

Exhibit 1



Town of Bartonville

Application for Conditional Use Permit

All applications must be submitted in accordance with the Submission Schedule attached hereto. Please complete the attached checklist. A site plan application must be submitted with all Conditional Use Permit Applications.

Applicant (Owner or Agent Specify): Matthew Maly, P.E.

Mailing Address: 201 Main St, Suite 901, Fort Worth, TX 76102

Phone: (817) 870-3668

Fax: Not available

Email Address*: mmaly@pape-dawson.com

(*This will be the primary method of communication)

Owner's Name(s) if different¹: A-S 114 Lantana TC Phase 2, L.P.

Owner's Address: 8827 W Sam Houston Pkwy N Ste 200, Houston, TX 77040

Phone: (281) 640-7195

Fax: Not available

General Location of Property: NEQ of the intersection of FM 407 and McMakin Rd. Bartonville, Denton County, TX

Current Zoning: General Commercial (PD-only district)

Legal Description of Property: Being Lot 1, Block 1, of Lantana Town Center Phase II, an Addition to the Town of Bartonville, Denton County, Texas, according to the Plat thereof recorded under Document Number 2017-374, Plat Records, Denton County, Texas.

(Attach Complete Metes and Bounds Description)

ATLA attached.

Use Being Requested (In accordance with Appendix C: Land Use Table, of the Town of Bartonville's Comprehensive Zoning Ordinance): Restaurant (with drive-thru)

I hereby certify that the information concerning this proposed zoning change is true and correct and that I am the owner of record or the authorized for the owner of the above described property.

Signature of Applicant Owner

5/30/2023

Date

STAFF USE ONLY:

Date Submitted: _____

Fee Paid: _____

Accepted By: _____

Check No. : _____

P & Z Public Hearing: _____

Metes & Bounds Attached: ☐ Yes ☐ No

Council Public Hearing: _____

Notarized Statement: ☐ Yes ☐ No ☐ N/A

¹ A NOTARIZED statement that authorizes the agent to represent the owner(s) in this matter must be attached to this application.

All applications must contain the required information as specified in the Town of Bartonville's Comprehensive Zoning Ordinance, (Code of Ordinances, Chapter 14, Exhibit "A"), including but not limited to Chapter 16 relating to conditional use permits.

ITEMS TO BE INCLUDED:

✓	Completed Application
✓	Notarized statement signed by each property owner
✓	Tax certificate indicating no taxes are due
✓	Application Fee
✓	Completed Site Plan Application and documentation (to be submitted on a separate form)

APPLICATION REVIEW PROCEDURES

Upon initial submittal, your case will be distributed to the following for review: Bartonville Water Supply Corporation or Argyle Water Supply Corporation (as applicable), the Argyle Volunteer Fire District and the Town Engineer and other members of the Development Review Committee (DRC). The Plan(s) will then be scheduled for a DRC meeting (see attached schedule). At the DRC meeting, each department will furnish a copy of comments/concerns to the applicant. Once the plans are corrected, revisions must be submitted. The revisions will then go before the Planning and Zoning Commission (P&Z) for their review and recommendation. Once the P&Z Commission has made their recommendation, the Town Council will review and take action on the application.

SUBMITTAL REQUIREMENTS FOR DEVELOPMENT REVIEW COMMITTEE (DRC):

****See attached schedule for submittal deadlines.**

Upon initial submittal the following is required

1. A set of ten (10) full size plans;
2. One (1) 11" X 17" copy; and
3. A digital copy of the plans in pdf form to be submitted via CD.

SUBMITTAL REQUIREMENTS FOR P&Z COMMISSION:

****See attached schedule for submittal deadlines.**

Once the DRC has made their recommendation, the following is required on or before the deadline for revisions to the P&Z in accordance with the attached schedule:

1. An additional set of ten (10) full size plans;
2. One (1) 11" X 17" copy; and
3. A digital copy of the plans in pdf form to be submitted via CD.

SUBMITTAL REQUIREMENTS FOR TOWN COUNCIL:

****See attached schedule for submittal deadlines.**

Once the P&Z Commission has made their recommendation, the following is required on or before the deadline for revisions to the Council in accordance with the attached schedule:

1. An additional set of ten (10) full size plans;
2. One (1) 11" X 17" copy; and
3. A digital copy of the plans in pdf form to be submitted via CD.

EXPIRATION OF CONDITIONAL USE PERMIT

A conditional use permit shall expire if:

1. A building permit for the use has not been approved within one (1) year of the date of approval of the permit;
2. The building permit subsequently expires;
3. The use has been discontinued or abandoned for a period exceeding six (6) months; or
4. A termination date attached to the permit has passed.

CRITERIA FOR APPROVAL

A. Factors - When considering applications for a conditional use permit, the Commission and the Council shall evaluate the impact of the proposed conditional use on and its compatibility with surrounding properties and neighborhoods to ensure the appropriateness of the use at the particular location, and shall consider the extent to which:

1. The proposed use at the specified location is consistent with the policies embodied in the adopted Comprehensive Plan;
2. The proposed use is consistent with the general purpose and intent of the applicable zoning district regulations;
3. The proposed use is compatible with and preserves the character and integrity of adjacent development and neighborhood and includes improvements either on-site or within the public rights-of-way to mitigate development-related adverse impacts, such as traffic, noise, odors, visual nuisances, drainage or other similar adverse effects to adjacent development and neighborhoods;
4. The proposed use does not generate pedestrian and vehicular traffic which will be hazardous or conflict with the existing and anticipated traffic in the neighborhood;
5. The proposed use incorporates roadway adjustments, traffic control devices or mechanisms, and access restrictions to control traffic flow or divert traffic as may be needed to reduce or eliminate development generated traffic on neighborhood streets;
6. The proposed use incorporates features to minimize adverse effects, including visual impacts, of the proposed conditional use on adjacent properties; and
7. The proposed use meets the standards for the zoning district, or to the extent variations from such standards have been requested, that such variations are necessary to render the use compatible with adjoining development and the neighborhood.

B. Conditions - The Commission may recommend and the council may require such modifications in the proposed use and attach such conditions to the conditional use permit as are necessary to mitigate adverse effects of the proposed use and to carry out the spirit and intent of this section. Conditions include but are not limited to matters related to limitation of building size or height, increased open space, increased impervious surface, enhanced loading and parking requirements, additional landscaping and improvements including curbing and pedestrian amenities, vehicular access and parking, placement or orientation of buildings and entryways, buffer yards, landscaping and screening, signage restrictions and design, maintenance of buildings and outdoor areas, duration of the permit and hours of operation.



NOTARY FORM
Town of Bartonville

THE FOLLOWING IS TO BE COMPLETED BY EACH OWNER THAT IS NOT SIGNING THIS APPLICATION.

Dated: _____

I, JAY K SEARS, MANAGER - A-S 114 LASTADA TC PHASE 2, L.P. owner of the Property located at FM 407 / BLANCO DRIVE do hereby certify that I have given my permission to MATTHEW MALEY AT PAPE-DAWSON, to submit this conditional use permit application.

JAY K SEARS, MANAGER - A-S 114 LASTADA TC PHASE 2, L.P.

Print Name

Signature of Owner

8827 W SAN HOUSTON PKWY N; SUITE 200; HOUSTON TX 77040

Address

281-640-7195

Phone No.

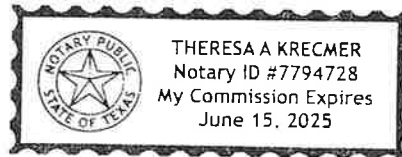
State of Texas §

County of HARRIS §

Before me, Theresa A. Krecmer, a Notary Public in and for said County and State, on this day personally appeared Jay K. Sears known to me to be the person whose name is subscribed to the foregoing certificate, and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

(Seal)

Theresa A. Krecmer
Notary





TOWN OF BARTONVILLE

SITE PLAN APPLICATION/SITE PLAN AMENDMENT APPLICATION

1. Applicant:

Name: Matthew Maly, P.E.

Address: 201 Main St

City/State: Fort Worth, TX

Zip: 76102

Office #: Suite 901 Office #: (817) 870-3668 Fax #: Not available

Email Address: mmaly@pape-dawson.com

2. Property Owner:

Name: A-S 114 Lantana TC Phase 2, L.P.

Address: 8827 W Sam Houston Pkwy N

City/State: Houston, TX

Zip: 77040

Office #: Suite 200 Office #: (281) 640-7195 Fax #: Not available

Email Address: Not available

3. Site Location:

Street Address: NEQ of the intersection of FM 407 and McMakin Rd. Bartonville, Denton County, TX

Lot, Block, & Subdivision Name: Lot 1, Block 1, of Lantana Town Center Phase II

4. Summarize the proposed development. If necessary, use a separate sheet.

The proposed project is a fast-food restaurant (Whataburger) that will be located in the Lantana Town

Center Development.

5. Present Zoning: General Commercial **Present Land Use:** None, vacant lot
(PD-only district)

Future Land Use Designation: Restaurant (with drive-thru)

6. All applications must contain the required information as specified in the Town of Bartonville's Comprehensive Zoning Ordinance, (Code of Ordinances, Chapter 14, Exhibit "A").


I UNDERSTAND THAT IT IS NECESSARY FOR ME OR MY AGENT TO BE PRESENT AT BOTH THE PLANNING AND ZONING COMMISSION MEETING AND TOWN COUNCIL MEETING

FAILURE TO APPEAR before the Planning and Zoning Commission or Town Council for more than one (1) hearing without an approved delay by the Town Administrator or his/her designee shall constitute sufficient grounds to table or deny the request unless the Town is notified at least 72 hours prior to the hearing.

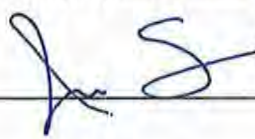
DENIALS BY THE PLANNING AND ZONING COMMISSION shall be forwarded to Town Council, along with the Commission's reasons for denial and will require a $\frac{3}{4}$ favorable vote of all members of Town Council.

TABLED BY THE PLANNING AND ZONING COMMISSION: The Commission may not defer its report for more than 90 days from the time it was posted on the agenda, or until it has had an opportunity to consider other proposed changes, which may have a direct bearing, unless a postponement is requested by the applicant.

Applicant Name (print or type): Matthew Maly

Applicant signature: 

Owner Name (print or type): Jay K. SEARS, MANAGER, A-S 114 LAUTNA TC PHASE 2, L.P.

Owner signature: 

Date Received _____ Date Paid _____ Receipt Number _____



NOTARY FORM

Town of Bartonville

THE FOLLOWING IS TO BE COMPLETED BY EACH OWNER THAT IS NOT SIGNING THIS APPLICATION.

Dated: _____

I, Jay K. SEARS, Manager A-S 114 LASTANA TC PHASE 2, owner of the Property located at FM 407 / BLANCO DRIVE do hereby certify that I have given my permission to MATTHEW MALEY AT PAPE-DAWSON, to submit this conditional use permit application.

Jay K SEARS, Manager A-S 114 LASTANA TC PHASE 2, L.P.

Print Name

Signature of Owner

8827 W SAN HOUSTON PKWY N; SUITE 200, HOUSTON, TX 77040

Address

281-640-7195

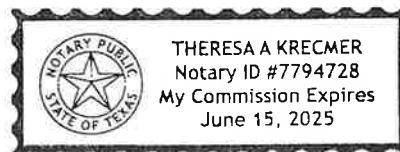
Phone No.

State of Texas §
County of Harris §

Before me, Theresa A. Krecmer, a Notary Public in and for said County and State, on this day personally appeared Jay K. Sears known to me to be the person whose name is subscribed to the foregoing certificate, and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

(Seal)

Theresa A. Krecmer
Notary



CHAPTER 3. SITE PLANS

3.1 PURPOSE

A. This Section establishes a review process for nonresidential developments. The purpose is to ensure that a development project is in compliance with all applicable Town ordinances and guidelines prior to commencement of construction. (Ordinance 361-05 adopted 3/22/05)

3.2 GENERAL SITE PLAN

A. Approval Process

1. Maximum of Four Steps: The review process shall include up to four (4) steps:

- a. Pre-application conference;
- b. Site Plan;
- c. Approval of other required plans or plats (see the Development Ordinance for platting requirements); and
- d. Construction of project (after Town approval of all required plans and plats).

2. Site Plan Required

a. A General Site Plan shall be required for development within the AG, RE-5, RE-2, R-1, MH, RLI, RB, VC, GC and P/SP zoning districts and specified in Subsection 3.2 E. below.

b. The approval process for a General Site Plan shall generally be reviewed by the Town Secretary, Town Planner, Town Engineer, recommendation by the Planning and Zoning Commission, and final consideration by the Town Council.

c. General - For the purposes of this Zoning Ordinance, the term "required plan(s)" is intended to refer to any of the plans specified in this Zoning Ordinance, as applicable.

B. Official Submission Date and Completeness of Application: The "official submission date" shall be the date upon which a complete application for approval of a required plan is submitted to the Town Secretary.

1. No application shall be deemed officially submitted until the Town Secretary determines that the application is complete and a fee receipt is issued by the Town.

2. Applications for any required plan must include all required information listed here and all such required information must be submitted in order for a Site Plan application to be considered complete and to be accepted for official submission by the Town.

a. An application for a Site Plan with notarized signatures of the owner or his/her designated representative if the applicant is not the owner of the subject property;

b. Application fee as established on the Town of Bartonville schedule of fees;

c. Verification that all taxes and assessments on the subject property have been paid;

d. Copies of the Site Plan, including all information specified by this Ordinance and the Town of Bartonville's Development Ordinance, on 24" x 36" sheet(s) drawn to a known engineering scale that is large enough to be clearly legible and other required information, the quantity of which shall be determined by the Town Secretary, or his/her designee;

e. General layout for the required public improvements (water, wastewater, grading/storm drainage, streets, water quality, fire lanes and hydrants, screening and landscaping, etc.), the

quantity of which shall be determined by the Town Secretary, or his/her designee;

f. Reduced copies (11" x 17") of the site plan as required by the Town Secretary, or his/her designee;

g. Landscaping and irrigation plans, the quantity of which shall be determined by the Town Secretary, or his/her designee; and

h. Any additional information/materials (such as plans, maps, exhibits, legal description of property, information about proposed uses, etc.) as deemed necessary by the Town Secretary, or his/her designee, in order to ensure that the development request is understood.

C. Supplemental Requirements: The Town's staff may require other information and data for specific required plans. Approval of a required plan may establish conditions for construction based upon such information.

D. Pre-Application Conference: Prior to formal application for approval of a required site plan, the applicant(s) should consult with the Town's Development Review Committee in order to become familiar with the Town's development regulations and the development process. At the pre-application conference, the developer may be represented by his/her land planner, engineer, surveyor, or other qualified professional.

E. Applicability: Submission and approval of a General Site Plan shall be required for development within the AG, RE-5, RE-2, R-1, MH, RLI, RB, VC, GC and P/SP zoning districts as follows:

1. For any new nonresidential development;
2. For any increase in an existing nonresidential structure that is greater than thirty (30) percent of the existing building square footage; or
3. For that portion of a single-family residential development that contains a private amenity or facility - i.e. recreation center, park, horse stable, etc.

F. Building Permit and Certificate of Occupancy: No building permit shall be issued until a Site Plan, as required, and all other required engineering/construction plans are first approved by the Town. No certificate of occupancy shall be issued until all construction and development conforms to the Site Plan and engineering/construction plans, as approved by the Town.

G. Extent of Area That Should Be Included In a Site Plan: When the overall development project is to be developed in phases, the area included within the Site Plan shall include only the portion of the overall property that is to be developed/constructed.

H. Principles and Standards for Site Plan Review and Evaluation: The following criteria have been set forth as a guide for evaluating the adequacy of proposed development within the Town of Bartonville, and to ensure that all developments are, to the best extent possible, constructed according to the Town's codes and ordinances.

The Town Secretary, or his/her designee, shall review the Site Plan for compliance with all applicable Town ordinances and with the Comprehensive Plan; for harmony with surrounding uses and with long-range plans for the future development of Bartonville; for the promotion of the health, safety, order, efficiency, and economy of the Town; and for the maintenance of property values and the general welfare.

General Site plan review and evaluation by the Town Secretary, or his/her designee, shall be performed with respect to the following:

1. The plan's compliance with all provisions of the Zoning Ordinance and other ordinances of the Town of Bartonville.

2. The impact of the development relating to the preservation of existing natural resources on the site and the impact on the natural resources of the surrounding properties and neighborhood.
3. The relationship of the development to adjacent uses in terms of harmonious design, facade treatment, setbacks, building materials, maintenance of property values, and any possible negative impacts.
4. The provision of a safe and efficient vehicular and pedestrian circulation system.
5. The design and location of off-street parking and loading facilities to ensure that all such spaces are usable and are safely and conveniently arranged.
6. The sufficient width and suitable grade and location of streets designed to accommodate prospective traffic and to provide access for firefighting and emergency equipment to buildings.
7. The coordination of streets so as to arrange a convenient system consistent with the Thoroughfare Plan of the Town of Bartonville, as amended.
8. The use of landscaping and screening to provide adequate buffers to shield lights, noise, movement, or activities from adjacent properties when necessary, and to complement and integrate the design and location of buildings into the overall site design.
9. Exterior lighting to ensure safe movement and for security purposes, which shall be arranged so as to minimize glare and reflection upon adjacent properties.
10. The location, size, accessibility, and configuration of open space areas to ensure that such areas are suitable for intended recreation and conservation uses.
11. Protection and conservation of soils from erosion by wind or water or from excavation or grading.
12. Protection and conservation of watercourses and areas that are subject to flooding.
13. Provision of the adequate capacity of public or private facilities for water, sewer, paved access to and through the development, electricity, storm drainage, and adequate traffic management.
14. Consistency with the Comprehensive Plan of the Town of Bartonville, as amended.
15. In approving a Site Plan, the Town Council may impose additional reasonable conditions necessary to protect the public interest and welfare of the community. When considering an application for site design and use, the Planning and Zoning Commission may recommend and the Town Council may include any or all of the following conditions if they find it necessary to meet the intent and purpose of the standards of this Ordinance:
 - a. Require a maximum increase of up to twenty percent (20%) in the width or required plant materials for perimeter bufferyards in order to ensure compatibility between different land uses.
 - b. Require such modifications in the landscaping plan as will ensure proper screening and aesthetic appearance.
 - c. Require plantings and ground cover to be predominant, not accessory, to other inorganic or dead organic ground cover.
 - d. Require retention of significant physical features of a site. Said significant physical features includes, but are not limited to: existing stands of trees, protected trees as specified by the Town's tree preservation standards, bodies of water, watercourses, floodplains and other flood hazard areas, and other natural features.
 - e. Require the modification or revision of the placement, design or remodeling of structures,

signs, accessory buildings, etc. to be consistent with the standards of this Ordinance.

f. Specify the type and placement or shielding of lights for outdoor circulation, parking, and security.

g. Require new developments that produce more than five hundred (500) vehicle trips per day to provide traffic mitigation by means of traffic signals, traffic controls, turning islands, landscaping or any other means necessary to insure the viability, safety, and integrity of existing and proposed thoroughfares, based upon the results of a Traffic Impact Assessment meeting the minimum criteria specified in the Development Ordinance, as amended.

h. Require pedestrian access, separate pedestrian accessways, sidewalks and protection from rain for pedestrians in new developments.

i. Require developments to provide access to improved streets and, where possible, provide access to the lower order street rather than a major collector or arterial street as designated on the Thoroughfare Plan, as amended.

l. Submission Requirements for Site Plan Approval: A Site Plan shall be prepared by a qualified civil engineer, land planner, architect or surveyor, and it shall clearly show in detail how the site will be constructed (such as paving, buildings, landscaped areas, utilities, etc.). To ensure the submission of adequate information the following information and items shall be submitted with an application for Site Plan approval in addition to any additional specific requirements for the review of Site Plan applications that may be devised and amended from time to time. It shall be the applicant's responsibility to obtain and be familiar with the requirements for Site Plan approval.

- ✓ 1. A title block within the lower right-hand corner of the concept plan with the proposed name of the project/subdivision;
- ✓ 2. The name and address of the owner/developer and the land planner, engineer architect or surveyor responsible for the design or survey;
- ✓ 3. The scale of the drawing (both written and graphic scale) and north arrow;
- ✓ 4. The date the drawing was prepared;
- ✓ 5. Total site acreage and the location of the property according to the abstract and survey records of Denton County, Texas;
- ✓ 6. A vicinity or location map that shows the location of the proposed development within the City (or its ETJ) and in relationship to existing roadways;
- ✓ 7. The boundary survey limits of the tract and scale distances with north clearly indicated;
- ✓ 8. The names of adjacent subdivisions (or the name of the owners of record and recording information for adjacent parcels of unplatted land), including parcels on the other sides of roads, creeks, etc.;
- ✓ 9. The existing uses of the subject property;
- N/A 10. The general arrangement of future land uses, including the approximate number of lots and any residential uses anticipated;
- ✓ 11. A generalized circulation plan for the subject property showing the proposed locations and patterns of motor vehicle and pedestrian traffic. Said circulation plan shall contain arrows indicating traffic flow;
- ✓ 12. The existing zoning and existing/proposed uses on adjacent land;
- ✓ 13. The location, width and names of all existing or platted streets or other public ways within or

adjacent to the tract;

- ✓ 14. The location, type, size and recording information for any existing easements located on the subject property or within two hundred (200) feet of the subject property. In the event no existing easements have been dedicated, a note to that effect shall be provided;
- N/A 15. The location and building footprints of existing buildings located on the property. Existing buildings shall be noted as to those that are to remain and those that are to be removed;
- N/A 16. Railroad rights-of-way located within two hundred (200) feet of the subject property;
- ✓ 17. Topography, including contours at five-foot intervals, with existing drainage channels or creeks;
- N/A 18. Any 100-year floodplain as designated on the appropriate Flood Insurance Rate Map (FIRM) located on or within two hundred (200) feet of the subject tract. In the event that a 100-year floodplain is not located on the subject tract or within two hundred (200) feet of the subject tract, a note to that effect must be provided with the reference to appropriate panel number;
- N/A 19. Any significant natural features such as rock outcroppings, caves, wildlife habitats, etc.;
- N/A 20. All substantial natural vegetation;
- N/A 21. Location of Gas/Oil wells or pipelines;
- ✓ 22. Location, type, size, and ownership of all existing water and wastewater lines. Said water and wastewater lines shall include all appurtenances - i.e. valves, hydrants;
- ✓ 23. Location, type, and size of all drainage and other underground structures;
- ✓ 24. Proposed connection to all existing water, wastewater, and drainage systems;
- N/A 25. Adjacent political subdivisions, corporate limits, and/or school district boundaries;
- N/A 26. Proposed strategies for tree preservation proposed strategies for tree preservation [sic] in accordance with Section 3.5 [\[Article 3.05\]](#) of the Town's Code of Ordinances (showing individual trees or tree masses that will be preserved, and the techniques that will be used to protect them during construction);
- ✓ 27. The layout and width (right-of-way lines) of existing and proposed thoroughfares, collector streets and/or intersections, and a general configuration of proposed streets, lots and blocks, including proposed median openings and left turn lanes on future divided roadways;
- N/A 28. Existing and planned driveways located within two hundred (200) feet of the subject tract, including those located on the opposite side of divided roadways;
- ✓ 29. A general arrangement of land uses and buildings, including but not limited to:
- N/A a. Proposed nonresidential and residential densities;
- ✓ b. Building footprints for each proposed structure;
- ✓ c. Building heights;
- ✓ d. Building square footages for each proposed structure. For multi-tenant or multi-purpose buildings, show the square footage for each intended use;
- N/A e. Building massing and orientation;
- N/A f. Location of loading/service areas;
- ✓ g. Location of recycling containers, compactors, dumpsters and their enclosures;

- ✓ h. Sidewalks and pedestrian walkways;
- ✓ i. Parking plan showing the proposed on-site parking stalls with dimensions and driveway aisles with dimensions;
- N/A j. Retention/detention ponds with proposed aesthetic treatments;
- N/A k. Screening walls;
- N/A l. Fences;
- ✓ m. Signage;
- ✓ n. Fire lanes with dimensions for fire lane aisles and turn-arounds;
- ✓ o. A lighting plan for all external lighting demonstrating that the City's lighting standards have been met. Said lighting plan shall include the following:
 - ✓ 1. The location and type of all lighting fixtures including the height of all pole lights;
 - ✓ 2. A photometric analysis showing the estimated illumination at the property line;
 - ✓ 3. The type of illumination fixtures to be utilized;
 - N/A 4. The type and method of shielding proposed;
 - N/A 5. Visibility easements; and
 - N/A 6. Any proposed sites for parks, schools, public facilities, public or private open spaces;
- ✓ 29[a]. A landscape plan meeting the Town of Bartonville standards for landscape plans as specified in [Chapter 18](#) of this Ordinance;
- 30. An irrigation plan meeting the Town of Bartonville standards for irrigation plans as specified in [Chapter 18](#) of this Ordinance;
- ✓ 31. Building facade (elevation) plans showing the type and color of the exterior materials to be utilized for each building or structure and each screening wall. Said building elevations shall be drawn to a scale of one inch equals twenty feet (1" = 20') or any such scale as designated by the Town Secretary, or his/her designee; and

Provision of the above items shall conform to the principles and standards of this Ordinance and the Comprehensive Plan. To ensure the submission of adequate information, the Town is hereby empowered to maintain and distribute a separate list of specific requirements for site plan review applications. Upon periodic review, the Town Secretary, or his/her designee, shall have the authority to update such requirements for site plan and development review applications. It is the applicant's responsibility to be familiar with, and to comply with, these requirements.

J. Action by Planning and Zoning Commission or Town Council. An application for a site plan shall be considered administratively complete upon the occurrence of all of the following: (1) the Town staff and the Town Engineer have determined that the application for a site plan meets all requirements of applicable Town ordinances so that it may be reviewed by the Planning and Zoning Commission or Town Council; (2) the site plan has been placed on a duly posted agenda for the Planning and Zoning Commission or Town Council; and (3) the Planning and Zoning Commission or Town Council has taken action on the site plan. The Filing Date of a site plan means the date a site plan is considered by the Town to be administratively complete and is heard by either the Planning and Zoning Commission or Town Council.

The Planning and Zoning Commission or Town Council may take one of the following actions: (a) approve the site plan; (b) approve the site plan with conditions; or (c) disapprove the site plan.

In the event the Planning and Zoning Commission or Town Council conditionally approves or disapproves a site plan, the Planning and Zoning Commission or Town Council shall provide the applicant a written statement of the conditions for the conditional approval or reasons for disapproval, in accordance with Section 212.0091 of the Texas Local Government Code, as amended. After the conditional approval or disapproval of a site plan, the applicant may submit a written response that satisfies each condition for the conditional approval or remedies each reason provided for the disapproval, in accordance with Section 212.0093 of the Texas Local Government Code, as amended. In the event the Planning and Zoning Commission or Town Council receives such a response from the applicant, the Planning and Zoning Commission or Town Council shall determine whether to approve or disapprove the applicant's previously conditionally approved or disapproved plan not later than the fifteenth (15th) day after the date the response was submitted, in accordance with Section 212.0095 of the Texas Local Government Code, as amended.

The statutory 30-day time frame for site plan approvals, established by Chapter 212 of the Texas Local Government Code, shall commence on the Filing Date.

Pursuant to Section 212.009(b-2) of the Texas Local Government Code, as amended, upon application in writing by the applicant, the Planning and Zoning Commission or Town Council may approve one (1) Extension of Right to 30-Day Action, such Extension not to exceed 30 additional days.

K. Effect of Review/Approval: The Site Plan shall be considered authorization to proceed with construction of the site provided all other required Town approvals are obtained (such as final plat, engineering plans, etc.).

L. Validity and Lapse of Site Plan Approval:

1. The approved Site Plan shall be valid for a period of two (2) years from the date of Site Plan approval by the Town Council. By the end of the two-year period, the applicant must have completed the next "progress benchmark" as set forth below. If this is not accomplished, then the approved Site Plan shall expire and shall become null and void.

Approved Plan —> Next "Progress Benchmark"

Site Plan <— Engineering release and commencement of construction of public improvements, and application for a building permit for at least one of the buildings on the approved Site Plan within two (2) years following approval of the Site Plan.

2. Extension and Reinstatement Procedure:

- a. Prior to the lapse of approval for a Site Plan, the applicant may petition the Town (in writing) to extend the Site Plan approval.
- b. Such petition shall be considered by the Town Council, and an extension may be granted by the Town Council at such meeting.
- c. If no petition is submitted, then the Site Plan shall be deemed to have expired and shall become null and void. Any new request for Site Plan approval shall be deemed a "new project," and shall be submitted with a new application form, with a new filing fee, and with new plans and materials in accordance with the procedures set forth in this Section. The new request shall also

be reviewed for compliance with the ordinances and regulations in effect at the time the new application is made.

d. In determining whether to grant a request for extension, the Town Council shall take into account the reasons for the lapse, the ability of the property owner to comply with any conditions attached to the original approval, and the extent to which development regulations would apply to the Site Plan at that point in time.

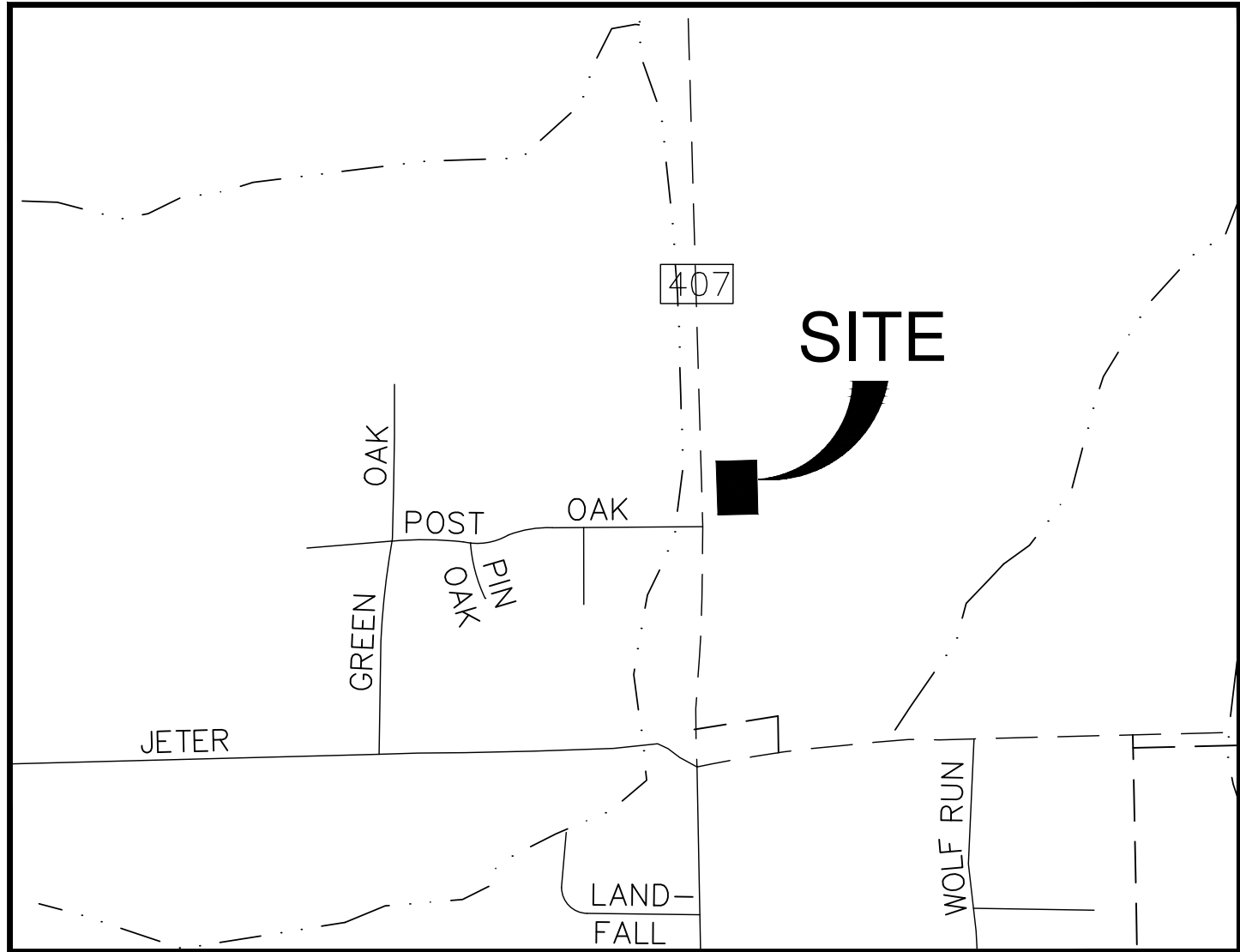
M. Notice: All Site Plan submissions shall be subject to the noticing requirements of Appendix A.5, General Notice Requirements.

SITE DEVELOPMENT PLANS FOR

WHATABURGER

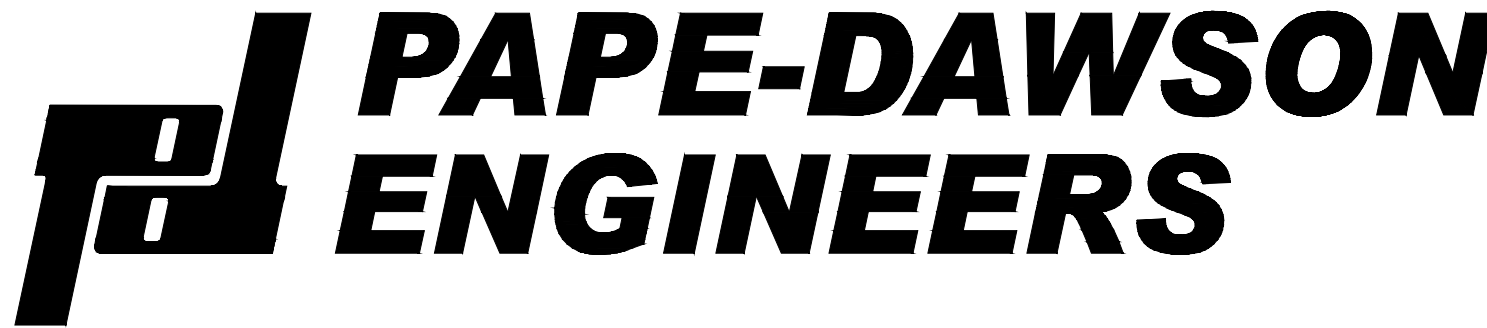
NEQ FM 407 & MCMAKIN RD
BARTONVILLE, TEXAS
DENTON COUNTY

SHEET LIST TABLE	
SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	GENERAL CONSTRUCTION NOTES
C2.0	ALTA-NSPS LAND TITLE SURVEY
C3.0	EXISTING CONDITIONS & DEMOLITION PLAN
C4.0	EROSION CONTROL PLAN
C4.1	EROSION CONTROL DETAILS
C5.0	FIRE PROTECTION PLAN
C6.0	PAVING PLAN
C7.0	SITE & DIMENSIONAL CONTROL PLAN
C7.1	SITE DETAILS
C7.2	SITE DETAILS
C8.0	GRADING PLAN
C8.1	DRAINAGE PLAN
C9.0	UTILITY PLAN
C9.1	UTILITY DETAILS
C9.2	UTILITY DETAILS
LP-1	LANDSCAPE PLANTING
LP-2	LANDSCAPE DETAILS AND SPECIFICATIONS
LI-1	IRRIGATION PLAN
LI-2	IRRIGATION DETAILS
LI-3	IRRIGATION DETAILS AND SPECIFICATIONS



LOCATION MAP
NOT TO SCALE

ENGINEER:



FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 WEST FWY, STE 700 | FORT WORTH, TX 76116 | 817.870.3668
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

CONTACT: MATTHEW MALY, P.E.

MAY 2023

ELECTRIC
COMPANY: COSERV
CONTACT PERSON:
TEL: 940-321-7800

TOWN OF BARTONVILLE
DEPARTMENT: PLANNING & ZONING
LOCATION: TOWN HALL
TEL: 817-693-5280

TELEPHONE
COMPANY: FRONTIER
CONTACT:
TEL: 469-610-2726

DEPARTMENT: DENTON COUNTY ESD 1
CONTACT: MON NGUYEN
TEL: 818-391-3711
EMAIL: MON@DENTONCOUNTYESD1.GOV

GAS
COMPANY: COSERV
CONTACT PERSON:
TEL: 940-321-7800

LANTANA
DEPARTMENT: BUILDING INSPECTIONS/PERMITTING
CONTACT: KEVIN MERCER
TEL: 214-869-5416
EMAIL: KMERCE@LANTANATX.COM

CONTRACTOR
COMPANY:
CONTACT PERSON:
TEL:

FLOOD NOTE
THE SUBJECT PROPERTY LIES IN AN AREA OF MINIMAL FLOODING BY THE 100-YEAR FLOOD, ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 48121C0510G, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY DATED 04/18/2011.

CAUTION NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

BENCHMARKS
BENCHMARK:
DESCRIPTION: TBM X-CUT
NORTHING: 7077249.3"
EASTING: 2388423.3'
ELEVATION: 658.9' (NAVD88)
BENCHMARK:
DESCRIPTION: TBM X-CUT
NORTHING: 7076945.1'
EASTING: 2388795.9'
ELEVATION: 666.1' (NAVD88)

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UNDER THE
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P.E. #120494
MAY 30, 2023.
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LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

REVISIONS:	DATE	DESCRIPTION	BY

PROJECT:
PT22M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

**PAPE-DAWSON
ENGINEERS**
FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 WEST FWY, STE 700 | FORT WORTH, TX 76116 | 817.870.3668
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

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SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216
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CONSENT OF WHATABURGER.

