### TOWN OF BARTONVILLE ORDINANCE NO. 737-22

AN ORDINANCE OF THE TOWN OF BARTONVILLE, TEXAS, AMENDING THE TOWN OF BARTONVILLE CODE OF ORDINANCES, CHAPTER 14, ARTICLE 14:02, EXHIBIT "A," ORDINANCE NO. 361-05, THE ZONING ORDINANCE, BY AMENDING CHAPTER 13. GENERAL COMMERCIAL DISTRICT (GC), ARTICLE 13.2, USES PERMITTED, BY GRANTING A CONDITIONAL USE PERMIT TO ALLOW FOR THE OPERATION OF A DRIVE THROUGH USE ON AN APPROXIMATELY 1.9589 ACRE-SITE THAT IS PART OF LOT 1, BLOCK 1, PHASE II OF LANTANA TOWN CENTER, LOCATED ON THE NORTHERN SIDE OF FM 407 AND JUSTIN ROAD AT BLANCO DRIVE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A **SAVINGS** PROVIDING FOR NO VESTED RIGHTS; PROVIDING FOR A PENALTY; PROVIDING FOR PUBLICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Bartonville, Texas, is a Type A General Law Municipality located in Denton County, Texas, created in accordance with provisions of the Texas Local Government Code and operating pursuant to the enabling legislation of the State of Texas; and

WHEREAS, the Town of Bartonville, Texas, as a general law municipality, is empowered under the Texas Local Government Code, Section 51.001, to adopt an ordinance or rule that is for the good government of the Town; and

WHEREAS, the Planning and Zoning Commission of the Town of Bartonville and the Town Council of the Town of Bartonville, in compliance with state law with reference to amending the Zoning Ordinance, have given the requisite notice by publication and otherwise, and after holding due public hearings and affording full and fair hearings to all property owners generally, the Town Council of the Town of Bartonville, Texas, is of the opinion that said zoning ordinance should be amended as provided herein.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF BARTONVILLE, TEXAS, THAT:

### SECTION 1. INCORPORATION OF PREMISES

The above and foregoing premises are true and correct legislative determinations and are incorporated herein and made a part hereof for all purposes.

### SECTION 2. CUP GRANTED

The Zoning Ordinance for the Town of Bartonville, Texas, as amended, is hereby amended by granting a Conditional Use Permit (CUP) to allow for the operation of a drive through use on an approximately 1.9589-acre tract of land that is part of Lot 1, Block 1, Phase II of Lantana Town Center, generally located on the northern side of FM 407 and Justin Road at Blanco Drive, in Bartonville, Texas. The official zoning map of the Town of Bartonville, Texas, shall be amended to reflect the CUP granted by this Ordinance, which includes the following conditions for the Town's health, safety and welfare:

- 1. Security personnel shall be provided by the owner/operator of the drive-through use business at no cost to the Town of Bartonville, as follows:
  - a. If the drive-through use business is open for business from 12:00 a.m. midnight up to and including 4:00 a.m. on a Saturday and/or Sunday, then a single peace officer shall be provided to be present on-site as security during the hours the business is open from 12:00 a.m. to 4:00 a.m.;
  - b. The term "peace officer" as used herein means a person elected, appointed or employed as a peace officer under Article 2.12, Texas Code of Criminal Procedure, or other law;
  - c. Each peace officer providing security shall be paid a standard hourly rate as agreed upon between the Chief of Police of the Bartonville Police Department and the owner/operator of the drive-through use business, with a two (2)-hour minimum payment required, and payment to each peace officer shall be made by the owner/operator of the drive-through use business at the beginning of the time the peace officer arrives on-site in sufficient monetary amount to pay said peace officer for the minimum payment amount required hereunder, or for the entire security time period, whichever is greater; and
  - d. The failure to comply with the above security personnel requirements, including the under-payment of a peace officer, will result in the closure of the drive-through use business until such time as the above security personnel requirements are satisfied.
- 2. The menu speakers at the drive-through locations on the property shall not exceed two feet (2') in height, and shall be located on the eastern side of the building and positioned at the area of car location number 7 as shown on the inside drive-through lane indicated on the site plan, page C 7.0, entitled "Site and Dimension Control Plan," and shall be pointed toward the golf course and landscaping berm on the adjacent property.
- 3. The menu boards at the drive-through locations on the property shall not be pointed towards the direction of Blanco Drive, and shall be located on the eastern side of the building and positioned at the area of car location number 7 as shown on the inside drive-through lane indicated on the site plan, page C 7.0, entitled "Site and Dimension Control Plan," and shall be pointed toward the golf course and landscaping berm on the adjacent property.

- 4. Trash receptacles shall be placed at each drive-through location and at each exit drive from the property and shall be added and designated on the approved site plan.
- 5. No outdoor music is allowed to be broadcast on the property or from the property.

### SECTION 3. SEVERABILITY

It is hereby declared to be the intention of the Town Council of the Town of Bartonville, Texas, that the phrases, clauses, sentences, paragraphs, and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph, or section of this Ordinance should be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs, or sections of this Ordinance, since the same would have been enacted by the Town Council without incorporation in this Ordinance of such unconstitutional phrases, clause, sentence, paragraph, or section.

## SECTION 4. SAVINGS

An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Town of Bartonville Code of Ordinances, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

## SECTION 5. ENGROSS AND ENROLL

The Town Secretary of the Town of Bartonville is hereby directed to engross and enroll this Ordinance by copying the exact Caption and the Effective Date clause in the minutes of the Town Council of the Town of Bartonville and by filing this Ordinance in the Ordinance records of the Town.

#### SECTION 6 PUBLICATION

The Town Secretary of the Town of Bartonville is hereby directed to publish in the Official Newspaper of the Town of Bartonville the Caption and the Effective Date of this Ordinance for two (2) days.

### SECTION 7. PENALTY

Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Bartonville Zoning Ordinance as previously amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense.

## SECTION 8. NO VESTED RIGHTS

No person or entity shall acquire any vested rights in this Ordinance or any specific regulations contained herein. This Ordinance and any regulations may be amended or repealed by the Town Council of the Town of Bartonville, Texas, in the manner provided by law.

#### SECTION 9. EFFECTIVE DATE

This Ordinance shall take effect immediately from and after its passage and the publication of the caption, as the law in such case provides.

#### AND IT SO ORDAINED.

**DULY PASSED AND APPROVED** by the Town Council of the Town of Bartonville, Texas, on the 18<sup>th</sup> day of October 2022.

APPROVED:

Jac An

Jaciyn Carrington, lylayor

ATTEST:

Tammy Dixon, Town Secretary

### SITE PLAN PACKAGE - EXHIBIT TO **ORDINANCE 737-22**

### SITE DEVELOPMENT PLANS FOR

# WHATABURGER

NEQ FM 407 & MCMAKIN RD BARTONVILLE, TEXAS **DENTON COUNTY** 

|           | SHEET LIST TABLE                      |
|-----------|---------------------------------------|
| SHEET NO. | SHEET TITLE                           |
| CO.0      | COVER SHEET                           |
| C1.0      | GENERAL CONSTRUCTION NOTES            |
| C2.0      | ALTA-NSPS LAND TITLE SURVEY           |
| C3.0      | EXISTING CONDITIONS & DEMOLITION PLAN |
| C4.0      | EROSION CONTROL PLAN                  |
| C4.1      | EROSION CONTROL DETAILS               |
| C5.0      | FIRE PROTECTION PLAN                  |
| C6.0      | PAVING PLAN                           |
| C7.0      | SITE & DIMENSIONAL CONTROL PLAN       |
| C7.1      | SITE DETAILS                          |
| C7.2      | SITE DETAILS                          |
| C8.0      | GRADING PLAN                          |
| C8.1      | DRAINAGE PLAN                         |
| C9.0      | UTILITY PLAN                          |
| C9.1      | UTILITY DETAILS                       |
| C9.2      | UTILITY DETAILS                       |
| LP-1      | LANDSCAPE PLANTING                    |
| LP-2      | LANDSCAPE DETAILS AND SPECIFICATIONS  |
| LI-1      | IRRIGATION PLAN                       |
| LI-2      | IRRIGATION DETAILS                    |
| LI-3      | IRRIGATION DETAILS AND SPECIFICATIONS |



ENGINEER:

## PAPE-DAWSON **ENGINEERS**

FORT WORTH I SAN ANTONIO | AUSTIN | HOUSTON | DALLAS 6500 WEST FWY, STE 700 | FORT WORTH, TX 76116 | 817.870.3668 TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

CONTACT: MATTHEW MALY, P.E.

**AUGUST 2022** 

ELECTRIC COMPANY: COSERV CONTACT PERSON: TEL: 940-321-7800

TELEPHONE COMPANY: FRONTIER CONTACT: TEL: 469-610-2726

GAS COMPANY: COSERV CONTACT PERSON:

CONTRACTOR COMPANY: CONTACT PERSON:

TOWN OF BARTONVILLE DEPARTMENT: PLANNING & ZONING LOCATION: TOWN HALL TFI: 817-693-5280 DEPARTMENT: DENTON COUNTY ESD 1

CONTACT: MON NGUYEN TEL: 818-391-3711 EMAIL: MON@DENTONCOUNTYESD1.GOV

THE SUBJECT PROPERTY LIES IN AN AREA OF MINIMAL FLOODING BY THE 100-YEAR FLOOD, ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 48121C0510G, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED 04/18/2011

CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHIERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

BENCHMARKS

BENCHMARK: DESCRIPTION: TBM X-CUT NORTHING: 7077249.3" FASTING: 2388423.3' ELEVATION: 658.9' (NAVD88)

BENCHMARK: DESCRIPTION: TBM X-CUT NORTHING: 7076945.1 EASTING: 2388795.9' ELEVATION: 666.1' (NAVD88)

> THIS DOCUMENT IS THIS DOCUMENT IS RELEASED FOR "REVIEW PURPOSES" UNDER THE AUTHORIZATION OF MATTHEW L. MALY, P.E. #120494 AUGUST 30, 2022. IT IS NOT FOR CONSTRUCTION OF

LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24—HOURS PRIOR TO COMMENCING CONSTRUCTION. 



PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX



COVER SHEET

SCALE: 1" = 20" DRAWN BY: DDD

C<sub>0.0</sub>





- 1. STANDARDS AND SPECIFICATIONS: ALL MATERIALS, CONSTRUCTION METHODS, WORKMANSHIP, EQUIPMENT, SERVICES AND TESTIME FOR ALL PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE GOVERNING AUTHORITIES CHROMACHES, FEGULATIONS, REQUIREMENTS, STATULES, SECRIFICATIONS AND DETAILS, LATEST PRINTING AND AUTHORITIES THERETO THE CAVERNING AUTHORITIES, STATULES, SECRIFICATIONS AND EXTAILS, LATEST FRONTING AND AUTHORITIES. PUBLIC WORKS AND WATER DEPARTMENT REQUIREMENTS, PLUMBING CODES, AND THE PROVINCE OF THE PROVINCE OF THE PROVINCE AND THE APPLICATE ALL OTHER PROVINCE OF THE PROVINCE OF THE APPLICATE ALL OTHER PROVINCE OF THE APPLICATION OF THE PROLICE OF THE APPLICATION OF THE PROLICE OF THE APPLICATION OF THE APPLICATION OF THE PROLICE OF THE APPLICATION OF THE APPLICATION
- EXAMINATION OF PLANS: PRIOR TO COMBEDIONG ANY CONSTRUCTION, THE CONTRACTOR SHALL FAMILIARIZE HUSELF WITH CONTRACT DOCUMENTS AND SPECIFICATIONS, FALUEE ON THE PART OF THE CONTRACTOR TO FAMILIARIZE HUSELF WITH ALL STANDARDS AND SPECIFICATIONS PERFORMENT TO THE WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR ON RESPONSIBILITY FOR PERFORMENT THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATION.
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  SPEMANTION OF SITE THE CONTRACTOR SHALL BE RESPONSIBLE FOR INVESTIGATING AND SATISFYING HINSELF AS TO THE CONDITIONS AFFECTING THE WORK, INCLUDING BUT NOT RESTRICTED TO THE BEARING UPON TRANSPORTATION, DISPOSAL HONOLUNG AND STORAGE OF MATERIALS, AVAILABBLITY OF LABOR, WHETE, ELECTRICE FORCE, ROADS AND INCESTIMENTS OF WEATHER OF SHALAR PHYSICAL CONDITIONS AT THE SITE, CONDITIONS OF THE GOLDING, AND THE COMPRIGHT AND FACCURES WEETER PERSONNANT TO AND DURNING THE PROPERMINE OF THE WORK, FALIENCE BY THE CONTRACTOR TO ACCURATE MEMBELY WITH THE AVAILABLE REPORTATION WILL NOT RELIEVE HIM OF RESPONSIBILITY FOR ESTIMATION OF DUTTO DUTTOOL TO OF COST OF SUCCESSIVALLY PERFORMED THE WORK.
- SUBSURFACE INVESTIGATION: SUBSURFACE EXPLORATION TO ASCERTAIN THE NATURE OF SOLS HAS BEEN PERFORMED BY THE ECOTECHNICAL ENGINEER OF REGISSO ON THE PROJECT. THE SUBSURFACE INCOMMATION WILL BE MADE AVAILABLE FOR THE CONTRACTIONS USE. THE EMPLOYER DISCLAUMS ANY RESPONSIBILITY FOR THE ACCURACY, TRUE LOCATION, AND EXTENT OF THE SOLS INFORMATION PREPARED BY OTHERS.
- EXTENT OF THE SOLES INFORMATION PREPARED BY DIVIDING A SHOWN ON THE PLANS IS PROVIDED FOR INFORMATION. PURPOSES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR YERFYING THAT THE INFORMATION SHOWN IS CORRECT AN SHALL INSTITUTE BEHAVES INMEDIATELY ANY PERFORM, DESCREAMING, OR OMISSONS TO THE SURVEY WE ROW, DESCRIPTIONS OF THE SURVEY WE ROW, DESCREAMING, OR OMISSONS TO THE SURVEY WE ROW, DESCRIPTIONS OF THE SURVEY WE ROW.
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  6. COUPLIANCE WITH LAWS: THE CONTRACTOR SHALL FULLY COUPLY WITH ALL LOCAL STATE. AND FEDERAL LINE. INCLUDIOS ALL CODES, ORDINANCES, AND REGULATIONS APPLICABLE TO THIS CONTRACT AND THE WORK TO BE DONE THESEUNDER WHICH DOST OF MAS PERSON. THE ENABLE LAWS LINEARLY FOR SUCH DAKACHWAT, ALL MAYS RESIDENCE WHICH DOST OF MOKE REGULATION, PERSON OR LOCAL THE CONTRACTOR FINDS THAT THERE IS A VARIANCE, HE SHALL IMMEDIATELY REPORT HIS TO THE CONTRACTOR FINDS THAT THERE IS A VARIANCE, HE SHALL IMMEDIATELY REPORT HIS TO THE CONTRACTOR FINDS THAT THERE IS A VARIANCE, HE SHALL IMMEDIATELY
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  7. PUBLIC CONVENENCE AND SAFETY. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SMALL RESOLUTE AND COMPLETELY RESPONSIBLE FOR CONSTITIONS OF THE JOB STE, MICLIONIO SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK THIS RECOGNETION SHALL APPLY CONTRIBUTIONS AND NOT BE LIMITED TO NORMAL MORNOR CHOUSE, MATERIALS FORCE MAY BE CONTRIBUTED AND NOT THE TRANSPORT OF THE WORK SHALL APPLY CONTRIBUTED WORK SHALL APPLY CONTRIBUTED THE WORK SHALL AP
- STORM WATER POLLUTION PREVENTION PLAN (SWPPP): THE CONTRACTOR SHALL COMPLY WITH THE CONDITIONS OF THE SWPPP WHILE CONDUCTING HIS ACTIVITIES ON THE PROJECT.
- SHIPPY WHILE CONDUCTING HIS ACTIVITIES ON THE PROJECT.

  9. FEMITS AND LICENSES. THE CONTRACTOR SHALL SCORE AND PAY FOR ALL PERMITS AND LICENSES NECESSARY FOR THE DECUMENT OF THE WORK AND SHALL FALLY COMPAY WITH ALL THEIR TERMS AND CONDITIONS, WHICENSER HIS WORK LINEAR THE WORK CONTRACT SHALL FIRMSHOP FLOWER THE COPES OF SHOT PERMITS TO THE DEVELOPER BEFORE THE WORK CONCRED THEREOF IS STARTED. NO WORK WILL BE ALLOWED TO PROJECTED BEFORE SUCH PERMITS HAVE BEEN OBTAINED, COSTS ASSOCIATED WITH PERMITS SHALL BE NACIUDED IN THE CONTRACT SACCHY.
- 10. APPROVED PLANS: THE CONTRACTOR SHALL HAVE AT LEAST ONE SET OF APPROVED PLANS ON-SITE AT ALL TIMES.
- 11. BONDS PERFORMANCE PAYMENT, AND MAINTENANCE BONDS MAY BE REQUIRED FROM THE CONTRACTOR FOR PUBLIC-IMPROVIDENTS. IF REQUIRED, THE CONTRACTOR SHALL PROVIDE THE BONDS IN THE FORM AND IN THE AMOUNTS MS REQUIRED BY THE CONFIRM AUTHORITIES. COSTS ASSOCIATED WITH PROVIDING THE BROWS STALL BE INCLUDED IN THE
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- 13. SHOP DRAWINGS: THE CONTRACTOR SHALL PREPARE, REWEW, AND SUBJIT ALL SHOP DRAWINGS, PRODUCT DATA AND SAMPLES REQUIRED BY THE CONTRACTOR SHALL PREPARES AND THE PROJECT CONTRACT DOCUMENTS.
- 14. SURVEYING: ALL SURVEYING REQUIRED FOR CONSTRUCTION STAKING WILL BE PROVIDED BY THE DEVELOPER ONE TIME ONLY. ALL RESTAKING SHALL BE AT THE CONTRACTOR'S EXPENSE.
- 15. PROTECTION OF PROFESTY CORNERS AND EXHOPANCE. THE CONTRACTOR SHALL PROTECT ALL PROFESTY CORNERS, MANUACKE, AND EXHOPANCE. THE CONTRACTOR SHALL PROTECT ALL PROFESTY CORNERS, MANUACKE, AND EXHOUNCES, MEN ANY SICH LARGES OR MONUMENTS ARE IN DANGER OF BEING DISTURBED. THEY SHALL BE RESET BY A REGISTERED PROFESSIONAL LAND SURVEYOR AT THE DEPORTS OF THE CONTRACTOR.
- AT THE EXPENSE OF THE CONTRACTOR.

