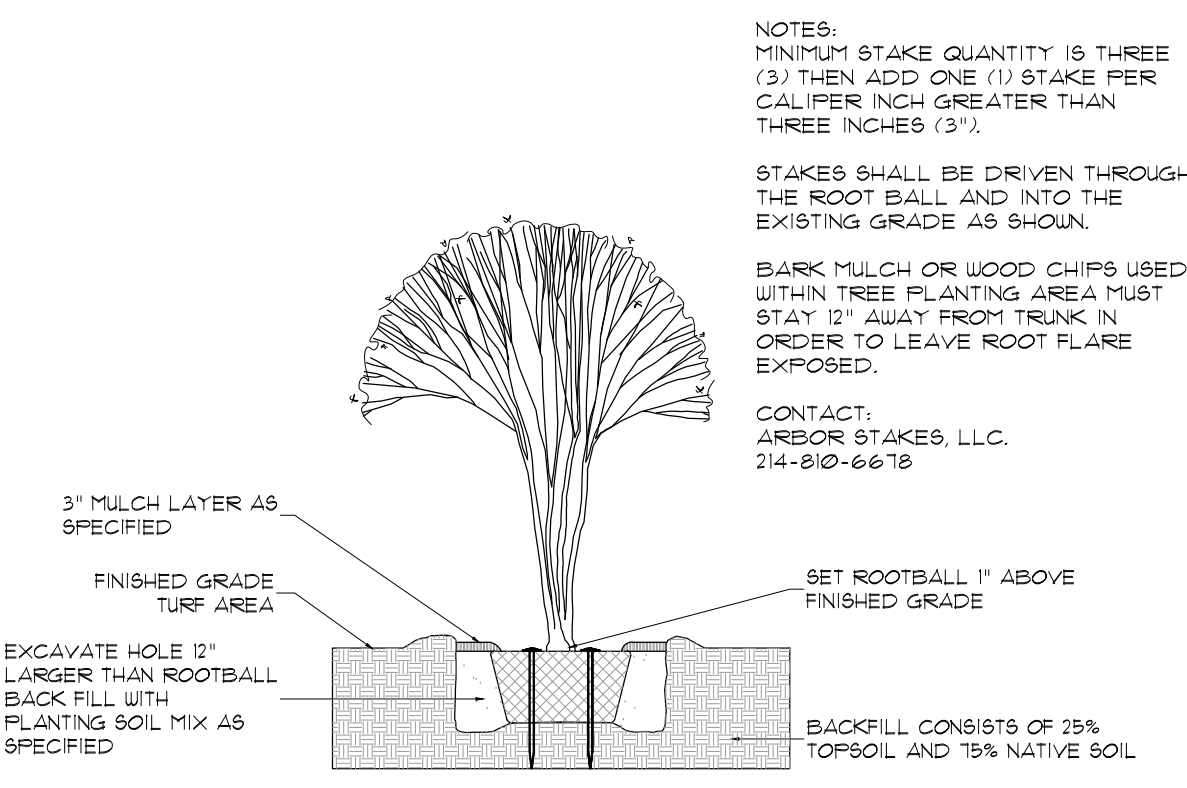
3. SHRUB PLANTING DETAIL  
1/2"=1'



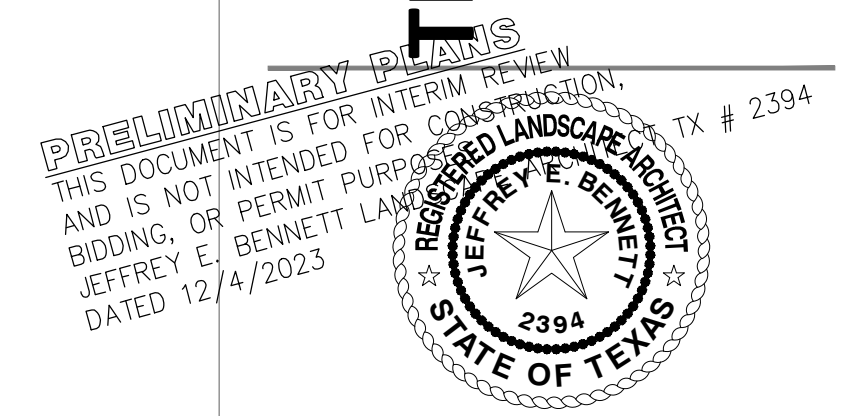
6. TREE PLANTING ON A SLOPE  
1/4"=1'



4. EPIC EDGE COMPOSITE HEADER BOARD  
NOTES



5. MULTI TRUNK TREE STAKING  
1/4"=1'



## REVISIONS

NO.	DATE	DESCRIPTION
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## PLAN INFORMATION

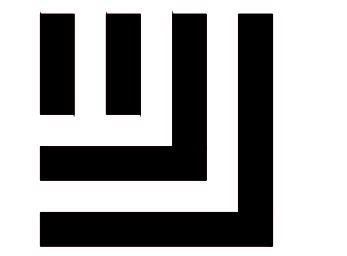
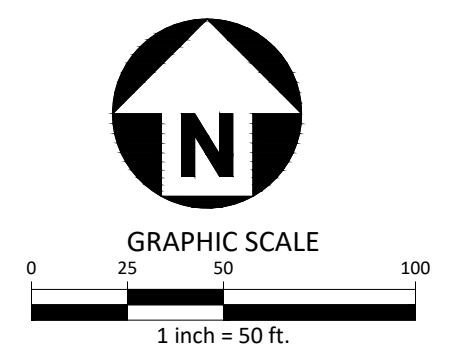
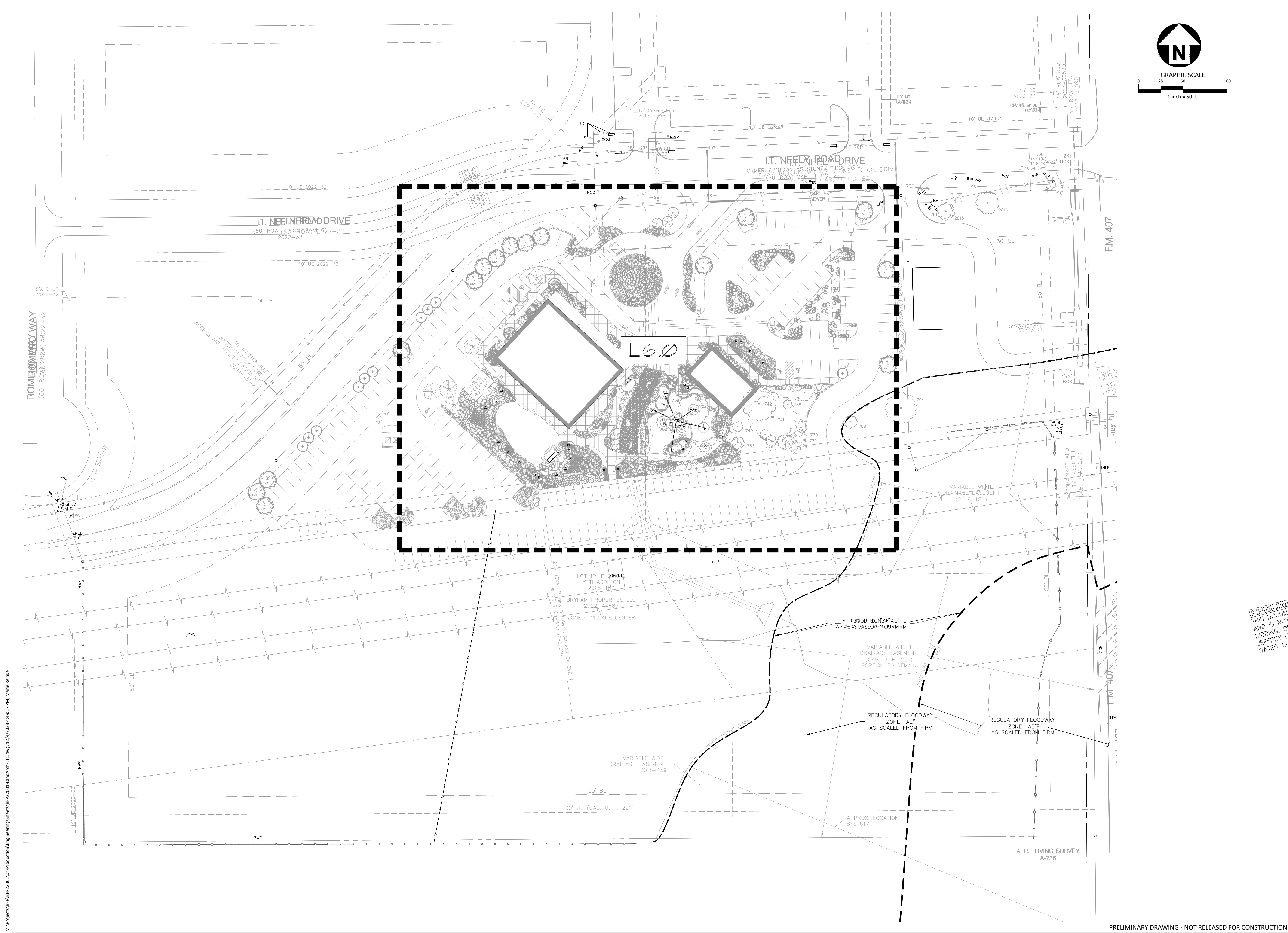
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FILENAME	BFP22001-LANDARCH-LD1.DWG
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DRAWN BY	MMR
SCALE	AS SHOWN
DATE	10.2.2023

## SHEET

## LANDSCAPE DETAILS

# L5.11





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 JEFFREY E. BENNETT LANDSCAPE ARCHITECTS  
 DATED 12/4/2023 TX # 2394



**REVISIONS**

NO.	DATE	DESCRIPTION

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PROJECT NO. BFP22001  
 FILENAME BFP22001-LANDARCH-LT1.DWG  
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 SCALE 50 SCALE  
 DATE 10.2.2023

**SHEET**

**LIGHTING PLAN**

**L6.00**

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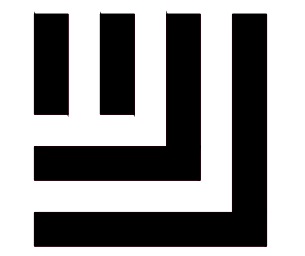
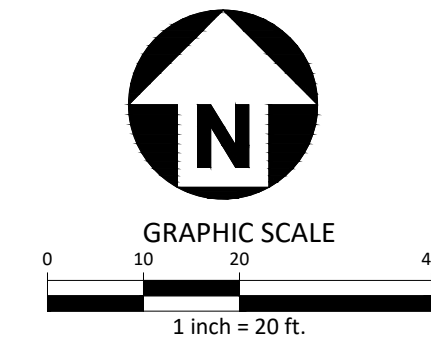


THE RESERVE AT MARTY B'S  
LIGHTING SCHEDULE

Luminaire Schedule

Symbol	Qty	Arrangement	Description
△	18	SINGLE	LANDSCAPE UP LIGHT - 120V LED LANDSCAPE BULLET
□	18	SINGLE	LANDSCAPE DOWN LIGHT - 120V LED LANDSCAPE BULLET
△	5	SINGLE	WALL MOUNTED LIGHT
—	8	SINGLE	STEP RISER LIGHT
○	2	SINGLE	OUTDOOR POST LANTERN
—	157 LF	SINGLE	FESTOON STRING LIGHTS

\*BLACK FINISH



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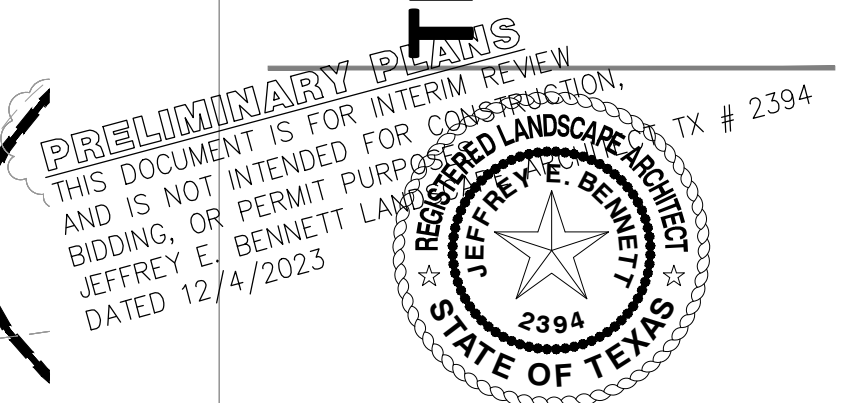
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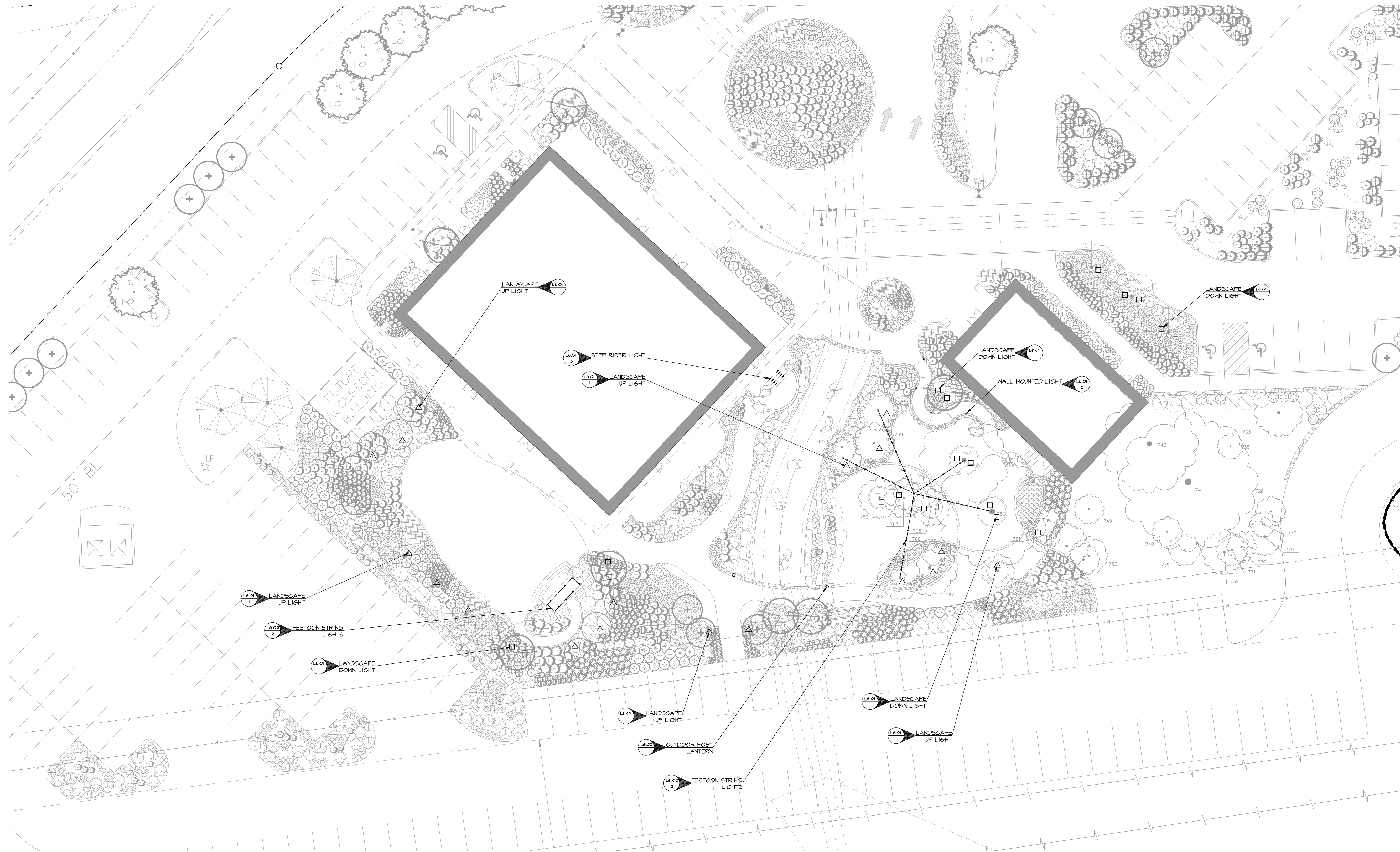
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**LIGHTING PLAN**

**L6.01**

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## GM2 SERIES

### Genesis Gen2 Medium 120V LED Landscape Bullet

Patent: D0648056



SERIES	HOUSING HEIGHT	LENGTH & WIDTH
GM2	4.1"	5.5" x 3.0"

LISTINGS - ETL listed for wet locations. Meets US and Canadian safety standards. 40°C to 50°C ambient operation.