SHEET TITLE:
COVER SHEET

UNIT NO.
DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:
C0.0



Date: May 30, 2023, 1:12pm User ID: MKim
File: S:\projects\613\16\00\30 Design\2 4 Civil\2 4 3 Plan Sheets\NT-6131600.dwg

28. COORDINATION WITH OTHERS: IN THE EVENT THAT OTHER CONTRACTORS ARE DOING WORK IN THE SAME AREA SIMULTANEOUSLY WITH THE PROJECT, THE CONTRACTOR SHALL COORDINATE HIS PROPOSED CONSTRUCTION WITH THAT OF THE OTHER CONTRACTORS.
29. CONDITION OF THE SITE DURING CONSTRUCTION: THE CONTRACTOR SHALL KEEP THE SITE OF THE WORK AND ADJACENT PREMISES AS FREE FROM MATERIAL, DEBRIS, AND RUBBISH AS IS PRACTICAL. THE CONTRACTOR SHALL REMOVE MATERIAL, DEBRIS AND RUBBISH FROM ANY PORTION OF THE SITE IF, IN THE OPINION OF THE DEVELOPER, SUCH MATERIAL, DEBRIS, AND RUBBISH CONSTITUTES A NUISANCE OR IS OBJECTIONABLE.
30. EXISTING ROADWAYS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF EXISTING PAVED ROADWAYS ASSOCIATED WITH MAINTAINING THE CLEANLINESS. EXISTING GRASSES SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
31. DUST CONTROL: THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO CONTROL DUST ON THE PROJECT SITE BY THE SPRINKLING OF WATER OR ANY OTHER METHODS APPROVED BY THE GOVERNING AUTHORITIES. COSTS ASSOCIATED WITH DUST CONTROL SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
32. CLEAN UP FOR FINAL ACCEPTANCE: THE CONTRACTOR SHALL MAKE A FINAL CLEAN UP OF ALL PARTS OF THE WORK AREA BEFORE ACCEPTANCE BY THE OWNER. THIS CLEAN UP SHALL INCLUDE REMOVAL OF ALL OBJECTIONABLE MATERIALS AND, IN GENERAL, PREPARING THE SITE OF THE WORK IN AN ORDERLY MANNER OF APPEARANCE.
33. REMOVAL OF DEFECTIVE AND UNAUTHORIZED WORK: ALL WORK, WHICH HAS BEEN REJECTED OR CONDEMNED, SHALL BE REPAIRED, OR IF IT CANNOT BE REPAIRED SATISFACTORILY, SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH WORK. WORK DONE IN NON-CONFORMANCE WITH THE GRADES SHOWN ON THE DRAWINGS OR AS WRITTEN AUTHORITY AND PRIOR AGREEMENT IN WRITING AS TO PRICES, SHALL BE AT THE CONTRACTOR'S RISK, AND WILL BE CONSIDERED UNAUTHORIZED, AND AT THE OPTION OF THE OWNER MAY NOT BE MEASURED AND PAID FOR AND MAY BE ORDERED REMOVED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF SUCH WORK. WORK DONE IN NON-CONFORMANCE WITH THE GRADES SHOWN ON THE DRAWINGS OR AS WRITTEN AUTHORITY AND PRIOR AGREEMENT IN WRITING AS TO PRICES, SHALL BE AT THE CONTRACTOR'S RISK, AND WILL BE CONSIDERED UNAUTHORIZED, AND AT THE OPTION OF THE OWNER, THE OWNER WILL, AFTER GIVING WRITTEN NOTICE TO THE CONTRACTOR, HAVE THE AUTHORITY TO CAUSE SUCH WORK TO BE REMOVED AND RE-CONSTRUCTED AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE TO AND DEDUCT THE COST THEREOF ANY MONIES DUE TO OR BECOME DUE TO THE CONTRACTOR.
34. DISPOSITION AND DISPOSAL OF EXCESS AND UNSUITABLE MATERIALS: ALL MATERIALS TO BE REMOVED FROM THE SITE INCLUDED BUT NOT LIMITED TO EXCESS MATERIAL AND UNSUITABLE MATERIALS SUCH AS CONCRETE, ASPHALT, LAVERGE, BRICKS, ETC., SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. MATERIALS REMOVED OUTSIDE THE LIMITS OF THE PROJECT, CONTRACTOR SHALL ALSO COMPLY WITH ALL APPLICABLE LAWS GOVERNING SPILLAGE OF DEBRIS WHILE TRANSPORTING TO A DISPOSAL SITE. COSTS ASSOCIATED WITH THE DISPOSAL OF EXCESS AND UNSUITABLE MATERIALS SHALL BE INCLUDED IN THE CONTRACT AMOUNT.
35. RECORD DRAWINGS: THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF THE INSTALLATION OF ALL MATERIALS AND SYSTEMS. THE PROVIDER SHALL BE RESPONSIBLE FOR THE COMPLETION OF THE SET OF RECORD DRAWINGS. MUST BE DELIVERED TO THE OWNER AND/OR ENGINEER BEFORE REQUESTING FINAL PAYMENT.

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PROVISIONS OUTLINED IN F.H.A. DATA SHEET 79G AND/OR THE SPECIFICATIONS PREPARED BY THE SOILS ENGINEER.
2. *ALL CLAY SOIL USED AS FILL SHOULD BE COMPACTED TO AT LEAST 95% AND NOT EXCEEDING 105 PERCENT OF STANDARD PROCTOR DENSITY AS DETERMINED BY A.S.T.M. D-698; THE COMPACTED MOISTURE CONTENT OF THE CLAYS SHALL BE NOT EXCEEDING FIVE (5) PERCENTAGE POINTS ABOVE OPTIMUM.
3. *LIMESTONE, OR OTHER ROCK-LIKE MATERIALS USED AS FILL SHOULD BE COMPACTED TO AT LEAST 95 PERCENT AND NOT EXCEEDING 105 PERCENT OF STANDARD PROCTOR DENSITY AS DETERMINED BY A.S.T.M. D-698/ THE COMPACTED MOISTURE CONTENT DURING PLACEMENT SHOULD BE WITHIN PLUS OR MINUS THREE (3) PERCENTAGE POINTS OF OPTIMUM MOISTURE CONTENT. NO ROCK LARGER THAN SIX INCHES IN ITS GREATEST DIMENSION SHALL BE USED IN FILL WHEN THE FILL IS PLACED UNDER PADS, STREETS OR ANY OTHER AREAS THAT WILL HAVE ANY TYPE OF STRUCTURES.
4. COMPACTION SHOULD BE ACCOMPLISHED BY PLACING THE FILL IN SIX INCH THICK LAYERS AND COMPACTING EACH LAYER TO AT LEAST THE SPECIFIED MINIMUM DRY DENSITY. PARTICLE SIZES USED IN FILL SHALL BE LESS THAN SIX (6) INCHES DIAMETER.
5. GRADING CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OFF-SITE OF ALL EXCAVATED AND CLEARED MATERIAL, WHICH SOILS LAB DECLARES UNSUITABLE FOR USE ON-SITE.
6. CONTRACTOR TO SLOPE THE ADJACENT GROUND AWAY FROM BUILDING PAD TO ACHIEVE POSITIVE SURFACE DRAINAGE.
7. INITIAL SITE GRADING SHALL BE COMPLETED TO A TOLERANCE OF PLUS OR MINUS ONE TENTH OF ONE FOOT IN STREETS AND PLUS OR MINUS THREE TENTHS OF ONE FOOT FOR THE BUILDING PADS. FINAL BUILDING PAD GRADING TO BE DONE UPON COMPLETION OF PAVING AND UTILITY FACILITIES, SHALL BE PROVIDED TO A TOLERANCE OF PLUS OR MINUS TWO TENTHS OF ONE FOOT FOR THE DRIVEWAYS AND CENTER OF BUILDING PAD. IN ALL SWALES, AND LOT CORNERS.
8. CONTRACTOR SHALL REPLACE ANY EROSION CONTROL MATERIALS AT THE END OF EACH WORK DAY IF SAID MATERIALS WERE REMOVED DURING THE DAY FOR EASE OF CONSTRUCTION OR ACCESS.
9. IF ROCK IS ENCOUNTERED IN THE STREET SUBGRADE, THE ROCK SHALL BE EXCAVATED TO A DEPTH OF SIX INCHES, REMOVED FROM THE STREET, AND NON-ROCK MATERIAL SHALL BE REPLACED FOR THE STREET SUBGRADE. ROCK IN THE STREET PARKWAYS SHALL BE REMOVED AND REPLACED WITH SIX INCHES OF TOP SOIL. THIS SHALL BE ACCOMPLISHED BY THE EROSION CONTROL CONTRACTOR, SUBSIDIARY TO THIS CONTRACTOR.
10. NO FOOTING OF ANY RETAINING WALL SHALL BE WITHIN CITY RIGHT-OF-WAY, OR CITY PROPERTY (I.E. PARK) INCLUDING FOOTING.

* APPLIES TO ALL AREAS OUTSIDE OF PUBLIC R.O.W. ONLY. REFER TO PAVING GENERAL CONSTRUCTION NOTES FOR DENSITY/MOISTURE REQUIREMENTS IN R.O.W.

1. UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE OWNER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THE DATA.
2. CONTRACTOR WILL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO HIS OPERATIONS.
3. SEE UTILITY PLANS FOR LOCATION OF WATER LINES, SANITARY SEWER LINES, STORM DRAINS, AND UTILITY CROSSING.
4. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO APPLICABLE CITY STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS.
5. ALL FILL SHALL BE COMPACTED AS SPECIFIED IN THE GEOTECHNICAL REPORT. DENSITY TEST RESULTS WILL BE REQUIRED AT THE PRE-CONSTRUCTION MEETING FOR ALL FILL AREAS IN EXCESS OF 2.0' UNDERNEATH PROPOSED PAVING.
6. STREET CURB RADI AT STREET INTERSECTIONS SHALL BE 20' (MEASURED FROM BACK OF CURB) UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
7. TYPICAL PAVEMENT SECTION IS TO TRANSITION FROM CROWN SECTION TO TRANSVERSE SECTION WITHIN A DISTANCE OF 50' OF WHERE A VALLEY GUTTER CROSSES A STREET INTERSECTION.
8. SEE PAVEMENT CONSTRUCTION DETAILS SHEET FOR PAVEMENT SECTIONS AND CONSTRUCTION DETAILS.
9. BLUE REFLECTOR TO BE INSTALLED 10' OFFSET FROM CENTERLINE OF STREET ON FIRE HYDRANT SIDE, FOR PURPOSES OF QUICK HYDRANT LOCATION AT NIGHT.

1. WATER AND SANITARY SEWER LINES ARE SHOWN FOR REFERENCE ONLY. REFER TO WATER AND SANITARY SEWER PLANS FOR EXACT LOCATION.
2. ALL STORM DRAIN LINES TO BE R.C.P. CLASS III UNLESS OTHERWISE NOTED.
3. ALL CURVED STORM DRAIN IS TO BE CONSTRUCTED WITH RADIUS PIPE OR IS TO BE DEFLECTED AT JOINTS (PER MANUFACTURER'S SPECIFICATIONS) AND GROUTED AS NECESSARY. IT SHALL BE THE CONTRACTOR'S OPTION AS TO WHICH METHOD TO USE (NO CHARGE PAY).
4. AREA DISBURSED BY CHANNEL RELOCATION SHALL BE RE-VEGETATED AS SET FORTH IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) WHICH WAS PREPARED SPECIFICALLY FOR THIS PROJECT, OR OTHERWISE PROTECTED AGAINST EROSION BY THE USE OF RIP-RAP, GABIONS, OR GEOTEXTILES.

1. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
2. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY THE GOVERNING AUTHORITIES AND ALL PERMITTER EROSION CONTROL DEVICE HAS BEEN INSTALLED.
3. THIS EROSION CONTROL PLAN IS A SUPPLEMENT TO THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY OTHERS. REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS.
4. THE GENERAL CONTRACTOR, AS THE TCEQ DEFINES "OPERATOR," SHALL PERFORM ALL REQUIRED INSPECTIONS OF STORM WATER EROSION CONTROL MEASURES AND THE TCEQ'S GENERAL PERMIT AND SHALL FILL OUT THE TCEQ'S APPROPRIATE INSPECTION FORMS (AS PROVIDED IN THE SWPPP) UNLESS OTHERWISE DIRECTED BY THE OWNER.
5. THE GENERAL CONTRACTOR (AND ALL SUBCONTRACTORS INVOLVED WITH ANY CONSTRUCTION ACTIVITIES RELATED TO THE PROJECT, INCLUDING EROSION CONTROL, ETC. OR WHICH UTILIZE POSSIBLE POLLUTANTS AS DEFINED IN THE TCEQ'S GENERAL PERMIT) SHALL BE RESPONSIBLE FOR THE TCEQ'S SWPPP TO THE SWPPP FOR THE PROJECT, AS WELL AS ALL THE TCEQ REQUIREMENTS SET FORTH IN THE TCEQ'S GENERAL PERMIT.

1. THE CONTRACTOR SHALL INSTALL WATER AND SEWER LINES SO AS TO AVOID CONFLICTS WITH OTHER UTILITIES. WATER AND SANITARY SEWER SEPARATIONS SHALL BE MAINTAINED PER TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) OR CITY REGULATIONS (WHICHEVER IS MORE STRINGENT).
2. THE CONTRACTOR SHALL INSTALL ALL GRAVITY LINES (SANITARY SEWER, STORM SEWER AND FRENCH DRAINS) BEFORE INSTALLATION OF WATER LINES AND APPURTENANCES.
3. IF GROUNDWATER IS ENCOUNTERED WHEN LAYING UTILITY LINES, 3/4" WASHED ROCK MUST BE PLACED 6" BELOW AND 6" ABOVE THE UTILITY LINE.
4. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND TO ASSURE PROPER DEPTHS ARE ACHIEVED. CONTRACTOR SHALL ADHERE TO THE REQUIREMENTS OF THE APPLICABLE CITY'S PUBLIC WORKS DEPARTMENT, BUILDING INSPECTIONS AND SHALL COORDINATE WITH CITY PRIOR TO CONNECTING TO EXISTING PUBLIC UTILITIES.
5. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND TRENCH SAFETY PLAN PRIOR TO PRE-CONSTRUCTION MEETING.
6. THE CONTRACTOR SHALL COORDINATE INSPECTION AND TESTING ON ALL UTILITIES WITH THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING CONSTRUCTION.
7. ALL FIRE PROTECTION WORK MUST BE PERMITTED AND APPROVED BY THE APPLICABLE CITY'S FIRE DEPARTMENT.
8. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ALL VALVE BOXES, HYDRANTS, SEWER CLEAN OUTS AND MANHOLE RIMS TO FINAL GRADE.
9. CONTRACTOR TO COORDINATE FINAL LOCATION OF ELECTRIC, TELEPHONE, AND GAS SERVICE WITH EACH RESPECTIVE UTILITY COMPANY, AND SHALL INCLUDE ALL ASSOCIATED COSTS IN BID.
10. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OR RELOCATION OF ON-SITE POWER POLES AS REQUIRED TO COMPLETE THE WORK.
11. IN THE EVENT THAT EXISTING UTILITIES SUCH AS WATER, GAS, TELEPHONE, ELECTRIC, ETC., MUST BE TAKEN OUT OR SEVERED TO FACILITATE CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE TEMPORARY UTILITIES TO THE SATISFACTION OF THE OWNER.
12. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN AREAS ADJACENT TO GAS LINES, UNDERGROUND ELECTRIC CABLE, FIBER OPTIC CABLE AND UNDERGROUND TELEPHONE CABLE.
13. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OF THE RESPECTIVE UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING OR REPAIRING THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS. THE CONTRACTOR SHALL ALSO NOTIFY THE ENGINEER OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
14. ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO AWWA STANDARD AND SHALL MEET THE CLASSIFICATION PRESSURE RATING AND COVER REQUIRED BY CITY.
15. CORPORATION STOPS SHOULD BE TESTED FOR LEAKAGE AND FULL FLOW WHEN SYSTEM IS PRESSURE TESTED.
16. WATER AND SANITARY SEWER LINES SHALL BE INSTALLED AS SHOWN ON THE PLANS. HOWEVER, FIELD ADJUSTMENTS APPROVED BY THE ENGINEER MAY BE MADE TO LESSEN DAMAGE TO THE ROAD PAVEMENT OR WHEN OTHER UTILITY LOCATIONS, TREES, OR STRUCTURES WARRANT SUCH AN ADJUSTMENT.
17. FIRE LINE SIZES SHOWN ON THIS PLAN ARE ESTIMATED OR PROVIDED BY THE OWNER. FIRE LINES AND ALL ASSOCIATED APPURTENANCES SHALL BE DESIGNED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISINFECTION, CHLORINATION AND FLUSHING REQUIREMENTS. THIS SHALL INCLUDE PROVIDING TEMPORARY ISOLATION VALVES, PLUGS, INJECTION PORTS, FLUSHING VALVES, TOOLS AND EQUIPMENT NECESSARY TO COMPLETE THE TASK. THE CONTRACTOR SHALL CONTACT THE WATER UTILITY 48 HOURS PRIOR TO FLUSHING OF WATER LINES.
19. ALL WATER LINE FITTINGS ARE TO BE DUCTILE IRON MECHANICAL JOINTS.
20. HORIZONTAL BLOCKING HAS BEEN OMITTED FOR CLARITY. HOWEVER, BLOCKING SHALL BE CONSTRUCTED PER NORTH-CENTRAL TEXAS COUNCIL OF GOVERNMENTS (NCTCOG) STANDARDS AND MUST BE IN ACCORDANCE WITH APPLICABLE CITY'S SPECIFICATIONS. CONCRETE BLOCKING SHALL BE PLACED AT ALL VALVES, BENDS, TEES AND PLUGS. DO NOT COVER WITH OR FLANGE WELDED CONCRETE. ANY EXISTING THRUST BLOCKS OR RESTRAINTS SHALL BE REMOVED BY THE UTILITY CONTRACTOR TO ALLOW HIS WORK TO PROCEED. THE REPLACEMENT, WHERE REQUIRED, SHALL BE AT THE CONTRACTOR'S EXPENSE.
21. IN THE EVENT OF A CONFLICT BETWEEN WATER LINES AND STORM DRAIN PIPING, THE CONTRACTOR SHALL ADJUST THE WATER LINE DOWNWARDS IN SUCH A MANNER SO THAT THE PIPE MANUFACTURER'S RECOMMENDATIONS ON PIPE DEFLECTION AND JOINT STRESS ARE NOT EXCEEDED.
22. ALL VALVES AT THE END OF A LINE SHALL BE PLUGGED AND BLOCKED.
23. FIRE HYDRANTS SHALL BE LOCATED IN ACCORDANCE WITH CURRENTLY PUBLISHED CITY DESIGN STANDARDS.
24. FIRE HYDRANT ASSEMBLY BID ITEMS WILL INCLUDE THE FIRE HYDRANT, THE PIPE EXTENSION FROM THE TEE, AND ALL NECESSARY FITTINGS INCLUDING THE 6" GATE VALVE AND BOX. ALL VALVES AND FIRE HYDRANTS SHALL BE PER CITY SPECIFICATIONS.
25. UPON COMPLETION OF SANITARY SEWER LINE CONSTRUCTION, THE CONTRACTOR SHALL HAVE THE LINES TESTED INCLUDING MANHOLE TEST, AIR TEST, AND A T.V. INSPECTION AT NO ADDITIONAL COST TO THE OWNER.
26. CONTRACTOR SHALL FOLLOW BUILDING INSPECTION RULES REGARDING THE MATERIALS AND INSTALLATION OF THE PRIVATE WATER AND SANITARY SEWER LINES.

- PROJECT: PT22M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

WHATABURGER

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SAN ANTONIO, TEXAS
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UNIT NO.
DATE: 05/30/2023
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DRAWN BY: DDD

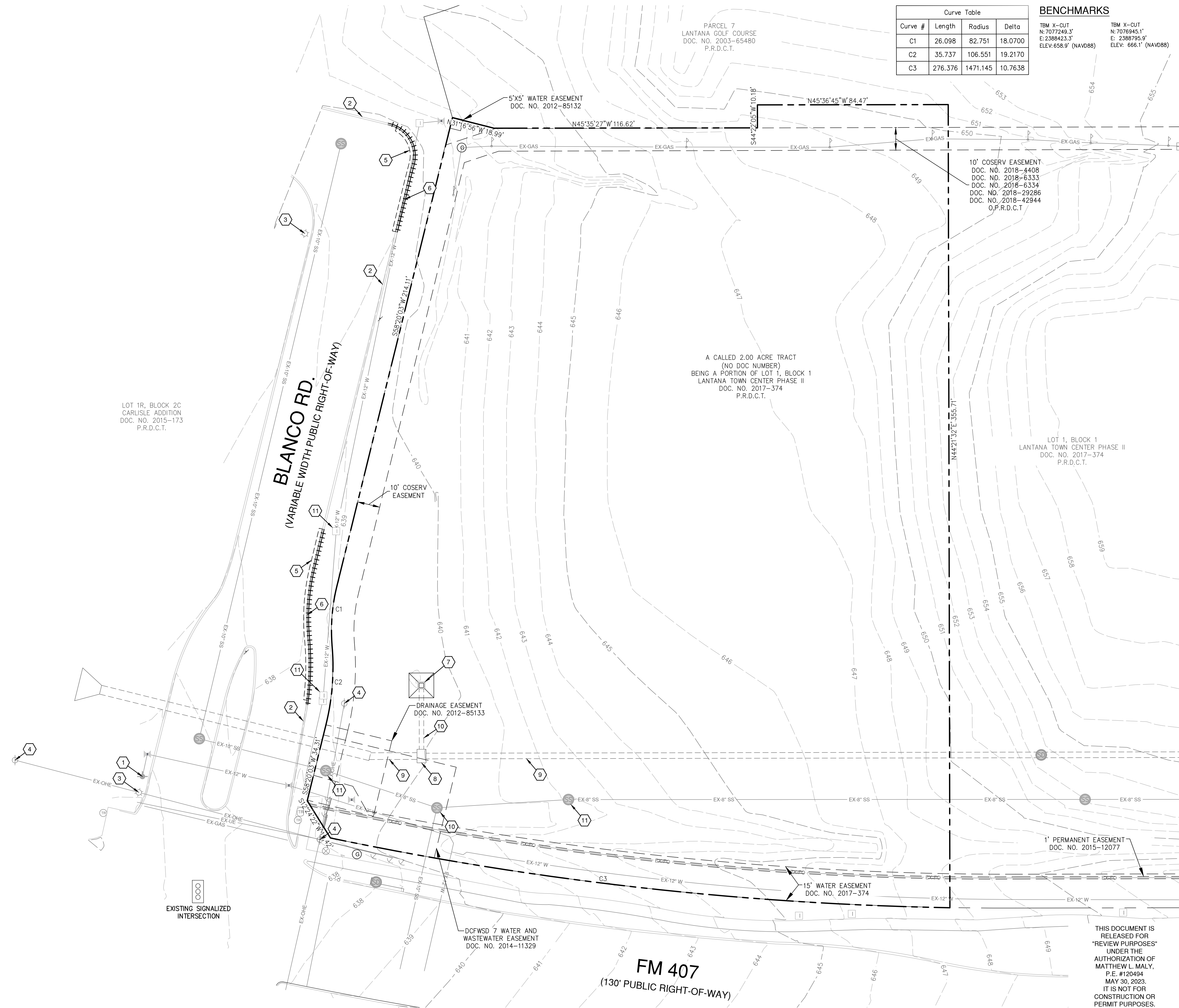


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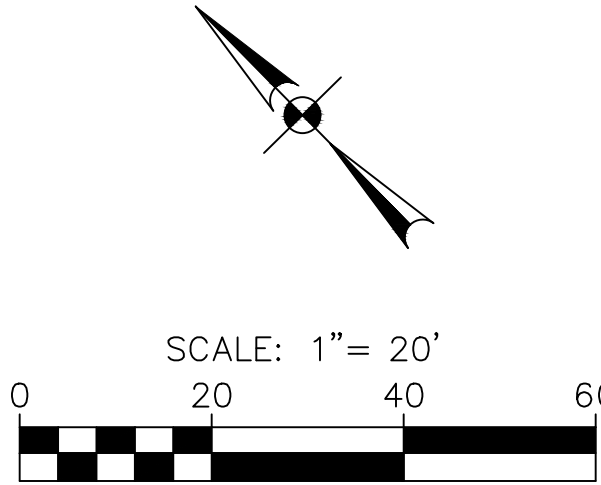
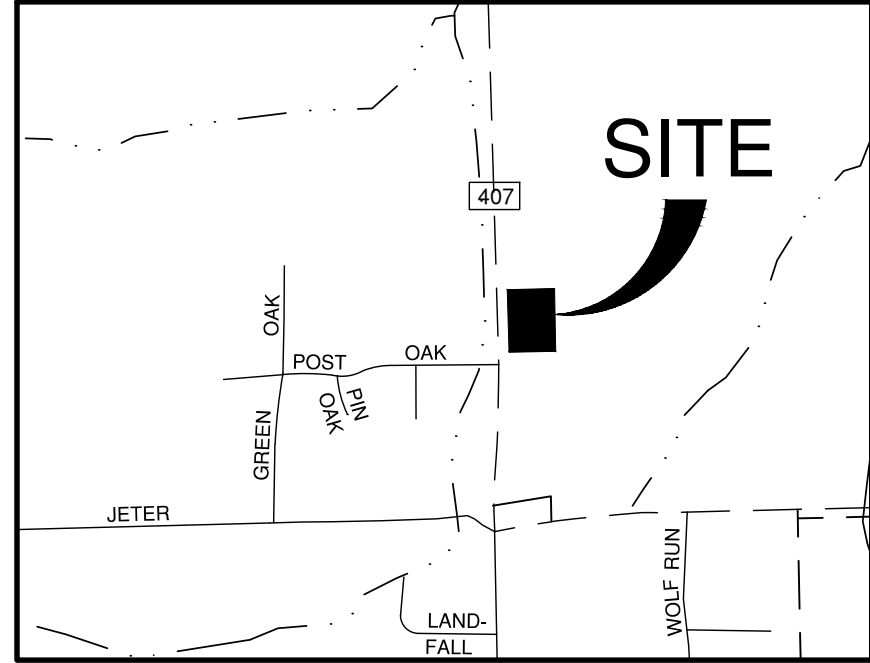


Curve Table			
Curve #	Length	Radius	Delta
C1	26.098	82.751	18.0700
C2	35.737	106.551	19.2170
C3	276.376	1471.145	10.7638

BENCHMARKS

TBM X-CUT
N: 7077249.3'
E: 2388423.3'
ELEV: 658.9' (NAVD88)

TBM X-CUT
N: 7076945.1'
E: 2388795.9'
ELEV: 666.1' (NAVD88)



DEMOLITION LEGEND

Symbol	Description
---	PROPERTY LINE
EX-W	EXISTING WATER LINE
EX-WU	EXISTING WATER UTILITY
EX-FH	EXISTING FIRE HYDRANT
EX-SS	EXISTING SANITARY SEWER LINE
EX-SM	EXISTING SANITARY SEWER MANHOLE
EX-OHE	EXISTING OVERHEAD ELECTRIC LINE
EX-OEP	EXISTING OVERHEAD ELECTRIC POLE
EX-GWA	EXISTING GUY WIRE ANCHORS
EX-EQ	EXISTING ELECTRICAL EQUIPMENT
EX-LP	EXISTING LIGHT POLE
EX-STL	EXISTING STORM LINE
EX-SM	EXISTING STORM MANHOLE
EX-GU	EXISTING GAS UTILITY
EX-GS	EXISTING GAS LINE
---	CURB REMOVAL
---	PROPOSED FULL DEPTH SAWCUT
TR	TRAFFIC SIGNAL POLE
TR	TRAFFIC SIGNAL BOX
---	SIGN
---	CROSSWALK POLE
---	GAS LINE MARKER

NOTES

- CONTRACTOR SHALL PROTECT ALL EXISTING TREES, FENCES, RETAINING WALLS AND STRUCTURES UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE WITH THE DEVELOPER, ADJACENT PROPERTY OWNERS, AND THE UTILITY COMPANY BEFORE REMOVING OR CONSTRUCTING ANYTHING WITHIN THE EXISTING EASEMENTS.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY TO HAVE THE OVERHEAD ELECTRIC LINES REMOVED FROM WITHIN THE PROPERTY BOUNDARY. THE LIMITS SHOWN IN THE DRAWING ARE APPROXIMATE AND SHALL TERMINATE ACCORDING TO THE UTILITY COMPANIES STANDARD.

KEY NOTES

- EXISTING FIRE HYDRANT TO REMAIN (PROTECT IN PLACE)
- EXISTING CURB TO REMAIN IN PLACE
- EXISTING LIGHT POLE AND FOUNDATION TO REMAIN
- EXISTING ELECTRIC POLE AND EQUIPMENT TO REMAIN
- PROPOSED FULL DEPTH SAWCUT
- REMOVE EXISTING CONCRETE CURB
- REMOVE EXISTING CONCRETE APRON, REMOVE AND REPLACE EXISTING AREA INLET TOP WITH SLAB AND COVER.
- EXISTING STORM STRUCTURE TO REMAIN
- EXISTING STORM PIPE TO REMAIN
- EXISTING SANITARY SEWER STRUCTURE TO REMAIN
- EXISTING IRR CONTROL BOX TO BE RELOCATED OUTSIDE OF PROPOSED SIDEWALK IMPROVEMENTS. COORD RELOCATION WITH IRR CONTRACTOR.

LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

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REVISIONS:	BY	DATE	DESCRIPTION

PROJECT:
PT22M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

**PAPE-DAWSON
ENGINEERS**
FORT WORTH 1 SAN ANTONIO 1 AUSTIN 1 HOUSTON 1 DALLAS
6500 WEST HWY. STE 700 FORT WORTH, TX 76116 | 817.670.3888
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SHEET TITLE:
**EXISTING
CONDITIONS
& DEMOLITION
PLAN**

UNIT NO.
DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:
C3.0



FOR REVIEW

NOTES

- EROSION CONTROL MEASURES SHALL FOLLOW THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). ANY CHANGES TO THE SWPPP SHALL SUPERSEDE THE EROSION CONTROL PLAN. THE SWPPP IS TO BE KEPT ON-SITE AT ALL TIMES WITH THESE CONSTRUCTION DOCUMENTS AS NECESSARY FOR COMPLIANCE WITH THE TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) GENERAL PERMIT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AND MAINTAINING COMPLIANCE WITH THE GENERAL PERMIT.
- PRIOR TO COMMENCING ANY CONSTRUCTION, A CONSTRUCTION ENTRANCE AND NECESSARY PERIMETER CONTROLS SHALL BE INSTALLED.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION, ROUTINE INSPECTION AND/OR MAINTENANCE OF STORM WATER POLLUTION PREVENTION CONTROL MEASURES.
- ALL STORM WATER POLLUTION PREVENTION CONTROL MEASURES SHALL BE INSTALLED WITHIN THE SITE BOUNDARY OR PUBLIC R.O.W. AS SHOWN ON THE PLANS. SOME OF THESE STRUCTURES MAY BE SHOWN OUTSIDE THE SITE BOUNDARY ON THIS PLAN FOR VISUAL CLARITY.
- CONCRETE WASHOUT PIT AND CONSTRUCTION EQUIPMENT/MATERIAL STORAGE YARD TO BE FIELD LOCATED.
- AS SOON AS PRACTICAL, ALL DISTURBED SOIL THAT WILL NOT BE COVERED BY IMPERVIOUS COVER SHOULD BE STABILIZED BY PER APPLICABLE PROJECT SPECIFICATIONS AND LANDSCAPE PLANS.
- THE EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ACCEPTABLE VEGETATION COVERAGE HAS BEEN ACHIEVED IN ACCORDANCE WITH THE GENERAL PERMIT.
- ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO COMPLY WITH THE SWPPP OR TO EXCEED STORMWATER POLLUTION REGULATIONS SHALL BE IMPLEMENTED BY THE CONTRACTOR, AT HIS EXPENSE.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EROSION CONTROL MEASURES ONCE FINAL GROUND STABILIZATION IS ACHIEVED AND THE PROJECT IS COMPLETED.
- ALL EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN COMPLIANCE WITH CITY STANDARD EROSION CONTROL DETAILS SHEETS THIS SET OF PLANS.
- CONTRACTOR SHALL POLICE SITE REGULARLY AND KEEP SITE FREE OF TRASH AND CONSTRUCTION DEBRIS.
- ALL DISTURBED AREA MUST BE REVEGETATED WITH SOLID SOD OR CURLEX UNLESS OTHERWISE SPECIFIED ON THE PLAN.
- CONTRACTOR SHALL PROTECT ALL INLETS FROM DEBRIS DURING CONSTRUCTION. CONTRACTOR SHALL CLEAR ALL DEBRIS FROM LINES AT COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR IRRIGATION AND MAINTENANCE AS NECESSARY OF ALL SOD, SEED, OR OTHER GROUND COVERING.

LOT 1R, BLOCK 2C
CARLISLE ADDITION
DOC. NO. 2015-173
P.R.D.C.T.

BLANCO RD.
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

PT22M
BUILDING
3,305 sq.ft.

DRAINAGE EASEMENT
DOC. NO. 2012-85173

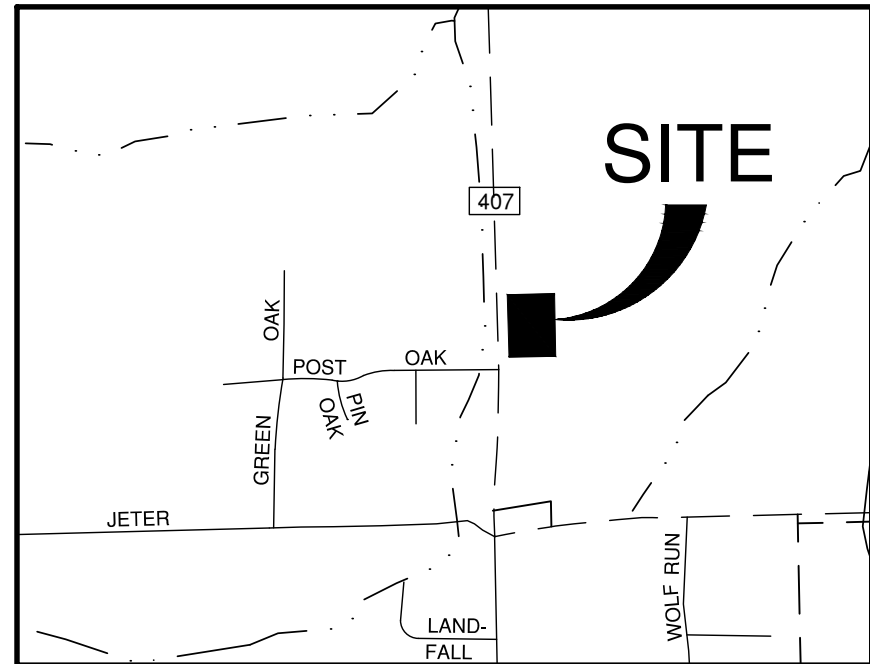
DCFWSDD 7 WATER AND
WASTEWATER EASEMENT
DOC. NO. 2014-11329

FM 407
(130' PUBLIC RIGHT-OF-WAY)

BENCHMARKS

TBM X-CUT
N: 7077249.3'
E: 2388423.3'
ELEV: 658.9' (NAVD88)

TBM X-CUT
N: 7076945.1'
E: 2388795.9'
ELEV: 666.1' (NAVD88)



LOCATION MAP

NOT-TO-SCALE

SCALE: 1" = 20'
0 20 40 60

EROSION CONTROL LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- FLOW ARROW
- EXISTING STORM DRAIN
- EXISTING CURB INLET
- PROPOSED STORM DRAIN
- PROPOSED CURB INLET
- SILT FENCE
- LIMITS OF DISTURBANCE
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE/EXIT (FIELD LOCATE)
- CONCRETE WASHOUT AREA (FIELD LOCATE)
- TRASH BIN (FIELD LOCATE)
- STRAW WATTLE

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**PAPE-DAWSON
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6500 WEST HWY. STE 700 | FORT WORTH, TX 76116 | 817.670.3888
TX REGISTRATION NO. 4470

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SHEET TITLE:

**EROSION
CONTROL
PLAN**

UNIT NO.

DATE: 05/30/2023

SCALE: 1" = 20'

DRAWN BY: DDD

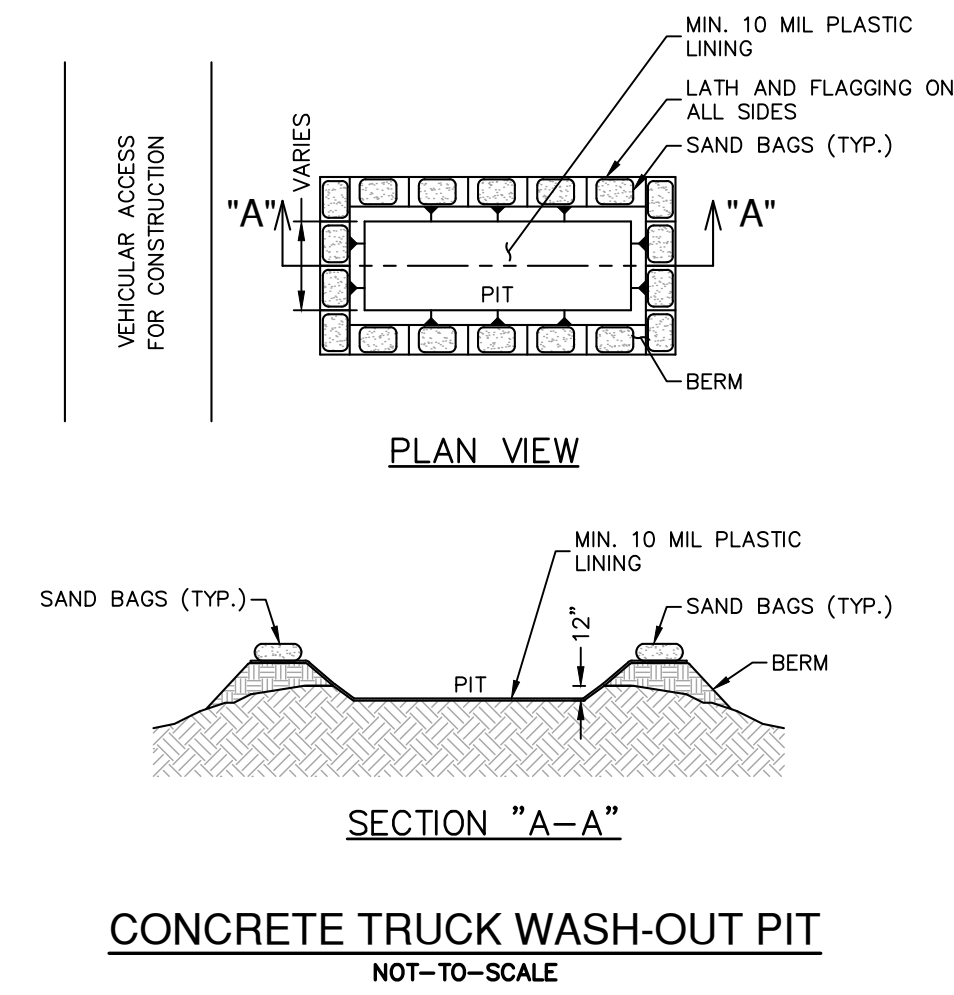
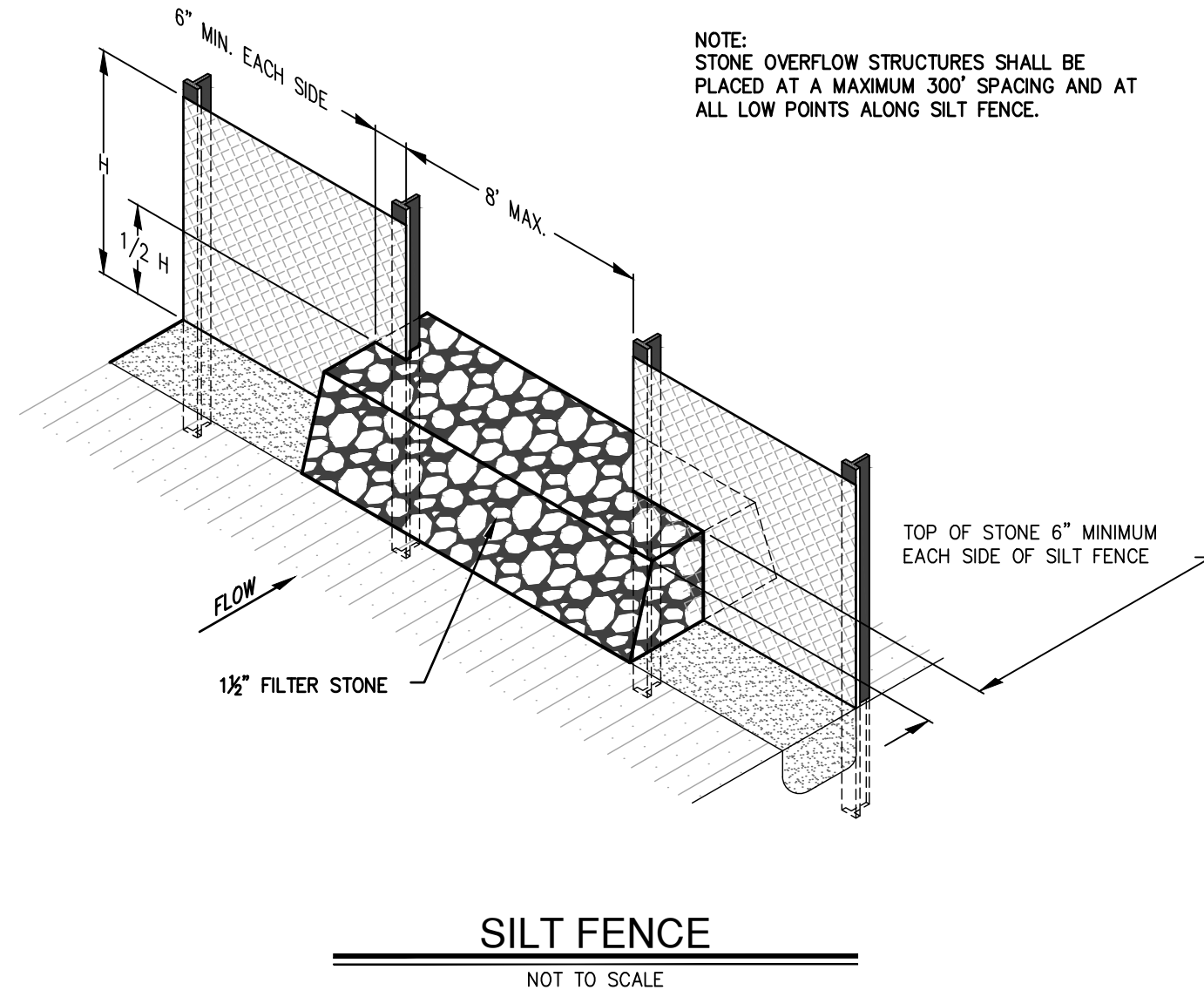
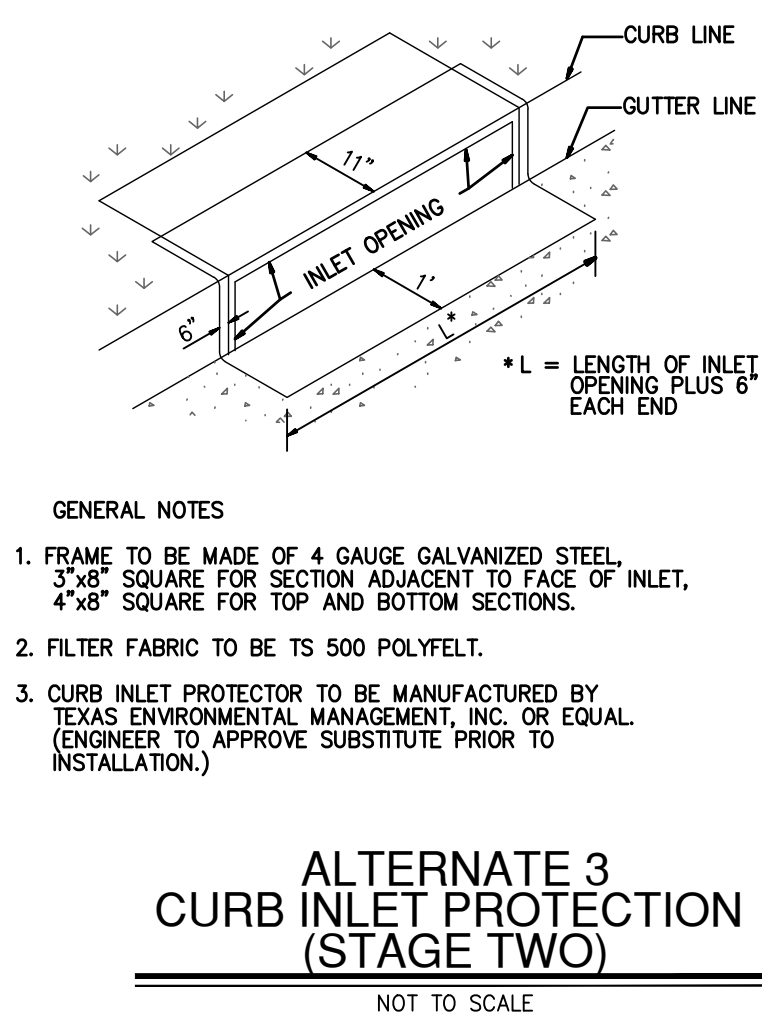
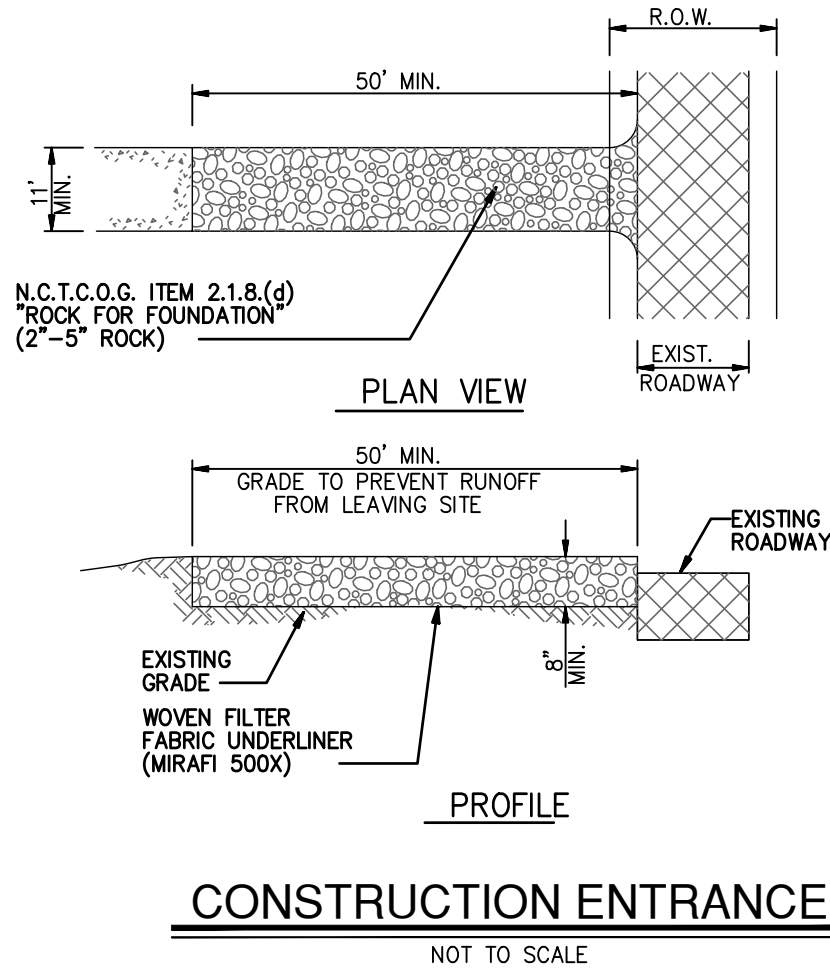
SHEET NO:

C4.0



FOR REVIEW

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REVISIONS:	DATE	DESCRIPTION	BY

PROJECT:
PT22M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

**PAPE-DAWSON
ENGINEERS**
FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
600 WEST HWY. STE 700 | FORT WORTH, TX 76116 | 817.670.3888
TEXAS BOARD OF PROFESSIONAL ENGINEERS, P&E REGISTRATION #475

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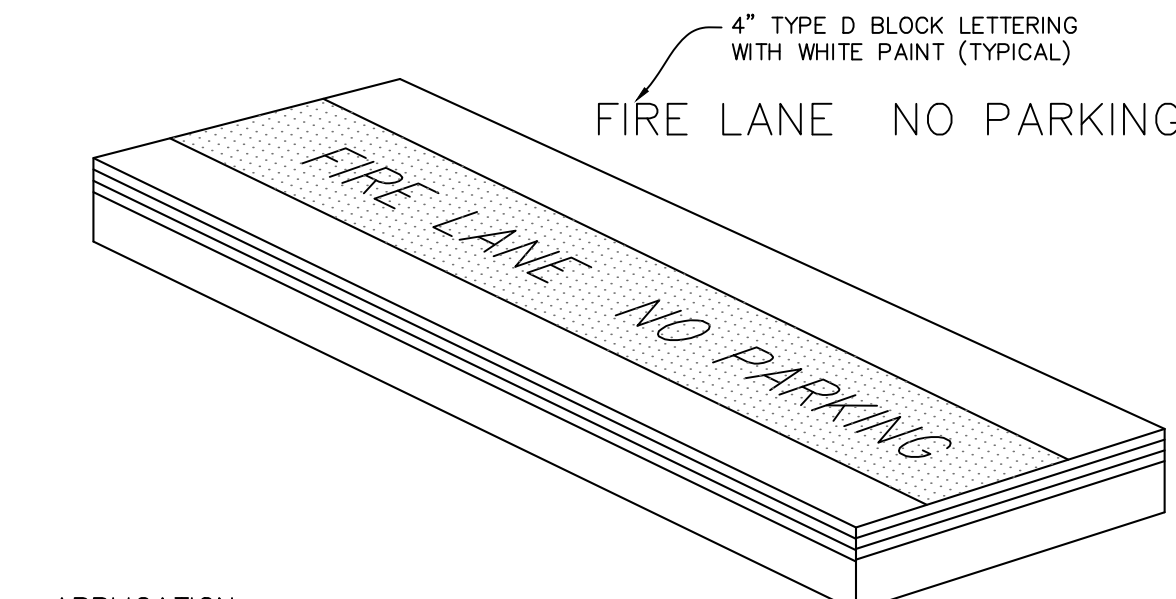
SHEET TITLE:
**EROSION
CONTROL
DETAILS**

UNIT NO.
DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:
C4.1

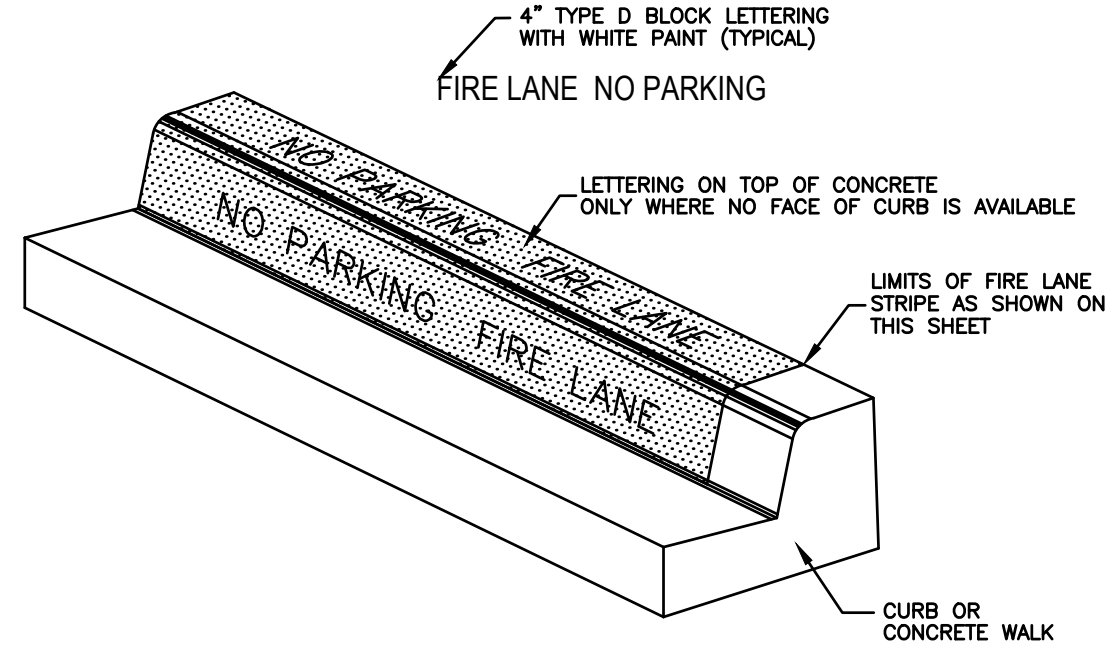


Date: May 30, 2023, 11:45am, User: D:\Wm, File: S:\projects\613161\161\00\2.0 Design\2.4 Civil\2.4.3 Plan Sheets\FIRE-6131600.dwg



APPLICATION:
1. CONTRACTOR SHALL COORDINATE WITH FIRE INSPECTOR FOR STRIPING LOCATIONS
2. PAINT A 6" WIDE RED STRIPE LOCATED 3" OFF EDGE OF PAVEMENT WITH 4" WHITE LETTERING ON RED STRIPE.
3. SEE SITE, STRIPING AND DIMENSIONAL CONTROL PLAN FOR CURB TYPES & LOCATIONS.
4. 15 FOOT SPACING BETWEEN THE BEGINNING OF THE WHITE LETTERING.

TYPICAL FIRE LANE MARKING DETAIL
NOT TO SCALE



MARKINGS

APPLICATION:
1. ON 6" CURB:
PAINT RED LANE STRIPE ON BOTH FACE AND TOP OF CURB
PAINT WHITE LETTERS ON FACE OF CURB ONLY
2. LOW CURB (HEADER CURB) OR CONCRETE PAVEMENT:
PAINT RED LANE STRIPE AND WHITE LETTERS ON TOP OF CURB
3. 15 FEET SPACING BETWEEN THE BEGINNING OF THE WHITE LETTERING.

FIRE LANE STRIPING DETAIL
NOT TO SCALE

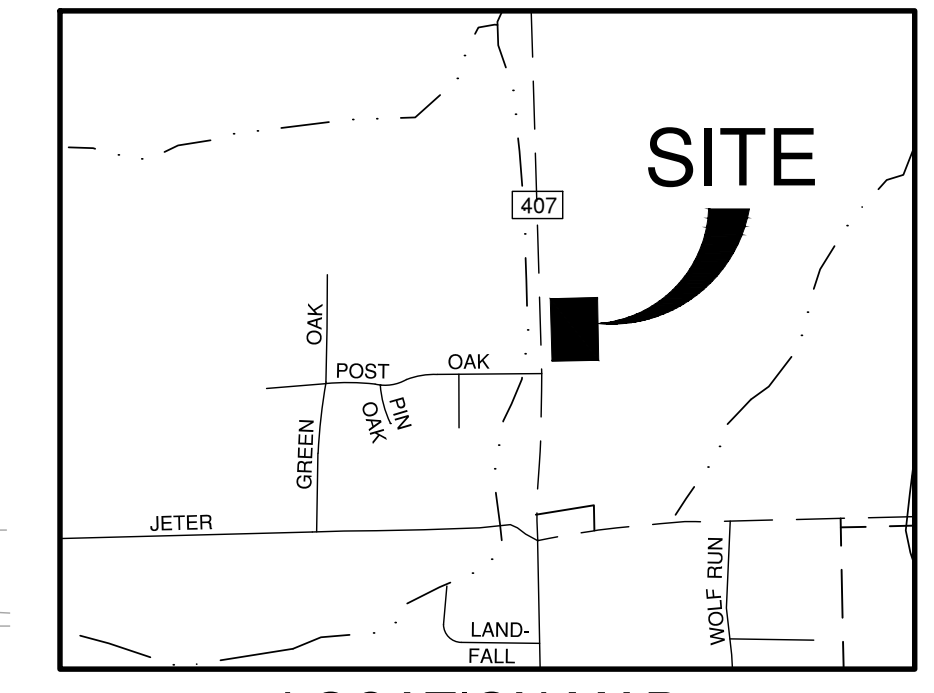
PARCEL 7
LANTANA GOLF COURSE
DOC. NO. 2003-65480
P.R.D.C.T.

Curve Table			
Curve #	Length	Radius	Delta
C1	26.098	82.751	18.0700
C2	35.737	106.551	19.2170
C3	276.376	1471.145	10.7638

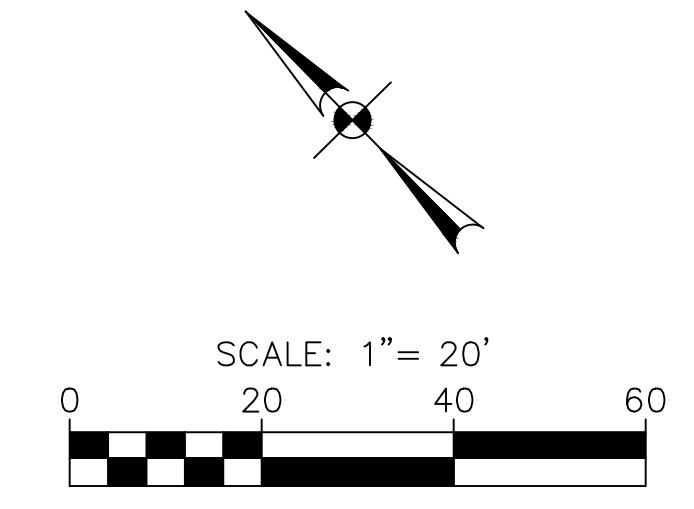
BENCHMARKS

TBM X-CUT
N: 7077249.3'
E: 2388423.3'
ELEV: 658.9' (NAVD88)

TBM X-CUT
N: 7076945.1'
E: 2388795.9'
ELEV: 666.1' (NAVD88)



LOCATION MAP
NOT TO SCALE



FIRE PLAN LEGEND

- PROPERTY BOUNDARY
- RIGHT-OF-WAY
- PROPOSED FIRE LANE
- PROPOSED CURB
- PROPOSED FIRE LINE
- PROPOSED FIRE HOSE TRUCK PULL
- PROPOSED DOMESTIC LINE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- SPRINKLER CLOSET
- HOSE LAY AND LENGTH
- FIRE LANE STRIPING

FIRE PLAN NOTES

- REFER TO ARCHITECTURAL AND MEP PLANS FOR EXACT LOCATIONS OF FIRE DEPARTMENT CONNECTIONS.
- FIRE LINE SIZES SHOWN IN THESE PLANS ARE ESTIMATED OR PROVIDED BY THE OWNER. FIRE LINES AND ALL ASSOCIATED APPARATUSES SHALL BE DESIGNED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR.
- ACCESS ROADS SHALL BE CONTINUOUSLY MARKED BY PAINTED LINES OF RED TRAFFIC PAINT 6" WIDE TO SHOW BOUNDARIES. THE WORDS "NO PARKING FIRE LANE" OR "FIRE LANE NO PARKING" SHALL APPEAR IN 4" WHITE LETTERS AT 25FT INTERVALS.

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REVISIONS:	BY	DATE	DESCRIPTION

PROJECT:
PT22M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

PAPE-DAWSON
ENGINEERS
FORT WORTH 1 SAN ANTONIO 1 AUSTIN 1 HOUSTON 1 DALLAS
6500 WEST HWY. STE 700 FORT WORTH, TX 76116 | 817.670.3888
TODAY SIGN OF PROFESSIONAL ENGINEERING FROM REGISTRATION #470

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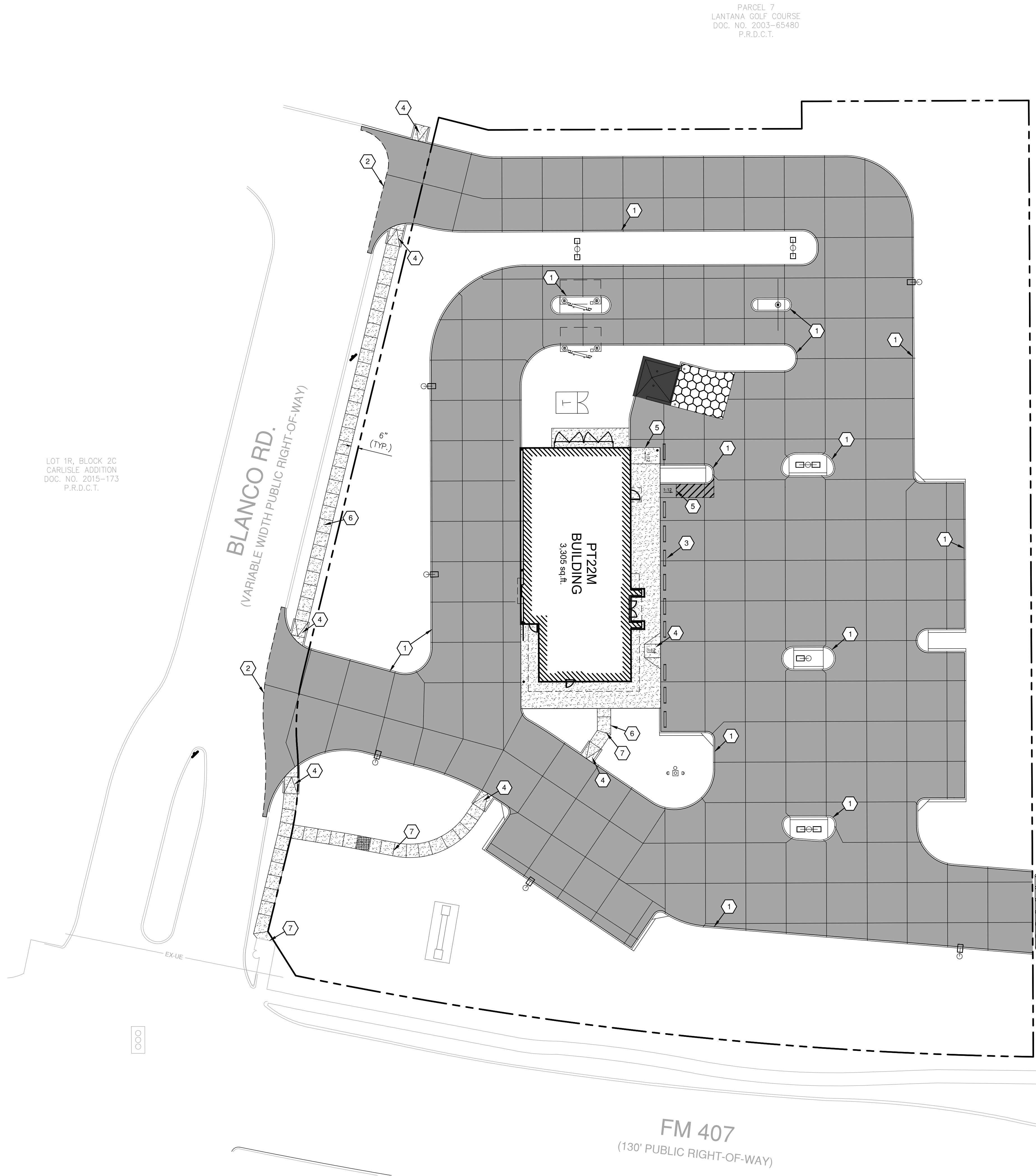
SHEET TITLE:
FIRE PROTECTION PLAN

UNIT NO.
DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:
C5.0



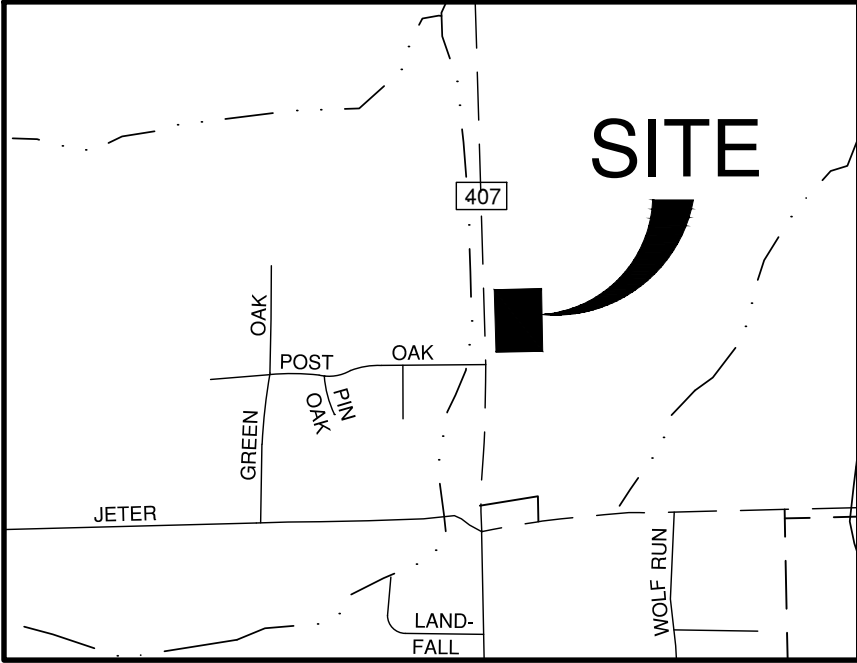
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BENCHMARKS

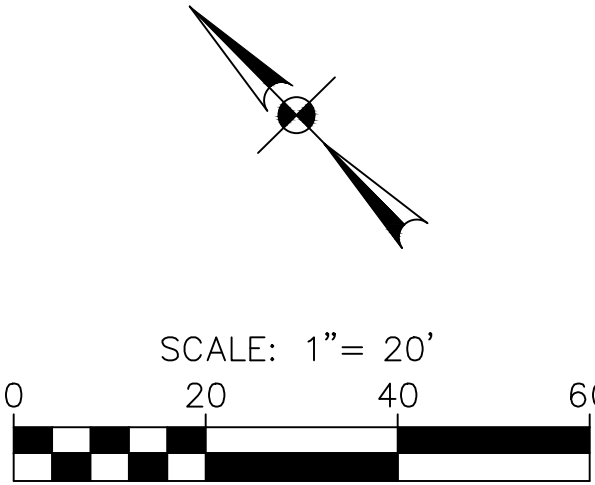
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LOCATION MAP

NOT-TO-SCALE



PAVING LEGEND

- PROPERTY LINE
- STRUCTURAL SLAB, REFERENCE STRUCTURAL PLANS.
- PROPOSED 6" 3,500 PSI PORTLAND CEMENT CONCRETE W/ #3 BARS @ 18" O.C.E.W. ON 6" MIN COMPACTED SUBGRADE
- PROPOSED 7" 3,500 PSI PORTLAND CEMENT CONCRETE W/ #3 BARS @ 18" O.C.E.W. ON 6" MIN COMPACTED SUBGRADE
- PROPOSED 4" 3,000 PSI CLASS A CONCRETE SIDEWALK W/ #3 BARS @ 18" O.C.E.W. ON STABILIZED SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY (PER CITY SPECIFICATIONS)
- PROPOSED CURB
- SAWCUT CONTROL JOINT (SEE SHEET C7.2)

PAVING NOTES:

- THE CONTRACTOR SHALL PROVIDE A FULL DEPTH SAW-CUT AND SMOOTH TRANSITION AT CONNECTIONS TO EXISTING PAVEMENT AND CURB.
- THE CONTRACTOR SHALL BACKFILL ALL CURBS WITHIN 48 TO 72 HOURS OF PLACEMENT.
- ALL SIDEWALKS, ACCESSIBLE PATHS AND PARKING SHALL CONFORM TO THE A.D.A. SPECIFICATIONS AS STATED IN THE TEXAS ACCESSIBILITY STANDARDS. ACCESSIBLE PARKING SPACES SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION AND PATHS/SIDEWALKS SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL, OR LONGITUDINAL SLOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING COMPLIANCE.
- THE CONTRACTOR SHALL NOT STAND, PARK, DRIVE ON, OR IN ANY WAY DISTURB OR DAMAGE STEEL REINFORCING FOR SITE WORK. ALL REINFORCING SHALL BE INSTALLED WITH CHAIRS PER THE PLANS AND SPECIFICATIONS.
- SUBGRADE SHALL BE MAINTAINED TO WITHIN THE SPECIFIED REQUIREMENTS OF MOISTURE AND DENSITY UNTIL PAVING IS PLACED. PRIOR TO PLACING PAVEMENT, THE CONTRACTOR SHALL RE-TEST THE AREAS SELECTED BY THE CONSTRUCTION MATERIALS TESTING LAB PERSONNEL AT THE CONTRACTOR'S EXPENSE OR IF REQUESTED BY THE OWNER, ARCHITECT OR ENGINEER, AND IF THE SUBGRADE HAS BEEN PLACED AND ACCEPTED FOR LONGER THAN TEN (10) DAYS AND NO PAVEMENT HAS BEEN CONSTRUCTED.
- ALL EXPANSION JOINTS SHALL BE CONSTRUCTED OF REDWOOD.
- SEE DIMENSIONAL CONTROL PLAN FOR PAVING DIMENSIONS AND LAYOUT.
- REFER TO ARCHITECTURAL PLANS FOR FOUNDATION DESIGN, FLATWORK LAYOUT, AND BUILDING DIMENSIONS.
- GEOTECHNICAL ENGINEERING REPORT BY TERRACON, PROJECT NUMBER 95225002, DATED JANUARY 6, 2021.

KEY NOTES

- PROPOSED 6" CONCRETE CURB
- PROPOSED CONCRETE TO EXISTING CONCRETE JUNCTURE (SEE DETAIL SHEET C7.2)
- CONCRETE WHEEL STOP (SEE DETAIL SHEET C7.1)
- CURB RAMP AT ACCESSIBLE ROUTE (SEE DETAIL SHEET C7.1)
- LOADING RAMP (SEE DETAIL SHEET C7.1)
- PROPOSED 5' SIDEWALK (SEE SHEET C7.2)
- PROPOSED SIDEWALK JUNCTURE (SEE DETAIL SHEET C7.2)

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REVISIONS:	DATE	DESCRIPTION	BY

PROJECT:
PT22M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

**PAPE-DAWSON
ENGINEERS**
FORT WORTH 1 SAN ANTONIO 1 AUSTIN 1 HOUSTON 1 DALLAS
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SHEET TITLE:
PAVING PLAN

UNIT NO.
DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:
C6.0



FOR REVIEW

KEY NOTES

- 1 6" CURB (TYP.) (SEE SHEET C7.1)
- 2 CONCRETE WHEEL STOP (TYP.) (SEE SHEET C7.1)
- 3 HEAVY-DUTY CONCRETE DUMPSTER APPROACH APRON (SEE SHEET C6.0)
- 4 ACCESSIBLE RAMP (SEE SHEET C7.1)
- 5 MENU BOARD (SEE ARCH. PLANS FOR DETAIL)
- 6 5' CONCRETE SIDEWALK (SEE SHEET C7.2)
- 7 ADA PARKING SIGN (TYP.) (SEE SHEET C7.1)
- 8 EXISTING SIDEWALK TO REMAIN
- 9 4" WHITE STRIPE FOR PARKING STALL (TYP.) (SEE SHEET C7.2)
- 10 ADA STRIPING (TYP.) (SEE SHEET C7.1)
- 11 1' WIDE DECOMPOSED GRANITE STRIP (SEE LANDSCAPE PLANS FOR DETAIL)
- 12 STANDARD CROSS WALK STRIPING (SEE SHEET C7.2)
- 13 BUILDING FOUNDATION (SEE STRUCT. SHEET S1.1 FOR DETAIL)
- 14 LOADING RAMP STRIPING (SEE STRIPING DETAIL ON SHEET C7.2)
- 15 LANDSCAPE AREA (SEE LANDSCAPE SHEETS FOR DETAILS)
- 16 EXTERIOR MENU BOARD CANOPY (SEE STRUCT. & ARCH. SHEETS FOR DETAIL)
- 17 HEADACHE BAR (SEE STRUCT. SHEET S7.1 FOR DETAIL)
- 18 DUMPSTER ENCLOSURE & STRUCTURAL SLAB (SEE ARCH. & STRUCT. PLANS FOR DETAIL)
- 19 CONCRETE ISLAND NOSE (SEE SHEET C7.2)
- 20 SIGN (SEE ARCH. & SIGNAGE PLANS FOR DETAIL)
- 21 LOADING RAMP (SEE SHEET C7.1)
- 22 BUILDING PERIMETER SIDEWALK (SEE SHEET C7.1)
- 23 CONNECT TO EXIST. SIDEWALK (SEE SHEET C7.2)

FLAG POLE WITH BEACON DOWN LIGHT, UNITED FLAG AND BANNER OR OWNER APPROVED EQUAL 30" X 9" X 0.125" WALL THICKNESS. 1-PC TAPERED ALUMINUM COMMERCIAL FLAGPOLE, BRUSHED SATIN ALUMINUM FINISH WITH 14 GAUGE ALUMINUM BALL FINIAL. INCLUDE ALUMINUM ROLLER AND SLEEVE. HARDWARE TO INCLUDE STATIONARY TRUCK, NYLON FLAGSNAPS AND HALYARD. ENTIRE ASSEMBLY (INCLUDING FOUNDATION) TO CONFORM TO APPLICABLE CODES, INCLUDING WIND LOADS.

- 25 6" STEEL BOLLARD (SEE STRUCTURAL FOR TYP. BOLLARD/GATE POST DETAIL)
- 26 6" BOLLARD WITH LIGHTS (SEE ARCH. FOR DETAIL)
- 27 CONCRETE TO CONCRETE JUNCTURE (SEE PAVING SHEET C6.0 AND DETAIL SHEET C7.1)
- 28 PROPOSED TRANSFORMER
- 29 PROPOSED CURB INLET (SEE SHEET C9.1)
- 30 EXISTING CURB INLET
- 31 FIRE LANE (SEE SHEET C5.0)
- 32 4" WHITE STRIPE FOR BYPASS LANE
- 33 EXISTING IRRIGATION CONTROL BOX TO BE RELOCATED OUTSIDE OF PROPOSED SIDEWALK IMPROVEMENTS. COORDINATE RELOCATION WITH IRRIGATION CONTRACTOR.
- 34 TEMPORARY BARRICADE
- 35 PROPOSED Y-INLET (SEE SHEET C9.2)
- 36 PROPOSED ELEVATED SIDEWALK BOX (SEE SHEET C9.1)

LOT 1R, BLOCK 2C
CARULISE ADDITION
DOC. NO. 2015-173
P.R.D.C.T.

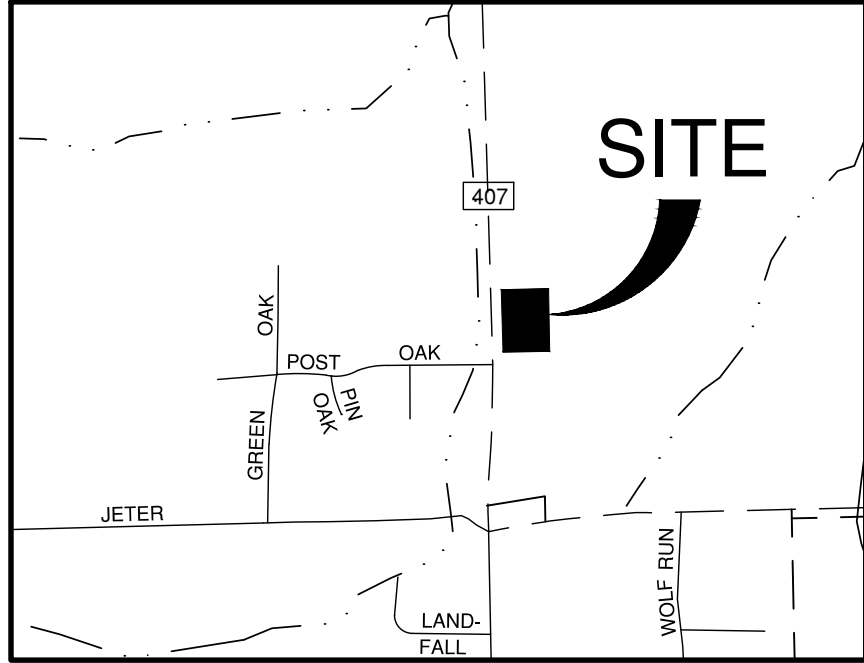
PARCEL 7
LANTANA GOLF COURSE
DOC. NO. 2003-65480
P.R.D.C.T.

Curve Table			
Curve #	Length	Radius	Delta
C1	26.098	82.751	18.0700
C2	35.737	106.551	19.2170
C3	276.376	1471.145	10.7638

BENCHMARKS

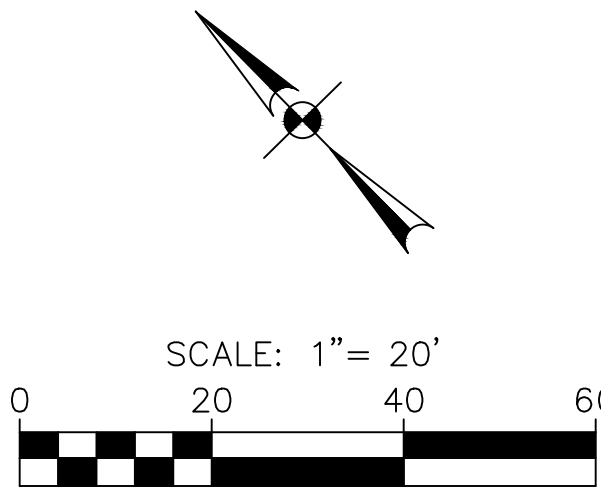
TBM X-CUT
N: 7077249.3'
E: 2388423.3'
ELEV: 658.9' (NAVD88)

TBM X-CUT
N: 7076945.1'
E: 2388795.9'
ELEV: 666.1' (NAVD88)



LOCATION MAP

NOT-TO-SCALE



DIMENSIONAL CONTROL LEGEND

- PROPERTY BOUNDARY
- PROPOSED RIGHT-OF-WAY
- PROPOSED FIRE LANE
- PROPOSED CURB
- PROPOSED WHEELSTOP
- PARKING COUNT
- PROPOSED TURN-DOWN CURB

NOTES

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE AND VERIFY THE BOUNDARY MONUMENTATION AND THE PROJECT BENCHMARKS PRIOR TO COMMENCING CONSTRUCTION. THE BOUNDARY MONUMENTATION SHALL BE USED AS HORIZONTAL PROJECT CONTROL AND SHALL BE PROTECTED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL REFER TO BUILDING PLANS FOR ACTUAL BUILDING DIMENSIONS AND FOR DETAILED DIMENSIONING OF ENTRANCE FEATURES.
4. ALL RADII ARE 3' UNLESS SPECIFIED OTHERWISE.