  16. DISTING STRUCTURES: THE PLANS SHOW THE LOCATION OF ALL KNOWN SURFACE AND SUBSURFACE STRUCTURES. HOWEVER, THE DEVELOPER AND ENGINEER ASSURE NO RESPONSIBILITY FOR THE FAULURE TO SHOW ANY OR ALL OF MACHINE OF THE FAULURE OF THE PLANS OR TO SHOW HIDE IN THEIR EXACT LOCATION, SUCH FAULURE SHALL NOT BE CONSIDERED SHITDENT BEST FOR CAUSE FOR ADDITIONAL COMPENSATION FOR EXTRA WORK OR FOR INCREASING THE PAY QUANTITIES IN ANY MANKER WHATSOEVER, UNLESS THE OBSTRUCTION ENCOUNTERED IS SUCH AS TO REQUIRE THE CONSTRUCTION OF SPECIAL WORK FOR WHICH PROVIDENCE AND MACE IN THE PLANS.
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  17. PROTECTION OF EASTING UTILITIES AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT, TEXAS ONE CALL SYSTEM MUST BE CONTRACTED (800-245-4545) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATIONS BEIND PREFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTRACT TEXAS ONE CALL SYSTEM THE LOCATION OF EQUINING UTILIES SHOWN ON THE PLANS ARE BASED ON THE ESTS RECORDS AND/OR FIELD INFORMATION AVAILABLE AND ARE NOT CUARANTEED BY THE DEVELOPER OR ENDIFIELT TO BE ACCURATE AS TO THE LOCATION AND DEPTH. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERRY LOCATIONS OF FAIRAMENT AND/OR CONTLICTION UTILIES SHIFTIGHTLY IN ADVANCE OF HIS ACTIVITIES IN ORDER THAT HE MAY INCOTANTE SUCH LOCATION AND SEPHENT AS INCOSSARY IN THE CONTRACTOR'S OFFICE ADEQUATE LEGRANCES. THE CONTRACTOR'S SHALL TAKE ALL NECESSARY PRECAUTIONS OF ORDER TO PROTECT ALL EXISTING UTILIES RESURES, AND STRUCTURED WHETHER DIMETERED WHETHER OR NOT THE PLANS. ANY DAMAGE TO UTILITIES RESURDS FROM THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT HIS DEPONSE. TO AVOID UNINITIES RESURD FROM THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT HIS DEPONSE. TO AVOID UNINICESSARY INTERPREPAINES OF DELAY. THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT HIS DEPONSE. TO AVOID UNINICESSARY INTERPREPAINES OF DELAY. THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT HIS DEPONSE. TO AVOID UNINICESSARY INTERPREPAINES OF DELAY APPROPRIATE GOVERNING AUTHORITIES. THE DEVELOPER WILL NOT BE LABLE FOR DAMAGES DUE TO DELAY BECAUSE OF THE ADOVE.

- THE ABOVE

  18. DAMAGE TO EXISTING FACILITIES: ALL EXISTING UTILITIES, PAVEMENT, SIDEMANS, WALLS, FENCES, ETC. DAMAGED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE TO A CONDITION EQUAL TO OR BETTER THAN THE CONDITIONS PRIOR TO STATING THE WORK.

  19. FIRE AND LIFE SAFETY STSTEMS. THE CONTRACTOR SHALL NOT REMOVE, DISABLE, OR DISRUPT EXISTING FIRE OR UFE SAFETY SYSTEMS WITHOUT RECEIVED PRIOR WRITTEN PERMASSION FROM THE GOVERNING AUTHORITY.

  20. TRENCH SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR HAWNG A TRENCH SAFETY PLAN PREPARED IN ACCORDANCE WITH COST RECEIVED CHIRACTOR STATE VIOLENCE OF THE IMPLEMENTATION OF TRENCH SAFETY CONTROL MEASURES THAT WILL BE IN EFFECT DURING THE CONSTRUCTION OF THE MEASURE THAT WILL BE IN EFFECT DURING THE CONTRACT ON ACCORDANCE. THE COSTS TOR PREPARATION OF THE TRENCH SAFETY PLAN SHALL BE INCLUDED IN THE CONTRACT AUGUST.
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  21. TRAFFIC CONTROL IT SHALL BE THE RESPONSIBILITY OF THE CONTROL TO DEVELOR AND SHIBBIT FOR APPROVAD THE COVERNING AUTHORITIES A TRAFFIC CONTROL PLAN PERFARED AND SEALED BY A PROVISION THE PROJECT OF TEXAS OUTLINING TRAFFIC MANAGEMENT PROSEDURES TO BE PROVIDED URING CONSTRUCTION. THE PROJECT OF TEXAS OUTLINING TRAFFIC MANAGEMENT PROSEDURES TO BE PROVIDED URING CONSTRUCTION. THE DEVELOPMENT OF THE PROPERTY OF THE PROPERTY OF THE PROVIDED URING CONSTRUCTION. THE CONTRACT AMOUNT.
- 22. ACCESS TO ADJACENT PROPERTIES: ACCESS TO ADJACENT PROPERTIES SHALL BE MAINTAINED AT ALL TIMES UNLESS OTHERWISE DIRECTED BY THE GOVERNING AUTHORITIES AND/OR OWNER.
- OTHERWISE DIRECTED BY THE GOVERNING AUTHORITIES AND/OR OWNER.

  23. ACCESS ROUTES, STRONG AREAS AND STORAGE AREAS: ALL PRIVATE HALL ROADS AND ACCESS ROUTES AND THE COMER, THE COCATION OF ALL STACKING AREAS AND STORAGE AREAS SALL BE SUBJECT TO THE APPROVAL OF THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING ROADS AND OTHER FACULTES USED DURING CONSTRUCTION. UPON COUNTERIONS OF THE PROJECT, ALL MAIL ROADS, ACCESS ROADS, STRANG AREAS AND STORAGE AREAS SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THE CONDITIONS PRIOR TO STRATING THE WORK.
- WORK

  24. PARKING OF CONSTRUCTION EQUIPMENT: AT NIGHT AND DURING ALL PERIODS OF TIME WHEN EQUIPMENT IS NOT BEING ACTIVELY USED FOR CONSTRUCTION WORK. THE CONTRACTOR SHALL PARK THE EQUIPMENT AT LOCATIONS WHICH AS PROPROVED BY THE CONNERS DUBING THE CONSTRUCTION OF THE PROPERTY. THE CONTRACTOR SHALL CAME! WITH THE PRESENT ZONING REQUIREMENTS OF THE GOVERNING AUTHORITIES IN THE USE OF VACANT PROPERTY FOR STORAGE PURPOSES. THE CONTRACTOR SHALL LASE PROPROME AS DECAUTE BARROCALES, MARKERS, AND LIGHTS TO PROPRICT THE OWNER, THE COVERNING AUTHORITIES, THE PURPL, AND THE WORK, ALL BARROCADES, LIGHTS, AND MARKERS MUST MEET THE REQUIREMENTS OF THE COVERNING AUTHORITIES. THE PURPL, AND THE WORK, ALL BARROCADES, LIGHTS, AND MARKERS MUST MEET THE REQUIREMENTS OF THE COVERNING AUTHORITIES. THE PURPL, AND THE WORK, ALL BARROCADES, LIGHTS, AND MARKERS MUST MEET THE REQUIREMENTS OF THE COVERNING AUTHORITIES. THE PURPL, AND THE WORK, ALL BARROCADES, LIGHTS, AND MARKERS MUST MEET.
- 25. MATE FOR CONSTRUCTION THE CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR PURCHASING WATER FROM THE CONFERING AUTHORITY FOR 165 USE ON THE PROJECT SITE COST ASSOCIATED WITH THIS SERVICE SHALL BE NICLUDED IN THE CONTRACT AMOUNT.
- INCLUDED IN THE CONTROL AND UNIT.

  26 TEMPORARY LETTERED AND COMMUNICATIONS FOR CONSTRUCTION. THE CONTRACTOR SHALL MAKE THE NICESSARY AND COMMUNICATIONS SERVICES. THE CONTROL OF TEMPORARY ELECTRIC AND COMMUNICATIONS SERVICES. THE CONTROL OF TEMPORARY ELECTRIC AND COMMUNICATIONS SERVICES. THE CONTROL OF THE PROJECT SITE. COSTS ASSOCIATED WITH THIS SERVICES. THE INCLUDED IN THE CONTRACT AUDION.

  27. FEMENS: ALL FENCES BEDOINTREED AND REMOVED DURING CONSTRUCTION, EXCEPT THOSE DESIGNATED TO BE REMOVED. OR RELOCATED, SHALL BE RESTORED TO THE CORDINAL OR BETTER THAN CONDITION UPON COMPLETION OF THE PROJECT SITE OF THE WERE USED OR BASSED WARE. IS NOT TO BE CROSSEN, THE CONTROL FROM THE SHELL SHALL SET CROSS-MAX AND THE PROJECT SITE OF THE WERE USED OR BASSED WARE, IS NOT TO BE CROSSEN, CACALED OVERNITOR TANDOR AT ALL TIMES TO PREVENT PERSONS AND/OR LIVESTOCK FROM ENTERING THE CONTROL AND. AT THE COST OF FENCE REMOVED HIS PROPARTY CLOSURES, AND FREAZOCK FROM ENTERING THE COST OF FENCE REDOVED.

- 29, CONDITION OF THE SITE DURING CONSTRUCTION: THE CONTRACTOR SHALL KEEP THE SITE OF THE WORK AHO ADJACENT PREMISES AS FREE FROM MATERIAL DEBRIS, AND RUBBISH AS IS PRACTICAL THE CONTRACTOR SHALL REMOVE MATERIAL DEBRIS AND RUBBISH FROM ANY PORTION OF THE STIE IF, IN THE CHINON OF THE DEVELOPER, SUCH MATERIAL, DEBRIS, AND RUBBISH CONSTITUTES A MUISANCE OR IS OBJECTIONABLE.
- O EXISTING ROADWAYS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF EXISTING PAYED ROADS, COSTS ASSOCIATED WITH MAINTAINING THE CLEANLINESS OF EXISTING ROADS SHALL BE INCLUDED IN THE CONTRACT AND PROPERTY.
- CONTROL THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO CONTROL DUST ON THE PROJECT SITE BY THE SPERMILING OF WATER OR MAY OTHER METHODS APPROVED BY THE COVERNING AUTHORITIES. COSTS ASSOCIATED WITH DUST CONTROL SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
- WITH DUST CONTROL SHALL BE INCLUDED IN THE CONTRACT AMOUNT.

  22 CLEAN UP FOR FINAL ACCEPTANCE THE CONTRACTOR SHALL MAKE A FINAL CLEAN UP OF ALL PARTS OF THE WORK BEFORE ACCEPTANCE BY THE OWNER. THIS CLEAN UP SHALL INCLUDE REMOVAL OF ALL OBLECTIONABLE MATERIALS AND, IN OCHERAL, PEPEPARIOR OF STEE OF THE WORK IN AN ORDITATY MANNER OF A PAPEARANCE.
- IN CENERAL, PREPARING THE STE OF THE WORK IN AN ORDERLY MANNER OF APPEARANCE.

  S. REJOYAL OF CEFECTIVE AND UNAUTHORIZED WORK CALL WORK, WHICH HAS BEEN REJECTED OR CONDEUNED, SHALL BE REPAIRED, OR IT IT CANNOT BE REPAIRED AND FEIL OF THE CONTRACTOR'S DEPENSE. DEFECTIVE MATERIALS SHALL BE MAIDTAILY REWOYDD FROM THE WORK SITE. WORK COME NOT IN CONFORMITY WITH THE CRUESS SHOWN ON THE DRAWNISC OR AS WRITTEN AUTHORITY AND PRICE AGREEMENT IN WRITING AS TO PRICES, SHALL BE AT THE CONTRACTOR'S RISK, AND WILL BE CONSIDERED UNAUTHORIZED, AND AT THE OPTION OF THE OWNER MAY NOT BE MUSSIRED AND PAID FOR AND MAY BE CORSIDERED REMAYDED AT THE CONTRACTOR'S DEPENSE. UPON FAILURE OF THE CONTRACTOR'S RISK, AND WILL BE CONSIDERED REMOVED AT THE CONTRACTOR'S DEPENSE. UPON FAILURE OF THE CONTRACTOR'S RISK, AND MAY BE CORSERED REMOVED AT THE CONTRACTOR'S DEPENSE. UPON FAILURE OF THE CONTRACTOR'S RISK, AND MAY BE CORSERVED WAS AND THE OWNER WILL AFTER COWNER OWNER, OF THE CONTRACTOR'S THE OWNER WILL AFTER COWNER OWNER, OF THE CONTRACTOR, AND THE AUTHORITY TO CAUSE.

  CONTRACTOR WORK TO BE REMOVED AND THE OWNER OWNER LANDING LANDING WORK TO THE REMOVED AND TO DEDUCT THE COST THEREOF ANY MONES DUE ON TO BECOME DUE TO THE CONTRACTOR. BROWNERS OF REMOVED AND TO DEDUCT THE COST THEREOF ANY MONES DUE ON TO BECOME DUE TO THE CONTRACTOR.

  AND TO DEDUCT THE COST THEREOF ANY MONES DUE ON TO BECOME DUE TO THE CONTRACTOR. THE REMOVED FROM THE SITE
- AND 10 CEDUIT THE LUST HEREOF ANY MONES DUE ON TO RECOME DUE TO THE CONTINACTOR.

  LISPOSITION AND DISPOSAL OF EXCESS AND UNSUTTABLE MATERIALS. SILD HEREONAL TO BE REMOVED FROM THE SITE INCLUDED BUT NOT LIMITED TO EXCESS MATERIAL AND UNSUTTABLE MATERIALS SICH AS CONCRETE. ASPHALT, LARGE REGOS, REPUSS MATERIAL SHOW UNSUTTABLE MATERIALS SICH AS CONCRETE. ASPHALT, LARGE REGOS THE REGOSMET THE PROPERTY OF THE CONTRACTOR MATERIALS SICH AS CONTRACTOR AND SHALL BE DISPOSED OF OUTSIDE THE PROPERTY. CONTRACTOR SHALL ALSO COMPLY WITH ALL APPLICABLE LAWS COVERNING SPILLAGE OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE. COSTS ASSOCIATED WITH THE DISPOSAL OF EXCESS AND UNSUTTABLE MATERIALS SHALL BE INCLIDED IN THE CONTRACT AMOUNT.
- 35. RECORD DRAWNOS: THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF THE INSTALLATION OF ALL MATERIAL-AND SYSTEM COVERED BY THE PROJECT CONTRACT DOCUMENTS. THE COMPLETE SET OF RECORD DRAWNOS: MUST BI DELIVERED TO THE OWNER AND/OR ENGINEER BEFORE RECOUSTING FINAL PAYMENT.

- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PROVISIONS OUTLINED IN F.H.A. DATA SHEET 79G AND/OR THE SPECIFICATIONS PREPARED BY THE SOILS ENGINEER.
- SPECIFICATIONS PREPARED BY THE SUCE DEFORMER.

  "ALL CLAY SOL USED AS FILL SHOULD BE COMPACTED TO AT LEAST 95% AND NOT EXCEEDING 105 PERCENT OF STANDARD PROCTOR DESIGN AS DETERMINED BY ASTAN, D-698, THE COMPACTED MOSTURE CONTENT OF THE CLAY. DURING PLACEMENT SHOULD BE AT LEAST OPINION, MAN DOT EXCEEDING FIVE CS) PERCENTAGE PORTIS ABOVE OPINION.
- DURING PLACEMENT SHOULD BE AT LESS OF HIM ON AN ANY EXCEPTION THE 103 FEACH HIM CANADA SHOULD BE A SHOULD BE A COMPACTED TO AT LEAST 65 PERCENT AND NOT EXCEEDING 105 FEACHT OF STAMDARD PROCTOR DENSITY AS DETERMINED BY A.S.T.M. D-698/ THE COMPACTED MONSTURE CONTENT DURING PLACEMENT SHOULD BE WITHIN FLUX OR MINUST HIRE (25) PERCENTAGE POINTS OF OPHILM MOSTURE CONTENT DURING PLACEMENT SHOULD BE WITHIN FLUX OR MINUST HIRE (25) PERCENTAGE POINTS OF OPHILM MOSTURE CONTENT, NO FROCK LARGER THAN SXX SHOULDS IN ITS OREATEST DIRECTION SHALL BE USED IN FILL MEDI THE FILL IS PLACED URGER PLACE, STREETS OR ANY OTHER AS THAT WITH ANY TYPE OF STRICTURES.
- 4. COMPACTION SHOULD BE ACCOMPLISHED BY PLACING THE FILL IN SX NICH THICK LOOSE UFTS AND COMPACTING EACH LIFT TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY, PARTICLE SIZES USED IN FILL SHALL BE LESS THAN SIX (6) INCHES DIAMETER.
- 6. GRADING CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OFF—SITE OF ALL EXCAVATED AND CLEARED MATERIAL, WHICH SOILS LAB DECLARES UNSUITABLE FOR USE ON—SITE.
- CONTRACTOR TO SLOPE THE ADJACENT GROUND AWAY FROM BUILDING PAD TO ACHIEVE POSITIVE SURFACE DRAINAGE.
- INITIAL SITE GRADING SHALL BE COMPLETED TO A TOLERANCE OF PLUS OR WINUS ONE TENTH OF ONE FOOT IN STREETS AND PLUS OR WINUS THERE TENTHS OF ONE FOOT FOR THE BUILDING PADS, FINAL BUILDING PAD GRADING, TO BE DONE UPON COMPLETION OF PANING AND UTILITY FACULTIES, SHALL BE PROVIDED TO A TOLERANCE OF PLUS OR NEWS TWO ITSHIS OF ONE FOOT AT ALL FOUR CORNERS AND CENTER OF BUILDING PAD, IN ALL SWALES, AND LOT CORNERS.
- CONTRACTOR SHALL REPLACE ANY EROSION CONTROL MATERIALS AT THE END OF EACH WORK DAY IF SAID MATERIALS WERE REMOVED DURING THE DAY FOR EASE OF CONSTRUCTION OR ACCESS.
- A. F ROCK IS ENCOUNTEDED IN THE STREET SUBGRAUE, THE ROCK SHALL BE EXCAVATED TO A DEPTH OF SIX INCHES, REJUCINE PROM THE STREET, AND NON-ROCK MATERIAL, SHALL BE REPLACED FOR THE STREET SUBGRADE, ROCK IN THE STREET FARMAN'S SHALL BE RESUMDED AND REPLACED WITH SIX INCHES OF TOP SOIL THIS SHALL BE ACCOMPLISHED BY THE EXCAVATION CONTRICTORS, SUBSIDIARY TO THIS CONTRACT.
- 10. NO PART OF ANY RETAINING WALL SHALL BE WITHIN CITY RIGHT-OF-WAY, OR CITY PROPERTY (I.E. PARK) INCLUDING FOOTING.
- \*\* APPLIES TO ALL AREAS OUTSIDE OF PUBLIC R.O.W. ONLY. REFER TO PAYING GENERAL CONSTRUCTION NOTES FOR DENSITY/MOISTURE REQUIREMENTS IN R.O.W.