WARRANTY - Techlight warrants the LED lighting Product(s) to be free from defects in material and workmanship for a period of three years for LED Light Engines and LED Power Components, from the date of shipment. Ground mounted products that are provided standard with our proprietary E-Cool embedded joint to the application of a powdercoat finish will carry a full 13 year fresh warranty. Proper maintenance is required for full fresh warranty.

#### FEATURES & SPECIFICATIONS

**APPLICATION** - The Genesis Gen2 Medium 120V LED Landscape Bullet are the most versatile LED fixtures on the market today. Various beam spreads and wattages allow for a customized finish to any property. The high end residential grade system was designed for 120V operation residential applications.

**CONSTRUCTION** - The die cast aluminum heat sink has 12 heat dissipating fins to maintain a cool operating LED for maximum life. The fins are independently approved to allow for unobstructed airflow. The fixture is designed to efficiently perform in any mounting orientation.

**FINISH** - A cathodic epoxy electrocoat primer or E-Coat is applied to all die cast aluminum components. E-Coating provides the ultimate in corrosion and chemical resistance, providing superior salt spray, humidity and cyclic corrosion endurance. After the E-Coat is applied a super durable polyester powder coat finish is electrostatically applied in our state of the art paint facility. Standard colors available: Black, Bronze, OD Green, White. Custom colors available upon request.

**OPTICAL SYSTEM** - Techlight's proprietary OptiSystem™ utilizes Each system is provided with a high performance convex lens that provides beam spread with low beam center/broadside beam spread. Lenses are field changeable. A 98% reflective UV stabilized specular reflector is included with each system. The convex lenses and shields are configured to ensure water runs off and debris is washed clear of the lens in an up light application. A variety of glass lens filters are available to help meet your specific lighting needs.

**ELECTRICAL SYSTEM** - NOTE: A Techlight Surge Protector must be incorporated into the LED system at the beginning of each circuit as a minimum. Failure to do so will void the system warranty. Fixture operates at 120V input voltage. Nominal open circuit current: 0.8 amps. A 17 watt LED source provides approximately 1000 (CRI) Lumens of light. System is compatible with the use of remote TRAC Controller.

**MOUNTING** - The die-cast aluminum mount is secured to the wall with stainless steel screws and is sealed with an integral o-ring. A 1/2" threaded knuckle is provided standard.

**ORDERING INFORMATION** - Choose the best size option for the appropriate beam configuration for your application and enter on the line above each fixture attribute. Accessories may be factory installed, depending on the particular accessory chosen, but still be ordered as a separate line item.

SKU: GM2FL17CW1200DG

GM2	DISTRIBUTION	WATTAGE	COLOR TEMP	VOLTAGE	FINISH
FL - Flood Light	17 - 17W	120 - 120 VAC	CW - Cool White	BZ - Bronze	ODG - OD Green
SP - Spot Light			NW - Neutral White	WH - White	SP - Special
			WH - Warm White		
			CHI - 650		

ACCESSORIES (Order as separate line item)

- SGM2DN60 Downlight Shield
- SGM2UP30 Uplight Shield
- SGM2TUBE Tube Shield
- BO1GL Tee Base with Ground Lug
- TLB020 1/2" Conical Base, OD Green
- BO3 4" Round 2 Inck Cover
- B16-12 Palm Tree Base with 12 Strip
- TLBBJB Brass Junction Box
- LMSB 20" x 2.5" Mounting Stake
- LEDMP12LENS Green Glass Lens (each)
- LEDM12LENS Blue Glass Lens (each)
- TLHB00RCH Digital Timer
- PL1613 16 Gauge 3 Strand Lead Wire
- 100180 120-277V 18W Surge Protector
- GM2CAPCVKFLDREFL 60° Flood OptiSystem™ Field Installable Flood Optic
- GM2CAPSPVKTREFL 20° Spot OptiSystem™ Field Installable Spot Optic

NOTES

- 1 - Custom RAL color matching is available. Contact your sales representative for additional info.
- 2 - A Techlight Surge Protector must be incorporated into the LED system at the beginning of each circuit as a minimum. Failure to do so will void the system warranty.

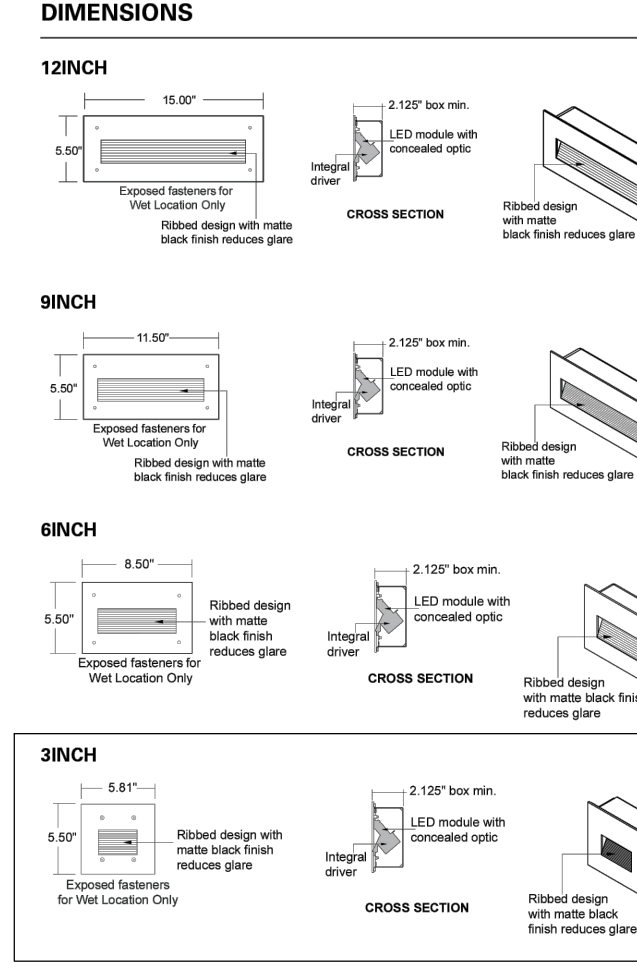


## 1. LANDSCAPE LIGHTING - UP & DOWN LIGHTS



### HSL13 Static White and Static Color Step Light 13

- HIGHLIGHTS**
- Integral Driver
  - Long throw distribution
  - Standard 0-10V dimming option
  - Die-cast housing with solid aluminum, brass, or stainless steel faceplate
  - Wet location listed
  - Back Box provided by Hydrel or by others
  - Suitable for concrete pour if BB option is chosen or Steel City back box is used



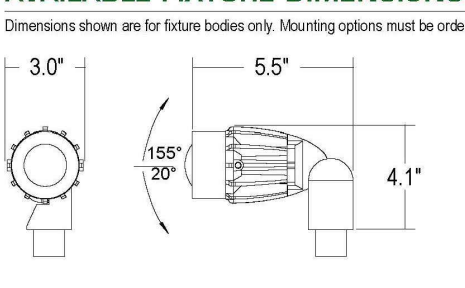
Distribution	Delivered Lumens	Input Watts	Lumens/Watt
3INCH	87	3	29
6INCH	194	5	39
9INCH	299	8	37
12INCH	386	11	37

Performance data based upon 30K LED (BCRI)

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Phone: 800-705-SERV (7378) • www.hydrel.com

## GM2 Genesis Gen2 Medium 120V LED Landscape Bullet

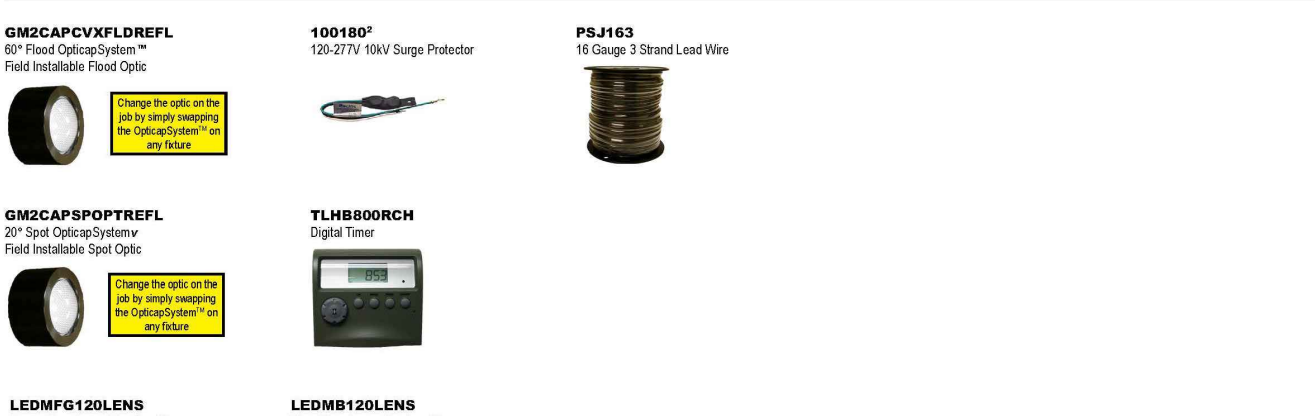
#### AVAILABLE FIXTURE DIMENSIONS



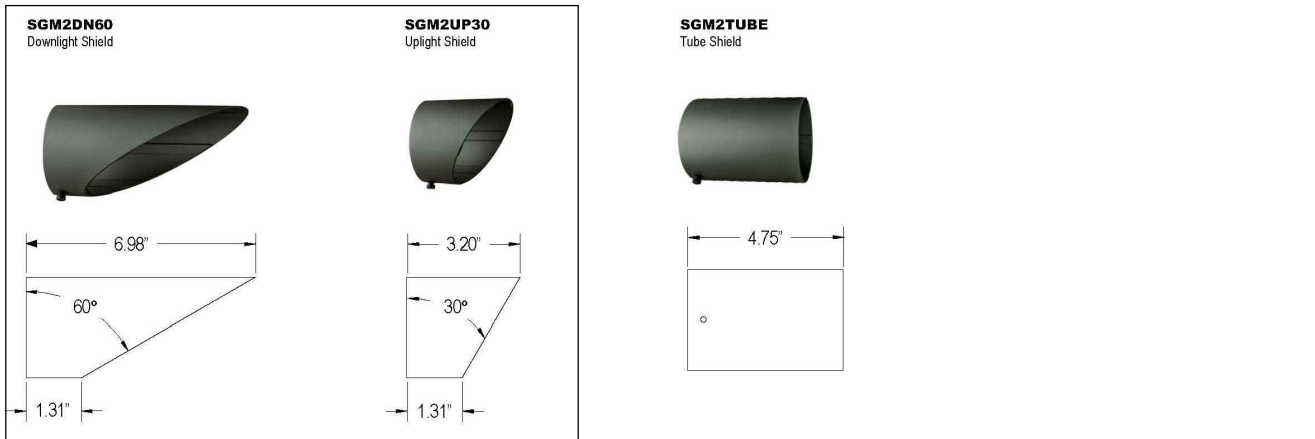
#### MOUNTING ACCESSORIES



#### ADDITIONAL FIXTURE ACCESSORIES



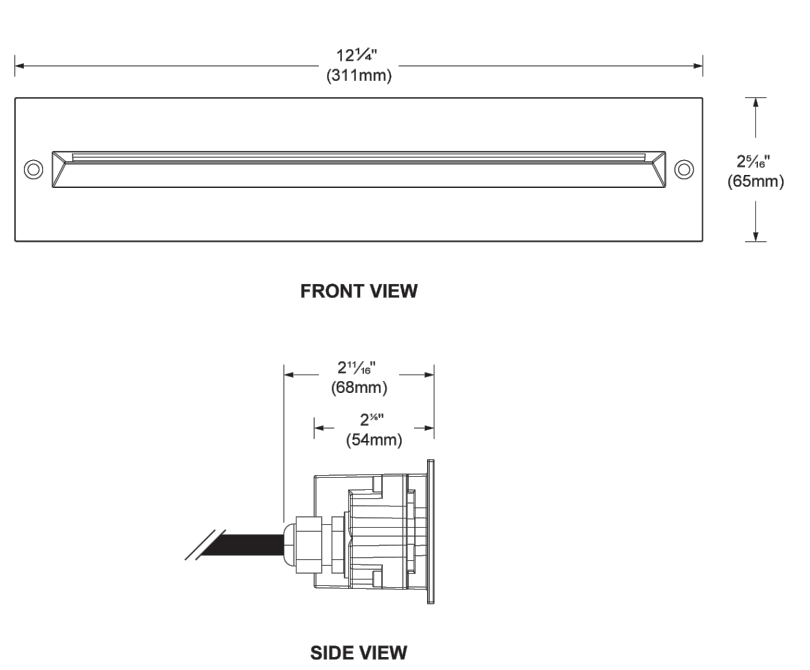
#### SHIELDS



© 2013-2023 Acuity Brands Lighting, Inc. • One Lithonia Way, Covington GA 30022  
Phone: 800-705-SERV (7378) • www.hydrel.com

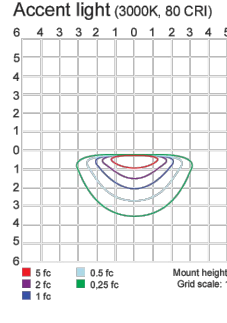
#### MARKER

#### DIMENSIONS



#### PHOTOMETRIC DATA

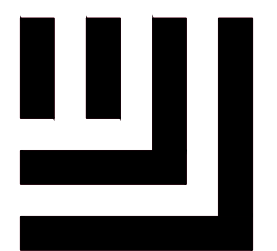
CCT (K)	CRI	LOAD (W)	OPTIC	LUMENS (lm)	EFFICACY (lm/W)	MAX CANDELA	MODELS
3000K	80	8.3W	Accent light	96	9	78	S6325W
4000K				104	12	84	S6325N



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Phone: 800-705-SERV (7378) • www.hydrel.com

## 3. STEP RISER LIGHTS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



## McAdams

The John R. McAdams Company, Inc.  
111 Hillside Drive  
Lewisville, Texas 75057

phone 972.436.9712  
fax 972.436.9715  
TBPE: 19762 TBPLS: 10194440

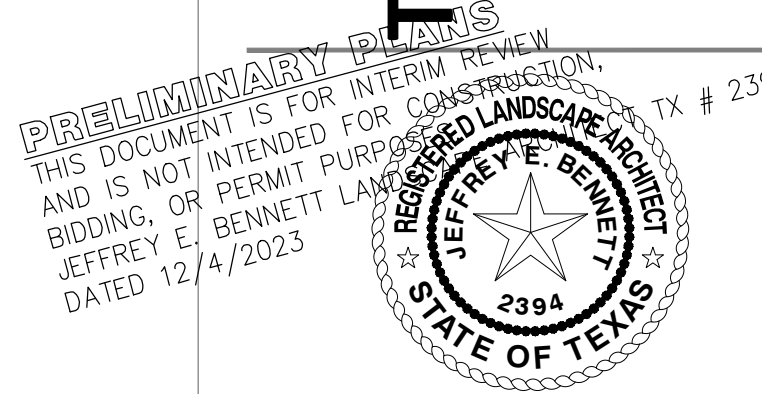
www.mcadamsco.com

#### CLIENT

BRYFAM PROPERTIES, LLC  
913 HAT CREEK COURT  
BARTONVILLE, TX 76226  
MARTYWBRYAN@GMAIL.COM  
972.819.5177



THE RESERVE AT MARTY B'S  
CONSTRUCTION PLANS  
1001 I.T. NEELY DRIVE  
TOWN OF BARTONVILLE, TX, 76226



#### REVISIONS

NO.	DATE	DESCRIPTION

#### PLAN INFORMATION

PROJECT NO. BFP22001  
FILENAME BFP22001-LANDARCH-LT1.DWG  
CHECKED BY JEB  
DRAWN BY MMR  
SCALE AS SHOWN  
DATE 10.2.2023

#### SHEET

#### LIGHTING DETAILS

# L6.02

M:\Projects\BFP22001\44-Production\Engineering\Sheets\BFP22001-LandArch-LT1.dwg - 12/4/2023 4:50:00 PM, Marie Reinke



## 9865BK

### FRENCH COUNTRY 3 LIGHT OUTDOOR POST LANTERN

Black  
UPC: 841224009420

Available Finishes: BK (Black)



#### DIMENSIONS

Fixture Dimensions: 8"W x 21"H  
Fixture Weight: 4 lbs.  
Min. Hanging Height: 0"

#### LAMPING INFORMATION

Lamping: 3 - 40 Watt E12 Candelabra  
No. of Sockets: 3  
Max. Wattage Per Bulb: 60  
Socket Base: Candelabra  
Bulb Included: No  
Recommended Bulb: B10  
Voltage: 120V  
UL Rating: UL listed. Rated for Wet locations.