SITE DATA SUMMARY TABLE

ZONING/PROPOSED USE	GC (GENERAL COMMERCIAL)/FAST-FOOD RESTAURANT
LOT AREA	2.00 AC
BUILDING AREA (GROSS SQ. FOOTAGE)	3,305 SF
BUILDING HEIGHT	21'-8"
TOTAL PARKING PROVIDED	42
TOTAL HANDICAP PROVIDED*	2

PAPE-DAWSON
ENGINEERS

FORT WORTH 1 SAN ANTONIO 1 AUSTIN 1 HOUSTON 1 DALLAS
6500 WEST HWY. STE 700 FORT WORTH, TX 76116 (817) 670-3888
TODD BORG OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

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210-476-6000 ZIP 78216

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SHEET TITLE:
**SITE &
DIMENSIONAL
CONTROL
PLAN**

UNIT NO.
DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:
C7.0



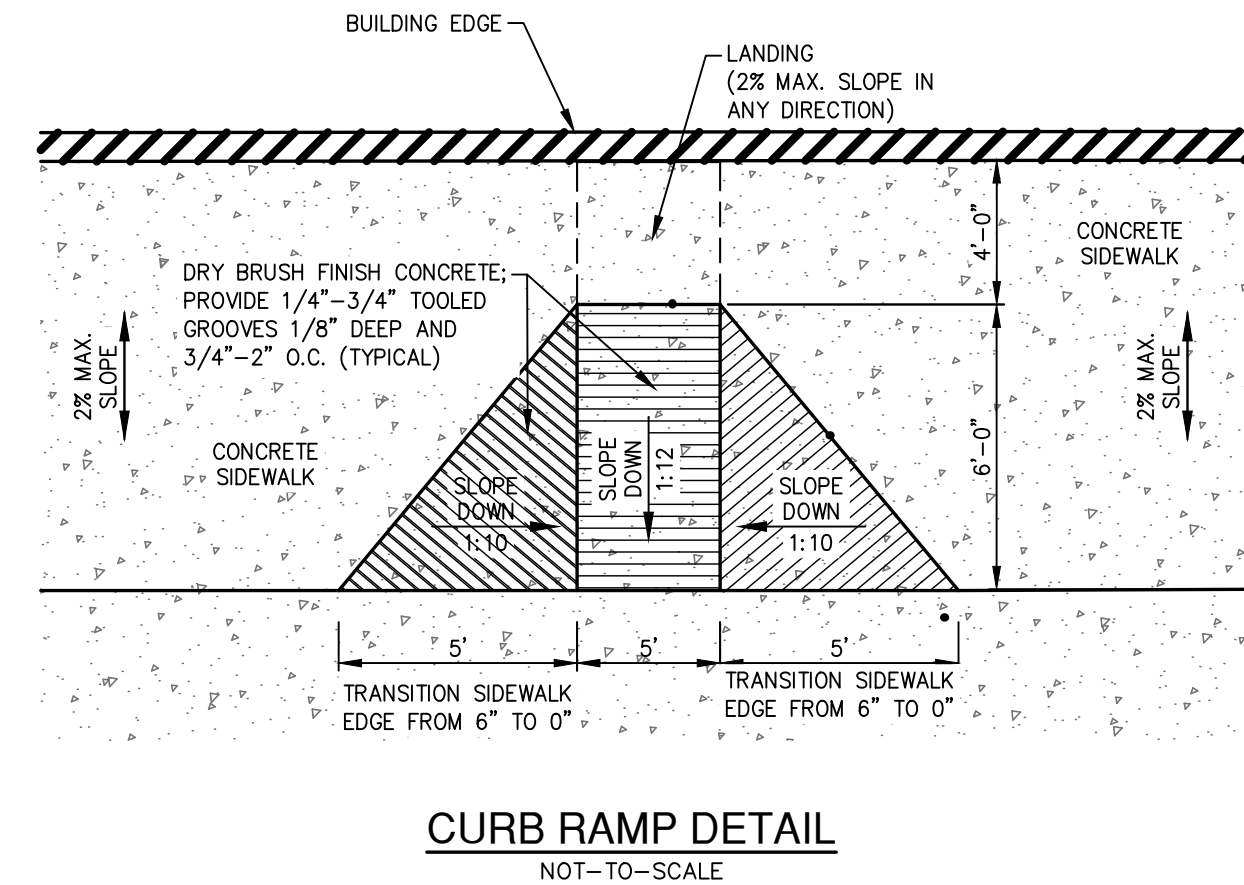
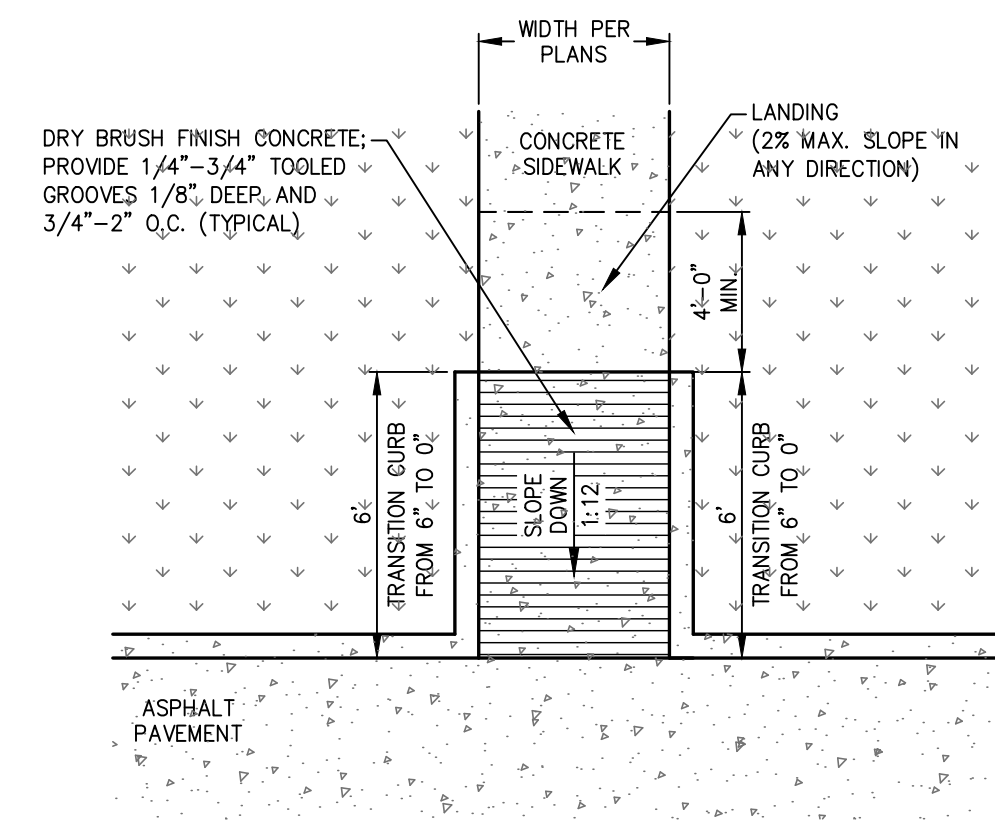
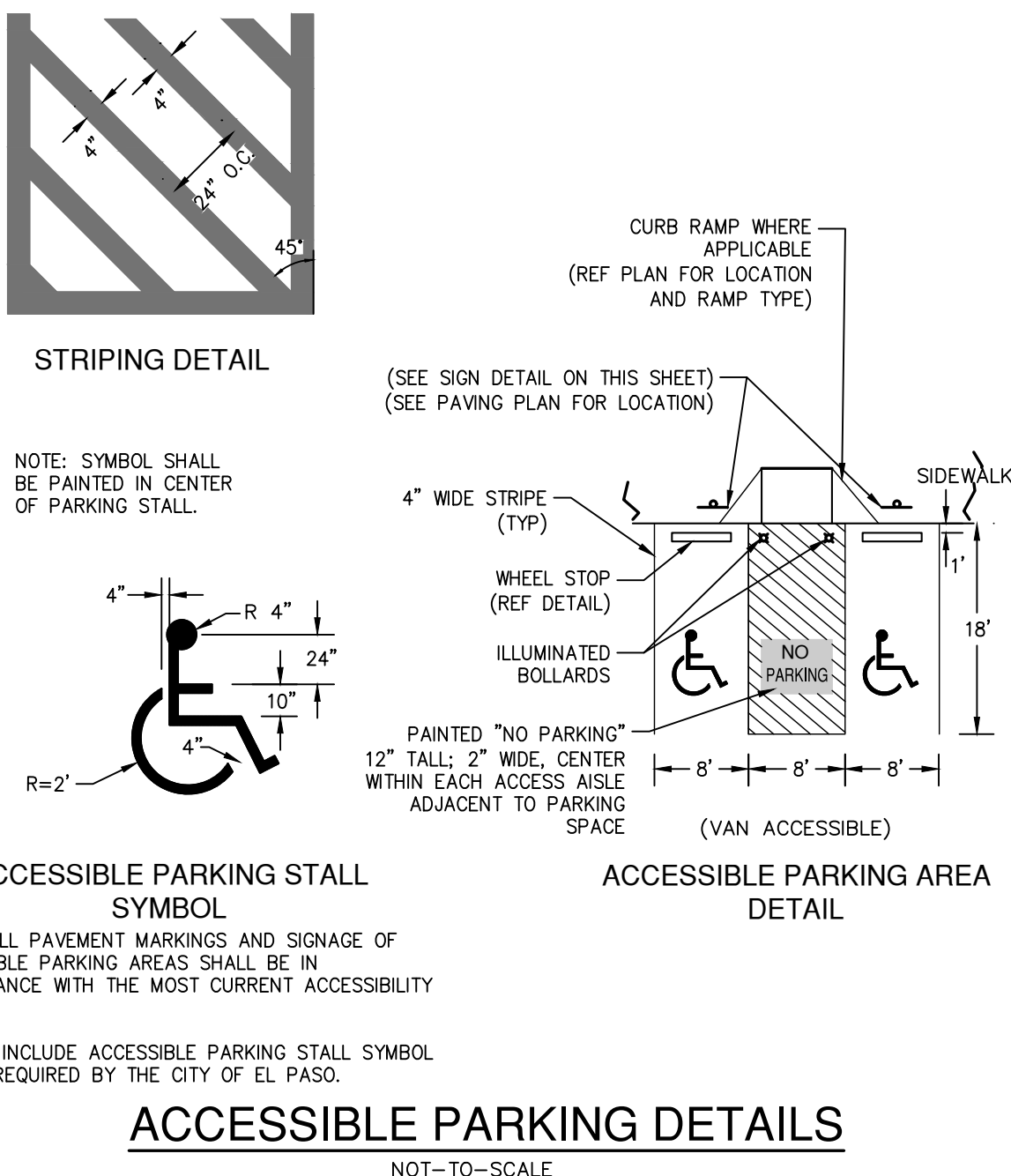
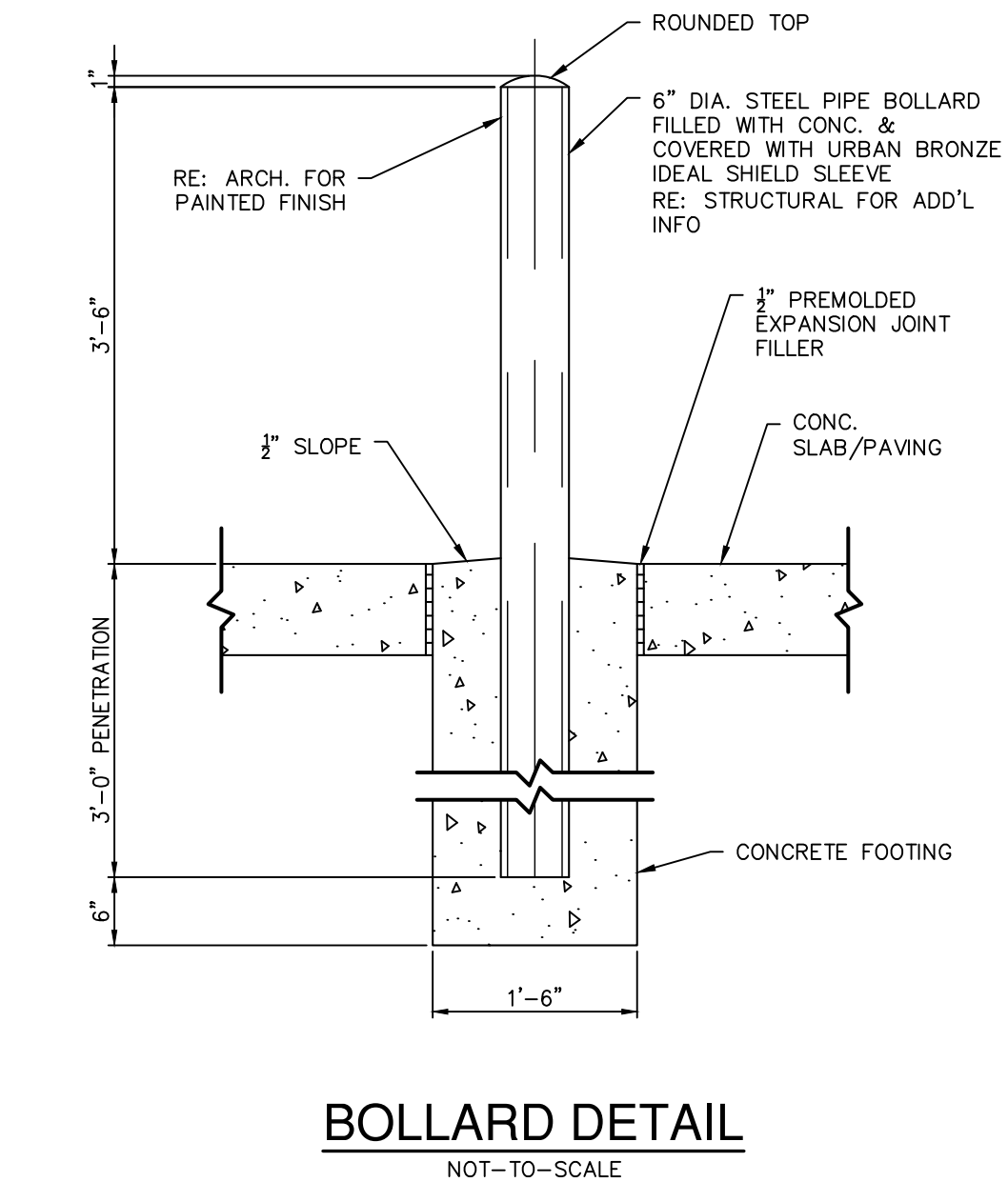
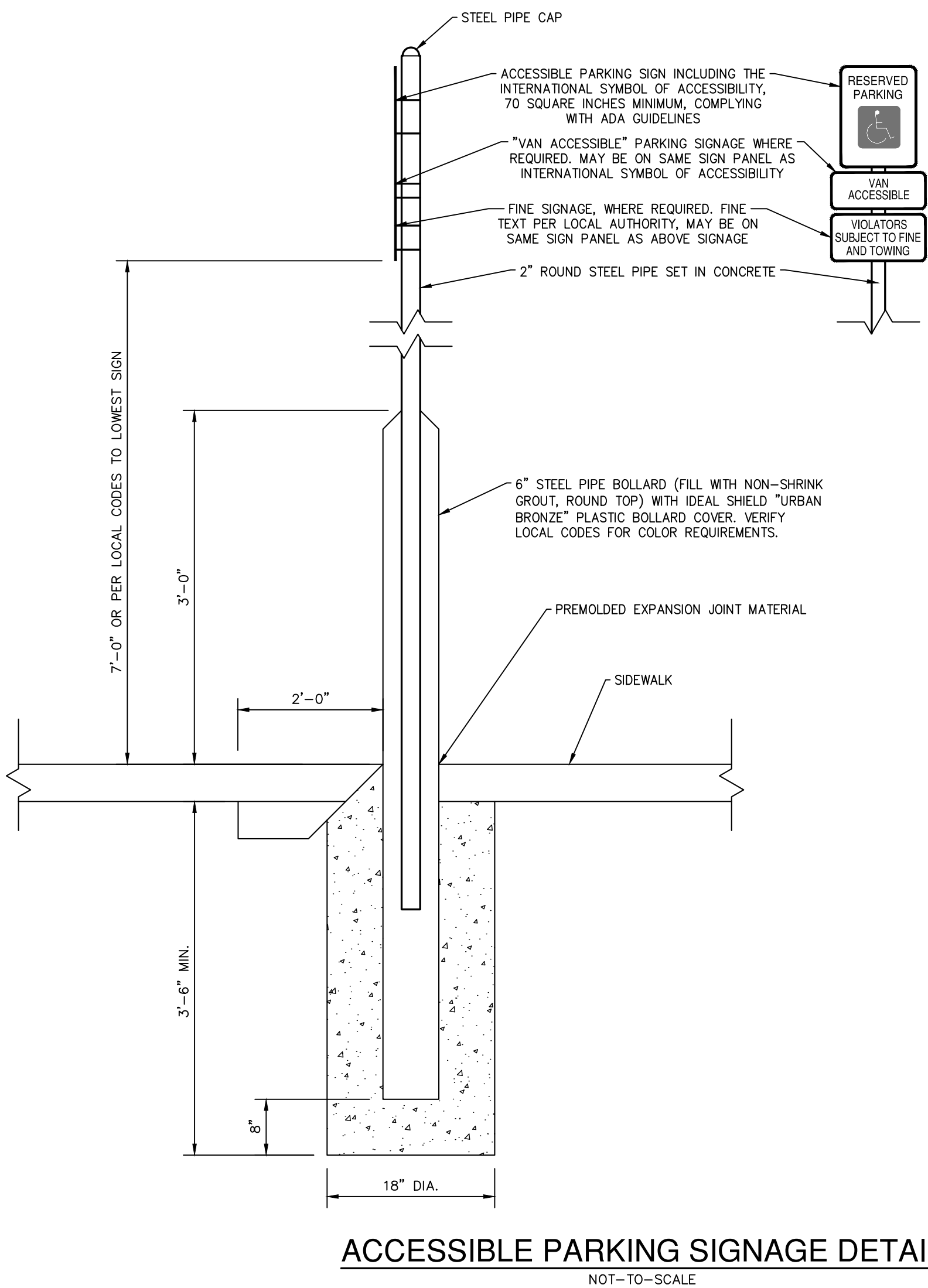
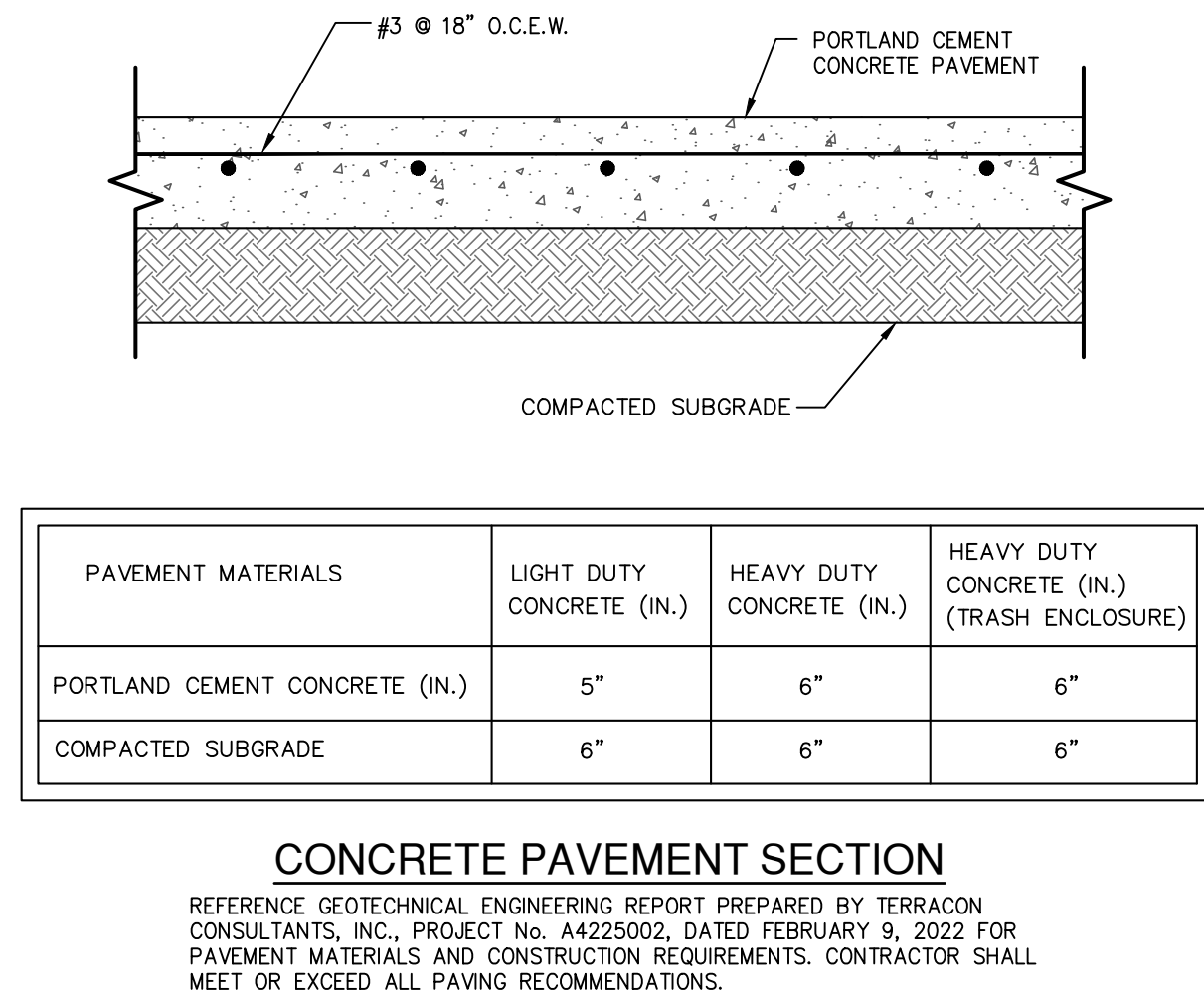
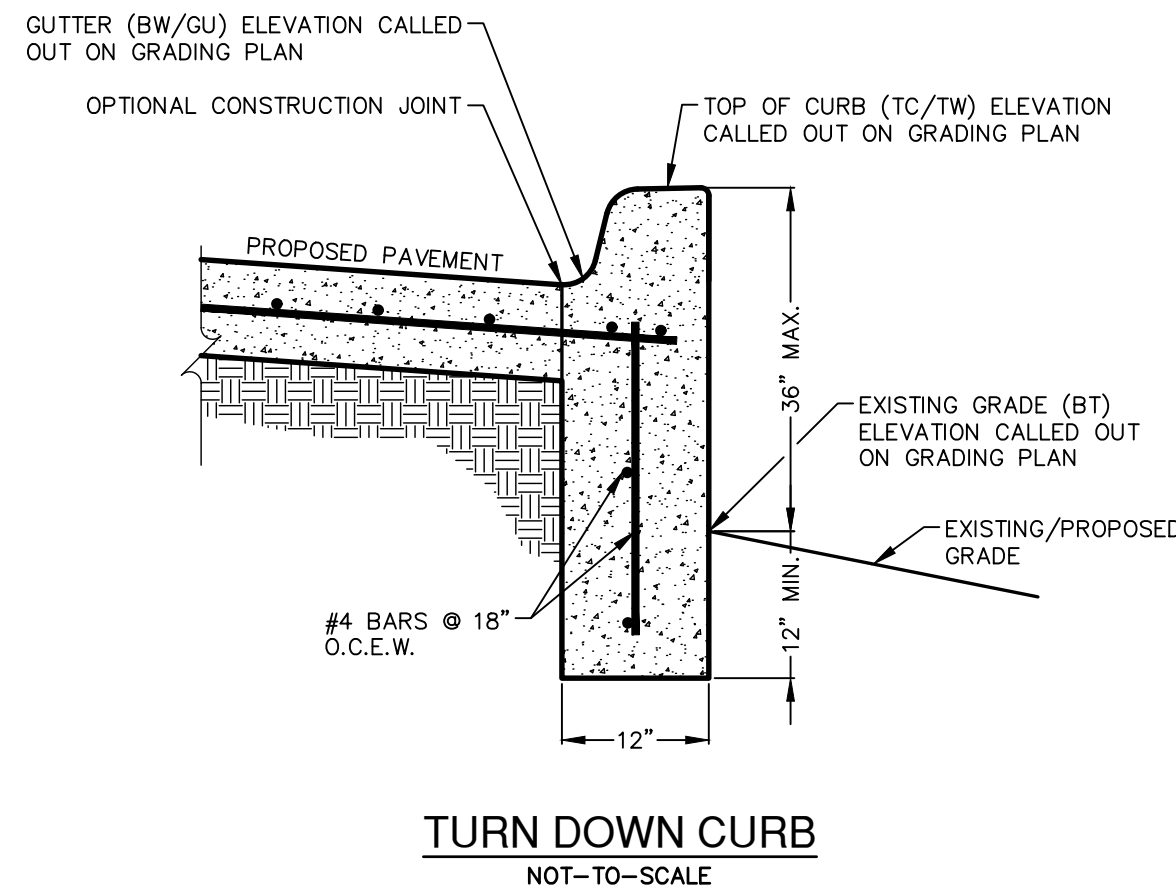
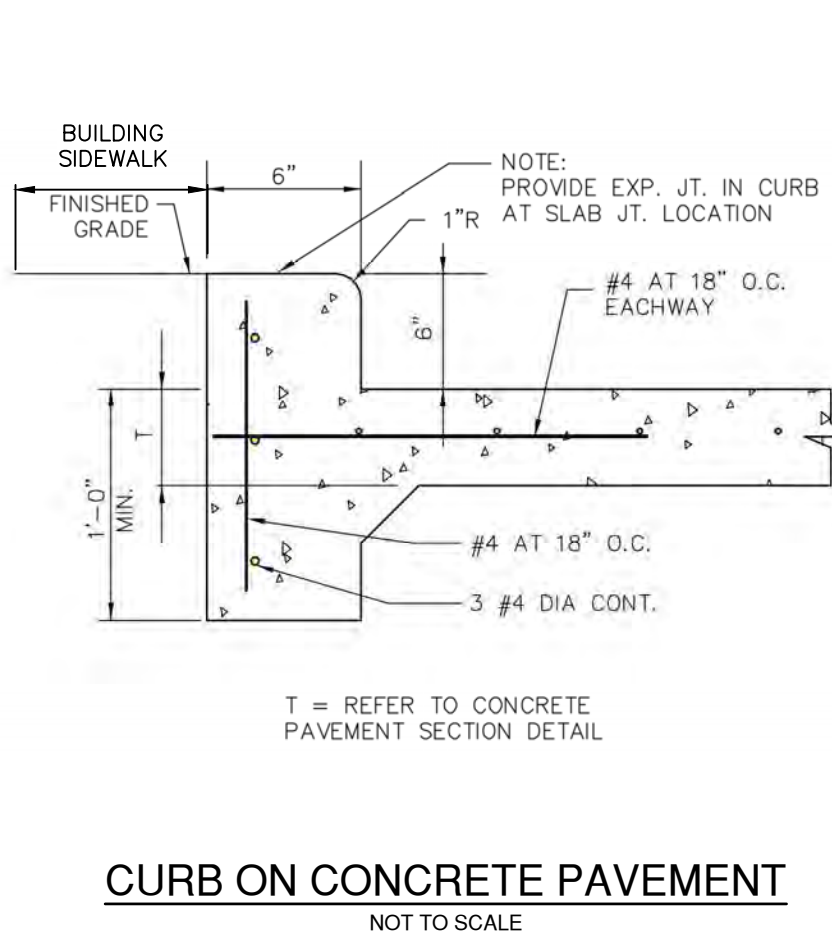
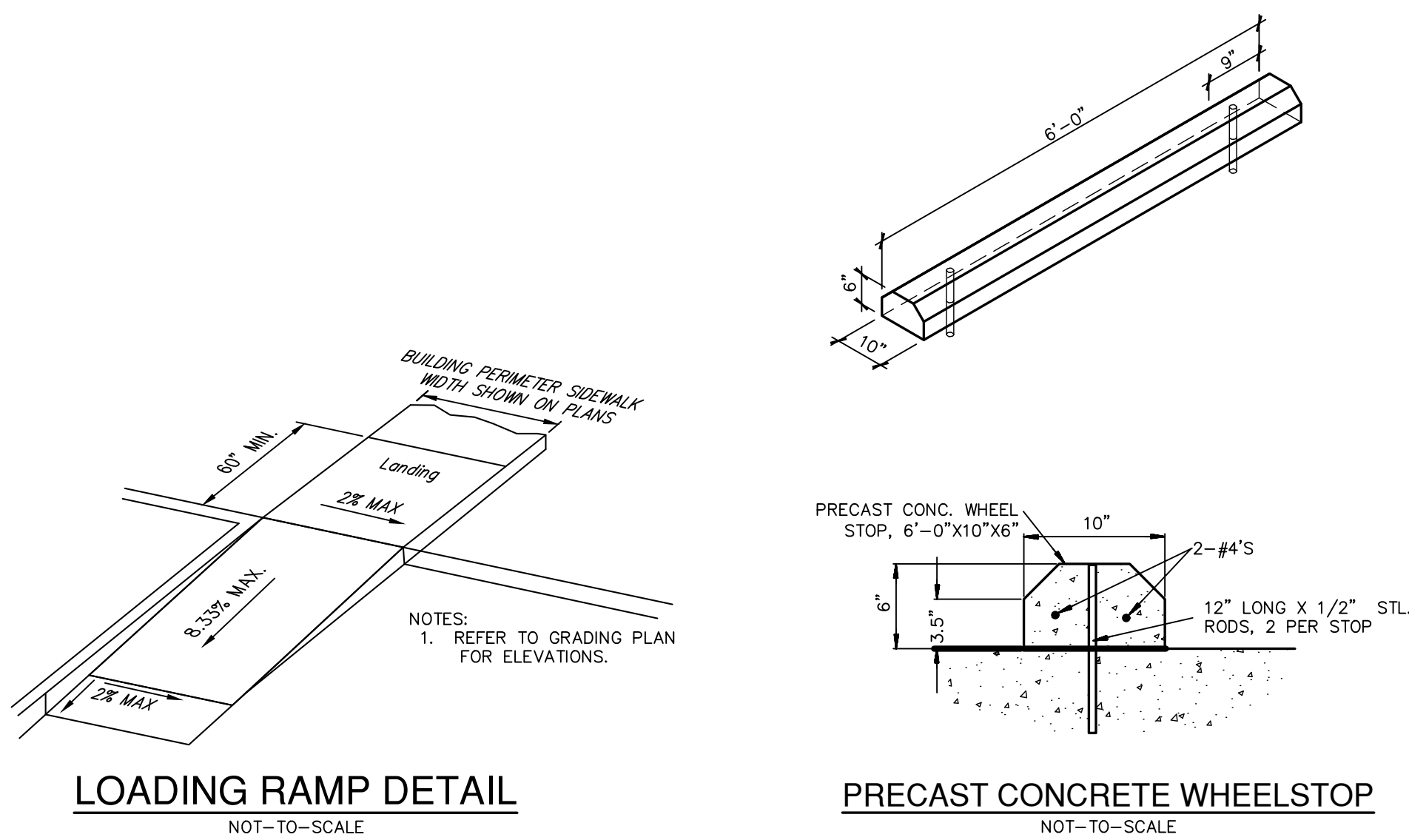
FOR REVIEW

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P.E. #120494
MAY 30, 2023.
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ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO
COMMENCING CONSTRUCTION.

FM 407
(130' PUBLIC RIGHT-OF-WAY)

Date: May 30, 2023, 11:46am User: D:\Mwin
File: S:\projects\61316\00\2.0 Design\2.4 Civil\2.4.3 Plan Sheets\01-6131600.dwg



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REVISIONS:	DATE	DESCRIPTION	BY

PROJECT: PT22M BUILDING TYPE F.M. 407 & MCMAKIN RD. BARTONVILLE, TX

PAPE-DAWSON ENGINEERS
FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
650 WEST HWY. STE 700 | FORT WORTH, TX 76116 | 817.670.3888
TODD BROWN, PROFESSIONAL ENGINEER, FIRM REGISTRATION #4170

WHATABURGER
300 CONCORD PLAZA DR. SAN ANTONIO, TEXAS 78216
210-476-6000 ZIP 78216

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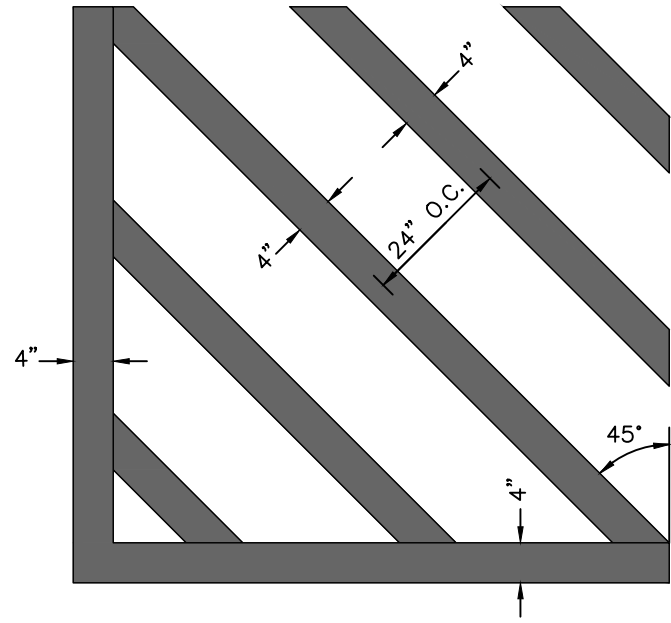
SHEET TITLE: SITE DETAILS

UNIT NO. DATE: 05/30/2023 SCALE: 1" = 20' DRAWN BY: DDD

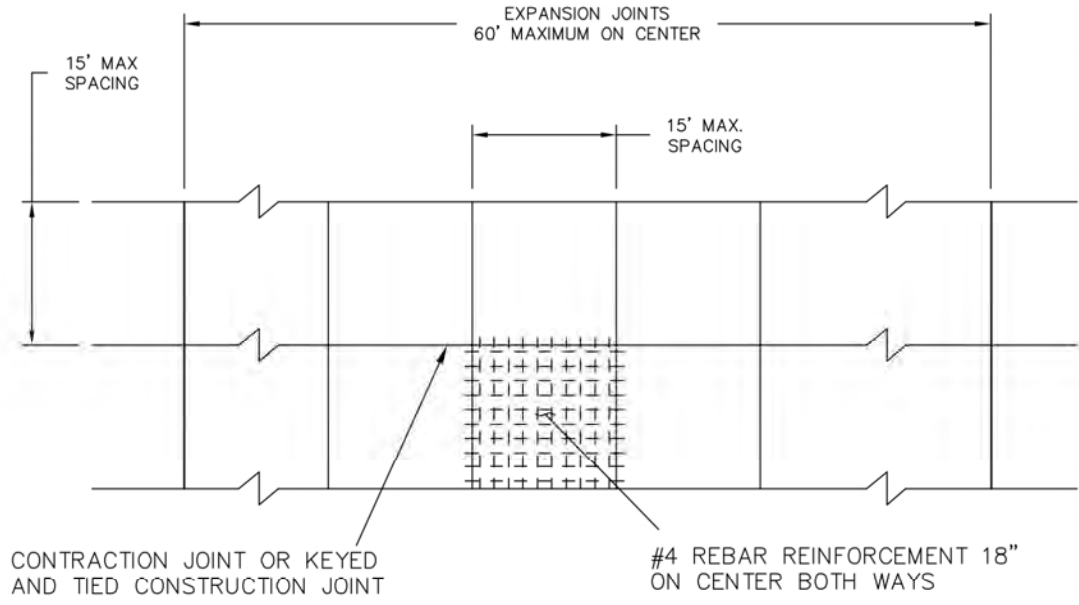
SHEET NO: C7.1



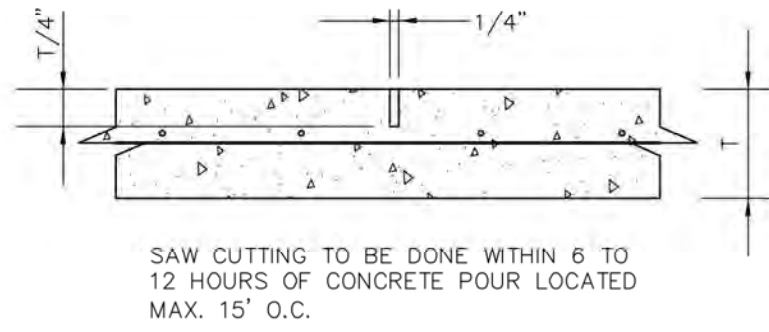
- NOTES:
1. ALL PAINT SHALL BE 4" WIDE REFLECTIVE PAINT: WHITE ON CONCRETE PAVING UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 2. ALL PAVEMENT MARKINGS SHALL BE PAINTED TWICE.



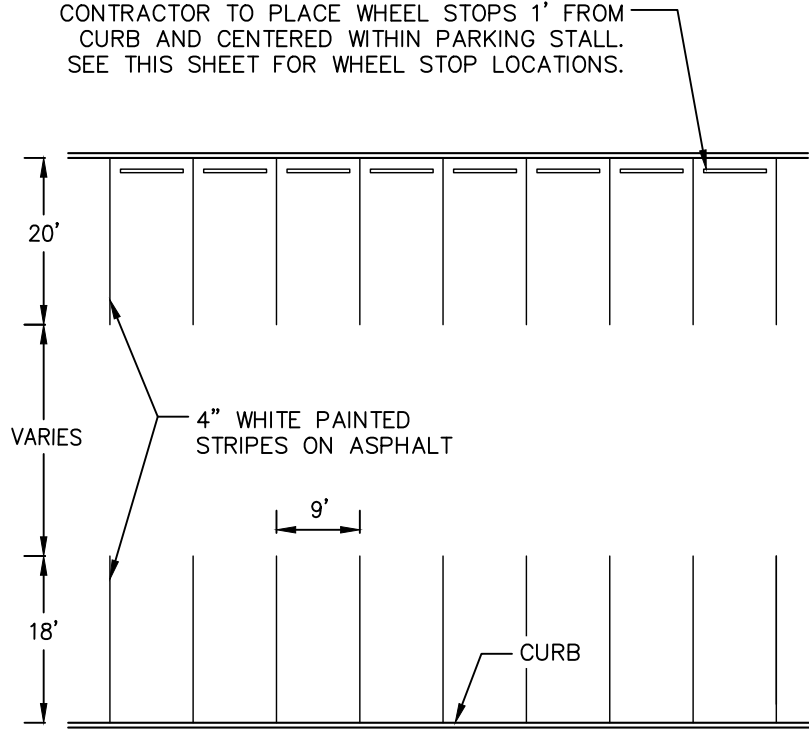
CROSS STRIPING DETAIL
NOT-TO-SCALE



CONTROL JOINT DETAIL
NOT-TO-SCALE

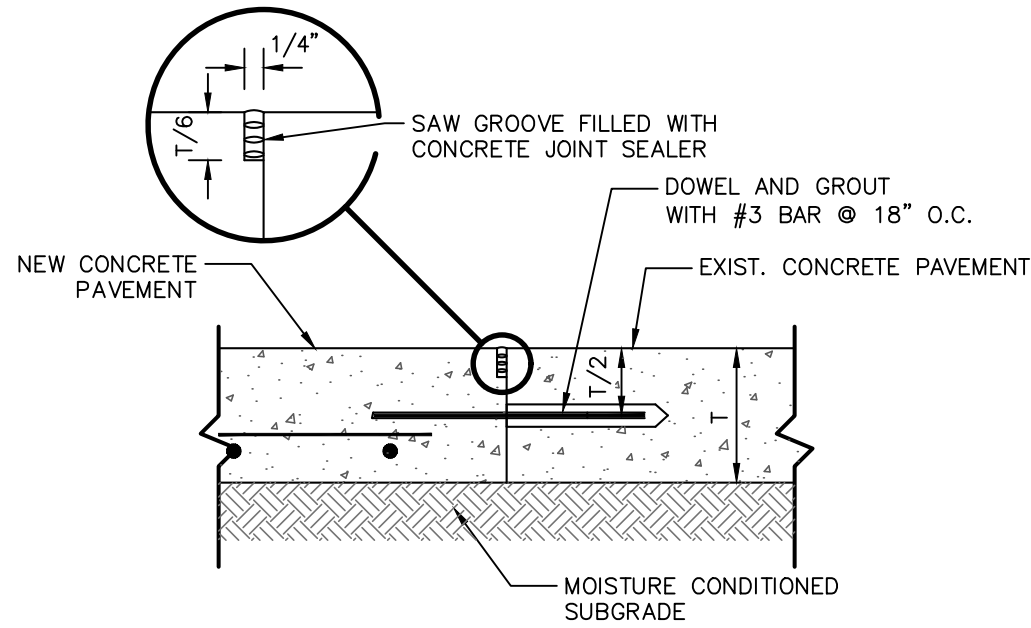


T = REFER TO CONCRETE PAVEMENT SECTION DETAIL

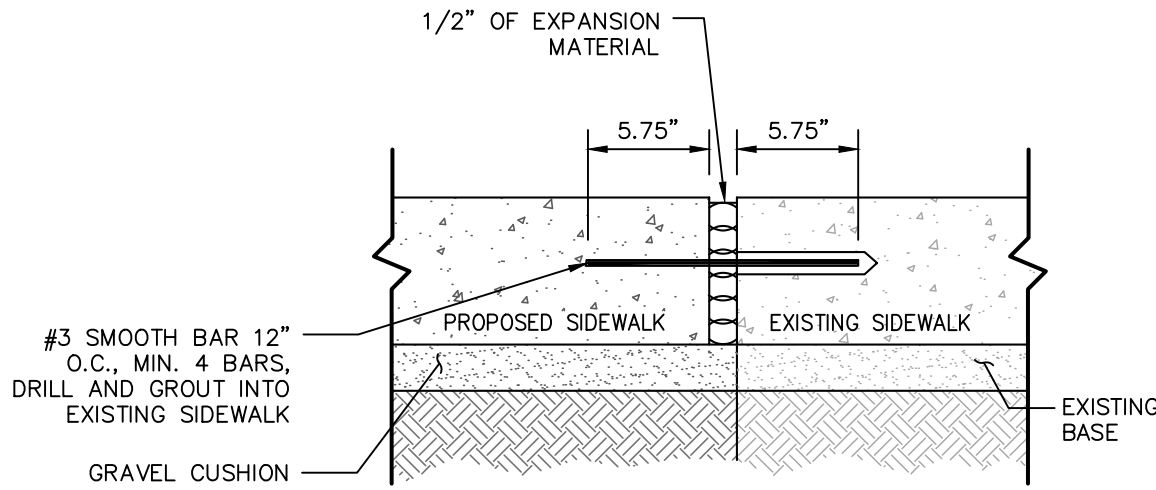


NOTE: STANDARD SPACES ARE 9X18 AS NOTED (SEE DIMENSION CONTROL PLAN)