- UTILITY DATA IS PROVIDED FOR INFORMATION ONLY, ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTION IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.
- 2. CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO
- 3. SEE UTILITY PLANS FOR LOCATION OF WATER LINES, SANITARY SEWER LINES, STORM DRAINS, AND UTILITY CROSSING.
- 4. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS.
- STREET CURB RADII AT STREET INTERSECTIONS SHALL BE 20' (MEASURED FROM BACK OF CURB) UNLESS OTHERWISE NOTED. ALL PAYING DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
- TYPICAL PAVEMENT SECTION IS TO TRANSITION FROM CROWN SECTION TO TRANSVERSE SECTION WITHIN A DISTANCE OF 50' OF WHERE A VALLEY CUTTER CROSSES A STREET INTERSECTION.
- 8. SEE PAVEMENT CONSTRUCTION DETAILS SHEET FOR PAVEMENT SECTIONS AND CONSTRUCTION DETAILS.
- 9, BLUE REFLECTOR TO BE INSTALLED 1.0" OFFSET FROM CENTERLINE OF STREET ON FIRE HYDRANT SIDE, FOR PURPOSES OF QUICK HYDRANT LOCATION AT NIGHT.

#### STORM DRAIN NOTES

- WATER AND SANITARY SEWER LINES ARE SHOWN FOR REFERENCE ONLY. REFER TO WATER AND SANITARY SEWER PLANS FOR EXACT LOCATION. 2 ALL STURM URAIN LINES TO BE M.C.P. CLASS III UNLESS UTBERRISE MOTELL
- ALL CURVED STORM DRAIN IS TO BE CONSTRUCTED WITH RADIUS PIPE OR IS TO BE DEFLECTED AT JOINTS (PER MANUFACTURERY'S SPECIFICATIONS) AND GROWTED AS NECESSARY. IT SHALL BE THE CONTRACTOR'S OPTION AS TO WHICH METHOD TO USE (NO SEPARATE PAY).
- WHICH METHOD TO USE (NO SEPARATE PAY).

  4. ALL AREA DISTURBED BY CHANNEL EXCAVATION SHALL BE RE-VECETATED AS SET FORTH IN THE STORM WATER POLUTION PREVENTION PLAN (SMPPP) MIGHT WAS PREPARED SPECIFICALLY FOR THIS PROJECT, OR OTHERWISE PROTECTED AGAINST EROSION BY THE USE OF RIP-RAP, GABRONS, OR GEOTEXTILES.

#### EROSION & SEDIMENT CONTROL NOTES

- 1. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY THE GOVERNING AUTHORITIES AND ALL PERIMETER EROSION CONTROL DEWCES HAVE BEEN INSTALLED.
- 3. THIS EROSION CONTROL PLAN IS A SUPPLEMENT TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY OTHERS. REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS.
- BY OTHERS, REPER TO THE SWIPPY FOR ADDITIONAL REQUIREMENTS. SHALL PERFORM ALL REQUIRED INSPECTIONS OF STORM WATER CONTRACTOR, AS THE TICED DEFINES OFFIRED. SHALL PERFORM ALL REQUIRED INSPECTIONS OF STORM WATER CONTROLS AND PRACTICES AT PREQUIREMES OUTLINED IN THE TIPESS CENERAL PERMIT AND SHALL FILL OUT APPROPRIATE INSPECTION FORMS (AS PROMOED IN THE SWIPPY) UNLESS OTHERWISE DIRECTED BY THE OWNER.
- 5. THE GENERAL CONTRACTOR (AND ALL SUBCONTRACTORS INVOLVED WITH ANY CONSTRUCTION ACTIVITIES RELATED TO ENATITHMENK, DROSON CONTROL, ETC. OR WHICH UTILIZE POSSIBLE POLLUTANTS AS DEFINED IN THE TYPES GENERAL PRIVATE TO THE SWPPP FOR THE PROJECT, AS WELL AS ALL THE TOEG REQUIREMENTS SET FORTH IN THE TYPES CENTERAL PETHAL.

- - EXCAVATION CONTRACTOR TO BE RESPONSIBLE FOR INSTALLATION OF SILT BARRIERS, CHECK DAMS, AND CONSTRUCTION ENTRANCE/Port.
- UTILITY CONTRACTOR (WATER, SEWER & STORM DRAIN) TO BE RESPONSIBLE FOR INSTALLATION OF STAGE 1 AND STAGE 2 INLET PROTECTION.
- WINER TO BE RESPONSIBLE FOR SEEDING AND FINAL REMOVAL OF EROSION CONTROLS.
- EACH CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES ALREADY IN PLACE. CONTRACTOR SHALL REMOVE AND REPLACE EROSION CONTROL AS NEEDED FOR CONSTRUCTION OR ACCESS. ALL EROSION CONTROL MUST BE HI PLACE AT THE BUD OF EACH DAY.
- CATIKUL MUST BE IN PLACE AT THE END OF EACH DAY.

  IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE WHATEVER MEANS ARE NECESSARY TO CONTROL AND UNIT SILT AND SEDMENT LEAVING THE SITE SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS, STORM DRAIN SYSTEMS, INLETS, AND ADJACENT PROPERTY FROM EROSION DEPOSITS. THE CONTRACTOR SHALL ASSUME LUBLITY FOR DAMAGE TO ADJACENT PROPERTIES MAYOUR TO WHATEVER THE ADJACE TO PULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL PROCEDURES SHOWN AND NOTED IN THESE PLANS AND THE SWPPP.
- 9, ALL EROSION CONTROL DEVICES TO BE INSPECTED, CLEANED, AND/OR REPLACED AFTER EACH STORM.
- O. USE OF ON-SITE FUEL STORAGE TAMES IS DISCOURAGED, HOWEVER, IF USED, THE PREVENTION OF HAZARDS TO THE GROUND WATER IS THE SOLE RESPONSIBILITY OF THE CONTRACTION UTILIZING SAID STORAGE. SEE M.C.T.C.O.G. CONSTRUCTION BUP MANUAL SECTION 4 HAZARDOUS WASTE MANAGEMENT.
- A CENTRALIZED PIT/WASH BASIN SHALL BE CONSTRUCTED ON-SITE FOR THE PURPOSE OF CONCRETE TRUCK WASHING. SEE N.C.T.C.O.G. CONSTRUCTION BMP MANUAL SECTION 4 CONCRETE WASTE MANAGEMENT.
- CONTRACTORS SHALL PARK, STONE EQUIPMENT AND MATERIALS AND SERVICE VEHICLES AT THE PARKING AND STORAGE AREA: THE LOCATION OF SAID AREA IS TO BE APPROVED BY THE OWNER OR HIS REPRESENTATIVE.
- CONSTRUCTION ENTRANCES ARE TO BE INSTALLED AT ALL POINTS WHERE EQUIPMENT ENTERS OR LEAVES THE SITE. THE LOCATION OF SAME IS TO BE APPROVED BY THE OWNER OR HIS REPRESENTATIVE.
- 14. EROSION CONTROLS TO REMAIN IN PLACE AND TO BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
- THE ENDING CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLET OR IN CHANNELS, DAWNAGEAN'S OR BORROW DITCHES AT RISK OF CONTRACTOR, CONTRACTOR SHALL REJAIN LIABLE FOR MY DAMAGE CAUSED BY MEASURES, INCLUDION FLOOD DAMAGE MIGH MAY OCCUP DUE TO BLOCKED DRAMAGE AT THE CONCLUSION OF MY PROCEST ALL CHANNELS, DRAMAGEAN'S AND BERROW DITCHES IN THE WORK ZONE SHALL BE DREDGED OF ANY SEDMENT CREGARD BY THE PROCEST AS A RESULT OF ENDOGEN CONTROL MEASURES.
- 6. ALL WASH WATER SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN WASH WATER POLLUTANTS AND STORM RUNOFF DISCHARGED FROM THIS SITE.
- 7. DISTURBED AREAS ON THE SITE WHERE CONSTRUCTION ACTIVITY HAS CEASED FOR AT LEAST 14 DAYS SHALL BE TEMPORARILY PLANTED AND/OR SEEDED AND WATERED.
- TR. DISTURBED AREAS ON THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED AND AREAS WHERE FINAL GRADE HAS BEEN ACHIEVED SHALL BE PERMANENTLY PLANTED AND/OR SEEDED WITHIN 14 DAYS.
- 19. PLANTING AND/OR SEEDING OF VECETATED AREAS TO ACCOUNTENS STATEMENT TO WITH THE LANDSCAPING PLAN. AREAS RECORD THE UNITS OF THE LANDSCAPING PLAN. AREAS RECORD THE UNITS OF THE LANDSCAPING PLAN (OR WHEN A LANDSCAPING PLAN OPEN FOR THE WITH THE VECETATION OF THE LANDSCAPING PLAN OPEN THE WITH THE VECETATION IS ESTABLISHED.
- 20 THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SILT IN ANY STORM SEMER INLETS AND PIPES, AND ALONG SILT FENCES, WITHIN 48 HOURS AFTER INSPECTIONS OF DEVICES REVEALS THE PRESENCE OF EXCESS SILTATION. 21. SILT FENCES SHALL BE PLACED AROUND STOCKPILES USED ON THE SITE
- 22 THE CONTRACTOR SHALL MODIFY THIS PLAN TO SHOW LOCATIONS OF TEMPORARY WASHDOWN AREA, PORTABLE TOLLETS, EQUIPMENT MAINTENANCE/REPAIR AREAS, STOCKPILE AREAS, FUEL STORAGE AREAS, ETC. AND POLLUTANT CONTROLS

#### WATER AND SANITARY SEWER NOTES

- THE CONTRACTOR SHALL INSTALL WATER AND SEMER LINES SO AS TO AVOID CONFLICTS WITH OTHER UTILITIES. WATER AND SANITARY SEMES SEPARATIONS SHALL BE MANIFANTHANED PER TEXAS COMMISSION ON ENVIRONMENTAL GUALITY (TREE) OR CITY REGULATIONS (WHOTEVER IS MORE STRINGENT).
- . THE CONTRACTOR SHALL INSTALL ALL GRAVITY LINES (SANITARY SEWER, STORM SEWER AND FRENCH DRAINS) BEFORE INSTALLATION OF WATER LINES AND APPURTENANCES.
- IF GROUNDWATER IS ENCOUNTERED WHEN LAYING UTILITY LINES, 3/4" WASHED ROCK MUST BE PLACED 6" BELOW AND 6" ABOVE THE UTILITY LINE.
- CONTRACTOR SHALL COORDINATE RISTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ASSUSE PROPER DEPTHS ARE ACHEVED. CONTRACTOR SHALL ADMENT TO THE REQUIREMENTS OF THE APPLICABLE CITY'S PUBLIC WORKS DEPARTMENT, BUILDING INSPECTIONS AND SHALL COORDINATE WITH CITY PRIOR TO CONNECTING TO DOSTING PUBLIC UTILITIES.
- 5 CONTRACTOR SHALL SLIBUIT SHOP DRAWINGS AND TRENCH SAFETY PLAN PRIOR TO PRE-CONSTRUCTION MEETING.
- THE CONTRACTOR SHALL COORDINATE INSPECTION AND TESTING ON ALL UTILITIES WITH THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING CONSTRUCTION. 7. ALL FIRE PROTECTION WORK MUST BE PERMITTED AND APPROVED BY THE APPLICABLE CITY'S FIRE DEPARTMENT.
- CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ALL VALVE BOXES, HYDRANTS, SEWER CLEAN OUTS AND MANHOLE RIMS TO FINAL GRADE.
- CONTRACTOR TO COORDINATE FINAL LOCATION OF ELECTRIC, TELEPHONE, AND GAS SERVICE WITH EACH RESPECTIVE UTILITY COMPANY, AND SHALL INCLUDE ALL ASSOCIATED COSTS IN BIG.
- 10. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OR RELOCATION OF ON-SITE POWER POLES AS REQUIRED TO COMPLETE THE WORK.
- 12. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO GAS LINES, UNDERGROUND ELECTRIC CASILE, FIRER GETIC CASILE AND UNDERGROUND TELEPHONE CASILE.
- 13. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL INEDIATELY MOTIFY THE GONERO OF THE RESPECTIVE UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING OR REPAIRING THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORGANIL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERMSE SOMMY OR NOTED ON THE PLANS. THE CONTRACTOR SHALL ALSO NOTIFY THE ENGINEER OF ANY CONFLICTS IN GRADES AND ALUCNMENT.
- 14. ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO AWWA STANDARD AND SHALL MEET THE CLASSIFICATION PRESSURE RATING AND COVER REQUIRED BY CITY.
- 15, CORPORATION STOPS SHOULD BE TESTED FOR LEAKAGE AND FULL FLOW WHEN SYSTEM IS PRESSURE TESTED.
- 16. WATER AND SANTARY SEMER LINES SHALL BE INSTALLED AS SHOWN ON THE PLANS, HOWEVER, FIELD ADJUSTMENT APPROVED BY THE ENGINEER MAY BE MADE TO LESSEN DAMAGE TO THE ROAD PAVEMENT OR WHEN OTHER UTILIT LOCATIONS, THESE, OR STRUCTURES MANADATI SUCH AN ADJUSTMENT.
- 7. Fire line sizes shown on this plan are estimated or provided by the owner, fire lines and all associated apparatuses shall be designed and installed be a state licensed fire springler contractor.
- 18. DIE CONTRACTOR SHALL BE RESPONSBEE FOR DISINFECTION, CHLORINATION AND FLUSHING REQUIREMENTS. THIS SHALL INCLUDE PROVISION TEMPORARY ISOLATION VALVES, PLUCS, INJECTION PORTS, FLUSHING VALVES, TOOLS AND EQUIPMENT INCESSARY TO COMPLETE THE TASK. THE CONTRACTOR SHALL CONTACT THE WATER UTILITY 48 HOURS PRIOR TO FLUSHING OF WATER LINES.
- 19. ALL WATER LINE FITTINGS ARE TO BE DUCTILE IRON MECHANICAL JOINTS.
- 19. ALL WATER LINE FITTINGS ARE DE COULTE AND RECORDING TO THE COUNTY OF CONTRACTOR TO ALLOW CONTRACTOR'S EXPENSE.
- 21. IN THE EVENT OF A CONFLICT BETWEEN WATER LINES AND STORM DRAIN PIPPING, THE CONTRACTOR SHALL ADJUST TO WATER LINE DOWNWARDS IN SIGNOL A MANNER SO THAT THE PIPE MANUFACTURER'S RECOMMENDATIONS ON PI DEFLECTION AND JOINT STRESS ARE NOT EXCEPTED.
- 22 ALL VALVES AT THE END OF A LINE SHALL BE PLUGGED AND BLOCKED.
- 23. FIRE HYDRANTS SHALL BE LOCATED IN ACCORDANCE WITH CURRENTLY PUBLISHED CITY DESIGN STANDARDS.
- 24 FIRE HYDRANT ASSEMBLY BID ITEMS WILL INCLUDE THE FIRE HYDRANT, THE PIPE EXTENSION FROM THE TEE, AND AL
- 25. UPON COMPLETION OF SANTARY SEMER LINE CONSTRUCTION, THE CONTRACTOR SHALL HAVE THE LINES TESTED, INCLUDING MANDREL TEST, AR TEST, AND A T.V. INSPECTION AT NO ADORTIONAL COST TO THE OWNER.
- 26. CONTRACTOR SHALL FOLLOW BUILDING INSPECTION RULES REGARDING THE MATERIALS AND INSTALLATION OF THE PRIVATE WATER AND SANITARY SEWER LINES.

ADDITIONAL EROSION CONTROL DEFUCES AND/OR ADJUSTMENT OF LOCATIONS FOR EROSION CONTROL MAY BE 187. SANITARY SEWER PIPE MATERIALS TO BE USED ON THIS PROJECT, UNLESS NOISED OTHERWISE, ARE SOR-35 PVC, USE SIR-25 WERE EIGHTS EXCEED 12' OR WHERE SEWER FIPE IS LESS THAN 10' HORZONTALLY FROM WATER PIPE. ALL ADDITIONAL DEPORES THE ADDITION OF ROLLETION OF ANY EROSIN CONTROL MEASURE MAY REQUIRE THAT THE SHEPP BE MODIFIED BY ACCORDANCE WITH THE TEXTS THE FOR THE ADDITION OF ROLLETION OF ANY EROSIN CONTROL MEASURE MAY REQUIRE UNITED THAT THE SHEPP BE MODIFIED BY ACCORDANCE WHITH THE TEXTS THE PIPE ADDITIONS OF REQUIREMENTS.

28 TRENCH BUCKFILL COMPACTION SHALL BE TESTED AT THE RATE OF ONE (1) TEST PER 100 LINEAR FEET PER 6 INCH LIFT (LOOSE). TESTS SHALL BE STAGGERED SO THAT TESTS OF ADJACENT LIFTS ARE NOT DIRECTLY OVER TEST LOCATION OF PREMOUS LIFT.

29 WHERE CONNECTING DISTANCE BETWEEN MANHOLES EXCEEDS 100 FEET, A MINIMUM OF TWO (2) TESTS PER LIFT AND CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING COMPACTION TO \$5X STANDARD PROCTOR.

30. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES INCURRED IN THE INSTALLATION OF UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING COMPACTION TO 95% STANDARD PROCTOR IN AREAS EXCAVATED AT THE BUILDING FOOTINGS FOR UTILITY SERVICE ENTRIES.

32 CONTRACTOR SHALL VERIFY ALL THE COORDINATES FOR ACCURACY AND CONFIRM THE LOCATIONS OF ALL UTILITIES TO BE CONSTRUCTED, BOTH HORIZONTALLY AND VERTICALLY. ANY DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE REPORTED TO THE ENGINEER FOR RECONCULATION. AND CONTRACTOR SHALL USE COSA APPROVED CONTINED SPACE ENTRY PROCEDURES WHEN ENTERING SANITARY SEWER
MANNICES. THE SAFETY EQUIPMENT SHALL BE FURNISHED BY THE CONTRACTOR AND SHALL BE OSHA CERTIFED,
PERSONS WORKING IN THESE AREAS SHALL BE TRAINED IN THE PROPER USE OF THE SAFETY EQUIPMENT.

34. INSTALL CLAY PLUG IN UTILITY TRENCHES WHERE ANY UTILITY COMES TO ANY STRUCTURE PER THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.

R TYPE PT20M BUILDING TYPE F.M. 407 & MCMAKIN R BARTONVILLE, TX

ON IPE-DAWS PAN FDAT WO 6500 W

WHATABURGET

SHEET TITLE GENERAL CONSTRUCTIO NOTES

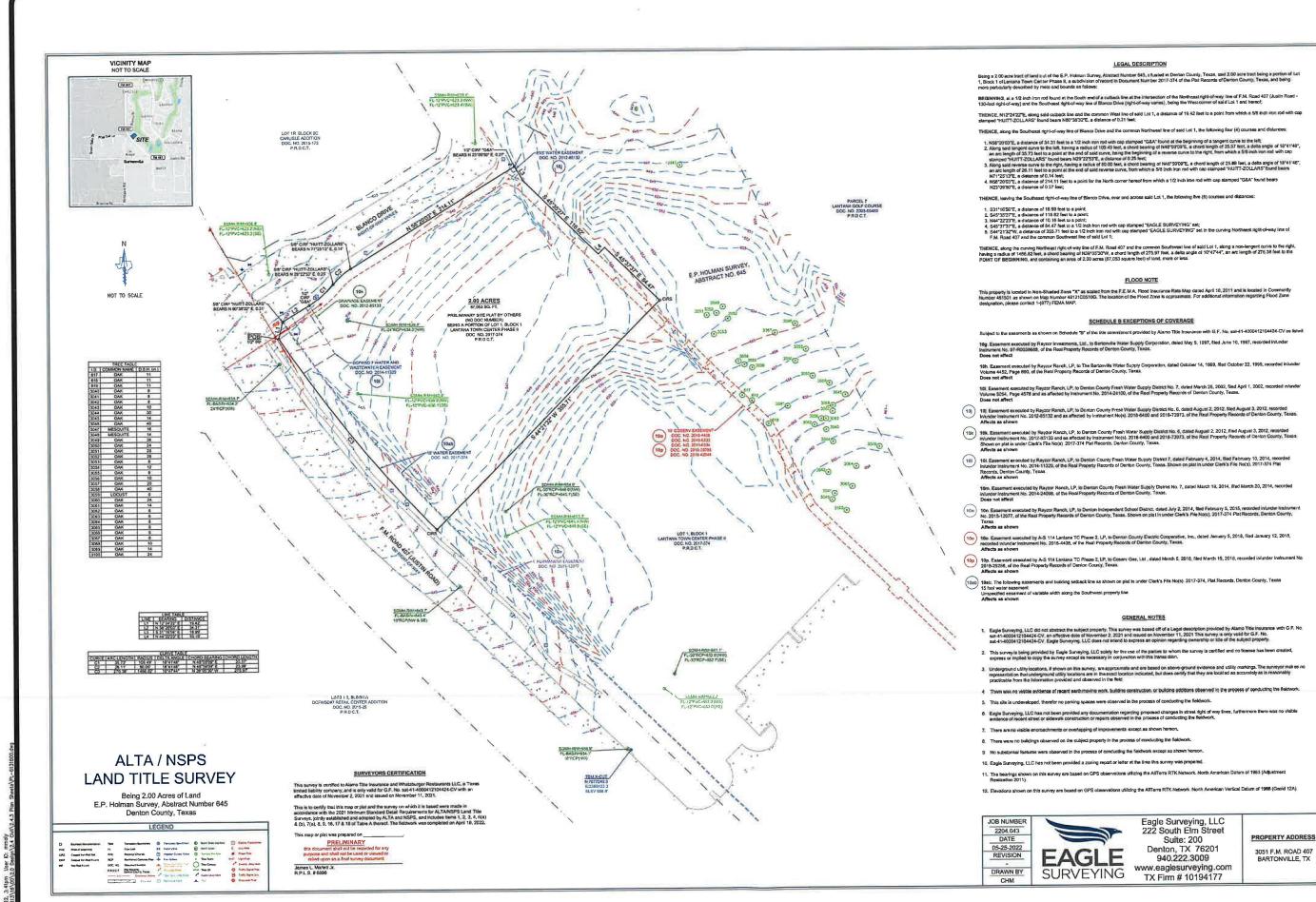
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RELEASED FOR "REVIEW PURPOSES" UNDER THE **AUTHORIZATION OF** MATTHEW L MALY. P.E. #120494 AUGUST 30, 2022. IT IS NOT FOR CONSTRUCTION OR PERMIT PURPOSES.

COCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE. ANY AND ALL UNDERGROUND LITTILIES CONTRACTOR SHALL NOTIFY. UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION. THE PROPERTY OF THE PROPERTY O



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WHATABURGER

300 CONCORD PLAZA DR SAN ANTONIO, TEXAS 210-478-8000 ZIP 78218

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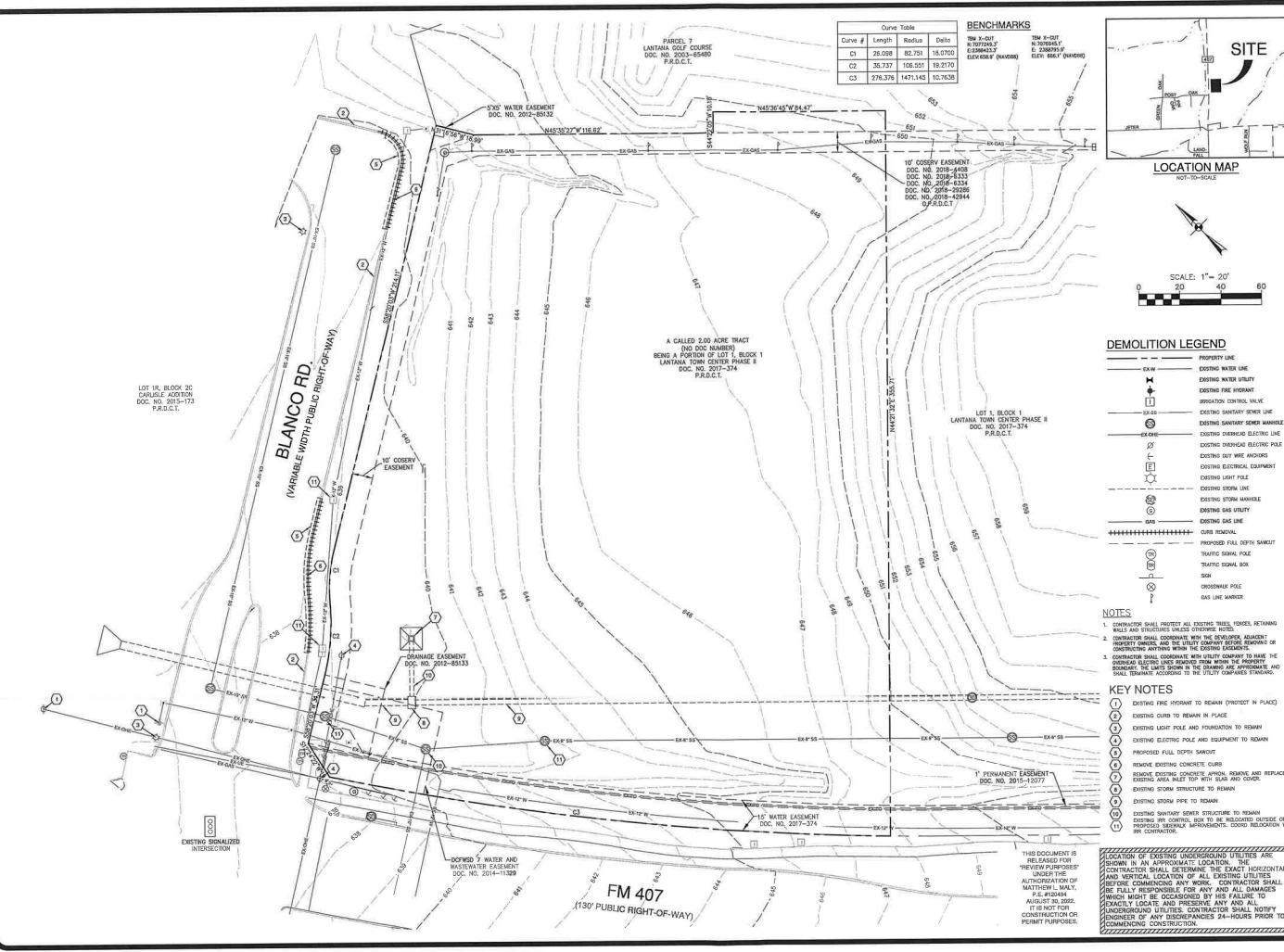
UNIT NO.
DATE: 08/30/20

SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:

C2.0





SITE

**LOCATION MAP** 



### DEMOLITION LEGEND

|           | PROPERTY LINE                   |
|-----------|---------------------------------|
| EX-W      | EXISTING WATER LINE             |
| H         | EXISTING WATER UTILITY          |
| +         | DOSTING FIRE HYDRANT            |
| 白         | IRRIGATION CONTROL VALVE        |
| EX-SS     | EXISTING SANITARY SEWER LINE    |
| <b>S</b>  | EXISTING SANITARY SEWER MANHOLI |
| EX-OHE    | EXISTING OVERHEAD ELECTRIC LINE |
| Ø         | EXISTING OVERHEAD ELECTRIC POLE |
| <b>←</b>  | EXISTING GUY WIRE ANCHORS       |
| E         | EXISTING ELECTRICAL EQUIPMENT   |
| **        | EXISTING LIGHT POLE             |
|           | EXISTING STORM LINE             |
| <b>ED</b> | EXISTING STORM MANHOLE          |
| Õ         | EXISTING GAS UTILITY            |
| GAS       | EXISTING GAS LINE               |
|           |                                 |

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CROSSWALK POLE

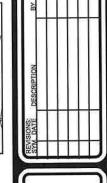
GAS LINE MARKER

PROPOSED FULL DEPTH SAWCUT TRAFFIC SIGNAL POLE TRAFFIC SIGNAL BOX

- EXISTING FIRE HYDRANT TO REMAIN (PROTECT IN PLACE)
- EXISTING CURB TO REMAIN IN PLACE
- EXISTING LIGHT POLE AND FOUNDATION TO REMAIN
- PROPOSED FULL DEPTH SAWCUT
- REMOVE EXISTING CONCRETE CURB
- REMOVE EXISTING CONCRETE APRON. REMOVE AND REPLACE EXISTING AREA INLET TOP WITH SLAB AND COVER.

- EXISTING SANITARY SEWER STRUCTURE TO REMAIN EXISTING IRR CONTROL BOX TO BE RELOCATED OUTSIDE OF PROPOSED SIDEWALK IMPROVEMENTS. COORD RELOCATION WITH IRR CONTRACTOR.

LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24—HOURS PRIOR TO COMMENCING CONSTRUCTION. THE PROPERTY OF THE PROPERTY O



PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

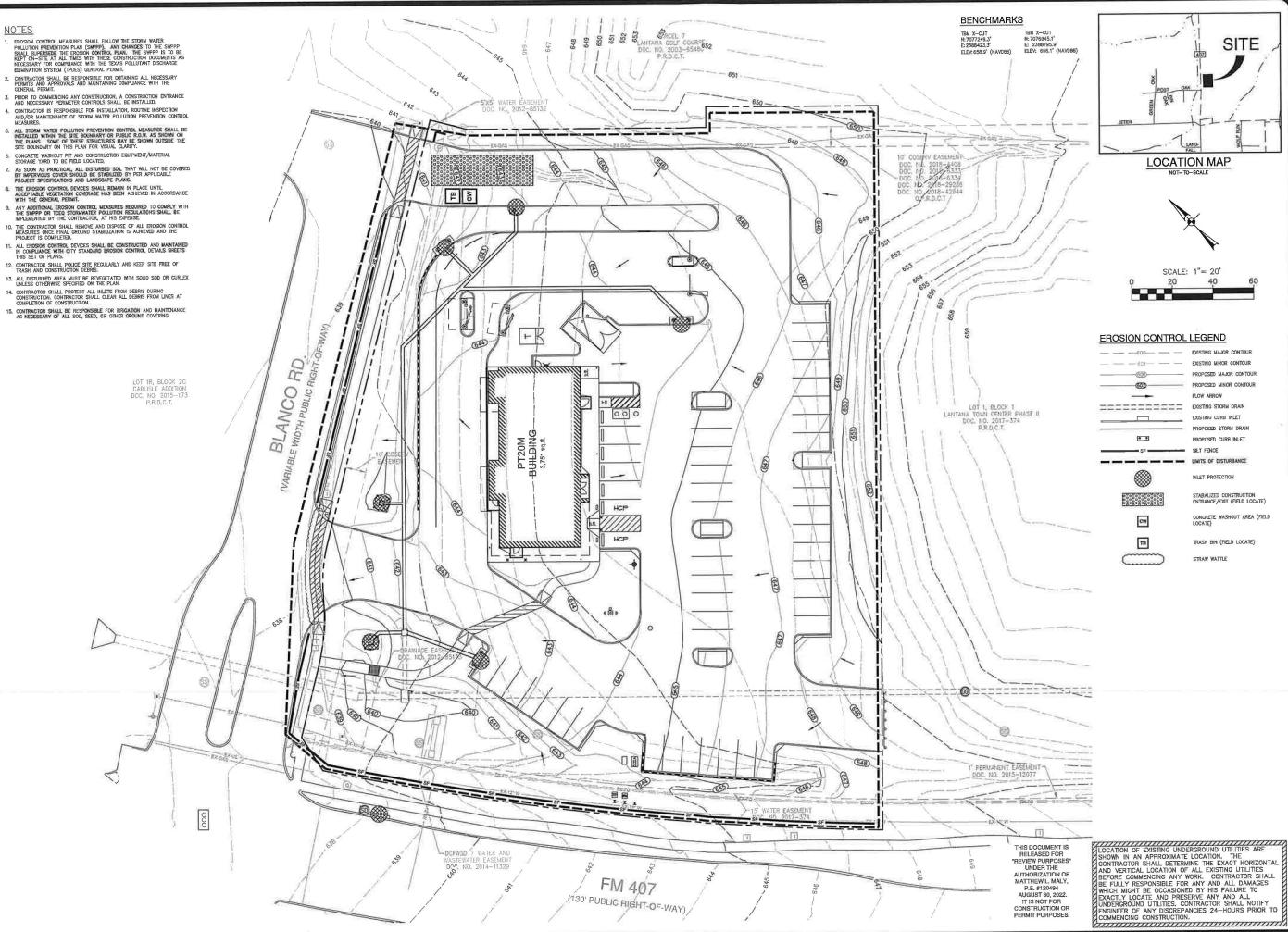
PAPE-DAWSON ENGINEERS

### WHATABURGER

SHEET TITLE: **EXISTING** CONDITIONS & DEMOLITION PLAN

DATE: SCALE: 1" = 20" DRAWN BY: DDD





SITE **LOCATION MAP** 





- - 601 - EXISTING MINOR CONTOUR PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR FLOW ARROW EXISTING STORM DRAIN

PROPOSED STORM DRAIN PROPOSED CURB INLET SILT FENCE

INLET PROTECTION

STABALIZED CONSTRUCTION ENTRANCE/EXIT (FIELD LOCATE)

CONCRETE WASHOUT AREA (FIELD LOCATE)

STRAW WATTLE

WHATABURGER

PAPE-DAWSC

PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

TRASH BIN (FIELD LOCATE)

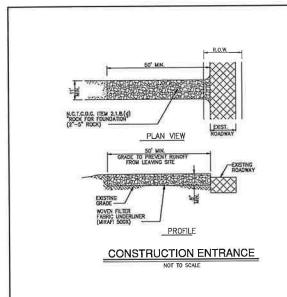
**EROSION** CONTROL **PLAN** 

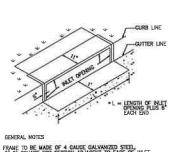
UNIT NO. DATE: SCALE: 1" = 20

DRAWN BY: DDD

SHEET NO: C4.0





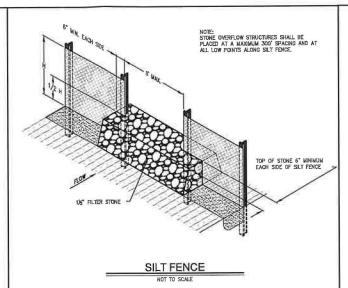


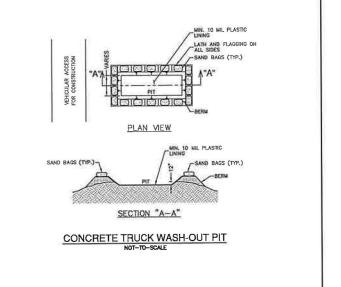
FRANE TO BE MADE OF 4 GAUGE GALVANIZED STEEL. 3"x8" SQUARE FOR SECTION ADJACENT TO FACE OF INLET, 4"x8" SQUARE FOR TOP AND BOTTOM SECTIONS.

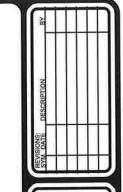
2. FILTER FABRIC TO BE TS 500 POLYFELT.