#### GLASS DESCRIPTION

Clear Beveled Glass  
Glass Dimensions: 6.25"W x 2.75"H  
Glass Part #: G9865

#### SHIPPING INFORMATION

Carton Dimensions:  
8.25"W x 17"H x 8.25"L  
Carton Weight: 5.5 lbs.  
Shipping Method: Standard Ground

#### ADDITIONAL INFORMATION

Fits 3 Post (sold separately).

Designed in Atlanta. Manufactured in China.

JOB/LOCATION: \_\_\_\_\_

QUANTITY: \_\_\_\_\_

NOTES: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



5359 Rafe Banks Drive, Flowery Branch, GA, 30542  
TF: 800.323.3257 | P: 770.965.7238 | F: 770.965.7254 | W: capitalightingfixture.com

Last updated: 12/21/2022

## 929902BK

### OUTDOOR PIER MOUNT FLANGE

Black  
UPC: 841740129640

Available Finishes: BK (Black) OZ (Oiled Bronze)



#### DIMENSIONS

Fixture Dimensions: 5.75"W x 3.5"H  
Fixture Weight: 0.5 lbs.  
Min. Hanging Height: 0"

#### SHIPPING INFORMATION

Carton Dimensions:  
6.25"W x 4.25"H x 6.25"L  
Carton Weight: 1 lbs.  
Shipping Method: Standard Ground

Designed in Atlanta. Manufactured in China.

JOB/LOCATION: \_\_\_\_\_

QUANTITY: \_\_\_\_\_

NOTES: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



5359 Rafe Banks Drive, Flowery Branch, GA, 30542  
TF: 800.323.3257 | P: 770.965.7238 | F: 770.965.7254 | W: capitalightingfixture.com

Last updated: 12/21/2022

## 1. OUTDOOR POST LANTERN

NTS

LINEAR LIGHTING / LS2-M

AMERICAN LIGHTING

### LIGHT STRING

Commercial Grade E26 Interconnectable Kits

Commercial E26 Medium base stringers are perfect for any outdoor patio or lighting display. Commercial grade stringers are weather resistant and designed for long term usage. Includes guy-wire loop for additional support for large spans or spaces. E26 base sockets are perfect for any standard LED or incandescent bulbs giving you the creative freedom for your lighting display.

- Great decorative lighting product for patios, gazebos, building outlines, event tents, and retail walkways
- Factory-molded, formulated PVC sockets on heavy-duty wire form a tight weather resistant seal around bulbs
- Suitable for indoor and outdoor commercial applications
- E26 Medium base decorative bulbs sold separately
- cTUVus Listed

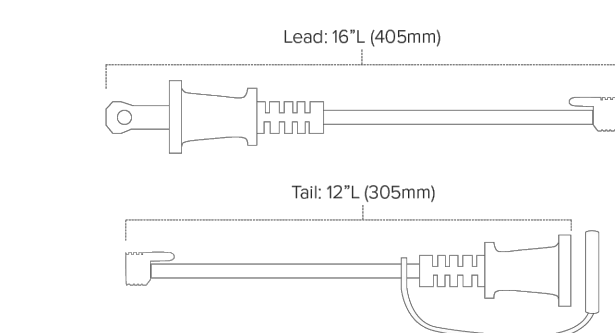
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TYPE: \_\_\_\_\_  
LOCATION: \_\_\_\_\_  
CATALOG NUMBER: \_\_\_\_\_



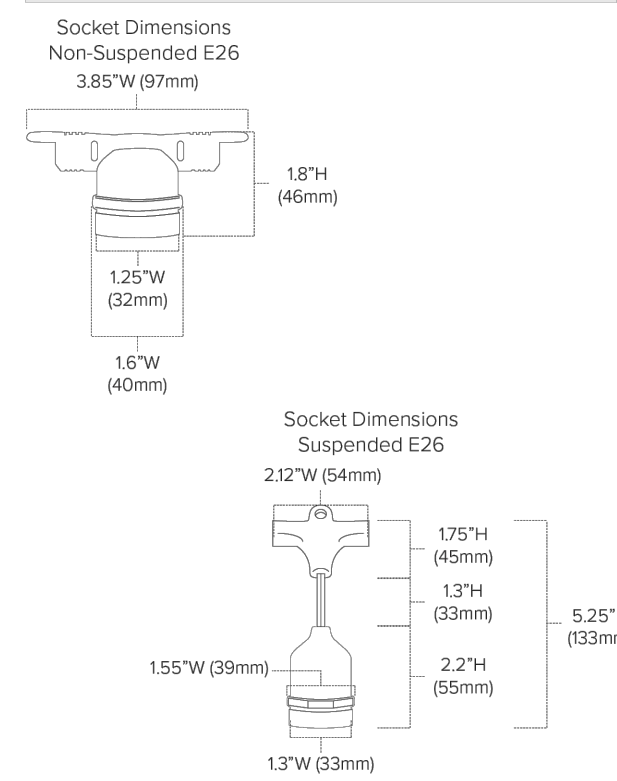
#### LS2-M SERIES QUICK SPECS

SERIES	LS2-M
INPUT VOLTAGE	120V AC
WATTAGE	25W per socket
MAX RUN	1200W
CABLE TYPE	14AWG SJTW 2-Wire
SOCKET TYPE	E26
SOCKET SPACING	24"
CUT INCREMENTS	Field cuttable (Must be properly sealed)
IP RATING	IP64 - Wet Location
RATING	cTUVus Listed

LED incandescent style kits are cTUVus Listed to standard UL259 for wet location all year use. However safety rating is void if product is cut. Not intended for installation in ceilings, soffits, cabinets or other enclosed spaces.  
Keep lamps at least 4.9mft away from pools and spas.



#### LS2-M SERIES QUICK DIMENSIONS



www.AmericanLighting.com Sales@AmericanLighting.com | Denver, CO | 800.880.1180 ©2022 American Lighting Inc. REV.2222

## 2. FESTOON STRING LIGHTS

NTS

259

LINEAR LIGHTING / STANDARD LED S14

PERFORMANT  
TRADITIONAL LIGHTING SYSTEMS  
TASK LIGHTING  
DOWNLIGHTING  
LINEAR LIGHTING  
POWER SUPPLIES  
ARCHITECTURAL LIGHTING



#### Features

- Only 15 watts per bulb - 7 LED diodes per bulb with transparent faceted lens
- E26 nickel base with durable plastic lens cover resists breakage, corrosion, and fading
- Dimmable with most CL or TRIAC dimmers\*
- Suitable for indoor/outdoor use
- Sold in boxes of 25 and cases of 250

#### Available CCT



3000K

#### Listing / Ratings

- Indoor/outdoor use

#### Standard LED S14

LED S14 lamps for direct replacement of 11W incandescent versions, saving 87% in running costs. For use with commercial grade light string (sold separately).

#### Technical Information

Series	S14-LED
Input Voltage	120V AC, 60Hz
Colors	3000K
Wattage	15W
IP Rating	IP45
Dimmable	10-100%*
Rating	Suitable for indoor/outdoor use
Rated Life	25,000 hrs

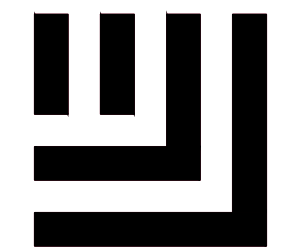
\*Minimum loads will apply

#### Ordering Information

<b>S14-LED-WW</b>	Transparent / Warm White 3000K / 34lm
-------------------	---------------------------------------

AMERICAN LIGHTING

www.AmericanLighting.com



## McADAMS

The John R. McAdams Company, Inc.  
111 Hillside Drive  
Lewisville, Texas 75057

phone 972.436.9712  
fax 972.436.9715  
TBPE: 19762 TBPLS: 10194440

www.mcadamsco.com

#### CLIENT

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913 HAT CREEK COURT  
BARTONVILLE, TX 76226  
MARTYWBRYAN@GMAIL.COM  
972.819.5177



THE RESERVE AT MARTY B'S  
CONSTRUCTION PLANS  
1001 I.T. NEELY DRIVE  
TOWN OF BARTONVILLE, TX, 76226

PRELIMINARY PLANS  
THIS DOCUMENT IS FOR INTERIM REVIEW  
AND IS NOT INTENDED FOR CONSTRUCTION,  
BIDDING, OR PERMIT PURPOSES.  
JEFFREY E. BENNETT LANDSCAPE ARCHITECT  
DATED 12/4/2023 TX # 2394



#### REVISIONS

NO.	DATE	DESCRIPTION
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#### PLAN INFORMATION

PROJECT NO. BFP22001  
FILENAME BFP22001-LANDARCH-LT1.DWG  
CHECKED BY JEB  
DRAWN BY MMR  
SCALE AS SHOWN  
DATE 10.2.2023