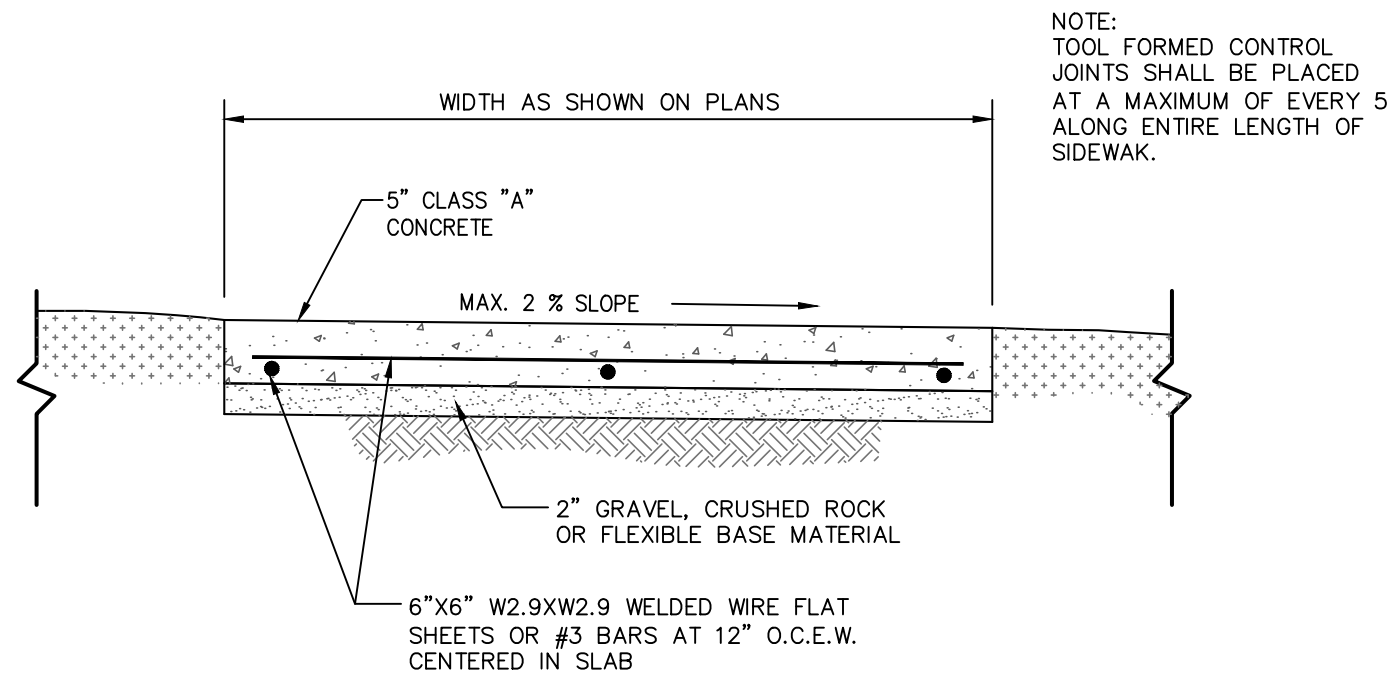
STRIPING FOR 90-DEGREE PARKING
NOT-TO-SCALE



NEW CONCRETE TO EXISTING CONCRETE JUNCTION DETAIL
NOT-TO-SCALE



SIDEWALK JUNCTURE DETAIL
NOT-TO-SCALE



SIDEWALK & CONCRETE ISLAND NOSE DETAIL
NOT-TO-SCALE

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REVISIONS:	DATE	DESCRIPTION	BY

PROJECT: PT22M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

PAPE-DAWSON ENGINEERS
FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
600 WEST HWY. STE 700 | FORT WORTH, TX 76106 | 817.670.3888
TODAY'S BOARD OF PROFESSIONAL ENGINEERS: PPAE REGISTRATION #470

WHATABURGER
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SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216
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SHEET TITLE:
SITE DETAILS

UNIT NO.
DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:
C7.2

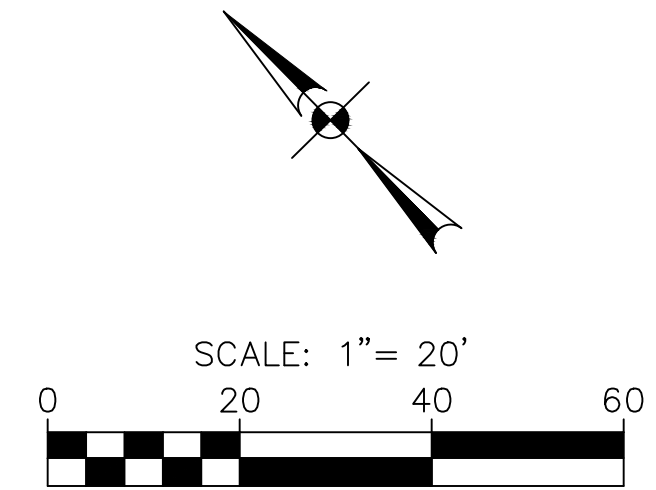
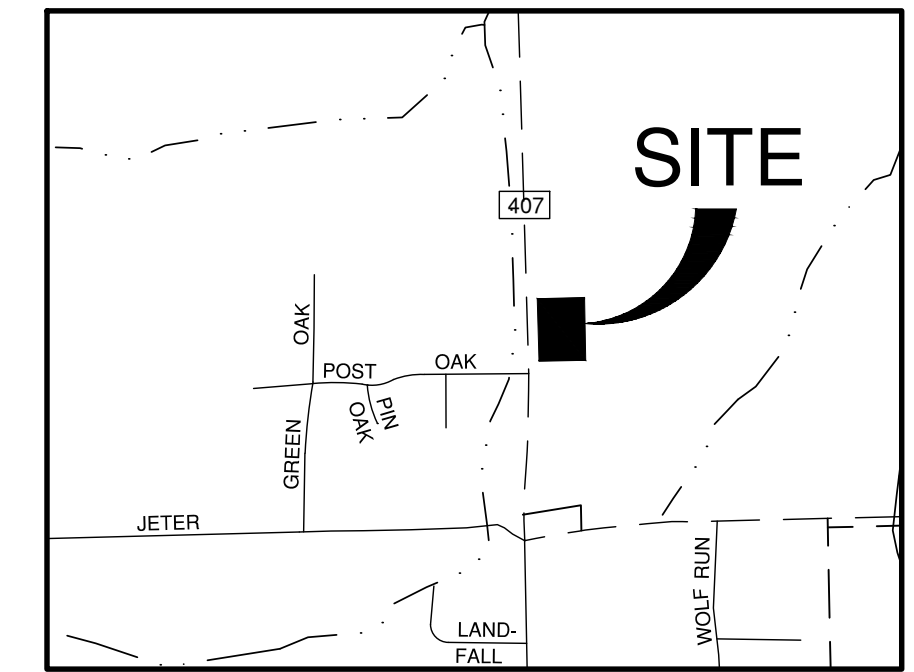


Curve Table			
Curve #	Length	Radius	Delta
C1	26.098	82.751	18.0700
C2	35.737	106.551	19.2170
C3	276.376	1471.145	10.7638

BENCHMARKS

TBM X-CUT
N: 7077249.3'
E: 2388423.3'
ELEV: 658.9' (NAVD88)

TBM X-CUT
N: 7076945.1'
E: 2388795.9'
ELEV: 666.1' (NAVD88)



GRADING LEGEND

Legend for road layout symbols:

- 600 --- EXISTING MAJOR CONTOUR
- 602 --- EXISTING MINOR CONTOUR
- 600 PROPOSED MAJOR CONTOUR
- 602 PROPOSED MINOR CONTOUR
- FLOW ARROW
- ← ← ← ← ← VALLEY LINE
- RIDGE LINE
- ===== PROPOSED TURN-DOWN CURB

SPOT GRADING ABBREVIATIONS

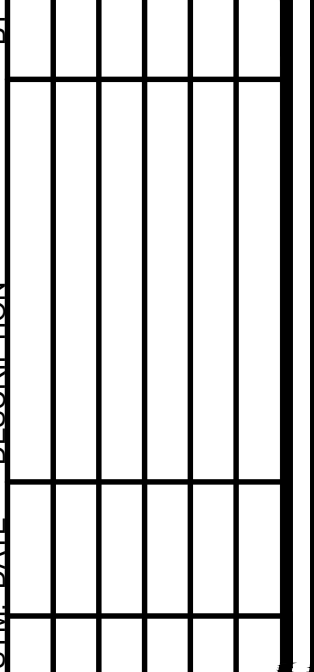
FFE	FINISHED FLOOR ELEVATION
FL	FLOW LINE
GU	GUTTER
TC	TOP OF CURB
TI	TOP OF INLET
TP	TOP OF PAVEMENT
TW	TOP OF WALL
BW	BOTTOM OF WALL

NOTES

1. CONTRACTOR SHALL PROTECT ALL EXISTING TREES, FENCES, RETAINING WALLS AND STRUCTURES UNLESS OTHERWISE NOTED.
2. ALL SPOT GRADES ARE FINISHED GRADE UNLESS OTHERWISE NOTED.
3. WALL INFORMATION SHOWN ON PLANS IS TO BE USED FOR HEIGHT AND LOCATION PURPOSES ONLY. RETAINING WALLS ARE TO BE DESIGNED (BY LICENSED STRUCTURAL ENGINEER) AND CONSTRUCTED BY AN APPROVED RETAINING WALL CONTRACTOR. WALL MATERIAL AND COLOR SHALL BE APPROVED BY THE OWNER. PROJECT PROPOSED TO BE A GRAVITY WALL CONSTRUCTION. ALL CONSTRUCTION ON SLOPES EXCEEDING 4:1 SHALL REQUIRE GEOTECHNICAL DESIGN FOR SLOPE AND SOIL STABILITY.
4. ALL SIDEWALKS, ACCESSIBLE PATHS AND PARKING SHALL CONFORM TO THE CITY SPECIFICATIONS LISTED IN THE TEXT OF THE STANDARD SPECIFICATIONS. ACCESSIBLE PARKING SPACES SHALL SLOPE NO MORE THAN 2% IN ANY DIRECTION AND PATHS/SIDEWALKS SHALL MAINTAIN A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM SLOPE OF 5% IN THE DIRECTION OF TRAVEL OR DOWN THE SIDEWALK SLOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING COMPLIANCE.

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PT22M BUILDING TYPE
F.M. 407 & MCKIN RD.
BARTONVILLE, TX

PAPE-DAWSON
ENGINEERS

FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
6500 WEST FW, STE 700 | FORT WORTH, TX 76116 | 817.870.3668
TEXAS BOARD OF PROFESSIONAL ENGINEERS, FIRM REGISTRATION #470

HATABURGER
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SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216

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SHEET TITLE:

GRADING PLAN

DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

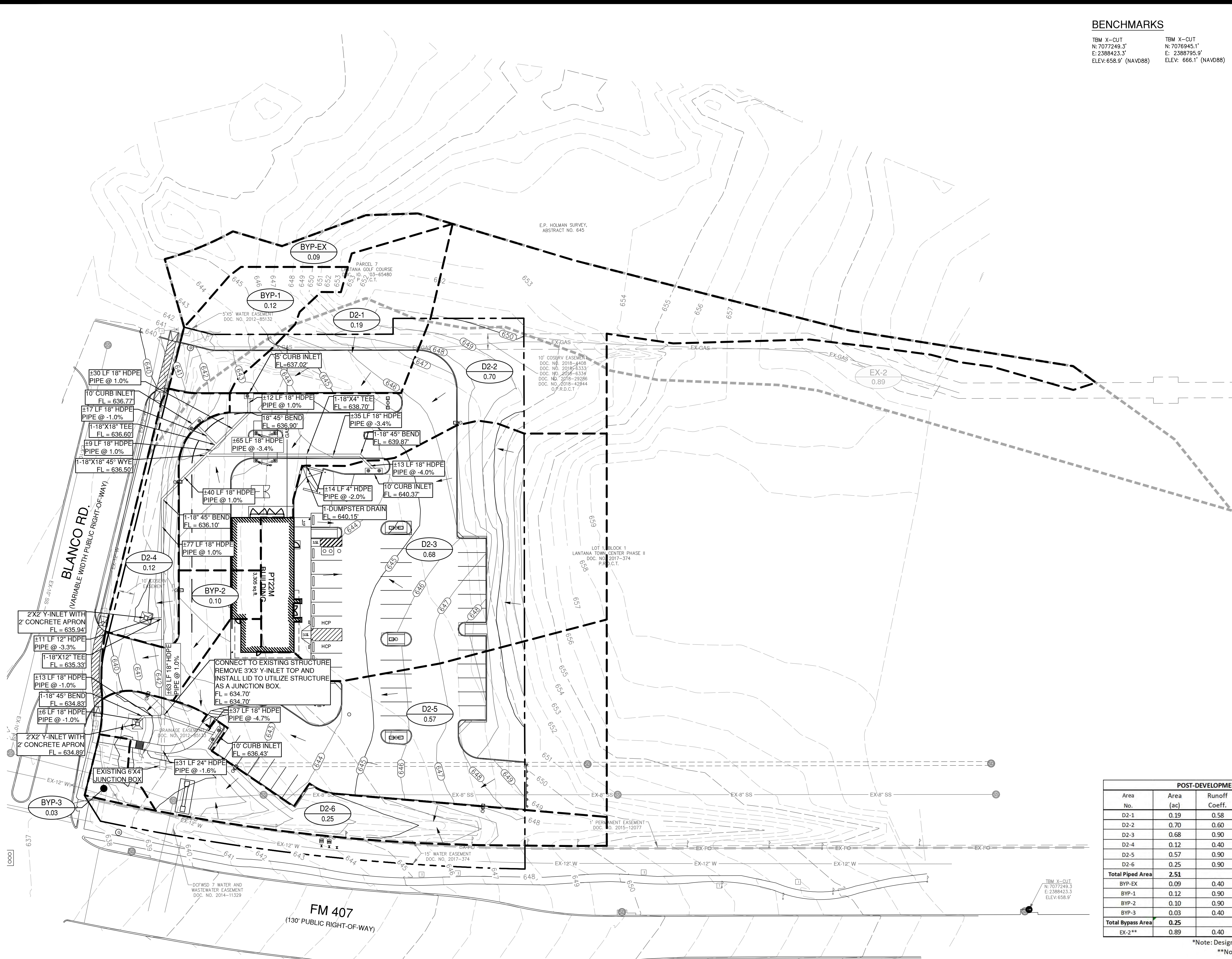
SHEET NO:

C8.0



FOR REVIEW

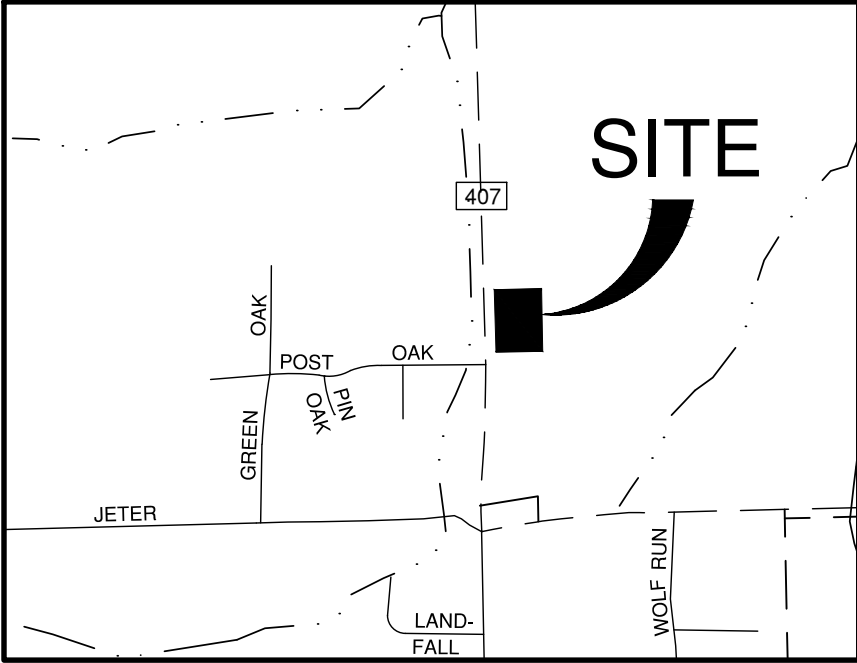
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BENCHMARKS

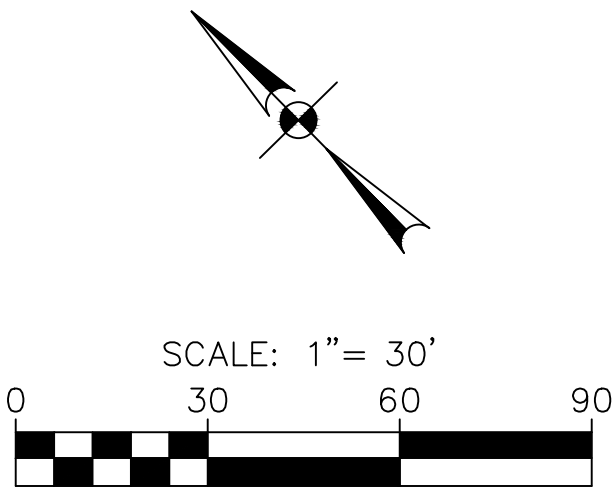
TBM X-CUT
N: 7077249.3'
E: 2388423.3'
ELEV: 658.9' (NAVD88)

TBM X-CUT
N: 7076945.1'
E: 2388795.9'
ELEV: 666.1' (NAVD88)



LOCATION MAP

NOT-TO-SCALE



MASTER DRAINAGE LEGEND

- 600 EXISTING MAJOR CONTOUR
- 602 EXISTING MINOR CONTOUR
- 600 PROPOSED MAJOR CONTOUR
- 602 PROPOSED MINOR CONTOUR
- DRAINAGE AREA
- EXISTING DRAINAGE AREA
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- SD PROPOSED STORM DRAIN
- PROPOSED CURB INLET
- PROPOSED FLOW DIRECTION
- A-1 DRAINAGE AREA
- 1.00 ACRES

NOTES

- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND WILL BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES, FENCES, RETAINING WALLS AND STRUCTURES UNLESS OTHERWISE NOTED.
- THIS TRACT IS NOT LOCATED WITHIN THE FLOOD HAZARD AREA AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP PANEL NO. 48121C0510G FOR DENTON COUNTY, EFFECTIVE APRIL 18, 2011.
- EXISTING STORM SYSTEM IS ADEQUATE TO HANDLE POST-DEVELOPMENT DISCHARGE RATES. REFERENCE LANTANA TOWN CENTER PHASE II DRAINAGE PLANS BY KIMLEY-HORN DATED AUGUST 2, 2017.
- PROPOSED DRAINAGE AREA IS BASED ON DRAINAGE AREA 'D2', PROVIDED ON LANTANA TOWN CENTER PHASE II PROPOSED DRAINAGE AREA MAP FULL BUILD OUT BY KIMLEY-HORN DATED AUGUST 2, 2017, WHICH ACCOUNTS FOR THE DEVELOPED FLOWS OF THIS TRACT.
- EXISTING DRAINAGE AREA EX-2 IS BASED ON DRAINAGE AREA PROVIDED ON LANTANA TOWN CENTER PHASE II EXISTING DRAINAGE AREA MAP BY KIMLEY-HORN DATED AUGUST 2, 2017, WHICH SHOWS 310 CFS OUTFALLING TO BLANCO RD. THIS HAS BEEN REDUCED TO 1.86 CFS IN THE 100-YR EVENT BY THIS DEVELOPMENT.
- ALL PROPOSED STORM DRAIN LINES ARE PRIVATE.

POST-DEVELOPMENT DRAINAGE AREA CALCULATIONS							Design Flows* (cfs)
Area No.	Area (ac)	Runoff Coeff.	CA	Tc (min)	I100 (in/hr)	Q100 (cfs)	
D2-1	0.19	0.58	0.11	10.00	8.70	0.97	19.66
D2-2	0.70	0.60	0.42	10.00	8.70	3.65	
D2-3	0.68	0.90	0.61	10.00	8.70	5.32	
D2-4	0.12	0.40	0.05	10.00	8.70	0.42	
D2-5	0.57	0.90	0.51	10.00	8.70	4.46	
D2-6	0.25	0.90	0.23	10.00	8.70	1.96	
Total Piped Area	2.51					Total Pipe Flow 16.78	
BYP-EX	0.09	0.40	0.04	10.00	8.70	0.31	
BYP-1	0.12	0.90	0.11	10.00	8.70	0.94	
BYP-2	0.10	0.90	0.09	10.00	8.70	0.78	
BYP-3	0.03	0.40	0.01	10.00	8.70	0.10	
Total Bypass Area	0.25					Total Bypass Flow 2.14	
EX-2**	0.89	0.40	0.36	10.00	8.70	3.10	

*Note: Design flows are from Lantana Town Center Phase II Plans (see Note 5 this sheet).
**Note: Flow is from Lantana Town Center Phase II Plans (see Note 6 this sheet).

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REVISIONS:	DATE	DESCRIPTION	BY

PROJECT:
PT22M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

**PAPE-DAWSON
ENGINEERS**
FORT WORTH 1 SAN ANTONIO 1 AUSTIN 1 HOUSTON 1 DALLAS
6500 WEST HWY. STE 700 FORT WORTH, TX 76116 | 817.670.3888
TRADE BOARD OF PROFESSIONAL ENGINEERS - FIRM REGISTRATION #410

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SAN ANTONIO, TEXAS
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SHEET TITLE:
**DRAINAGE
PLAN**

UNIT NO.
DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:
C8.1



FOR REVIEW

Date: May 30, 2023, 11:47am, User: D. Wynn
File: S:\projects\61316\16_00\2.0_Design\2.4_Civil\2.4.3_Plan_Sheets\UT-6131600.dwg

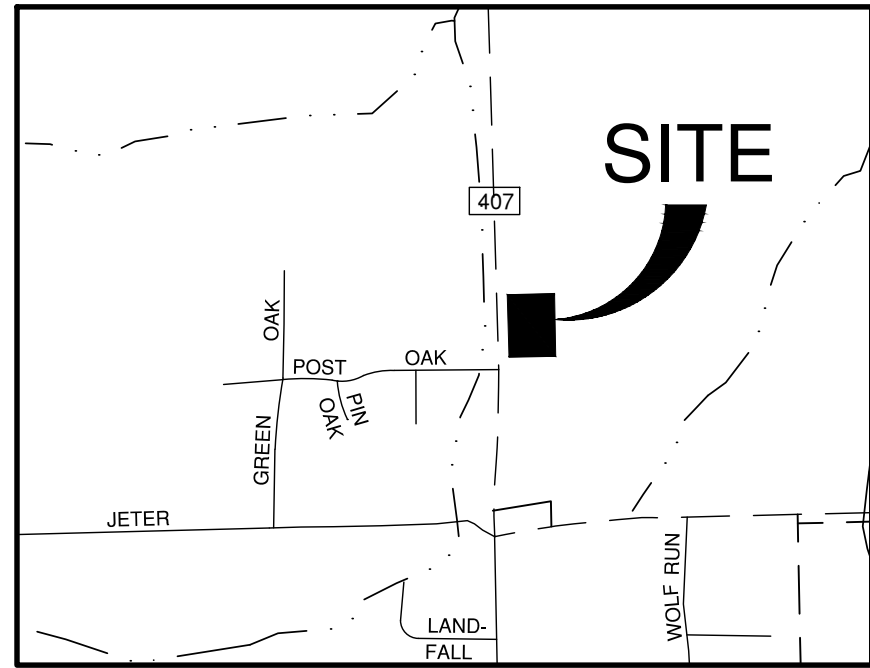
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DOC. NO. 2003-65480
P.R.D.C.T.

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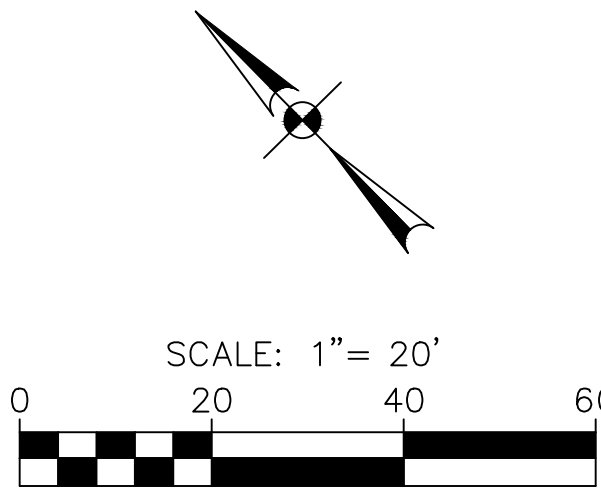
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ELEV: 666.1' (NAVD88)



LOCATION MAP

NOT-TO-SCALE



UTILITY LEGEND

EX-W	EXISTING WATER LINE
EX-SS	EXISTING WATER ISOLATION VALVE
EX-SS	EXISTING SANITARY SEWER LINE
EX-UE	EXISTING UNDERGROUND ELECTRIC
EX-T	EXISTING UNDERGROUND TELEPHONE
EX-FO	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING STORM DRAIN
DW	PROPOSED DOMESTIC WATER LINE
FW	PROPOSED FIRE WATER LINE
IRR	PROPOSED IRRIGATION LINE
X	PROPOSED GATE VALVE
W	PROPOSED WATER METER
X	PROPOSED WATER LINE CAP
H	PROPOSED FIRE HYDRANT
V	PROPOSED FIRE DEPT. CONNECTION
SS	PROPOSED SANITARY SEWER LINE
SS	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED SANITARY SEWER CLEANOUT
UE	PROPOSED UNDERGROUND ELECTRIC
T	PROPOSED UNDERGROUND TELEPHONE

NOTES

- ALL UTILITIES TO BE STUBBED OUT 5' FROM BUILDING. INVERTS ARE ASSUMED TO BE APPROXIMATELY 5' BELOW THE FINISHED FLOOR ELEVATION. REFERENCE MEP & ARCHITECTURAL PLANS FOR CONTINUATION AND TO CONFIRM INVERT ELEVATIONS AT THE BUILDING.
- GREASE TRAP IS DRAWN FOR SCHEMATIC PURPOSES ONLY. REFERENCE MEP & ARCHITECTURAL PLANS FOR DETAILS AND LOCATION.
- ALL EXISTING UTILITY LOCATIONS ARE APPROXIMATE AND WILL BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- THERE SHALL BE A MINIMUM OF 2' VERTICAL SEPARATION BETWEEN WATER AND SANITARY SEWER LINES WHERE CROSSINGS OCCUR.

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LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION. THE CONTRACTOR SHALL DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO COMMENCING CONSTRUCTION.

**PAPE-DAWSON
ENGINEERS**

FORT WORTH 1 SAN ANTONIO 1 AUSTIN 1 HOUSTON 1 DALLAS
6500 WEST HWY. 376 FORT WORTH, TX 76116 817.670.3888
TOLL FREE 1-800-451-4477
TX REGISTRATION NO. 4470

WHATABURGER

300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS
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SHEET TITLE:

UTILITY PLAN

UNIT NO.

DATE: 05/30/2023

SCALE: 1" = 20'

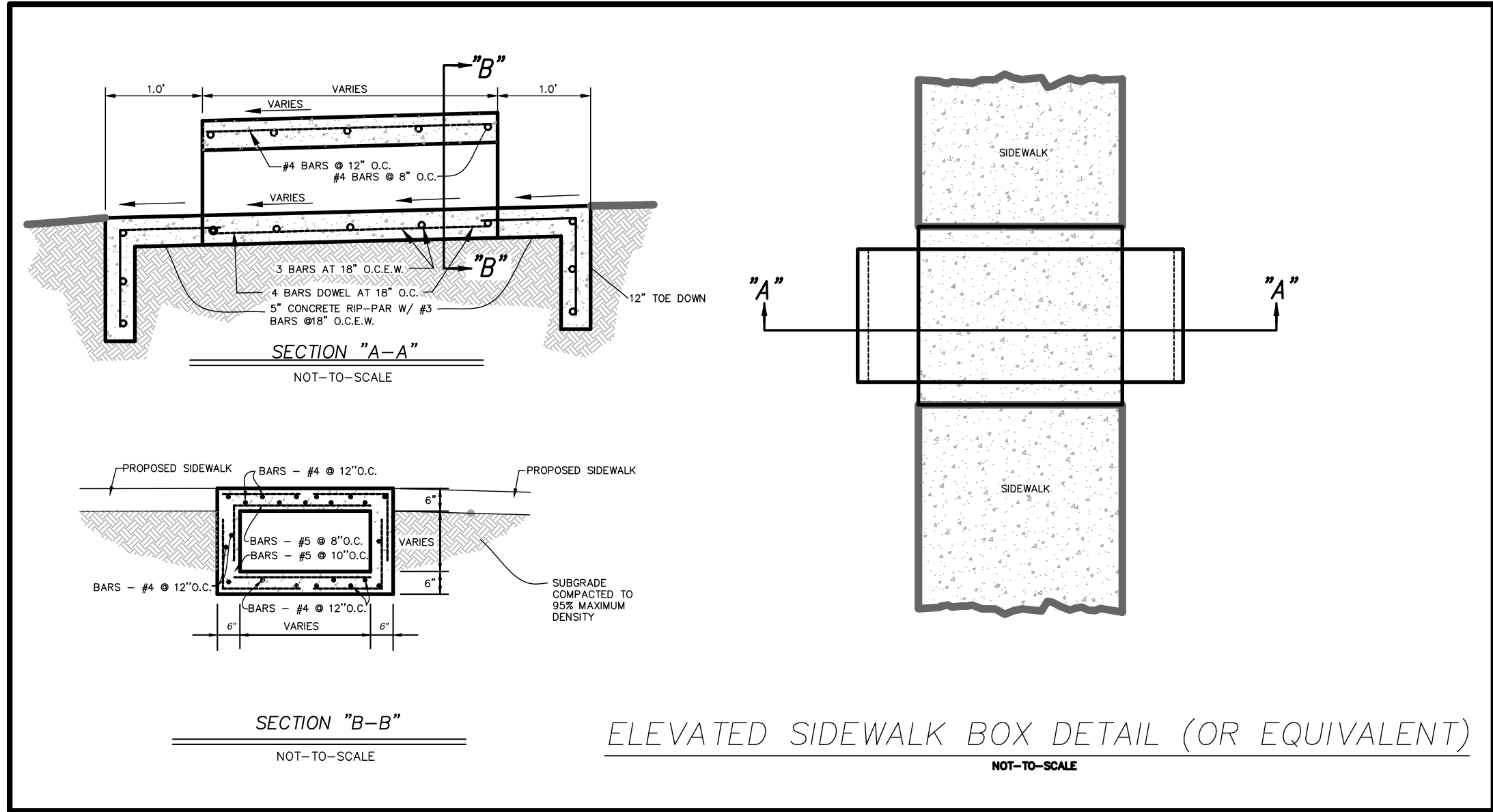
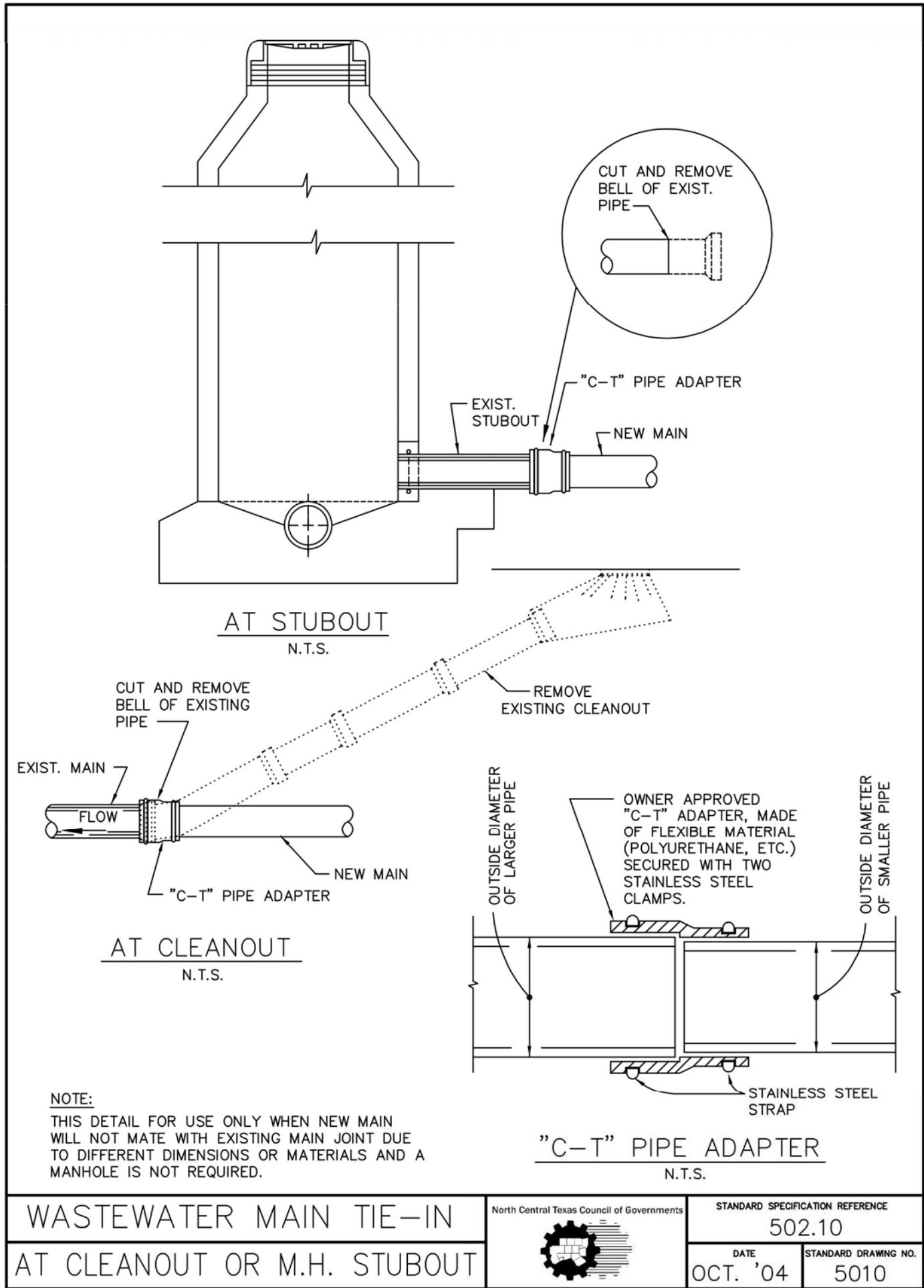
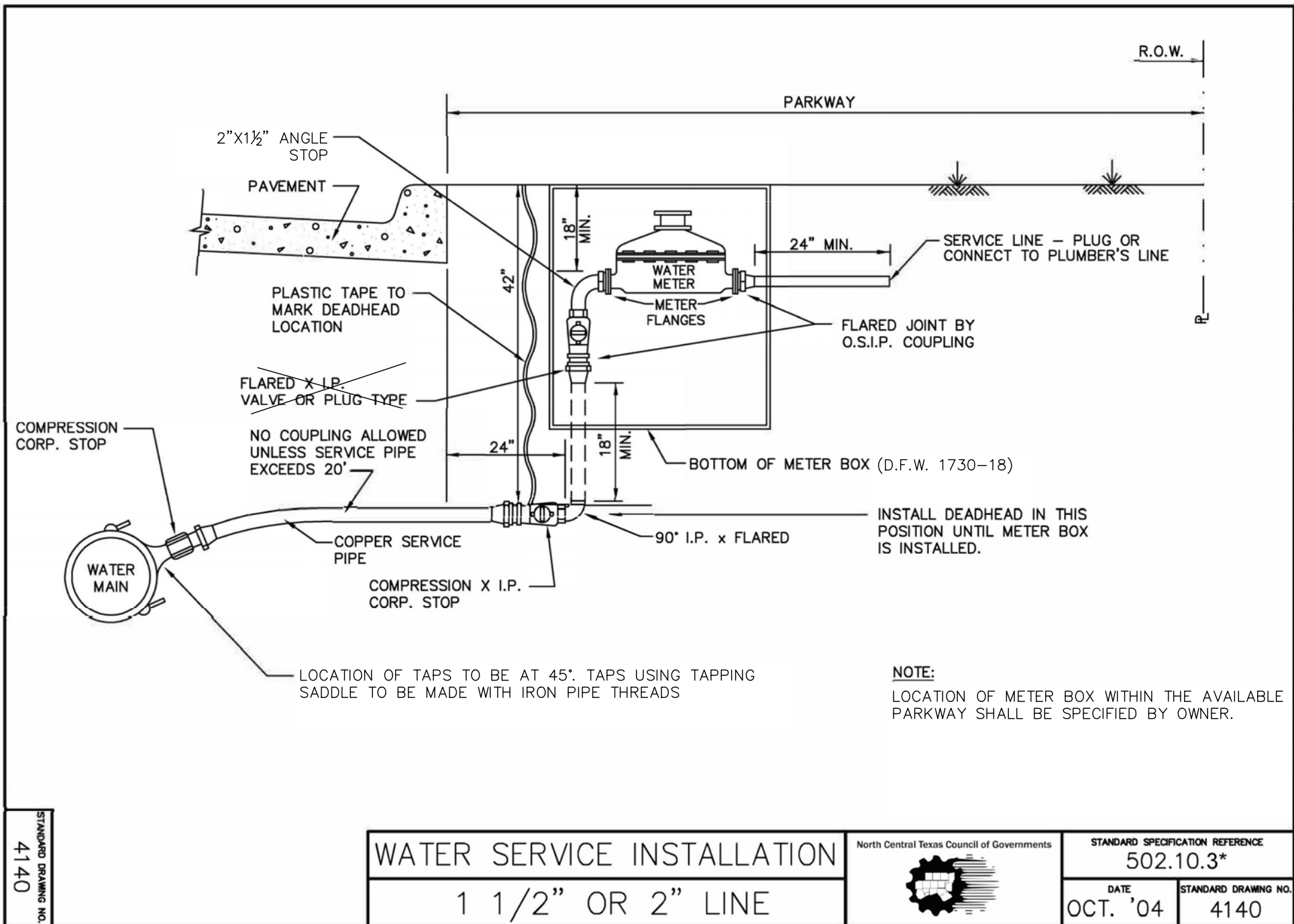
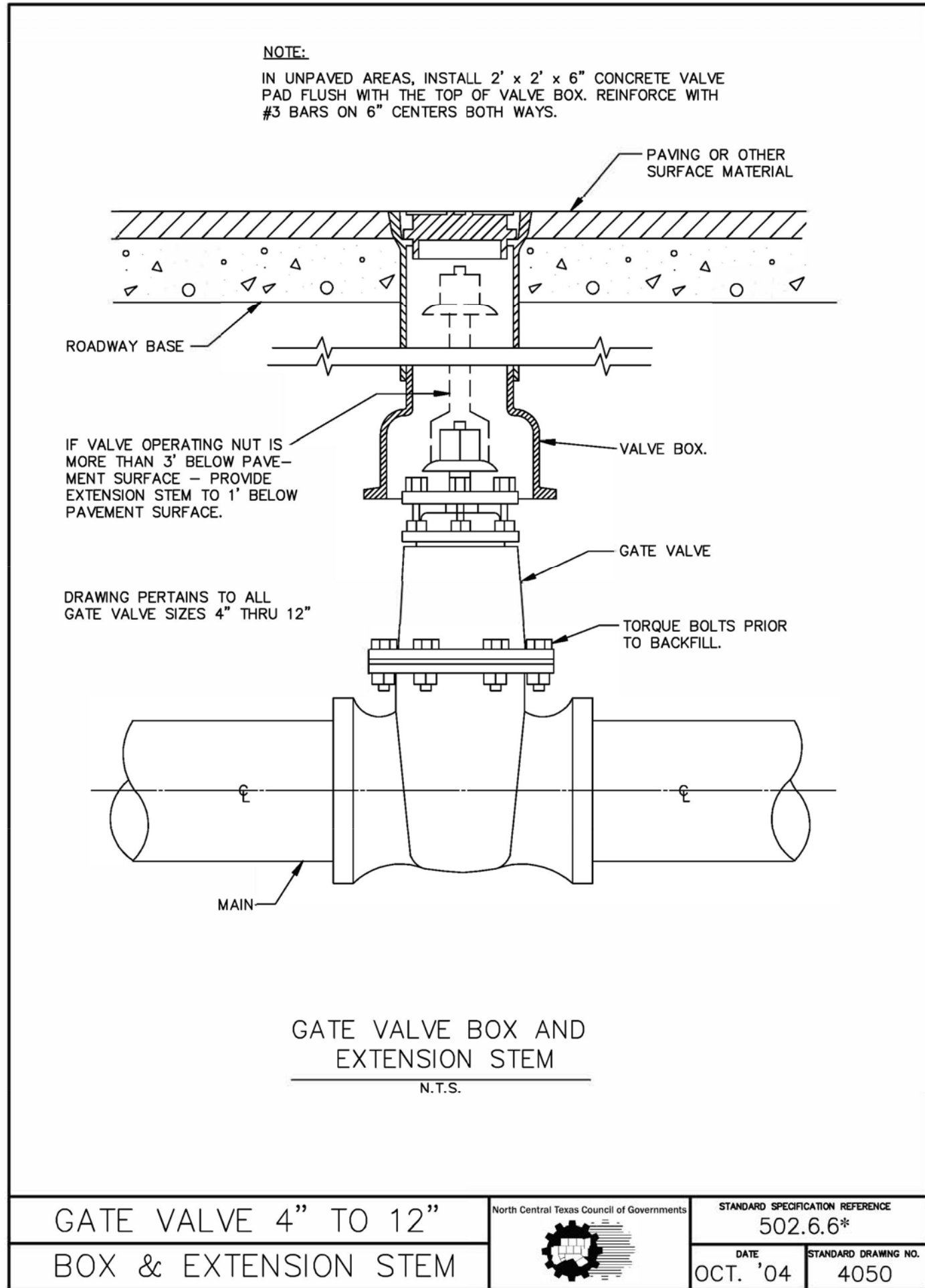
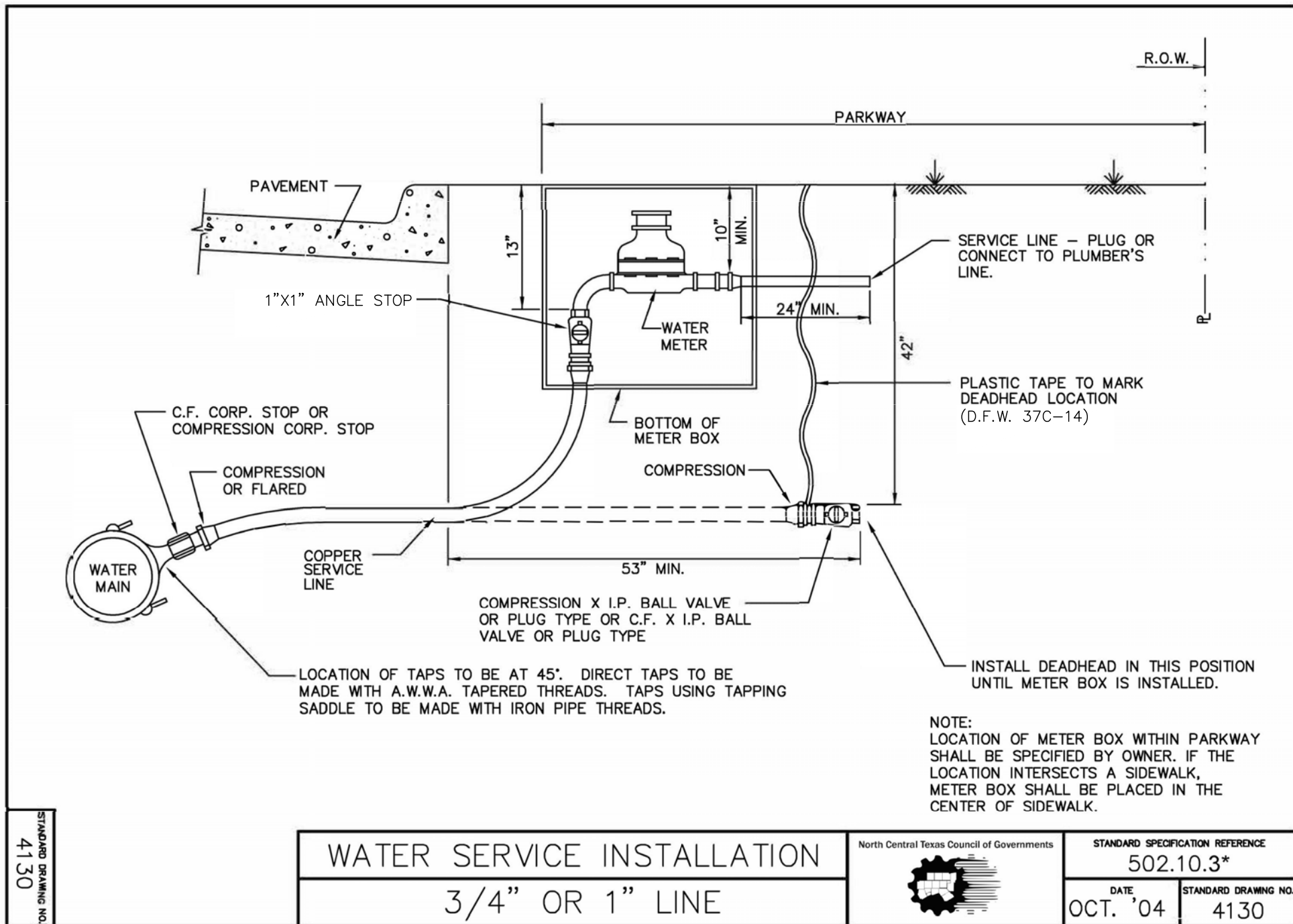
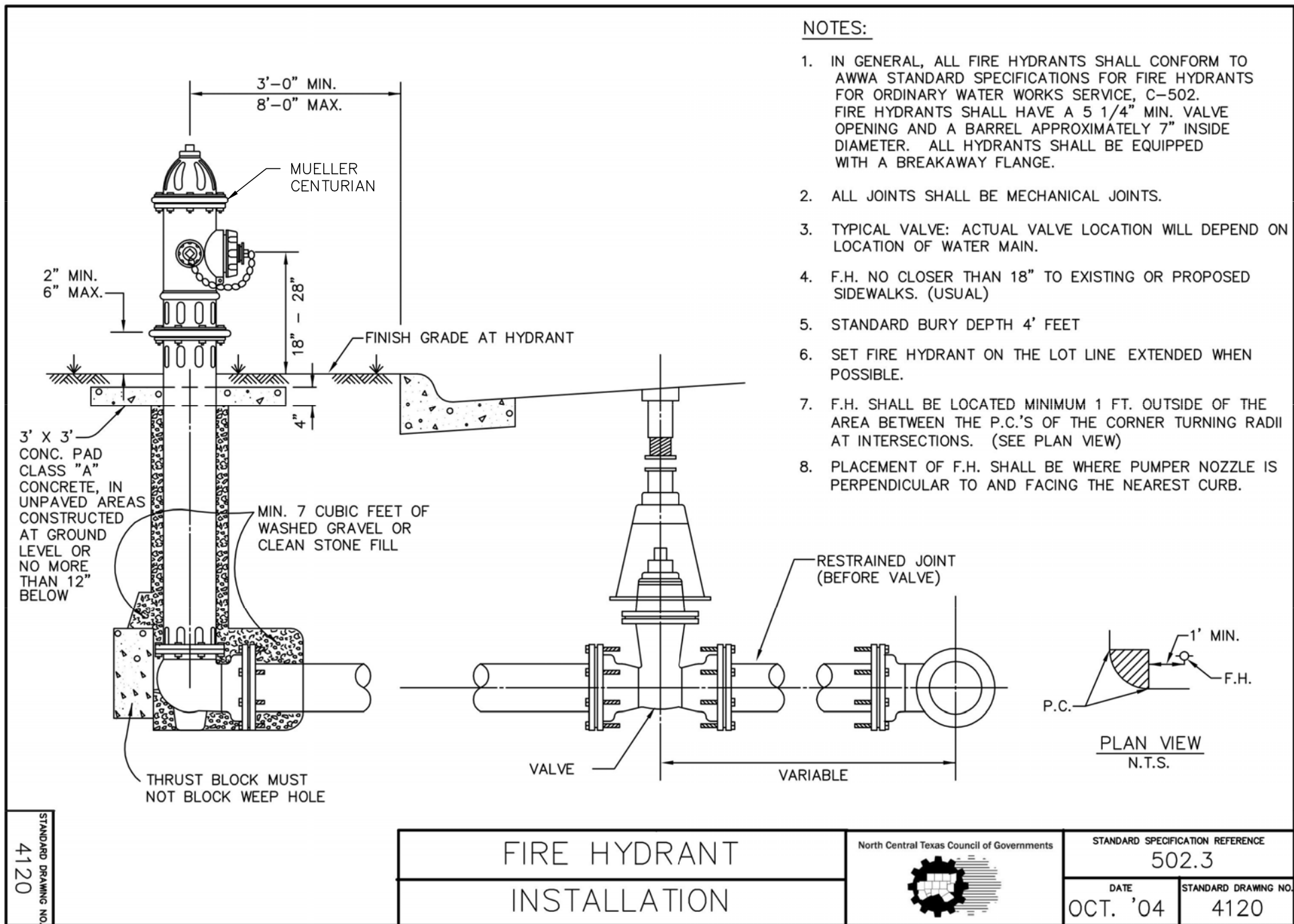
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UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY
ENGINEER OF ANY DISCREPANCIES 24-HOURS PRIOR TO
COMMENCING CONSTRUCTION.