3. CURB INLET PROTECTOR TO BE MANUFACTURED BY TEXAS ENVIRONMENTAL MANAGEMENT, INC. OR EQUAL (ENGINEET TO APPROVE SUBSTITUTE PRIOR TO INSTALLATION.)

ALTERNATE 3
CURB INLET PROTECTION
(STAGE TWO)







PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

PAPE-DAWSON
FOR WORTH LAN AND HOUSE IN SET TO THE PARENCE IN SET T

### WHATABURGER

300 CONCORD PLAZA DR. SAN ANTONIO, TEXAS 210-478-8000 ZIP 78216

**EROSION** CONTROL **DETAILS** 

UNIT NO. DATE: 08/30/20

SCALE: 1" = 20" DRAWN BY: DDD

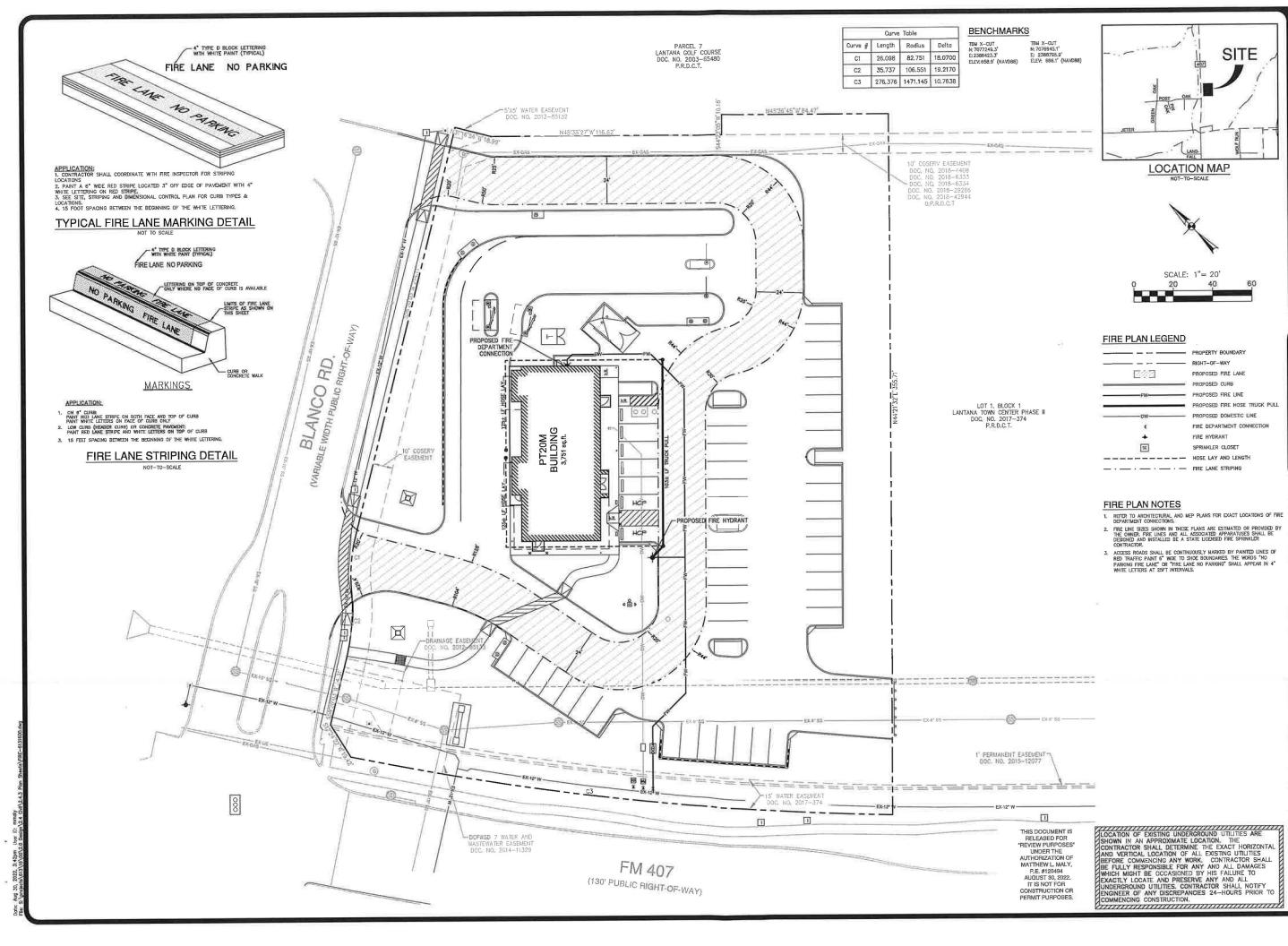
SHEET NO:

C4.1

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PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

#### WHATABURGER

300 CONCORD PLAZA DE

FIRE **PROTECTION** 

PLAN

DATE:

SCALE: 1" = 20' DRAWN BY: DDD

SHEET NO

C5.0



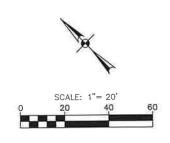
#### **BENCHMARKS**

TBM X-CUT N: 7077249.3' E: 2388423,3' TBM X-CUT N:7076945.1' E: 2388795.9' ELEV: 666.1' (NAVD88) ELEV: 658.9' (NAVD88)

LOT 1, BLOCK 1 LINTANA TOWN CENTER PHASE II DOC, NO. 2017-374 P.R.D.C.T.



**LOCATION MAP** 



#### PAVING LEGEND

STRUCTURAL SLAB, REFERENCE STRUCTURAL PLANS,



PROPOSED 6" 3,500 PSI PORTLAND CEMENT CONCRETE W/ #3 BARS © 18" Q.C.E.W. ON 6" MIN COMPACTED SUBGRADE



PROPOSED 7" 3,500 PSI PORTLAND CEMENT CONCRETE W/ \$3 BARS @ 18" O.C.E.W. ON 6" MIN COMPACTED SUBGRADE PROPOSED 4" 3 000 PSI CLASS A CONCRETE PROPUSED 4 5,000 PSI CLASS & CONCRETE
STABILIZED SUBGRADE COMPACED TO 95% OF
MAXIMUM DENSITY (PER CITY SPECIFICATIONS)

SAWCUT CONTROL JOINT (SEE SHEET C7.2)

#### PAVING NOTES:

- 1. THE CONTRACTOR SHALL PROVIDE A FULL DEPTH SAW-CUT AND SMOOTH TRANSITION AT CONNECTIONS TO EXISTING PAVEMENT AND CURB.
- THE CONTRACTOR SHALL BACKFILL ALL CURBS WITHIN 48 TO 72 HOURS OF PLACEMENT.
- OF PLACEMENT.

  ALL SORWALKS, ACCESSBILE PATHS AND PARKING SHALL CONFORM TO THE ADA. SPECIFICATIONS AS STATED IN THE TIDAGS ACCESSBILLY STANDARDS, ACCESSBILS PARKING SPACES SHALL SLOPE NO MORE THAN 22 IN ANY DIRECTION AND PATHS/SIDEMALS SHALL MANTAN A MAXIMUM CROSS SUPE OF 22 AND 4 AMAZIMUM SCOPE OF 52 AN THE DIRECTION OF TRAYEL OF LOVE DIRECTION OF TRAYEL OF LOVE DIRECTION OF THE ACCESS OF THE PROPERTY OF THE P

- 6. ALL EXPANSION JOINTS SHALL BE CONSTRUCTED OF REDWOOD,
  7. SEE DIMENSIONAL CONTROL PLAN FOR PAYING DIMENSIONS AND LAYOUT.
- B. REFER TO ARCHITECTURAL PLANS FOR FOUNDATION DESIGN, FLATWORK LAYUUI, AND BUILDING DIMENSIONS.
- GEOTECHNICAL ENGINEERING REPORT BY TERRACON, PROJECT NUMBER 95225002, DATED JANUARY 6, 2021.

#### **KEY NOTES**

1 PROPOSED 6" CONCRETE CURB

2 PROPOSED CONCRETE TO EXISTING CONCRETE JUNCTURE (SEE DETAIL SHEET C7.2)

CONCRETE WHEEL STOP (SEE DETAIL SHEET C7.1)

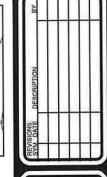
CURB RAMP AT ACCESSIBLE ROUTE (SEE DETAIL SHEET C7.1)

5 LOADING RAMP (SEE DETAIL SHEET C7.1) (5) PROPOSED 5' SIDEWALK (SEE SHEET C7.2)

PROPOSED SIDEWALK JUNGTURE (SEE DETAIL SHEET C7.2)

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PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

NO PAPE-DAWSC FOAT WORTH

WHATABURGER 300 CONCORD PLAZA DE

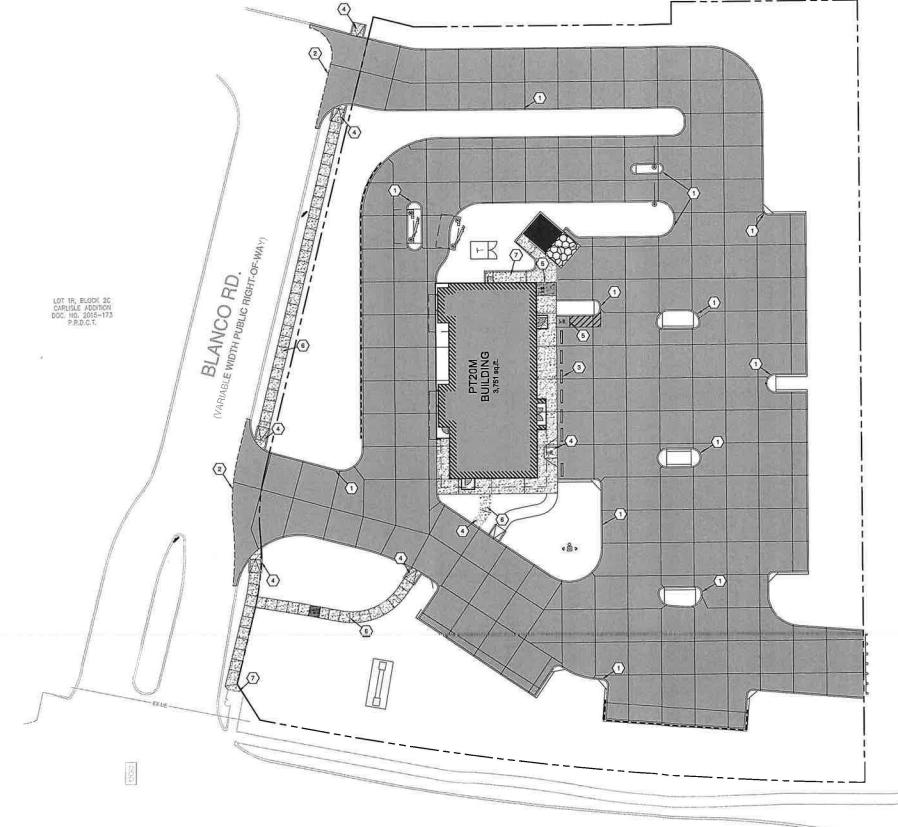
**PAVING PLAN** 

DATE:

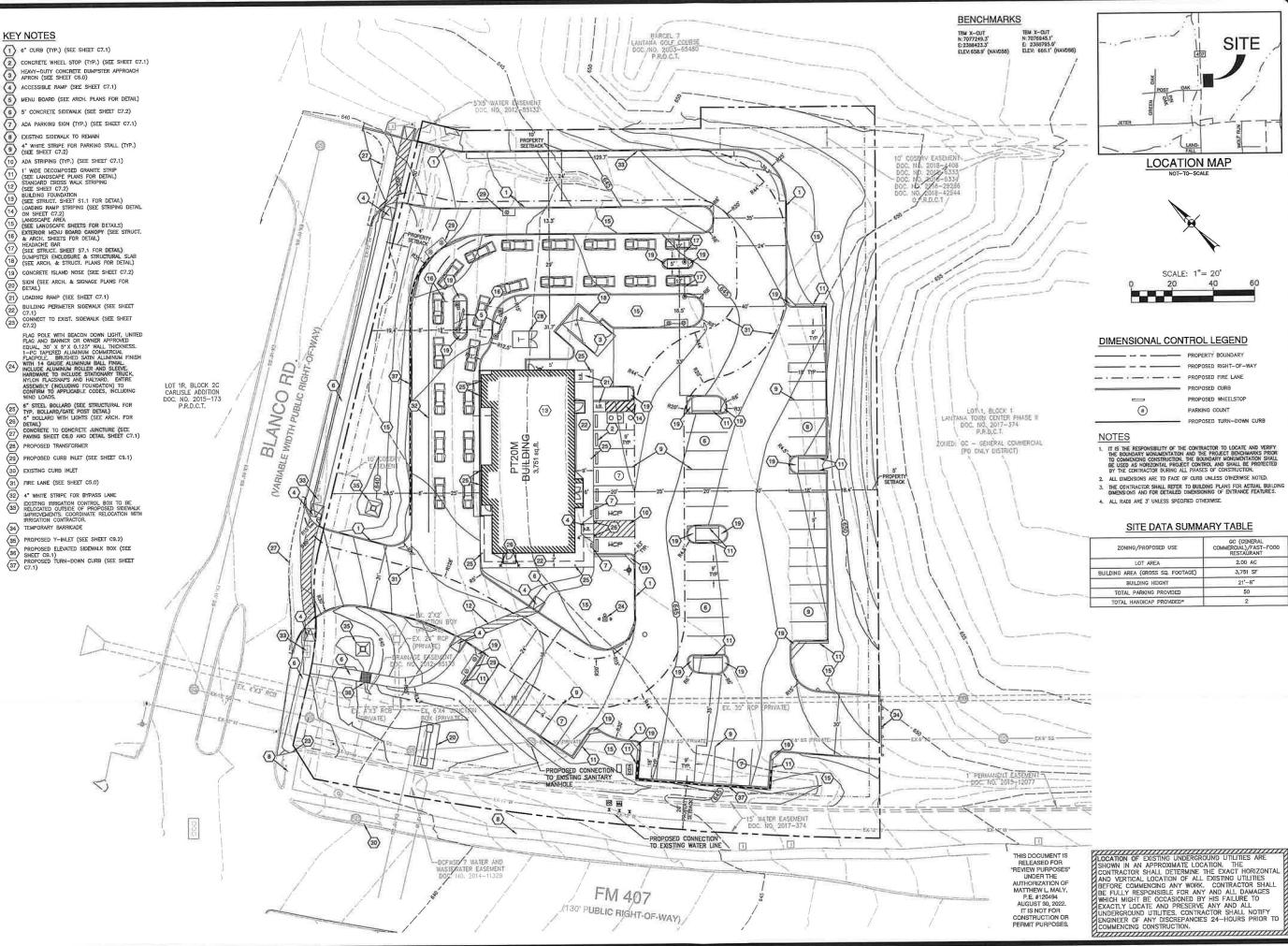
SCALE: DRAWN BY: DDD

C6.0





FM 407 (130' PUBLIC RIGHT-OF-WAY)





LOCATION MAP



20 60

#### DIMENSIONAL CONTROL LEGEND

|    | - PROPERTY BOUNDARY   |
|----|-----------------------|
|    | PROPOSED RIGHT-OF-WAY |
|    | - PROPOSED FIRE LANE  |
|    | PROPOSED CURB         |
|    | PROPOSED WHEELSTOP    |
| #) | PARKING COUNT         |

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND VERTY THE BOUNDARY MONIMENTATION AND THE PROJECT BENCHMARKS PRIOR TO COMMENCE CONSTRUCTION, THE BOUNDARY MONIMENTATION STALL BE USED AS HORIZONTAL PROJECT CONTROL AND SHALL BE PROTECTED BY THE CONTRACTOR DIFFINE ALL PRIASES OF CONSTRUCTION.
- 2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

PROPOSED TURN-DOWN CURB

- THE CONTRACTOR SHALL REFER TO BUILDING PLANS FOR ACTUAL BUILDING DIMENSIONS AND FOR DETAILED DIMENSIONING OF ENTRANCE FEATURES.
- 4. ALL RADII ARE 3' UNLESS SPECIFIED OTHERWISE.

#### SITE DATA SUMMARY TABLE

| ZONING/PROPOSED USE               | GC (GENERAL<br>COMMERCIAL)/FAST-FOOD<br>RESTAURANT |
|-----------------------------------|--|
| LOT AREA                          | 2.00 AC  |
| BUILDING AREA (GROSS SQ. FOOTAGE) | 3,751 SF   |
| BUILDING HEIGHT                   | 21'-8"   |
| TOTAL PARKING PROVIDED            | 50   |
| TOTAL HANDICAR PROMPEDII          | 2  |

WHATABURGER

PAPE-DAWSON ENGINEERS

B.