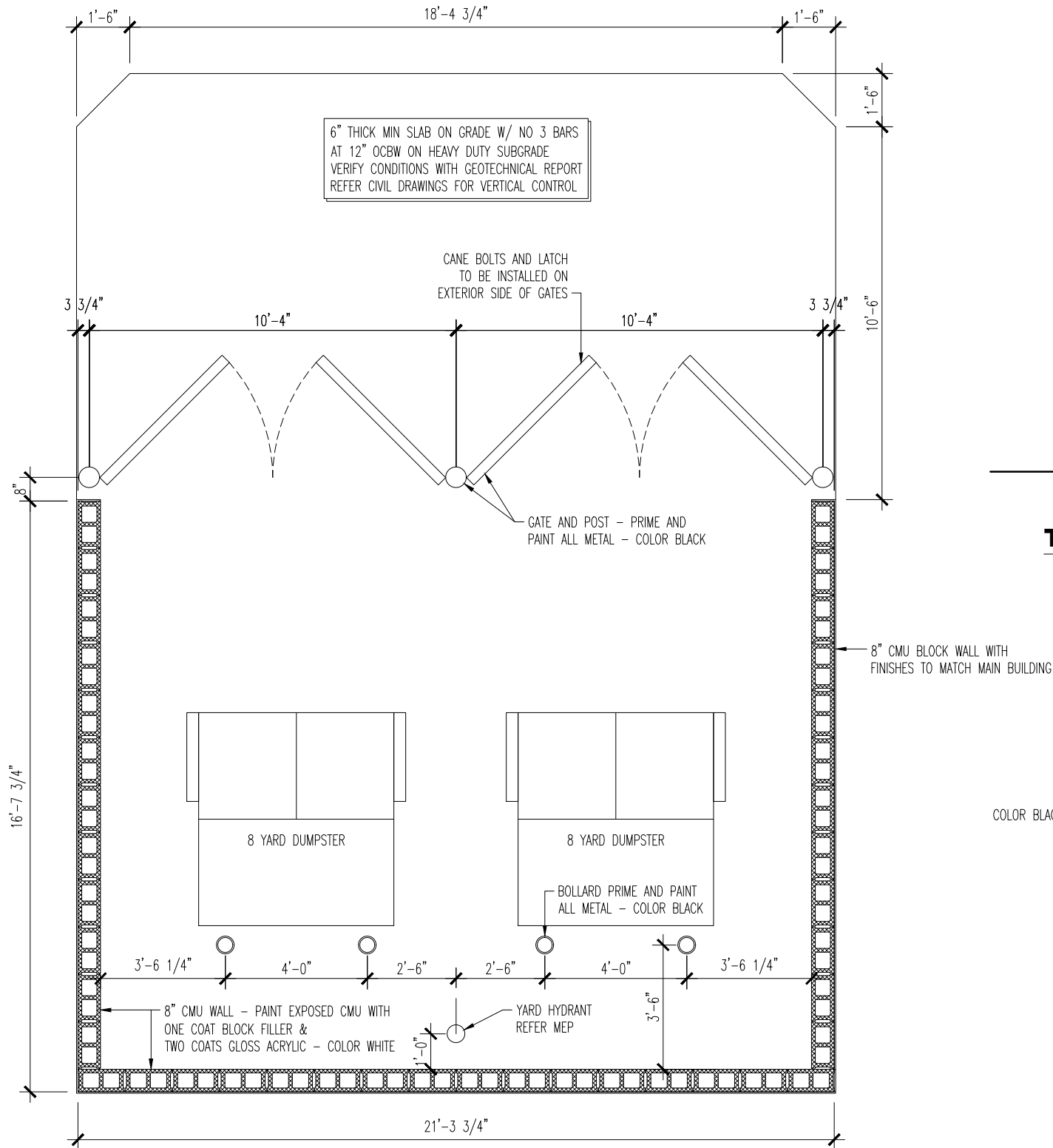
#### SHEET

LIGHTING DETAILS

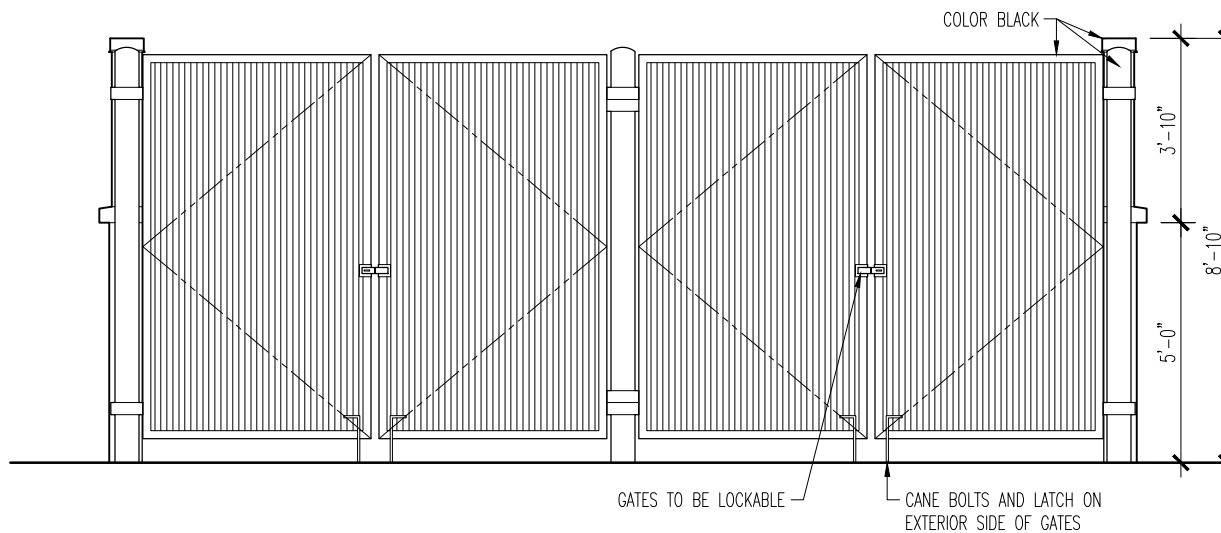
# L6.03

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

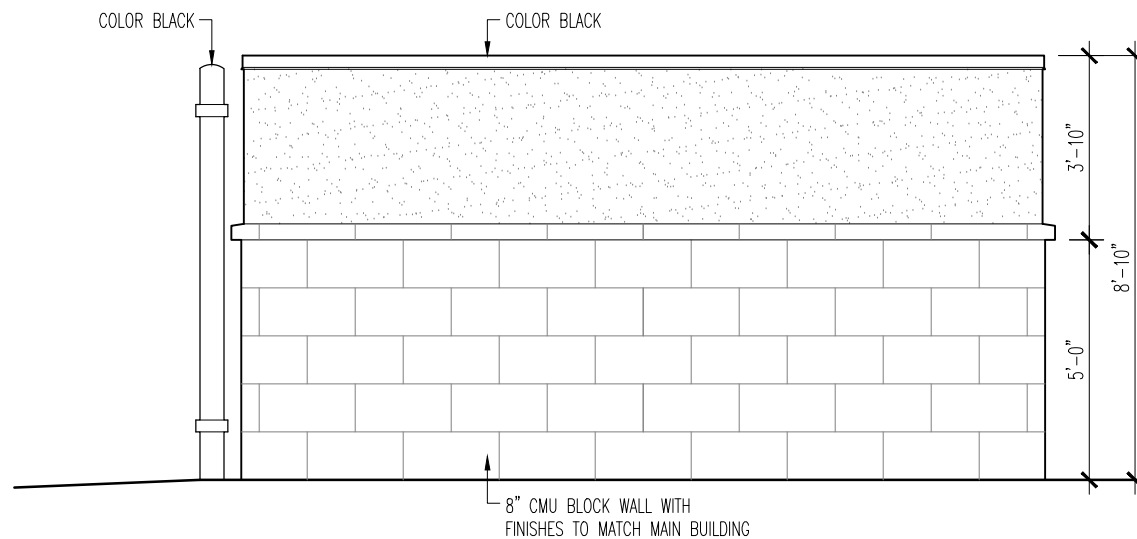




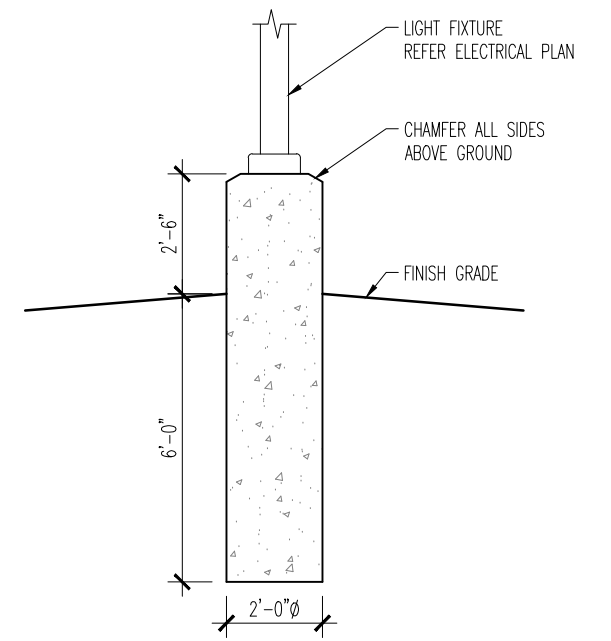
**TRASH ENCLOSURE - PLAN VIEW**



**TRASH ENCLOSURE - ELEVATION**

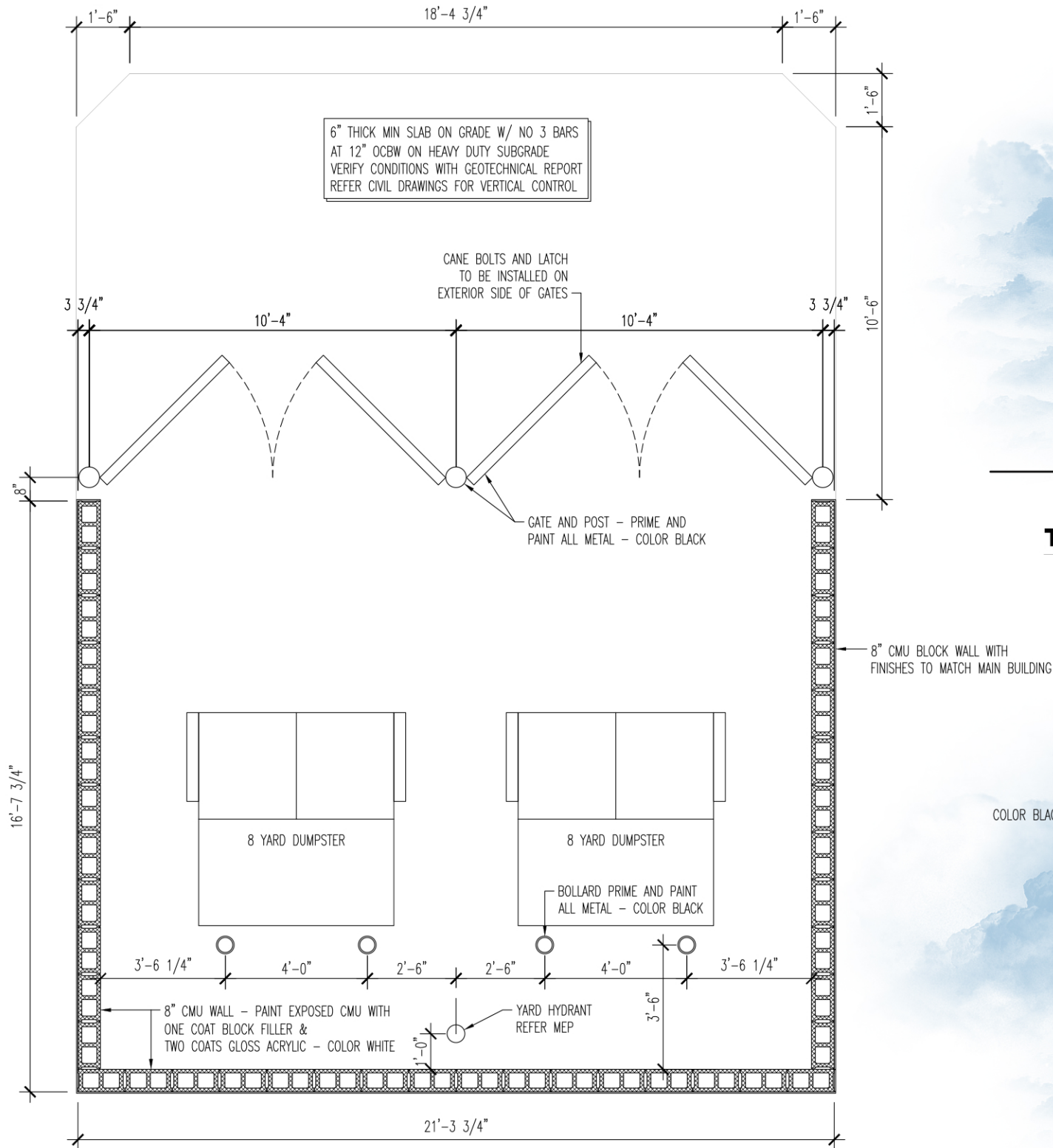


**TRASH ENCLOSURE - ELEVATION**

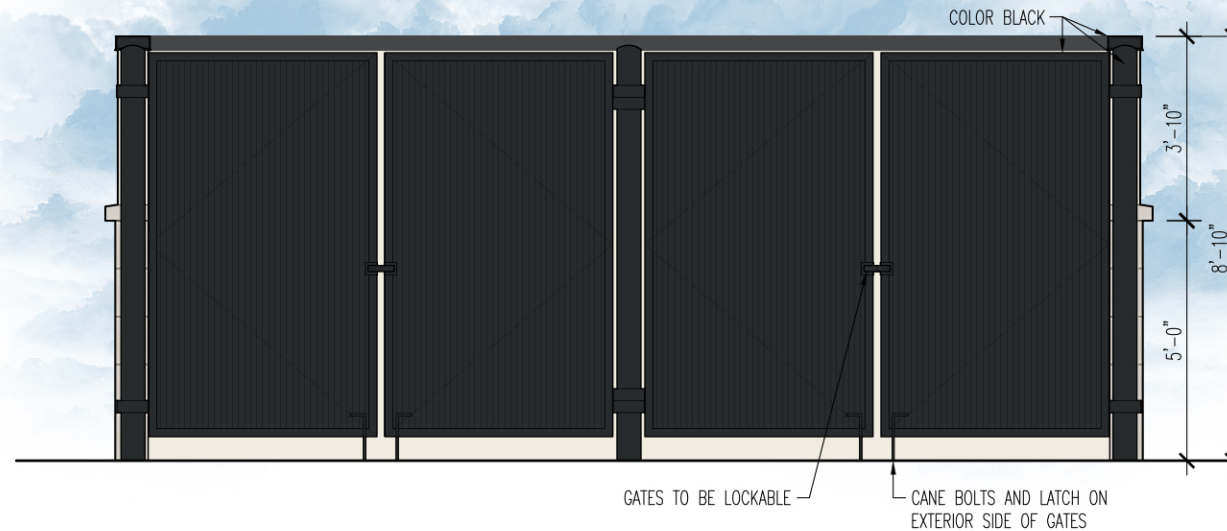


**LIGHT POLE BASE**

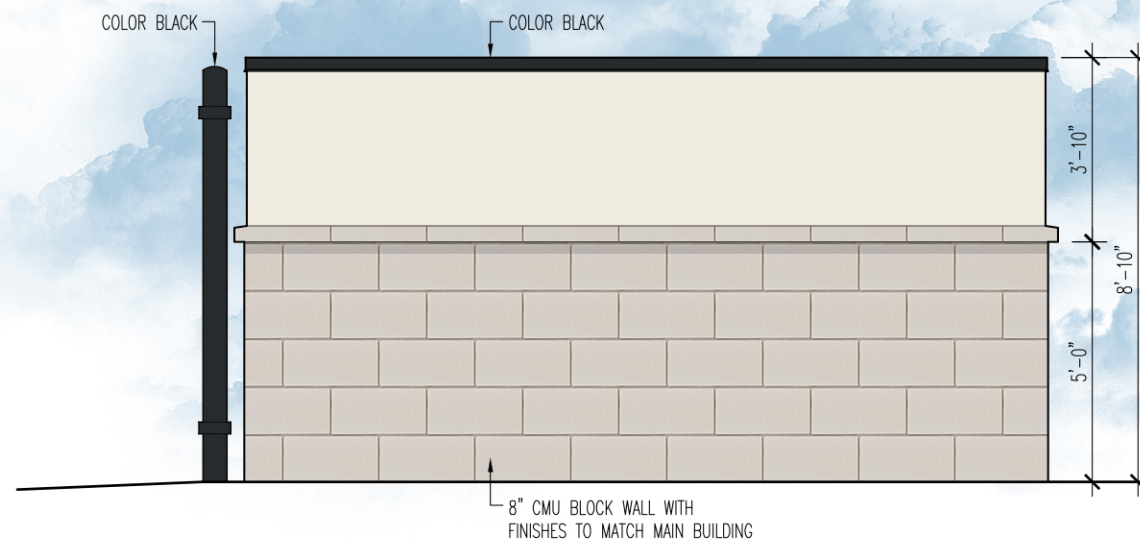




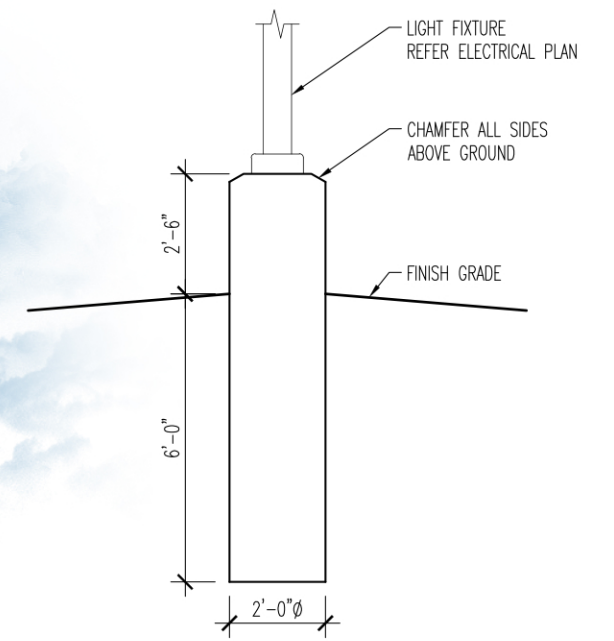
**TRASH ENCLOSURE - PLAN VIEW**



**TRASH ENCLOSURE - ELEVATION**



**TRASH ENCLOSURE - ELEVATION**

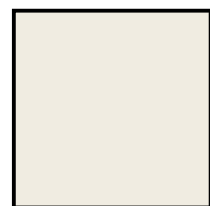


**LIGHT POLE BASE**





**FRONT ELEVATION**



**STUCCO:**  
SW 7551 "Greek Villa"



**METAL ROOF:**  
Berridge "Matte Black"



**STONE:**  
Eldorado Stone  
Stacked "Daybreak"

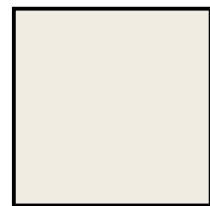


**CAST STONE:**  
Arriscraft "Limestone"





**SIDE ELEVATION**



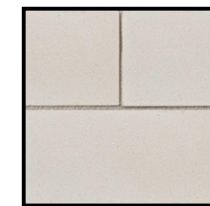
**STUCCO:**  
SW 7551 "Greek Villa"



**METAL ROOF:**  
Berridge "Matte Black"

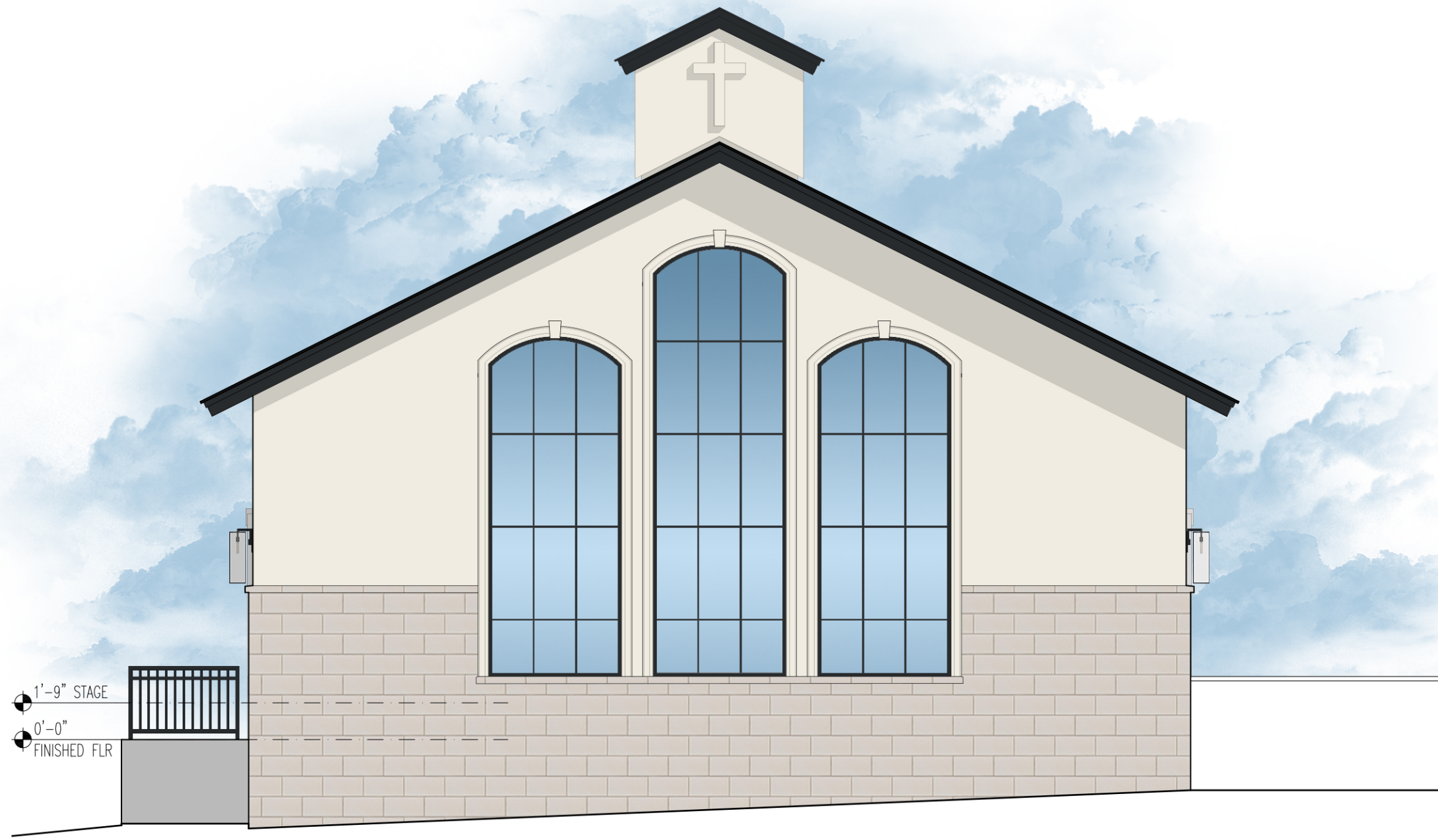


**STONE:**  
Eldorado Stone  
Stacked "Daybreak"

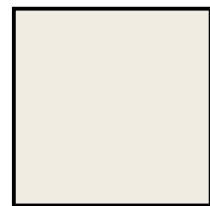


**CAST STONE:**  
Arriscraft "Limestone"





**REAR ELEVATION**



**STUCCO:**  
SW 7551 "Greek Villa"



**METAL ROOF:**  
Berridge "Matte Black"



**STONE:**  
Eldorado Stone  
Stacked "Daybreak"

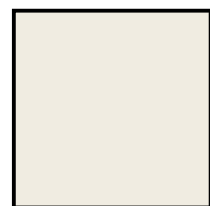


**CAST STONE:**  
Arriscraft "Limestone"





**SIDE ELEVATION (TOWARD EVENT CENTER)**



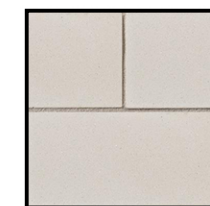
**STUCCO:**  
SW 7551 "Greek Villa"



**METAL ROOF:**  
Berridge "Matte Black"

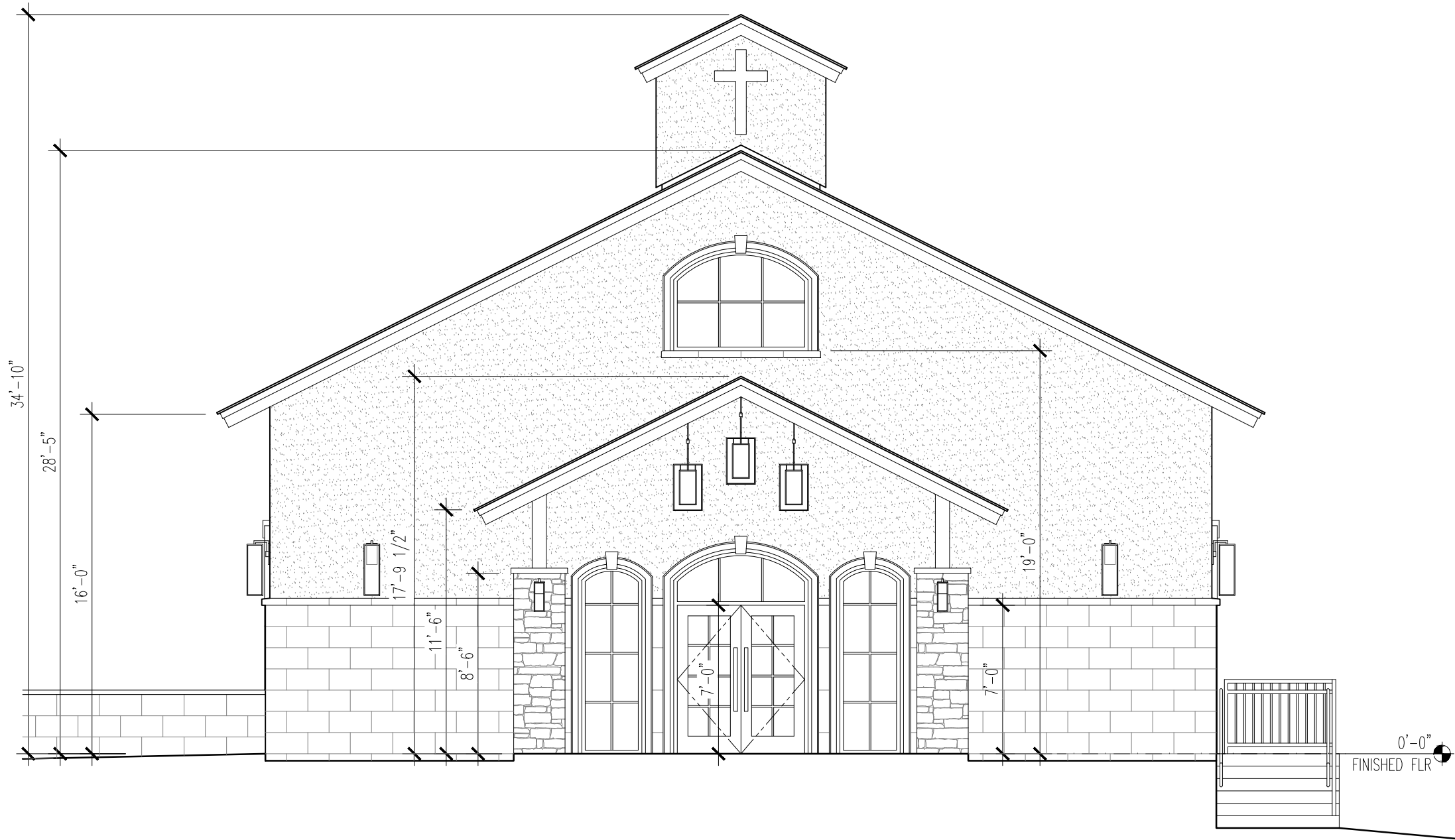


**STONE:**  
Eldorado Stone  
Stacked "Daybreak"



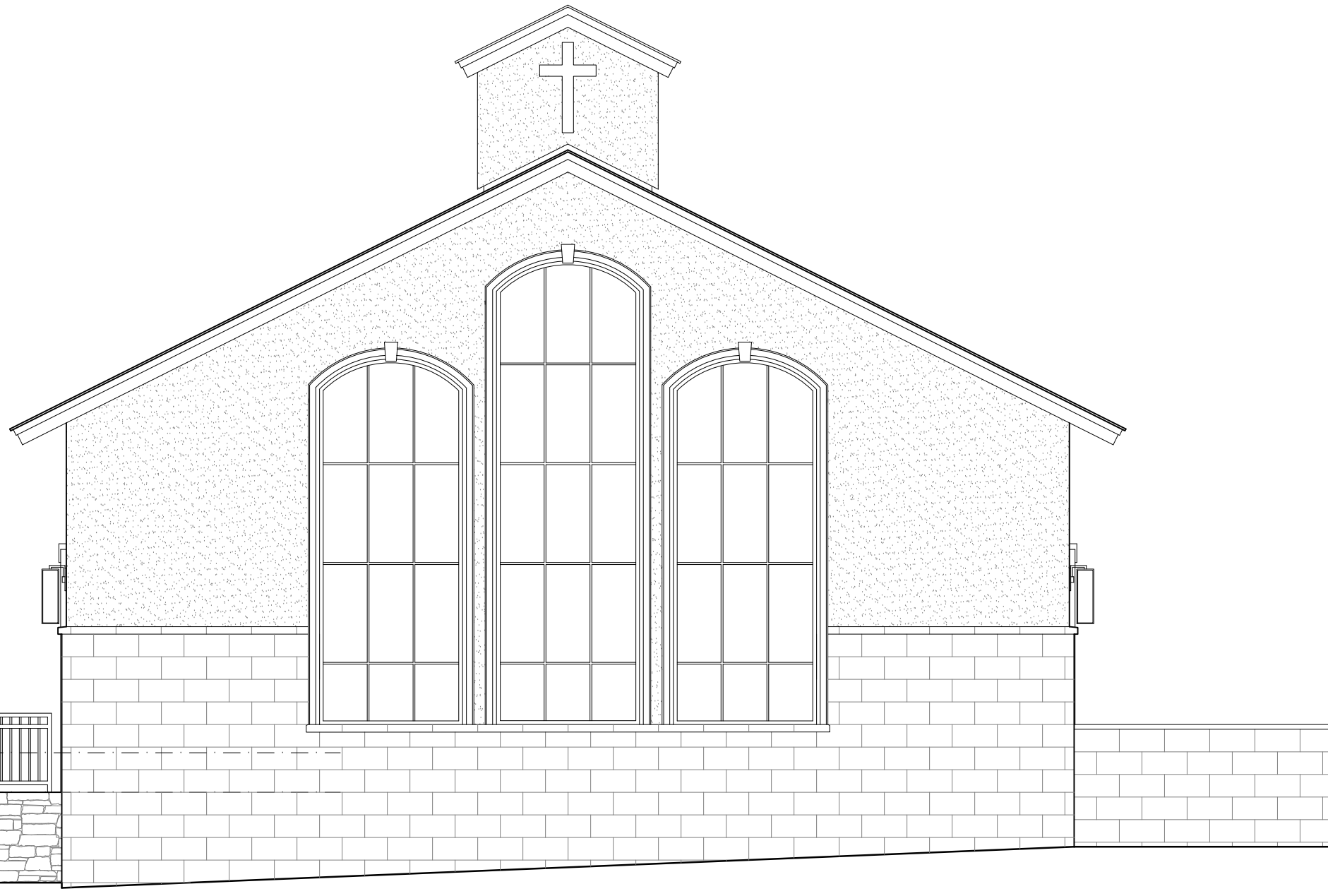
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Arriscraft "Limestone"





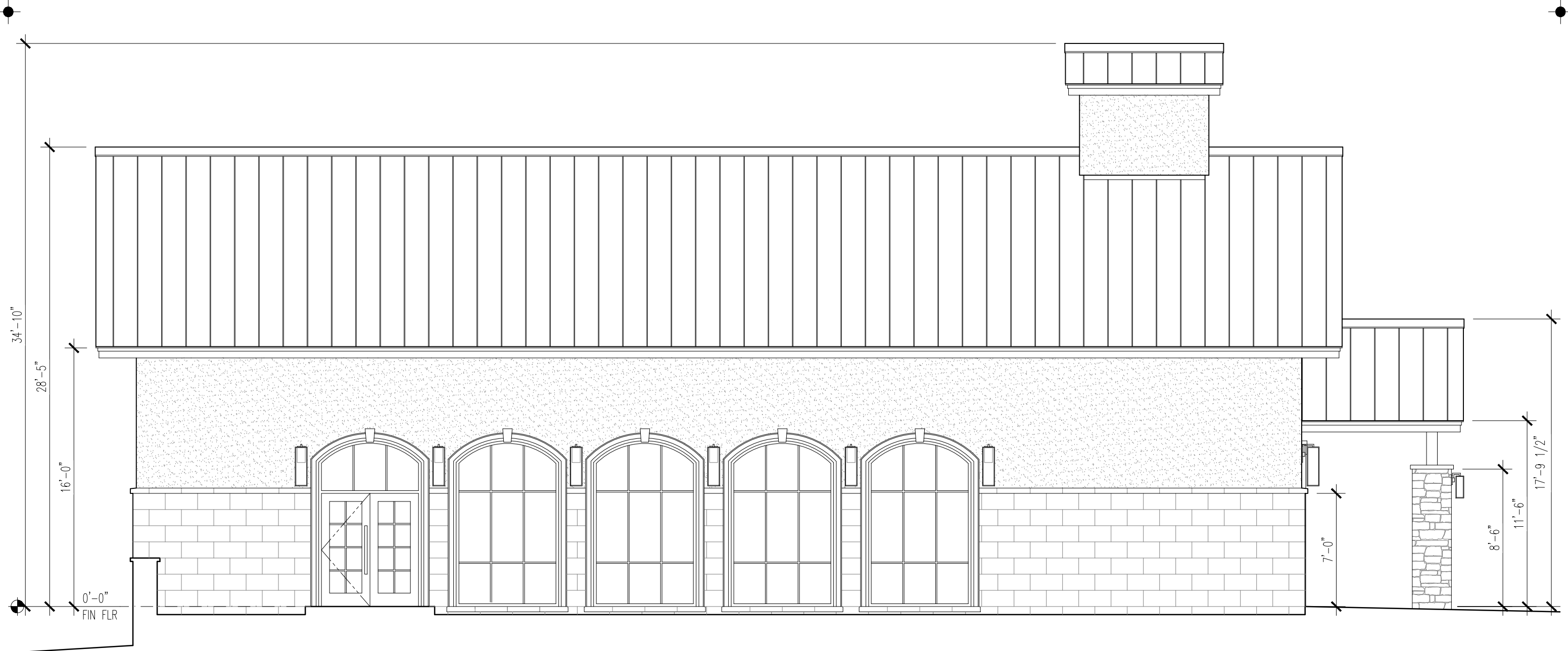
**FRONT ELEVATION**





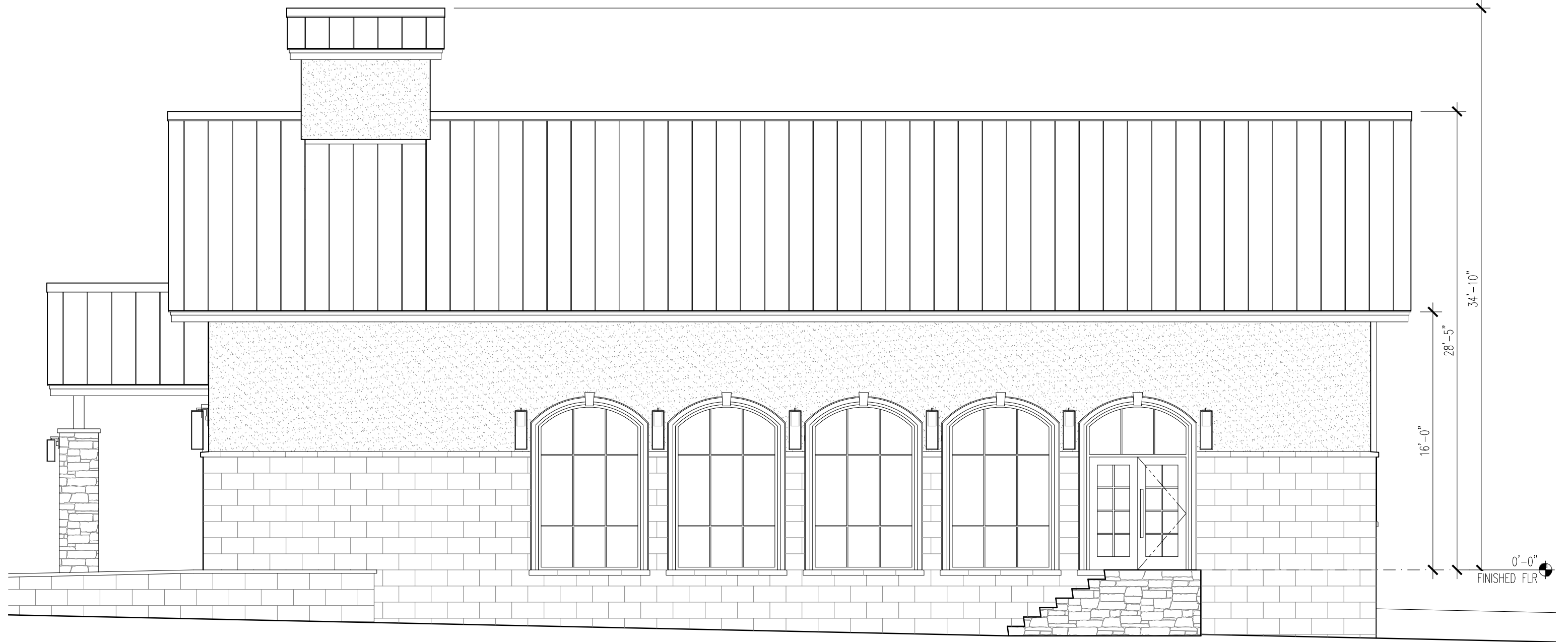
**REAR ELEVATION**





**SIDE ELEVATION**



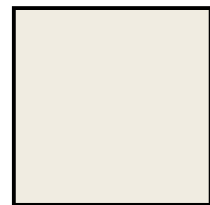


**SIDE ELEVATION (TOWARD EVENT CENTER)**





**FRONT ELEVATION**



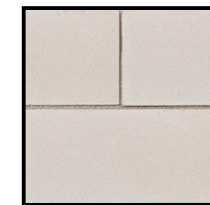
**STUCCO:**  
SW 7551 "Greek Villa"



**METAL ROOF:**  
Berridge "Matte Black"



**STONE:**  
Eldorado Stone  
Stacked "Daybreak"

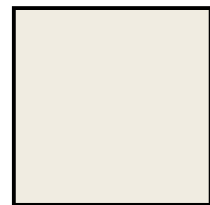


**CAST STONE:**  
Arriscraft "Limestone"





**SIDE ELEVATION - TOWARD CHAPEL**



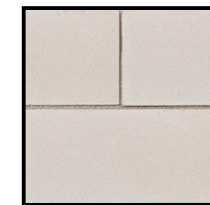
**STUCCO:**  
SW 7551 "Greek Villa"



**METAL ROOF:**  
Berridge "Matte Black"



**STONE:**  
Eldorado Stone  
Stacked "Daybreak"

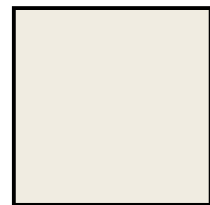


**CAST STONE:**  
Arriscraft "Limestone"





**REAR ELEVATION**



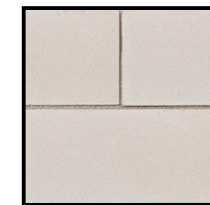
**STUCCO:**  
SW 7551 "Greek Villa"



**METAL ROOF:**  
Berridge "Matte Black"

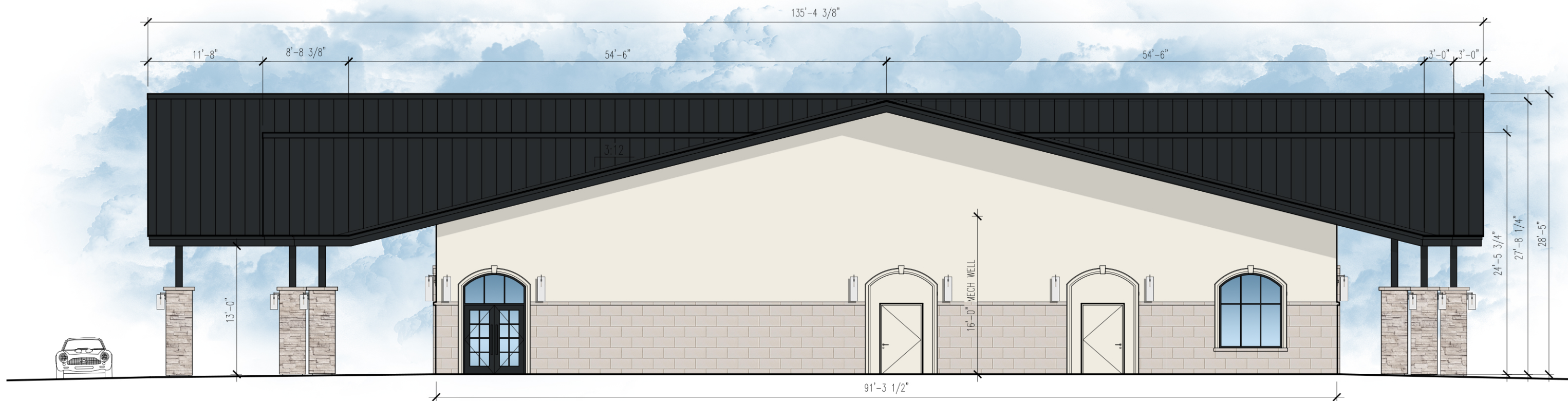


**STONE:**  
Eldorado Stone  
Stacked "Daybreak"

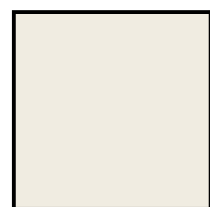


**CAST STONE:**  
Arriscraft "Limestone"





**RECEIVING - TOWARD MARTY B's**



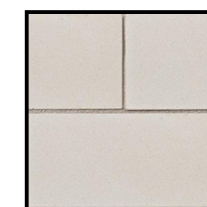
**STUCCO:**  
SW 7551 "Greek Villa"



**METAL ROOF:**  
Berridge "Matte Black"

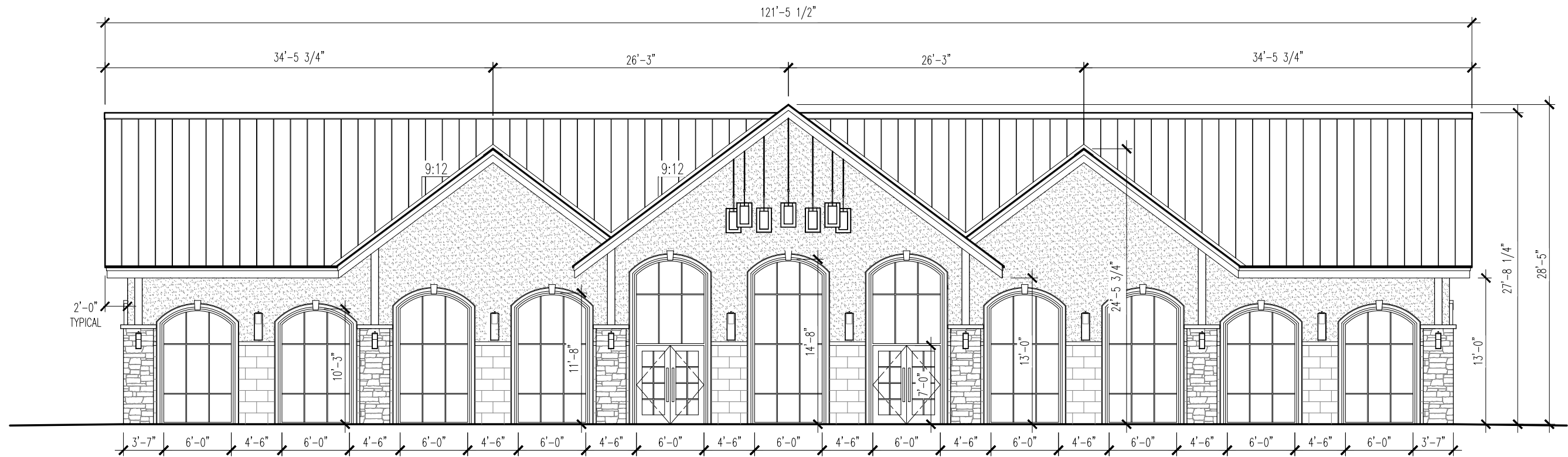


**STONE:**  
Eldorado Stone  
Stacked "Daybreak"



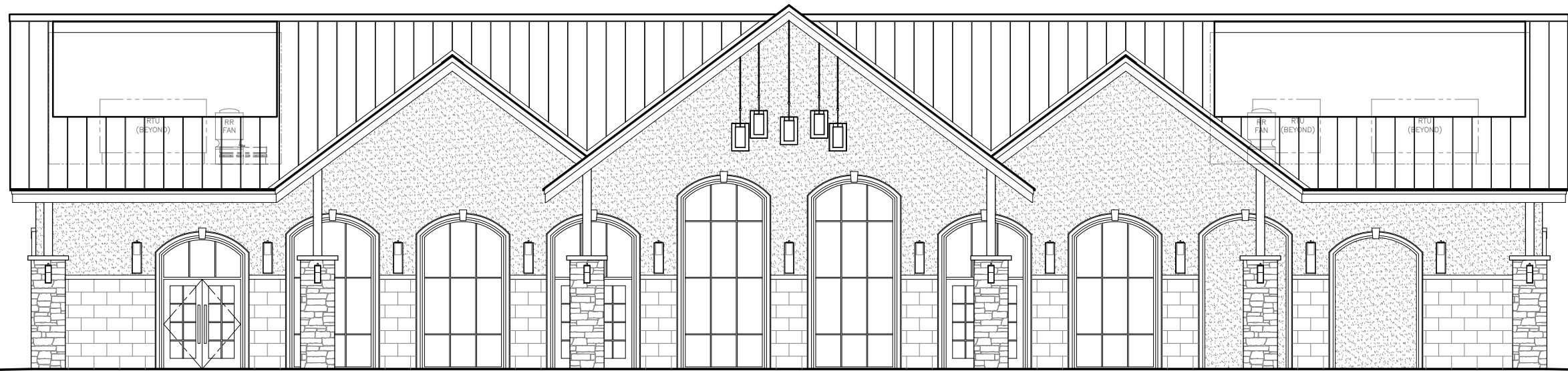
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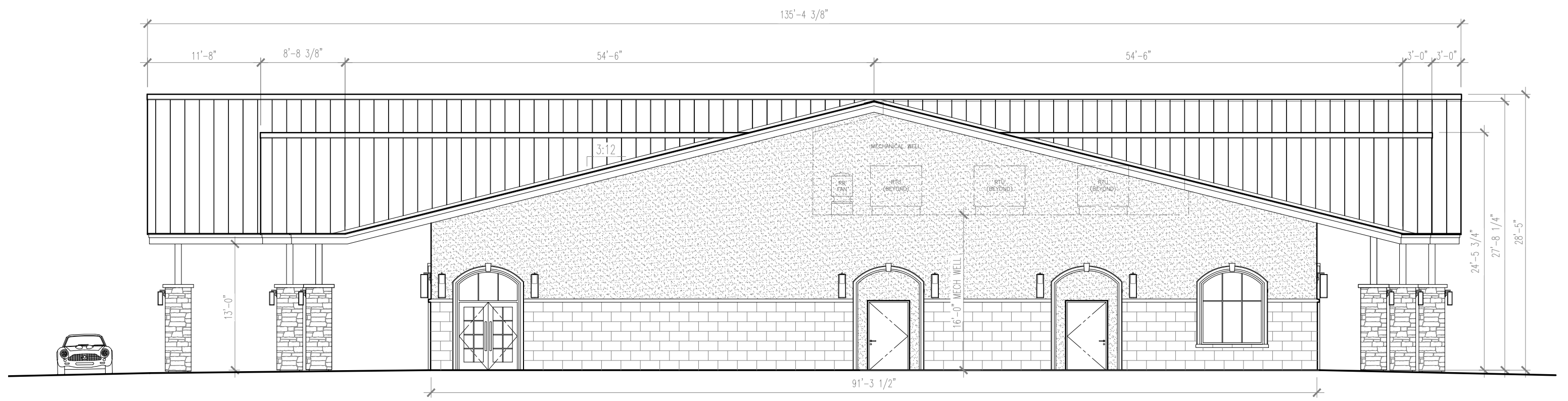
**FRONT ELEVATION**