REVISIONS:	DATE	DESCRIPTION	BY

PROJECT:
PT22M BUILDING TYPE
F.M. 407 & MCMAKIN RD.
BARTONVILLE, TX

**PAPE-DAWSON
ENGINEERS**
FORT WORTH | SAN ANTONIO | AUSTIN | HOUSTON | DALLAS
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TODAY'S SOUND OF PROFESSIONAL ENGINEERING. PAPER REGISTRATION #470

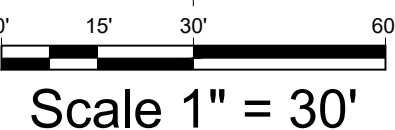
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SHEET TITLE:
**UTILITY
DETAILS**

UNIT NO.
DATE: 05/30/2023
SCALE: 1" = 20'
DRAWN BY: DDD

SHEET NO:
C9.1

WHATABURGER



PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

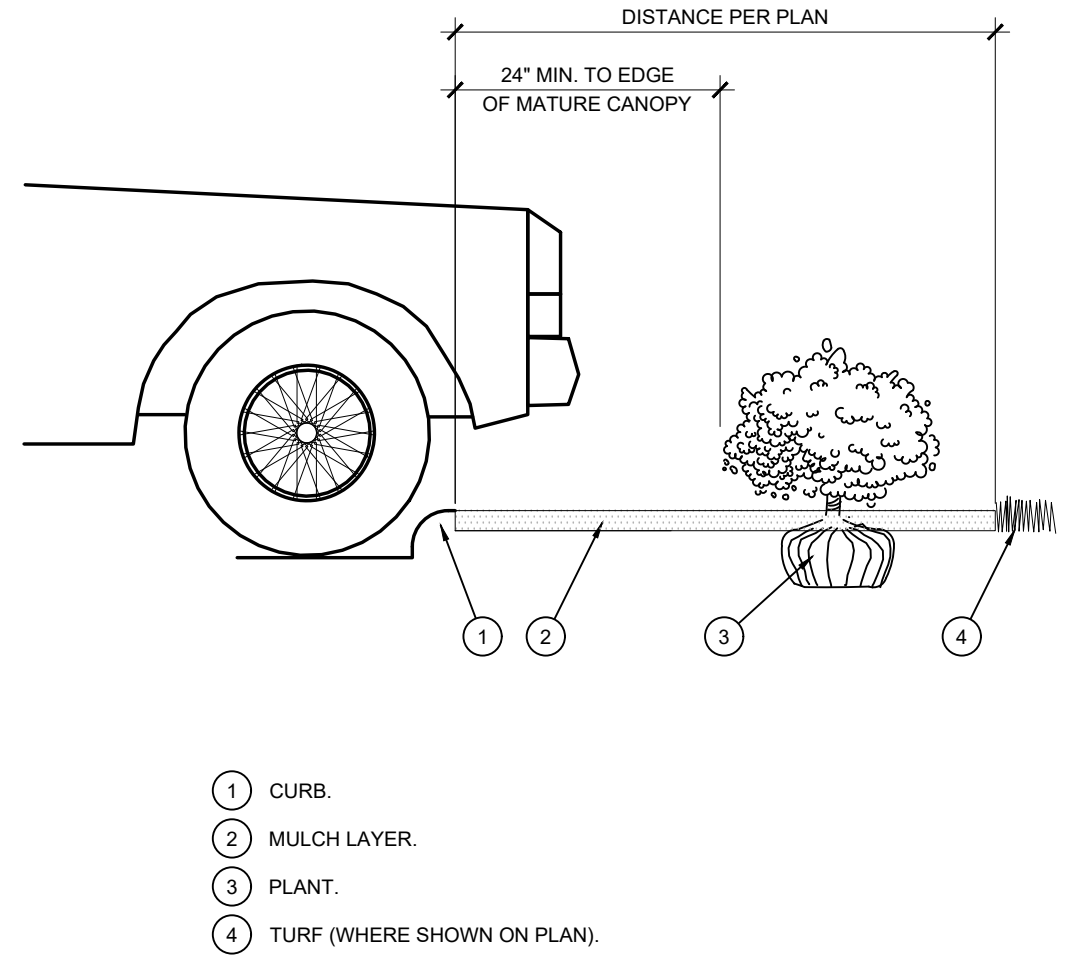
- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS.
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 - ANY PLANT DEEMED DEFECTIVE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
 - SOD: PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLEY OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
 - SEED: PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
 - TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
 - COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT PASSING THROUGH 1/8 INCH SIEVE; SOLUBLE SALT CONTENT OF 0.5 TO 10 DECISEMENS/M; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS; NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
 - FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
 - MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
 - WEED FABRIC: 5 OUNCE, WOVEN, NEEDLE-PUNCHED FABRIC, SUCH AS DEWITT PROS LANDSCAPE FABRIC (OR APPROVED EQUAL).
 - TREE STAKING AND GUYING
 - STAKES: 6' LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 - STRAP CHAFING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1 1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
 - STEEL EDGING: PROFESSIONAL STEEL EDGING, 14 GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN.
 - ACCEPTABLE MANUFACTURERS INCLUDE COJ-MET OR APPROVED EQUAL.
 - PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1 OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING:
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL.
 - CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - AMMONIUM PHOSPHATE 16-20-0 - 15 LBS PER 1,000 S.F.
 - AGRICULTURAL GYPSUM - 100 LBS PER 1,000 S.F.
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER - 10 LBS. PER CU. YD.
 - AGRICULTURAL GYPSUM - 10 LBS. PER CU. YD.
 - IRON SULPHATE - 2 LBS. PER CU. YD.
 - CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 8" OF SOIL.

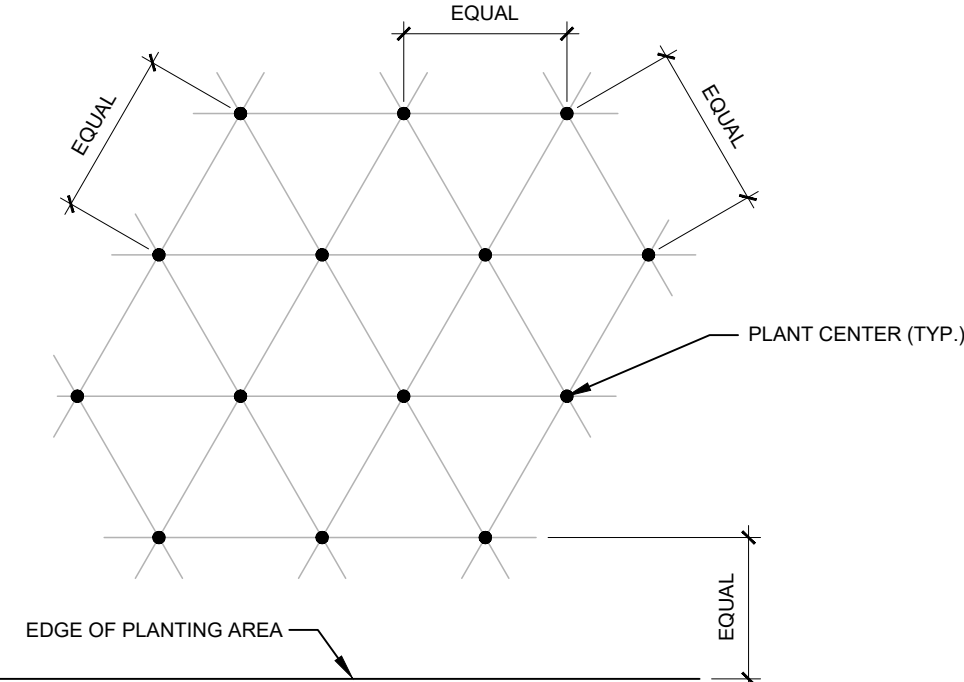
GENERAL PLANTING

- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
- EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- TRENCHING NEAR EXISTING TREES:
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- TREE PLANTING AND:
 - TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
 - SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE.
 - FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS, THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
 - INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
 - BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL TOPSOIL FROM OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
 - THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1"-2" TREES: TWO STAKES PER TREE
 - 2-1/2"-4" TREES: THREE STAKES PER TREE
 - TREES OVER 4" CALIPER: GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM. QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE
 - UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE RING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).
- SHRUB, PERENNIAL, AND GROUND COVER PLANTING
 - DIG THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
 - INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
 - WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.
- SODDING
 - SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 - LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 - LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS. DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
 - ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 - WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- CLEAN UP
 - DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 - DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- INSPECTION AND ACCEPTANCE
 - UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 - WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 - THE LANDSCAPE WARRANTY PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE WARRANTY PERIOD WILL COMMENCE.
- PLANT GUARANTEE AND REPLACEMENTS
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDS, HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 - DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.
- PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



D PLANTING AT PARKING AREA

SCALE: NOT TO SCALE



NOTE: ALL PLANTS SHALL BE PLANTED AT EQUAL TRIANGULAR SPACING (EXCEPT WHERE SHOWN ON PLANS AS INFORMAL GROUPINGS). REFER TO PLANT LEGEND FOR SPACING DISTANCE BETWEEN PLANTS.

- 1) STEP 1: DETERMINE TOTAL PLANTS FOR THE AREA WITH THE FOLLOWING FORMULA:
TOTAL AREA / AREA DIVIDER = TOTAL PLANTS

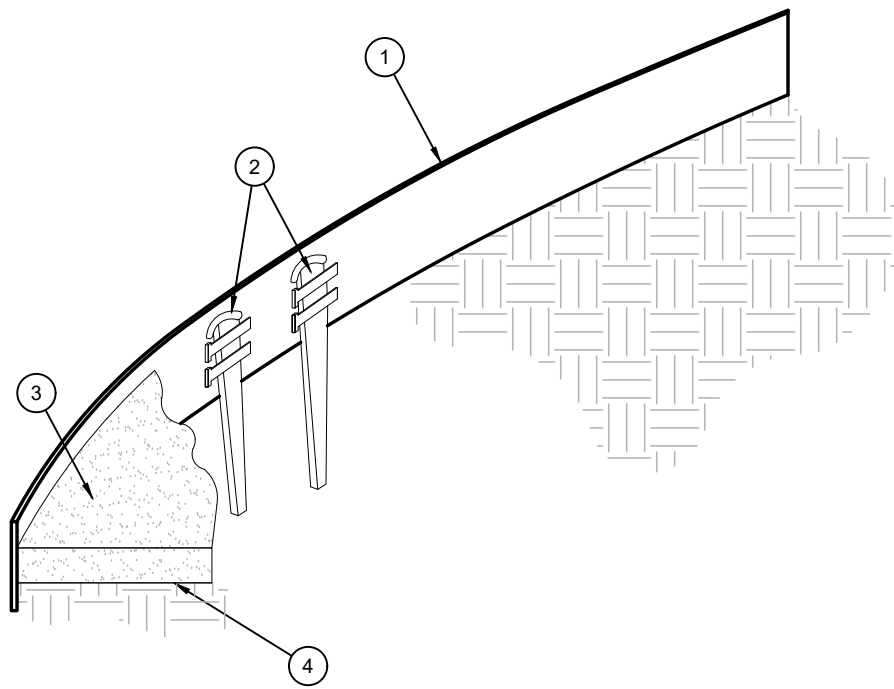
PLANT SPACING	AREA DIVIDER	PLANT SPACING	AREA DIVIDER
6"	0.22	18"	1.95
8"	0.39	24"	3.45
10"	0.60	30"	5.41
12"	0.87	36"	7.79
15"	1.35		

- 2) STEP 2: SUBTRACT THE ROW (S) OF PLANTS THAT WOULD OCCUR AT THE EDGE OF THE PLANTED AREA WITH THE FOLLOWING FORMULA: TOTAL PERIMETER LENGTH / PLANT SPACING = TOTAL PLANT SUBTRACTION

EXAMPLE: PLANTS AT 18" O.C. IN 100 SF PLANTING AREA, 40 LF PERIMETER
STEP 1: 100 SF / 3.45 = 51 PLANTS
STEP 2: 51 PLANTS - (40 LF / 1.95 = 21 PLANTS) = 30 PLANTS TOTAL

E PLANT SPACING

SCALE: NTS

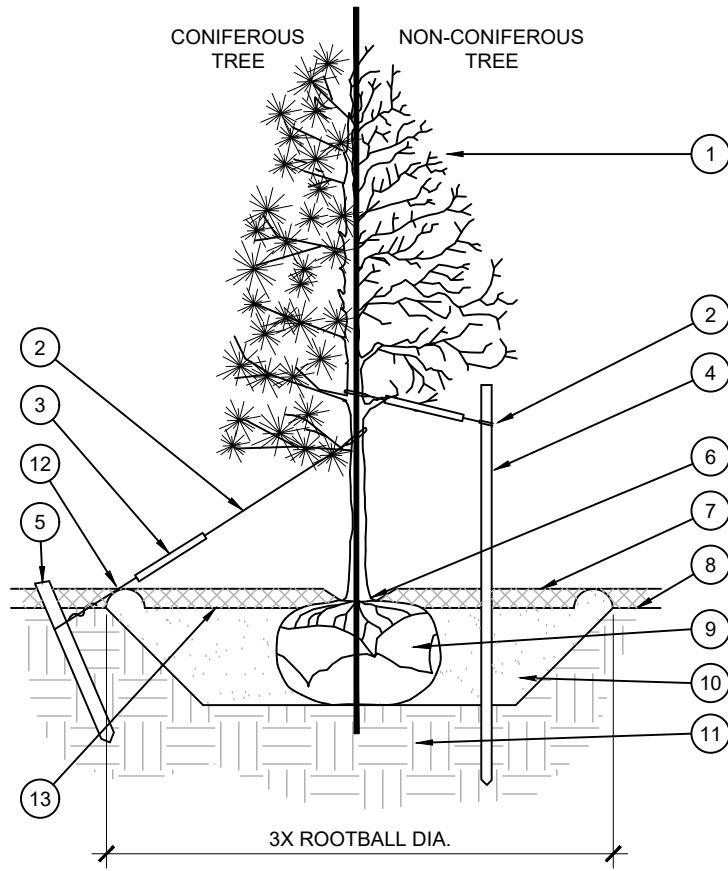


- ROLLED-TOP STEEL EDGING PER PLANS.
- TAPERED STEEL STAKES.
- MULCH, TYPE AND DEPTH PER PLANS.
- FINISH GRADE.

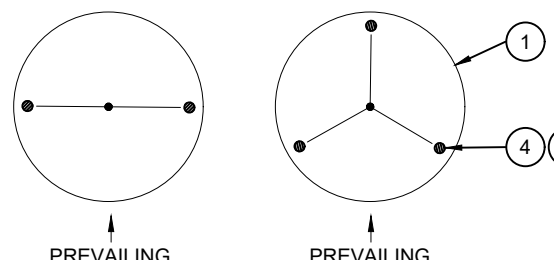
- NOTES:
- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

F STEEL EDGING

SCALE: NOT TO SCALE



STAKING EXAMPLES (PLAN VIEW)

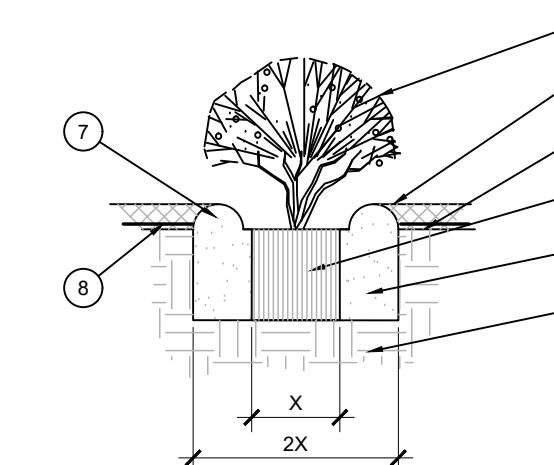


A TREE PLANTING

SCALE: NOT TO SCALE

- TREE CANOPY.
- CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 24" X 3/4" P.V.C. MARKERS OVER WIRES.
- GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- TRUNK FLARE.
- MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 4" HIGH EARTHEN WATERING BASIN.
- FINISH GRADE.

- NOTES:
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
 - FOR BAB TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMAN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
 - STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

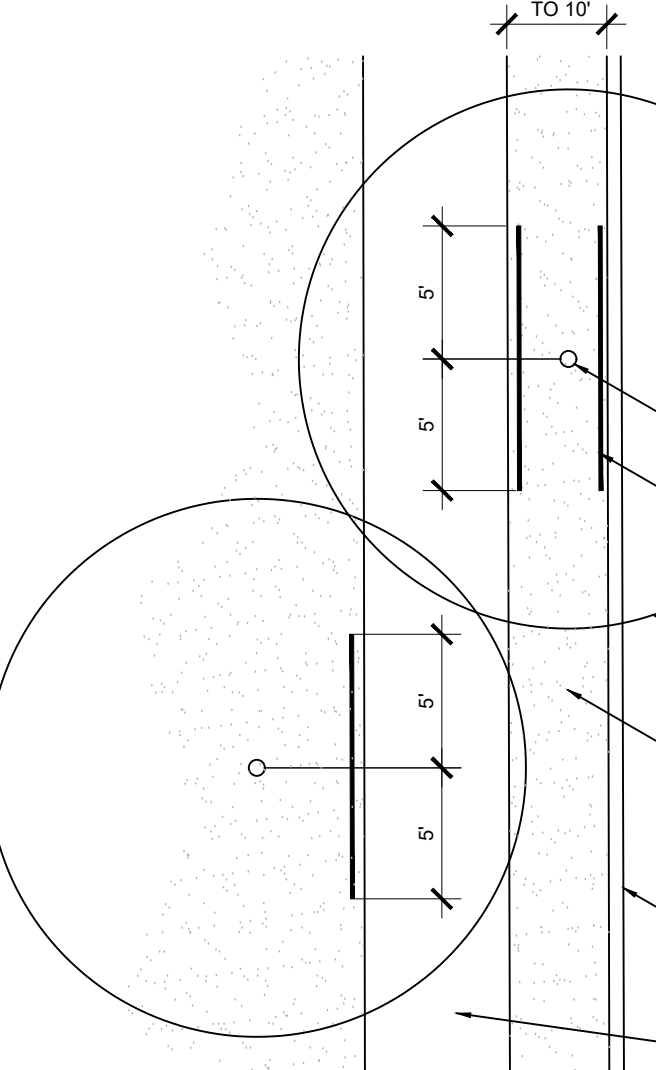


- SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.
- WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING

SCALE: NTS

OPEN LANDSCAPE PARKWAY



- TYPICAL WALKWAY OR PAVING
- TREE TRUNK
- TYPICAL SYMBOL FOR LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- TREE CANOPY
- TYPICAL PLANTING AREA
- TYPICAL CURB AND GUTTER

C ROOT BARRIER - PLAN VIEW

SCALE: NOT TO SCALE



05/09/2023



REVISIONS: SYM. DATE DESCRIPTION BY

PROJECT: WHATABURGER LANTANA, TX

SHEET TITLE:

LANDSCAPE PLANTING DETAILS & SPECS

UNIT NO.

DATE: 07-18-22

SCALE:

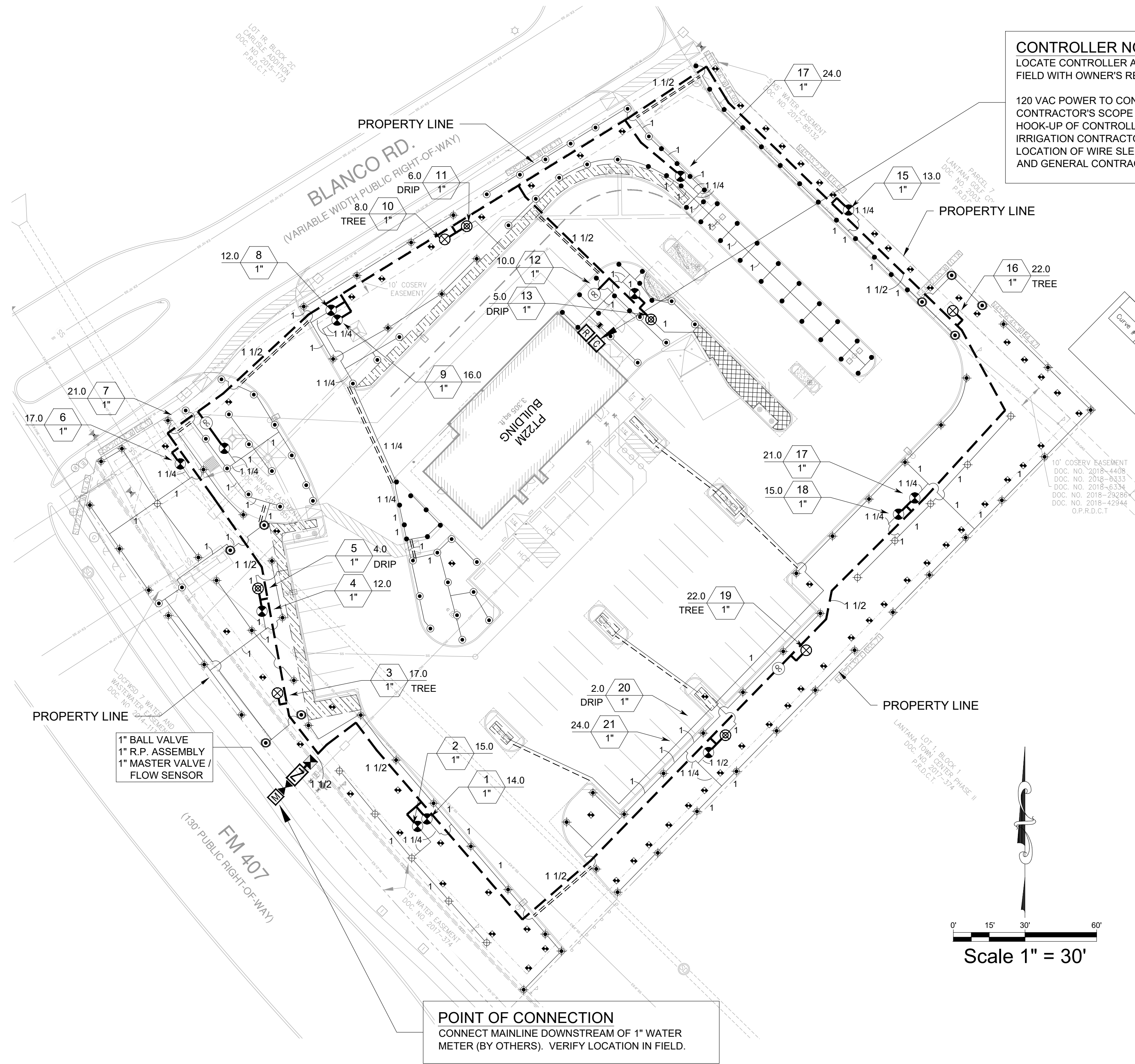
DRAWN BY: EMS

APPROVED BY: EMS

SHEET NO:

LP-2

FILE:



CONTROLLER NOTE
LOCATE CONTROLLER AT LOCATION SHOWN ON PLAN. VERIFY LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE.

120 VAC POWER TO CONTROLLER LOCATION IS NOT WITHIN THE IRRIGATION CONTRACTOR'S SCOPE OF WORK, AND SHALL BE PROVIDED BY OTHERS. HOOK-UP OF CONTROLLER TO 120 VAC SHALL BE PERFORMED BY THE IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR SHALL COORDINATE LOCATION OF WIRE SLEEVE PENETRATIONS THROUGH BUILDING WITH OWNER AND GENERAL CONTRACTOR. STATION RUN ORDER SHALL MATCH PLANS.

IRRIGATION DISCLAIMER

THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST.

IRRIGATION CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE.

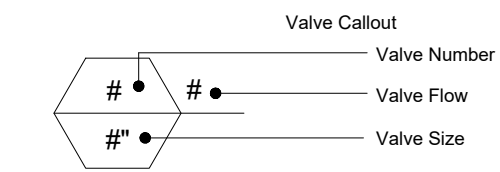
AUTOMATIC DRAIN VALVES AND AIR RELIEF VALVES

INSTALL AUTOMATIC DRAIN VALVES AT THE LOW POINTS OF EACH LATERAL LINE (MIN. 2 PER VALVE) AS PER DETAIL ON SHEET LI-2. INSTALL AIR RELIEF VALVES ON DRIP SYSTEMS AT THE LCOATIONS SHOWN ON THE PLANS, AS AS PER DETAILS.

SLEEVING / WIRING NOTES:

IN ADDITION TO PROVIDING SLEEVES FOR ALL PIPING UNDER ROADWAYS AND WALKWAYS, THE IRRIGATION CONTRACTOR SHALL PROVIDE AND INSTALL SCH. 40 PVC SLEEVES FOR ALL CONTROLLER WIRES OCCURRING UNDER ALL ROADWAYS AND WALKWAYS. SLEEVES FOR CONTROLLER WIRES SHALL BE 2" DIA. AND CONTAIN NO MORE THAN 25 WIRES. **FOR PLAN CLARITY, ONLY SOME REPRESENTATIVE SLEEVES ARE SHOWN; SOME SLEEVES MAY NOT BE SHOWN.**

VALVE KEY



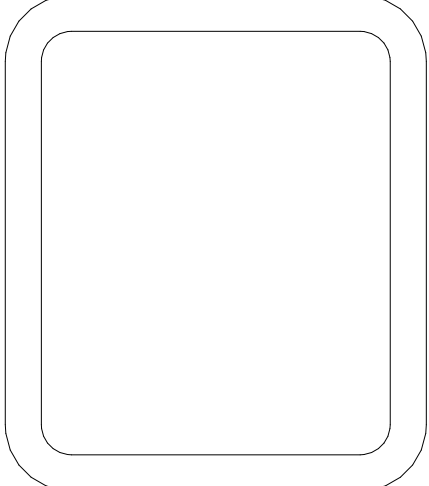
IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL
●	RAIN BIRD R-VAN-STRIP 1806-SAM-P45, TURF ROTARY, 5'X15' (LCS AND RCS), 5'X30' (SST) HAND ADJUSTABLE MULTI-STREAM ROTARY W/ 1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
⊙	RAIN BIRD R-VAN14 1806-SAM-P45, TURF ROTARY, 8'-14' 45°-270° AND 360° HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
⊙	RAIN BIRD R-VAN18 1806-SAM-P45, TURF ROTARY, 13'-18' 45°-270° AND 360° HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
⊙	RAIN BIRD R-VAN24 1806-SAM-P45, TURF ROTARY, 17'-24' 45°-270° AND 360° HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
■	RAINBIRD 1806-SAM-PRS SERIES POP UP SPRAY HEADS WITH ADAPTER AND RAINBIRD #1402 SERIES BUBBLER NOZZLES. (TWO PER TREE)
⊗	SEE INSTALLATION NOTE #O-5 REGARDING TREE BUBBLER LATERAL PIPE
⊗	RAINBIRD 5004PCSAMR, ADJUSTABLE ARC 4" POP UP ROTARY HEAD, PART CIRCLE, #1.5 LA NOZZLE UNLESS NOTED OTHERWISE
⊗	RAINBIRD 5004FCSAMR, ADJUSTABLE ARC 4" POP UP ROTARY HEAD, FULL CIRCLE, #3.0 LA NOZZLE UNLESS NOTED OTHERWISE
⊕	RAINBIRD XCZ-100-PRB-COM / 150-PRB-COM SERIES AUTOMATIC DRIP VALVE ASSEMBLY WITH 40 PSI PRESSURE REGULATOR
⊕	XCZ-100-PRB-COM - 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM.
⊕	XCZ-150-PRB-LCDR - 1-1/2" PESB-R SCRUBBER GLOBE VALVE WITH SINGLE 1-1/2" PRESSURE REGULATING (40PSI) QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-62GPM.
⊕	RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL, "TREE BUBBLER ZONE" VALVE
⊕	SEE INSTALLATION NOTE #O-5 REGARDING TREE BUBBLER LATERAL PIPE
⊕	RAIN BIRD PEB SERIES
⊕	1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.
■	AREA TO RECEIVE DRIPLINE
■	RAINBIRD XFS-CV-06-12 SERIES DRIP TUBE IN SHRUB BED INSTALLED AT 2" DEPTH
■	AREA TO RECEIVE DRIPLINE
■	RAINBIRD XFS-CV-06-12 SERIES DRIP TUBE IN NARROW TURF AREAS INSTALLED AT 4" DEPTH
■	ZURN / WILKINS 375XLB SERIES REDUCED PRESSURE TYPE BACKFLOW PREVENTOR INSTALLED PER CITY CODE WITH HEATED / INSULATED ALUMINUM ENCLOSURE AND SAME SIZE BRONZE BALL VALVE INSTALLED ON THE UP-STREAM SIDE. G.C. TO COORDINATE POWER TO BACKFLOW ENCLOSURE LOCATION PRIOR TO CONSTRUCTION
■	LASCO "V" SERIES SCH. 80 PVC TRUE UNION BALL VALVE, MAINLINE SIZE
■	IRRIGATION WATER METER AND TAP, SIZE AS NOTED ON THE PLAN
■	RAINBIRD 33-DNP QUICK COUPLING VALVE WITH LOCKING PURPLE COVER AND 3/4" PVC BALL VALVE
■	RAINBIRD ESP12LXMEF2P SERIES AUTOMATIC WALL MOUNT CONTROLLER WITH ONE ESPLXMSM12 STATION MODULE
■	WR2-RFC RAIN / FREEZE SENSOR LOCATE SENSOR AS FIELD DIRECTED BY THE LANDSCAPE ARCHITECT
■	"MASTER" ELECTRIC VALVE (SAME SIZE AS METER) WITH RAINBIRD FLOW SENSOR MODEL #FS100B SERIES
---	IRRIGATION LATERAL LINE: CLASS 200
---	IRRIGATION MAINLINE: SCHEDULE 40 PVC
---	IRRIGATION SLEEVES, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED
---	IRRIGATION SLEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED

IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21
PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.



PROJECT:	WHATABURGER
DESCRIPTION:	LANTANA, TX



WHATABURGER
300 CONCORD PLAZA DR.,
SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216

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SHEET TITLE:

IRRIGATION PLAN

UNIT NO.