PT20M BUILDING TYP F.M. 407 & MCMAKIN F BARTONVILLE, TX

SHEET TITLE: SITE & DIMENSIONAL CONTROL PLAN

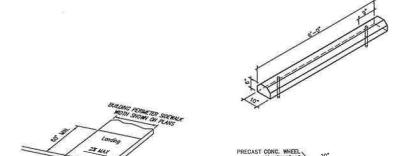
UNIT NO. DATE:

SCALE: 1" = 20 DRAWN BY: DDD

> HEET NO: C7.0



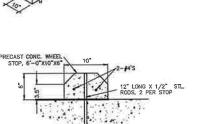
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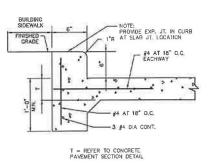
NOTES:

1. REFER TO GRADING PLAN FOR ELEVATIONS.

LOADING RAMP DETAIL



PRECAST CONCRETE WHEELSTOP



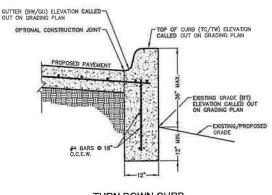
CURB ON CONCRETE PAVEMENT

5" SLOPE

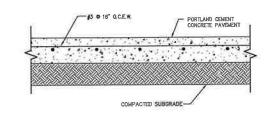
- 6° DIA. STEEL PIPE BOLLARD FILLED WITH CONC. & COVERED WITH URBAN BRONZE IDEAL SHIELD SLEEVE RE: STRUCTURAL FOR ADD'L INFO

SLAB/PAVING

CONCRETE FOOTING



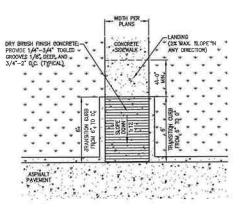
TURN DOWN CURB

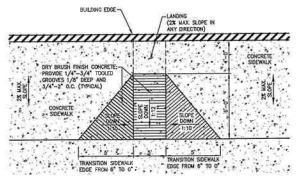


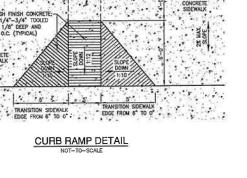
| PAVEMENT MATERIALS             | LIGHT DUTY<br>CONCRETE (IN.) | HEAVY DUTY<br>CONCRETE (IN.) | HEAVY DUTY CONCRETE (IN.) (TRASH ENCLOSURE |
|--------------------------------|------------------------------|------------------------------|--|
| PORTLAND CEMENT CONCRETE (IN.) | 5*                           | 6"                           | 6*   |
| COMPACTED SUBGRADE             | 6"                           | 6"                           | 6*   |

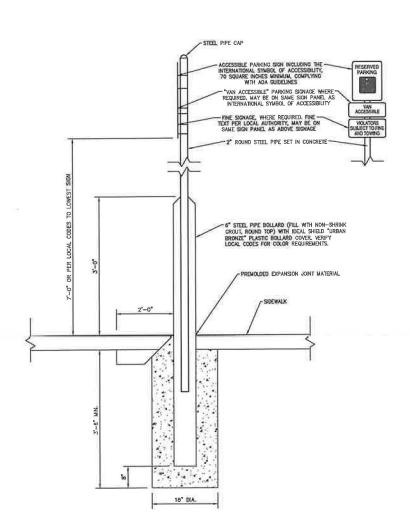
#### CONCRETE PAVEMENT SECTION

REFERENCE GEOTECHNICAL ENGINEERING REPORT PREPARED BY TERRACON CONSULTAINS, INC., PROJECT No. MAZZGOOZ, DATED FEBRUARY 9, 2022 FOR PAYEMENT MATERIALS AND CONSTIDICTION REQUIREMENTS, CONTRACTOR SHALL MEET OR EXCRED ALL PANNIC RECOMMENDATIONS.

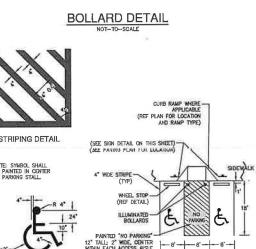








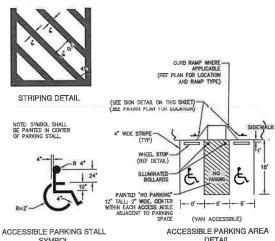
ACCESSIBLE PARKING SIGNAGE DETAIL



SYMBOL NOTE: ALL PAVEMENT MARKINGS AND SIGNAGE OF ACCESSIBLE PARKING AREAS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT ACCESSIBILITY MANUAL.

DO NOT INCLUDE ACCESSIBLE PARKING STALL SYMBOL IF NOT REQUIRED BY THE CITY OF EL PASO.

ACCESSIBLE PARKING DETAILS



ACCESSIBLE PARKING AREA DETAIL

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PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

PAPE-DAWSON ENGINEERS

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WHATABURGER

SITE DETAILS

08/30/2

1" = 20" DRAWN BY: DDD

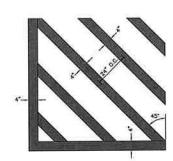
UNIT NO.

SCALE:

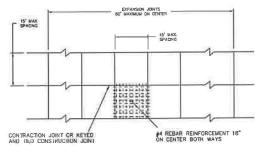
SHEET NO: C7.1



2. ALL PAVEMENT MARKINGS SHALL BE PAINTED TWICE.



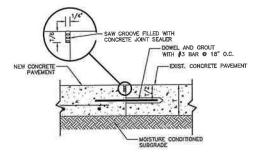
CROSS STRIPING DETAIL



SAW CUTTING TO BE DONE WITHIN 6 TO 12 HOURS OF CONCRETE POUR LOCATED MAX, 15' Q.C.

T = REFER TO CONCRETE

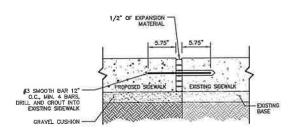
### CONTROL JOINT DETAIL



NEW CONCRETE TO EXISTING CONCRETE

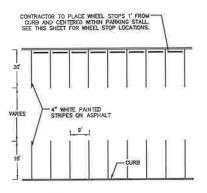
JUNCTION DETAIL

NOT-TO-SCALE



SIDEWALK JUNCTURE DETAIL

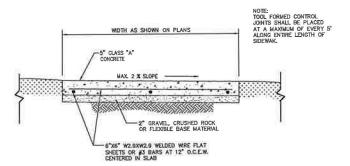
NOT-TO-SCALE



NOTE: STANDARD SPACES ARE 9X18 AS NOTED (SEE DIMENSION CONTROL PLAN)

#### STRIPING FOR 90-DEGREE PARKING

NOT-TO-SCALE



SIDEWALK & CONCRETE ISLAND NOSE DETAIL

TYPE KIN RD.

PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

PAPE-DAWSON

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SHEET TO

SITE DETAILS

UNIT NO. DATE: 08/30/20

SCALE: 1" = 20"
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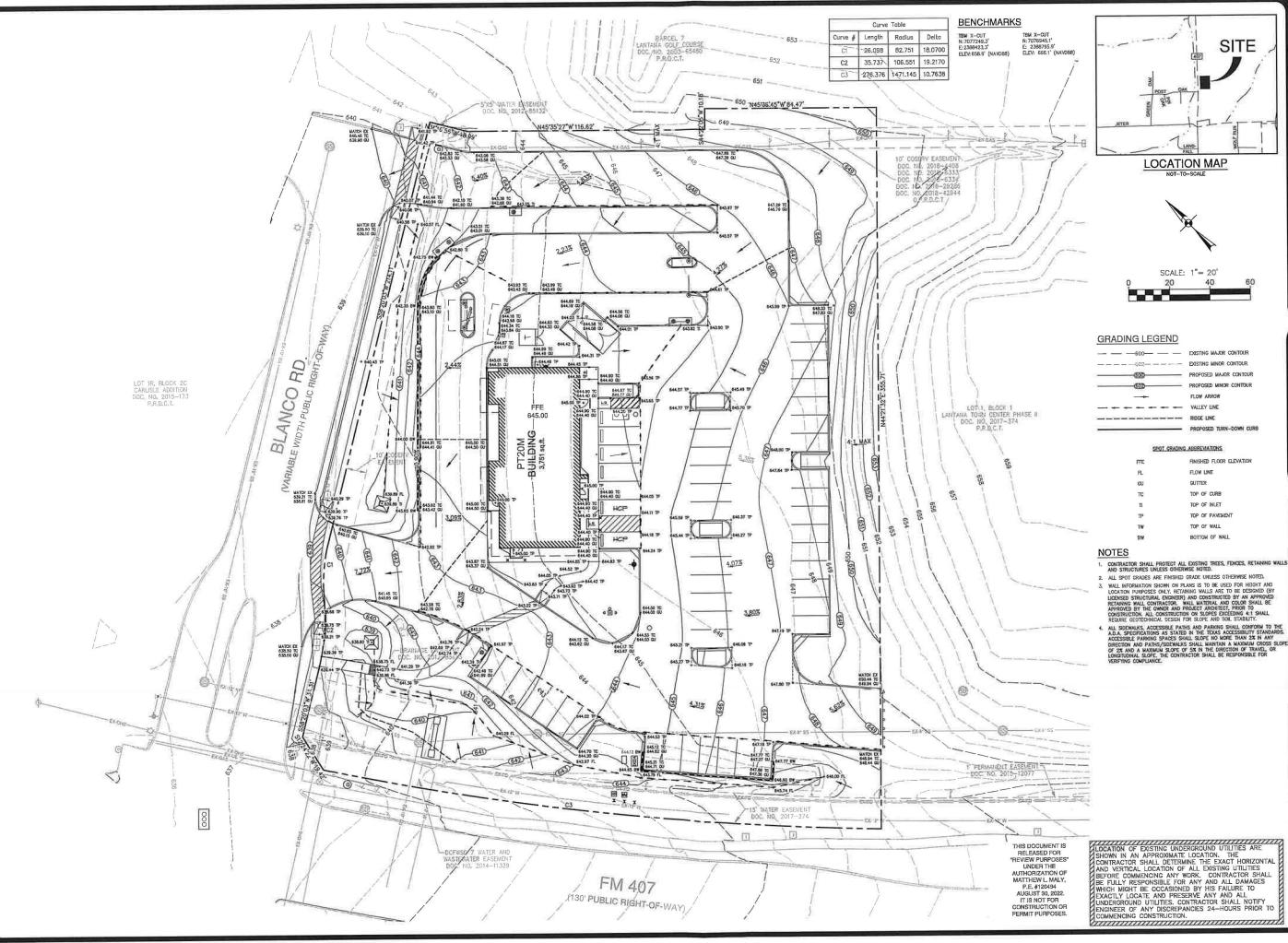
C7.2

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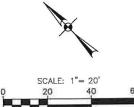
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SITE

**LOCATION MAP** 



|     | ENSTING MAJOR CONTOOR  |
|-----|------------------------|
| 502 | EXISTING MINOR CONTOUR |
|     | PROPOSED MAJOR CONTOUR |
| 652 | PROPOSED MINOR CONTOUR |
|     | FLOW ARROW             |
|     | VALLEY LINE            |

PROPOSED TURN-DOWN CURB

|   | FINISHED FLOOR E |
|---|------------------|
|   | FLOW LINE        |
|   | GUTTER           |
|   | TOP OF CURB      |
|   | TOP OF INLET     |
|   | TOP OF PAVEMENT  |
| i | TOD OF WALL      |

CONTRACTOR SHALL PROTECT ALL EXISTING THEES, FENCES, RETAINING WALL AND STRUCTURES UNLESS OTHERWISE NOTED.

BOTTOM OF WALL

PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

PAPE-DAWSON ENGINEERS

WHATABURGER

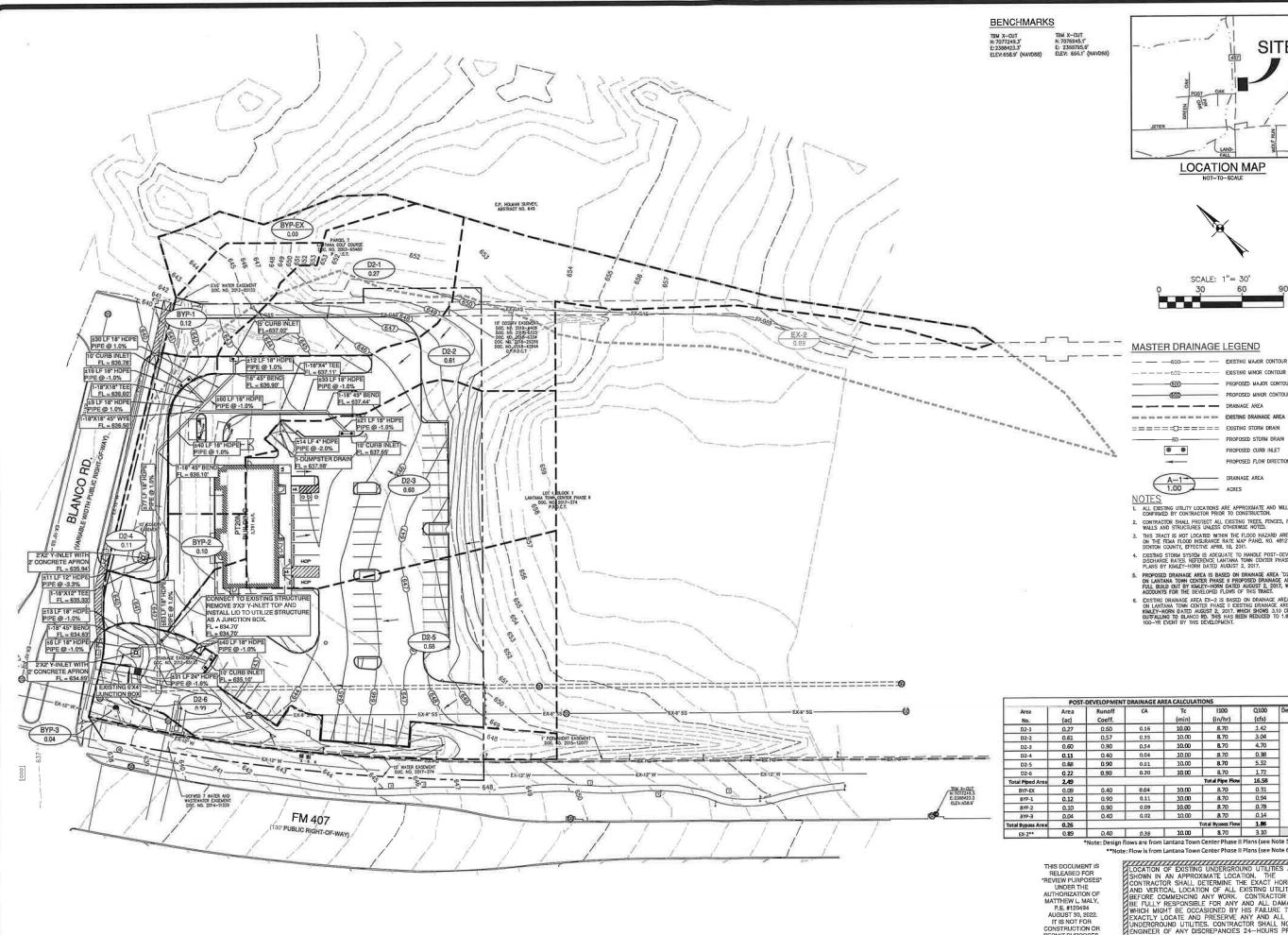
GRADING **PLAN** 

DATE:

DRAWN BY: DDD

SCALE: 1" = 20"







LOCATION MAP



30

#### MASTER DRAINAGE LEGEND



PROPOSED FLOW DIRECTION A-1 1.00 - ACRES

#### NOTES

- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND WILL BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES, FENCES, RETAINING WALLS AND STRUCTURES UNLESS OTHERWISE NOTED.

- WALLS AND STRUCTURES UNLESS OTHERWISE NOTED.

  THIS TRACT IS NOT LOCATED WITHIN THE FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL NO. 4812/CO510G FOR DENTON COUNTY, EFFECTIVE APRIL 18, 2014.

  5. ESISTING STORM STSTEM IS ADEQUATE TO HANDLE POST-DEVELOPMENT DISCHARGE RATES. REFERENCE LANTAN TOWN CONTER PHASE II DRAINAGE REPORT OF ATTEMPT OF THE PHASE IN PROPOSED DISABANCE AREA. TOZ. PROVIDED THE LINEARY THE PHASE IN PROPOSED DISABANCE AREA. TOZ. PROVIDED THE LINEARY THE PHASE IN PROPOSED DISABANCE AREA. TOZ. PROVIDED THE LINEARY THE PHASE IN PROPOSED DISABANCE AREA. TOZ. PROVIDED THE LINEARY THE DEVELOPED FLOWS OF THIS TRACE, AMED.
- ACCOUNTS FOR THE EVELOPED L'LONG OF THE MOMENT.

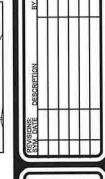
  B. DISTING DRAINAGE, AREA PLZ-1S BASED ON DRAINAGE AREA PROMDED ON LANTANA TOWN CENTER PHASE II EXISTING DRAINAGE AREA MAP BY KOMLEY-HORN O ATCH AUGUST 2, 2017. WHICH SWIMS 3.10 CFS PS OUTFALLING TO BLANCO RO. THIS HAS BEEN REDUCED TO 1.86 CPS IN THE 100—TRE EVENT BY THIS DEVLOPIENT.

|                   | POST         | DEVELOPMENT      | DRAINAGE A | REA CALCULAT | ONS               |               |                        |
|-------------------|--------------|------------------|------------|--------------|-------------------|---------------|------------------------|
| Area<br>No.       | Area<br>(ac) | Runoff<br>Coeff. | CA         | Tc<br>(min)  | (in/hr)           | Q100<br>(cfs) | Design Flows*<br>(cfs) |
| D2-1              | 0.27         | 0.60             | 0,16       | 10.00        | 8.70              | 1.42          |                        |
| D2-2              | 0.61         | 0.57             | 0.35       | 10.00        | 8.70              | 3.04          |                        |
| D2-3              | 0.60         | 0.90             | 0.54       | 10.00        | B.70              | 4.70          |                        |
| D2-4              | 0.11         | 0.40             | 0,04       | 10.00        | 8.70              | 0.38          |                        |
| D2-5              | 0.68         | 0.90             | 0.61       | 10.00        | 8.70              | 5.32          |                        |
| D2-6              | 0.22         | 0.90             | 0.20       | 10.00        | 8.70              | 1.72          | 19.66                  |
| Total Piped Area  | 2.49         |                  |            |              | Total Pipe Flow   | 16.58         | 2.00                   |
| BYP-EX            | 0.09         | 0.40             | 0.04       | 10.00        | 8.70              | 0.31          |                        |
| BYP-1             | 0.12         | 0.90             | 0.11       | 10.00        | 8.70              | 0.94          |                        |
| BYP-2             | 0.10         | 0.90             | 0.09       | 10.00        | 8.70              | 0.78          |                        |
| BYP-3             | 0.04         | 0.40             | 0.02       | 10.00        | 8.70              | 0.14          |                        |
| Total Burner Area | 0.26         |                  |            |              | Total Bypass Flow | 1.86          |                        |

e: Design flows are from Lantana Town Center Phase II Plans (see Note 5 this sheet), \*\*Note: Flow is from Lantana Town Center Phase II Plans (see Note 6 this sheet).