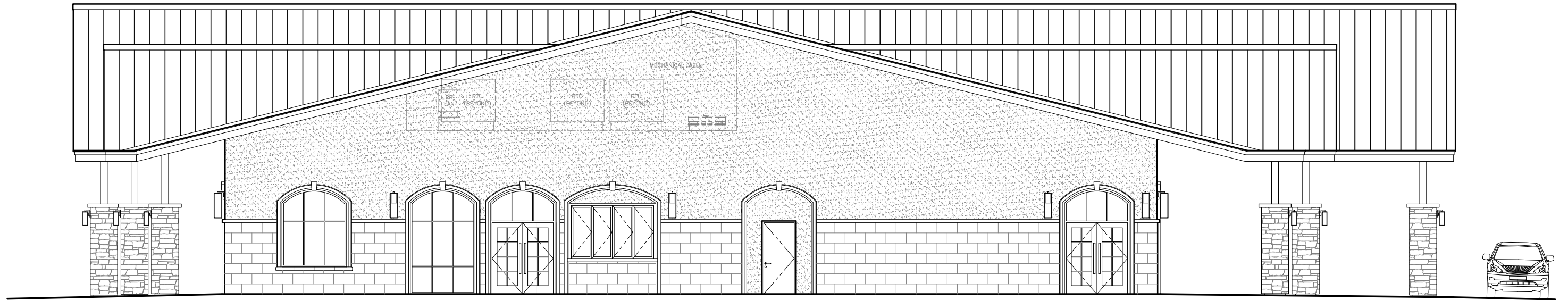
**REAR ELEVATION**





**RECEIVING - TOWARD MARTY B's**



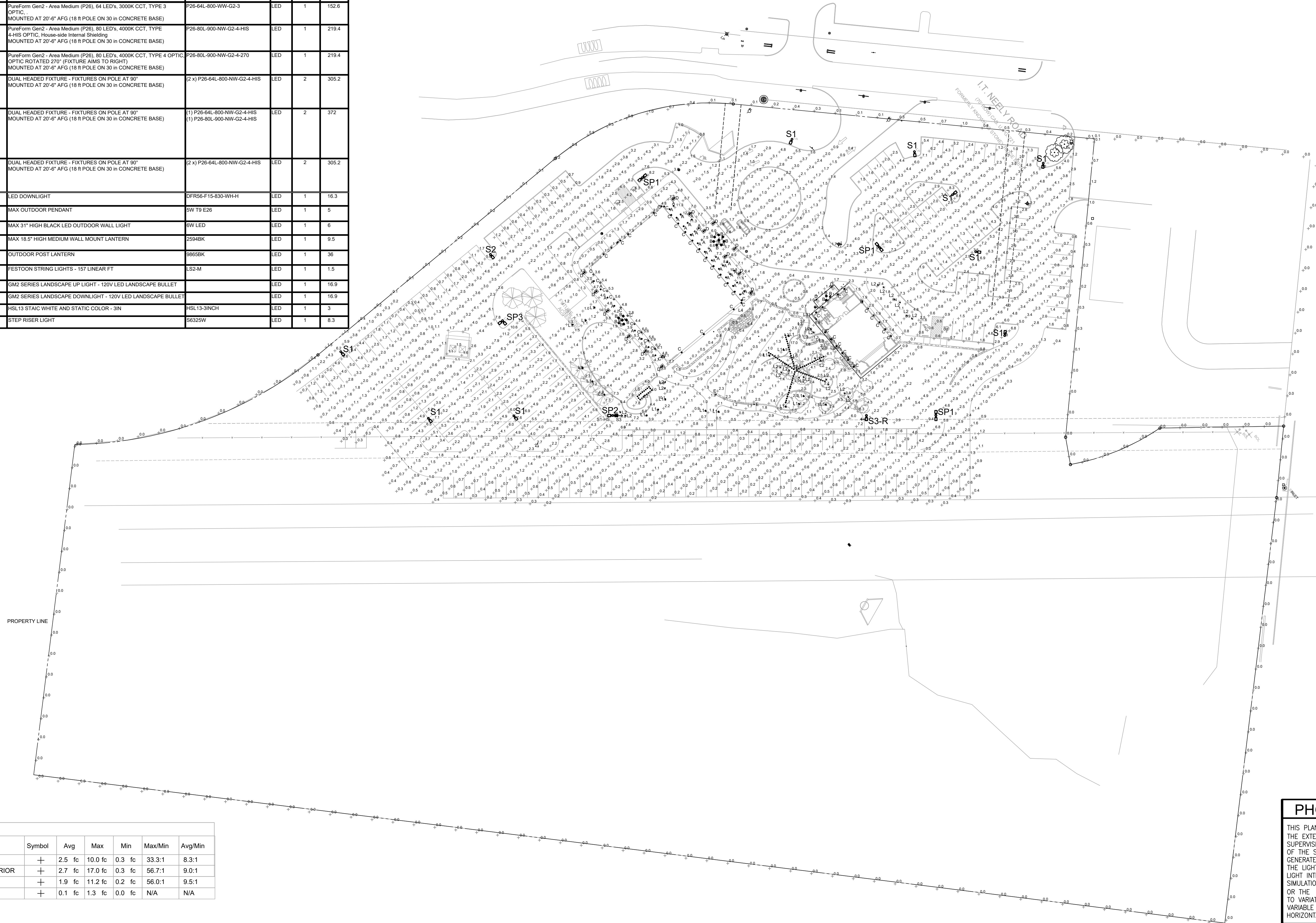


**SIDE ELEVATION - TOWARD CHAPEL**



THE RESERVE AT MARTY B'S  
LIGHTING SCHEDULE

Schedule							
SYMBOL	TAG	QTY	MANUFACTURER	DESCRIPTION	MODEL #	LAMP	WATTAGE
	S1	9	PHILIPS GARDCO	PureForm Gen2 - Area Medium (P26), 64 LED's, 3000K CCT, TYPE 4 OPTIC MOUNTED AT 20'-6" AFG (18 ft POLE ON 30 in CONCRETE BASE)	P26-64L-800-WW-G2-4	LED	152.6
	S1-HS	0	PHILIPS GARDCO	PureForm Gen2 - Area Medium (P26), 64 LED's, 4000K CCT, TYPE 4-HIS OPTIC, House-side Internal Shielding MOUNTED AT 20'-6" AFG (18 ft POLE ON 30 in CONCRETE BASE)	P26-64L-800-NW-G2-4-HIS	LED	152.6
	S2	1	PHILIPS GARDCO	PureForm Gen2 - Area Medium (P26), 64 LED's, 3000K CCT, TYPE 3 OPTIC MOUNTED AT 20'-6" AFG (18 ft POLE ON 30 in CONCRETE BASE)	P26-64L-800-WW-G2-3	LED	152.6
	S3	0	PHILIPS GARDCO	PureForm Gen2 - Area Medium (P26), 80 LED's, 4000K CCT, TYPE 4-HIS OPTIC, House-side Internal Shielding MOUNTED AT 20'-6" AFG (18 ft POLE ON 30 in CONCRETE BASE)	P26-80L-900-NW-G2-4-HIS	LED	219.4
	S3-R	1	PHILIPS GARDCO	PureForm Gen2 - Area Medium (P26), 80 LED's, 4000K CCT, TYPE 4 OPTIC OPTIC ROTATED 270° (FIXTURE AIMS TO RIGHT) MOUNTED AT 20'-6" AFG (18 ft POLE ON 30 in CONCRETE BASE)	P26-80L-900-NW-G2-4-270	LED	219.4
	SP1	3	PHILIPS GARDCO	DUAL HEADED FIXTURE - FIXTURES ON POLE AT 90° MOUNTED AT 20'-6" AFG (18 ft POLE ON 30 in CONCRETE BASE)	(2 x) P26-64L-800-NW-G2-4-HIS	LED	305.2
	SP2	1	PHILIPS GARDCO	DUAL HEADED FIXTURE - FIXTURES ON POLE AT 90° MOUNTED AT 20'-6" AFG (18 ft POLE ON 30 in CONCRETE BASE)	(1) P26-64L-800-NW-G2-4-HIS (1) P26-80L-900-NW-G2-4-HIS	LED	372
	SP3	1	PHILIPS GARDCO	DUAL HEADED FIXTURE - FIXTURES ON POLE AT 90° MOUNTED AT 20'-6" AFG (18 ft POLE ON 30 in CONCRETE BASE)	(2 x) P26-64L-800-NW-G2-4-HIS	LED	305.2
	A	34	SM	LED DOWNLIGHT	DFR56-F15-830-WHH	LED	16.3
	B	17	HINKLEY	MAX OUTDOOR PENDANT	SW T9 E26	LED	5
	C	48	HINKLEY	MAX 31" HIGH BLACK LED OUTDOOR WALL LIGHT	6W LED	LED	6
	D	16	HINKLEY	MAX 18.5" HIGH MEDIUM WALL MOUNT LANTERN	2594BK	LED	9.5
	E	2	CAPITAL	OUTDOOR POST LANTERN	9865BK	LED	36
	L6	96	AMERICAN LIGHTING	FESTOON STRING LIGHTS - 157 LINEAR FT	LS2-M	LED	1.5
	L1	18	TECHLIGHT	GM2 SERIES LANDSCAPE UP LIGHT - 120V LED LANDSCAPE BULLET		LED	16.9
	L2	24	TECHLIGHT	GM2 SERIES LANDSCAPE DOWNLIGHT - 120V LED LANDSCAPE BULLET		LED	16.9
	L3	5	HYDREL	HSL 13 STAIC WHITE AND STATIC COLOR - 3IN	HSL13-3INCH	LED	3
	L4	8	SISTEMALUX	STEP RISER LIGHT	S6325W	LED	8.3

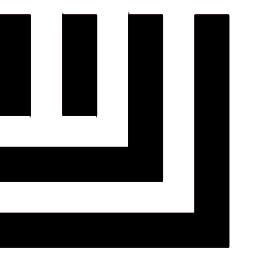


Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PAVED PARKING	+	2.5 fc	10.0 fc	0.3 fc	33.3:1	8.3:1
EVENT + CHAPEL EXTERIOR	+	2.7 fc	17.0 fc	0.3 fc	56.7:1	9.0:1
GRAVEL PARKING	+	1.9 fc	11.2 fc	0.2 fc	56.0:1	9.5:1
PROPERTY LINE	+	0.1 fc	1.3 fc	0.0 fc	N/A	N/A

**PHOTOMETRIC DISCLAIMER**

THIS PLAN REPRESENTS A SOFTWARE SIMULATED PHOTOMETRIC STUDY OF THE EXTERIOR SITE LIGHTING. IT WAS CREATED UNDER THE ENGINEER'S SUPERVISION; HOWEVER THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE SOFTWARE OR LIGHT FIXTURE DATA. SOFTWARE USED WAS TO GENERATE THIS DOCUMENT ALONG WITH THE IES DATA FILES PROVIDED BY THE LIGHT FIXTURE MANUFACTURER. THIS PLAN INDICATES THE SIMULATED LIGHT INTENSITY CALCULATED IN FOOT CANDLES AT GRADE LEVEL. THE SIMULATION DOES NOT TAKE INTO EFFECT A CHANGE IN GRADE ELEVATION OR THE ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS. THE LIGHT LEVELS ARE CALCULATED ON A HORIZONTAL PLANE 0 FT AFG.





# McADAMS

The John R. McAdams Company, Inc.  
4400 State Highway 121, Suite 800  
Lewisville, Texas 75056

phone 972. 436. 9712  
fax 972. 436. 9715  
TBPE: 19762 TBPLS: 10194440

www.mcadamsco.com

### CLIENT

BRYFAM PROPERTIES, LLC  
913 HAT CREEK COURT  
BARTONVILLE, TX 76226  
MARTYWBRYAN@GMAIL.COM  
972.819.5177



## THE RESERVE AT MARTY B'S CONSTRUCTION PLANS 1001 I.T. NEELY DRIVE TOWN OF BARTONVILLE, TX, 76226

**PRELIMINARY PLANS**  
THIS DOCUMENT IS FOR INTERIM REVIEW  
AND IS NOT INTENDED FOR CONSTRUCTION,  
BIDDING, OR PERMIT PURPOSES.  
JEFFREY E. BENNETT LANDSCAPE ARCHITECT  
STATE OF TEXAS  
2394  
DATED 12/13/2023



### REVISIONS

NO.	DATE	DESCRIPTION

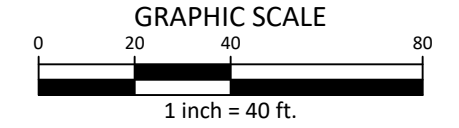
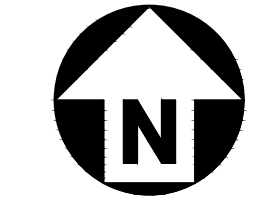
### PLAN INFORMATION

PROJECT NO.	BFP22001
FILENAME	BFP22001-IRR.DWG
CHECKED BY	JEB
DRAWN BY	MMR
SCALE	40 SCALE
DATE	10.2.2023

### SHEET

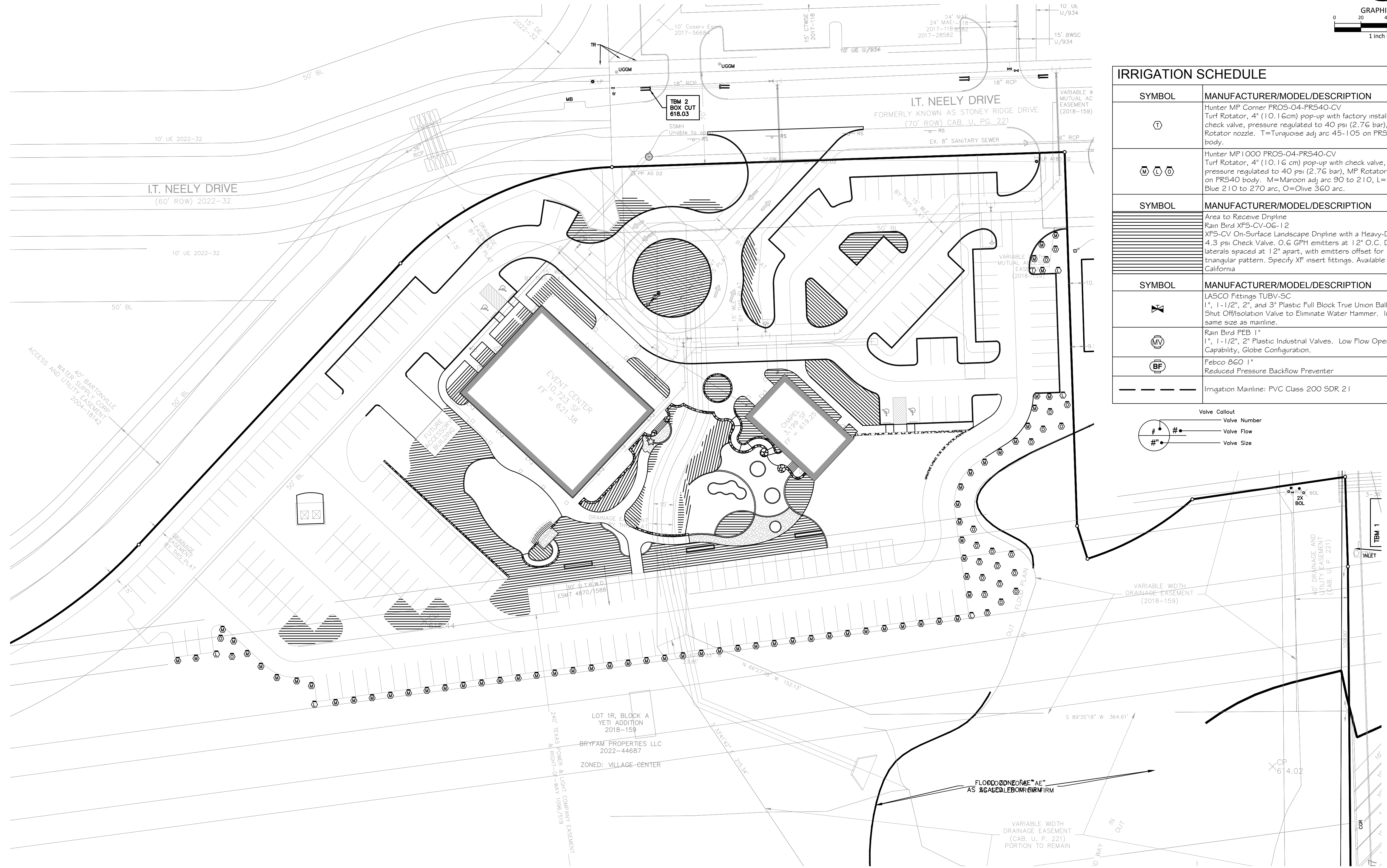
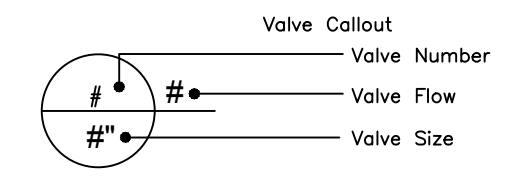
### IRRIGATION PLAN

# L7.00



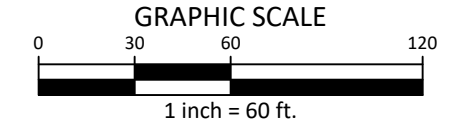
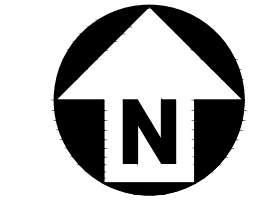
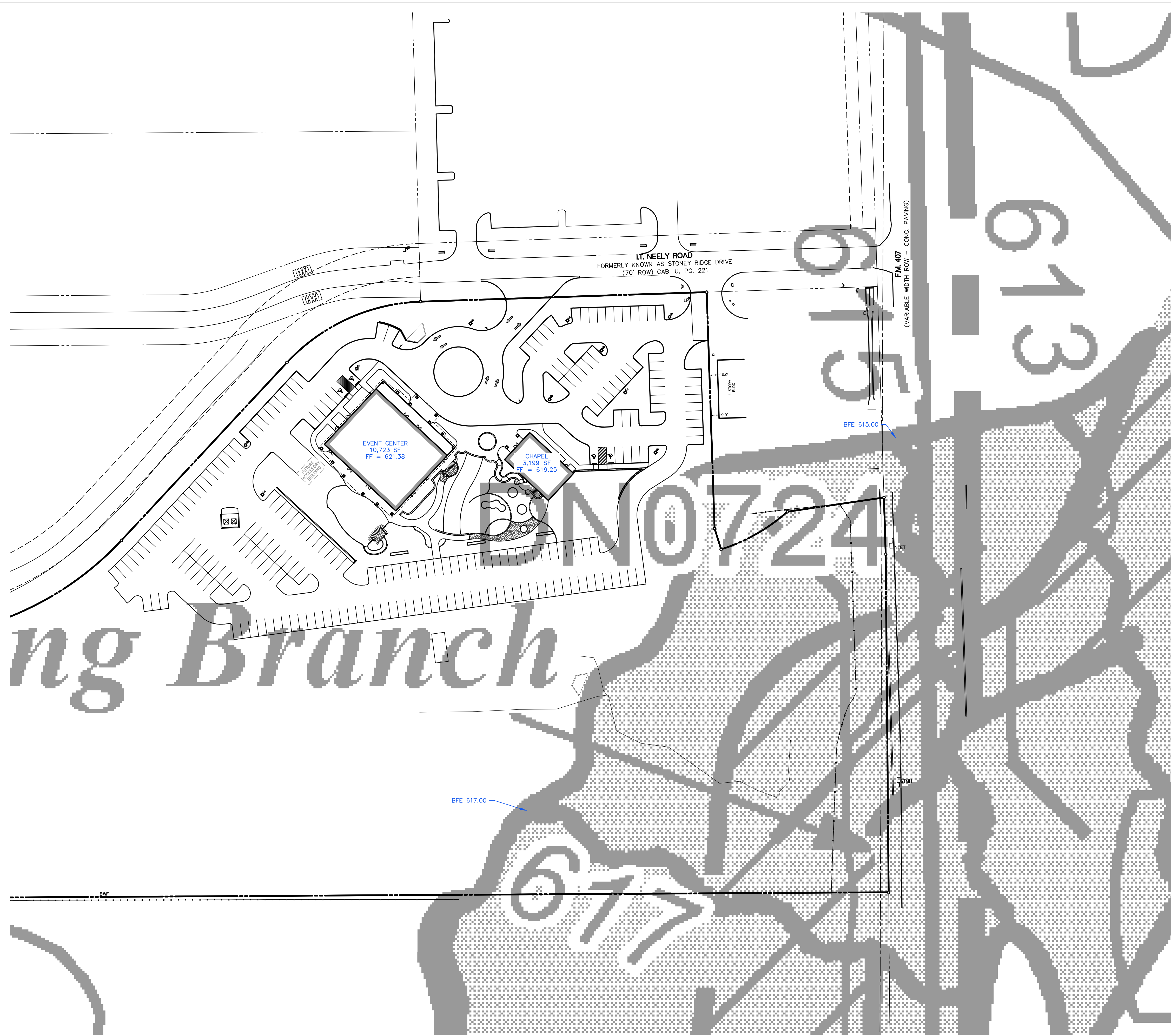
### IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
Ⓜ	Hunter MP Corner PROS-04-PRS40-CV Turf Rotator, 4" (10.16cm) pop-up with factory installed check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle. T=Turquoise adj arc 45-105 on PRS40 body.	1	40
Ⓜ Ⓛ	Hunter MP1000 PROS-04-PRS40-CV Turf Rotator, 4" (10.16 cm) pop-up with check valve, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle on PRS40 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	90	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
[Hatched Box]	Area to Receive Dnline Rain Bird XF5-CV-06-12 XF5-CV On-Surface Landscape Dnline with a Heavy-Duty 4.3 psi Check Valve. O.G GPH emitters at 12" O.C. Dnline laterals spaced at 12" apart, with emitters offset for triangular pattern. Specify XF insert fittings. Available Only in California	23,463 l.f.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
[Ball Valve]	LA5CO Fittings TUBV-SC 1", 1-1/2", 2", and 3" Plastic Full Block True Union Ball Valve. Shut Off/Isolation Valve to Eliminate Water Hammer. Install same size as mainline.	1	
[Valve]	Rain Bird PEB 1" 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	1	
[Backflow Preventer]	Febco BGO 1" Reduced Pressure Backflow Preventer	1	
[Dashed Line]	Irrigation Mainline: PVC Class 200 SDR 21	7.7 l.f.	



M:\Projects\BFP\BFP22001\04\_Production\Engineering\Sheets\BFP22001-IRR.dwg, 12/13/2023 2:06:00 PM, Pehlyr Anderson





**BENCHMARKS:**

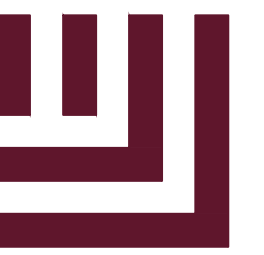
TBM #1: "+" CUT IN THE NORTHWEST CORNER OF A STORM INLET, SAID STORM INLET IS LOCATED ON THE WEST CURB LINE OF FM 407, AND SAID INLET IS APPROXIMATELY 345 FEET SOUTH OF THE INTERSECTION OF FM 407 AND I.T. NEELY DRIVE.  
 N: 7082076.36 E: 2387659.98 ELEV: 615.83

TBM#2: "+" CUT ON THE SOUTHEAST CORNER OF AN 18" RCP HEAD WALL IS LOCATED ON THE NORTH SIDE OF I.T. NEELY DRIVE, ON THE WEST SIDE OF THE WESTERN ENTRANCE TO MARTY B'S, BEING APPROXIMATELY 540 FEET WEST OF THE INTERSECTION OF I.T. NEELY DRIVE AND FM 407.  
 N: 7082425.93 E: 2387125.23 ELEV: 618.03

HORIZONTAL: TEXAS COORDINATE SYSTEM, NAD83, ZONE 4202  
 VERTICAL: NAVD83  
 GRID TO SURFACE SCALE FACTOR: 1.00014904337

**GENERAL NOTES:**

1. BASE FLOOD ELEVATIONS (BFE) ALONG THIS PROJECT RANGE FROM 615 TO 617. THE ELEVATION DIFFERENCE BETWEEN THE EXISTING 617 CONTOUR AND THE PROPOSED CHAPEL FINISHED FLOOR (619.25) IS 2.25 FEET WHILE THE PROPOSED EVENT CENTER FINISHED FLOOR (621.38) HAS AN ELEVATION DIFFERENCE OF 4.38 FEET.



**McADAMS**

The John R. McAdams Company, Inc.  
 201 Country View Drive  
 Roanoke, Texas 76262

phone 940. 240. 1012  
 fax 972. 436. 9715  
 TBPE: 19762 TBPLS: 10194440

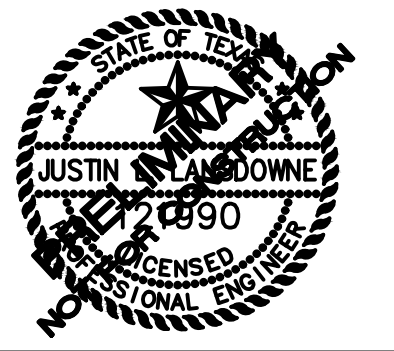
www.mcadamsco.com

**CLIENT**

BRYFAM PROPERTIES, LLC  
 913 HAT CREEK COURT  
 BARTONVILLE, TX 76226  
 972.819.5177  
 MARTYWBRYAN@GMAIL.COM



**THE RESERVE AT MARTY B'S**  
 CONSTRUCTION PLANS  
 1001 I.T. NEELY DRIVE  
 TOWN OF BARTONVILLE, TX, 76226



**REVISIONS**

NO.	DATE	DESCRIPTION
1	12-4-2023	1ST SUBMITTAL

**PLAN INFORMATION**

PROJECT NO.	BFP22001
FILENAME	BFP22001-S1.DWG
CHECKED BY	CMK
DRAWN BY	SDP
SCALE	1"=60'
DATE	12-4-2023

**SHEET**

**SUPPLEMENTAL  
 FLOODPLAIN EXHIBIT  
 EX1.00**



## Exhibit 2





January 25, 2024

«NAME»

«ADDRESS»

«CITY», «STATE» «ZIP»

Re: Proposed Site Plan for Reserve @ Marty B's

Dear Property Owner:

The Planning and Zoning Commission for the Town of Bartonville, Texas will conduct a Public Hearing at 7:00 pm on February 7, 2024, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider recommendations to the Town Council regarding a Resolution approving a Site Plan for an event venue on a 14.72-acre tract or parcel of land situated on Lot 1R, Block A, of the Yeti Addition, in the Town of Bartonville, Denton County, Texas.

The subject property is located on the south side of IT Neely Road, approximately 200 feet west of its intersection with FM 407 in Bartonville, Texas. The property address is 1001 IT Neely Road. The applicant is Cara King of McAdams, representing property owner BryFam Properties, LLC. The Town of Bartonville file number for this application is SP-2023-005.

The Town Council will conduct a second Public Hearing at 6:30 pm on February 13, 2024, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider the proposed Site Plan and recommendations of the Planning and Zoning Commission.

All interested parties are encouraged to attend.

Sincerely,

Thad Chambers, CPM  
Town Administrator  
Town of Bartonville









## Reserve @ Marty Bs Mailing List

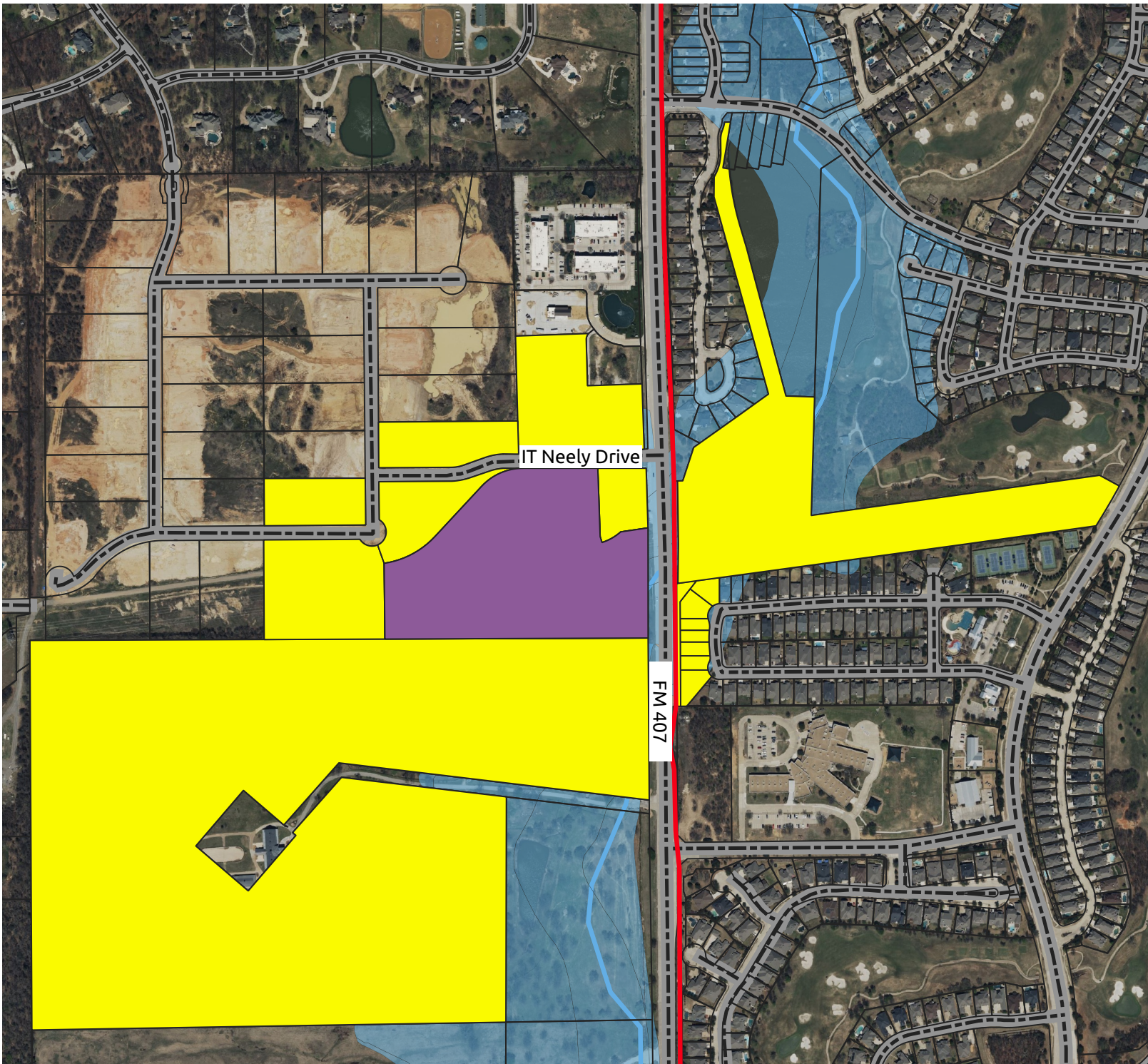
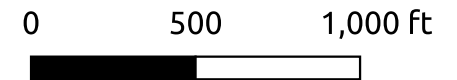
NAME	ADDRESS	CITY	STATE	ZIP
5BAR HUDSON HILLS LLC	255 BAKER WAY	PARADISE	TX	76073
BRYFAM PROPERTIES LLC	913 HAT CREEK COURT	BARTONVILLE	TX	76226
CLINTON, J WILLIAM & PEARL	876 GEORGE ST	LANTANA	TX	76226-6477
DENTON COUNTY FRESH WATER SUPPLY DIST NO 7	19 BRIAR HOLLOW LN STE 245	HOUSTON	TX	77027-2858
DENTON COUNTY FRESH WATER SUPPLY DISTRICT NO.6	19 BRIAR HOLLOW LN STE 245	HOUSTON	TX	77027-2858
EDUCATION LEADS TO SUCCESS FOUNDATION	2104 CAVALIER WAY	FLOWER MOUND	TX	75022-5588
HILL, AARON & AUDREY	8971 Newton St	Lantana	TX	76226-6534
HUDSON HILLS HOMEOWNERS ASSOCIATION	1024 S GREENVILLE AVE STE 230	ALLEN	TX	75002-3324
M.F. HODGE PROPERTIES LLC	PO BOX 711	DALLAS	TX	75221-0711
MALONE, MONTE C & JEANETTE A	109 FALLOW CT	LAMPASAS	TX	76550-3713
MANTZEL, RYAN & LESLEY	8951 NEWTON ST	LANTANA	TX	76226-6534
MAY, CHAD B	5908 PARKPLACE DR	ARGYLE	TX	76226-2226
MILLER, MARK A & ANNE B	8921 NEWTON ST	LANTANA	TX	76226-6534
SANAV VENTURE LLC	4500 WESTOWN PKWY #115	WEST DES MOINES	IA	50266-1040
VERRANDO, MARIO & OLAGUE HERNANDEZ, CARMEN J	8911 NEWTON ST	LANTANA	TX	76226-6534
WEST, DIANA S	8941 NEWTON ST	LANTANA	TX	76226-6534



# Reserve at Marty B's Site Plan

Town File #  
SP-2023-005

-  Reserve at Marty B's Property
-  Noticed Parcels
-  Roads
-  Bartonville Town Limits
-  Floodplain
-  Creeks





## Exhibit 3



**Denton Record-Chronicle**  
**3555 Duchess Drive**  
**(940) 387-7755**

I, Ayesha Carletta M Cochran-Worthen, of lawful age, being duly sworn upon oath depose and say that I am an agent of Column Software, PBC, duly appointed and authorized agent of the Publisher of Denton Record-Chronicle, a publication that is a "legal newspaper" as that phrase is defined for the city of Denton, for the County of Denton, in the state of Texas, that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and that the attachment hereto contains the correct copy of what was published in said legal newspaper in consecutive issues on the following dates:

**PUBLICATION DATES:**

Jan. 20, 2024

**Notice ID:** qyo1W3oQsamXEEqQzNbu

**Notice Name:** 01.20.24 PH Notice - Reserve at Marty B's SP

**PUBLICATION FEE:** \$50.32

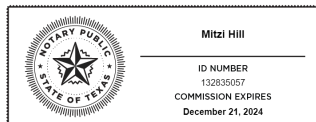
I declare under penalty of perjury that the foregoing is true and correct.

*Ayesha Carletta M Cochran-Worthen*

Agent

**VERIFICATION**

State of Texas  
County of Ellis



Signed or attested before me on this: 01/22/2024

*Mitzi Hill*

Notary Public  
Notarized online using audio-video communication

**TOWN OF BARTONVILLE  
NOTICE OF PUBLIC HEARING**

The Planning and Zoning Commission for the Town of Bartonville, Texas will conduct a Public Hearing at 7:00 pm on February 7, 2024, at Bartonville Town Hall, 1941 E Jeter Road, Bartonville, Texas, to hear public comment and consider recommendations to the Town Council regarding approving a Site Plan for an event venue on a 14.72-acre tract or parcel of land situated on Lot 1R, Block A, of the Yeti Addition, in the Town of Bartonville, Denton County, Texas. The subject property is located on the south side of IT Neely Road, approximately 200 feet west of its intersection with FM 407 in Bartonville, Texas. The property address is 1001 IT Neely Road. The applicant is Cara King of McAdams, representing property owner BryFam Properties, LLC. The Town of Bartonville file number for this application is SP-2023-005.

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drc 01/20/2024