DATE: 07-18-22

SCALE:

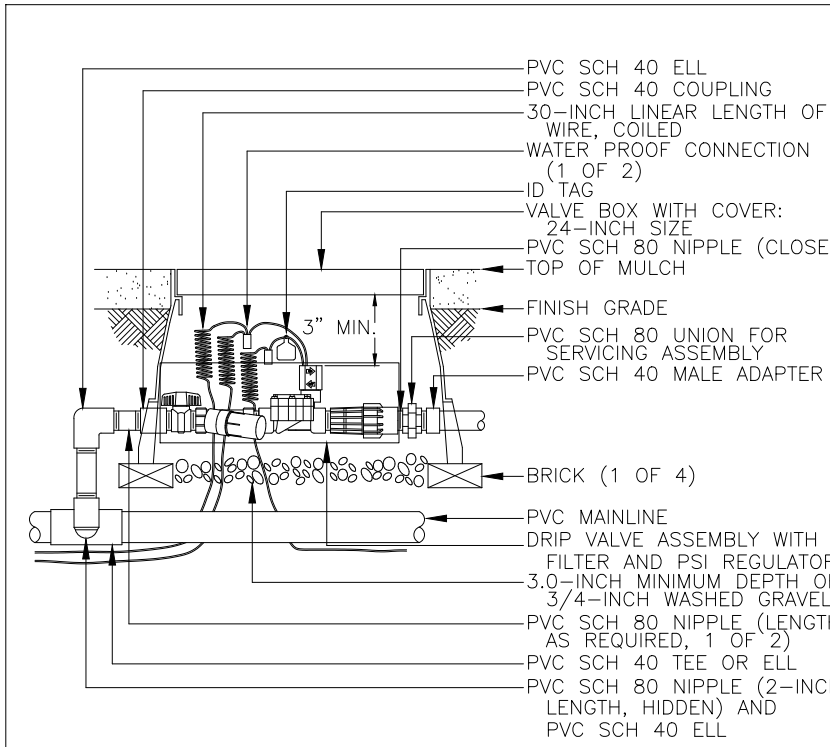
DRAWN BY: EMS

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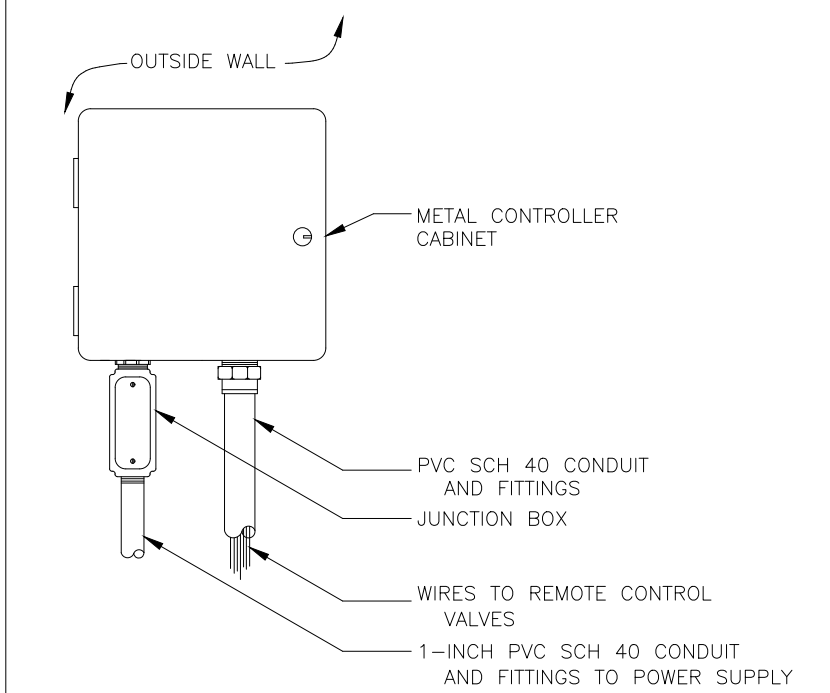
LI-1

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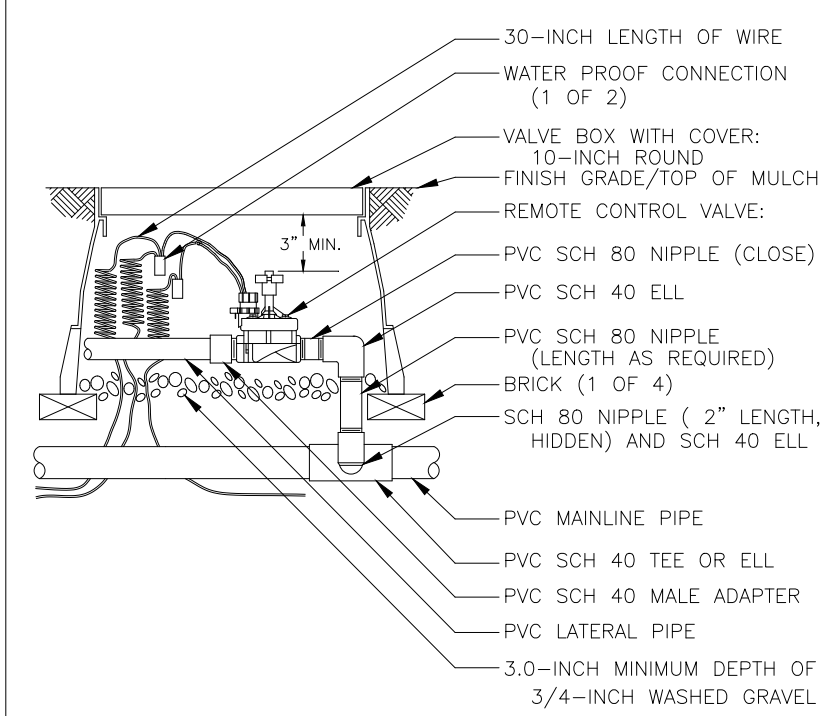
CONTROL ZONE KIT

N.T.S.



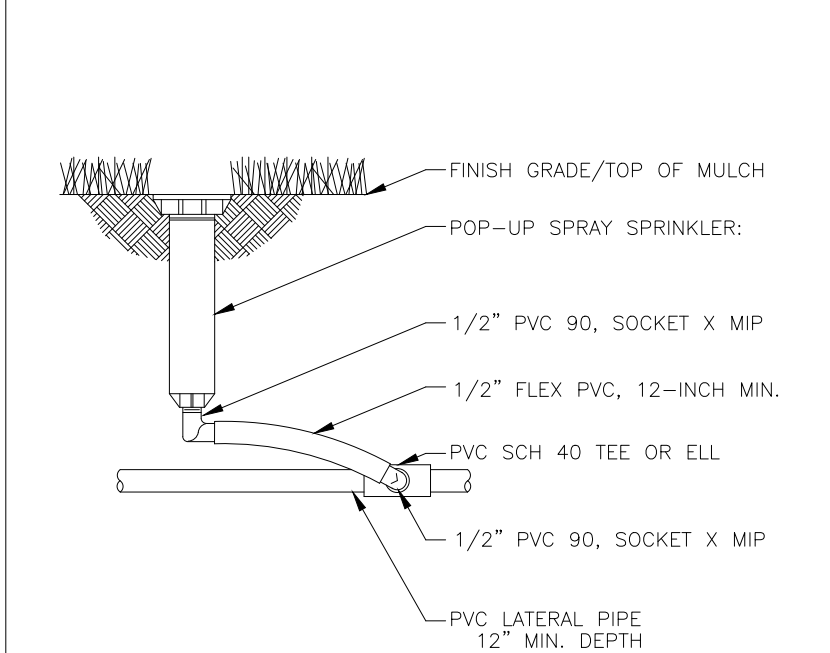
WALL MOUNT CONTROLLER

N.T.S.



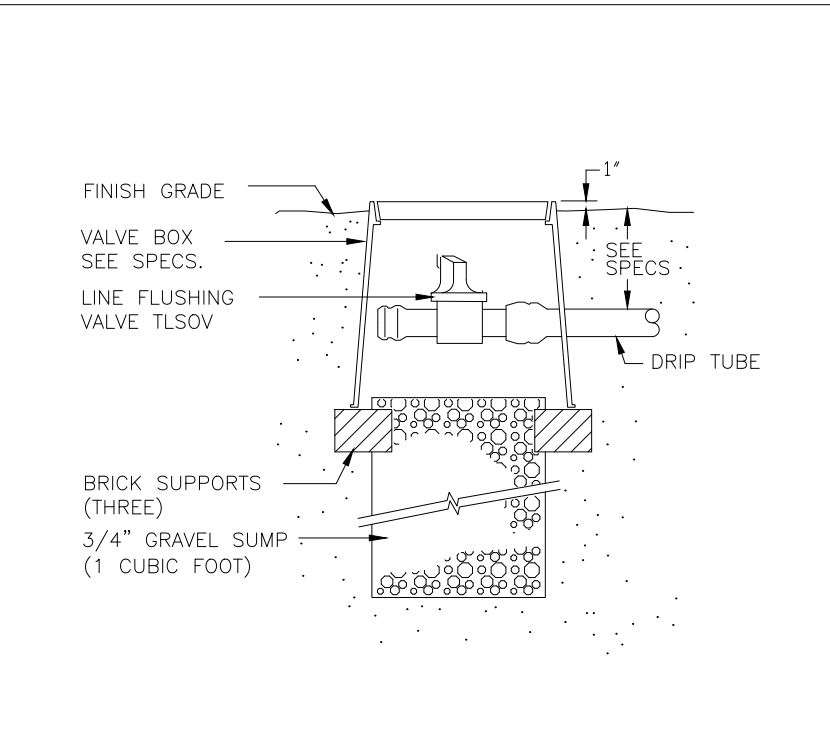
REMOTE CONTROL VALVE

N.T.S.



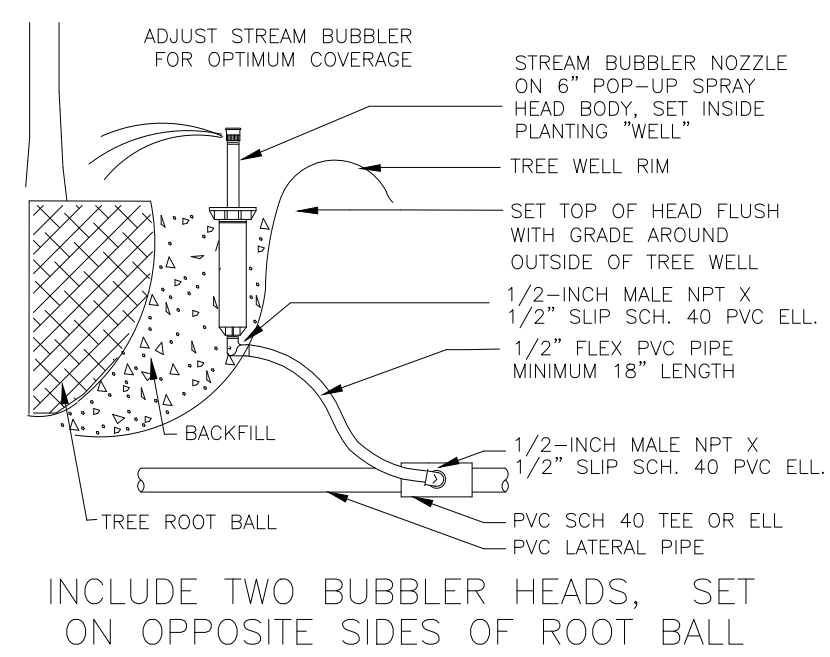
POP-UP SPRAY HEAD

N.T.S.



MANUAL LINE FLUSH VALVE

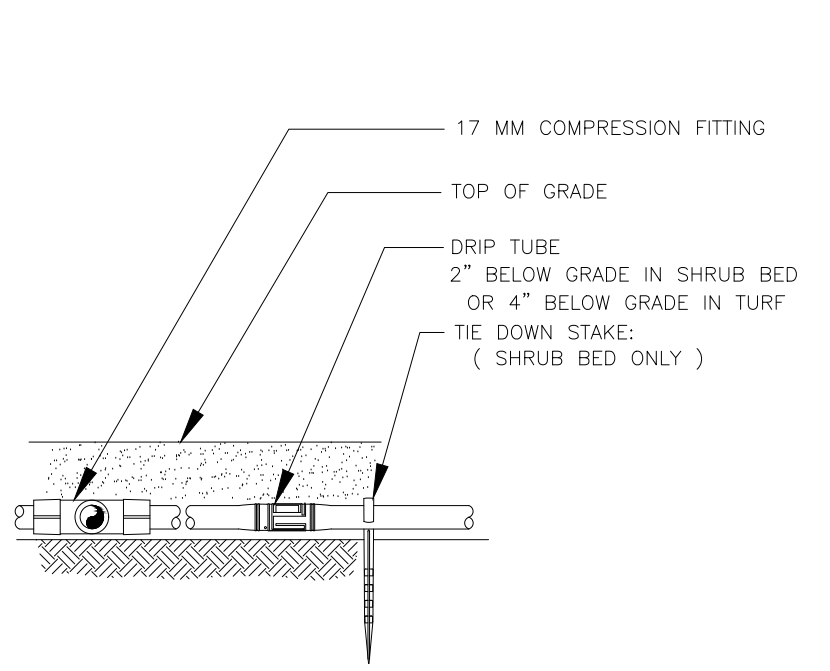
N.T.S.



INCLUDE TWO BUBBLER HEADS, SET ON OPPOSITE SIDES OF ROOT BALL

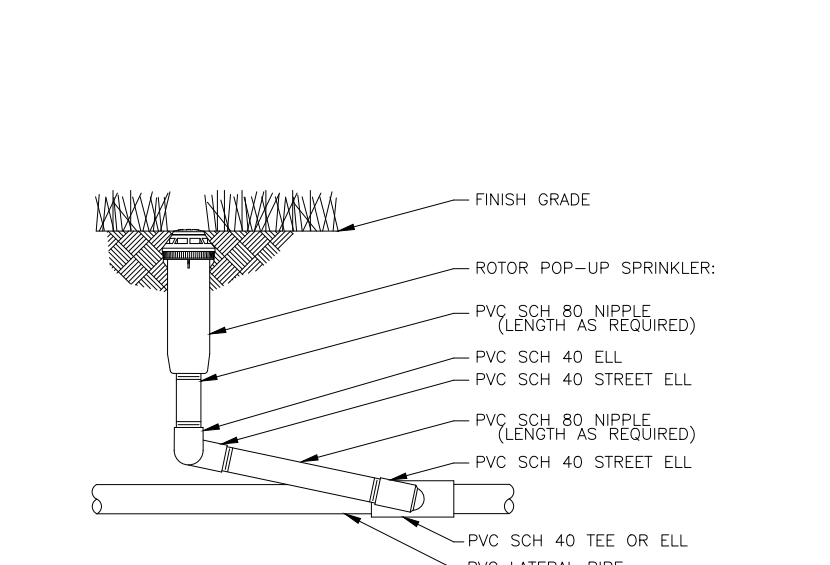
TREE BUBBLER

N.T.S.



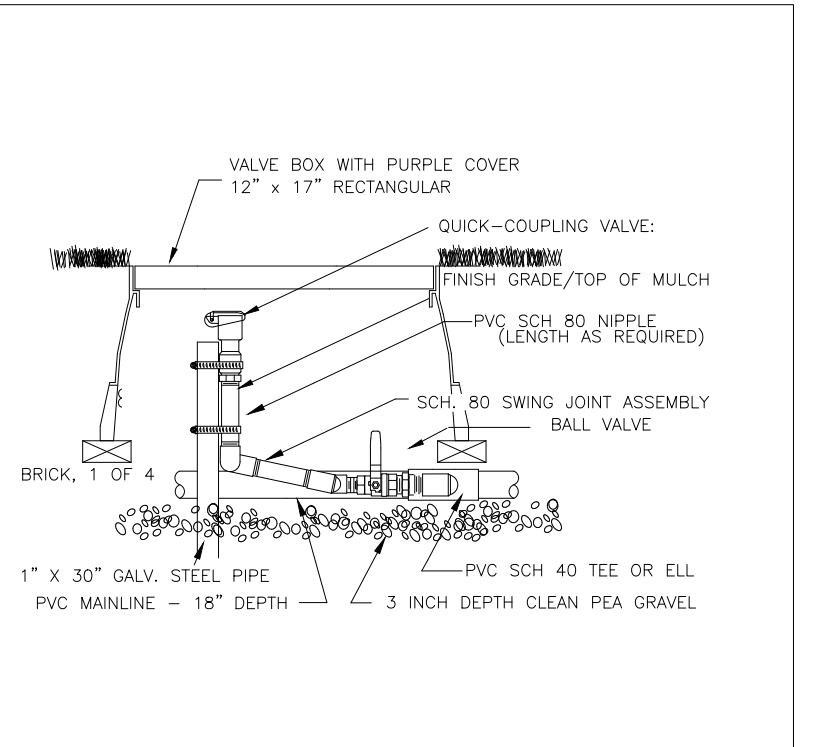
DRIP TUBE

N.T.S.



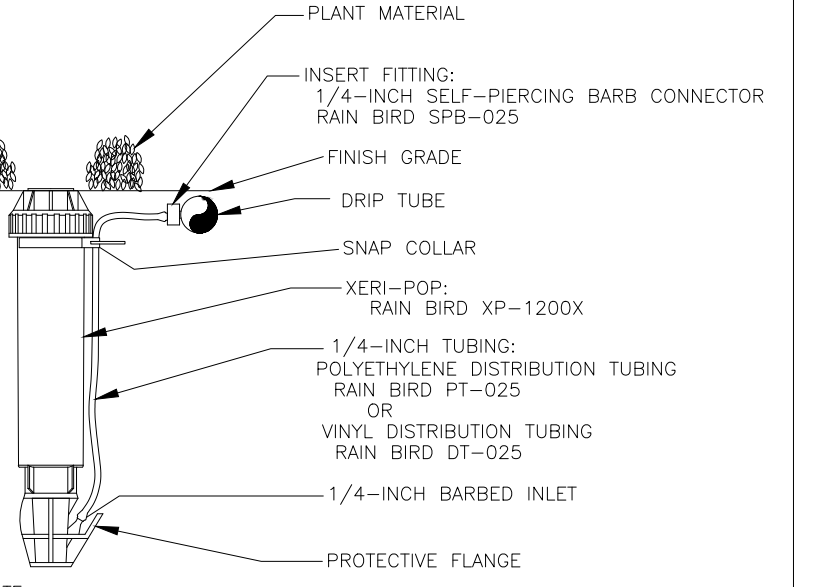
ROTOR POP-UP SPRINKLER

N.T.S.



QUICK COUPLER VALVE WITH PVC BALL VALVE

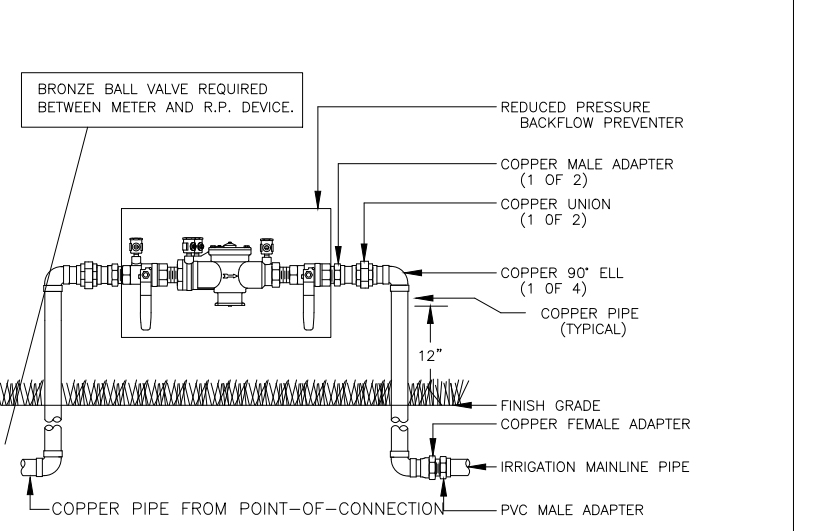
N.T.S.



NOTE: USE XERMAN TOOL XM-TOOL TO INSERT BARB CONNECTOR DIRECTLY INTO 1/2-INCH POLYETHYLENE TUBING. LOCATE AT FURTHEST DISTANCE FROM DRIP VALVE ASSEMBLY, ADJACENT TO EDGING OR WITHIN LOW PLANTINGS FOR OPTIMUM VIEWING, WITH CLOSED SPRAY NOZZLE.

DRIP ZONE INDICATOR

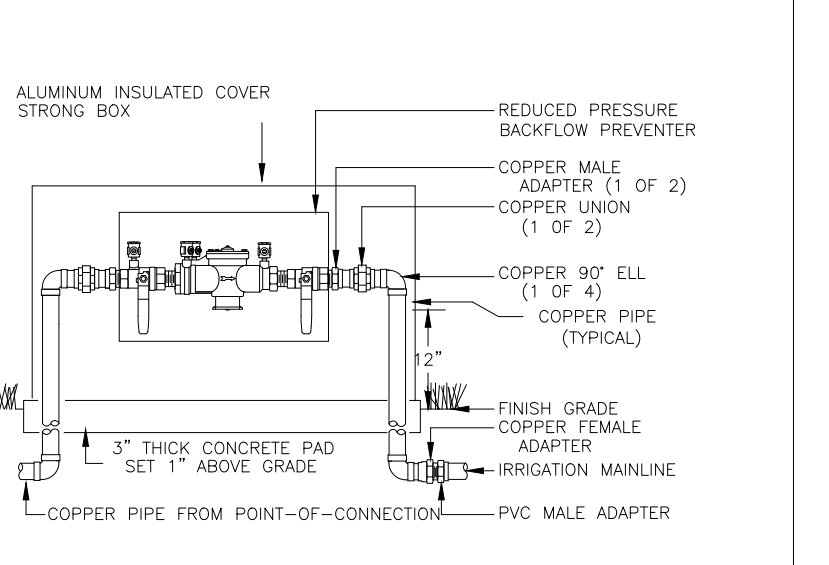
N.T.S.



NOTE: 1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

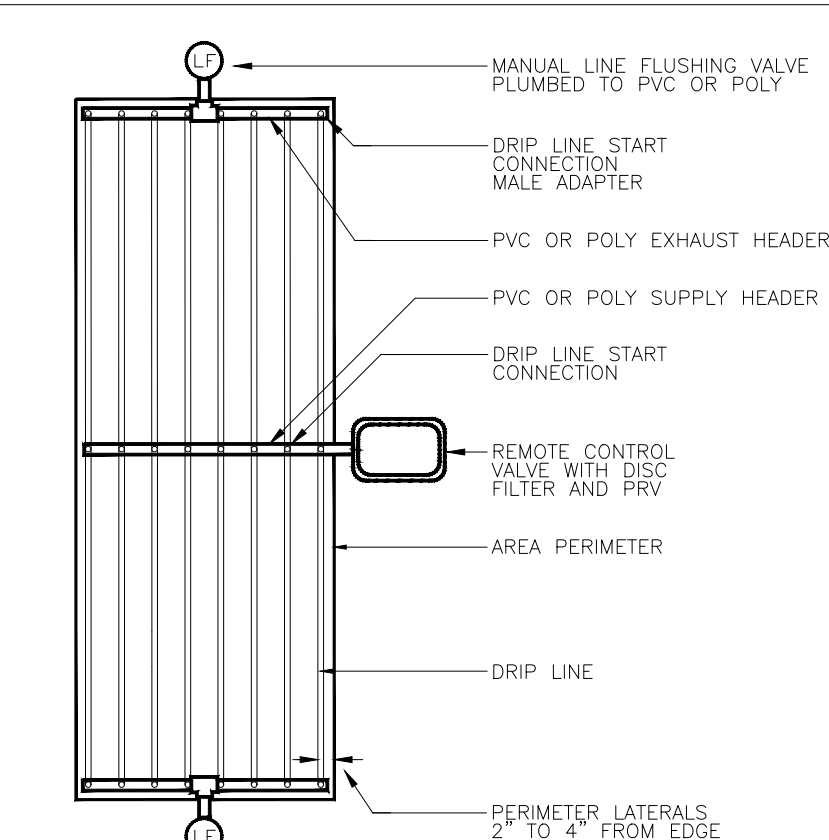
RP DEVICE

N.T.S.



RP DEVICE WITH INSULATED COVER

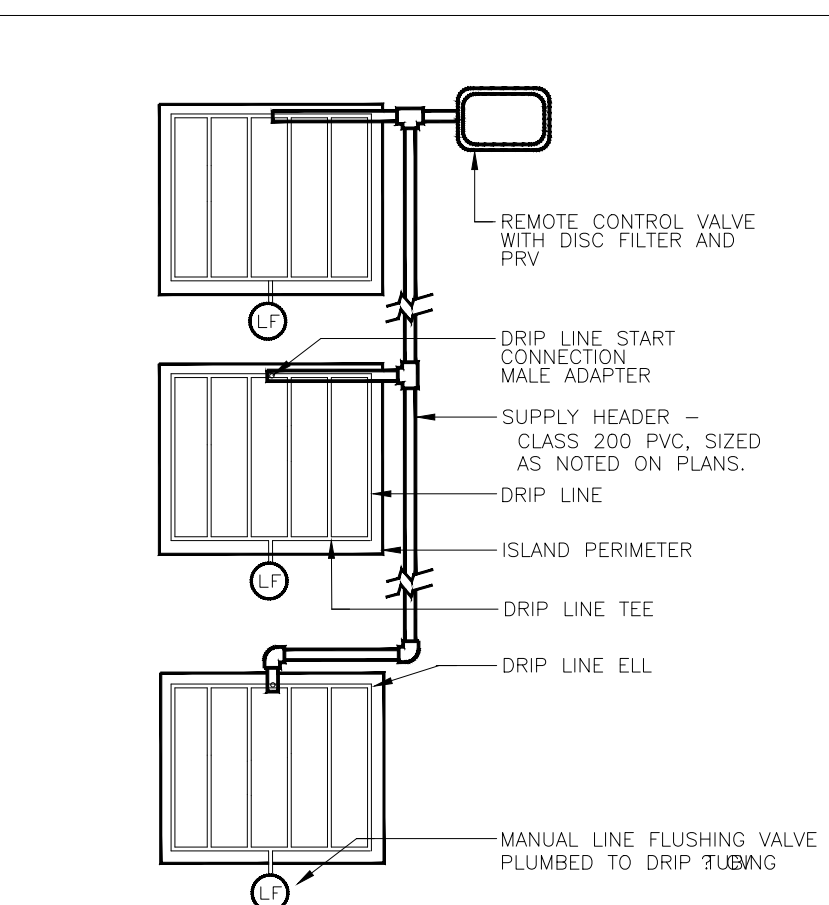
N.T.S.



SUPPLY AND EXHAUST HEADERS SHALL BE CLASS 200 PVC PIPE, OF THE SAME DIAMETER AS THE ZONE VALVE SIZE. USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

DRIP CENTER FEED LAYOUT

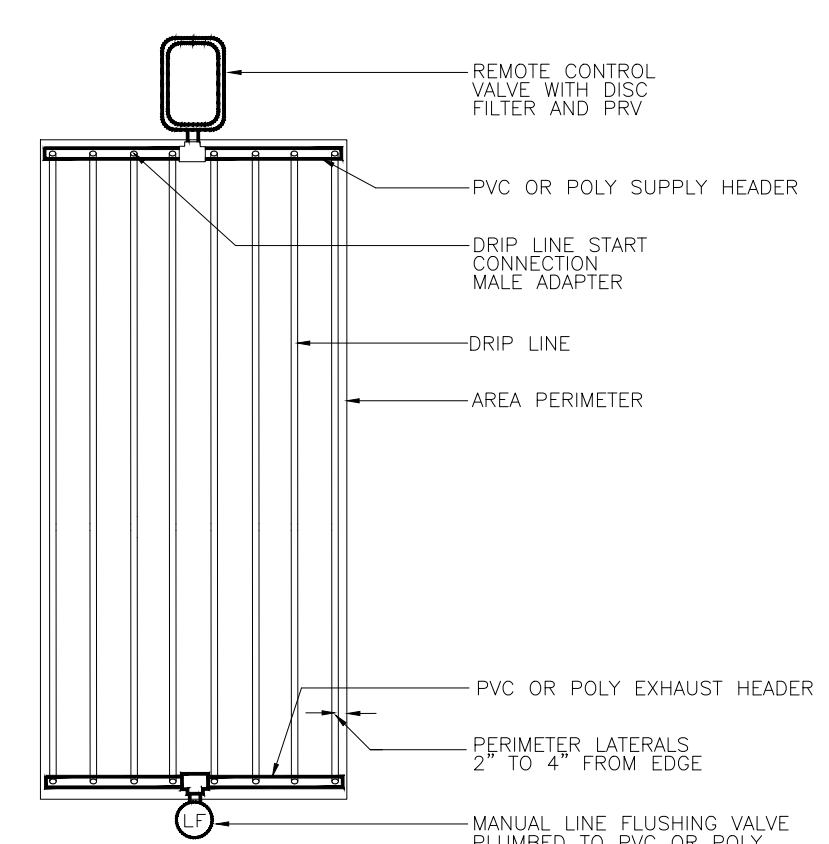
N.T.S.



USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

DRIP ISLAND LAYOUT

N.T.S.

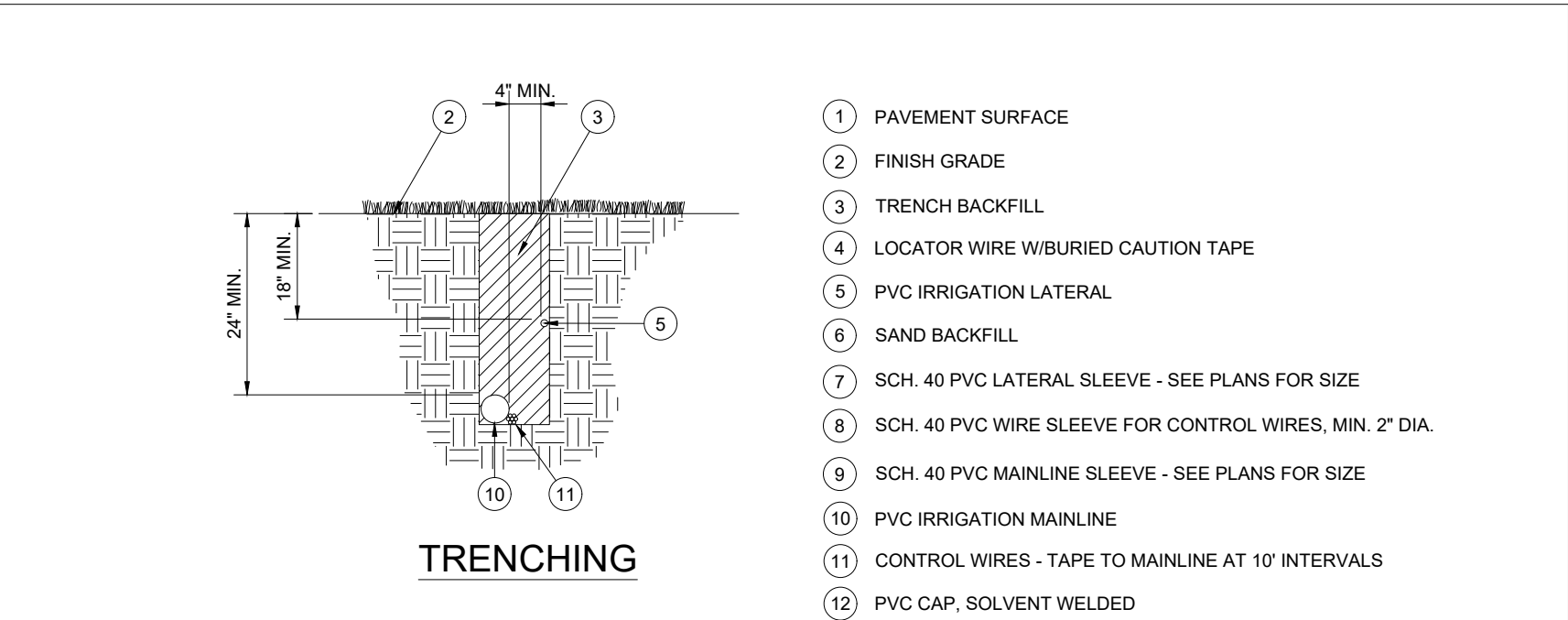


SUPPLY AND EXHAUST HEADERS SHALL BE CLASS 200 PVC PIPE, OF THE SAME DIAMETER AS THE ZONE VALVE SIZE.

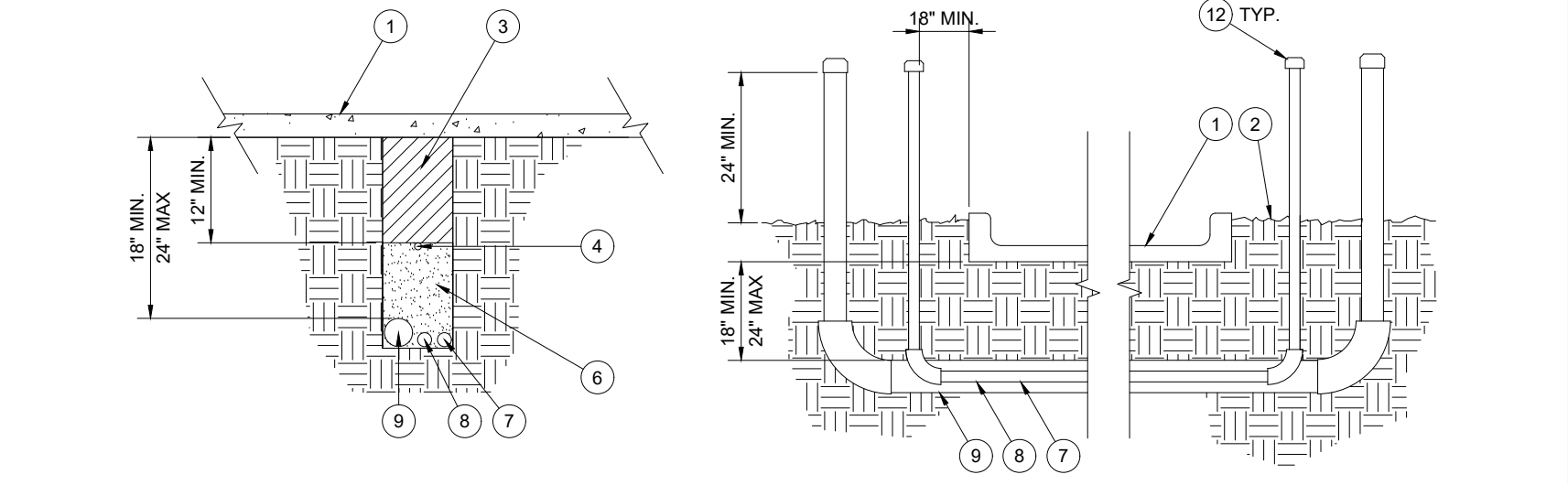
USE DRIP TUBE FOR SUPPLY AND EXHAUST HEADERS ON GRIDS WITH FLOW SMALLER THAN 5 GPM ONLY.

DRIP END FEED LAYOUT

N.T.S.



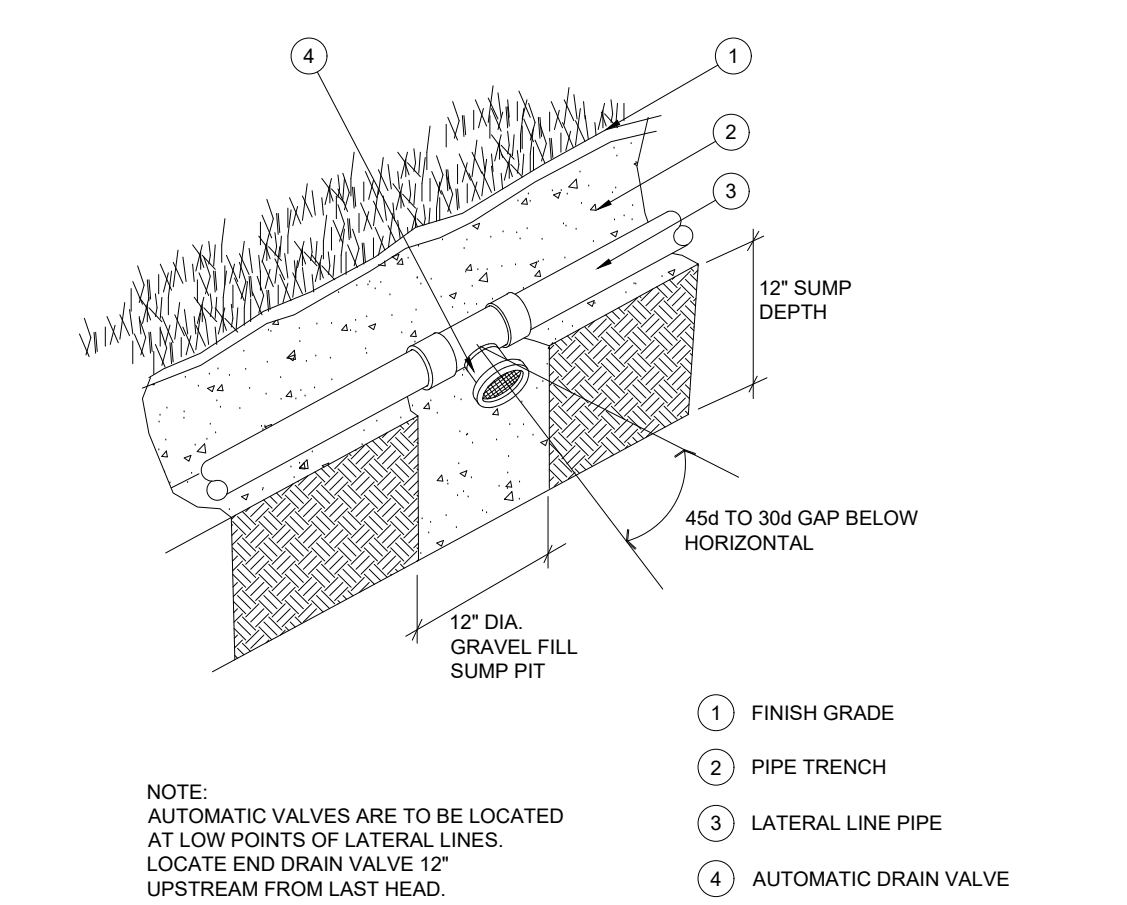
TRENCHING



SLEEVING

N.T.S.

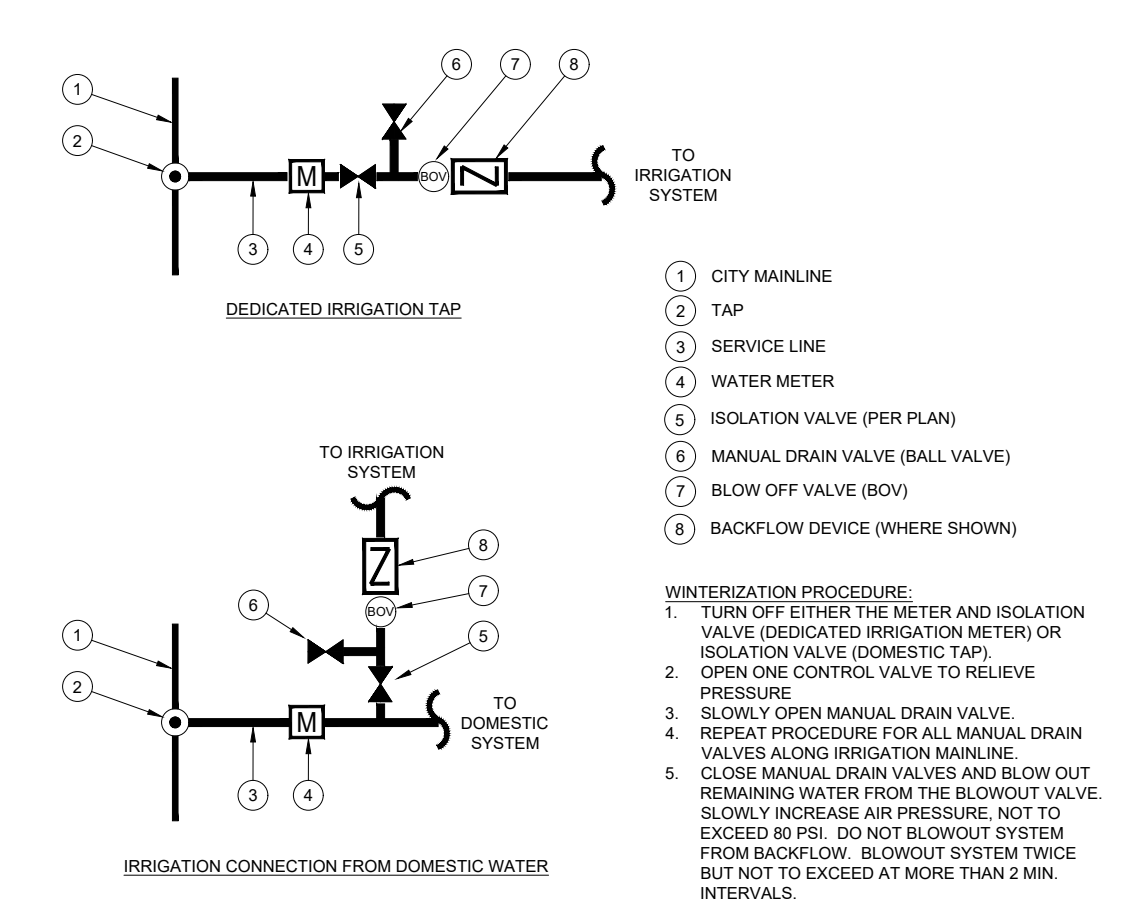
PIPE AND SLEEVE INSTALLATION



NOTE: AUTOMATIC VALVES ARE TO BE LOCATED AT LOW POINTS OF LATERAL LINES. LOCATE END DRAIN VALVE 12" UPSTREAM FROM LAST HEAD.

AUTOMATIC DRAIN VALVE

N.T.S.



WATER TAP DIAGRAM

N.T.S.

REVISIONS: SYM. DATE DESCRIPTION BY

PROJECT: WHATABURGER LANTANA, TX

WHATABURGER
300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216

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SHEET TITLE:

IRRIGATION DETAILS

UNIT NO.

DATE: 07-18-22

SCALE:

DRAWN BY: EMS

APPROVED BY: EMS

SHEET NO:

LI-2

FILE:

EVERGREEN
DESIGN GROUP
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addison, TX 75001
www.EvergreenDesignGroup.com

STATE OF TEXAS
RODNEY D. McNABE
5706
05-09-2023

WHATABURGER

Texas 811
Know what's below.
Call before you dig.

IRRIGATION SPECIFICATIONS

GENERAL	
A. QUALIFICATIONS OF IRRIGATION CONTRACTOR	1. ALL WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE IRRIGATION CONTRACTING FIRM SPECIALIZING IN IRRIGATION SYSTEMS. SEE THE LARGER PLAN FOR SPECIFIC EQUIPMENT AND SYSTEM LAYOUT.
	2. THE IRRIGATION CONTRACTOR MUST HAVE ON ITS STAFF A TEXAS LICENSED IRRIGATOR, AS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY. A LICENSED IRRIGATOR OR LICENSED IRRIGATION INSTALLER SHALL BE PRESENT AT THE PROJECT SITE AT ALL TIMES AS WORK IS IN PROGRESS. THE OWNER MAY DEMAND THAT WORK STOP UNTIL THE CONTRACTOR PROVIDES FOR A LICENSED IRRIGATOR OR LICENSED IRRIGATION INSTALLER TO BE PRESENT AT THE PROJECT SITE AND SUPERVISING ALL IRRIGATION WORK.
	3. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
B. SCOPE OF WORK	1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES, FEES, AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND/OR SHOWN ON THE IRRIGATION PLANS, NOTES, AND DETAILS.
	2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS. IN CASE OF CONFLICT BETWEEN THESE PLANS AND LOCAL AND/OR STATE CODES, CODES SHALL PREVAIL.
	3. THE INTENT OF THE IRRIGATION SYSTEM IS TO PROVIDE 100% COVERAGE OF ALL LANDSCAPE AREAS. THE IRRIGATION PLAN IS GENERALLY DIAGRAMMATIC, COORDINATE IRRIGATION INSTALLATION WITH UTILITY INSTALLATIONS. ACTUAL LOCATION OF CONTROLLER, BACKFLOW DEVICE, PIPING, VALVES, SPRAY HEADS, DRIP IRRIGATION, AND RELATED EQUIPMENT MAY NEED TO BE ADJUSTED BASED ON ACTUAL SITE CONDITIONS.
	4. FOR CLARITY PURPOSES, SOME IRRIGATION LINES AND EQUIPMENT ARE SHOWN IN HARDSCAPE AREAS WITHOUT ACCESS SLEEVES. THESE LINES SHALL BE INSTALLED IN A COMMON TRENCH OR AT THE BACK OF CURB IN LANDSCAPE AREAS. MINOR FIELD ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
PRODUCTS	
A. ALL MATERIALS SHALL BE NEW AND WITHOUT FLAWS OR DEFECTS OF ANY TYPE AND SHALL BE THE BEST OF THEIR CLASS AND KIND. ALL MATERIALS SHALL HAVE A MINIMUM GUARANTEE OF ONE YEAR AGAINST MATERIAL DEFECTS OR DEFECTIVE WORKMANSHIP. ALL MATERIALS SHALL BE OF THE BRANDS AND TYPES NOTED ON THE DRAWINGS OR AS SPECIFIED HEREIN, OR APPROVED EQUAL. THE CONTRACTOR MUST FIRST OBTAIN APPROVAL FROM THE IRRIGATION DESIGNER FOR AN APPROVED EQUAL BEFORE INSTALLING SUCH MATERIALS IN THE FIELD, OR THE CONTRACTOR MAY BE REQUIRED TO REPLACE SUCH MATERIALS AT HIS OWN COST.	
B. BACKFLOW PREVENTION DEVICES SHALL BE OF THE SIZE AND TYPE INDICATED ON THE DRAWINGS. INSTALL BACKFLOW PREVENTION UNITS IN ACCORDANCE WITH IRRIGATION AND CONSTRUCTION DETAILS AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.	
C. PIPING	1. PRESSURE SUPPLY LINES, DOWNSTREAM OF THE POINT-OF-CONNECTION: <ul style="list-style-type: none">a. SCHEDULE 40 PVC FOR ALL PIPE 2-1/2" OR LESSb. CLASS 315 PVC, GASKETED, FOR ALL PIPE 3" AND LARGER
	2. SLEEVING: SCHEDULE 40 PVC
	3. NON-PRESSURE LATERAL LINES (DOWNSTREAM FROM VALVES): CLASS 200 PVC
	4. FITTINGS: SCH. 40 PVC, EXCEPT AS NOTED OTHERWISE.
D. VALVES AND DRIP VALVE ASSEMBLIES: TYPE AND SIZE AS NOTED ON PLANS. EACH VALVE SHALL BEAR A PRE-MANUFACTURED, NUMBERED WATERPROOF TAG BEARING A NUMBER CORRESPONDING TO ITS VALVE SEQUENCE OF OPERATION ON THE CONTROLLER. THE OPERATION SEQUENCE SHALL MATCH THAT AS SHOWN ON THE PLANS.	
E. QUICK COUPLERS, BALL VALVES, AND GATE VALVES: TYPE AND SIZE PER PLANS.	
F. VALVE BOXES: TYPE AND SIZE AS NOTED ON DETAILS. ALL VALVES BOXES SHALL BE LOCKING BOLT-DOWN TYPE, FURNISHED WITH LIDS AND BOLTS. BOXES SHALL BE OF A SIZE TO CONTAIN THE ENTIRE VALVE AND/OR VALVE ASSEMBLY. THE VALVE BOX LID SHALL HAVE THE VALVE STATION NUMBER HEAT-BRANDED INTO THE LID WITH 2" HIGH LETTERS.	
G. FIXED SPRAY HEADS AND ROTORS: PLASTIC BODY POP-UP, WITH A REMOVABLE PLASTIC SPRAY NOZZLE. EXACT TYPE, MODEL, AND NOZZLE SHALL BE AS INDICATED ON PLANS.	
H. INTEGRAL EMITTER DRIP TUBING: TUBING MODEL AND FLOW RATE AS NOTED ON PLANS, WITH INTEGRAL EMITTERS WELDED TO THE INSIDE WALL OF THE TUBING AS AN INTEGRAL PART OF THE TUBING ASSEMBLY.	
I. AUTOMATIC CONTROLLER: TYPE AND MODEL PER PLANS. PROVIDE VANDAL-PROOF ENCLOSURE FOR ALL EXTERIOR INSTALLATIONS. PROVIDE LINE-VOLTAGE DISCONNECT SWITCH WITH GROUND FAULT PROTECTION.	
J. WIRE SPLICES SHALL BE ENCASED IN A WATERPROOF COMPOUND OR GEL. ALL FIELD SPLICES SHALL BE LOCATED IN A 6 INCH ROUND VALVE BOX.	
K. RAIN SENSOR: TYPE AND MODEL PER PLANS.	
METHODS	
A. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, AND OTHER EQUIPMENT SHOWN WITHIN PAVED AREAS OR OUT OF PROPERTY BOUNDARIES ARE FOR DESIGN CLARIFICATION ONLY, AND SHALL BE INSTALLED IN PLANTING AREAS WITHIN THE PROPERTY LINES OR LIMITS INDICATED ON PLAN. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL ABOVE-GRADE IRRIGATION EQUIPMENT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION, OR IRRIGATION CONTRACTOR MAY BE REQUIRED TO MOVE SUCH ITEMS AT HIS OWN COST. ENSURE FIELD COORDINATION IS MADE EARLY ON IN THE CONSTRUCTION PHASE SO PLACEMENT LOCATION IS CORRECT.	
B. THE IRRIGATION CONTRACTOR SHALL MEET WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK, AND SHALL OBTAIN ALL ENGINEERING, LANDSCAPE, AND OTHER APPLICABLE PLANS & DOCUMENTS. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE PLANS AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.	
C. THE IRRIGATION CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, GRADES OR DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF THE IRRIGATION DESIGNER. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS AND NECESSARY COSTS. SEE UTILITY PLANS FOR IRRIGATION POINTS OF CONNECTION (TAP) AND DOMESTIC WATER SUPPLY.	
D. THE IRRIGATION CONTRACTOR SHALL PAY ANY AND ALL FEES AND PERMITS ASSOCIATED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM.	
E. AT LEAST SEVEN DAYS BEFORE BEGINNING WORK, CONFIRM THE STATIC WATER PRESSURE IS AT LEAST 65 PSI AND LESS THAN 80 PSI. IF STATIC WATER PRESSURE IS OUTSIDE OF THE STATED RANGE, DO NOT PROCEED WITHOUT FIRST NOTIFYING THE IRRIGATION DESIGNER AND OWNER IN WRITING, AND OBTAINING SUBSEQUENT DIRECTION FOR CORRECTIONAL MEASURES. SHOULD THE IRRIGATION CONTRACTOR CHOOSE TO BEGIN THE INSTALLATION WITHOUT SUCH NOTIFICATION, THE IRRIGATION CONTRACTOR WILL ASSUME THE RESPONSIBILITY FOR ALL COSTS INCURRED TO ENSURE THE SYSTEM IS WORKING PROPERLY. NO CHANGE ORDERS WILL BE AUTHORIZED IN SUCH CIRCUMSTANCES.	
G. THE IRRIGATION CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL GRADE DIFFERENCES, LOCATIONS OF WALLS, STRUCTURES AND UTILITIES.	
H. COORDINATE, WITH THE OWNER, THE PROPOSED LOCATIONS OF THE AUTOMATIC CONTROLLER AND ANY REQUIRED SLEEVES THROUGH THE BUILDING FOR CONTROL WIRES.	
I. TRENCING/NEAR EXISTING TREES:	
	1. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
	2. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
	3. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
	4. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.

J. BACKFILL	1. ALL BACKFILL MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER. BACKFILL MATERIAL SHALL BE FREE FROM RUBBISH, ROCK LARGER THAN 1", LARGE STONES, BRUSH, SOIL, FROZEN MATERIAL OR OTHER UNSUITABLE SUBSTANCES THAT MAY DAMAGE PIPE DURING THE BACKFILLING OPERATIONS. SEPARATE OUT ROCKS LARGER THAN 1 INCH IN ANY DIRECTION FROM EXCAVATED MATERIAL, AND REMOVE FROM AREAS TO RECEIVE LANDSCAPING. COVER FOR BOTH TOP AND SIDES OF PIPE SHALL BE A MINIMUM OF 2 INCHES OF ROCK-FREE SOIL, SAND, OR OTHER APPROVED MATERIAL.
	2. IN THE EVENT THAT THE MATERIAL FROM THE EXCAVATION OR TRENCHING IS FOUND TO BE UNSUITABLE FOR USE IN BACKFILL, IT SHALL BE REMOVED FROM THE SITE AND PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL THEN PURCHASE AND FURNISH SUITABLE BACKFILL MATERIAL CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND OR OTHER APPROVED MATERIALS FREE OF DEBRIS.
K. BACKFLOW PREVENTER INSTALLATION:	CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER SOURCES AT LOCATION SHOWN ON PLANS AND AS APPROVED BY THE OWNER, AND SHALL MAKE ANY MINOR CHANGES IN LOCATION AS MAY BE NECESSARY DUE TO ACTUAL SITE CONDITIONS. BACKFLOW PREVENTER HEIGHT SHALL BE AS PER LOCAL CODES AND IRRIGATION DETAILS. INSTALL A BRASS BALL VALVE IMMEDIATELY UPSTREAM OF THE BACKFLOW DEVICE TO SERVE AS AN ISOLATION VALVE. TO EVERY EXTENT POSSIBLE, INSTALL BACKFLOW PREVENTER ION A LOCATION SCREENED FROM PUBLIC VIEW (SUCH AS BEHIND A SHRUB ROW).
L. PIPING	1. PIPE SIZE SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER PIPE SIZES SHALL BE PERMITTED, BUT SUBSTITUTIONS FOR LARGER SIZES MAY BE APPROVED.
	2. MAINLINE PIPE AND WIRES SHALL BE INSTALLED WITH A MINIMUM COVER OF 18 INCHES. LATERAL PIPE SHALL BE INSTALLED WITH A MINIMUM COVER OF 12 INCHES.
	3. ASSEMBLE ALL THREADED FITTINGS WITH TEFLON TAPE, WHICH SHALL BE APPLIED TO MALE THREADS ONLY.
	4. ALL SOLVENT-WELD CONNECTIONS SHALL BE MADE WITH APPROVED SOLVENT-WELD PRIMER AND GLUE.
	5. PIPE SHALL BE INSTALLED WITH A MINIMUM OF 4" HORIZONTAL CLEARANCE FROM ANY OTHER PIPE AND 2" VERTICAL CLEARANCE FROM ANY PIPES THAT CROSS OVER OR UNDER.
M. VALVES	1. VALVES SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS AND THE IRRIGATION DETAILS.
	2. VALVE BOXES SHALL BE INSTALLED FLUSH WITH THE GRADE, WITH CLEAN PEA GRAVEL LOCATED BELOW THE VALVE AS NOTED ON THE DETAILS. LOCATE BOXES WITHIN 12" TO 24" OF SIDEWALKS OR LANDSCAPE EDGES, WITH TOPS OF BOXES 1" ABOVE FINISH GRADE IN TURF, AND 3" ABOVE FINISH GRADE IN SHRUB AREAS (TO AVOID BEING COVERED BY MULCH). EACH VALVE CONTROL SOURCE TO THE CONTROLLER UNIT ONLY.
	3. DO NOT INSTALL MORE THAN TWO VALVES IN A JUMBO BOX.
N. DRIP IRRIGATION EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S DIRECTIONS AND THE IRRIGATION DETAILS.	
O. SPRAY, ROTOR, AND BUBBLER HEADS	1. ALL SPRAY AND ROTOR HEAD LOCATIONS SHALL BE STAKED, FLAGGED AND/OR OTHERWISE CLEARLY MARKED ON THE GROUND PRIOR TO INSTALLATION. SPRINKLER HEAD STAKING SHALL BE INSPECTED AND APPROVED BY THE OWNER'S REPRESENTATIVE BEFORE INSTALLATION.
	2. ALL SPRAY HEADS SHALL BE CONNECTED WITH A 12 INCH MINIMUM LENGTH OF 1/2 INCH FLEX PVC. THE FLEX PVC SHALL BE SOLVENT WELDED TO SCHEDULE 40 PVC FITTINGS WITH WELD-ON #795 SOLVENT AND #P-70 PRIMER. ALL ROTORS SHALL BE CONNECTED TO LATERAL LINES WITH PRE-MANUFACTURED SWING JOINTS.
	3. ALL ROTOR, SPRAY AND BUBBLER HEADS SHALL BE SET PERPENDICULAR AND FLUSH TO FINISH GRADE AND WITH A CLEARANCE OF FOUR INCHES (MINIMUM) FROM THE EDGE OF ANY BUILDINGS, WALLS, BOLLIDERS, AND HARDSCAPE, UNLESS OTHERWISE SPECIFIED.
	4. ALL ROTOR, SPRRAY AND BUBBLER HEADS AND VALVES SHALL BE FLUSHED AND ADJUSTED FOR OPTIMUM COVERAGE WITH MINIMUM OVERSPRAY ON WALKS, STREETS, WALLS, ETC.
	5. LATERAL PIPE TO TREE STREAM BUBBLER HEADS IS OMITTED FOR CLARITY. CONNECT TREE BUBBLER HEADS TO VALVES AS SHOWN WITH CLASS 200 PVC PIPE SIZED TO ALLOW A MAXIMUM FLOW VELOCITY OF 5 FEET PER SECOND
P. AUTOMATIC CONTROLLER	1. INSTALL THE CONTROLLER AT THE LOCATION INDICATED BY THE OWNER. INSTALL CONTROLLER WITH A BACKUP BATTERY AS RECOMMENDED BY THE MANUFACTURER.
	2. THE IRRIGATION CONTRACTOR SHALL COORDINATE 120 VAC ELECTRICAL POWER TO CONTROLLER AND DEDICATE ONE (1) 20-AMP BREAKER FOR EACH CONTROLLER. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL SOURCE TO THE CONTROLLER UNIT ONLY.
	3. ALL VALVE CONTROL WIRE SHALL BE TWO-WIRE CABLE BY CONTROLLER MANUFACTURER, DIRECT BURIAL. NO SPLICES SHALL BE ALLOWED EXCEPT AT VALVES AND CONTROLLER. WHERE SPLICES MAY BE NECESSARY DUE TO EXCESSIVELY LONG WIRE RUNS, THE CONTRACTOR SHALL MAKE ALL SPLICES IN 6" ROUND VALVE BOXES WITH 3M'S "DB-DIRECT BURIAL SPLICE KIT". THE CONTRACTOR SHALL LABEL ALL WIRES WITH WATERPROOF TAGS AND MARKERS AT ALL SPLICES AND VALVE MANIFOLDS, AND SHALL LEAVE A 24" COIL OF EXCESS WIRE AT EACH CONNECTION.
	4. CONNECT ALL DIRECT BURIAL WIRES TO VALVES USING RAIN BIRD WC20 (UNLESS OTHERWISE SPECIFIED).
	5. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL CONTROL WIRE SLEEVES AND PIPE SLEEVES UNDER PAVED AREAS PRIOR TO PAVING. -SEE SLEEVING NOTES.
Q. INSULATION OF THE RAIN SENSOR	1. THE RAIN SENSOR SHALL BE INSTALLED IN THE VICINITY OF THE CONTROLLER UNIT, PRIOR TO WITH THE OWNER. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THE RAIN SENSOR IS PLACED IN A LOCATION WHERE IT CAN RECEIVE ADEQUATE RAINFALL WITHOUT OBSTRUCTIONS. IF THE RAIN SENSOR IS IN AN INADEQUATE LOCATION, THE IRRIGATION CONTRACTOR MAY BE REQUIRED TO RELOCATE IT AT NO ADDITIONAL COST TO THE OWNER.
R. ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.	
S. QUALITY CONTROL	1. PERFORM COVERAGE TESTS AFTER SPRINKLER SYSTEM IS COMPLETED, BUT PRIOR TO ANY PLANTING AND PERFORM TESTING IN THE PRESENCE OF THE IRRIGATION DESIGNER AND THE CONSTRUCTION MANAGER.
	2. TEST SYSTEM TO ASSURE THAT ALL LAWN AND PLANTING AREAS ARE WATERED COMPLETELY AND UNIFORMLY.
	3. MAKE ALL NECESSARY ADJUSTMENTS TO PROVIDE COMPLETE COVERAGE, INCLUDING REALIGNMENT OF HEADS AND REPLACEMENT OF NOZZLES.
U. CLEAN UP	1. DURING IRRIGATION EXCAVATION AND INSTALLATION, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
	2. DISPOSED LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
V. INSPECTION AND ACCEPTANCE	1. UPON COMPLETION OF THE WORK, THE IRRIGATION CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE IRRIGATION CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
	2. WHEN THE INSPECTED WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
	3. THE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
	4. CONTROLLER CHART: THE IRRIGATION CONTRACTOR SHALL PROVIDE A 11" X 17" COLOR-CODED, LAMINATED COPY OF THE IRRIGATION LAYOUT AND PLACE IT IN THE CONTROLLER'S COVER. THE CONTROLLER CHART SHALL CLEARLY DELINEATE THE AREAS COVERED BY EACH VALVE, USING A SEPARATE COLOR FOR EACH ZONE.
	5. TURN THE FOLLOWING ITEMS IN TO THE OWNER UPON COMPLETION OF THE INSTALLATION: <ul style="list-style-type: none">a. QUICK COUPLER KEYS (2)b. CONTROLLER MANUAL (1)c. CONTROLLER KEYS (2)d. A MINIMUM OF (2) COPIES OF RECORD DRAWINGS. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
W. REFER TO THE PLANTING SPECIFICATIONS FOR ADDITIONAL CONDITIONS OF FINAL ACCEPTANCE AND START OF THE MAINTENANCE PERIOD.	
X. WARRANTY	1. THE IRRIGATION SYSTEM SUPPLIED AND INSTALLED SHALL BE WARRANTED (LABOR AND MATERIALS) TO REMAIN OPERATIONAL FOR A PERIOD OF 12 MONTHS AFTER THE DATE OF FINAL ACCEPTANCE. DURING THIS PERIOD, THE CONTRACTOR SHALL ALSO REPAIR ANY SETTLEMENT OF THE IRRIGATION TRENCHES.
	2. BY THE END OF THE WARRANTY PERIOD, ANY IRRIGATION PART THAT IS EITHER NON-OPERATIONAL OR THAT IS OPERATING BELOW STANDARDS AS DETERMINED BY THE OWNER, SHALL BE REMOVED FROM THE SITE AND SHALL BE REPLACED. REPLACEMENTS SHALL BE OF THE SAME KIND AND AS SPECIFIED IN THE IRRIGATION LEGEND, AND SHALL BE INSTALLED AS ORIGINALLY SPECIFIED.
	3. IRRIGATION PARTS DAMAGED OR IMPAIRED DUE TO ACTS OF GOD, VANDALISM, AND/OR THE OWNER'S IMPROPER MAINTENANCE SHALL NOT BE COVERED BY THIS WARRANTY.
Y. SHOULD THE PERMITTING JURISDICTION REQUIRE AN IRRIGATION AUDIT, THE IRRIGATION CONTRACTOR SHALL RETAIN THE SERVICES OF A THIRD-PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR, AT NO ADDITIONAL COST TO THE OWNER.	

IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL
	RAIN BIRD R-VAN-STRIP 1806-SAM-P45, TURF ROTARY, 5'X15" (LCS AND RCS), 5'X30" (SST) HAND ADJUSTABLE MULTI-STREAM ROTARY W/ 1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
	RAIN BIRD R-VAN14 1806-SAM-P45, TURF ROTARY, 8'-14' 45'-270" AND 360" HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
	RAIN BIRD R-VAN18 1806-SAM-P45, TURF ROTARY, 13'-18' 45'-270" AND 360" HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
	RAIN BIRD R-VAN24 1806-SAM-P45, TURF ROTARY, 17'-24' 45'-270" AND 360" HAND ADJUSTABLE MULTI-STREAM ROTARY W/1800 TURF SPRAY BODY ON 6.0" POP-UP, WITH CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATOR. 1/2" NPT FEMALE THREADED INLET.
	RAINBIRD 1806-SAM-PRS SERIES POP UP SPRAY HEADS WITH ADAPTER AND RAINBIRD #1402 SERIES BUBBLER NOZZLES; (TWO PER TREE) SEE INSTALLATION NOTE #0-5 REGARDING TREE BUBBLER LATERAL PIPE
	RAINBIRD 5004PCSAMR, ADJUSTABLE ARC 4" POP UP ROTARY HEAD, PART CIRCLE, #1.5 LA NOZZLE UNLESS NOTED OTHERWISE RAINBIRD 5004FCSAMR, ADJUSTABLE ARC 4" POP UP ROTARY HEAD, FULL CIRCLE, #3.0 LA NOZZLE UNLESS NOTED OTHERWISE
	RAINBIRD XCZ-100-PRB-COM / 150-PRB-COM SERIES AUTOMATIC DRIP VALVE ASSEMBLY WITH 40 PSI PRESSURE REGULATOR XCZ-100-PRB-COM - 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 0.3GPM TO 20GPM.
	XCZ-150-PRB-LCDR - 1-1/2" PESB-R SCRUBBER GLOBE VALVE WITH SINGLE 1-1/2" PRESSURE REGULATING (40PSI) QUICK-CHECK BASKET FILTERS. FLOW RANGE: 15-62GPM.
	RAINBIRD PEB SERIES ELECTRIC REMOTE CONTROL, "TREE BUBBLER ZONE" VALVE SEE INSTALLATION NOTE #0-5 REGARDING TREE BUBBLER LATERAL PIPE
	RAIN BIRD PEB SERIES 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.
	AREA TO RECEIVE DRIPLINE RAINBIRD XFS-CV-06-12 SERIES DRIP TUBE IN SHRUB BED INSTALLED AT 2" DEPTH
	AREA TO RECEIVE DRIPLINE RAINBIRD XFS-CV-06-12 SERIES DRIP TUBE IN NARROW TURF AREAS INSTALLED AT 4" DEPTH
	ZURN / WILKINS 375XLB SERIES REDUCED PRESSURE TYPE BACKFLOW PREVENTOR INSTALLED PER CITY CODE WITH HEATED / INSULATED ALUMINUM ENCLOSURE AND SAME SIZE BRONZE BALL VALVE INSTALLED ON THE UP-STREAM SIDE. G.C. TO COORDINATE POWER TO BACKFLOW ENCLOSURE LOCATION PRIOR TO CONSTRUCTION
	LASCO "V" SERIES SCH. 80 PVC TRUE UNION BALL VALVE, MAINLINE SIZE
	IRRIGATION WATER METER AND TAP, SIZE AS NOTED ON THE PLAN RAINBIRD 33-DNP QUICK COUPLING VALVE WITH LOCKING PURPLE COVER AND 3/4" PVC BALL VALVE
	RAINBIRD ESP12LXMEF2P SERIES AUTOMATIC WALL MOUNT CONTROLLER WITH ONE ESPLXMSM12 STATION MODULE
	WR2-RFC RAIN / FREEZE SENSOR LOCATE SENSOR AS FIELD DIRECTED BY THE LANDSCAPE ARCHITECT
	"MASTER" ELECTRIC VALVE (SAME SIZE AS METER) WITH RAINBIRD FLOW SENSOR MODEL #FS100B SERIES
	IRRIGATION LATERAL LINE: CLASS 200
	IRRIGATION MAINLINE: SCHEDULE 40 PVC
	IRRIGATION SLEEVES, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED
	IRRIGATION LEEVE, SCH. 40 PVC, MIN. TWICE SIZE OF PIPE TO BE INSERTED
IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 PVC CLASS 200 IRRIGATION PIPE. ONLY LATERAL TRANSITION PIPE SIZES 1" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 3/4" IN SIZE.	

IRRIGATION NOTE:

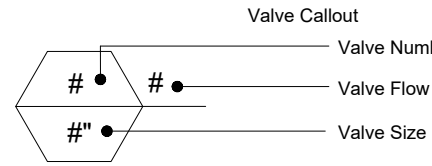
- I.L.I.C. SHALL SELECT R-VAN SPRAY NOZZLES FOR "HEAD-TO-HEAD" COVERAGE, ADJUSTED FOR NO OVERSPRAY ONTO WALLS AND WALKS. NO OVERSPRAY INTO STREETS IS PERMITTED.
- ALL PIPE TO BE SIZED SUCH THAT FLOWS WILL NOT EXCEED VELOCITY OF 5 FPS

WATER CONSERVATION

IRRIGATION WATER CONSERVATION SHALL BE ACCOMPLISHED THROUGH THE FOLLOWING EFFORTS:

- SEPARATE TURF / SHRUB ZONES FOR SCHEDULING ADJUSTMENT
- NO OVERSPRAY ONTO PAVEMENT PERMITTED
- USE OF RAIN SENSOR SHUT OFF OVER-RIDE DEVICE

VALVE KEY



REVISIONS:	BY
SYM.	DATE

PROJECT: WHATABURGER
LANTANA, TX

WHATABURGER
300 CONCORD PLAZA DR.
SAN ANTONIO, TEXAS
210-476-6000 ZIP 78216

THIS DRAWING IS THE PROPERTY OF WHATABURGER, SAN ANTONIO, TEXAS AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF WHATABURGER.

SHEET TITLE:

IRRIGATION
SPECS

UNIT NO.

DATE: 07-18-22

SCALE:

DRAWN BY: EMS

APPROVED BY: EMS

SHEET NO:

LI-3

FILE:



Rodney McNabb
05-09-2023



Exhibit 2



June 22, 2023

[NAME]
[ADDRESS]
[CITY], [STATE] [ZIP]

Re: Proposed Conditional Use Permit and Site Plan for Restaurant with Drive-Through

Dear [NAME],

The Planning and Zoning Commission for the Town of Bartonville, Texas will conduct a public hearing at 7:00 p.m. on July 5, 2023, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider recommendations to the Town Council regarding an Ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning Regulations for the Town of Bartonville, to establish a Conditional Use Permit for a restaurant with drive-through on a two-acre tract or parcel of land situated in Lot 1, Block 1, of Lantana Town Center Phase II, in the Town of Bartonville, Denton County, Texas. The subject property is located on the eastern corner of the intersection of FM 407 and Blanco Drive, in Bartonville, Texas. The applicant is Matthew Maly, P.E. The Town of Bartonville file number for this application is CUP-2023-003; and a Resolution approving a Site Plan for the same property described above, containing a restaurant with a drive-through and other site appurtenances. The Town of Bartonville file number for this application is SP-2023-001.

The Town Council will conduct a second Public Hearing at 7:00 p.m. on July 25, 2023, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider the proposed Conditional Use Permit and Site Plan, and recommendations of the Planning and Zoning Commission. All interested parties are encouraged to attend.





Sincerely,

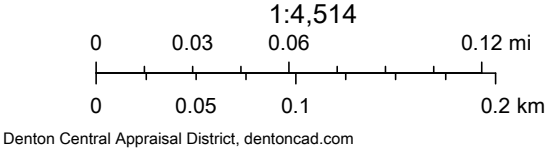
Thad Chambers, CPM
Town Administrator
Town of Bartonville

Denton CAD Web Map



9/14/2022, 4:22:39 PM

 Parcels  Roads  MEDIAL  MINOR
 MAJOR



NAME	ADDRESS	CITY	STATE	ZIP
DENTON COUNTY FRESH WATER SUPPLY DIST NO 7 C/O CLAY E CRAWFORD	19 BRIAR HOLLOW LN STE 245	HOUSTON	TX	77027-2858
CF LANTANA ARCIS LLC C/O ARCIS GOLF	4851 LYNDON B JOHNSON FWY STE 600	DALLAS	TX	75244-6036
DENTON COUNTY FRESH WATER SUPPLY DISTRICT NO.6	19 BRIAR HOLLOW LN STE 245	HOUSTON	TX	77027-2858
A-S 114 LANTANA TC PHASE 2 LP	8827 W SAM HOUSTON PKWY N STE 200	HOUSTON	TX	77040-5383
A-S 114 LANTANA TC LP	8827 W SAM HOUSTON PKWY N STE 200	HOUSTON	TX	77040-5383
A-S 114 LANTANA TC LP	8827 W SAM HOUSTON PKWY N STE 200	HOUSTON	TX	77040-5383
A-S 114 LANTANA TC LP	8827 W SAM HOUSTON PKWY N STE 200	HOUSTON	TX	77040-5383
A-S 114 LANTANA TC LP	8827 W SAM HOUSTON PKWY N STE 200	HOUSTON	TX	77040-5383
A-S 114 LANTANA TC LP	8827 W SAM HOUSTON PKWY N STE 200	HOUSTON	TX	77040-5383
KROGER TEXAS LP C/O REAL ESTATE DEPARTMENT	751 FREEPORT PKWY	COPPELL	TX	75019-4411
A-S 114 LANTANA TC PHASE 2 LP	8827 W SAM HOUSTON PKWY N STE 200	HOUSTON	TX	77040-5383

Exhibit 3

DENTON RECORD-CHRONICLE
P.O. BOX 369
DENTON TX 76202
(940)566-6800

ORDER CONFIRMATION

Salesperson: Legals Denton

Printed at 06/14/23 09:54 by plaga-dm

Acct #: 232

Ad #: 53012

Status: New

BARTONVILLE TOWN OF
1941 EAST JETER ROAD
ARGYLE TX 76226

Start: 06/17/2023 Stop: 06/17/2023

Times Ord: 1 Times Run: ***

STD9 1.00 X 55.00 Words: 242

Total STD9 56.00

Class: 9005 DP LG LEGALS

Rate: CLLLG Cost: 45.20

Affidavits: 1

Ad Descrpt: WHATABURGER CUP & SITE PL

Descr Cont: NOTICE OF PUBLIC HEARING

Given by: RYAN A WELLS-AD TERRAM CONSULT

P.O. #: THAD CHAMBERS

Contact:

Phone: (817)430-4052

Fax#:

Email: tdixon@townofbartonville.com Created: plaga 06/14/23 09:53

Agency: Last Changed: plaga 06/14/23 09:54

URL: _____

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Camera Ready: N

Group: _____ AdType: CLASS

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Changes: None ___ Copy ___ Art ___ Size ___ Copy Chg Every Run ___

Coupon: _____ Gang Ad #: _____

Ad Copy Method: _____

Special Instr: _____

COMMENTS:

LGL - NOPH Whataburger CUP and Site Plan

PUB ZONE EDT TP RUN DATES

DRMC A 95 S 06/17

DWRC A 84 S 06/17

AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Name (print or type)

Name (signature)

(CONTINUED ON NEXT PAGE)

DENTON RECORD-CHRONICLE
P.O. BOX 369
DENTON TX 76202
(940)566-6800

ORDER CONFIRMATION (CONTINUED)

Salesperson: Legals Denton

Printed at 06/14/23 09:54 by plaga-dm

Acct #: 232

Ad #: 53012

Status: New

NOTICE OF PUBLIC HEARING

The Planning and Zoning Commission for the Town of Bartonville, Texas will conduct a public hearing at 7:00 p.m. on July 5, 2023, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider recommendations to the Town Council regarding an Ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning Regulations for the Town of Bartonville, to establish a Conditional Use Permit for a restaurant with drive-through on a two-acre tract or parcel of land situated in Lot 1, Block 1, of Lantana Town Center Phase II, in the Town of Bartonville, Denton County, Texas. The subject property is located on the eastern corner of the intersection of FM 407 and Blanco Drive, in Bartonville, Texas. The applicant is Matthew Maly, P.E. The Town of Bartonville file number for this application is CUP-2023-003;

and a Resolution approving a Site Plan for the same property described above, containing a restaurant with a drive-through and other site appurtenances. The Town of Bartonville file number for this application is SP-2023-001.

The Town Council will conduct a second Public Hearing at 7:00 p.m. on July 18, 2023, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider the proposed Conditional Use Permit and Site Plan, and recommendations of the Planning and Zoning Commission. All interested parties are encouraged to attend.

Drc 06/17/2023

DENTON RECORD-CHRONICLE
P.O. BOX 369
DENTON TX 76202
(940)566-6800

ORDER CONFIRMATION

Salesperson: Legals Denton

Printed at 06/27/23 16:48 by amcco-dm

Acct #: 232

Ad #: 53151

Status: New WHOLD

BARTONVILLE TOWN OF
1941 EAST JETER ROAD
ARGYLE TX 76226

Start: 07/01/2023 Stop: 07/01/2023

Times Ord: 1

Times Run: ***

STD9 1.00 X 100.00 Words: 381

Total STD9 100.00

Class: 9005 DP LG LEGALS

Rate: CLLLG

Cost: 76.00

Affidavits: 1

Ad Descrpt: NOPH 7/18

Descr Cont: TOWN OF BARTONVILLE NOTIC

Given by: TAMMY DIXON

P.O. #: SHANNON MONTGOMERY

Contact: SHANNON MONTGOMERY

Phone: (817)430-4052

Fax#:

Email: smontgomery@townofbartonvill

Created: amcco 06/27/23 16:36

Agency:

Last Changed: amcco 06/27/23 16:47

URL: _____

Source: _____

Section: CLASSIFIED Page: _____

Camera Ready: N

Group: _____ AdType: CLASS

Misc: _____

Color: _____

Proof: _____

Pickup Date: _____ Ad#: _____

Delivery Instr: _____

Pickup Src: _____

Changes: None _____ Copy _____ Art _____ Size _____ Copy Chg Every Run _____

Coupon: _____

Gang Ad #: _____

Ad Copy Method: _____

Special Instr: _____

COMMENTS:

LGL - NOPH 7/18/2023

PUB ZONE EDT TP RUN DATES

DRMC A 95 S 07/01

DWRC A 84 S 07/01

AUTHORIZATION

Under this agreement rates are subject to change with 30 days notice. In the event of a cancellation before schedule completion, I understand that the rate charged will be based upon the rate for the number of insertions used.

Name (print or type)

Name (signature)

(CONTINUED ON NEXT PAGE)

DENTON RECORD-CHRONICLE
P.O. BOX 369
DENTON TX 76202
(940)566-6800

ORDER CONFIRMATION (CONTINUED)

Salesperson: Legals Denton

Printed at 06/27/23 16:48 by amcco-dm

Acct #: 232

Ad #: 53151

Status: New WHOLD WHOL

**TOWN OF BARTONVILLE
NOTICE OF PUBLIC HEARINGS**

The Town Council will conduct Public Hearings at 7:00 p.m. on July 25, 2023 (rescheduled from the previously published date of July 18, 2023), at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and recommendations of the Town of Bartonville Planning and Zoning Commission to consider:

- Proposed amendments to the Town of Bartonville Comprehensive Plan. This is a major update to the Comprehensive Plan, which has been developed over the past six months by Town staff in consultation with the Planning & Zoning Commission. The update largely reflects community vision and preferences gathered via a survey sent out to Bartonville residents in September 2022; and
- Proposed Ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning Regulations for the Town of Bartonville, to establish a Conditional Use Permit for a restaurant with drive-through on a two-acre tract or parcel of land situated in Lot 1, Block 1, of Lantana Town Center Phase II, in the Town of Bartonville, Denton County, Texas. The subject property is located on the eastern corner of the intersection of FM 407 and Blanco Drive, in Bartonville, Texas. The applicant is Matthew Maly, P.E. The Town of Bartonville file number for this application is CUP-2023-003;
- and a Resolution approving a Site Plan for the same property described above, containing a restaurant with a drive-through and other site appurtenances. The Town of Bartonville file number for this application is SP-2023-001; and
- Proposed Ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning Regulations for the Town of Bartonville, to change the zoning designation for a one-acre tract or parcel of land situated in the Keith Survey, Abstract Number A1643A, Tract 4, and in the Newton Allsup Survey, Abstract Number 64870, Tract 7, in the Town of Bartonville, Denton County, Texas, from Agricultural (AG) to Residential Estates, 2-Acre Minimum (RE-2). The tract of land is located on the south side of Frenchtown Road, approximately 330 feet east of its intersection with Dyer Road, in Bartonville, Texas. The applicant is Melissa Grau. The Town of Bartonville file number for this application is ZC-2023-002.

All interested parties are encouraged to attend.

Drc 07/01/2023