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PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

PAPE-DAWSON ENGINEERS L

### WHATABURGER

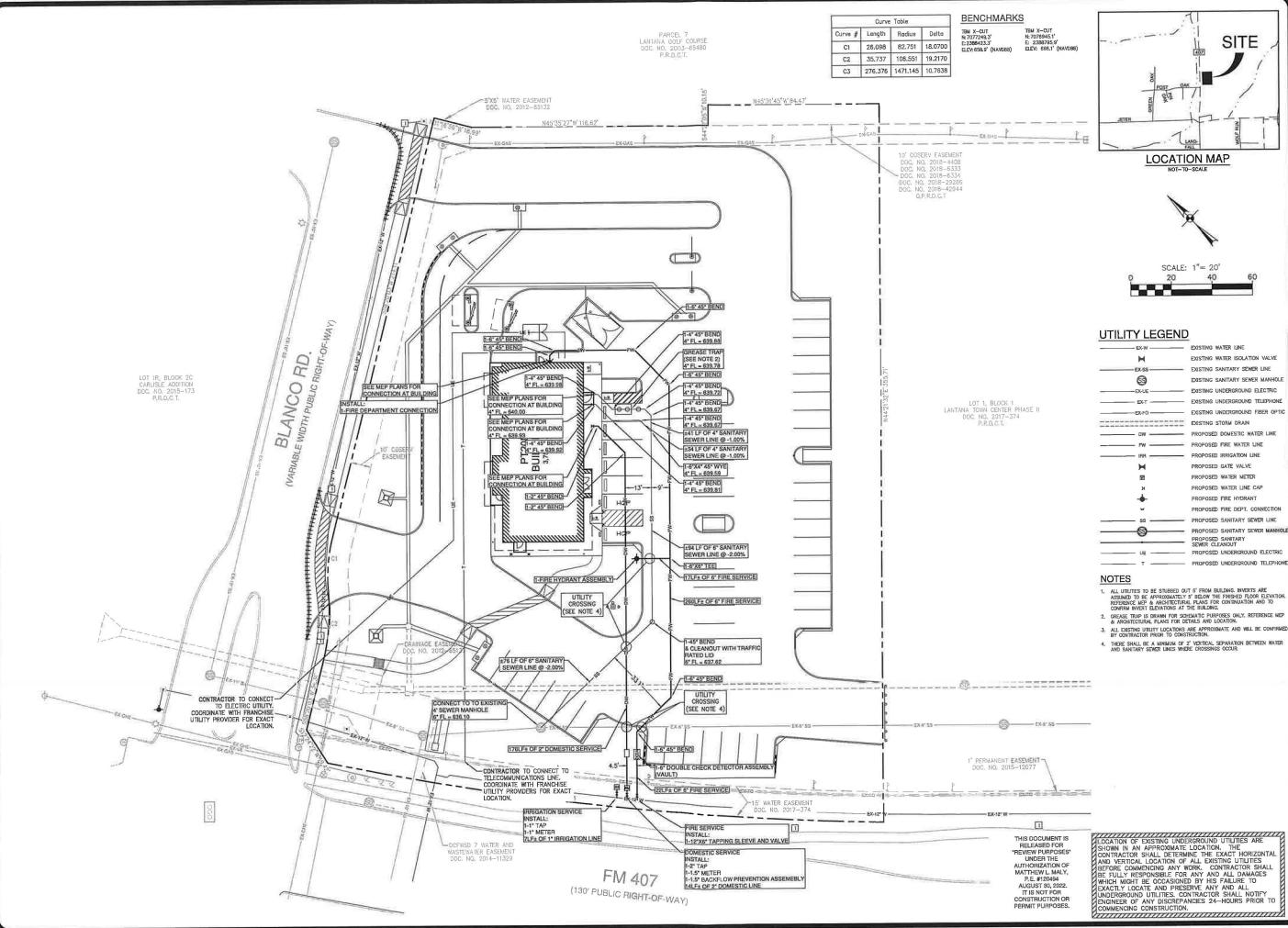
SHEET TITLE:

DRAINAGE PLAN

UNIT NO. DATE: 08/30/20 SCALE: 1" = 20" DRAWN BY: DDD

SHEET NO: **C8.1** 





SITE

LOCATION MAP



| EX-W                                   | EXISTING WATER LINE                 |
|--|-------------------------------------|
| H                                      | EXISTING WATER ISOLATION VALVE      |
| EX:6S                                  | EXISTING SANITARY SEWER LINE        |
| (3)                                    | EXISTING SANITARY SEWER MANHOLE     |
| EX-UE                                  | EXISTING UNDERGROUND ELECTRIC       |
| EX-T                                   | EXISTING UNDERGROUND TELEPHONE      |
| EX-F0                                  | EXISTING UNDERGROUND FIBER OPTIC    |
|  | EXISTING STORM DRAIN                |
| pw                                     | PROPOSED DOMESTIC WATER LINE        |
| FW                                     | PROPOSED FIRE WATER LINE            |
| —————————————————————————————————————— | PROPOSED IRRIGATION LINE            |
| H                                      | PROPOSED GATE VALVE                 |
| <b>172</b>                             | PROPOSED WATER METER                |
| н                                      | PROPOSED WATER LINE CAP             |
| <b>→</b>                               | PROPOSED FIRE HYDRANT               |
| ~                                      | PROPOSED FIRE DEPT. CONNECTION      |
| ss                                     | PROPOSED SANITARY SEWER LINE        |
| ——®——                                  | PROPOSED SANITARY SEWER MANHOLE     |
|  | PROPOSED SANITARY<br>SEWER CLEANOUT |

- ALL UTILITIES TO BE STUBBED OUT 5' FROM BUILDING, INVERTS ARE
  ASSUMED TO BE APPROXIMATELY 5' BELOW THE FINISHED FLOOR ELEVATION,
  REPERRICE ME & ARCHITECTURAL PLANS FOR CONTINUATION AND TO
  CONFIRM INVERT ELEVATIONS AT THE BUILDING.
- $\mathbf{3}_i$  all existing utility locations are approximate and will be confirme by contractor prior to construction.
- THERE SHALL BE A MINIMUM OF 2' VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES WHERE CROSSINGS OCCUR.

UNIT NO.

SHEET TITLE

**UTILITY PLAN** 

DATE: 08/30/2 1" = 20" SCALE: DRAWN BY: DDD

PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

PAPE-DAWSON ENGINEERS

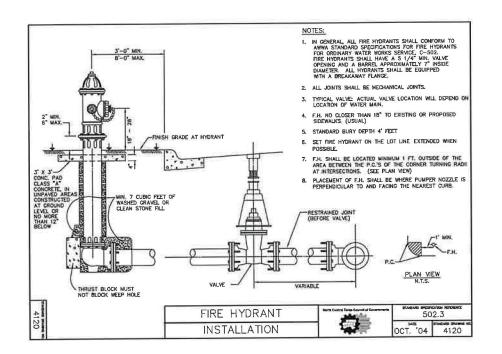
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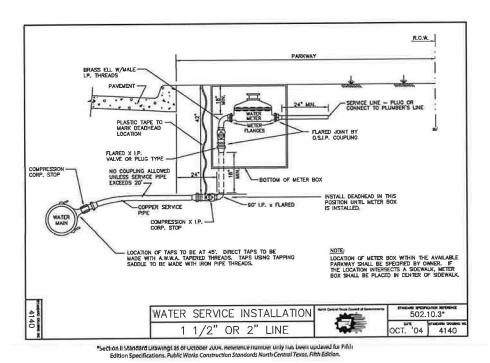
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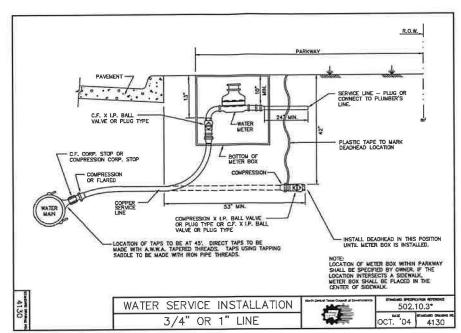
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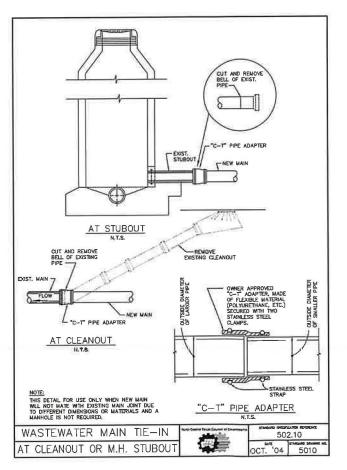


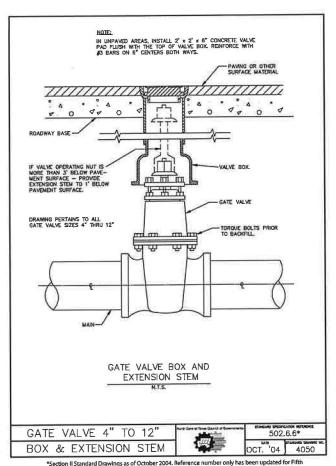




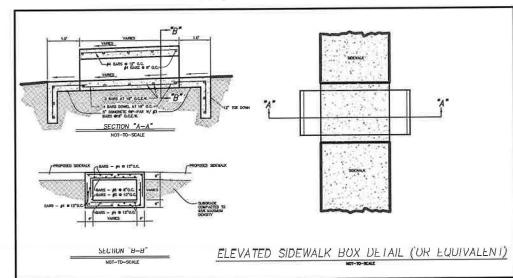


\*Section || Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.





Section II Standard Drawings as of October 2004. Reference number only has been updated for Fifth Edition Specifications. Public Works Construction Standards North Central Texas, Fifth Edition.



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AUTHORIZATION OF
MATTHEW L. MALY,
P.E. #120494
AUGUST 30, 2022.
IT IS NOT FOR
CONSTRUCTION OR
PERMIT PURPOSES. LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24—HOURS PRIOR TO COMMENCING CONSTRUCTION. THE THE CONTROL OF THE PARTY OF

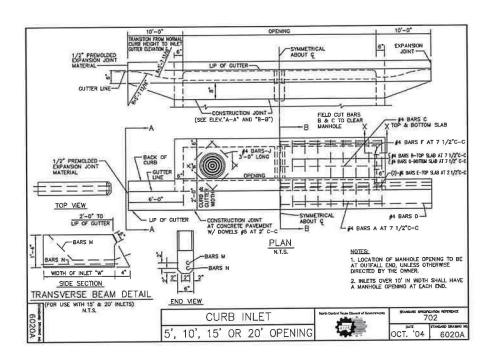


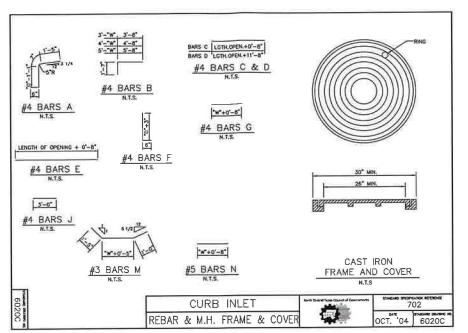
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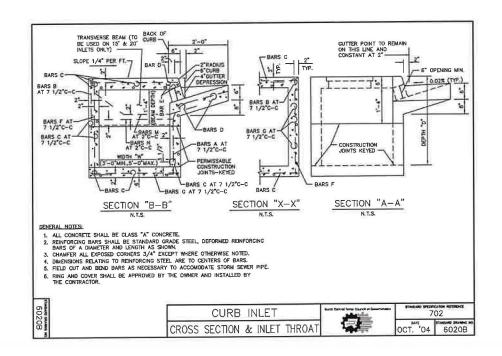
PT20M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

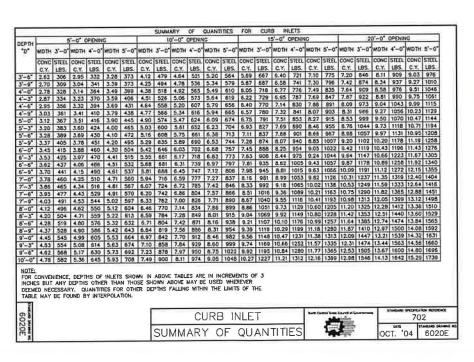
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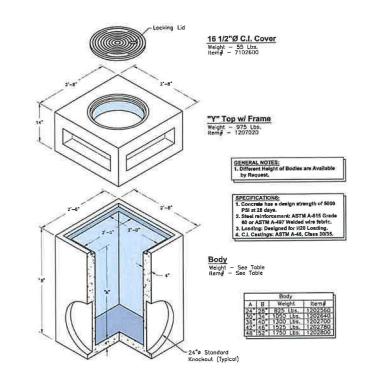












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PT20M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

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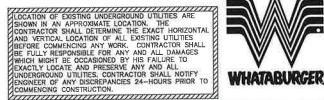
UTILITY DETAILS

UNIT NO.
DATE: 08/30

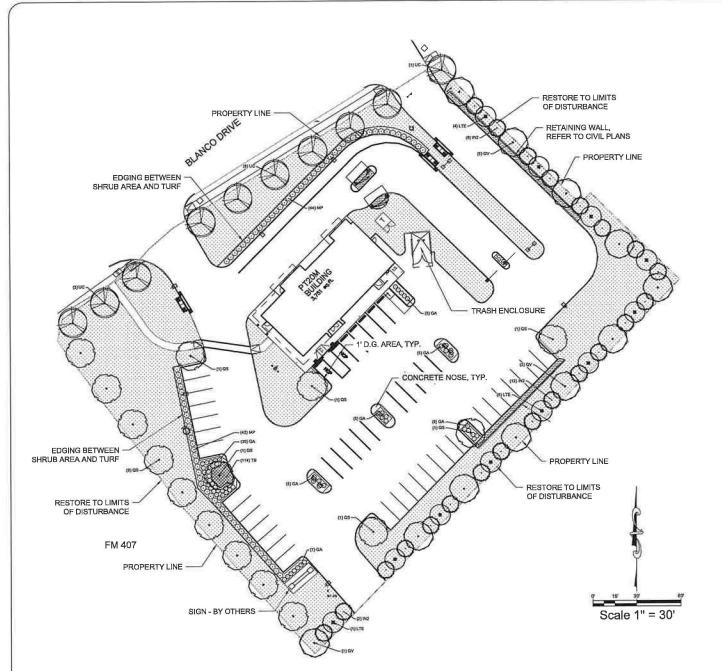
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO

C9.2







### PLANTING AND IRRIGATION GUARANTEE

MULCHES

#### ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAYINS OR CURBS. NOOT BARRIERS SHALL BE "CENTUR" OR TEEPROOT 24 OFEP PANELS (OR EQUAL) LARGERS SHALL BE CONTRIBUTED AND ACTION OF THE PARELS OF BARRIERS SHALL BE CONTRIBUTED AND ACTION OF THE PARELS OF PER MANUFACTURER'S RECOMMENDATIONS UNDER NO COPULIETANCE SHALL THE CONTRIBUTED RES SHALL THE CONTRIBUTED THE AT THE THAT COPILITY AND ACTION OF THE PARELS SHALL THE CONTRIBUTED THE SECONMENDATIONS UNDER NO COPULIETANCE SHALL THE CONTRIBUTED THE AT THE THAT COMPLETED IN

#### PLANT SCHEDULE

| TREES         | CODE | QTY       | BOTANICAL / COMMON NAME   | CAL                         | CONT.        | SIZE       |          |        |
|---------------|------|-----------|---|-----------------------------|--------------|------------|----------|--------|
| $\odot$       | IN2  | 22        | Ilex x 'Nellie R. Stevens'<br>Nellie R. Stevens Holly                   | 1,5" Cal.                   | Cont. or B&B | 5` Min.    |          |        |
| •             | ĹTE  | 11        | Lagerstroemia indica `Catawba`<br>Catawba Tree Crape Myrtle Multi-Trunk | 9-5 CANES, 1.5* OVERALL CAL | Cont. or B&B | 5` Min.    |          |        |
| $\odot$       | QS   | 15        | Quercus shumardii<br>Shumard Red Oak                                    | 3" Cal.                     | Cont.        | 7` Min.    |          |        |
| $\odot_{\_}$  | QV   | 11        | Quercus virginiana<br>Southern Live Oak                                 | 3" Cal.                     | Cont. or B&B | 7` Min.    |          |        |
|               | UC   | 10        | Ulmus crassifolia<br>Cedar Elm  | 3ª Cal.                     | Cont. or B&B | 7' Min     |          |        |
| SHRUBS        | CODE | QTY       | BOTANICAL / COMMON NAME   | CONTAINER                   | SPACING      | SIZE       | SPACING  | DETAIL |
| 0             | GA   | 63        | Abella grandiflora<br>Giossy Abelia                                     | 5 gal                       | 36" OC       | 18" Mln.   | 36° o.c. |        |
| $\odot$       | MP   | 86        | Myrica cerifera 'Purnila'<br>Dwarf Wax Myrtle                           | 7 GAL                       | 36" OC       | 30" HT MIN | 48" O.C. |        |
| GROUND COVERS | CODE | OTY       | BOTANICAL / COMMON NAME   | CONT                        | SPACING      | SIZE       |          |        |
|               | CD   | 29,991 sf | Cynodon dactylon `tif 419`<br>Bermuda Grass                             | Sod                         |              |            |          |        |
|               |      |           |   |                             |              |            |          |        |

#### LANDSCAPE CALCULATIONS

ZONING GC/PD-1 SITE AREA: NON-VEHICLE USE AREA:

NO EXISTING TREES ON SITE

STREETSCAPE FM 107

276 LF 9 TREES (1 PER 30') 9 TREES TREES REQUIRED TREES PROVIDED

310 LF 10 TREES (1 PER 30') 10 TREES BLANCO ROAD TREES REQUIRED TREES PROVIDED

BUFFER YARD
TREES REQUIRED
TREES PROVIDED
TREES PROVIDED
UNDERSTORY TREE REQUIRED: 33 TREES
SHRUBS REQUIRED: 33 TREES
SHRUBS REQUIRED: 34 SHRUBS (6 PER 100')
SHRUBS PROVIDED: 34 SHRUBS

25,181 SF 2,518 SF (10%) 4,504 SF (17.8%) 6 SHADE (1 PER 400 SF) 6 SHADE PARKING LOT LANDSCAPING INTERIOR ARE REQUIRED: INTERIOR ARE REGUIRED: INTERIOR ARE PROVIDED: TREES REQUIRED: TREES PROVIDED:

#### GENERAL PLANTING NOTES

- THE GENERAL PLANTING NOTES

  THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATI
  (EXCEPT VINERE NOTED TO REMAIN), BEFORE STARTING WORK, THE LANDSCAPE
  CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL NAVIBLEAP FARES ARE WITHIN 1
  SHOULD ANY DISCREPANCES BOST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRU
  SHOULD ANY DISCREPANCES BOST. SEE SPECIFICATIONS FOR MORE DETAILED INSTRU
  CONSTRUCT AND MANTAN FRIES SEES SPECIFICATIONS FOR MORE DETAILED INSTRU
  FLAME, AND CONSTRUCT AND MANTAN SLOPES AS RECOMMENDED BY THE GEOTIESHING.
  REPORT, ALL LANDSCAPE AREAS BHALL HAVE POSTING DAMPAS AND ANY STRUCTURE
  AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDINGS. IS
  ET RECORDED TO SLEPON IN THE RESPONT, AND AREAS OF POTENTIAL PONDINGS.
  AND, GEOTIESHING ARE PROPT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACT.
  ALL IMMEDIATELY SPING SUCH ITSMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT
  PREVAL CONTRACTOR, AND OWNER.
  SURE THATTHE GRADIE IS NOTHING AS AND ACTUAL CONDITIONS, THE CONTRACT.
  ALL INITIAL PROPERTY OF THE START STRUCTURE OF THE WAY SEAR STRUCTURE AT THE GRADIE IS NOT THE START STRUCTURE OF THE WAY SEAR STRUCTURE AT THE GRADIE IS NOT THE START STRUCTURE OF THE WAY SEAR STRUCTURE.

  ALL INITIAL PROPERTY OF THE START STRUCTURE OF THE WAY SEAR STRUCTURE AT THE CONDITION OF THE CONTRACT.

  ALL INITIAL THE GRADIE IS NOT THE START STRUCTURE OF THE WAY SEAR STRUCTURE.

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  THE LAND SEAR STRUCTURE AND THE STRUCTURE OF THE WAY AND OURSE MUCH COVER.

  IN 12" OF WALLS SHALL BE AT LEAST'S LOWER THAN THE TOP OF WALL.

  LISTON CONCESS. SHALL BE AT LEAST'S LOWER THAN THE TOP OF WALL.

  LISTON CONCESS. SHALL BE AT LEAST'S LOWER THAN THE TOP OF WALL.

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SHEET TITLE:

LANDSCAPE **PLANTING** 

UNIT NO. DATE: 07-18-22 SCALE.

DRAWN BY: EMS APPROVED BY:EMS

SHEET NO: LP-1 FILE:



EVERGREEN





#### PLANTING SPECIFICATIONS

- ONS OF LANDSCAPE CONTRACTOR. NDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE.

- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL SE PERFORMED BY A SINGLE FIRM SPECUALIZING IN LANDSCAPE PLANTING.
  PLAN

- A. ALL MANIFACTURED PRODUCTS SHALL BE NEW.

  3. ALL MANIFACTURED PRODUCTS SHALL BE NEW.

  CONTAINER AND BALLED-AND-BURLAPPED PLANTS.

  1. FURNISH HUNSESY-GROWN PLANTS COMPLYING WITH ANSI 220 1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTH, WOOGNUS STOOK FREE OF DESERTE, SECOTS, ECOS, LAVIVAE, AND DEFECTS SUCH AS SHOTE, SUN SCALD, NUMBER, ADMARDING, AND DIPPEDENT SECONDARY OF THE SECONDARY OF T

- TOPSOIL: SANDY TO CLAY LOAN TOPSOIL, PIECE OF STUTIES LANGER FIRMS OF THE PROPERTY OF A STORE MODERNING CONTINUES OF THE CONTINUES OF THE PROPERTY OF THE CONTINUES OF THE STORE CONTINUES OF THE STORE OF THE STORE
- PROPERTIONS, AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.

  WEED FARRIC: SOUNCE, WOYEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).

- WEED FABRIC: S OUNCE, WOUND, NESULE-TURNIED FAMILY, 1901 TO JUNE 25 TRANS, 1901 TO JUNE 25 TRANS, 2010 SUPPLY NEST A PROPERTY OF THE STAKING AND GUYING

  1. STAKES: 9 LONG GREEN METAL 7-POSTS,

  2. GUY AND THE WIRE: ASTIM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0,108 NCH DIAMETER.

  2. GUY AND THE WIRE: ASTIM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0,108 NCH DIAMETER.

  3. TRANSE STOM DOMAGE.

  5. TELL EDGING: PROPESSIONAL STEEL EDGING, 14 GAUGE THICK X 1 INCHES WIDE, FACTORY PAINTED DARK GREEN, ACCEPTABLE MANUFACTURERS INCLUDE COLMET OR APPROVED EQUAL.

  PRE-MERIGENT HERBICIDES: ANY GRAVILLAR, NON-STANING PRE-EMERIGENT HERBICIDES THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURE ON WHICH IT WILL BE UTILIZED. PRE-EMERIGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

#### METHODS

- A SOIL PREPARATION

  1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE
  WITHIN 1-0.1" OF FINISH CRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER MANERATELY SHOULD MYD DISCREPANCIES
- TESTING:
  AFTER RINGS GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN
  ESTABLISHED SOIL TESTING LASOARTORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY,
  PH, ORGANIC MATTER CONTENT, SALT (LEGEL LIME, SOILMA DESCRIPTION HATIO (SAA) AND BORGN CONTENT. EACH
  SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE GUART OF SOIL.
  CONTRACTOR SHALL ALSO SUBMITT THE PROJECTS FLAVIL TIST TO THE LABORATORY ALONG WITH THE SOIL.
- SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE GUART OF SOLL

  CONTRACTOR SHALL ALSO SUBMITTER POLICIES FLANT LIST TO THE LABORATORY ALONG WITH THE SOIL

  SAMPLES.

  THE SOLL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS

  APPROPRIATE). GENERAL BOIL PREPARATION AND BADDILL MINES, PIECE-PLANT FERTILLIES APPLICATIONS, AND AND OTHER SOIL REPORT PRANTING AND BADDILL MINES, PIECE PLANT FERTILLIES APPLICATIONS, AND MAY

  THE SENDO AND FOR LONG-TERM MAINTENANCE. THE AND LABORATIONS AFFIRITLESS PER THE SOILS REPORT RECOMMENDATIONS,

  WAY CHANGE IN COST DUET OTHER SOIL, REPORT RECOMMENDATIONS, EITHER INGREASE OR DEGREASE, SHALL BE

  SUBMITTED TO THE OWNER WITH THE REPORT.

  FOR BIRDINGE REPORTS. SOIL APPORT REPORT SHALL SONSIST OF THE FOLLOWING:

  THE REPORT OF THE PROPERTY OF THE SOIL PROPARE THE SOILS SHALL SHALL SONSIST OF THE FOLLOWING:

  THE REPORT OF THE OWNER WITH THE REPORT.

- A FOR BIDDING PURPORES ONLY, THE SOIL PREYMATION SHALL CONSIST OF THE FOLLOWING:

  A TURE, PROCREGATE THE FOLLOWING AMERICANETS INTO THE TOP P OF SOIL BY MEANS OF ROTOTILLING AFTER
  CROSS-FEPPINC:

  CROSS-FEPPINC:

  A MANORIMA PRIORPED ORGANIC AMERICANETS ACTUAL THE PROPERTY OF SOIL BY MEANS OF ROTOTILLING AFTER PROPERTY TO BE PER 1,000 S.F.

  ILL AGRICULTURAL DYPLIM 100 LIBE PER 1,000 S.F.

  INTROCES STABLED ORGANIC AMERICANT 4 CU. YOS. PER 1,000 S.F.

  INTROCES STABLED ORGANIC AMERICANT 4 CU. YOS. PER 1,000 S.F.

  ILL AGRICULTURAL GYPSIM 10 LIS. PER CU. YO.

  IN ROTOCH STABLED ORGANIC AMERICANT 4 CU. YOS. PER 1,000 S.F.

  ILL AGRICULTURAL GYPSIM 10 LIS. PER CU. YO.

  IN ROTO SULPHATE 2 LIS. PER CU. YO.

  IN ROTO SULPHATE 2 LIS. PER CU. YO.

  AMENORMETIS, AND "BELOW PRIME ROAD IN SOOL AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS. MU.CH COVER WITHIN FO'C CONCRETE MACKS AND CURBS SHALL NOT PROTRICE AND SOIL THE PROPER SURFACE OF THE WALKS AND COVER WITHIN FO'C CONCRETE MACKS AND CURBS SHALL NOT PROTRICE AND SOIL THE PROPER SURFACE OF THE WALKS AND COVER SHALL BY THE PROPER SURFACE OF THE WALKS AND COVER SHALL SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

- DIRECT LIVETING

  EMONO'S ALL NURSERY TAGS AND STAKES FROM PLANTS.

  EMONO'S ALL NURSERY STAKES AND SHALL DEFROIT A PART OF THE PART OF THE CARTICLE ROTT THE CHARLES RECOMMENDED FATE.

  TRENCHING NEAR ENSITING TREES. AND SHALL BERRIGE ALL DOSSIBLE CARE MAN PRECAUTIONS TO AND ID

  INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRE IS DEFINED AS CERCULAR AREA EXTENDING

  OUTWARD FROM THE TREE TRUNK, WITH A ROUSE EDITED AS A CERCULAR AREA EXTENDING

  OUTWARD FROM THE TREE TRUNK, WITH A ROUSE EDITED AND SHALL SHAL

- "ANY SORT OF SEALERS OR WOUND PAINTS.
  TREE PLANTING

  1. TREE PLANTING

  1. TREE PLANTING HOLES SHALB E EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE OPEN OF THE ROOTBALL LESS TWO TO POUR INCHES.

  2. SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLANTING HOLES AND OTHER ROOT DEPECTS, THE CONTRAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIPCUMS ROOTS AND OTHER ROOT DEPECTS, THE CONTRAINTOR SHALL SHAVE A 1' LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. OO NOT TRASE ROOTS OUT FROM THE ROOTBALL AND ALL TREES AND ALL THE TREE ON UNDSTURBED SUBGRADES OF HAY THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES AND OTHER ROOTBALL. THE TIME OF THE PLANTING PROSING PROON OF THE ROOTBALL IS TWO TO FOUR INCHES AND ALL THE TIME ON UNDSTURBED SUBGRADES OF HAY THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES AND ALL THE TIME ON UNDSTURBED SUBGRADES OF HAY THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES AND ALL THE TIME ON UNDSTUDIED INTO AND ALL THE TIME OF THE ALL THIS THE OWN THE SOUL PRIOR TO THE BACGRILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPANIES THIS TAKE, USE STORED TO PROOIS FROM ON SHE"ED IN IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE GWINER. IMPORTED TOP SOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE CHASTES SOIL.
- FROM OFF-SITE AT NO ADDITIONAL COST TO THE UWHERE. IMMOVING A WAY AND ADDITIONAL COST TO THE UNITED AND ADDITIONAL COST TO THE UNITED AND ADDITIONAL CONTRIBUTIONS. THE STAKES (BEYOND THE MINIMAMS LISTED BELOW) WILL BE LEFT YO THE LANDSCAPE CONTRACTORS SIGNETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE THEE, OR REPLACE IT SHOULD IT BECOME DAMAGED, TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:

  TWO STAKES PER TREE

- b. 24/24"TREES
  THEES OFFER CALIFER

  6. MULTI-THUNK TREES
  THALES OFFER CALIFER
  THEE STABLEZ THE THE THE
  UPON COMPLETION OF PLATTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE
  NITRIBURG OF THE THEE RINK BITH THE WEED BARRIER CLOTH AND TOPPORESS WITH MULCH (TYPE AND DETTH
- INTERIOR OF THE TIEE BINS WITH THE WEED BARRIER CLOTH AND TOPORESS WITH MULCH (TYPE AND DEPTH PER PLANS).

  BY PERSINAL, MIN GROUNDCOORD FLANTING.

  BY PERSINAL WITH PERSON FLANTING HOLEST WICE AS WIDE AND ? LESS DEEP THAN EACH PLANTS ROOTBALL, INSTALL THE PLANT IN THE HOLE BACGFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.

  WHICH PLANTING IS COMPETER, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

- 3. WHEN PLAYTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLAYTING BEDS, COOPING THE ENTIRE PLAYTING AS A SODORIS AND APPLIANT AS PARENTS AS A SODORIS AND APPLIANT AS PARENTS AS A SODORIS AND APPLIANT AS A SOLORIS AND ASSOCIATED AND ASSOCIATED AS A SOLORIS AND ASSOCIATED AS A SOLORIS FROM THE THE OF STREPPING, DO NOT LAY IF THE GROUND IS PROZEN.

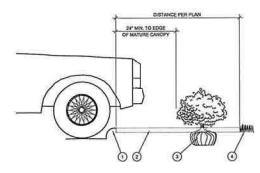
  3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS, BUTT ENDS AND SIDES OF SOD STREPS DO NOT OVERLAP, STAGED STREPS TO DEPTE AND A SOLID MASS WITH TIGHTLY FITTED JOINTS, BUTT ENDS AND SIDES OF SOD STREPS DO NOT SYSTEM WITH THE SOLD HONDOLISH. WITH A FIRST JOINTS AND ALLOCENT COURSES.

  4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SODS ROOT SYSTEM WITH THE SOLID UNDERNEATH. WHEN A SOLID MASS AND A SOLID HAVE A SOLID MASS AND A SOLID HAVE AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.

  5. WARTER THE SOD THOOLISH. WITH A FIRST PLAYING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.

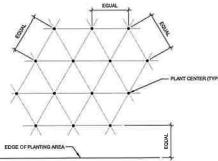
  6. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OF THE PROJECT SITE.

  10. SIRPS COLID HAVE AND A SOLID MASS AN



- 1 CURB
- 2 MULCH LAYER.
- 3 PLANT.
- (4) TURF (WHERE SHOWN ON PLAN).





NOTE: ALL PLANTS SHALL, BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS), REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

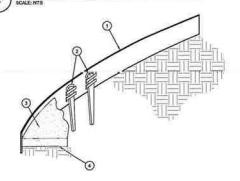
1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:

| TAL AREA / ARE | A DIVIDER = TOTAL PL | ANTS          |              |
|----------------|----------------------|---------------|--------------|
| ANT SPACING    | AREA DIVIDER         | PLANT SPACING | AREA DIVIDER |
| 6°             | 0.22                 | 18"           | 1.95         |
| 8*             | 0.39                 | 24"           | 3.46         |
| 10*            | 0.60                 | 30"           | 5,41         |
| 12"            | 0.87                 | 38*           | 7.79         |
| 15°            | 1.35                 |               |              |

STEP 2: SUSTRACT THE ROW (5) OF PLANTS THAT WOULD OCCUR AT THE EXCE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERMISTER LENGTH PLANT SPACING = TOTAL PLANT SUBTRACTION

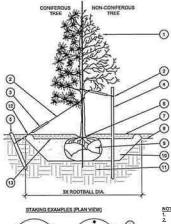
EXAMPLE: PLANTS AT 10" G.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER STEP 1: 100 SF/1,05 = 51 PLANTS STEP 2: 51 PLANTS - (40 LF /1,05 = 21 PLANTS) = 30 PLANTS TOTAL

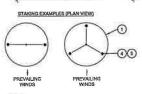
PLANT SPACING



- (1) ROLLED-TOP STEEL EDGING PER PLANS.
- (2) TAPERED STEEL STAKES (3) MULCH, TYPE AND DEPTH PER PLANS.
- 4 FINISH GRADE,







TREE PLANTING



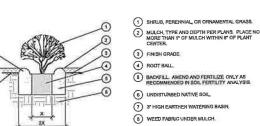
- (2) CINCH-TIES (24" BOX/2" CAL TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH MYLON TREE STRAPS AT TREE AND STAKE (39" BOX/25" CAL TREES AND LAGGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- (3) 24° X 3/4° P.V.C MARKERS OVER WIRES.
- (4) GREEN STEEL T-POSTS EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL
- 5 PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MN.). BURY GUTSIDE OF PLANTING PIT AND 18' MIN INTO UNDISTURBED SOIL.
- (B) TRUNK FLARE.
- MULCH TYPE AND DEPTH PER PLANS DO NOT PLACEMULCH WITHIN IT OF TRUNK
- B FINISH GRADE.
- (B) ROOT BALL
- 10 BACKFILL AMEND AND FERTILIZE ONLY AS RECOMMENDED IN BOIL FERTILITY AVALYS IS.
- (11) UNDISTURBED NATIVE SOIL
- (12) 4" HIGH EARTHEN WATERING BASIN.

- NOTES:

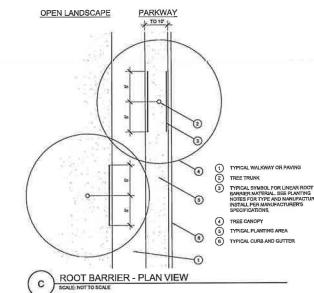
  1. SEARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.

  2. REMOVE EXCESS SOIL APPLED ON TOP OF THE ROOTBALL THAT
  COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE
  SUCH THAT THE ROOTBALL RESTS OOL NOSITIVES SOIL. AND THE
  3. FOR BAS TREES, CLI OFF ROTTOM 10 OF WINES BASKET BEFORE
  PLACING TREES HOLE, CLI OFF OF THO REMOVE REMANDER OF
  BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL MYLON TIES,
  TWINE, ROOF, AND OTHER PACKING MATTERAL. REMOVE AS MUCH
  BURLAP FROM ARIOUND ROOTBALL AS IS PRACTICAL.
  REMOVE ALL MUSICHS STATES ATTER THEM THESE
  DEADLEN (AS APPROPRIATE). SPACED EVENLY AROUND TREE

  5. STANING SHALL BE TIGHT FROUGH TO PREVENT TRUNK FROM
  BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT
  IN WIND.

















Ш WHATABURG LANTANA,

WHATABURGER 300 CONCORD PLAZA DR.

THE SAMPLE IN THE PROTECT OF WARTARDRICK, SAN ANTONIO, TEXAS AND NAY NOT BE USED OR REPRODUCED IN MHOLE OR IN PART WITHOUT THE LEPRESSED MAITTEN COMMENT OF MEATARDRICE.

SHEET TITLE: LANDSCAPE **PLANTING DETAILS &** SPECS

UNIT NO. DATE: 07-18-22 SCALE:

APPROVED BY:EMS

DRAWN BY: EMS

SHEET NO: LP-2 FILE:



