

Exhibit 1



TOWN OF BARTONVILLE SITE PLAN APPLICATION/SITE PLAN AMENDMENT APPLICATION

1. Applicant:

Name: Kofi Addo on behalf of Savory Swig Stores, LLC

Address: 2805 Dallas Parkway, Suite 310

City/State: Plano /TX Zip: 75093

Office #: (972) 497-2992 Cell #: _____ Fax #: N/A

Email Address: kaddo@bowman.com

2. Property Owner:

Name: A-S 114 LANTANA TOWN CENTER LP

Address: 8827 W SAM HOUSTON PKWY N STE 200

City/State: HOUSTON, TX Zip: 77040-5383

Office #: 281.640.7195 Cell #: 713.899.9634 Fax #: _____

Email Address: MWARNEY@NOWQUEST.COM

3. Site Location:

Street Address: 3800 FM 407, Lantana, TX 76226

Lot, Block, & Subdivision Name: DCFWS#7 RETAIL CENTER ADDITION BLK A LOT 3

4. Summarize the proposed development. If necessary, use a separate sheet.

quick service restaurant, exclusively offering drive-through services and devoid of any indoor or outdoor public seating arrangements. The restaurant serves flavored sodas, ready baked cookies, and pretzels.

5. Present Zoning: GC/ PD-1 Present Land Use: Undeveloped

Future Land Use Designation: General Commercial

6. All applications must contain the required information as specified in the Town of Bartonville's Comprehensive Zoning Ordinance, (Code of Ordinances, Chapter 14, Exhibit "A").

I UNDERSTAND THAT IT IS NECESSARY FOR ME OR MY AGENT TO BE PRESENT AT BOTH THE PLANNING AND ZONING COMMISSION MEETING AND TOWN COUNCIL MEETING

FAILURE TO APPEAR before the Planning and Zoning Commission or Town Council for more than one (1) hearing without an approved delay by the Town Administrator or his/her designee shall constitute sufficient grounds to table or deny the request unless the Town is notified at least 72 hours prior to the hearing.

DENIALS BY THE PLANNING AND ZONING COMMISSION shall be forwarded to Town Council, along with the Commission's reasons for denial and will require a ¾ favorable vote of all members of Town Council.

TABLED BY THE PLANNING AND ZONING COMMISSION: The Commission may not defer its report for more than 90 days from the time it was posted on the agenda, or until it has had an opportunity to consider other proposed changes, which may have a direct bearing, unless a postponement is requested by the applicant.

Applicant Name (print or type): Kofi Addo

Applicant signature: 

Owner Name (print or type): MICHAEL HARVEY - SENIOR DEVELOPMENT MANAGER

Owner signature: 

Date Received _____ Date Paid _____ Receipt Number _____



NOTARY FORM

Town of Bartonville

THE FOLLOWING IS TO BE COMPLETED BY EACH OWNER THAT IS NOT SIGNING THIS APPLICATION.

Dated: 10/2/2023

I, MICHAEL HARNEY, owner of the Property located at FM 407/Jeter Rd., Bartonville, TX 76226 do hereby certify that I have given my permission to Kofi Addo, to submit this conditional use permit application.

MICHAEL HARNEY - SENIOR DEVELOPING MANAGER
Print Name

[Signature]
Signature of Owner

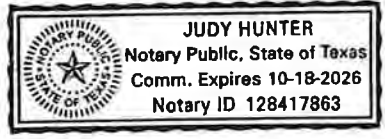
8827 W Sam Houston Pkwy N; Suite 200; Houston TX 77040
Address

281.640.7195
Phone No.

State of Texas §
County of Harris §

Before me, Michael Harney Judy Hunter a Notary Public in and for said County and State, on this day personally appeared Michael Harney known to me to be the person whose name is subscribed to the foregoing certificate, and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

(Seal)



[Signature]
Notary



Town of Bartonville

Application for Conditional Use Permit

All applications must be submitted in accordance with the Submission Schedule attached hereto. Please complete the attached checklist. A site plan application must be submitted with all Conditional Use Permit Applications.

Applicant (Owner or Agent, Specify): Kofi Addo on behalf of Savory Swig Stores, LLC

Mailing Address: 2805 Dallas Parkway, Suite 310, Plano, TX75093

Phone: (972) 497-2992 **Fax:** N/A

Email Address*: kaddo@bowman.com
(*This will be the primary method of communication)

Owner's Name(s) if different¹: A-S 114 LANTANA TOWN CENTER LP

Owner's Address: 8827 W SAM HOUSTON PKWY N STE 200, HOUSTON, TX 77040-5383

Phone: 281.640.7195 / 713.899.9634 **Fax:** _____

General Location of Property: 3800 FM 407, Lantana, TX 76226

Current Zoning: GC/ PD-1

Legal Description of Property: DCFWS#7 RETAIL CENTER ADDITION BLK A LOT 3
(Attach Complete Metes and Bounds Description)

Use Being Requested (In accordance with Appendix C:Land Use Table, of the Town of Bartonville's Comprehensive Zoning Ordinance: Drive- Through in GC Zoning

I hereby certify that the information concerning this proposed zoning change is true and correct and that I am the owner of record or the authorized for the owner of the above described property.

Kofi Addo
Signature of Applicant/Owner

10/31/2023
Date

STAFF USE ONLY:

Date Submitted: _____ **Fee Paid:** _____

Accepted By: _____ **Check No. :** _____

P& Z Public Hearing: _____ **Metes & Bounds Attached:** Yes No

Council Public Hearing: _____ **Notarized Statement:** Yes No N/A

¹ A NOTARIZED statement that authorizes the agent to represent the owner(s) in this matter must be attached to this application.



NOTARY FORM

Town of Bartonville

THE FOLLOWING IS TO BE COMPLETED BY EACH OWNER THAT IS NOT SIGNING THIS APPLICATION.

Dated: 10/2/2023

I, MICHAEL HARNEY, owner of the Property located at FM 407/Jeter Rd., Bartonville, TX 76226 do hereby certify that I have given my permission to Kofi Addo, to submit this conditional use permit application.

MICHAEL HARNEY - SENIOR DEVELOPMENT MANAGER
Print Name

[Signature]
Signature of Owner

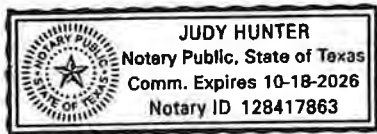
8527 W Sam Houston Pkwy N; Suite 200; Houston TX 77040
Address

281.640.7195
Phone No.

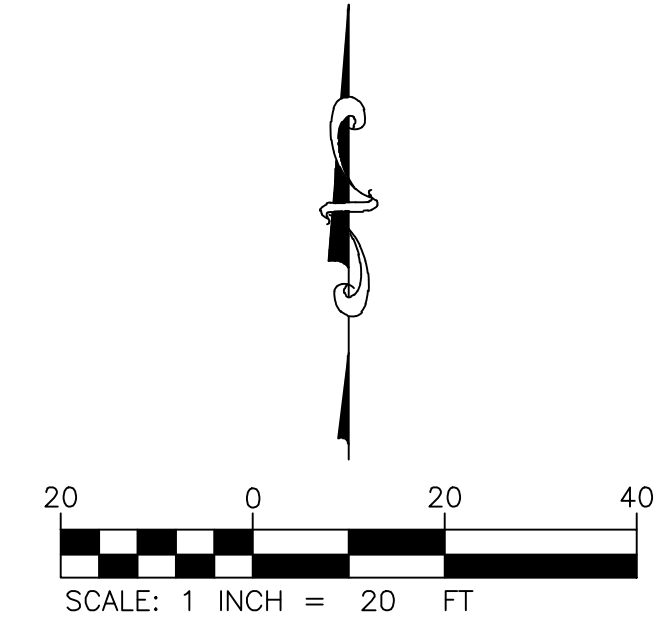
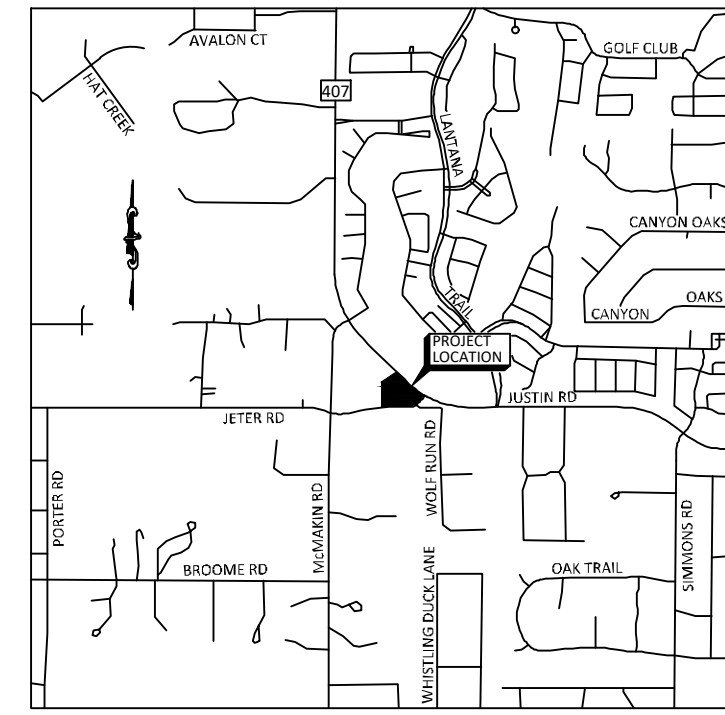
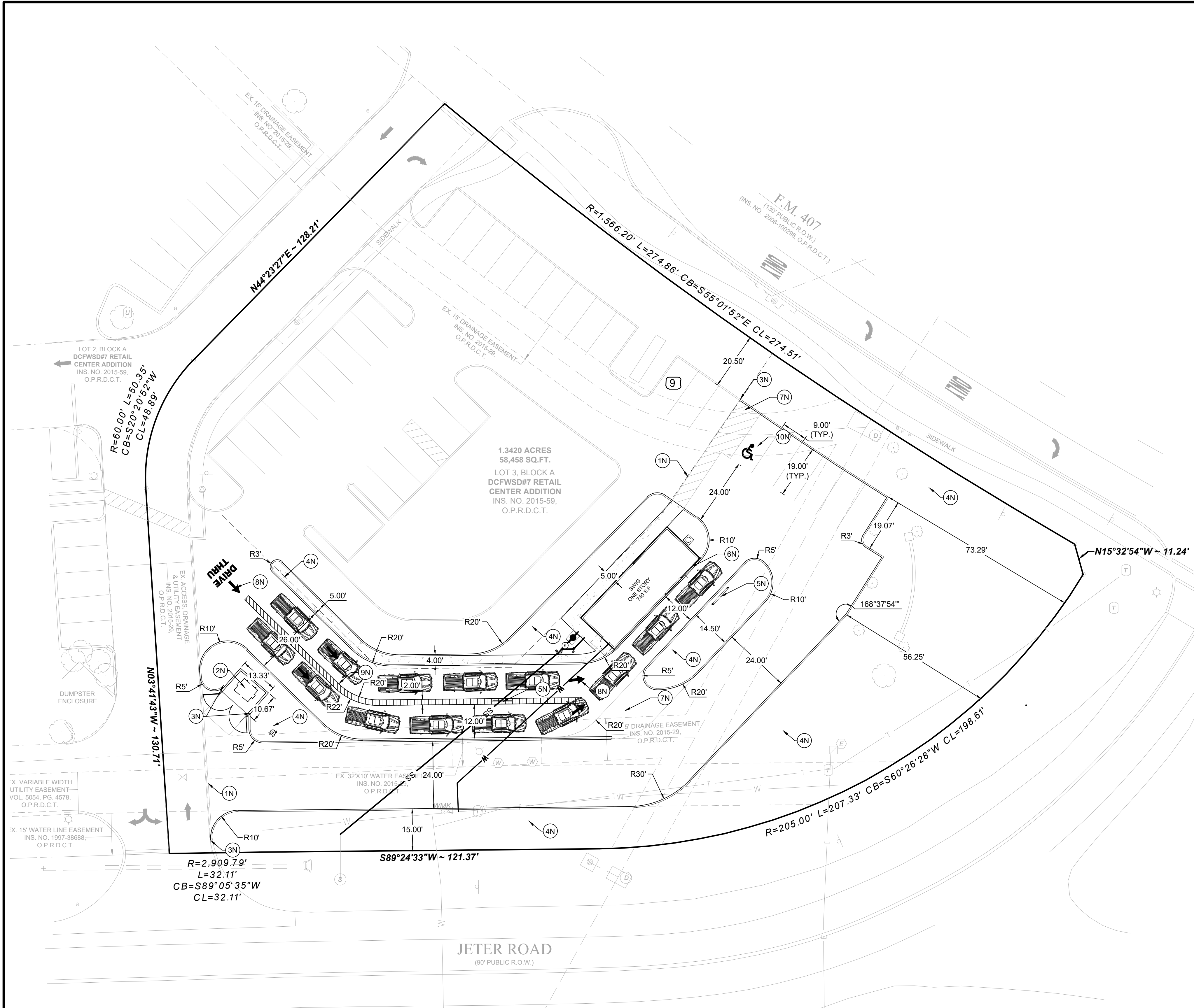
State of Texas §
County of Harris §

Before me, Michael Harney Judy Hunter, a Notary Public in and for said County and State, on this day personally appeared Michael Harney known to me to be the person whose name is subscribed to the foregoing certificate, and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed.

(Seal)



[Signature]
Notary



SITE DATA TABLE	
PROJECT NAME	SWIG
ZONING	GC (GENERAL COMMERCIAL)
EXISTING USE	UNDEVELOPED LAND
PROPOSED USE	RESTAURANT
LOT AREA/SF AND AC	32,776 SF / 0.75 ACRES
OVERALL AREA/SF AND AC	32,776 SF / 0.75 ACRES
BUILDING AREA (GROSS SQUARE FOOTAGE)	740 SF
BUILDING HEIGHT (FEET AND NUMBER OF STORIES)	16 FT (1-STORY)
LOT WIDTH	289.33
LOT DEPTH	287.00
FRONT YARD SETBACK	50 FT
SIDE (E&W) YARD SETBACK	25 FT
REAR YARD SETBACK	25 FT
TOTAL PARKING REQUIRED	REGULAR PARKING RATIO FOR RESTAURANT 1:100 = 750/100 = 8 SPACES 1 ACCESSIBLE PARKING REQUIRED FOR 1 TO 25 SPACES PROVIDED
TOTAL PARKING PROVIDED	9 (INCLUDING 3 EXISTING SPACES)

PROPOSED LEGEND

	PROPOSED BUILDING
	PROPERTY LINE
	EASEMENT LINE
	PROPOSED CURB & GUTTER
	CONCRETE SIDEWALK
	PARKING COUNT

EXISTING LEGEND

	CONTROL POINT
	LIGHT POLE
	TREE (AS DESCRIBED)
	CM (CREPE MYRTLE)
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	SAN. SEWER MANHOLE
	SAN. SEWER CLEANOUT
	INLET RIM
	IRRIGATION CONTROL VALVE
	IRRIGATION SPRINKLER HEAD
	BOLLARD POST
	PLAT RECORDS
	U.G. ELECTRIC
	U.G. TELE. LINE
	U.G. GAS
	U.G. WATER
	WOOD FENCE
	WIRE FENCE
	SIGN
	PROPERTY CORNER MARKER FOUND

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, PROPERTY LINE OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED.
- ALL EXISTING EASEMENTS, RIGHTS-OF-WAY, AND LOT LINES MAY NOT BE SHOWN. REFER TO THE TOPOGRAPHIC SURVEY PREPARED BY SPOONER & ASSOCIATES, DATED AUGUST 14, 2023, FOR COMPLETE BOUNDARY INFORMATION AND ASSOCIATED ENCUMBRANCES.
- A PRE-CONSTRUCTION MEETING WITH CITY ENGINEER SHALL BE HELD PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE CITY OF BARTONVILLE SHALL BE GIVEN AT LEAST 48 HOURS NOTICE PRIOR TO PERFORMING ANY INSPECTIONS.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE CURRENT EDITION OF THE TxDOT DESIGN STANDARDS AND THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL MECHANICAL EQUIPMENT TO BE ROOF MOUNTED AND SCREENED FROM THE STREET.
- CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE AFOREMENTIONED CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
- ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
- BUILDING SETBACK DIMENSIONS MEASURED TO OUTERMOST ARCHITECTURAL FEATURE. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL CURB RADII ARE 5' UNLESS SHOWN OTHERWISE.
- PRIOR TO INSTALLATION, CONTRACTOR MUST VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING AND UTILITIES.
- ROW PERMITS REQUIRED FOR WORK WITHIN ROW.

NOTES

- 1N MATCH EXISTING PAVEMENT
- 2N DUMPSTER ENCLOSURE (REFER TO ARCH. PLANS)
- 3N END CURB
- 4N LANDSCAPE AREA
- 5N MENU ORDER BOARD (REFER TO ARCH. PLANS)
- 6N ORDER PICKUP WINDOW (REFER TO ARCH. PLANS)
- 7N NO PARKING STRIPING
- 8N PAVEMENT MARKING
- 9N AREA STRIPED AT 4" WIDE SINGLE SOLID YELLOW LINE AT 45 DEGREE AT 2' O.C.
- 10N ADA PARKING
- 11N APPROXIMATE CONSTRUCTION LIMIT LINE

FLOOD STATEMENT
 ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO.48121C0510G DATED APRIL 18, 2011 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X.

CONTROL POINT TABLE				
POINT	DESCRIPTION	NORTHING	EASTING	ELEV.
500	X-CUT SET	7,077,821.43	2,389,163.88	665.64'
501	X-CUT SET	7,077,642.02	2,389,102.99	665.69'
502	5/8" CIRS "S&A CONTROL"	7,077,440.73	2,389,287.85	666.04'
503	X-CUT SET	7,077,620.29	2,389,434.86	665.82'

ENGINEER
 BOWMAN CONSULTING GROUP, LTD
 2805 DALLAS PARKWAY SUITE 310
 PLANO, TEXAS 75093
 PHONE: (972)497-2992
 CONTACT: KOFI ADDO, P.E.

DEVELOPER
 SAVORY SWIG STORES, LLC
 1557 W INNOVATION WAY
 LEHI, UTAH 84043
 PHONE: (801)549-8270
 CONTACT: JORDAN HILL

OWNER
 A-S 114 LANTANA TOWN CENTER LP
 8827 W SAM HOUSTON PKWY N STE 200
 HOUSTON, TX 77040-5583
 PHONE: (281) 640-7195
 CONTACT: MICHAEL HARNEY

LANDSCAPE ARCHITECT
 BOWMAN CONSULTING GROUP, LTD
 1445 NORTH LOOP W, SUITE 450
 HOUSTON, TX 77008
 PHONE: 713.993.0333
 CONTACT: ERIC MAURER, PLA

ARCHITECT
 CORE STATES GROUP
 201 SOUTH MAPLE AVENUE, SUITE 300
 AMBLER, PA 19002
 PHONE: (224) 585-4582
 CONTACT: KELLY TESKA

SURVEYOR
 SPOONER & ASSOCIATES
 309 BYERS ST., STE 100
 EULESS, TX 76039
 PHONE: 818.685.8448
 CONTACT: ERIC S. SPOONER

Bowman
 © 2021 Bowman Consulting Group, Ltd. P-4-319
 TRP E. Firm. Reg. # 13141 from No. P-4-319
 2805 Dallas Parkway
 Suite 310
 Plano, Texas 75093
 Phone: (972) 497-2990
 www.bowman.com

REVISIONS	DATE	DESCRIPTION

SITE PLAN
 SWIG
 3800 FM 407
 LANTANA, TX 76226

DESIGN	DRAWN	CHKD
RM	RM	KA
JOB No. 070714-01-001		
SHEET SP-1		



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



SAVORY
MANAGEMENT

LANTANA, TX
SWIG (MODULAR)
NWC OF F.M. 407 & JETER ROAD
LANTANA, TX



135 WATER STREET
SUITE 201
WATERVILLE, N. 06040
630.413.1110
www.core-states.com

SEAL



ISSUE	DATE	DESCRIPTION
	01/03/2024	PERMIT SET

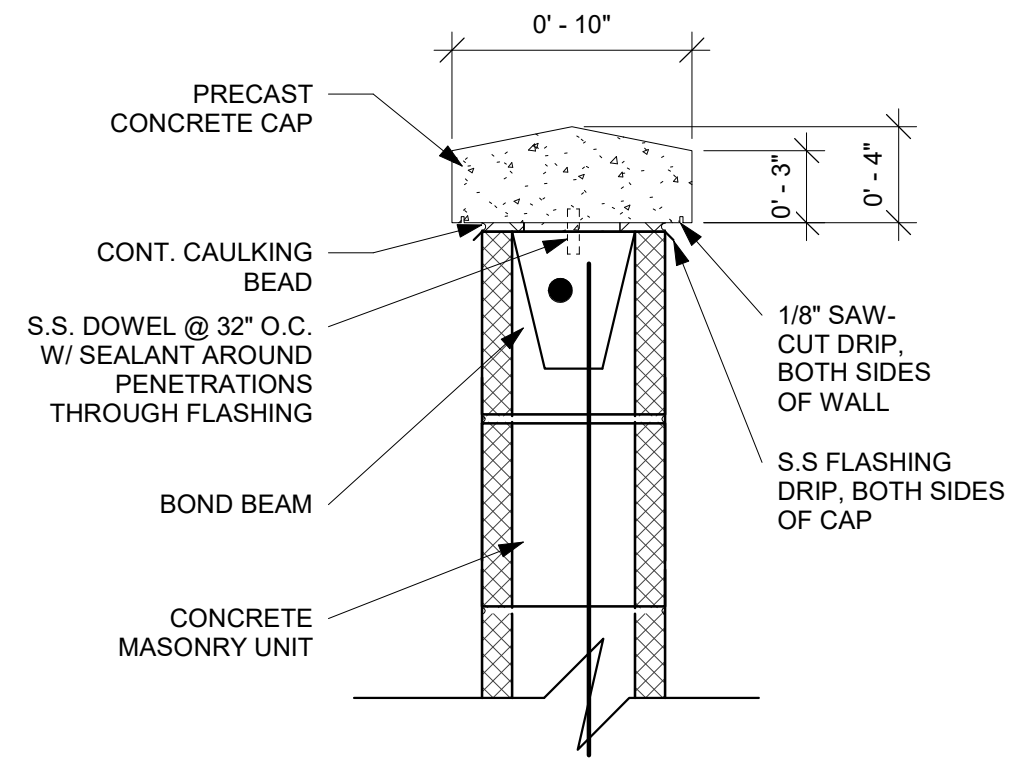
PROJECT INFORMATION	
PROJECT NO:	SAV.37438.SWG
DATE:	11/24/2023
SCALE:	AS NOTED
DRAWN BY:	J. OLSON
CHECKED BY:	M. PELINI
SUBDIVISION:	TBD
LOT, BLOCK:	BLOCK A, LOT 15
TOWN PROJECT NO:	TBD

SHEET TITLE

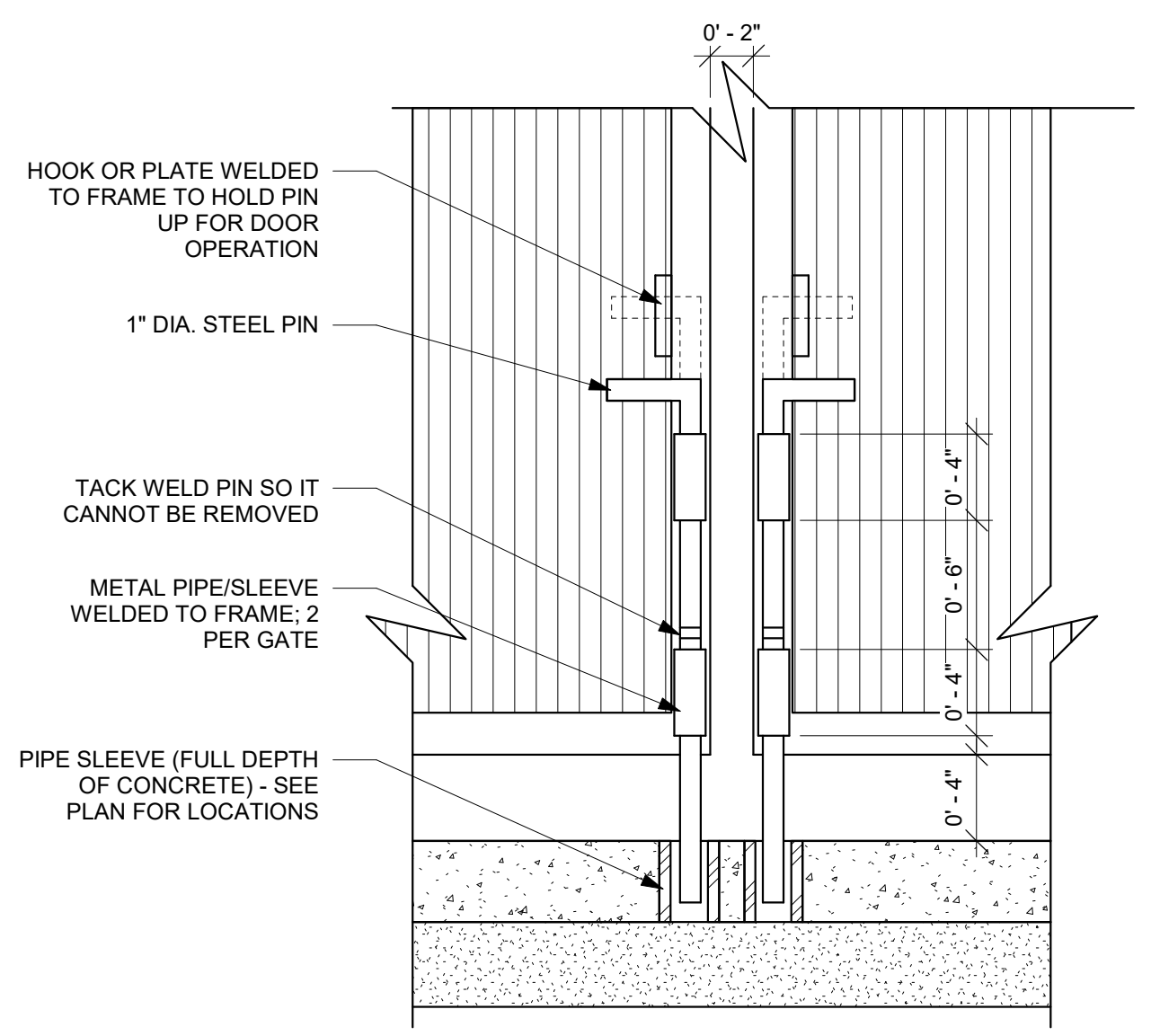
TRASH ENCLOSURE

SHEET NUMBER

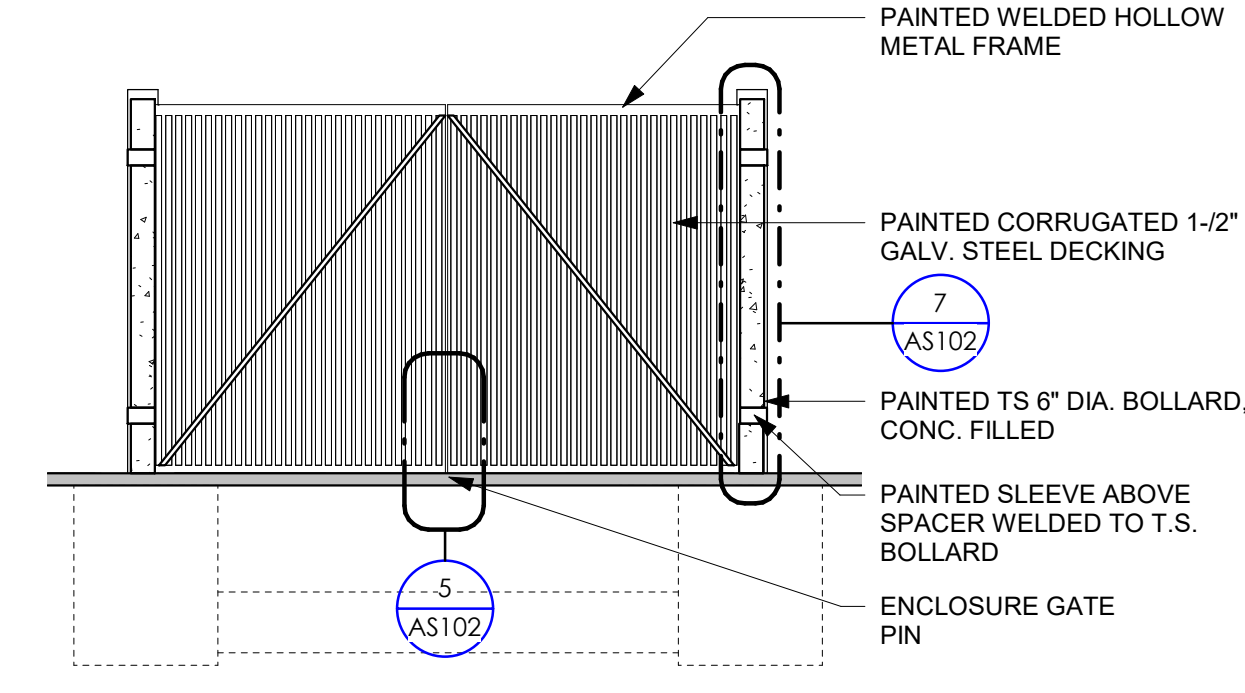
AS102



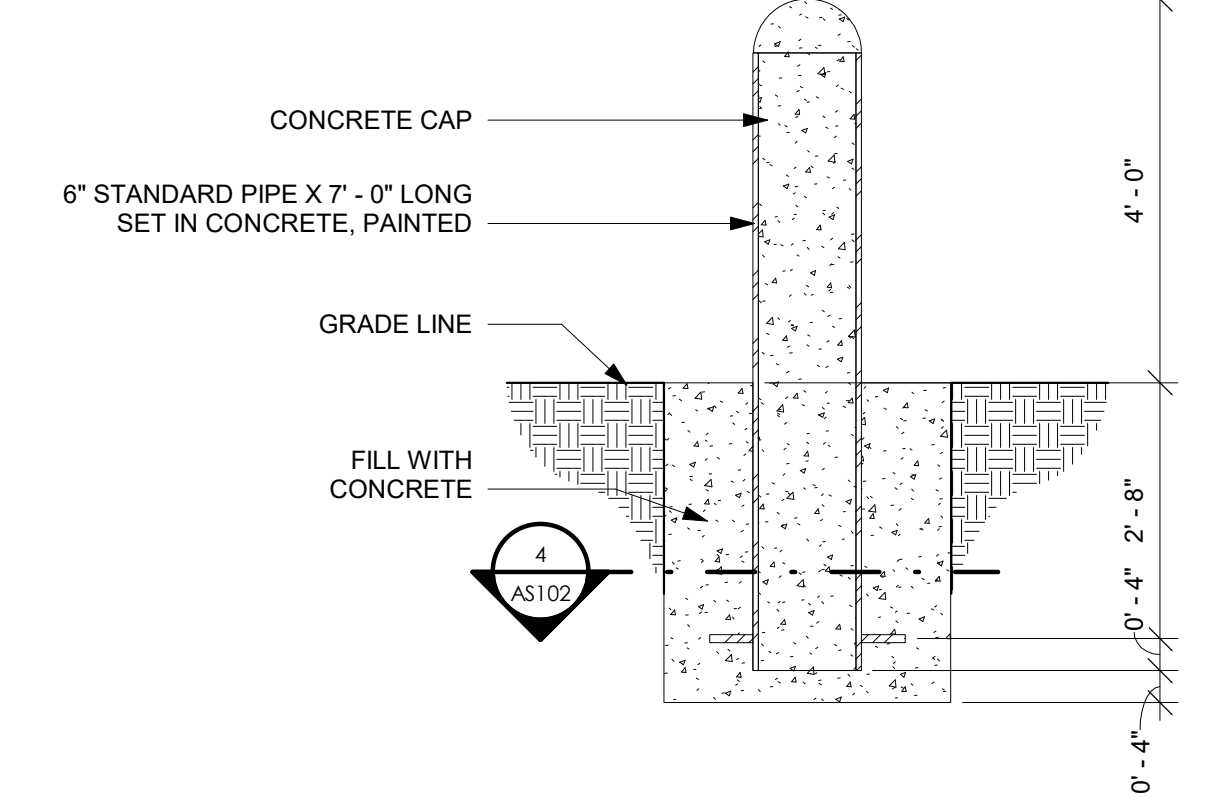
9 ENCLOSURE CONCRETE WALL CAP



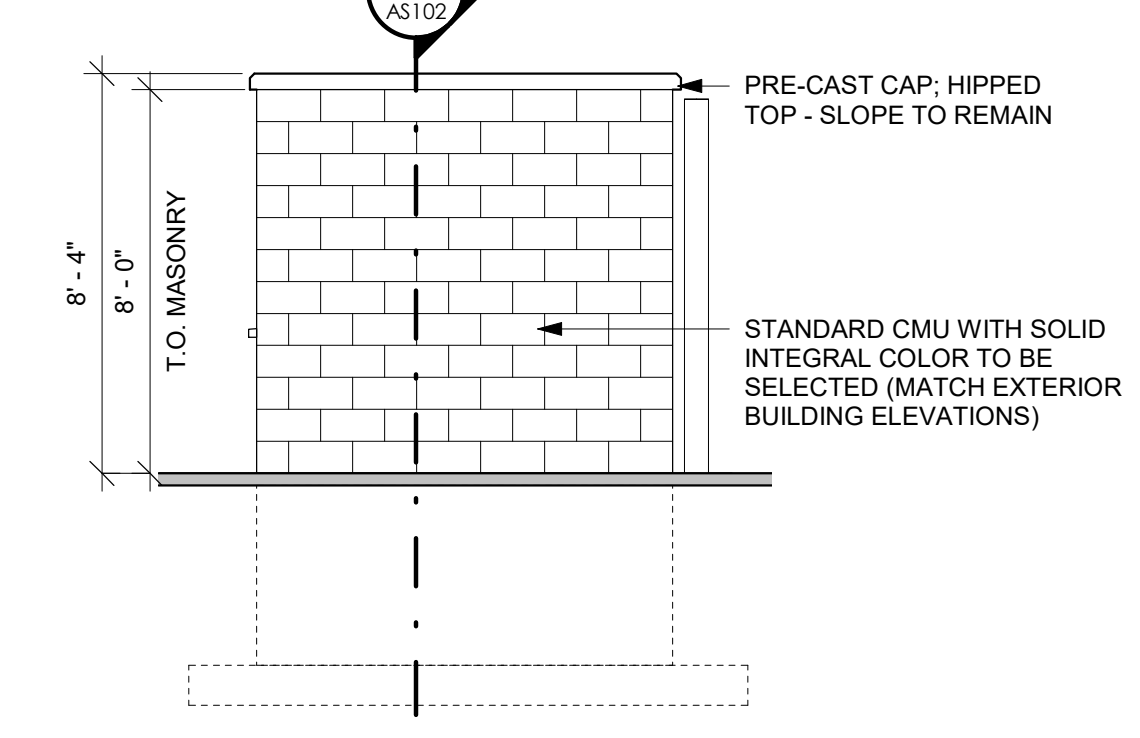
5 ENCLOSURE GATE PIN



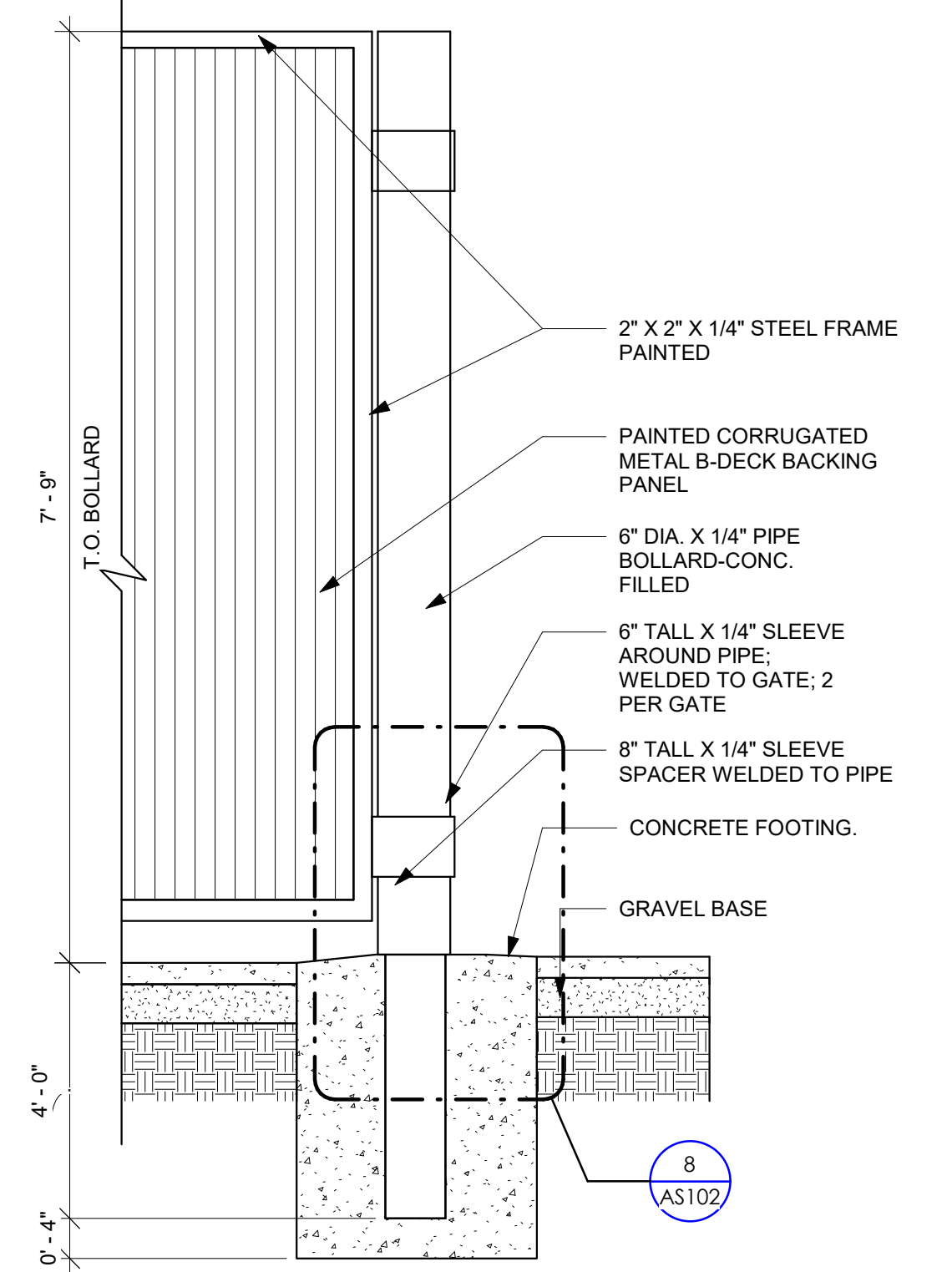
10 DUMPSTER - FRONT ELEVATION



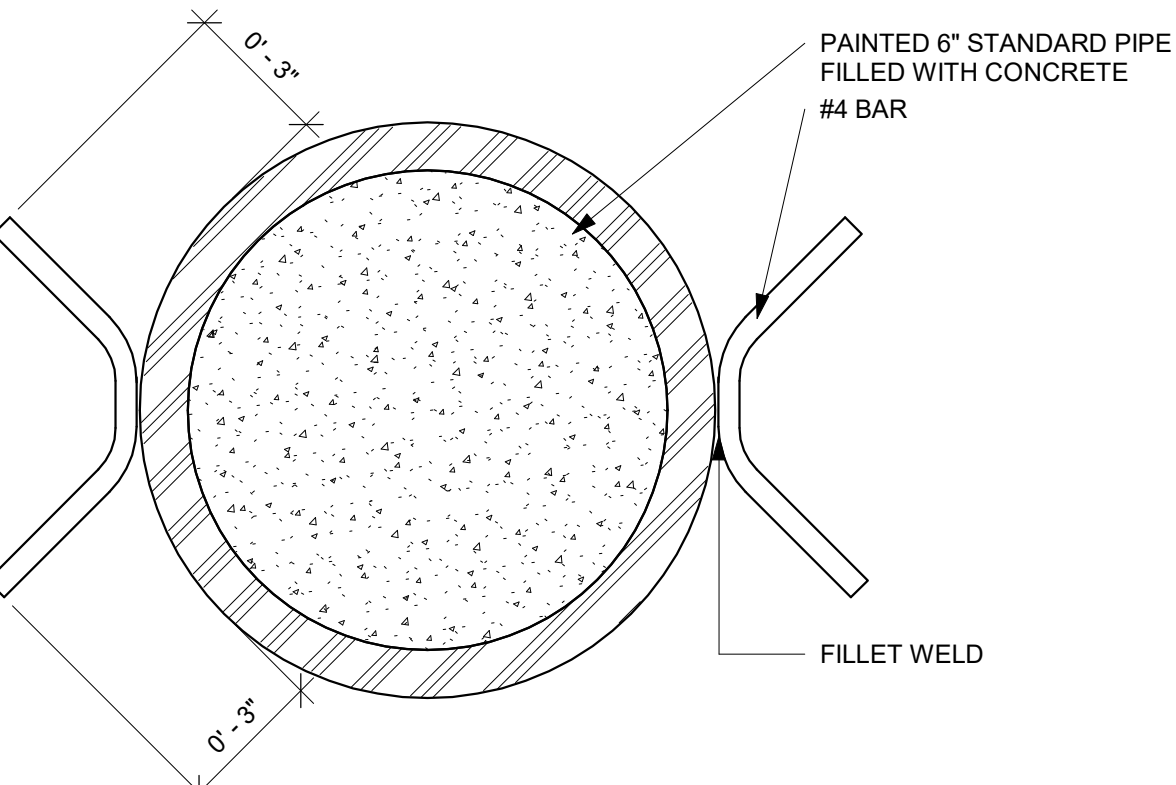
6 BOLLARD SECTION



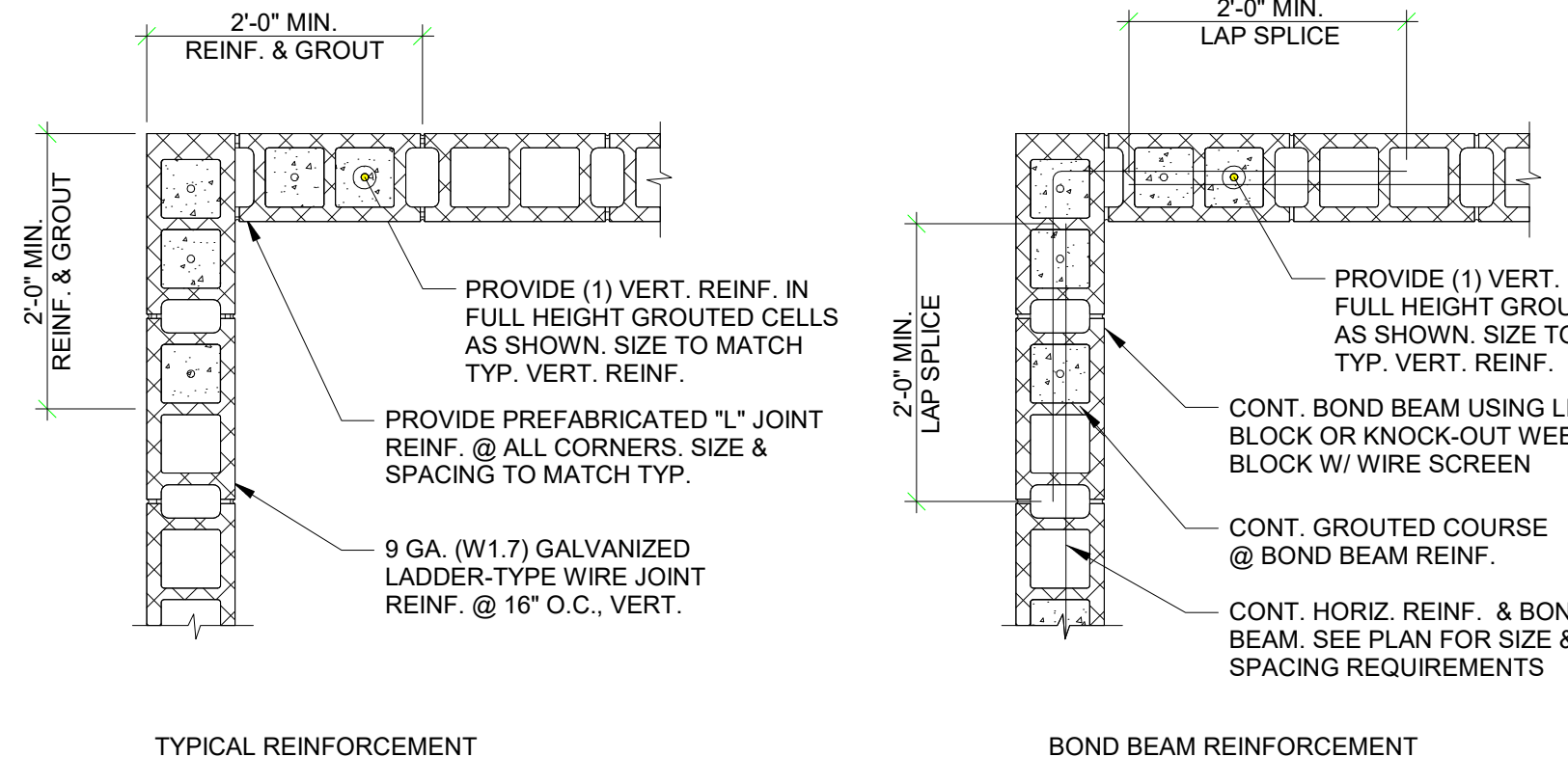
11 DUMPSTER - SIDE ELEVATION



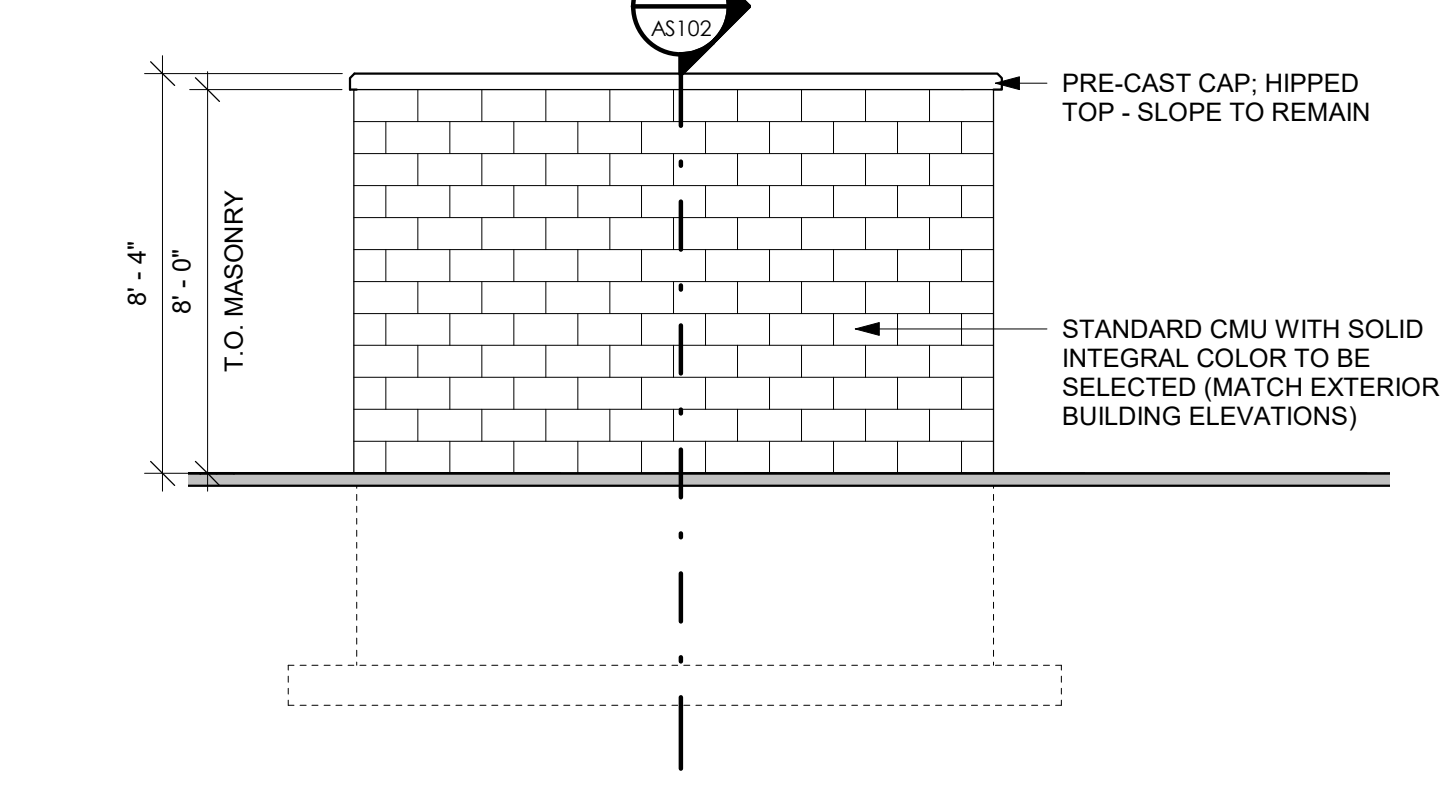
7 METAL BACKING DETAILS FOR ACCESSORIES AND EQUIPMENT



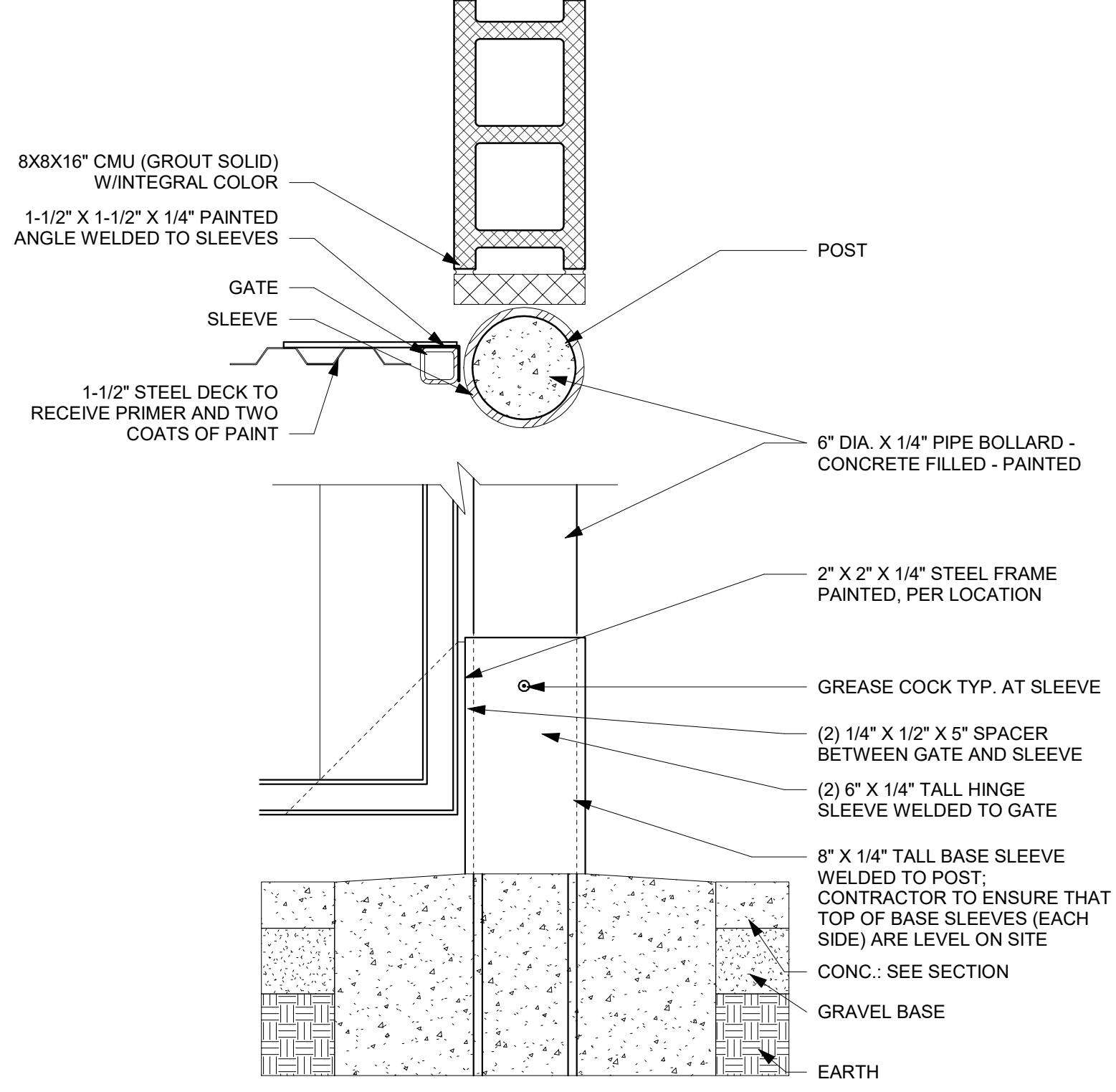
4 BOLLARD CROSS SECTION



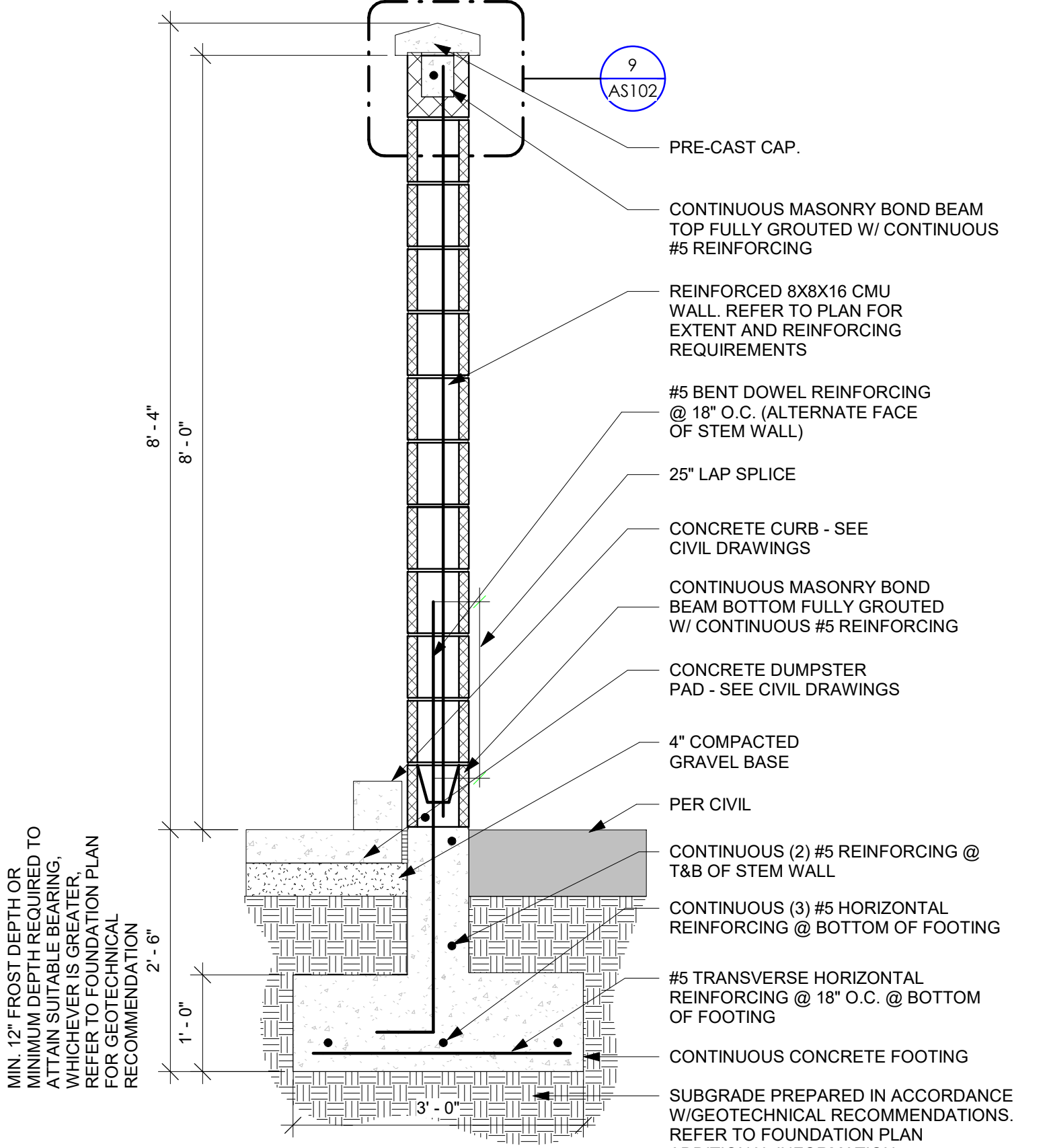
2 TYPICAL MASONRY CORNER BAR DETAIL



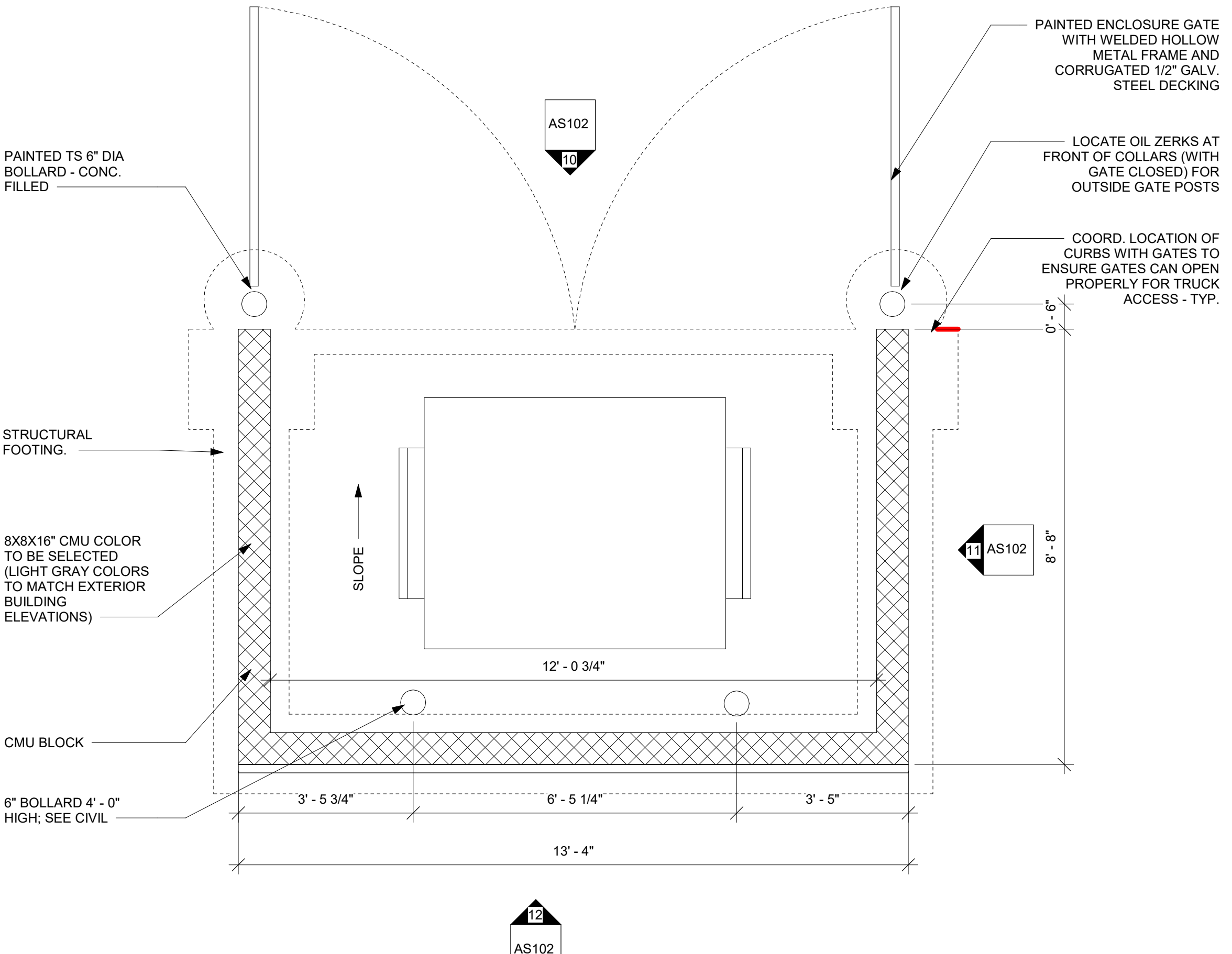
12 DUMPSTER - REAR ELEVATION



8 METAL BACKING DETAILS FOR ACCESSORIES AND EQUIPMENT



3 DUMPSTER ENCLOSURE WALL SECTION



1 TRASH ENCLOSURE

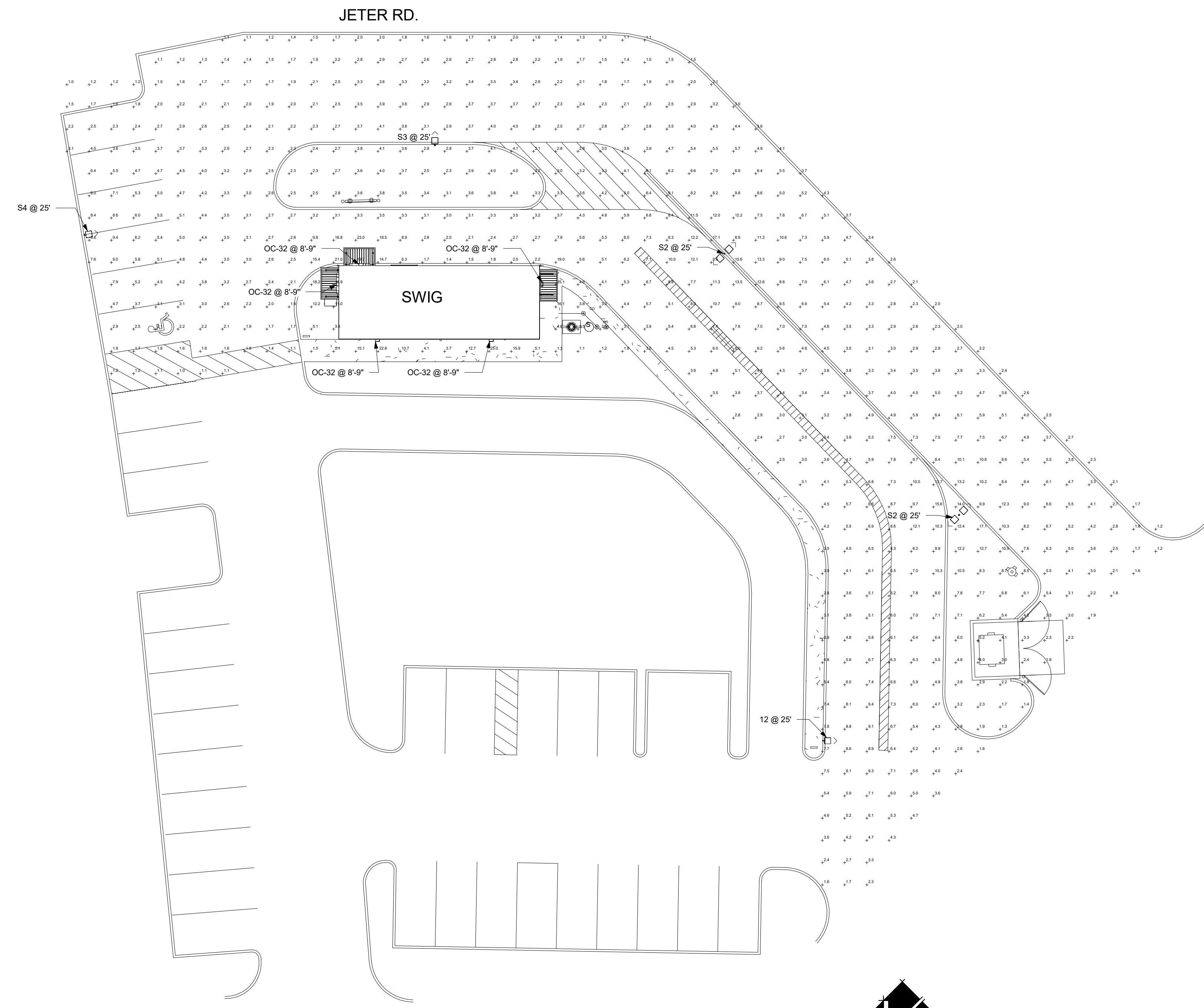
1/3/2024 12:22:27 PM

Symbol	Label	QTY	Manufacturer	Catalog	Number Lamps	Lamp Output	LLF	Input Power
	S4	1	LSI INDUSTRIES, INC	XGBM-FTA-LED-HO-CW-HSS	1	20836	0.7	287.5
	S3	1	LSI INDUSTRIES, INC	XGBM-5-LED-SS-CW	1	18048	0.7	186.1
	S1	2	LSI INDUSTRIES, INC	XGBM-3-LED-SS-CW	1	20181	0.7	186.8
	S2	2	LSI INDUSTRIES, INC	XGBM-3-LED-SS-CW	1	20181	0.7	373.6
	OC-32	5	LSI INDUSTRIES, INC.	XWM-3-LED-04L-40	1	4125	0.7	29.5

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SWIG	+	4.8 fc	25.1 fc	1.0 fc	25.1:1	4.8:1



LANTANA, TX
 SWIG (WOOD FRAME)
 NWC OF F.M. 407 & JETER ROAD
 LANTANA, TX
 PROTOTYPE VERSION 2.00



Catalog #: _____ Project: _____
 Prepared By: _____ Date: _____

Greenbriar (XGBM) Outdoor Area Light



OVERVIEW	
Lumen Output Range	12,000 - 30,000
Wattage Range	136 - 301
Efficacy Range (LPW)	71 - 123
Weight lbs (kg)	49.5 (22.5)



QUICK LINKS

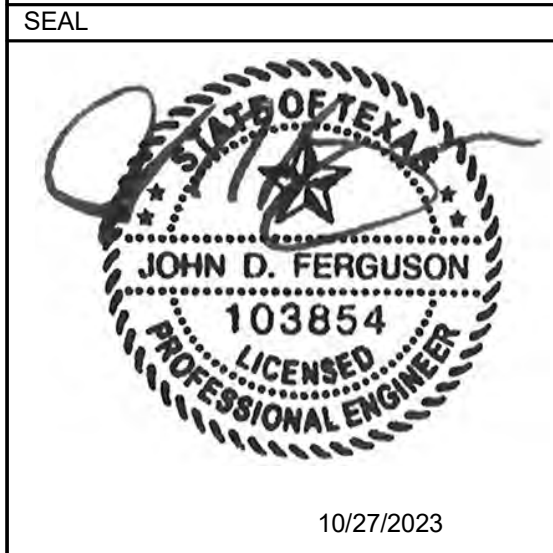
- Ordering Guide
- Performance
- Dimensions
- Controls

- #### FEATURES & SPECIFICATIONS
- Construction**
 - Square, die-formed aluminum housing
 - Fully enclosed weather-tight housing contains factory prewired drivers and field connections.
 - Gasketed, tethered top-access cover provides ease of installation and allows for easy driver access.
 - Four captive stainless-steel fasteners secure the topaccess cover to the housing.
 - Luminaire is proudly made in the U.S.
 - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
 - LSI offers optional color coordinated decals in 9 standard colors to accent the fixture. Decals are guaranteed for five years against peeling, cracking, or fading. (See ordering guide for color options)
 - Shipping weight: 50 lbs in carton.
 - Optical System**
 - Select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperature, 70 CRI.
 - Types 3, 5, FT and FTA available - field rotatable reflectors.
 - Clear tempered optical grade flat glass lens sealed to aluminum housing creates an IP67 rated, sealed optical unit (includes pressure stabilizing breather).
 - Optical Unit**
 - Optical unit can be easily field rotated in 90° increments. Directional arrow on optics allows alignment without the unit being energized.
 - Zero uplight.
 - Electrical**
 - LSI drivers feature integral sensor which reduces drive current when ambient temperatures exceed rated temperature.
 - Two-stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply (20-277VAC (UE - 50/60Hz input), and 347-480VAC.
 - Available in Low Watt (LW), Super Saver (SS) and High Output (HO) drive currents (Drive currents are factory programmed).
 - Components are fully encased in potting material for moisture resistance.
 - Driver complies with FCC 47 CFR part 15 RF/EMI standard.
 - Operating temperature: -40°C to +50°C (-40°F to +122°F).
 - 0-10V dimming (10% - 100%) Optional.
 - Controls**
 - Optional integral passive infrared motion sensor.
 - Bi-level switching responds to external line voltage signal from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.
 - Installation**
 - 2-1/2" x 5-3/8" x 12" extruded aluminum arm mounting bracket shipped standard. Use with LSI BS traditional drilling pattern.
 - Round Pole Plate (RPP2) required for mounting to 3" - 5" round poles. (See Accessory Ordering Information chart.)
 - Warranty**
 - LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsiindustries.com/resources/terms-and-conditions.aspx> for more information.
 - Listings**
 - Listed to UL 1598 and UL 8750.
 - Title 24 Compliant, see local ordinance for qualification information.
 - Suitable for wet Locations
 - IP67 rated optical chamber.
 - 3G rated for ANSI C136.31 high vibration applications.
 - DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products list at www.designlights.org/QPL to confirm which versions are qualified.
 - US patent D574994 & 7828,456 and MX patent 29631
- Specifications and dimensions subject to change without notice.*

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • www.lsi-industries.com
 (513) 372-3200 • ©2020 LSI Industries Inc. All Rights Reserved. Specifications subject to change without notice.



1700 INDUSTRIAL AVE
 SUITE B
 ROGERS, AR 72756
 479.986.4400
 www.core-states.com

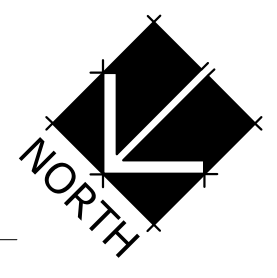


ISSUE	DATE	DESCRIPTION
	10/20/2023	PERMIT SET

PROJECT INFORMATION	
PROJECT NO:	SAV.31362.SWG
DATE:	10/27/2023
SCALE:	AS NOTED
DRAWN BY:	P Smith
CHECKED BY:	E Holland

SHEET TITLE
 SITE
 PHOTO-METRICS
 PLAN

SHEET NUMBER
 EL102



PROPOSED CONSTRUCTION PLANS FOR: SWIG

3800 FM 407
LANTANA, TX 76226
DENTON COUNTY
PROPERTY ID: 656786

PROJECT INFORMATION

PROJECT	SWIG
PROJECT ADDRESS/LOCATION	3800 FM 407, BARTONVILLE, TX
PARCEL ID NUMBER	656786
LOT ACREAGE	0.75 ACRES/ 32,776 SF
LIMIT OF DISTURBANCE (LOD)	0.75 ACRES/ 32,776 SF
PARCEL ZONING	GC (GENERAL COMMERCIAL)

PROJECT SUMMARY

THE APPLICANT PROPOSES A RESTAURANT WITH A DRIVE-THROUGH BUILDING. THE PROPOSED IMPROVEMENTS INCLUDE PARKING SPACES, A TRASH ENCLOSURE, LANDSCAPE SCREENING, AND APPLICABLE UTILITIES.

AGENCY CONTACTS

PLANNING AND DEVELOPMENT

TOWN OF BARTONVILLE
1941 E JETER ROAD
BARTONVILLE, TX 76226
817-693-5280

ENGINEERING

TOWN OF BARTONVILLE
1941 E JETER ROAD
BARTONVILLE, TX 76226
817-693-5280

DENTON COUNTY FRESHWATER DISTRICT #6 & 7
2650 FM 407 E SUITE 125
LANTANA, TX. 76226
(940) 728-5050 EXT. 311
KEVIN MERCER
KMERCER@LANTANATX.COM

FIRE DEPARTMENT

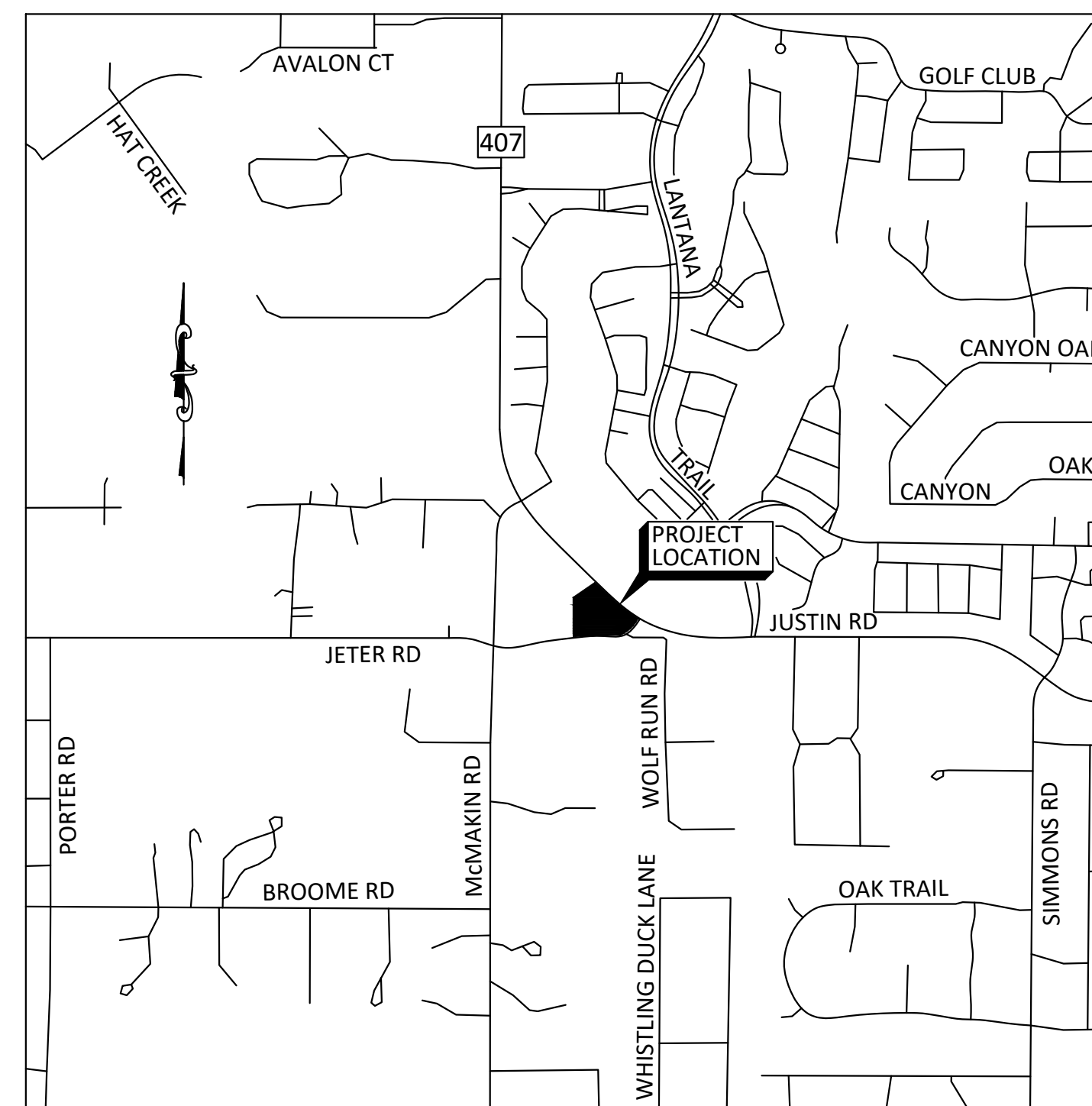
DENTON COUNTY EMERGENCY SERVICES DISTRICT NO. 1
P.O. BOX 984
ARGYLE, TX 76226
940-464-7102

ELECTRIC

COSERV
KEVITT VALLEY
KVALLEY@COSERV.COM
940-321-7800

NOTES

- FINAL BUILDING UTILITY CONNECTIONS TO BE DETERMINED PER ARCHITECT DRAWINGS
- NO WETLANDS ON SITE
- SITE IS LOCATED IN ZONE X (OUTSIDE OF THE 100-YEAR FLOOD PLAIN)
PER FEMA FIRM NUMBER 8121C0510G DATED APRIL 18, 2011.



* VICINITY MAP *
(NOT TO SCALE)

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	GENERAL NOTES
1 OF 1	SURVEY
C1.0	DEMOLITION PLAN
C2.0	EROSION CONTROL PLAN
C2.1	EROSION CONTROL DETAILS
C3.0	SITE PLAN
C4.0	PRE-DEVELOPMENT DRAINAGE AREA MAP
C4.1	POST-DEVELOPMENT DRAINAGE AREA MAP
C5.0	GRADING & DRAINAGE PLAN
C6.0	UTILITY PLAN
C7.0	CONSTRUCTION DETAILS
C7.1	CONSTRUCTION DETAILS
C7.2	CONSTRUCTION DETAILS
L1.01	PLANTING PLAN
L1.02	PLANTING DETAILS
L2.01	IRRIGATION PLAN
L2.02	IRRIGATION DETAILS

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REVISION	DESCRIPTION	DATE

COVER SHEET
SWIG
3800 FM 407
LANTANA, TX 76226

DESIGN RM	DRAWN RM	CHKD KA
JOB No. 070714-01-001		
SHEET C0.0		

Bowman

TBPE FIRM NO. 14309

V:\070714 - SWIG FM 407 - Lantana, TX\Engineering\Engineering Plans\Sheet Set\0 - COVER SHEET.dwg, BOWMAN GENERAL NOTES, December 04, 2023, 12:39 PM, rmalabani

1. ALL ELEVATIONS SHOWN ARE BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY SPOONER & ASSOCIATES .
2. CONTRACTOR SHALL VERIFY ACCURACY OF ANY TEMPORARY BENCHMARKS SHOWN PRIOR TO UTILIZING THEM FOR CONSTRUCTION.
3. THE EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING DIGGING OPERATIONS. IF UTILITIES OTHER THAN THOSE SHOWN ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY AND TAKE STEPS TO PROTECT THE LINE(S) AND ENSURE CONTINUED SERVICE. DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR. ADDITIONALLY, THE CONTRACTOR SHALL CONFIRM THE CONNECTION POINTS OF NEW UTILITIES TO EXISTING UTILITIES PRIOR TO BEGINNING NEW CONSTRUCTION.
4. THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL AND PREVENTION STRUCTURES SHOWN ON THE PLANS. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE CONSTRUCTED SIMULTANEOUSLY WITH THE DISTURBANCE OF THE LAND AND SHALL REMAIN FUNCTIONAL UNTIL THE CONTRIBUTING DISTURBED AREAS ARE STABILIZED. SILT BARRIERS WILL BE INSTALLED AS NECESSARY TO PREVENT EXCESSIVE SEDIMENTATION OF DOWNSTREAM AREAS. DEVICES SHALL BE IN ACCORDANCE WITH DENTON COUNTY FOR CONSTRUCTION ACTIVITIES.
5. IF WORK IS SUSPENDED OR DELAYED FOR FOURTEEN (14) DAYS, THE CONTRACTOR SHALL TEMPORARILY STABILIZE THE DISTURBED AREA AT CONTRACTORS EXPENSE.
6. THE TREE PROTECTION IN THE AREAS OF WORK SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE START OF LAND DISTURBANCE ACTIVITIES. UNLESS SPECIFICALLY SHOWN ON THESE PLANS, THE DESTRUCTION OF ANY REGULATED TREES IS PROHIBITED. PROTECTIVE BARRICADES SHALL BE PLACED AROUND ALL TREES DURING ALL PHASES OF CONSTRUCTION.
7. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF UNSUITABLE MATERIAL IS DISCOVERED PRIOR TO BEGINNING ANY REMOVAL OPERATION.
8. CONTRACTOR WILL BE REQUIRED TO ADJUST MANHOLE FRAMES TO MATCH FINAL GRADE AT NO ADDITIONAL COST.
9. ANY DAMAGE TO EXISTING PAVEMENT MUST BE REPAIRED AT CONTRACTOR'S EXPENSE.
10. ALL RIGHT-OF-WAY AND DRAINAGE EASEMENT CONSTRUCTION SHALL MEET APPLICABLE TOWN OF BARTONVILLE STANDARD SPECIFICATIONS UNLESS SPECIFIED ELSEWHERE AND APPROVED IN WRITING BY THE ENGINEER.
11. WHERE FIELD INSPECTIONS ARE REQUIRED BY THE COUNTY, THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION A MINIMUM OF 48 HOURS IN ADVANCE TO SCHEDULE SUCH INSPECTIONS.
12. A COMPLETE SET OF APPROVED DRAWINGS AND SPECIFICATIONS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK. THESE DRAWINGS SHALL BE MADE AVAILABLE TO THE COUNTY PERSONNEL AT THEIR REQUEST.
13. ANY REVISIONS DURING CONSTRUCTION WHICH ALTER THE ROAD LAYOUT, CONSTRUCTION METHODS, RIGHT-OF-WAY LOCATIONS OR STORM DRAINAGE AS INDICATED AND APPROVED BY THE TOWN MUST BE SUBMITTED AND APPROVED IN WRITING BY THE TOWN ENGINEER.
14. THE CONTRACTOR AND ALL SUB-CONTRACTORS HIRED BY THE CONTRACTOR SHALL BE LICENSED TO WORK IN THE STATE OF TEXAS.
15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS NECESSARY FROM OTHER RESPONSIBLE AGENCIES.
16. ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION. ALL DRAINAGE WILL BE MADE FUNCTIONAL DAILY AS WORK PROGRESSES.
17. EACH EXISTING ROAD WILL BE CLEANED OF DEBRIS AND RESTORED DAILY, OR MORE OFTEN IF NECESSARY.
18. NEW PAVEMENT TO BE FLUSH WITH EDGE OF EXISTING PAVEMENT.
19. ALL SANITARY SEWER SHALL BE IN ACCORDANCE WITH TOWN OF BARTONVILLE STANDARDS AT THE TIME OF CONSTRUCTION.
20. ALL WATER INFRASTRUCTURE SHALL BE IN ACCORDANCE WITH TOWN OF BARTONVILLE STANDARDS AT THE TIME OF CONSTRUCTION.
21. THE SEDIMENT AND EROSION CONTROL PLAN MUST BE KEPT ON SITE AT ALL TIMES, AND IN A DESIGNATED AREA THAT IS ACCESSIBLE TO THE INSPECTORS.
22. SEDIMENT AND EROSION CONTROL INSPECTIONS MUST BE COMPLETED BY A CERTIFIED INSPECTOR.
23. SEDIMENT AND EROSION CONTROL SHOULD INCLUDE A CONCRETE WASHOUT/STAGING AREA FOR SITE AND BUILDING CONSTRUCTION AND ALL OTHER PURPOSES OF THE DEVELOPMENT.
24. CONSTRUCTION DEBRIS MUST BE PLACED INSIDE CONTAINERS AND NOT LEFT EXPOSED TO THE ELEMENTS.
25. SITE MUST BE BUILT ACCORDING TO APPROVED TOWN PLANS UNLESS SEDIMENT AND EROSION CONTROL PLAN DOCUMENTS ARE UPDATED BY THE ORIGINAL PREPARER, REVIEWED AND APPROVED. OTHERWISE PERMITS WILL BE INVALIDATED.
26. NO OBSTRUCTIONS, TO INCLUDE BUT NOT LIMITED TO FENCES, STRUCTURES, OR LANDSCAPING MAY BE PERMITTED OR BUILT WITHIN ANY SWALES OR DRAINAGE EASEMENT.
27. CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF UNDERGROUND UTILITIES WITH THE APPROPRIATE UTILITY COMPANY.
28. PIPE LENGTHS THAT ARE SHOWN ON THE PLANS ARE 2D LENGTH FROM CENTER TO CENTER. FIELD ADJUSTMENT OF THE ACTUAL PIPE LENGTHS MAY BE NECESSARY.
29. THE CONTRACTOR SHALL STAGE CLEARING AND GRUBBING WORK TO MINIMIZE THE AMOUNT OF EROSION AND SEDIMENTATION.
30. THE CONTRACTOR SHALL PROVIDE APPROPRIATE BARRICADES, WARNING LIGHTS, AND WARNING SIGNS TO ENSURE THE SAFETY OF THE PUBLIC AT ALL TIMES.
31. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SIGNAGE AND MAINTENANCE OF EXISTING PERMANENT SIGNS DURING CONSTRUCTION.
32. THE CONTRACTOR SHALL VERIFY PROPERTY LINES, BUILDING DIMENSIONS, AND ALL OTHER SITE CONDITIONS PRIOR TO CONSTRUCTION. ANY SIGNIFICANT VARIATIONS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
33. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS ON THE JOB. BOWMAN CONSULTING GROUP SHALL BE NOTIFIED IN WRITING OF ANY VARIATION FROM THE DIMENSIONS, CONDITIONS, AND SPECIFICATIONS SHOWN BY THESE DRAWINGS.

34. ALL CURVE RADII ARE SHOWN TO THE FACE OF CURB UNLESS NOTED OTHERWISE.
35. ALL DRAINAGE WILL BE MADE FUNCTIONAL DAILY AS WORK PROGRESSES.
36. AT THE CONCLUSION OF THE CONSTRUCTION PROJECT, ALL COMPONENTS OF THIS DESIGN PACKAGE SHALL BE IN OPERABLE CONDITION, MEETING ITS REQUIREMENTS.
37. THE CONTRACTOR SHALL CONTACT TEXAS 811, UTILITY COMPANY REPRESENTATIVES, PERFORM TEST PITS, REVIEW CURRENT TEST PIT DATA, AND WHATEVER OTHER OPERATIONS AVAILABLE TO ENSURE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES IN THE AREA OF CONSTRUCT TO INSURE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES IN THE AREA OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY BOWMAN CONSULTING GROUP, LTD. OF ANY POTENTIAL CONFLICTS PRIOR TO COMMENCING CONSTRUCTION.
38. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND MAKE ALL INSPECTIONS NECESSARY IN ORDER TO DETERMINE THE FULL EXTENT OF THE WORK REQUIRED TO MAKE THE PROPOSED WORK CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
39. UTILITY COMPANIES SHALL BE NOTIFIED 72 HOURS IN ADVANCE OF ANY EXCAVATION.
40. ALL UNDERGROUND UTILITIES WITHIN THE STREET RIGHT-OF-WAY SHALL BE INSTALLED TO THE REQUIRED DISTANCE BEYOND THE RIGHT-OF-WAY LINE PRIOR TO THE INSTALLATION OF ANY SUBBASE MATERIAL, CURB AND GUTTER OR SIDEWALK.
41. ADDITIONAL SILTATION AND EROSION CONTROL MEASURES SHALL BE INSTALLED AS DIRECTED BY THE INSPECTOR DURING FIELD REVIEW.
42. ALL SURFACED STREETS SHALL BE MAINTAINED IN A CLEAR CONDITION; FREE OF DUST, MUD OR SNOW AT ALL TIMES. THE DEVELOPER SHALL PROVIDE ADEQUATE MEANS TO CLEAN TRUCKS AND OTHER EQUIPMENT USING SURFACED STREETS.
43. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS AND/OR RECONSTRUCTIONS OF ALL UTILITY COVER (MANHOLE FRAMES AND COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION.
44. THE CONTRACTOR MUST HAVE THE APPROVED SET OF CONSTRUCTION PLANS AND ALL APPLICABLE PERMITS IN POSSESSION PRIOR TO THE START OF CONSTRUCTION. AT LEAST ONE (1) COPY OF THE APPROVED PLANS, WITH REVISIONS, MUST BE KEPT ON-SITE AT ALL TIMES.
45. THESE PLANS MAKE NO REPRESENTATION AS TO THE SUBSURFACE CONDITIONS AND THE PRESENCE OF SUBSURFACE WATER OR THE NEED FOR SUBSURFACE DRAINAGE FACILITIES.
46. STORM SEWER AND CULVERT PIPE SHALL BE REINFORCED CONCRETE PIPE TO CONFORM TO THE CURRENT A.A.S.H.T.O. DESIGNATION M170, UNLESS OTHERWISE DESIGNATED ON THESE PLANS. CLASS III PIPE AS A MINIMUM, WILL BE REQUIRED WITHIN THE LIMITS OF RIGHT-OF-WAY.
47. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A SAFE CONSTRUCTION SITE AND COMPLYING WITH ALL OSHA REGULATIONS.
48. EMERGENCY VEHICLE ACCESS SHALL BE PROVIDED DURING ALL PHASES OF CONSTRUCTION.
49. WHERE IMPROVEMENTS ARE PROPOSED WITHIN EXISTING EASEMENTS OF RECORD, THE DEVELOPER SHALL OBTAIN WRITTEN PERMISSION FROM THE AUTHORITIES THAT ARE DOMINANT TENEMENTS OF THESE EASEMENTS FOR PERMIT FOR ANY DISTURBANCES WITHIN THESE AREAS PRIOR TO CONSTRUCTIONS.
50. ALL FINISHED GRADING, SEEDING, SODDING OR PAVING SHALL BE DONE IN SUCH MANNER TO PRECLUDE THE PONDING OF WATER.
51. TYPICAL SECTIONS ARE INTENDED TO SHOW GENERAL FEATURES OF THE PROPOSED CONSTRUCTION. FOR EXACT DETAILS AT ANY GIVEN LOCATION, SEE THE SITE PLAN SHEETS.
52. ALL SIDEWALKS TO BE 4" THICK CONCRETE UNLESS OTHERWISE SHOWN ON THE PLAN.
53. THE ENGINEER SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SHOWN ON THESE PLANS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OF FAILURE TO CARRY OUR THE WORK. THE ENGINEER IS NOT RESPONSIBLE FOR ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
54. ALL GAS LINES REQUIRE A MINIMUM OF 1 FOOT VERTICAL AND 5 FEET HORIZONTAL SEPARATION. CONSTRUCTION WITHIN 10 FEET OF THE GAS LINE REQUIRES A GAS LINE REPRESENTATIVE TO BE PRESENT DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE GAS COMPANY PRIOR TO CONSTRUCTION.
55. NO TREES SHALL BE PLANTED IN THE WATER AND SEWER EASEMENTS.
56. UNLESS OTHERWISE NOTED HEREIN, CONSTRUCTION OF PAVEMENT AND DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH THE TOWN OF BARTONVILLE STANDARDS.
57. UPON AWARD OF CONTRACT, THE CONTRACTOR SHALL OBTAIN THE NECESSARY LOCAL TRADE PERMITS (INCLUDING APPLICATIONS AND FEES) ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS AND IN THE CONTRACT DOCUMENTS.
58. ALL ROAD IMPROVEMENTS AT THE DRIVE CONNECTIONS ARE TO BE COORDINATED WITH THE TOWN OF BARTONVILLE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
59. IN ROLLING AND HILLY TERRAINS, SWEEPING OF THE STONE BASE AND/OR APPLICATION OF A TACK COAT MAY BE REQUIRED NEAR INTERSECTIONS. THESE REQUIREMENTS WILL BE ESTABLISHED BY THE INSPECTOR AND BASED ON FIELD CONDITIONS.
60. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
61. IN ORDER TO ENSURE PROPER DRAINAGE, KEEP A MINIMUM OF 0.5% SLOPE ON THE CURB.
62. CURB AND GUTTER SHOWN ON PLANS MAY REQUIRE ADJUSTMENT BASED UPON FIELD CONDITIONS. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE MODIFICATION BASED UPON FIELD CONDITIONS.
63. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORM WATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
64. BACKFILL BEING PLACED. BACKFILL MATERIAL MUST BE APPROVED BY THE TOWN INSPECTOR PRIOR TO PLACEMENT OF THE MATERIAL WITHIN THE PUBLIC STREET RIGHT-OF-WAY.
65. TOWN OF BARTONVILLE GENERAL NOTES SHALL TAKE PRECEDENCE.



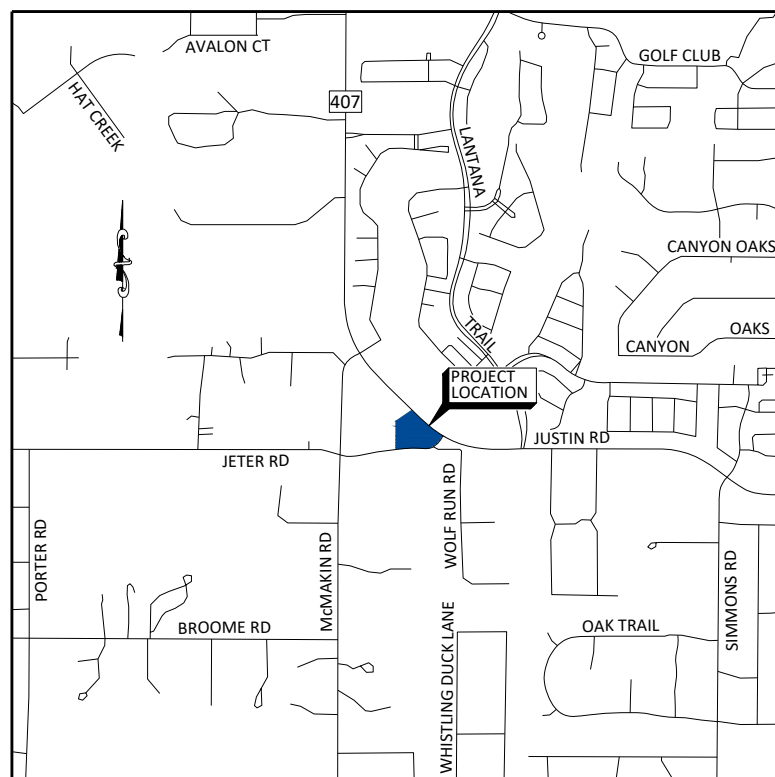
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 Phone: (972) 497-2990
 www.bowman.com

REVISION	DESCRIPTION	DATE

GENERAL NOTES

SWIG
 3800 FM 407
 LANTANA, TX 76226

DESIGN	DRAWN	CHKD
RM	RM	KA
JOB No. 070714-01-001		
SHEET		
C0.1		



* VICINITY MAP *
(NOT TO SCALE)

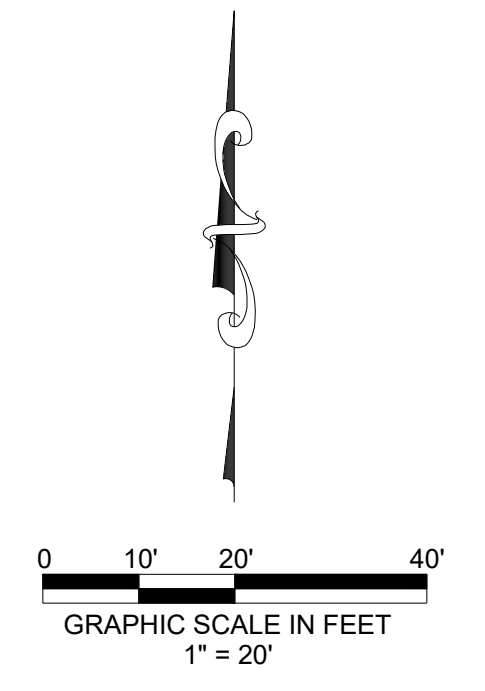
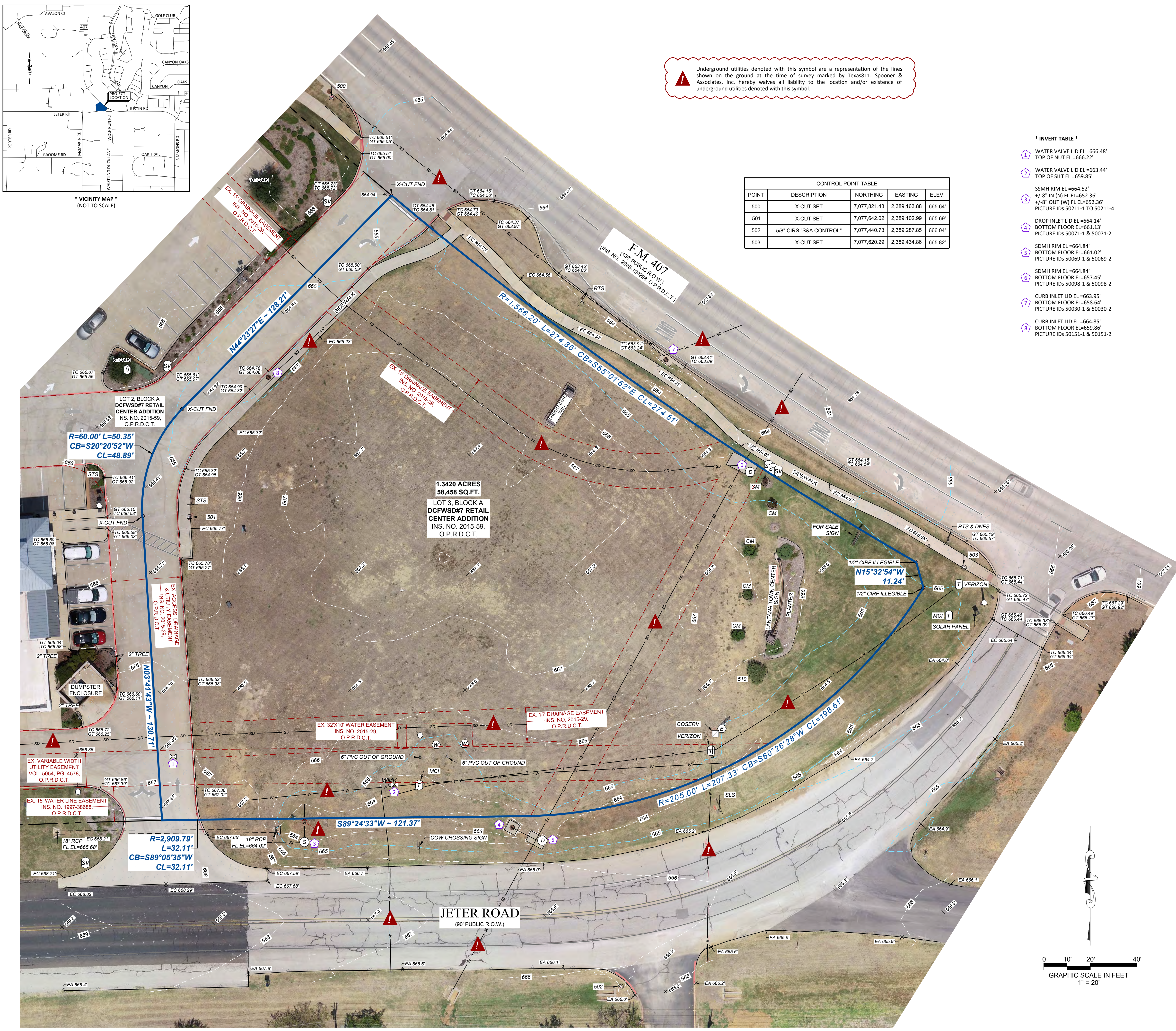
Underground utilities denoted with this symbol are a representation of the lines shown on the records at the time of survey marked by Texas811. Spooner & Associates, Inc. hereby waives all liability to the location and/or existence of underground utilities denoted with this symbol.

POINT	DESCRIPTION	NORTHING	EASTING	ELEV.
500	X-CUT SET	7,077,821.43	2,389,163.88	665.64'
501	X-CUT SET	7,077,842.02	2,389,102.99	665.69'
502	5/8" CIRCS "SA CONTROL"	7,077,440.73	2,389,287.85	666.04'
503	X-CUT SET	7,077,620.29	2,389,434.86	665.82'

- * INVERT TABLE ***
- 1 WATER VALVE LID EL=666.48'
TOP OF NUT EL=666.22'
 - 2 WATER VALVE LID EL=663.44'
TOP OF SILT EL=659.85'
 - 3 SSMH RIM EL=664.52'
+/8" IN (N) FL EL=652.36'
+/8" OUT (W) FL EL=652.36'
PICTURE IDS 50211-1 TO 50211-4
 - 4 DROP INLET LID EL=664.14'
BOTTOM FLOOR EL=661.13'
PICTURE IDS 50071-1 & 50071-2
 - 5 SDMH RIM EL=664.84'
BOTTOM FLOOR EL=661.02'
PICTURE IDS 50069-1 & 50069-2
 - 6 SDMH RIM EL=664.84'
BOTTOM FLOOR EL=657.45'
PICTURE IDS 50098-1 & 50098-2
 - 7 CURB INLET LID EL=663.95'
BOTTOM FLOOR EL=658.64'
PICTURE IDS 50030-1 & 50030-2
 - 8 CURB INLET LID EL=664.85'
BOTTOM FLOOR EL=659.86'
PICTURE IDS 50151-1 & 50151-2

- * LEGEND ***
- | | | | |
|--------------|----------------------------|-------|--------------------------|
| CIRF | IRON ROD WITH CAP FOUND | (E) | ELECTRIC METER |
| INS. NO. | INSTRUMENT NUMBER | (X) | ELECTRIC BOX |
| O.P.R.D.C.T. | OFFICIAL PUBLIC RECORDS | (SV) | IRRIGATION CONTROL VALVE |
| VOL. | DENTON COUNTY, TEXAS | (S) | SAN. SEWER MANHOLE |
| PG. | VOLUME | (D) | INLET RIM |
| DNES | DO NOT ENTER SIGN | (H) | STORM DRAIN MANHOLE |
| EL | ELEVATION | (T) | TELEPHONE PULL BOX |
| RTS | RIGHT TURN SIGN | (M) | CM (CREPE MYRTLE) |
| SLS | SPEED LIMIT SIGN | (B) | BUSH |
| STS | STOP SIGN | (C) | TREE (AS DESCRIBED) |
| TN | TOP OF NUT | (U) | UTILITY PULL BOX |
| TS | TOP OF SILT | (WMK) | WATER MARKER |
| F.M. | FARM TO MARKET | (W) | FIRE HYDRANT |
| EX. | EXISTING | (W) | WATER METER |
| RCP | REINFORCED CONCRETE PIPE | (E) | WATER VALVE |
| R.O.W. | RIGHT-OF-WAY | (E) | U.G. ELECTRIC |
| EA 555.55 | EDGE OF ASPHALT ELEVATION | (E) | U.G. TELE. LINE |
| EC 555.55 | EDGE OF CONCRETE ELEVATION | (W) | U.G. WATER |
| GT 555.55 | GUTTER ELEVATION | (W) | ASPHALT EDGE |
| 555.5 | SPOT ELEVATION | (W) | SUBJECT PROPERTY LINE |
| 555.55 | DROP INLET LID | (W) | PROPERTY LINE |
| TC 555.55 | TOP OF CURB ELEVATION | (W) | EXISTING EASEMENT LINE |
| (C) | CONTROL POINT | (W) | FIRELINE PAINT MARKS |
| (O) | PROPERTY CORNER | (W) | CONCRETE AREA |
| (M) | MARKER FOUND - AS NOTED | | |
| (B) | BOLLARD POST | | |
| (I) | INVERT REFERENCE | | |
| (L) | LIGHT POLE | | |
| (S) | SIGN | | |

- * GENERAL NOTES ***
- The bearings, distances and coordinates shown hereon are referenced to the Texas Coordinate System of 1983, Texas North Central Zone 4202, and are based on the North American Datum of 1983, 2011 Adjustment. Coordinates shown are scaled to surface distances at N: 0.0 and E: 0.0 using a combined scale factor of 1.000150630. All areas shown hereon are calculated based on surface measurements.
 - Elevations shown hereon are referenced to the North American Vertical Datum of 1988 (NAVD88) and were calculated by applying vertical shifts derived from Geoid Model 2012A to ellipsoid heights calculated from GPS/GNSS observations referenced to the North American Datum of 1983, 2011 adjustment.
 - This survey was prepared without the benefit of a Title Commitment prepared by a title company. The easements shown hereon are the only easements known by Spooner & Associates and does not imply that any other easements, covenants, restrictions, or other matters of record do not affect the subject property. No other research was performed by Spooner & Associates, Inc.
 - The subject tract appears to be located within Zone "GC" according to the Town of Bartonville zoning map. The Surveyor did not attempt to interpret the zoning district information mentioned herein. Hereby, the Surveyor advises all interested parties to contact the Town of Bartonville Planning and Zoning Department to further verify all zoning regulations and restrictions before planning, designing, constructing, or developing on the subject property.
 - According to the Flood Insurance Rate Map published by the Federal Emergency Management Agency, Department of Homeland Security and by graphic plotting only, the subject property appears to be located in Zone "X" (areas determined to be outside the 0.2 % annual chance floodplain) as shown on Map No. 48121C0510G; map revised April 18, 2011, for Denton County and incorporated areas. This flood statement does not imply that the property and/or structures located in Zone "X" will be free from flooding or flood damage. This flood statement shall not create liability on the part of the Surveyor.
 - Underground utilities shown hereon were taken from plans and/or reports provided to the Surveyor by others and from markings set by Texas811. Provided information combined with Texas811 markings and observed evidence of utilities was used to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. No attempt has been made as a part of this Survey to confirm, obtain or show data concerning the depth or condition of any utility or municipal/public service facility. Subsurface and environmental conditions were not examined or considered as a part of this Survey. No statement is made concerning the existence of underground or overhead containers or facilities, which may affect the use or development of the subject tract of land. Where additional or more detailed underground utility information is required, the client is hereby advised that excavation may be necessary.
 - All manhole / vault invert data provided hereon (eg. pipe sizes, pipe types, flowline elevations) is measured or estimated from the top of the structure by field crew personnel. While reasonable precautions are always taken, Spooner & Associates expressly assumes no liability for the risk of obtaining incorrect values inherent when making indirect measurements or estimates. No underground utility structures are entered by Spooner personnel to obtain measurements due to safety concerns.
 - The size or shape of the trees/bushes included hereon do not necessarily represent the actual size and shape of the corresponding trees/bushes or their canopies. They represent location only.
 - The term "Certify" or "Certificate" as shown and used hereon indicates an expression of professional opinion regarding the facts of the Survey and does not constitute a warranty or guarantee, expressed or implied, and is addressed exclusively to the parties named hereon.



The field work was completed on July 28, 2023.



Eric S. Spooner, R.P.L.S.
Texas Registration No. 5922
TBPLS Firm No. 10054900



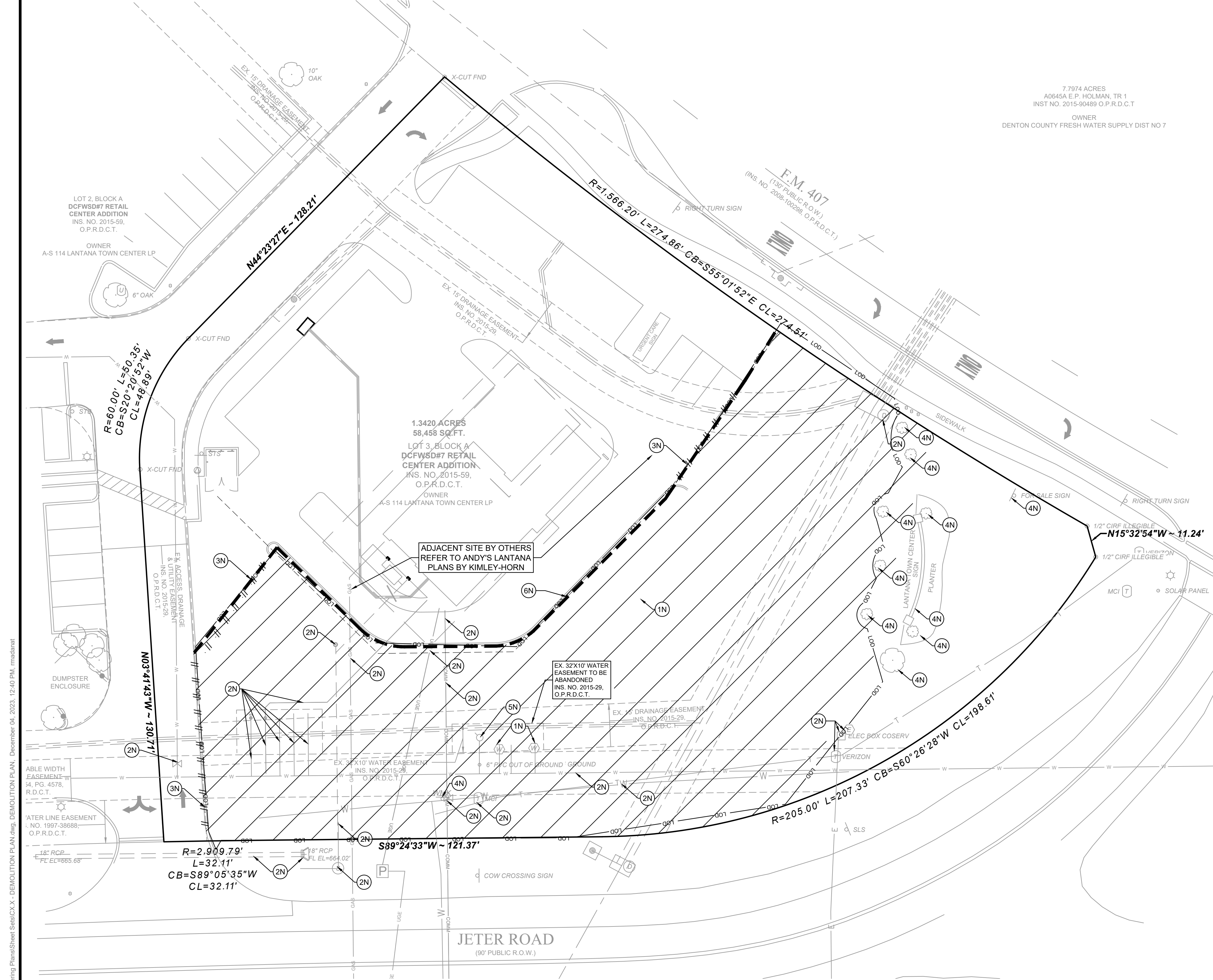
TOPOGRAPHIC SURVEY OF
LOT 3, BLOCK A, DCFWSD#7 RETAIL CENTER ADDITION
TOWN OF BARTONVILLE, DENTON COUNTY, TEXAS
3800 FM 407



DATE: 08/14/2023
S&A JOB NO. 23067
SCALE: 1" = 20'
DRAWN BY: R. OSMENT
CHECKED BY: E. SPOONER

REVISIONS:

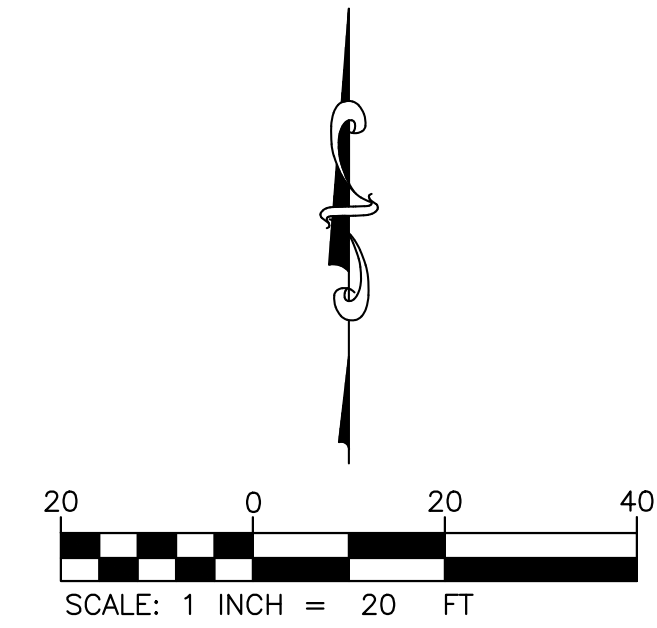
SHEET
1
OF 1



7.7974 ACRES
 ADD65A E.P. HOLMAN, TR 1
 INST NO. 2015-04488 O.P.R.D.C.T.
 OWNER
 DENTON COUNTY FRESH WATER SUPPLY DIST NO 7

DISTURBED AREA

24,313 SQUARE FEET
 0.56 ACRES



DEMOLITION LEGEND

- CLEAR AND GRUB EXISTING LANDSCAPING
- LIMITS OF CONSTRUCTION
- EXISTING CURB & GUTTER TO BE REMOVED
- LIMITS OF DISTURBANCE

DEMOLITION KEY NOTES

- 1N EXISTING TO BE REMOVED AND DISPOSED
- 2N PROTECT EXISTING UTILITIES TO REMAIN
- 3N SAWCUT LINE
- 4N EXISTING TO REMAIN
- 5N TO REMOVE AND RELOCATE
- 6N APPROXIMATE CONSTRUCTION LIMIT LINE

EXISTING LEGEND

- CONTROL POINT
- LIGHT POLE
- TREE (AS DESCRIBED)
- CM (CREPE MYRTLE)
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SAN. SEWER MANHOLE
- SAN. SEWER CLEANOUT
- INLET RIM
- IRRIGATION CONTROL VALVE
- IRRIGATION SPRINKLER HEAD
- BOLLARD POST
- P.R.C.C.T. PLAT RECORDS
- U.G. ELECTRIC
- U.G. GAS
- U.G. WATER
- WOOD FENCE
- WIRE FENCE
- SIGN
- PROPERTY CORNER MARKER FOUND

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL MATERIALS, SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SERVICES TO ANY NECESSARY UTILITIES DURING CONSTRUCTION.
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
5. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM AVAILABLE RECORDS AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
6. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. THE CONTRACTOR SHALL INVESTIGATE AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK.
7. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE ANY ROAD RIGHT OF WAY DURING CONSTRUCTION.
8. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CONSTRUCTION MANAGER.
9. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
10. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
11. CONTRACTOR MAY LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE TOWN UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE STORE AND SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE TOWN DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. DAMAGE TO ALL EXISTING FACILITIES AND IMPROVEMENTS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
14. FOR ALL ITEMS NOTED TO BE REMOVED, REMOVE NOT ONLY THE ABOVE GROUND ELEMENTS, BUT ALSO REMOVE ALL UNDERGROUND ELEMENTS AS WELL INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, GRAVEL FILLS, TREE ROOTS, PIPES, TANKS, ETC.
15. BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK MEETING THE REQUIREMENTS FOR FILL OUTLINED IN THE GEOTECHNICAL INVESTIGATION REPORT FOR THIS SITE.
16. ASBESTOS AND ANY OTHER HAZARDOUS MATERIAL SHALL BE PROPERLY PERMITTED AND REMOVED BY THE CONTRACTOR. CONTRACTOR SHALL SECURE ALL PERMITS FOR DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
17. EXISTING PERIMETER TREES & LANDSCAPING TO REMAIN WHEREVER POSSIBLE.

NOTE:
 CONTRACTOR MUST OBTAIN ROW PERMITS FROM THE TOWN AND/OR DOT PRIOR TO DOING ANY WORK IN THE RIGHT OF WAY.

NOTE:
 ESTIMATED QUANTITIES ARE NOT FOR BIDDING PURPOSES. CONTRACTOR SHALL BASE THEIR BID ON THEIR OWN QUANTITY TAKEOFFS

CONTROL POINT TABLE

POINT	DESCRIPTION	NORTHING	EASTING	ELEV.
500	X-CUT SET	7,077,821.43	2,389,163.88	665.64
501	X-CUT SET	7,077,642.02	2,389,102.99	665.69
502	5/8" CIRS "S&A CONTROL"	7,077,440.73	2,389,287.85	666.04
503	X-CUT SET	7,077,620.29	2,389,434.86	665.82

REVISION	DATE	DESCRIPTION

DEMOLITION PLAN
 SWIG
 3800 FM 407
 LANTANA, TX 76226

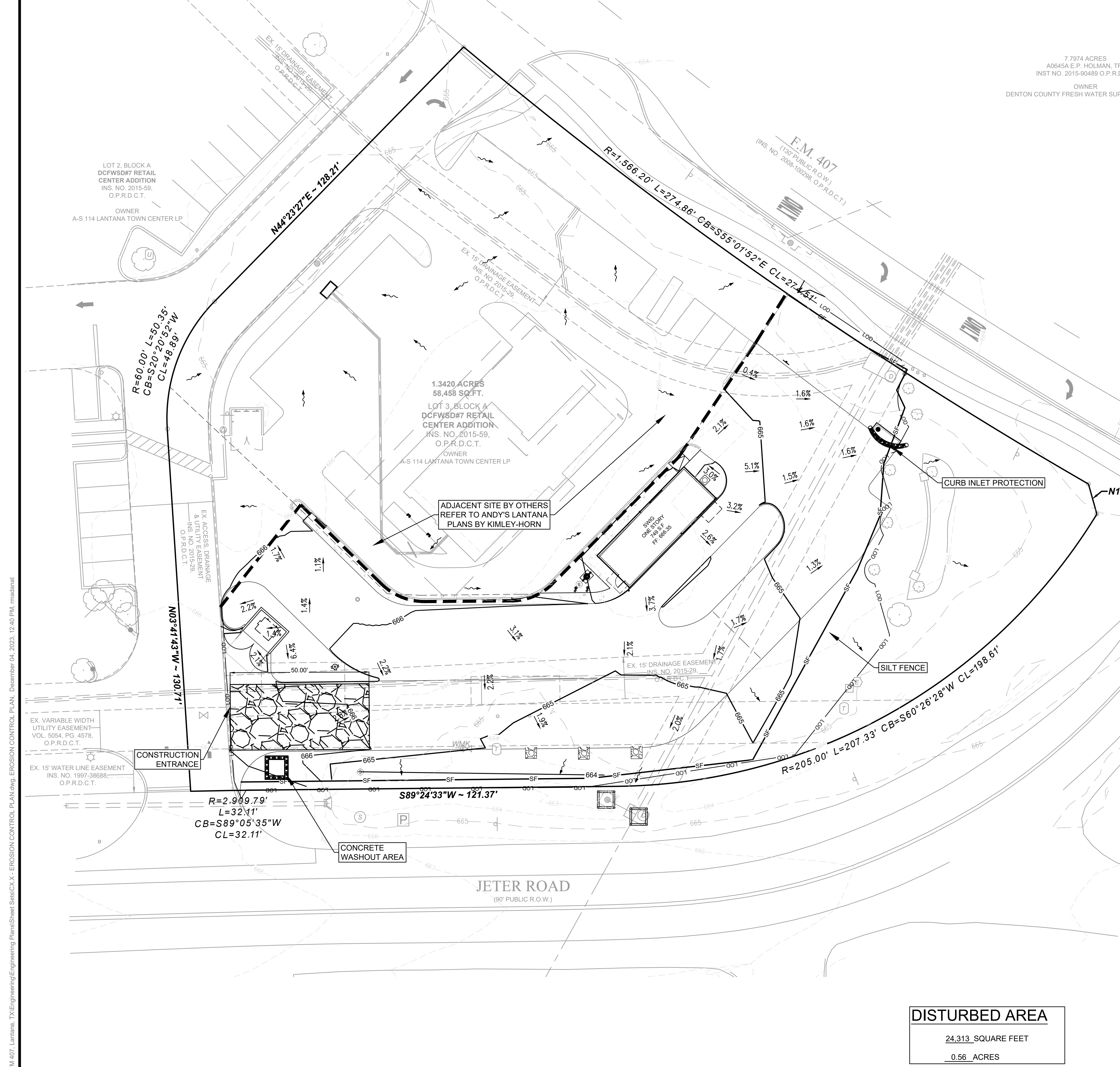
DESIGN	DRAWN	CHKD
RM	RM	KA

JOB No. 070714-01-001
 SHEET
 C1.0



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

V:\070714-SWIG FM 407 Lantana, TX\070714-01-001 (ENG) - SWIG FM 407 Lantana, TX\Engineering\Engineering Plans\Sheet Set\SWIG - DEMOLITION PLAN.dwg, December 04, 2023, 12:40 PM, mrdmatt



7.7974 ACRES
 A0645A E.P. HOLMAN, TR
 INST NO. 2015-90489 O.P.R.C.T.
 OWNER
 DENTON COUNTY FRESH WATER SUP

EROSION CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP AND THAT CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TOILETS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE SODDED/LANDSCAPED PER PLANS. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL WETTED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- ON-SITE AND OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT EROSION AND SEDIMENTATION.
- CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- CONTRACTOR TO LIMIT DISTURBANCE OF SITE IN STRICT ACCORDANCE WITH THE EROSION CONTROL SEQUENCING SHOWN ON THIS PLAN. NO UNNECESSARY OR IMPROPERLY SEQUENCED CLEARING AND/OR GRADING SHALL BE PERMITTED.

BMP MAINTENANCE NOTES

ALL MEASURES STATED ON THESE PLANS SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR COMPLETED PHASE OF WORK OF FINAL STABILIZATION OF THE SITE. SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONSTRUCTION GENERAL PERMIT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

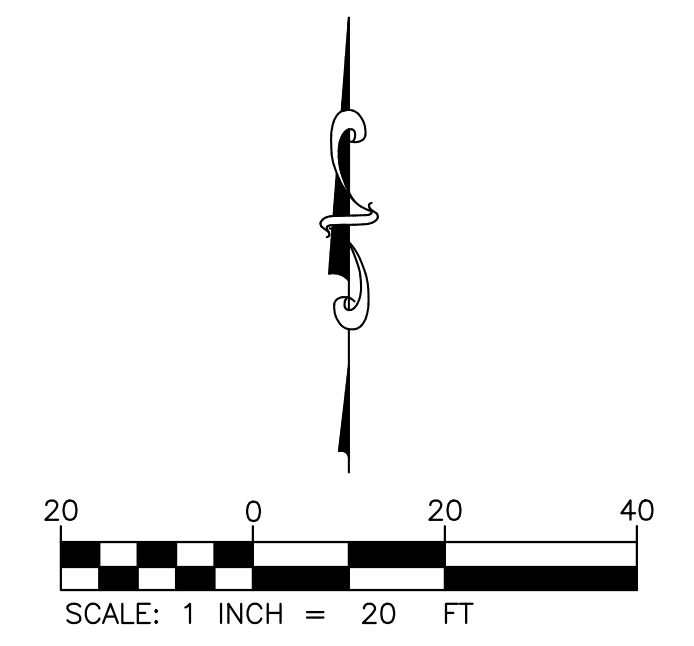
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
- ALL SEEDED/SODDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHALL BE FERTILIZED, WATERED AND REPAIRED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCE WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FENCE.
- THE CONSTRUCTION ENTRANCE/EXIT SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF SEDIMENT FROM THE SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE EXIT AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN A GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE AREA AS CONDITIONS DEMAND.
- PRIOR TO LEAVING THE SITE, ALL VEHICLES SHALL BE CLEANED OF DEBRIS. ANY DEBRIS AND/OR SEDIMENT LEAVING THE SITE SHALL BE CLEANED IMMEDIATELY.
- ALL INLETS AND STORM DRAINS SHALL BE KEPT CLEAN OF DEBRIS AND SEDIMENT. ANY DEBRIS AND/OR SEDIMENT THAT ENTERS ANY INLET OR STORM DRAIN SHALL BE CLEANED IMMEDIATELY. FLUSHING SHALL NOT BE USED TO CLEAN DEBRIS AND/OR SEDIMENT FROM STORM DRAINS.

CONSTRUCTION SEQUENCE

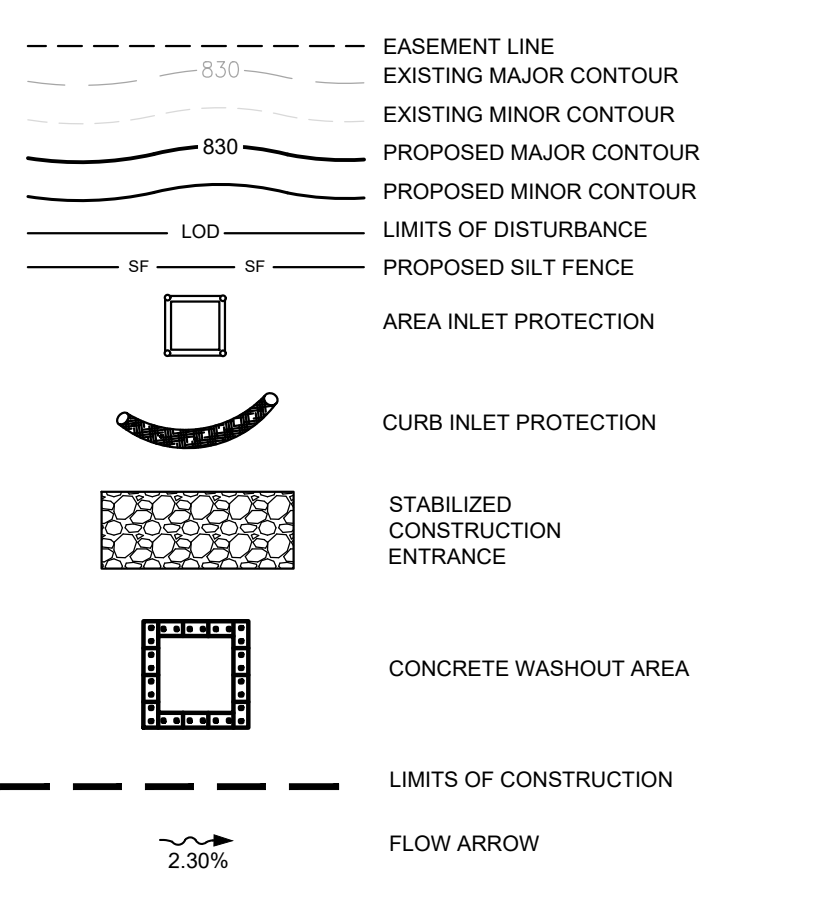
- CONDUCT PRE-CONSTRUCTION MEETING WITH THE TOWN TO DISCUSS EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION PHASING.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL CONSTRUCTION FENCES.
- PREPARE TEMPORARY PARKING AND STORAGE AREAS.
- INSTALL INLET PROTECTION, SILT DIKES, AND SILT FENCE ON THE SITE AS SHOWN ON PLANS WITHIN THE CONSTRUCTION LIMITS.
- DEMO EXISTING STRUCTURES, PAVEMENT, AND SPECIFIED UTILITIES.
- BEGIN GRADING THE SITE.
- BEGIN CONSTRUCTION OF UTILITIES.
- BEGIN SUBGRADE PREPARATION AND CONSTRUCTION OF STRUCTURES.
- BEGIN INSTALLATION OF CURB, GUTTER, AND PAVING.
- COMPLETE PERMANENT STABILIZATION ON AREAS WHERE CONSTRUCTION HAS COMPLETED.
- COMPLETE FINAL GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
- OBTAIN CONCURRENCE FROM THE OWNER AND THE TOWN THAT THE SITE HAS BEEN FULLY STABILIZED.
- REMOVE ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- STABILIZE ALL AREAS DISTURBED BY BMP REMOVAL.

CONTRACTOR MAY COMPLETE CONSTRUCTION RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

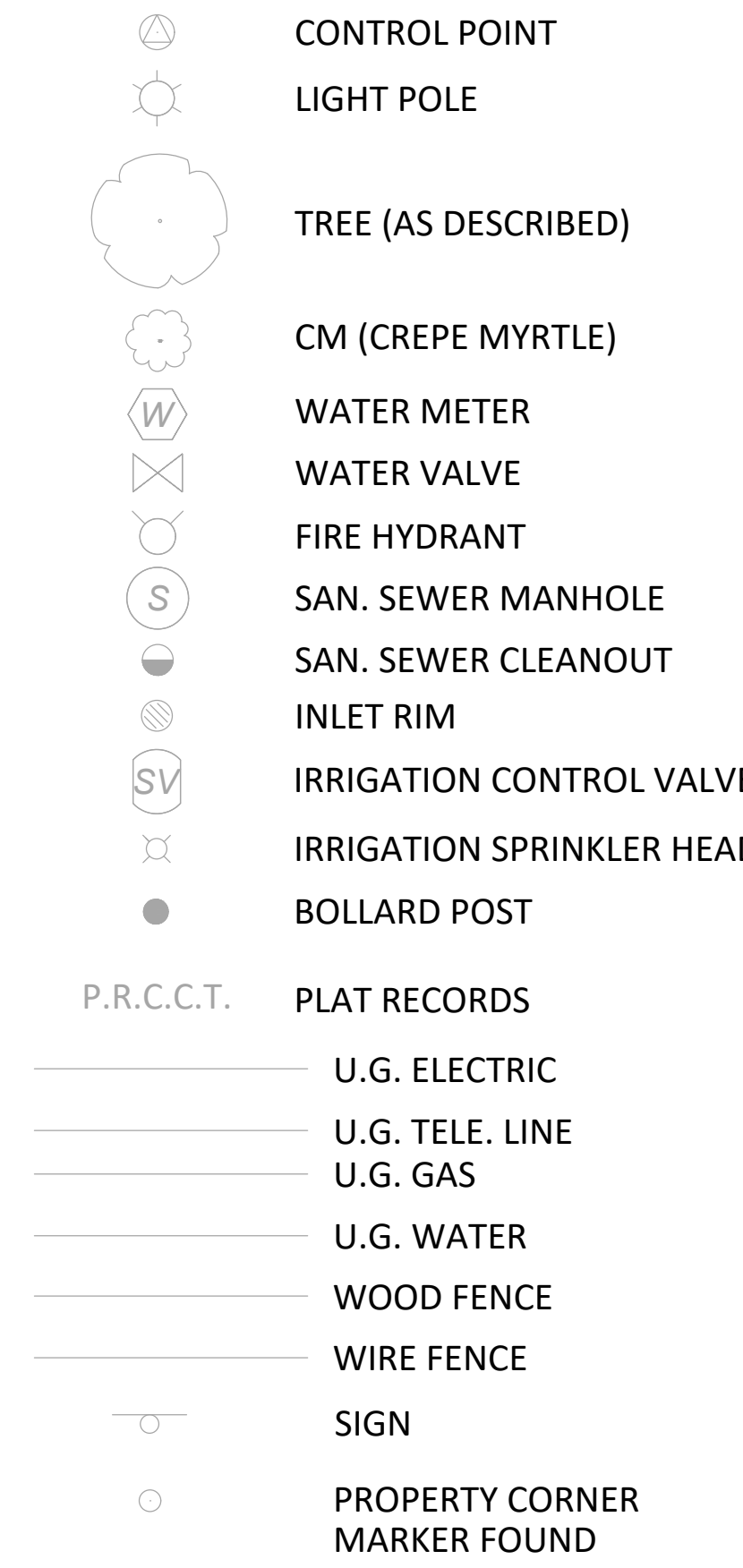
THE ACTUAL SCHEDULE FOR IMPLEMENTING POLLUTANT CONTROL MEASURES WILL BE DETERMINED BY THE PROJECT CONSTRUCTION PROGRESS AND RECORDED BY THE GENERAL CONTRACTOR ON THESE PLANS.



EROSION CONTROL LEGEND



EXISTING LEGEND



DISTURBED AREA
 24,313 SQUARE FEET
 0.56 ACRES

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE											
NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE											
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV/DEC
ROUGH GRADE/SEDIMENT CONTROL											
TEMPORARY CONTROL MEASURES											
STRIP & STOCKPILE TOPSOIL											
STORM FACILITIES											
SITE CONSTRUCTION											
FINISH GRADING											
FOUNDATION/BUILDING CONSTRUCTION											
PERMANENT CONTROL STRUCTURES											
LANDSCAPING/SEED/FINAL STABILIZATION											

CONTROL POINT TABLE				
POINT	DESCRIPTION	NORTHING	EASTING	ELEV.
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503	X-CUT SET	7,077,620.29	2,389,434.86	665.82

Bowman
 © 2021 Bowman Consulting Group, Ltd. P. 14 30 9
 T&E Firm Registration No. 1-14 30 9
 2805 Dallas Parkway
 Suite 310
 Plano, Texas 75093
 Phone: (972) 497-2990
 www.bowman.com

REVISION	DATE	DESCRIPTION

EROSION CONTROL PLAN
 SWIG
 3800 FM 407
 LANTANA, TX 76226

DESIGN	DRAWN	CHKD
RM	RM	KA
JOB No. 070714-01-001		
SHEET C2.0		



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

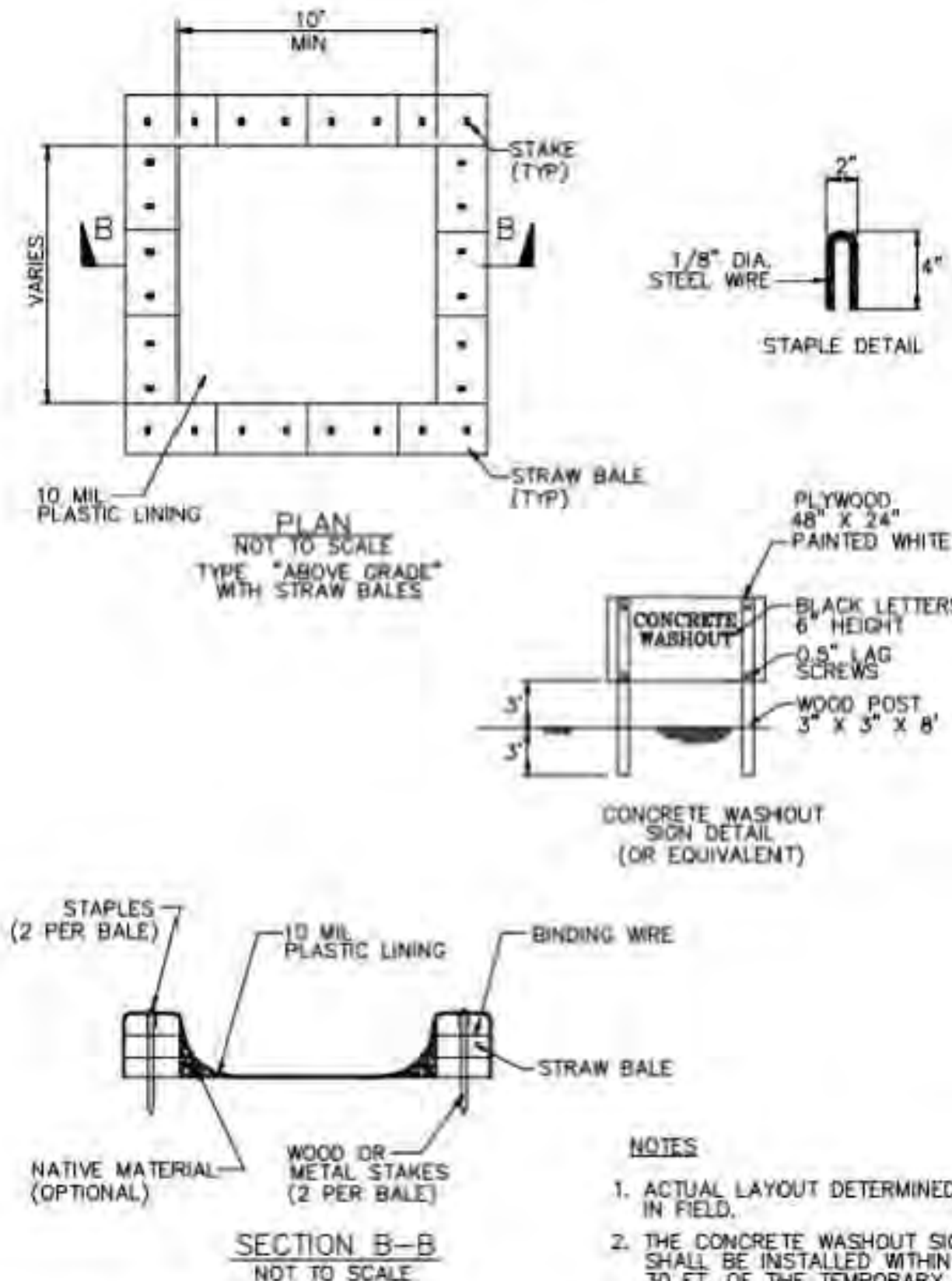
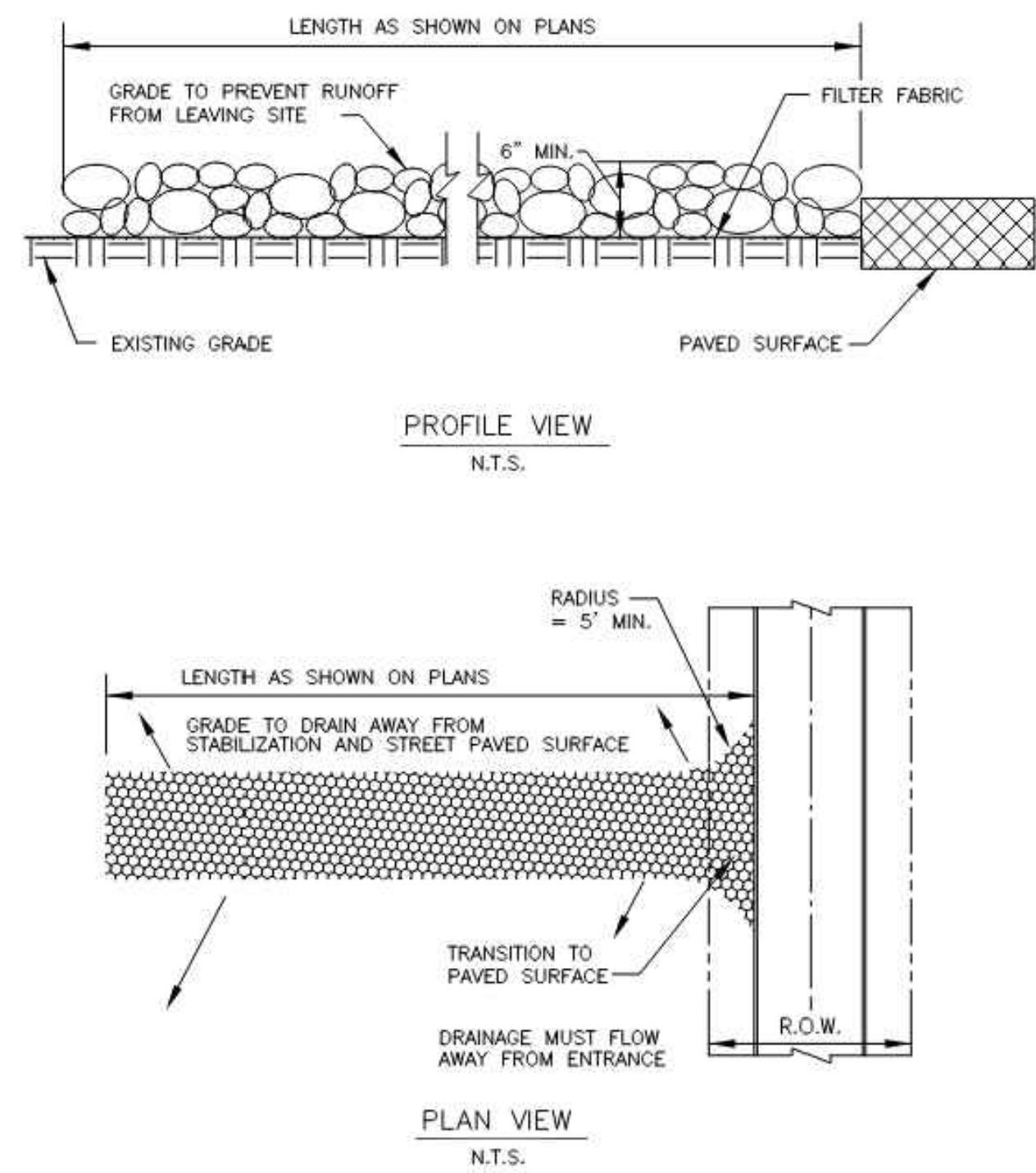


Figure 5: Above grade with straw bales washout (CASQA, 2009)



STABILIZED CONSTRUCTION ENTRANCE

North Central Texas Council of Governments

STANDARD SPECIFICATION REFERENCE: 20211*

DATE: OCT. '04

STANDARD DRAWING NO.: 1070A

- STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:**
1. STONE SHALL BE 3 TO 5 INCH DIAMETER COARSE AGGREGATE.
 2. LENGTH SHALL BE AS SPECIFIED IN THE SWPPP.
 3. THE THICKNESS SHALL NOT BE LESS THAN 12 INCHES.
 4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
 7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
 8. PREVENT SHORTCUTTING OF THE FULL LENGTH OF THE CONSTRUCTION ENTRANCE BY INSTALLING BARRIERS AS NECESSARY.
 9. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP.

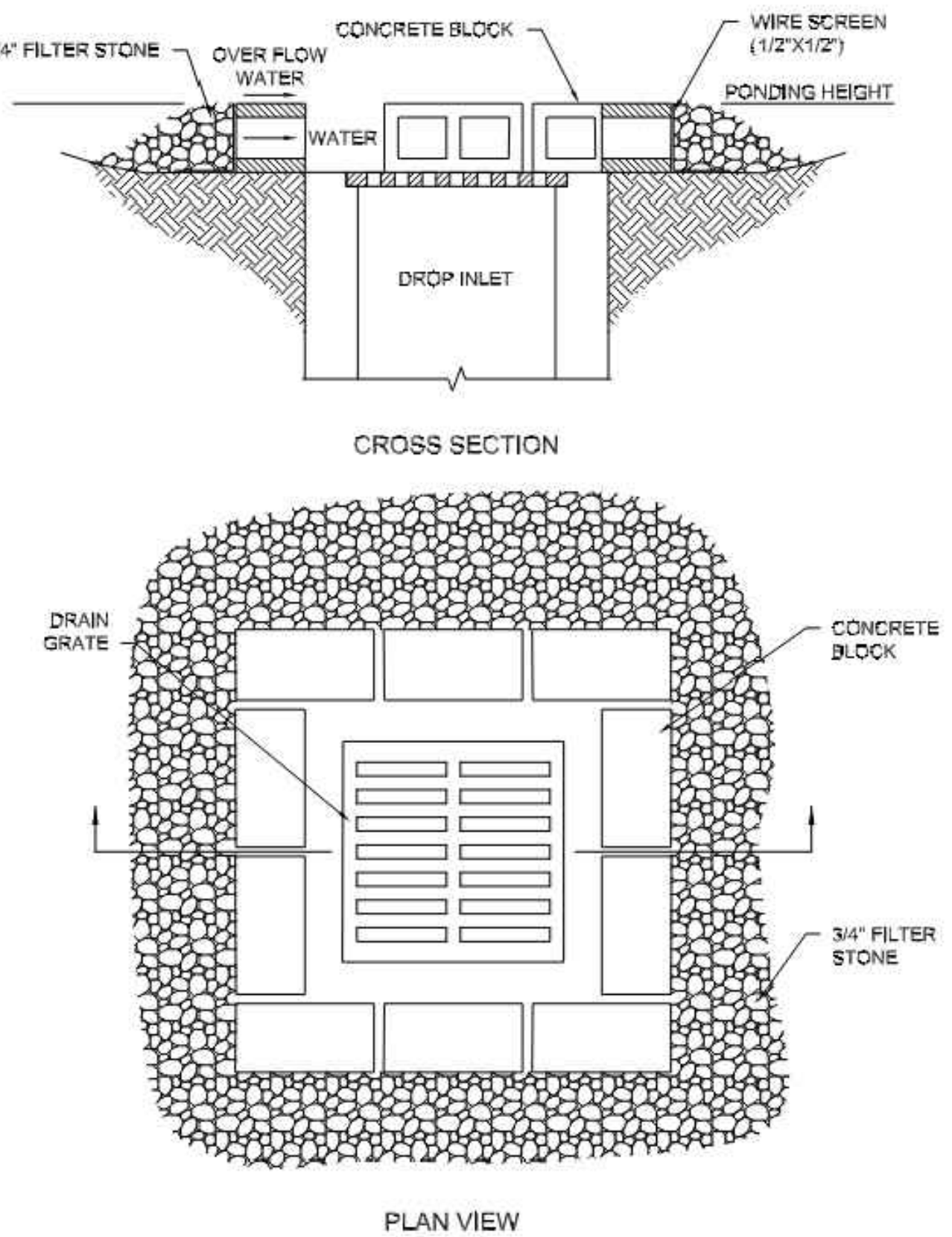
STABILIZED CONSTRUCTION ENTRANCE

North Central Texas Council of Governments

STANDARD SPECIFICATION REFERENCE: 20211*

DATE: OCT. '04

STANDARD DRAWING NO.: 1070B



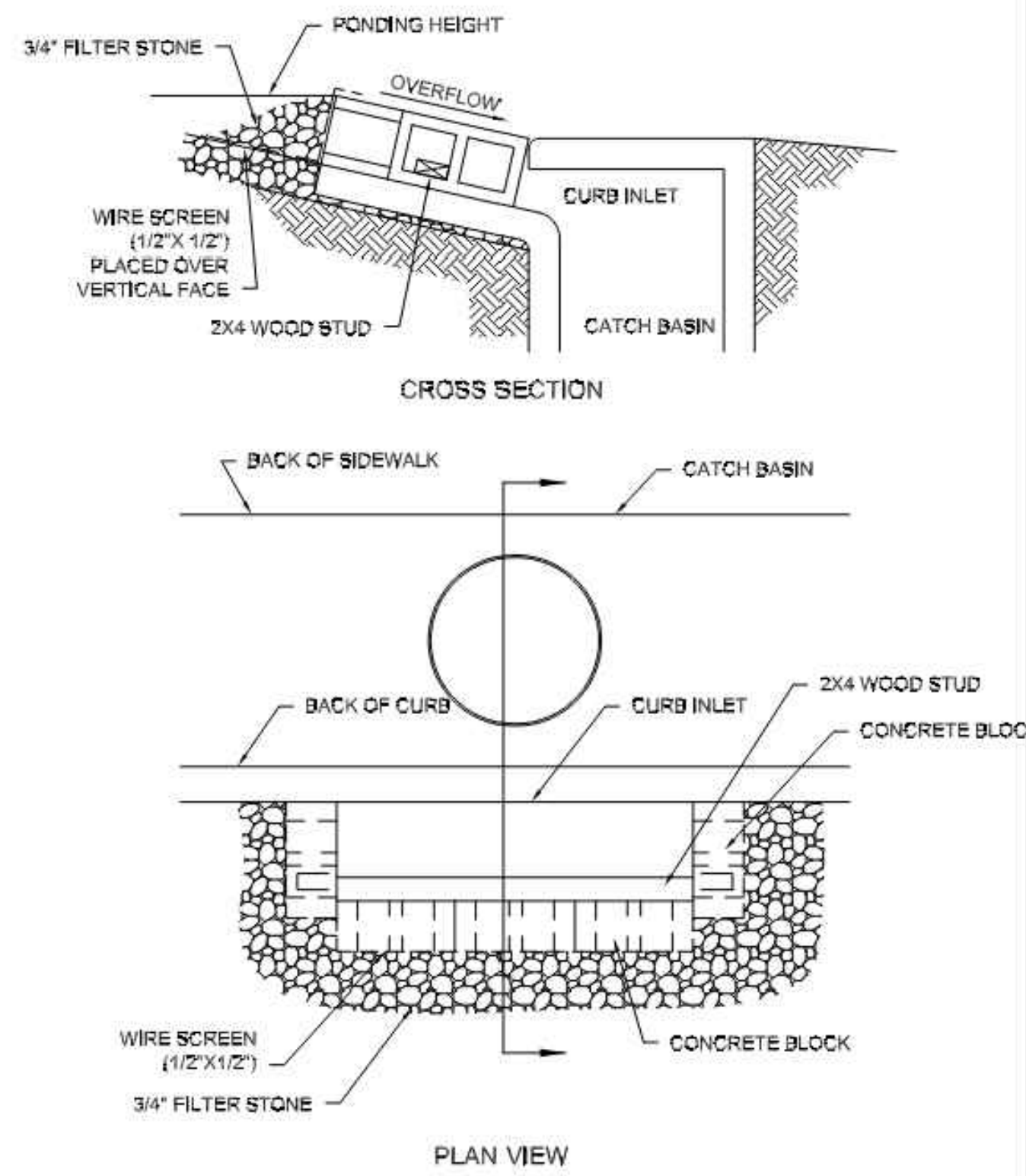
INLET PROTECTION-DROP

North Central Texas Council of Governments

STANDARD SPECIFICATION REFERENCE: 20214*

DATE: OCT. '04

STANDARD DRAWING NO.: 1130



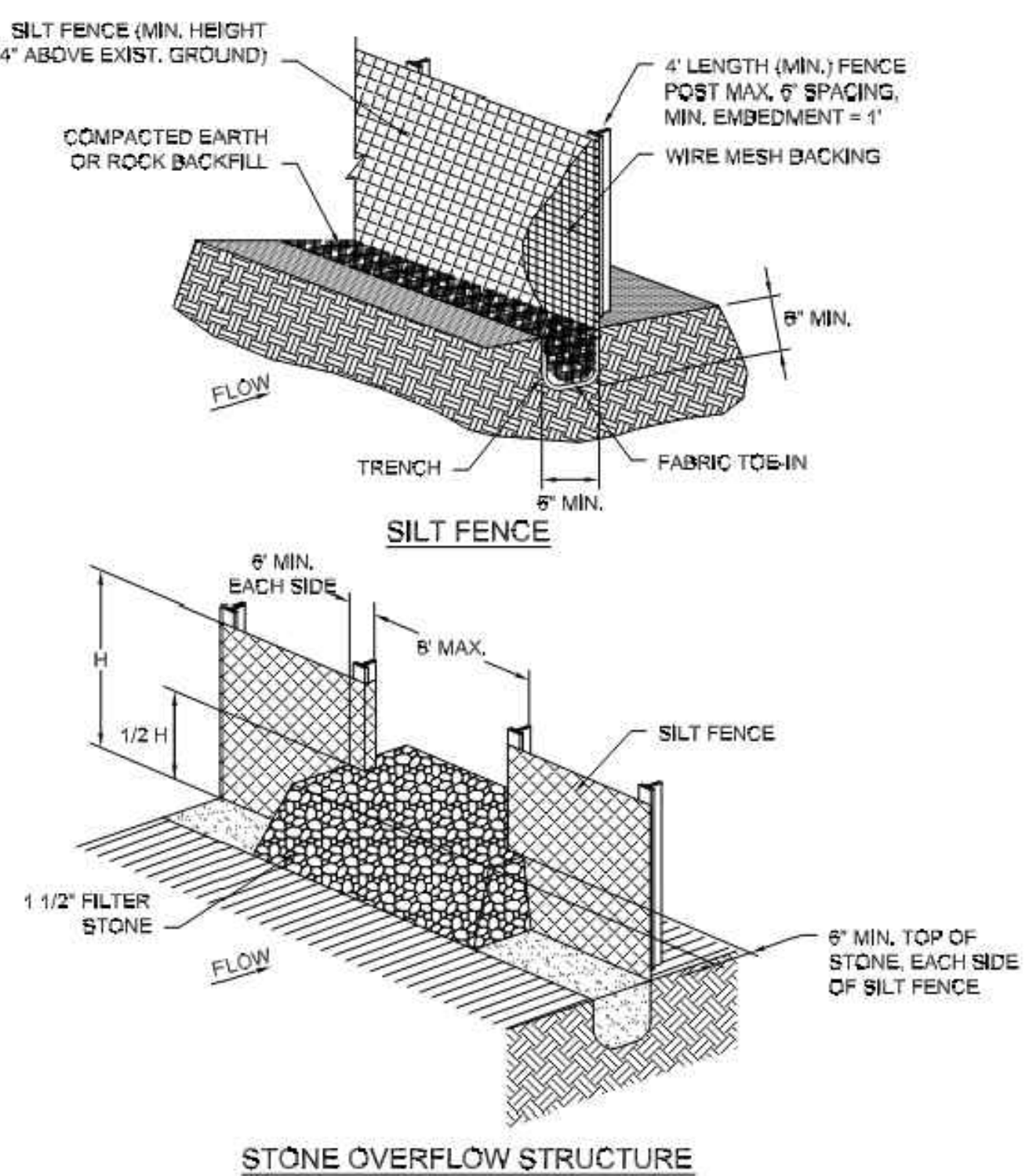
INLET PROTECTION-CURB

North Central Texas Council of Governments

STANDARD SPECIFICATION REFERENCE: 20214*

DATE: OCT. '04

STANDARD DRAWING NO.: 1140



SILT FENCE

North Central Texas Council of Governments

STANDARD SPECIFICATION REFERENCE: 2025*

DATE: OCT. '04

STANDARD DRAWING NO.: 1020A

- SILT FENCE GENERAL NOTES:**
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WIRE BACKING, WHICH IN TURN IS ATTACHED TO THE FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 5. INSPECTION SHALL BE AS SPECIFIED IN THE SWPPP. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 6. SILT FENCE SHALL BE REMOVED WHEN FINAL STABILIZATION IS ACHIEVED OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

SILT FENCE

North Central Texas Council of Governments

STANDARD SPECIFICATION REFERENCE: 2025*

DATE: OCT. '04

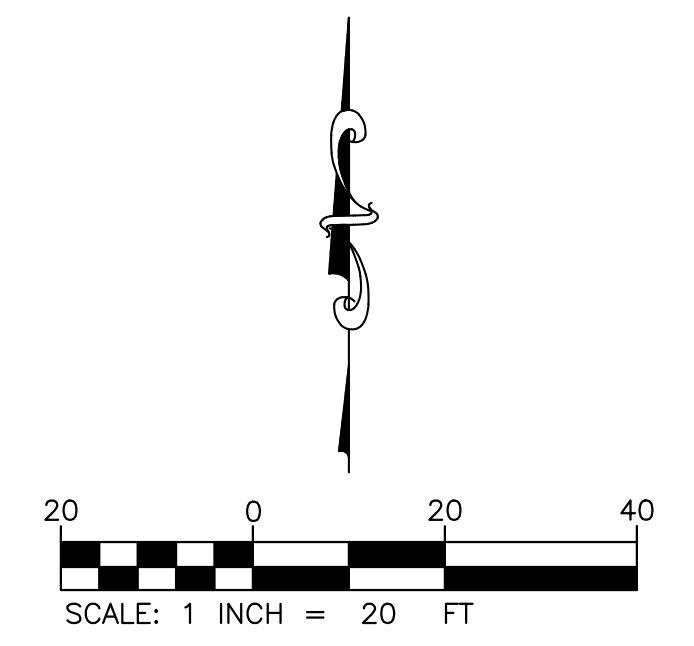
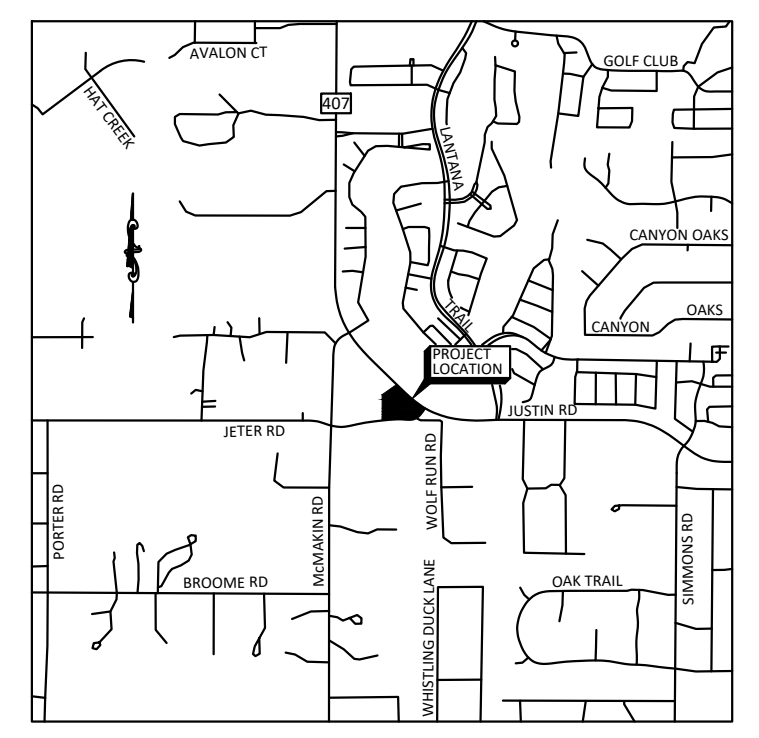
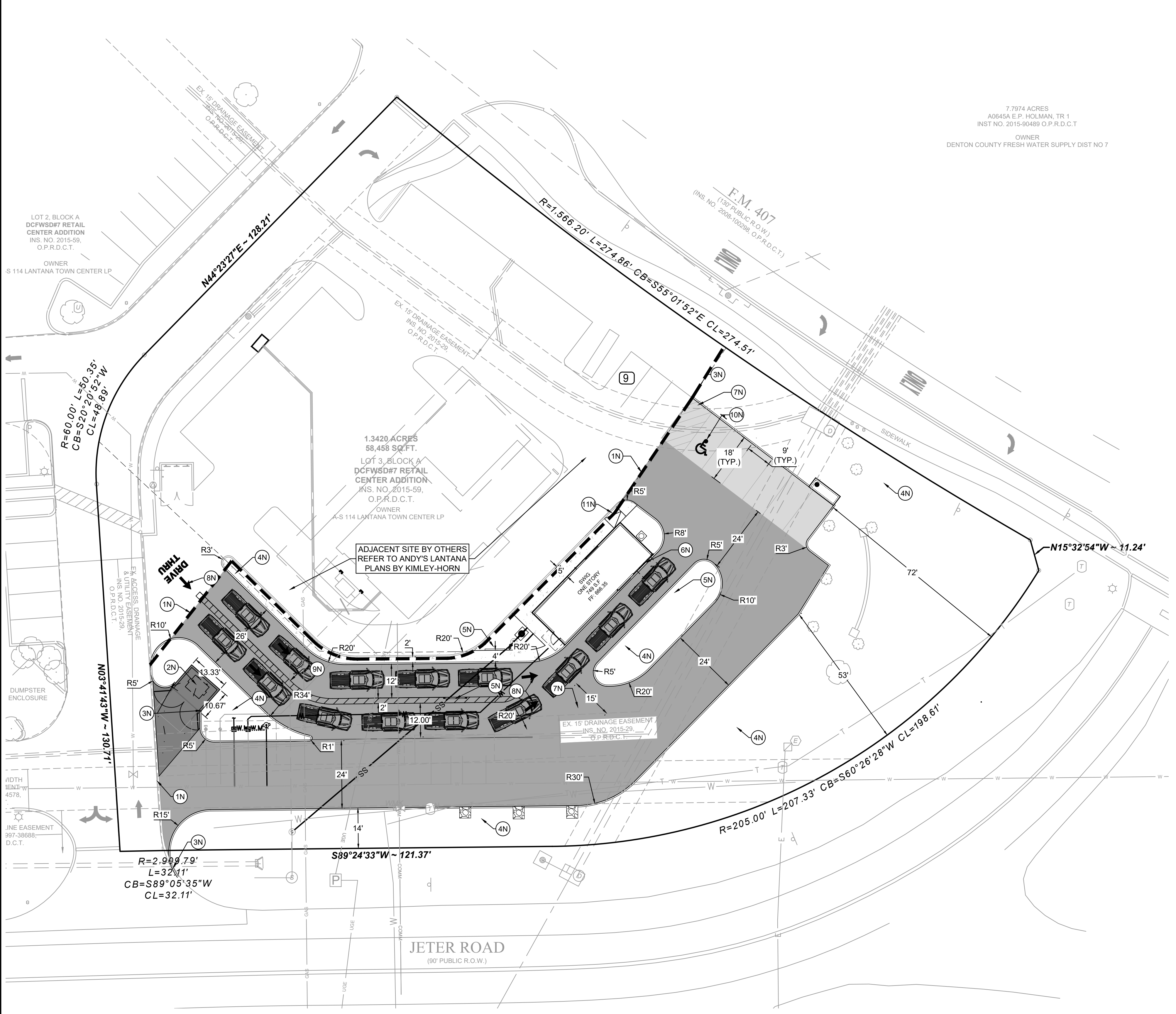
STANDARD DRAWING NO.: 1020B

REVISION	DATE	DESCRIPTION

DESIGN	DRAWN	CHKD
RM	RM	KA
JOB No. 070714-01-001		
SHEET		

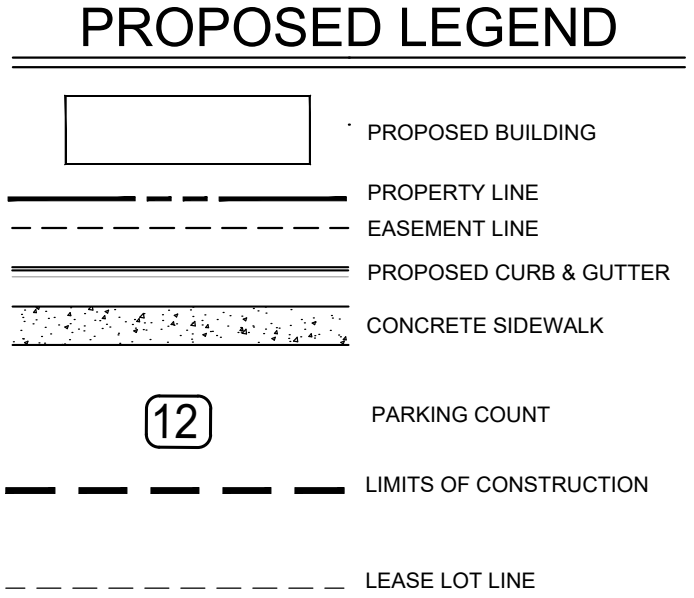
V:\070714 - SWIG FM 407 Lantana, TX\Engineering\Engineering Plans\Sheet Set\C.X.X - EROSION CONTROL DETAILS.dwg EROSION CONTROL DETAILS - December 04, 2023, 12:40 PM, rmdlanan

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SITE DATA TABLE

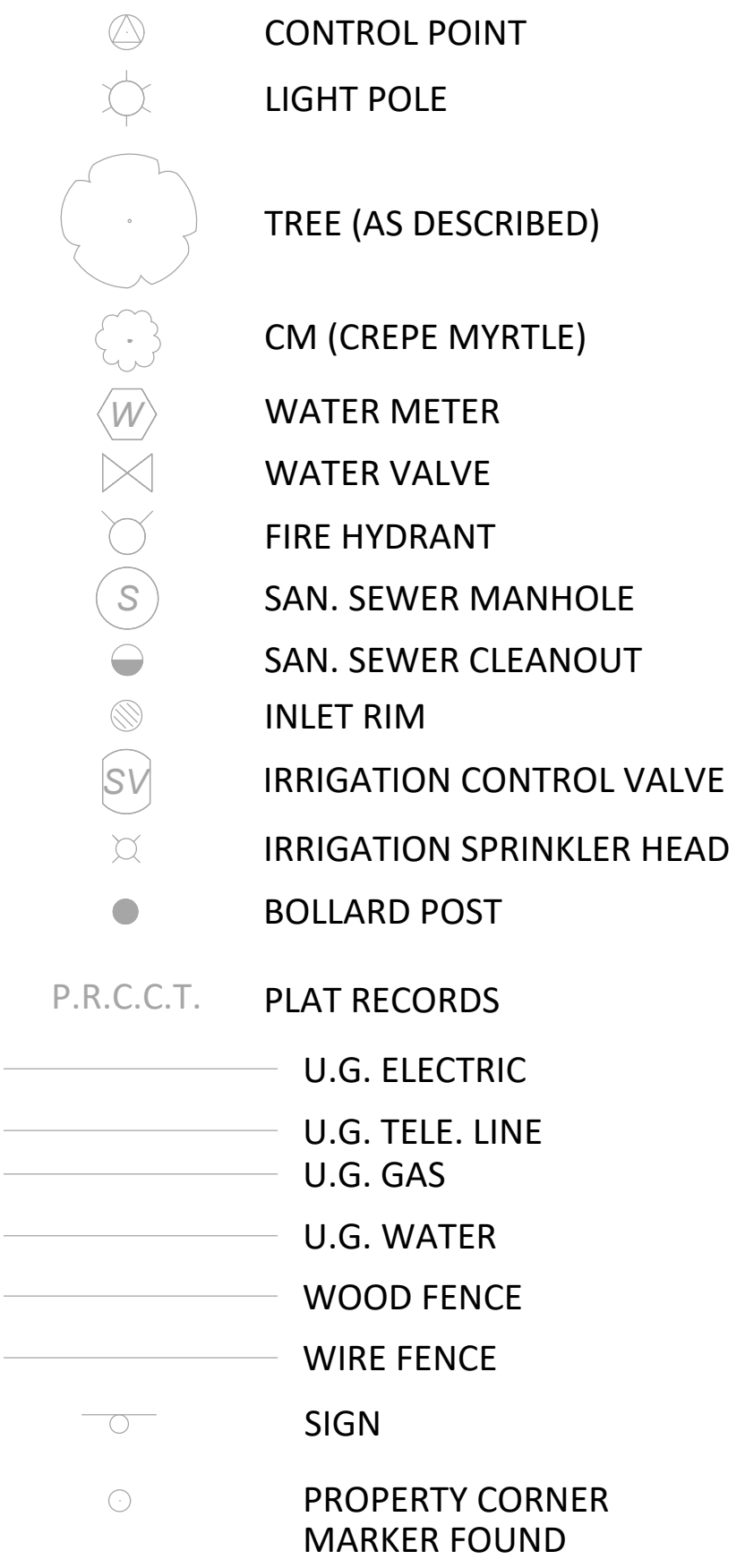
PROJECT NAME	SWIG
ZONING	GC (GENERAL COMMERCIAL)
EXISTING USE	UNDEVELOPED LAND
PROPOSED USE	RESTAURANT
LOT AREA/SF AND AC	32,776 SF / 0.75 ACRES
OVERALL AREA/SF AND AC	32,776 SF / 0.75 ACRES
BUILDING AREA (GROSS SQUARE FOOTAGE)	749 SF
BUILDING HEIGHT (FEET AND NUMBER OF STORIES)	16 FT (1-STORY)
LOT WIDTH	289.33
LOT DEPTH	287.00
FRONT YARD SETBACK	50 FT
SIDE (E&W) YARD SETBACK	25 FT
REAR YARD SETBACK	25 FT
TOTAL PARKING REQUIRED	REGULAR PARKING RATIO FOR RESTAURANT 1:100 = 750/100 = 8 SPACES 1 ACCESSIBLE PARKING REQUIRED FOR 1 to 25 SPACES PROVIDED
TOTAL PARKING PROVIDED	9 (INCLUDING 3 EXISTING SPACES)



GENERAL SITE NOTES

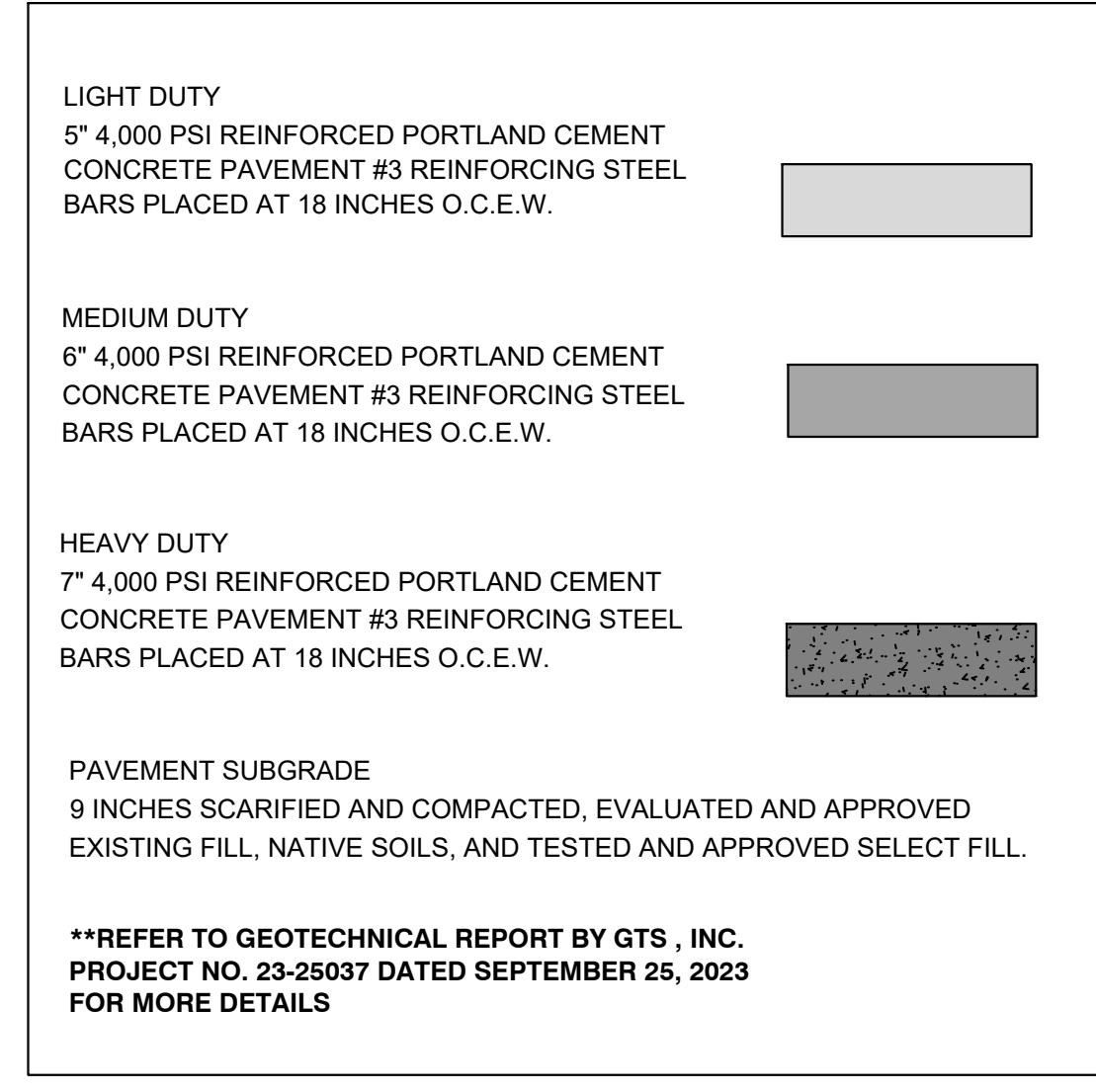
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB, PROPERTY LINE OR CENTERLINE OF STRIPING UNLESS OTHERWISE NOTED.
- ALL EXISTING EASEMENTS, RIGHTS-OF-WAY, AND LOT LINES MAY NOT BE SHOWN. REFER TO THE TOPOGRAPHIC SURVEY PREPARED BY SPOONER & ASSOCIATES, DATED AUGUST 14, 2023, FOR COMPLETE BOUNDARY INFORMATION AND ASSOCIATED ENCUMBRANCES.
- A PRE-CONSTRUCTION MEETING WITH CITY ENGINEER SHALL BE HELD PRIOR TO INSTALLATION OF CONSTRUCTION.
- THE TOWN OF BARTONVILLE SHALL BE GIVEN AT LEAST 48 HOURS NOTICE PRIOR TO PERFORMING ANY INSPECTIONS.
- TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE PROJECT PLANS, THE CURRENT EDITION OF THE TxDOT DESIGN STANDARDS AND THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL MECHANICAL EQUIPMENT TO BE ROOF MOUNTED AND SCREENED FROM THE STREET.
- CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE AFOREMENTIONED CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
- ALL AFFECTED SIDEWALKS, RAMPS AND CROSSWALKS, WILL BE BUILT AND INSPECTED TO MEET CURRENT ADA REQUIREMENTS.
- BUILDING SETBACK DIMENSIONS MEASURED TO OUTERMOST ARCHITECTURAL FEATURE. CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL CURB RADI ARE 5' UNLESS SHOWN OTHERWISE.
- PRIOR TO INSTALLATION, CONTRACTOR MUST VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING AND UTILITIES.
- ROW PERMITS REQUIRED FOR WORK WITHIN ROW.
- CONTRACTOR MUST REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND LOCATIONS OF ALL OUTSIDE DOORS AND BUILDING UTILITIES
- CONTRACTOR MUST REFER TO PHOTOMETRIC PLANS FOR SITE LIGHTING INFORMATION.

EXISTING LEGEND



NOTES

- 1N MATCH EXISTING PAVEMENT
- 2N DUMPSTER ENCLOSURE (REFER TO ARCH. PLANS)
- 3N END CURB
- 4N LANDSCAPE AREA
- 5N MENU ORDER BOARD (REFER TO ARCH. PLANS)
- 6N ORDER PICKUP WINDOW (REFER TO ARCH. PLANS)
- 7N NO PARKING STRIPING
- 8N PAVEMENT MARKING
- 9N AREA STRIPED AT 4" WIDE SINGLE SOLID YELLOW LINE AT 45 DEGREE AT 2' O.C.
- 10N ADA PARKING
- 11N ADA RAMP



FLOOD STATEMENT
ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO.48121C0510G DATED APRIL 18, 2011 PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR DENTON COUNTY, TEXAS, THIS PROPERTY IS WITHIN ZONE X.

CONTROL POINT TABLE				
POINT	DESCRIPTION	NORTHING	EASTING	ELEV.
500	X-CUT SET	7,077,821.43	2,389,163.88	665.64
501	X-CUT SET	7,077,642.02	2,389,102.99	665.69
502	5/8" CIRS "S&A CONTROL"	7,077,440.73	2,389,287.85	666.04
503	X-CUT SET	7,077,620.29	2,389,434.86	665.82

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Phone: (972) 497-2990
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REVISION	DATE	DESCRIPTION

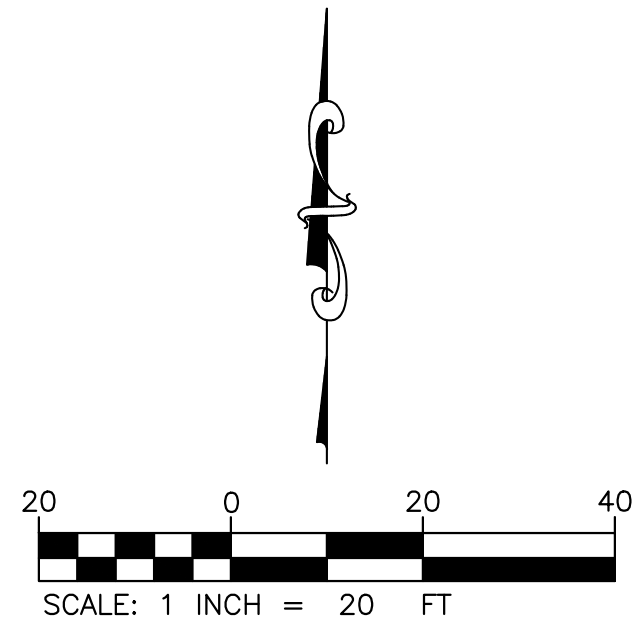
SITE PLAN

SWIG
3800 FM 407
LANTANA, TX 76226

DESIGN RM	DRAWN RM	CHKD KA
JOB No. 070714-01-001		
SHEET SP-1		



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



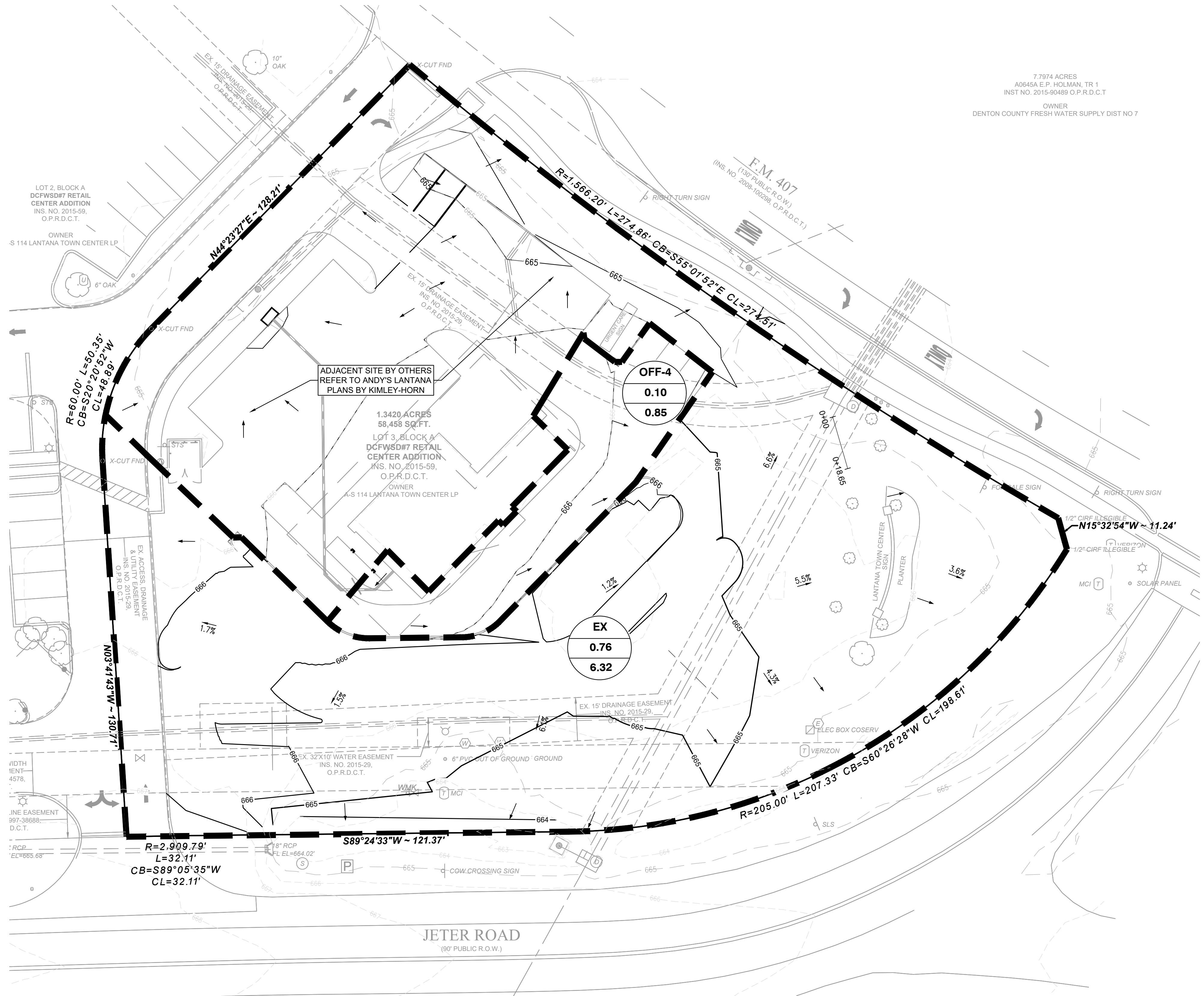
DRAINAGE LEGEND

- DRAINAGE AREA BOUNDARY
- DRAINAGE AREA IDENTIFIER I.D. Area (acres) 100-Year Runoff (cfs)
- EXISTING CONTOURS XXX
- FLOW ARROW 2.30%
- CURB INLET

EXISTING LEGEND

- CONTROL POINT
- LIGHT POLE
- TREE (AS DESCRIBED)
- CM (CREPE MYRTLE)
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SAN. SEWER MANHOLE
- SAN. SEWER CLEANOUT
- INLET RIM
- IRRIGATION CONTROL VALVE
- IRRIGATION SPRINKLER HEAD
- BOLLARD POST
- P.R.C.C.T. PLAT RECORDS
- U.G. ELECTRIC
- U.G. TELE. LINE
- U.G. GAS
- U.G. WATER
- WOOD FENCE
- WIRE FENCE
- SIGN
- PROPERTY CORNER MARKER FOUND

7.7974 ACRES
 A0645A E.P. HOLMAN, TR 1
 INST. NO. 2015-00489 O.P.R.D.C.T.
 OWNER
 DENTON COUNTY FRESH WATER SUPPLY DIST NO 7



ADJACENT SITE BY OTHERS
 REFER TO ANDY'S LANTANA
 PLANS BY KIMLEY-HORN

1.3420 ACRES
 58,458 SQ.FT.
 LOT 3, BLOCK A
 DCFWSD#7 RETAIL
 CENTER ADDITION
 INS. NO. 2015-59,
 O.P.R.D.C.T.
 OWNER
 S-114 LANTANA TOWN CENTER LP

PRE-DEVELOPMENT CONDITIONS					
DRAINAGE AREA	AREA (AC)	RUNOFF COEFFICIENT (C)	RAINFALL INTENSITY I ₁₀₀ (IN/HR)	TIME OF CONCENTRATION (MIN)	FLOW Q ₁₀₀ (CFS)
EX-1	0.76	0.9	9.24	10	6.32

NOTES:
 • RAINFALL INTENSITIES AND RUNOFF COEFFICIENT ARE BASED ON RECORD PLANS FOR LANTANA TOWN CENTER BY WINKELMANN & ASSOCIATES, INC. DATED 11/29/2013.

CONTROL POINT TABLE				
POINT	DESCRIPTION	NORTHING	EASTING	ELEV.
500	X-CUT SET	7,077,821.43	2,389,163.88	665.64'
501	X-CUT SET	7,077,642.02	2,389,102.99	665.69'
502	5/8" CIRS "S&A CONTROL"	7,077,440.73	2,389,287.85	666.04'
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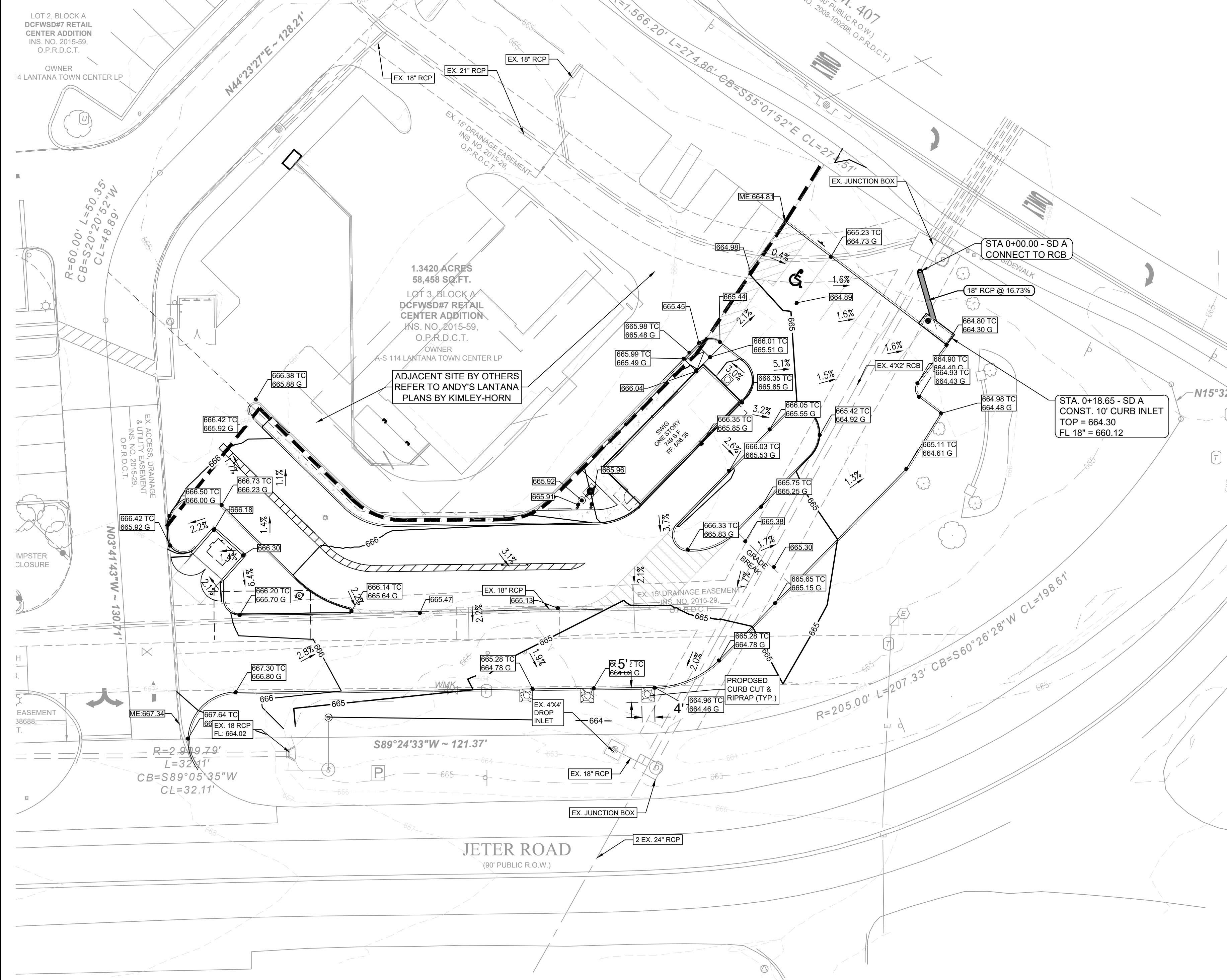
PRE-DEVELOPMENT DRAINAGE AREA MAP

SWIG
 3800 FM 407
 LANTANA, TX 76226

DESIGN	DRAWN	CHKD
RM	RM	KA
JOB No. 070714-01-001		
SHEET C4.0		

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



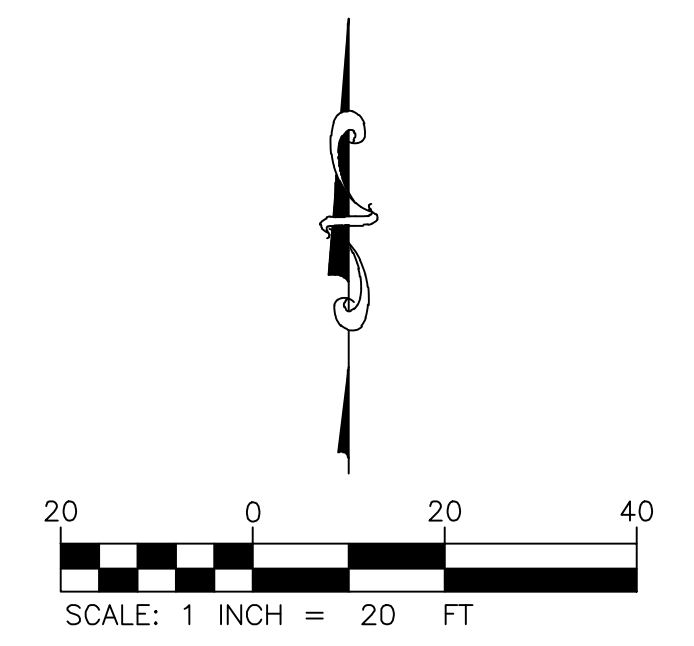


GRADING & DRAINAGE NOTES

- CONTRACTOR SHALL SAWCUT AND REPAIR 2" INTO THE EXISTING CONCRETE AT ALL DRIVEWAY CONNECTIONS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE AND BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE AND WERE LOCATED BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS, AND/OR FROM UTILITY OWNERS. THE OWNER DOES NOT GUARANTEE THAT EXISTING UTILITY LOCATIONS ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE AND BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY OWNER AND/OR ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILTS AND DEBRIS.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING AND FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH TOWN SPECIFICATIONS UNTIL HEALTHY STAND OF GRASS IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REVIEW GEOTECHNICAL REPORT PROVIDED BY THE OWNER.
- CONTRACTOR TO PROVIDE AS-BUILTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES. IN ADDITION TO THE AFOREMENTIONED CRITERIA AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
- ALL PROPOSED SPOT ELEVATIONS ARE PAVEMENT GRADES, UNLESS OTHERWISE NOTED, TOP OF CURB ELEVATIONS ARE 6 INCH ABOVE ELEVATIONS SHOWN ON THIS PLAN.
- ALL ELEVATIONS PRESENTED IN THESE PLANS ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF NAVD 88.
- CONTRACTOR TO MAINTAIN 1' MINIMUM CLEARANCE BETWEEN PIPES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO ENSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAN OF MUD, DUST OR DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR.
- CLEAR AND GRUB WITHIN WORK LIMITS FOR ALL SURFACE VEGETATION, TREES, STUMPS, BRUSH, ROOTS, ETC. DO NOT DAMAGE OR REMOVE TRESS EXCEPT AS APPROVED BY THE ENGINEER OR AS SHOWN ON THE DRAWINGS. PROTECT ALL ROOTS TWO INCHES IN DIAMETER OR LARGER.
- STRIP WORK LIMITS, REMOVING ALL ORGANIC MATTER WHICH CANNOT BE COMPACTED INTO A STABLE MASS. ALL TRESS, BRUSH, AND DEBRIS ASSOCIATED WITH CLEARING, STRIPPING OR GRADING SHALL BE REMOVED AND DISPOSED OFF SITE BY THE CONTRACTOR.
- IMMEDIATELY FOLLOWING FINE GRADING OPERATIONS, COMPACT SUBGRADE TO 95% OF MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD (MODIFIED PROCTOR). PROOF ROLLING WITH A LOADED DUMP TRUCK IS A SUITABLE ALTERNATIVE TO THIS PROJECT.
- ALL FILLS WITHIN PUBLIC ROW AND EASEMENTS SHALL BE ENGINEERED. ADDITIONALLY, ANY FILLS OUTSIDE OF PUBLIC ROW WHICH ARE OVER TWO (2) FEET IN DEPTH SHALL BE ENGINEERED. ENGINEERED FILLS SHALL BE CONSTRUCTED IN 6" LIFTS. EACH LIFT SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER AASHTO T-180 TEST METHOD (MODIFIED PROCTOR).
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, STRAIGHT GRADES SHALL BE RUN BETWEEN ALL FINISH GRADE ELEVATIONS AND/OR FINISH CONTOUR LINES SHOWN. FINISH PAVEMENT GRADES AT TRANSITION TO EXISTING PAVEMENT SHALL MATCH EXISTING PAVEMENT GRADES OR SHALL BE FEATHERED PAST JOINTS WITH EXISTING PAVEMENT AS REQUIRED TO PROVIDE A SMOOTH, FREE DRAINAGE SURFACE.
- ALL EXISTING AND CONSTRUCTED MANHOLES, CLEANOUTS, MONUMENTS, GAS VALVES, WATER VALVES, AND SIMILAR STRUCTURES SHALL BE ADJUSTED TO MATCH FINISH GRADE OF THE PAVEMENT, SIDEWALK, LANDSCAPED AREA, OR MEDIAN STRIP WHEREIN THEY LIE.
- UNLESS OTHERWISE SHOWN ON THE DRAWINGS, NO CUT OR FILL SLOPES SHALL BE CONSTRUCTED STEEPER THAN 3:1.
- CONTRACTOR SHALL HYDROSEED ALL EXPOSED SLOPES AND DISTURBED AREAS WHICH ARE NOT SCHEDULED TO BE LANDSCAPED.

ADA NOTES

- THE DESIGN PROFESSIONAL SIGNING THIS DOCUMENT REPRESENTS THAT TO THE BEST OF HIS/HER PROFESSIONAL JUDGEMENT, KNOWLEDGE, AND BELIEF THE DESIGN SPECIFICATIONS HEREIN COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- ALL GRADES/SLOPES SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUMS ALLOWED BY THE AMERICANS WITH DISABILITIES ACT (ADA). IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, AND THE ADA DESIGN MANUAL. IN THE EVENT THAT A DESIGN QUESTION SHOULD ARISE, OR A FIELD CONDITION PRESENT ITSELF THAT IS DIFFERENT FROM THOSE SHOWN ON THESE PLANS, WORK SHOULD CEASE AND THE ENGINEER SHOULD BE NOTIFIED SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL THE PHASES OF WORK RELATING TO ADA ACCESSIBILITY FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR CONSTRUCTION TOLERANCE, ANY CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS REQUIRED BY ADA ARE SUBJECT TO REJECTION AND MAY BE REQUIRED TO BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- SINCE THE CIVIL ENGINEER OR SURVEYOR CANNOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUBCONTRACTORS DURING GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER OR SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE FINAL ACCEPTANCE OF AMERICANS WITH DISABILITIES ACT ACCESSIBILITY RELATED ITEMS BY THE TOWN, ANY OTHER AUTHORITY, OR AFFECTED PARTIES.



GRADING LEGEND

PROPERTY LINE	—
PROPOSED BUILDING	▭
PROPOSED CONTOUR	— 430 —
EXISTING CONTOUR	- - - 430 - - -
DIRECTION OF FLOW	→ 2.30%
SPOT ELEVATION	✕ 663.58
TOP AND GUTTER ELEVATION	+ 645.20 TC 645.70 G
MATCH EXISTING ELEVATION	✕ ME: 643.58
CURB INLET	▭
LIMITS OF CONSTRUCTION	- - -

EXISTING LEGEND

	CONTROL POINT
	LIGHT POLE
	TREE (AS DESCRIBED)
	CM (CREPE MYRTLE)
	WATER METER
	WATER VALVE
	FIRE HYDRANT
	SAN. SEWER MANHOLE
	SAN. SEWER CLEANOUT
	INLET RIM
	IRRIGATION CONTROL VALVE
	IRRIGATION SPRINKLER HEAD
	BOLLARD POST
	P.R.C.C.T. PLAT RECORDS
	U.G. ELECTRIC
	U.G. TELE. LINE
	U.G. GAS
	U.G. WATER
	WOOD FENCE
	WIRE FENCE
	SIGN
	PROPERTY CORNER MARKER FOUND

CONTRACTOR SHALL CONTACT 811 FOR LOCATION OF ALL UTILITIES, AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

POINT	DESCRIPTION	NORTHING	EASTING	ELEV.
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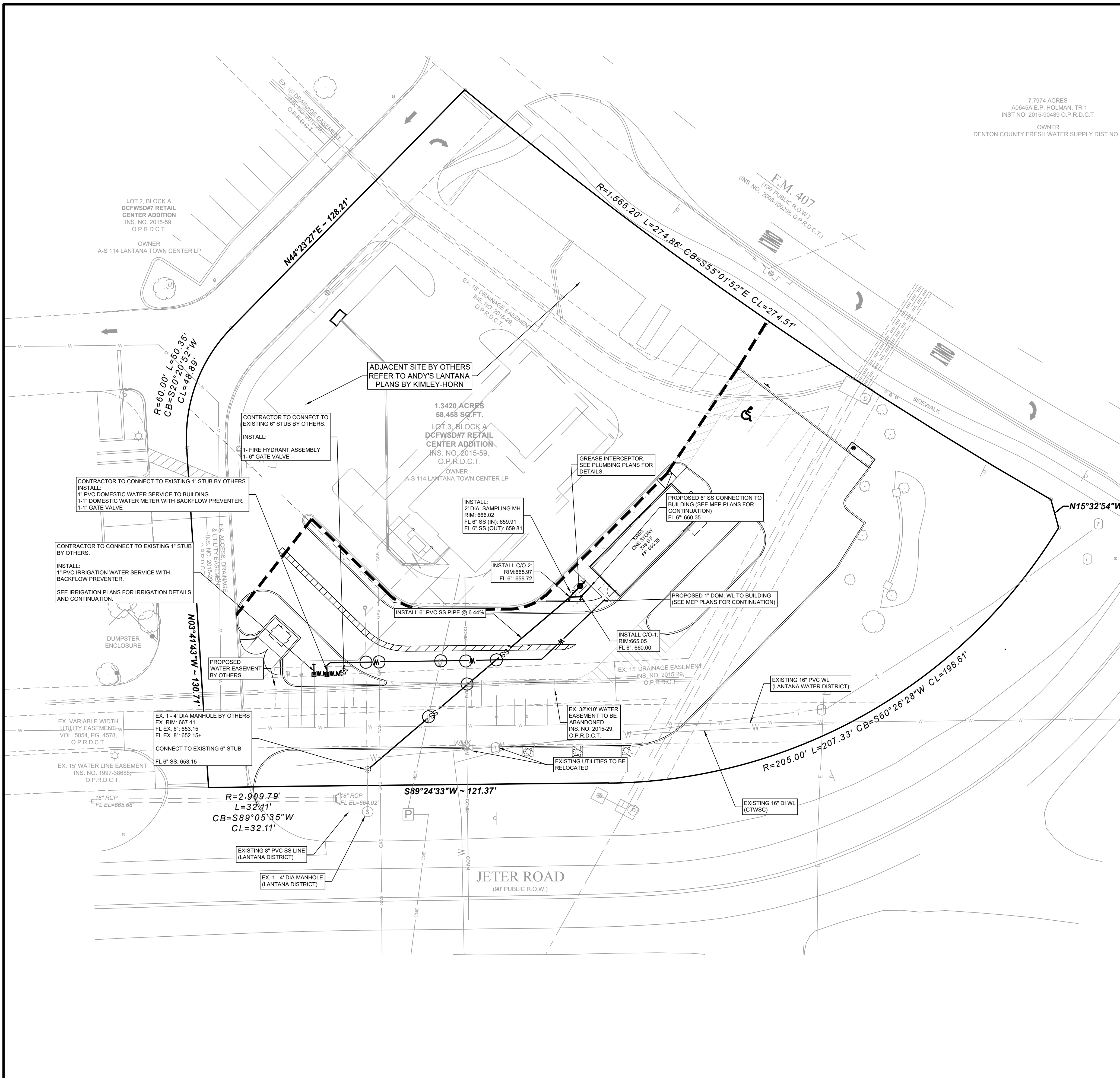
Bowman
 2021 Bowman Consulting Group, Ltd. L-4309
 TRP E. Firm Registration No. P-4309
 2805 Dallas Parkway
 Suite 310
 Plano, Texas 75093
 Phone: (972) 407-2990
 www.bowman.com

REVISION	DATE	DESCRIPTION

GRADING & DRAINAGE PLAN
 SWIG
 3800 FM 407
 LANTANA, TX 76226

DESIGN	DRAWN	CHKD
RM	RM	KA
JOB No. 070714-01-001		
SHEET		
C5.0		

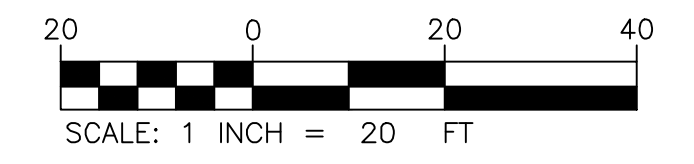
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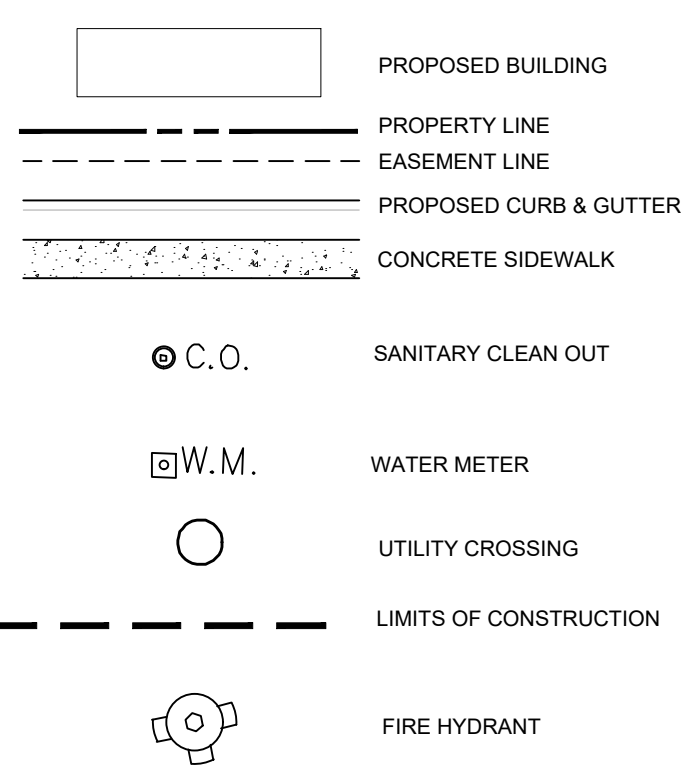
7.7974 ACRES
A0645A E.P. HOLMAN, TR 1
INST. NO. 2015-90489 O.P.R.D.C.T.
OWNER
DENTON COUNTY FRESH WATER SUPPLY DIST NO 7

UTILITY NOTES

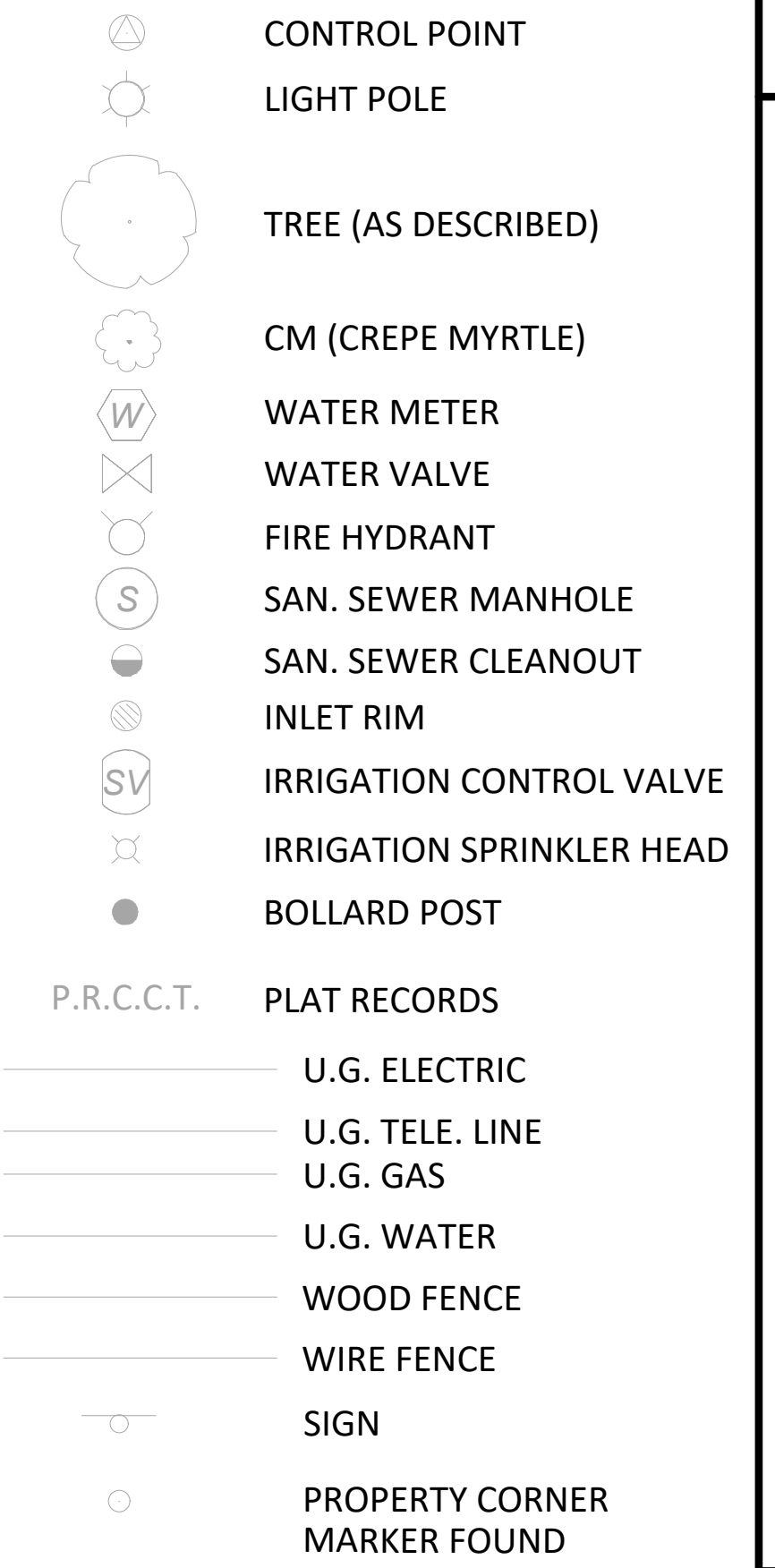
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND IS RESPONSIBLE TO REPAIR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- ALL UTILITIES ARE SHOWN FROM INFORMATION GATHERED AND SHOULD NOT BE USED AS EXACT. CONTRACTOR SHALL VERIFY EXACT DEPTHS AND LOCATIONS PRIOR TO UTILITY INSTALLATION AND NOTIFY THE ENGINEER OF RECORD IF THERE ARE ANY DEVIATIONS FROM WHAT IS SHOWN ON PLANS.
- CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY FOR INSTALLATION AND SPECIFICATION REQUIREMENTS.
- ALL PIPE MATERIALS SHALL COMPLY WITH LOCAL REGULATIONS.
- ALL TRENCHING AND BEDDING SHALL BE PER THE UTILITY TRENCH AND BEDDING DETAIL.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING UTILITY TIE INS.
- THE CONTRACTOR IS TO FIELD VERIFY THE EXACT LOCATIONS AND DEPTHS OF UTILITY LINES.
- ALL CERTIFICATES AND SHOP DRAWINGS MUST BE SUBMITTED, REVIEWED, AND APPROVED PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR TO PROVIDE AS-BUILTS OF ALL IMPROVEMENTS TO THE SITE. AS-BUILTS TO INCLUDE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO, PIPES, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES. ELEVATIONS OF PIPES AT CROSSING POINTS MUST BE SUFFICIENT TO IDENTIFY MINIMUM SEPARATION OF UTILITIES AS DEFINED BY ENGINEER. IN ADDITION TO THE AFOREMENTIONED CRITERIA, AS-BUILTS MUST MEET ALL LOCAL AND JURISDICTIONAL REQUIREMENTS FOR CERTIFICATION OF CONSTRUCTION.
- UNDERGROUND UTILITIES TO BE FIELD VERIFIED IN RIGHT-OF-WAY WORK WITH EXISTING UTILITIES.
- UTILITY CONNECTIONS ARE SHOWN TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR TO REFER TO BUILDING PLANS FOR EXACT CONNECTION POINTS ON BUILDING AND VERIFY THAT THERE ARE NO CONFLICTS PRIOR TO START OF CONSTRUCTION.
- ALL EXISTING AND PROPOSED WATER VALVES TYPES AND LOCATIONS ARE TO BE APPROVED BY THE TOWN OF BARTONVILLE PUBLIC WORKS DEPARTMENT.
- ALL WATER LINES SHALL BE C900 DR-18 PVC.
- WATER INJECTION OF PADS MUST OCCUR BEFORE UTILITY WORK BEGINS.
- ALL GATE VALVE LOCATED OUTSIDE OF PAVED STREETS SHALL HAVE A CONCRETE PAD AROUND THE VALVE RISER. THE PAD SHALL BE 24"x24"x6" AND REINFORCED WITH NO. 3 STEEL REINFORCEMENT.
- ALL IRRIGATION METERS SHALL HAVE A TESTABLE DOUBLE CHECK BACKFLOW PREVENTER.



PROPOSED UTILITY LEGEND



EXISTING LEGEND



CONTROL POINT TABLE				
POINT	DESCRIPTION	NORTHING	EASTING	ELEV.
500	X-CUT SET	7,077,821.43	2,389,163.88	665.64
501	X-CUT SET	7,077,642.02	2,389,102.99	665.69
502	5/8" CIRS "S&A CONTROL"	7,077,440.73	2,389,287.85	666.04
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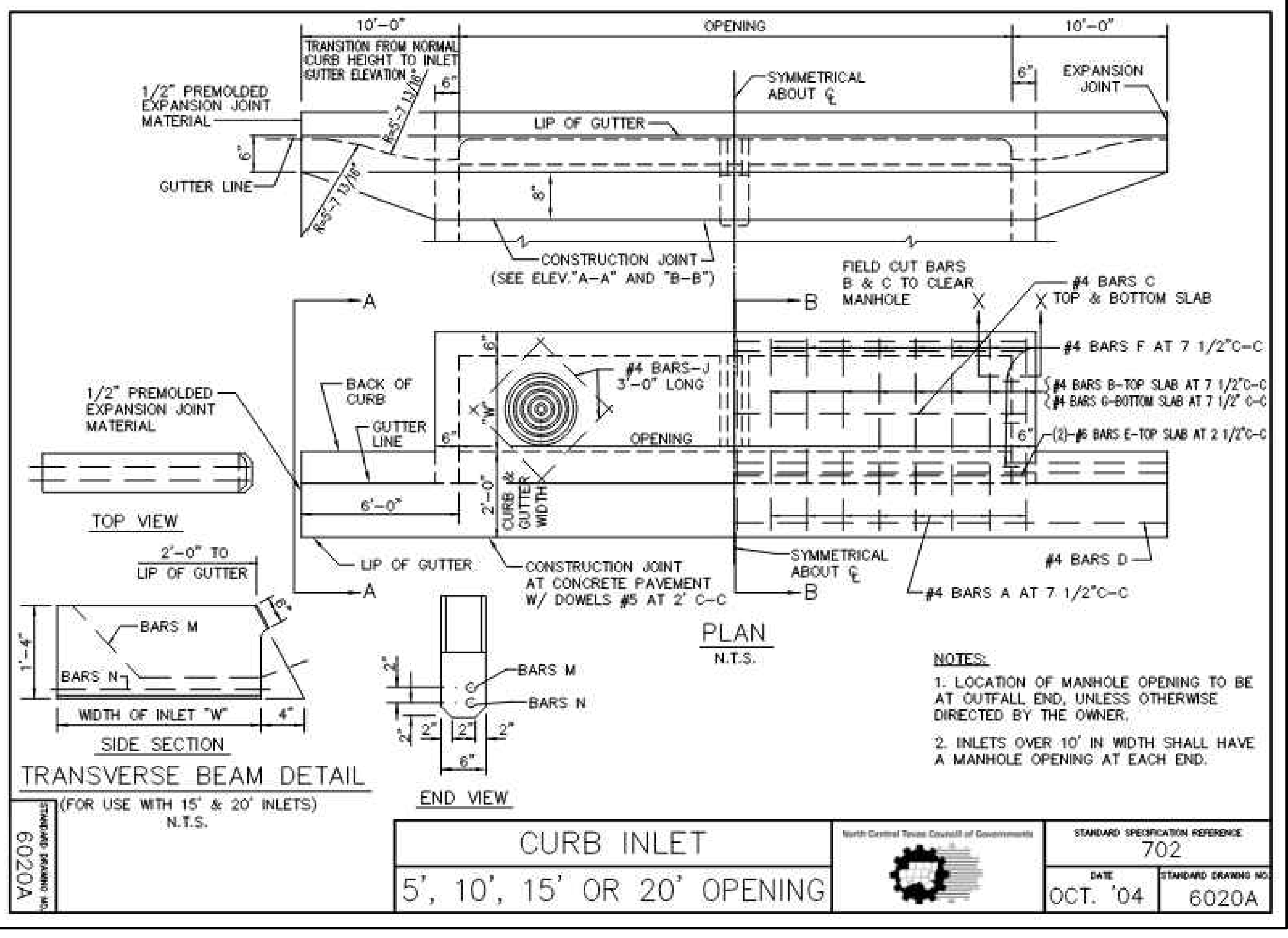
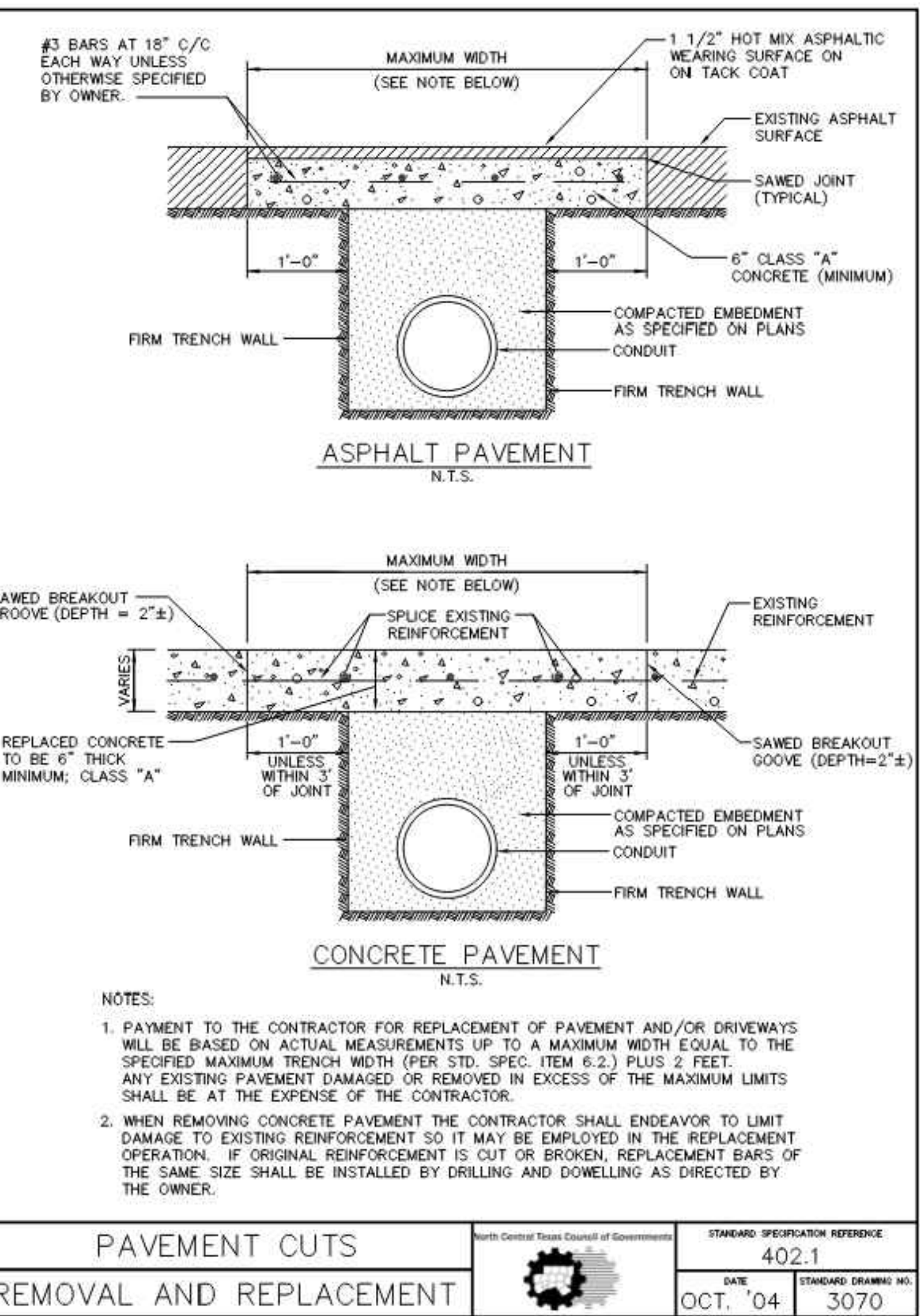
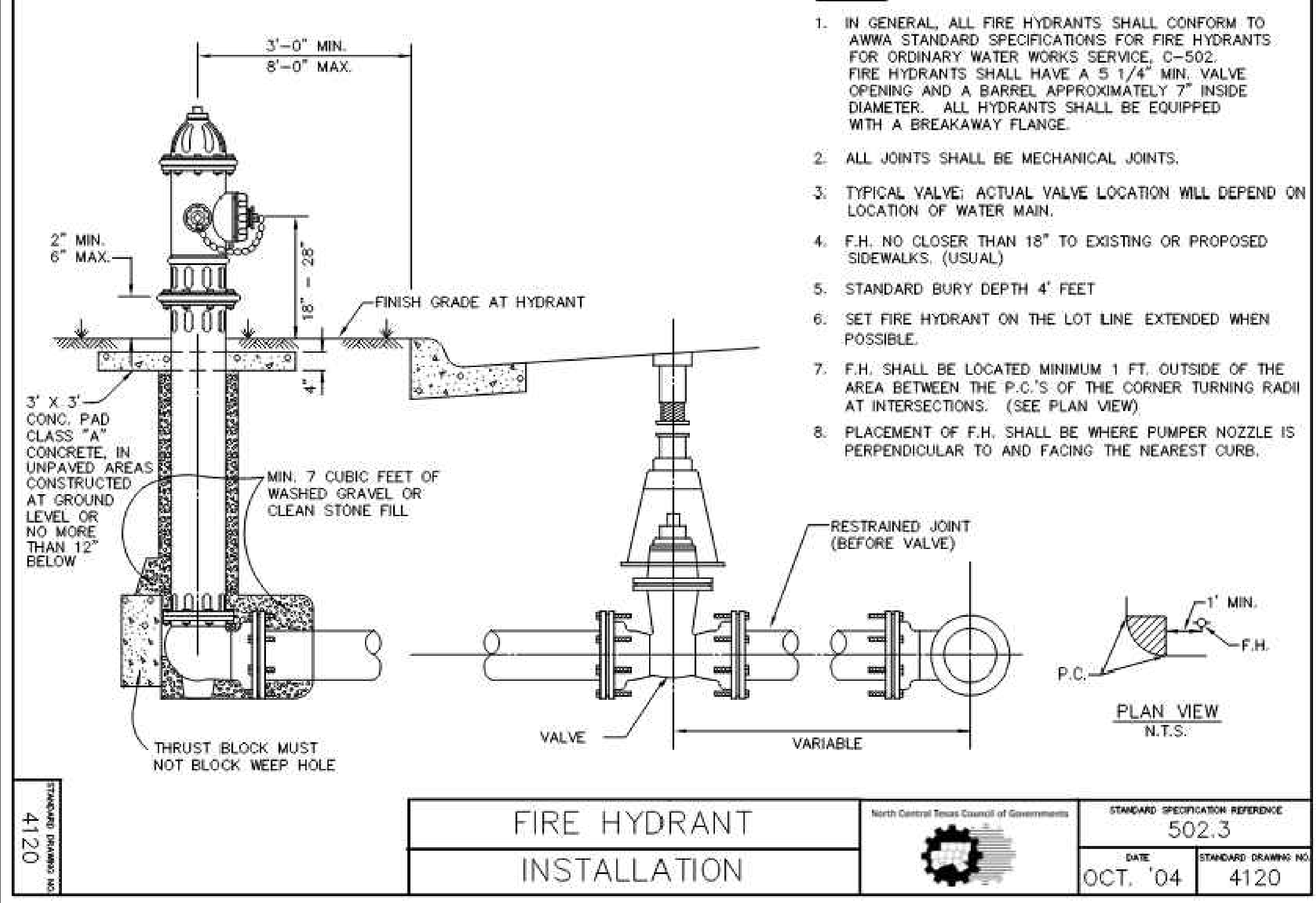
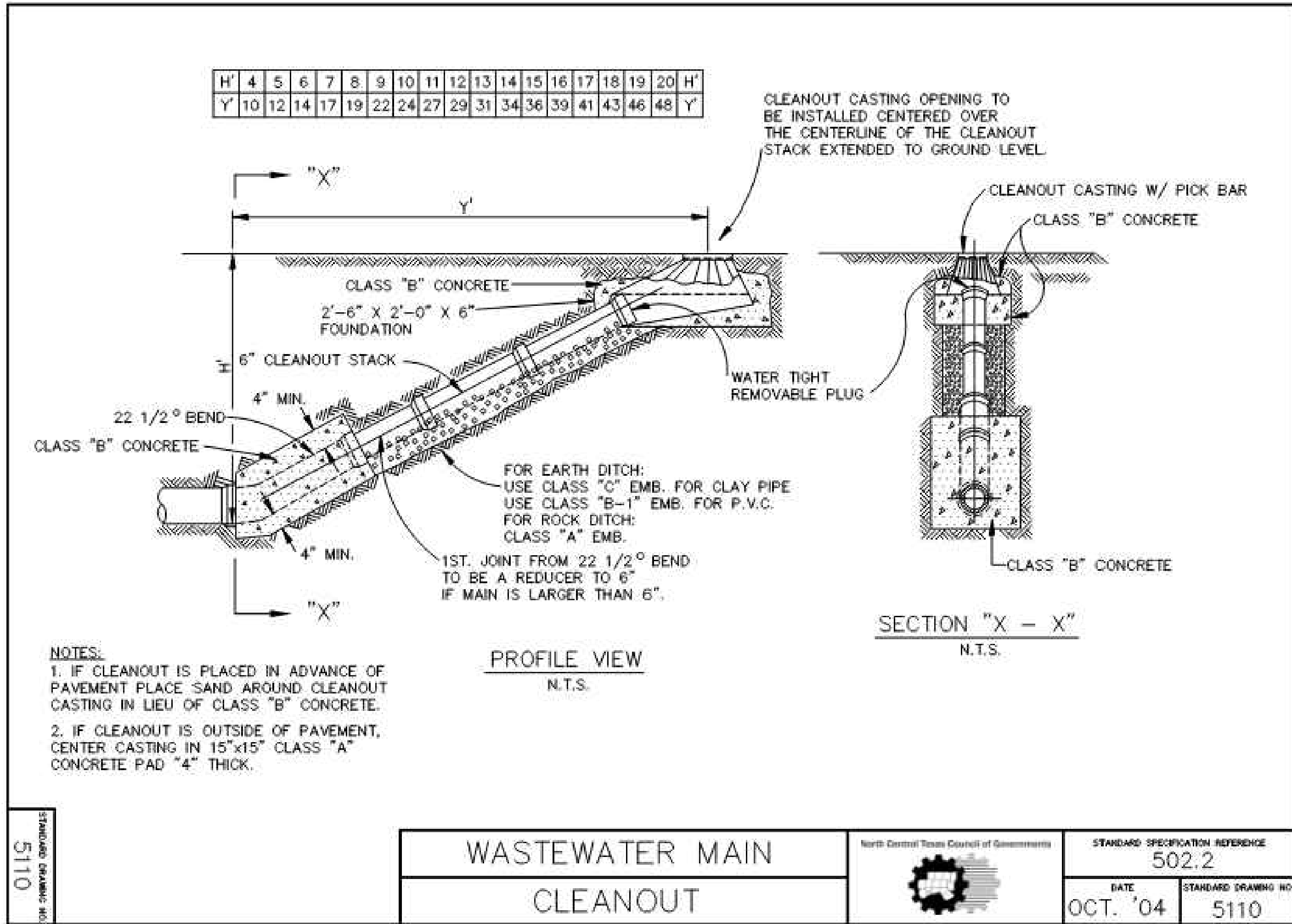
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2805 Dallas Parkway
Suite 310
Plano, Texas 75093
Phone: (972) 497-2990
www.bowman.com

REVISION	DATE	DESCRIPTION

UTILITY PLAN
SWIG
3800 FM 407
LANTANA, TX 76226

DESIGN	DRAWN	CHKD
RM	RM	KA
JOB No. 070714-01-001		
SHEET C6.0		



- NOTES:**
1. IN GENERAL, ALL FIRE HYDRANTS SHALL CONFORM TO AWWA STANDARD SPECIFICATIONS FOR FIRE HYDRANTS FOR ORDINARY WATER WORKS SERVICE, C-502. FIRE HYDRANTS SHALL HAVE A 5 1/4" MIN. VALVE OPENING AND A BARREL APPROXIMATELY 7" INSIDE DIAMETER. ALL HYDRANTS SHALL BE EQUIPPED WITH A BREAKAWAY FLANGE.
 2. ALL JOINTS SHALL BE MECHANICAL JOINTS.
 3. TYPICAL VALVE; ACTUAL VALVE LOCATION WILL DEPEND ON LOCATION OF WATER MAIN.
 4. F.H. NO CLOSER THAN 18" TO EXISTING OR PROPOSED SIDEWALKS. (USUAL)
 5. STANDARD BURY DEPTH 4' FEET
 6. SET FIRE HYDRANT ON THE LOT LINE EXTENDED WHEN POSSIBLE.
 7. F.H. SHALL BE LOCATED MINIMUM 1 FT. OUTSIDE OF THE AREA BETWEEN THE P.C.'S OF THE CORNER TURNING RADI AT INTERSECTIONS. (SEE PLAN VIEW)
 8. PLACEMENT OF F.H. SHALL BE WHERE PUMPER NOZZLE IS PERPENDICULAR TO AND FACING THE NEAREST CURB.

Bowman
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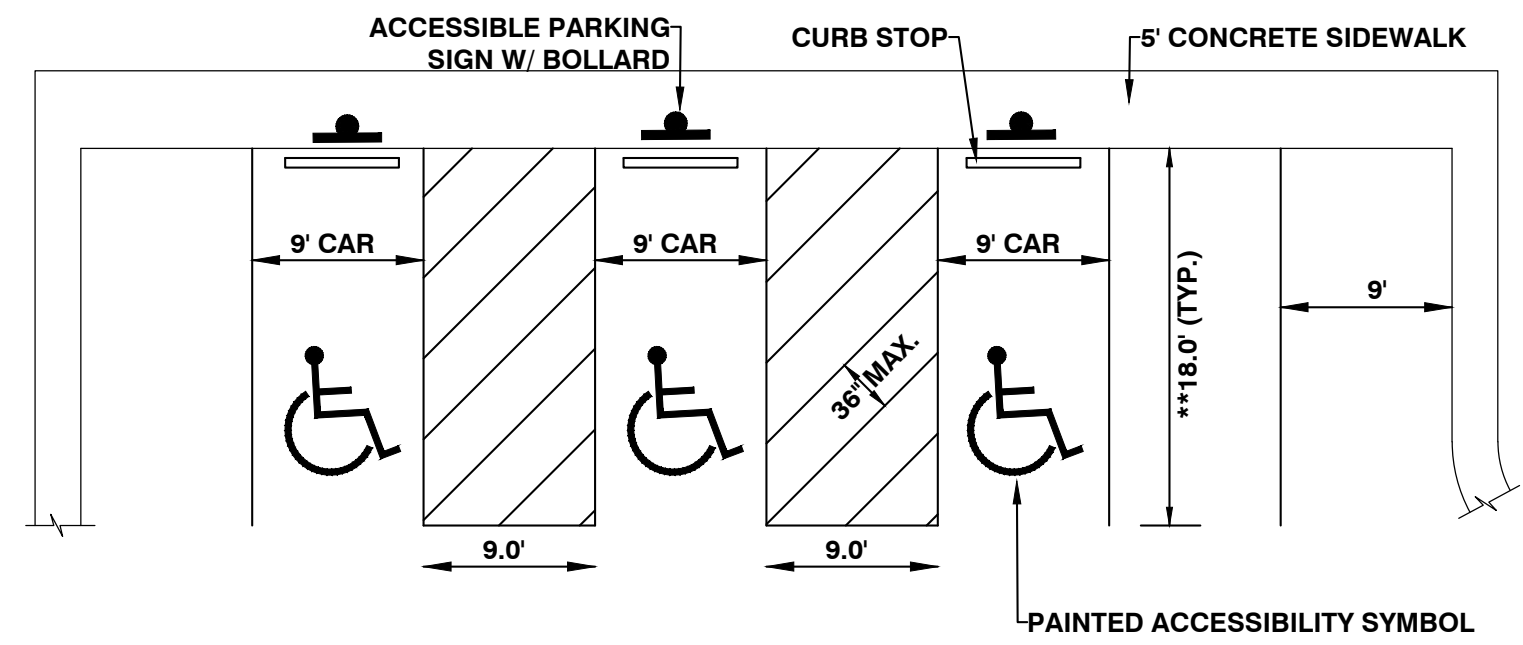
REVISION	DATE	DESCRIPTION

CONSTRUCTION DETAILS

SWIG
3800 FM 407
LANTANA, TX 76226

DESIGN	DRAWN	CHKD
RM	RM	KA

JOB No. 070714-01-001
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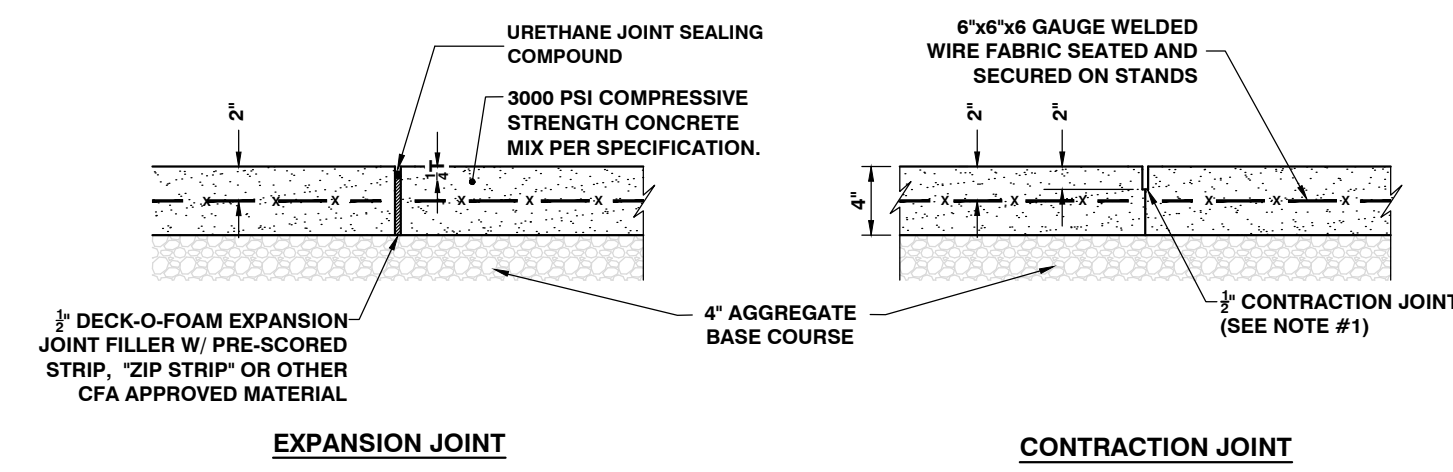


- NOTES**
1. ACCESSIBLE PARKING AND ACCESSIBLE AISLES SHALL NOT EXCEED 2% IN SLOPE IN ANY DIRECTION.
 2. IF ONLY ONE ACCESS AISLE IS INSTALLED, IT IS TO BE A VAN SIZE.
 3. PARKING STALL DIMENSIONING SHALL BE IN ACCORDANCE WITH APPLICABLE GOVERNING AUTHORITY'S AND ADA STANDARDS AND IF DIFFERENT THAN THIS DETAIL SHALL BE THE DIMENSIONING SHOWN ON THE SITE LAYOUT PLAN.
 4. CONTRACTOR SHALL USE 4" WIDE WHITE REFLECTIVE PAINT FOR STRIPING ON ASPHALT PARKING LOTS.
 5. CONTRACTOR SHALL USE 4" WIDE YELLOW REFLECTIVE PAINT FOR STRIPING ON CONCRETE PARKING LOTS.
 6. ADA SIGNS IN BOLLARDS AND BOLLARDS SHALL BE INSTALLED WHEN PARKING IS ADJACENT TO FLUSH CURB OR A RAMP.

PARKING LOT STRIPING SPECIFICATIONS

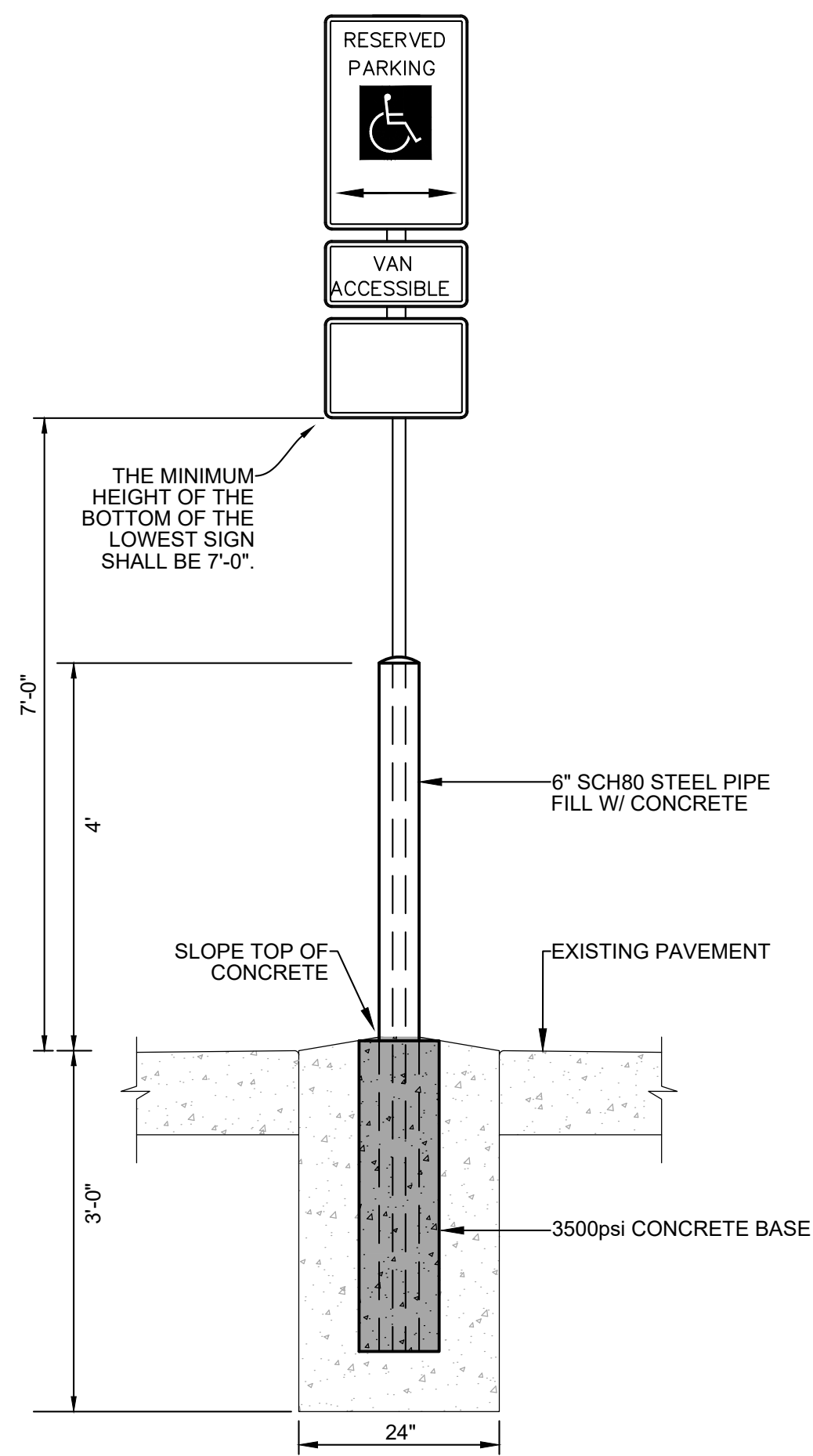
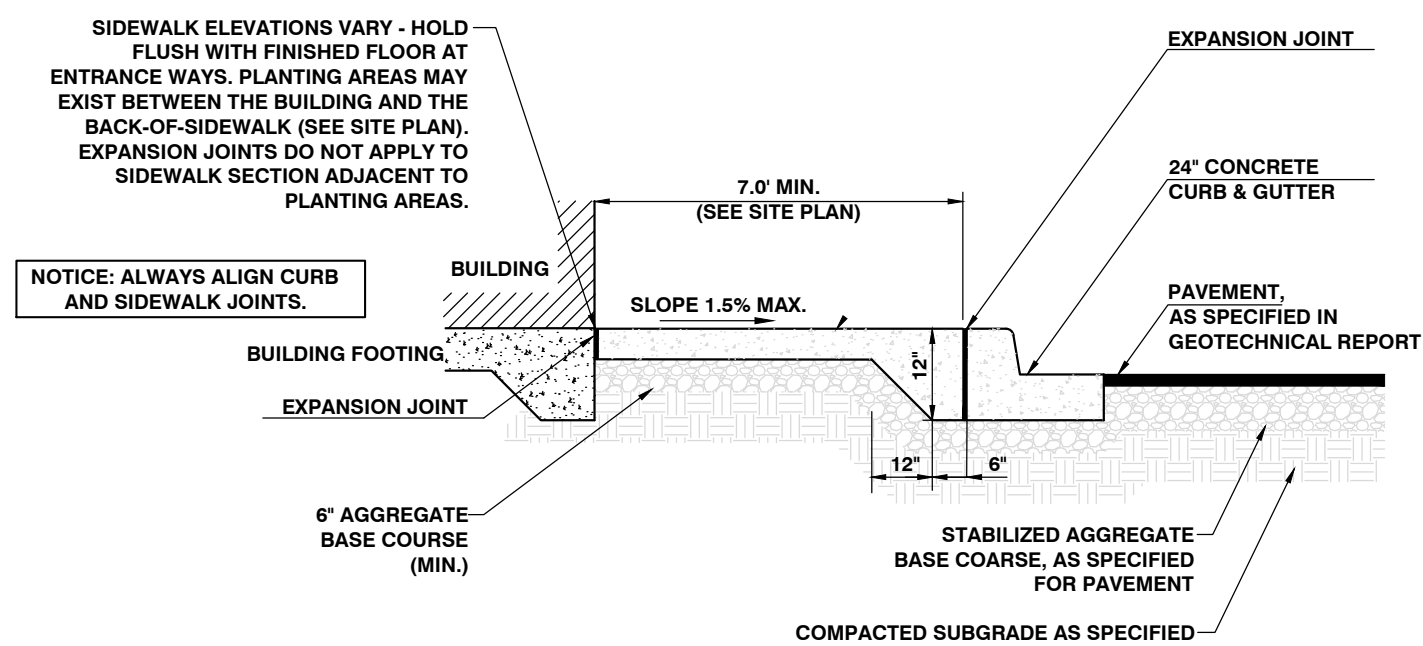
1. ALWAYS FOLLOW ALL APPLICABLE GOVERNING AUTHORITY'S STANDARDS.
2. SURFACES SHOULD BE CLEAN, DRY, AND FREE FROM LOOSE OR PEELING PAINT.
3. REMOVE ALL OIL, DUST, GREASE, DIRT, AND OTHER FOREIGN MATERIAL TO ENSURE ADEQUATE ADHESION.
4. DO NOT APPLY WHEN AIR OR SURFACE TEMPERATURES ARE BELOW 40°F.

STANDARD PARKING STALL
NTS

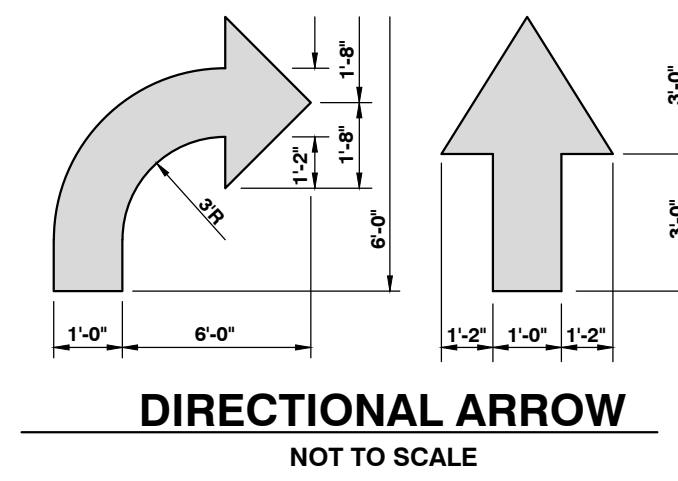


TYPICAL CONCRETE SIDEWALK
NOT TO SCALE

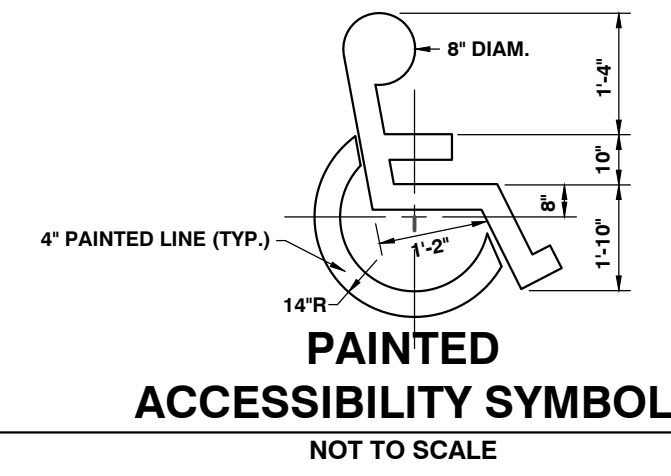
- NOTES:**
1. JOINTS AT 6'-0" O.C. TOOLED 1/2" WIDE, 1" DEEP OR MAX. 1/2" DEEP WHICHEVER IS GREATER. EXPANSION JOINTS AT 20' MAX. & ALL P.C.s. UNLESS APPROVED OR INDICATED OTHERWISE ON PLAN VIEW JOINT PATTERN.



SIGN MOUNTING WITH BOLLARD
NTS



- DIRECTIONAL ARROW**
NOT TO SCALE
- NOTES:**
1. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.



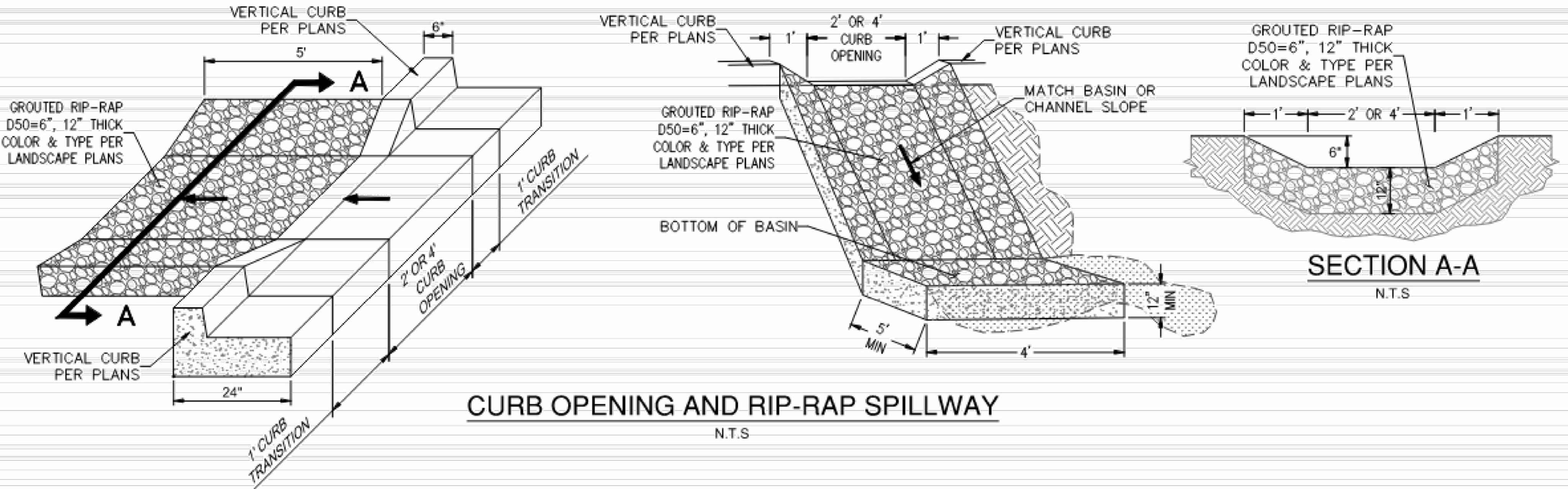
- PAINTED ACCESSIBILITY SYMBOL**
NOT TO SCALE
- NOTES:**
1. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE. UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

REVISION	DESCRIPTION	DATE

CONSTRUCTION DETAILS

SWIG
3800 FM 407
LANTANA, TX 76226

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JOB No. 070714-01-001		
SHEET C7.1		



CURB OPENING AND RIP-RAP SPILLWAY
N.T.S.

GENERAL REQUIREMENTS
CURB RAMPS SHALL BE CONSTRUCTED AS PER THE REQUIREMENTS AND SPECIFICATIONS OF THE TEXAS ACCESSIBILITY STANDARDS AND THE ADA & ABA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES. (FEDERAL REGISTER/ VOL. 69, NO. 141, FRIDAY, JULY 23, 2004)

CURB RAMPS NOTES:
CURB RAMPS UNDER THESE PROVISIONS, SHALL BE WHEREVER AN ACCESSIBLE ROUTE CROSSES A CURB.

SLOPE:
SLOPES ON CURB RAMPS SHALL BE MEASURED AS FOLLOWS: (Y/X = VERTICAL-HORIZONTAL)
A) TRANSITIONS FROM RAMPS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES.
B) MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20.
C) THE LEAST POSSIBLE SLOPE SHALL BE USED FOR ANY RAMP. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12. THE MAXIMUM RISE FOR ANY RUN SHALL BE 30" (760 MM). CURB RAMPS AND RAMPS TO BE CONSTRUCTED ON EXISTING SITES OR IN EXISTING BUILDINGS OR FACILITIES MAY HAVE SLOPES AND RISES IF SPACE LIMITATIONS PROHIBIT THE USE OF A 1:12 SLOPE OR LESS, AS FOLLOWS:
1. A SLOPE BETWEEN 1:10 AND 1:12 IS ALLOWED FOR A MAXIMUM RISE OF 6".
2. A SLOPE BETWEEN 1:8 AND 1:10 IS ALLOWED FOR A MAXIMUM OF 3".
A SLOPE STEEPER THAN 1:8 IS NOT ALLOWED.

RAMP WIDTH:
THE MINIMUM WIDTH OF A CURB RAMP SHALL BE 36" EXCLUSIVE OF FLARED SIDES.

SURFACE:
SURFACES OF CURB RAMPS, SHALL BE STABLE FIRM, AND SLIP RESISTANT. SURFACE TEXTURES SHALL CONSIST OF EXPOSED CRUSHED STONE AGGREGATE, ROUGHENED CONCRETE, RUBBER, RAISED ABRASIVE STRIPS, OR GROOVES, EXTENDING THE FULL WIDTH AND DEPTH OF THE CURB RAMP. SURFACES THAT ARE RAISED, ETCHED, OR GROOVED IN A WAY THAT WOULD ALLOW WATER TO ACCUMULATE ARE PROHIBITED. FOR PURPOSES OF WARNING, THE FULL WIDTH AND DEPTH OF CURB RAMPS SHALL HAVE A LIGHT REFLECTIVE VALUE AND TEXTURE THAT SIGNIFICANTLY CONTRASTS WITH THAT OF ADJOINING PEDESTRIAN ROUTES.

SIDES OF CURB RAMPS:
IF A CURB RAMP IS LOCATED WHERE PEDESTRIANS MUST WALK ACROSS THE RAMP, OR WHERE IT IS NOT PROTECTED BY HANDRAILS OR GUARDRAILS, IT SHALL HAVE FLARED SIDES. THE MAXIMUM SLOPE OF THE FLARE SHALL BE 1:10 (SEE FIG. 1 (A)). CURB RAMPS WITH RETURNED CURBS MAY BE USED WHERE PEDESTRIANS WOULD NOT WALK ACROSS THE RAMP. (SEE FIG. 1 (B)).

BUILT-UP RAMPS:
BUILT-UP CURB RAMPS SHALL BE LOCATED SO THEY DO NOT PROJECT INTO VEHICULAR TRAFFIC LANES (SEE FIG. 2).

OBSTRUCTIONS:
CURB RAMPS SHALL BE LOCATED OR PROTECTED TO PREVENT THEIR OBSTRUCTION BY PARKED VEHICLES.

LOCATION AT MARKED CROSSINGS:
CURB RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES.

DIAGONAL CURB RAMPS:
IF DIAGONAL (OR CORNER TYPE) CURB RAMPS HAVE RETURNED CURBS OR OTHER WELL DEFINED EDGES, SUCH EDGES SHALL BE PARALLEL TO THE DIRECTION OF PEDESTRIAN FLOW. THE BOTTOM OF DIAGONAL CURB RAMPS SHALL HAVE 48" (1220 MM) MINIMUM. IF DIAGONAL CURB RAMPS ARE PROVIDED AT MARKED CROSSINGS, THE 48" (1220 MM) CLEAR SPACE SHALL BE WITHIN THE MARKINGS. IF DIAGONAL CURB RAMPS HAVE FLARED SIDES, THEY SHALL ALSO HAVE AT LEAST A 24" (610 MM) LONG SEGMENT OF STRAIGHT CURB LOCATED ON EACH SIDE OF THE CURB RAMP AND WITHIN THE MARKED CROSSING. ANY RAISED ISLANDS IN CROSSINGS SHALL BE CUT THROUGH LEVEL WITH THE STREET OR HAVE CURB RAMPS AT BOTH SIDES AND A LEVEL AREA AT LEAST 48" (1220 MM) LONG BETWEEN THE CURB RAMPS IN THE PART OF THE ISLAND INTERSECTED BY THE CROSSINGS.

CONSTRUCTION
(A) THE CONTRACTOR SHALL SAWCUT, REMOVE AND DISPOSE OFF-SITE THE REQUIRED EXISTING CONCRETE SIDEWALK, CURB AND GUTTER, TO CONSTRUCT THE PROPOSED RAMPS.
(B) CONCRETE SIDEWALKS AND RAMPS SHALL BE MINIMUM 4" THICK, 4000 PSI, 5 SACK CONCRETE, REINFORCED WITH #3 BARS AT 14" CENTERS BOTH WAYS, PLACED OVER A 2" THICK SAND CUSHION EMBEDMENT.
(C) THE CONTRACTOR SHALL USE 1" PREMOULDED EXPANSION JOINT MATERIAL BETWEEN THE PROPOSED SIDEWALKS AND RAMPS AT THE BACK OF CURBS, AND AT JOINTS AT NO EXTRA PAY.
(D) DUMMY JOINT REQUIRED EVERY 4' IN 4' WIDE SIDEWALKS AND EVERY 5' IN 6' WIDE SIDEWALK.

CURB RAMPS		North Central Texas Council of Governments	STANDARD SPECIFICATION REFERENCE
		DATE	STANDARD DRAWING NO.
		OCT. '04	2125B

CONSTRUCTION JOINT
N.T.S.

KEYWAY JOINT
(FOR PAVEMENT THICKNESS > 6")
N.T.S.

SAWED CONTRACTION JOINT
N.T.S.

EXPANSION JOINT
(SPACED 600 FT. MAXIMUM; LOCATE AT STRUCTURES AND AT INTERSECTION P.C.'S & P.T.'S)
N.T.S.

REINFORCED CONCRETE PAVEMENT JOINTS

North Central Texas Council of Governments		STANDARD SPECIFICATION REFERENCE
		303.5.4
DATE	STANDARD DRAWING NO.	
OCT. '04	2050	

INTEGRAL CURB & GUTTER
N.T.S.

SEPARATE CURB & GUTTER
N.T.S.

DOWELED CURB
N.T.S.

CONCRETE CURB & GUTTER
INTEGRAL, SEPARATE, & DOWELED

NOTES:
1. REINFORCEMENT SHALL BE NO. 4 BARS, UNLESS OTHERWISE SPECIFIED.
2. CONCRETE SHALL BE CLASS "C" OR "PC".
3. "C" IS 6" UNLESS OTHERWISE SPECIFIED.
4. ALL CURBS ARE CONSTRUCTED OF PORTLAND CEMENT CONCRETE UNLESS OTHERWISE SHOWN.
5. GRADE SHALL BE MEASURED AT BACK OF CURB.

North Central Texas Council of Governments		STANDARD SPECIFICATION REFERENCE
		305.1
DATE	STANDARD DRAWING NO.	
OCT. '04	2120	

FIGURE 1
PARKWAY CURB RAMPS

FIGURE 2
BUILT-UP CURB RAMP

CURB RAMPS

North Central Texas Council of Governments		STANDARD SPECIFICATION REFERENCE
DATE	STANDARD DRAWING NO.	
OCT. '04	2125A	

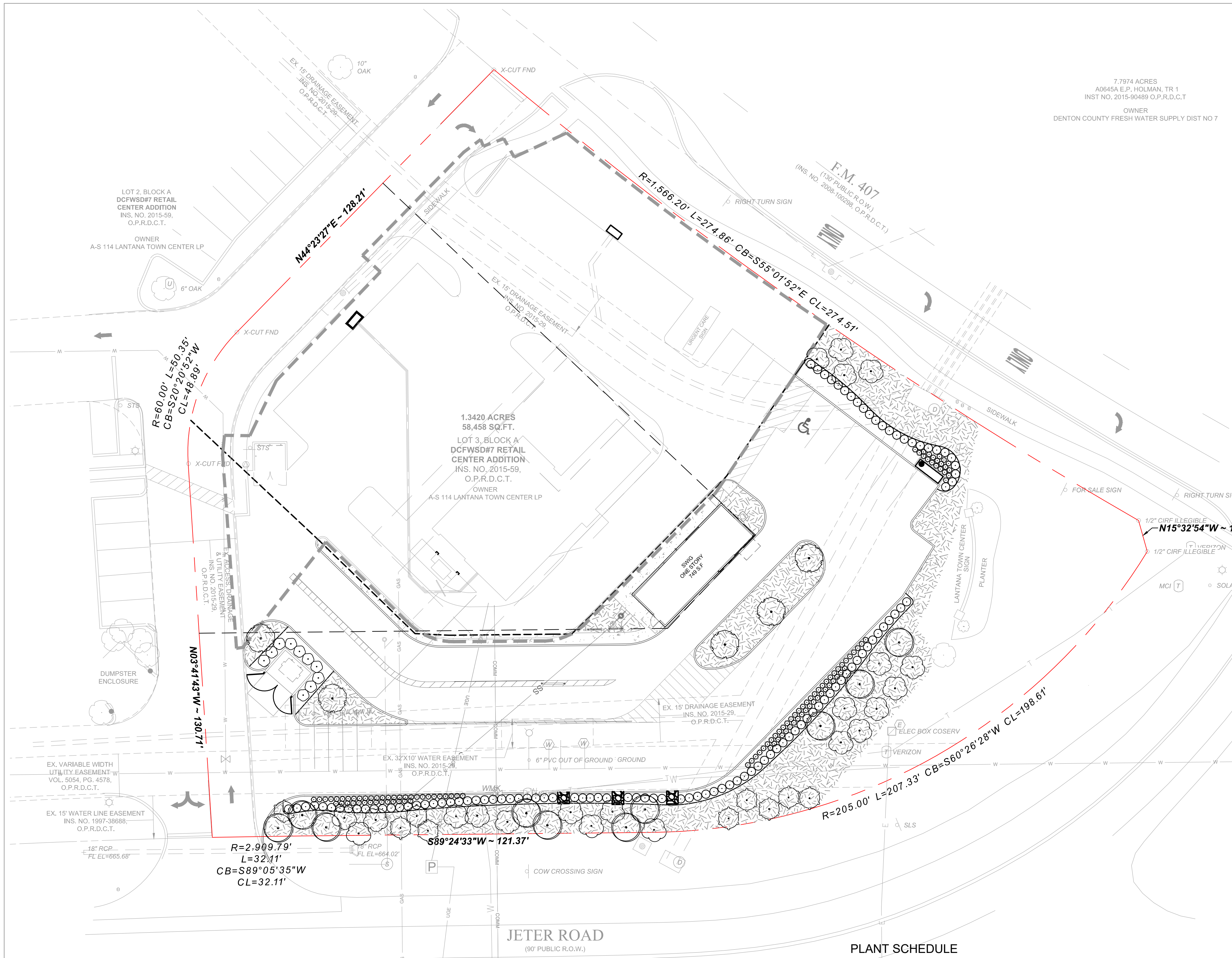
REVISION	DATE	DESCRIPTION

CONSTRUCTION DETAILS

SWIG
3800 FM 407
LANTANA, TX 76226

DESIGN	DRAWN	CHKD
RM	RM	KA
JOB No. 070714-01-001		
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7.7974 ACRES
A0645A E.P., HOLMAN, TR 1
INST NO. 2015-90489 O.P.R.D.C.T.
OWNER
DENTON COUNTY FRESH WATER SUPPLY DIST NO 7

LANDSCAPE NOTES

- ALL MATERIAL QUANTITIES ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES.
- CONTRACTOR SHALL HAVE ALL UTILITY LINES LOCATED BEFORE PERFORMING ANY EXCAVATION FOR LANDSCAPE AND/OR IRRIGATION INSTALLATION. CONTRACTOR SHALL TAKE NECESSARY STEPS TO PROTECT EXISTING UTILITIES.
- PRIOR TO APPLYING SOD OR HYDROSEED, ALL STONES AND DEBRIS LARGER THAN 1 INCH IN ANY DIMENSION SHALL BE REMOVED AND SURFACE MUST BE TOP DRESSED WITH 2" OF TOPSOIL AND FINE GRADED SMOOTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING A FULL AND HEALTHY STAND OF GRASS AT THE TIME OF POSSESSION BY THE OWNER.
- ALL AREAS DISTURBED BY CONSTRUCTION (INCLUDING AREAS OUTSIDE PROPERTY LINES) SHALL BE PLANTED AND WATERED A MINIMUM OF 10 WEEKS OR UNTIL GRASS IS FULLY ESTABLISHED.
- LANDSCAPE BED EDGING SHALL BE PROVIDED WHERE INDICATED ON PLANS AND BETWEEN PLANTING/STONE BEDS AND LAWN AREAS/SIDEWALKS. SEE SHEET L3.1 FOR DETAILS.
- OPEN AREAS WITHIN LANDSCAPE BEDS SHALL BE MULCHED AS SHOWN IN DETAILS ON SHEET L3.1 AND AS SPECIFIED.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING PHOTOGRAPHS OF ACTUAL LANDSCAPE MATERIALS AND SUBMITTING THEM TO THE LANDSCAPE ARCHITECT OF RECORD FOR APPROVAL PRIOR TO INSTALLATION.
- PLANT MATERIAL SELECTED SHALL FOLLOW THE GUIDELINES OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND MEET OR EXCEED ALL SIZE REQUIREMENTS LISTED ON PLANT SCHEDULE.
- ALL PLANTINGS SHALL BE MAINTAINED IN A HEALTHY STATE BY LANDSCAPE CONTRACTOR AND SHALL BE WARRANTED (FOR REPLACEMENT) FOR ONE (1) CALENDAR YEAR AFTER ACCEPTANCE OF THE LANDSCAPE INSTALLATION.

LANDSCAPE REQUIREMENTS

TOTAL FRONTAGE LENGTH: 499 LF

OVERSTORY TREES:
499 / 50 = 9.98 ~ 10 TREES

UNDERSTORY TREES:
499 / 50 = 9.98 ~ 10 X 3 = 30 TREES

INTERIOR LANDSCAPING:
GROSS PARKING: 16,576 SF
1,657.6 SF REQUIRED LANDSCAPE
1,711 SF LANDSCAPE PROVIDED

1 OVERSTORY TREE PER 400 SF OF REQUIRED LANDSCAPE
1,657.6 SF / 400 = 4.144 ~ 5 OVERSTORY TREES REQUIRED
5 OVERSTORY TREES PROVIDED

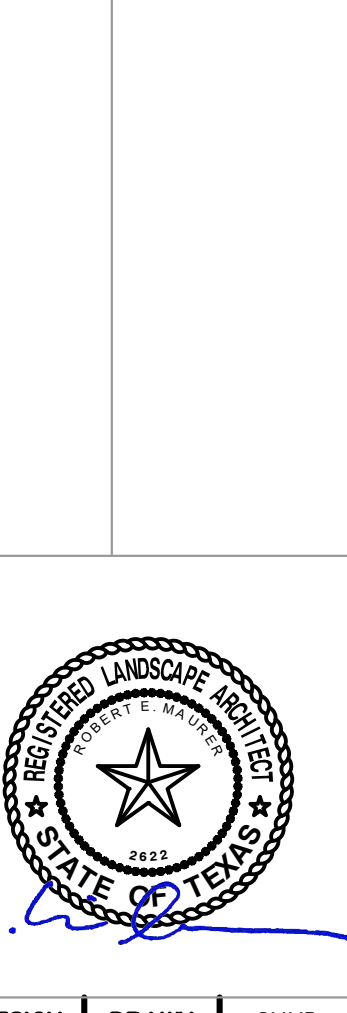
- CONTROL POINT
- LIGHT POLE
- TREE (AS DESCRIBED)
- CM (CREPE MYRTLE)
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SAN. SEWER MANHOLE
- SAN. SEWER CLEANOUT
- INLET RIM
- IRRIGATION CONTROL VALVE
- IRRIGATION SPRINKLER HEAD
- BOLLARD POST
- P.R.C.C.T. PLAT RECORDS
- U.G. ELECTRIC
- U.G. TELE. LINE
- U.G. GAS
- U.G. WATER
- WOOD FENCE
- WIRE FENCE
- SIGN
- PROPERTY CORNER MARKER FOUND

PLANT SCHEDULE

SYMBOL	CODE	QTY	COMMON / BOTANICAL NAME	CONT.	CAL.	HT.	SP.	BR. HT.
TREES								
	LW	21	Dynamite® Crape Myrtle / Lagerstroemia indica 'Whit II'	65 gal	2.5'Cal	6'-7'	4'-5'	
	QV	10	Southern Live Oak / Quercus virginiana	45 gal	2.5'Cal	8'-10'	5'-6'	5'+
	UP	5	Lacebark Elm / Ulmus parvifolia	45 gal	2.5'Cal	8'-10'	5'-6'	5'+
	VC	9	Chaste Tree / Vitex agnus-castus	30 gal	1.5'Cal	6'-8'	3'-4'	2'-3'
	IB	104	Dwarf Burford Holly / Ilex cornuta 'Burfordii Nana'	5 gal	18"	36"		
	MD	10	Dwarf Wax Myrtle / Morella cerifera Don's Dwarf	10 gal	36"	48"		
	RR	112	Red Drift® Groundcover Rose / Rosa x 'Meigalpio'	3 gal	10"	24"		
GROUND COVERS								
	CT SOD	6,199 sf	Bermuda Grass / Cynodon dactylon 'Tif 419'	sod				

REVISION	DATE	DESCRIPTION

PLANTING PLAN
SWIG
3800 FM 407
LANTANA, TX 76226

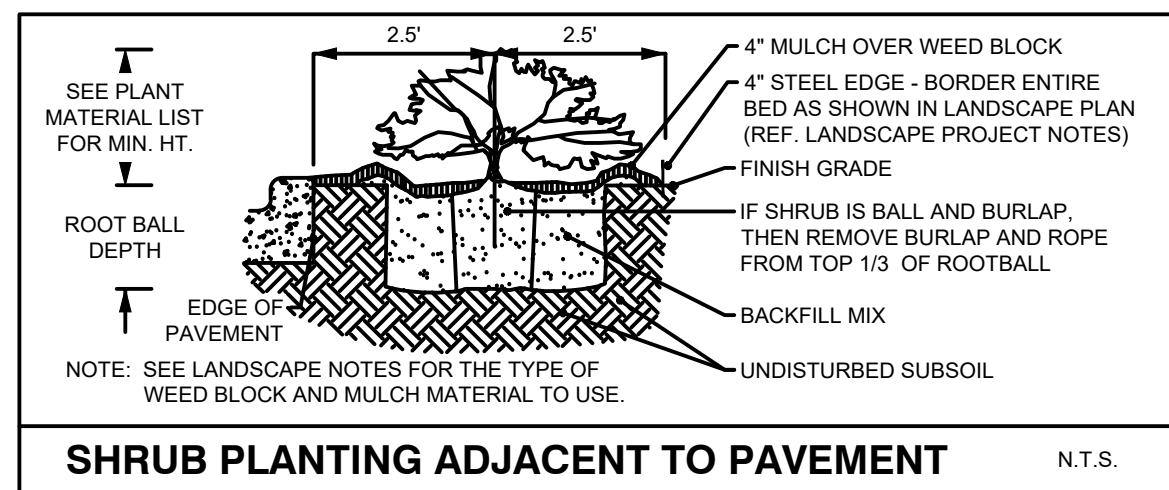
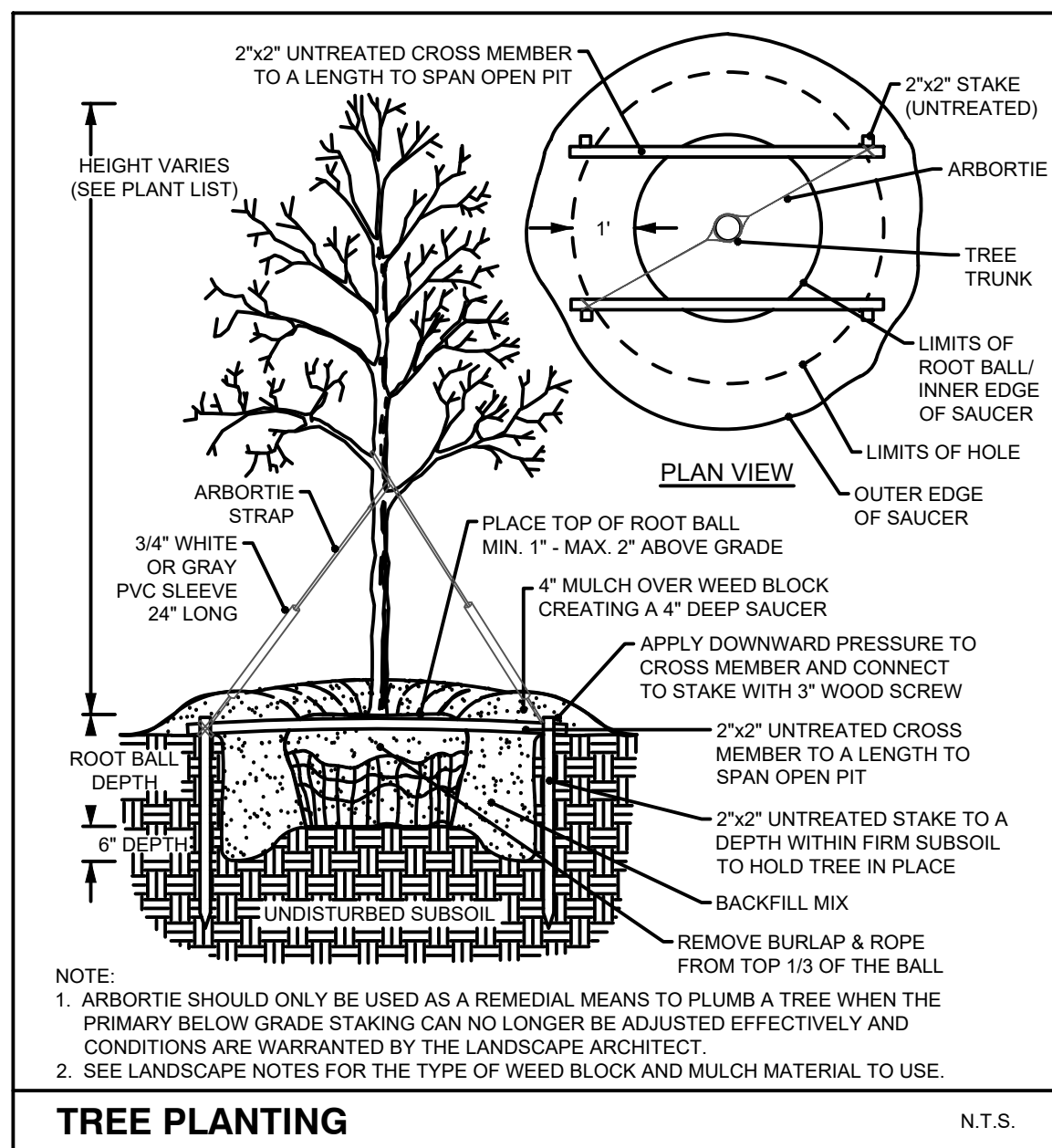
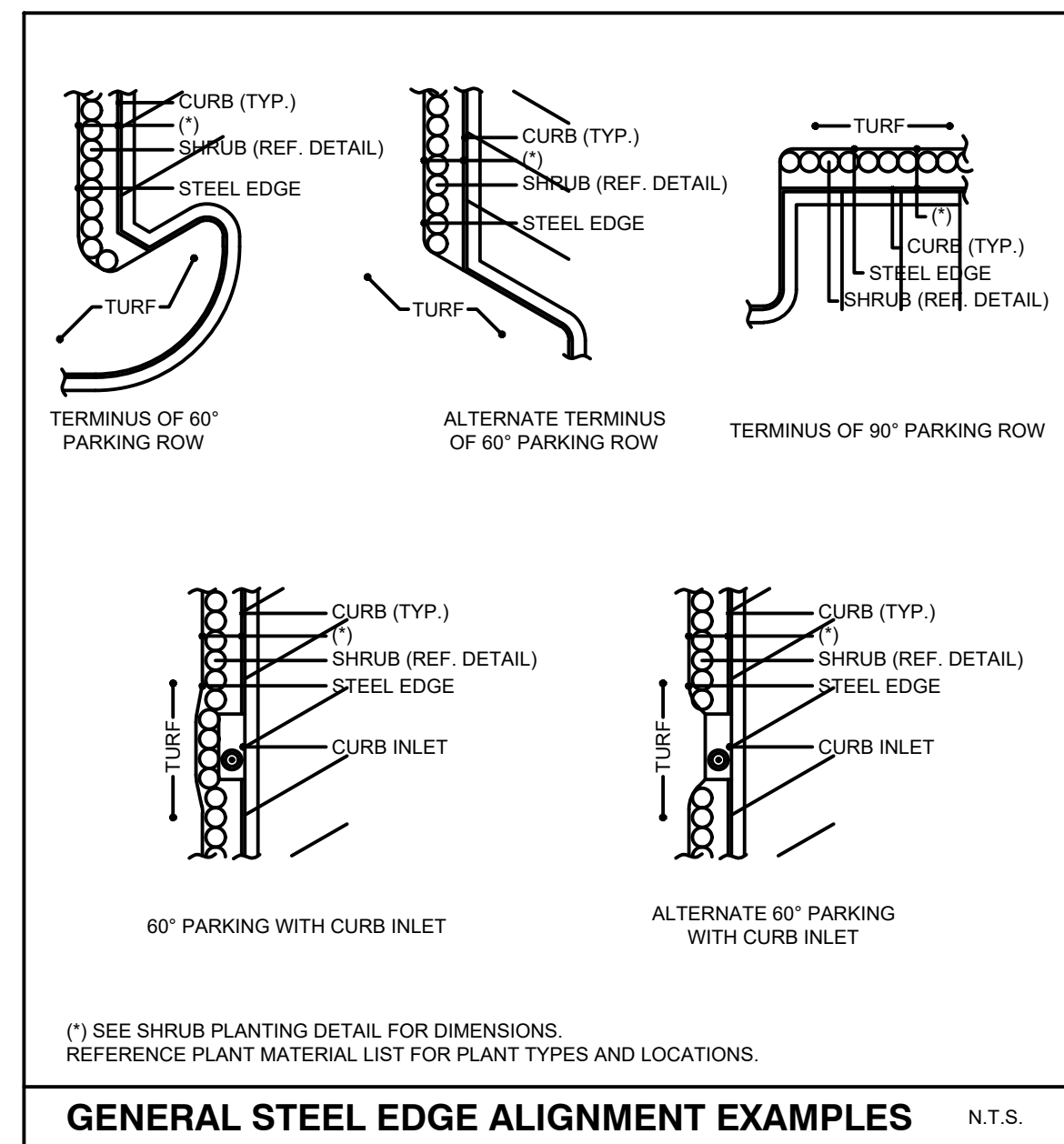


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JOB No. 070714-01-001		
SHEET L1.01		



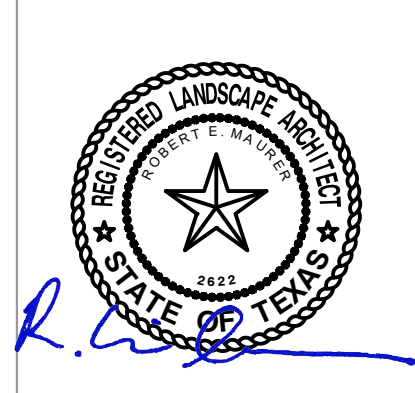
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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REVISION	DESCRIPTION	DATE

PLANTING DETAILS
 SWIG
 3800 FM 407
 LANTANA, TX 76226

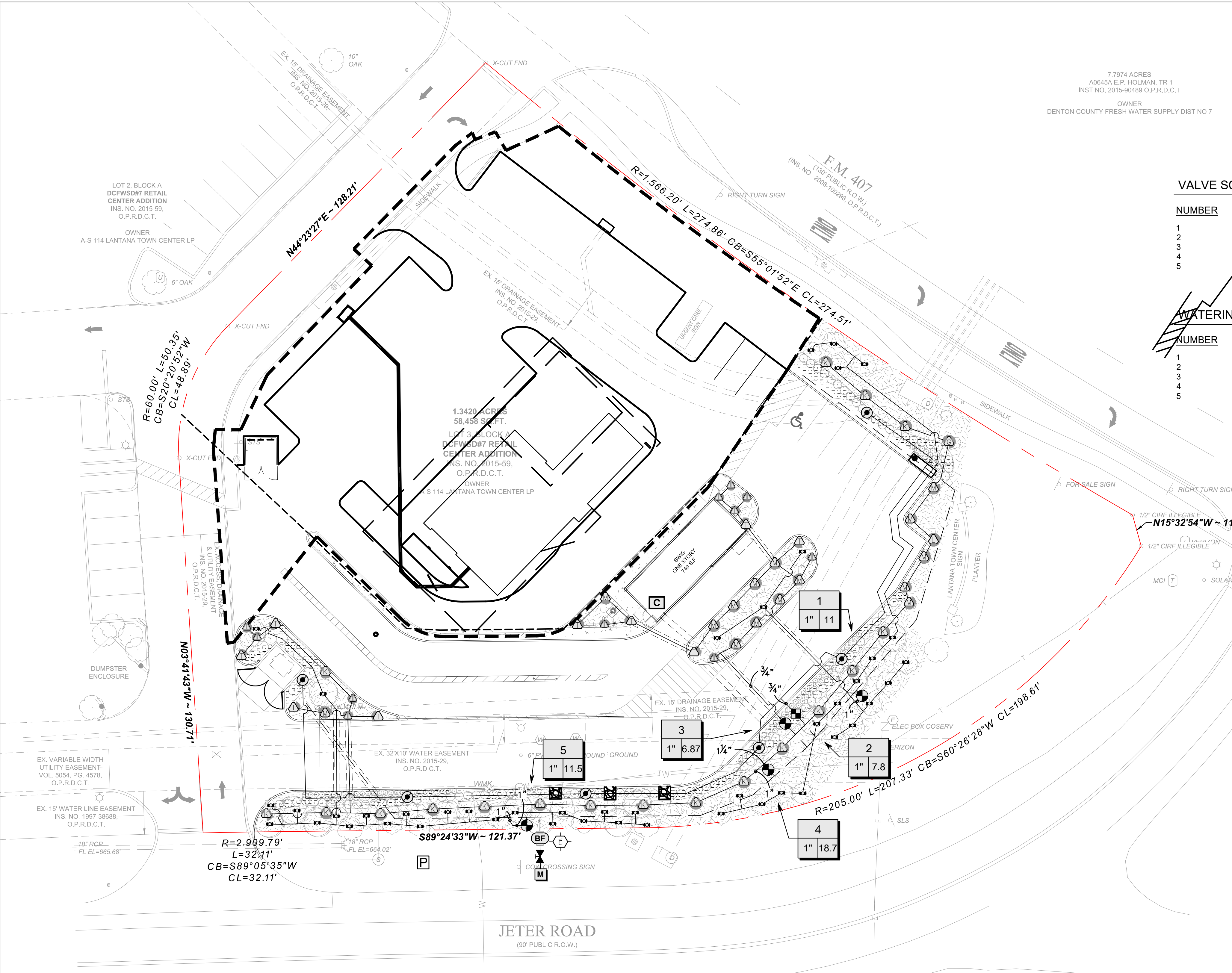


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SHEET L1.02		



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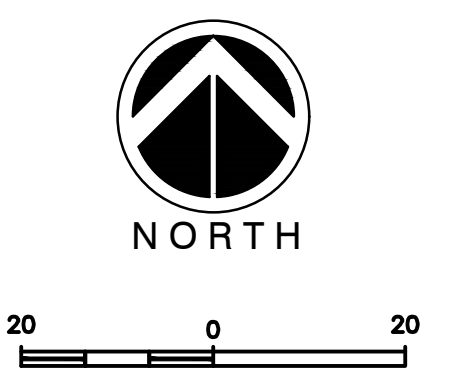
7.7974 ACRES
 A0645A E.P. HOLMAN, TR 1
 INST NO. 2015-00489 O.P.R.D.C.T.
 OWNER
 DENTON COUNTY FRESH WATER SUPPLY DIST NO 7

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	DESIGN PSI	PSI	PSI @ POC	PRECIP
1	Hunter ICV-G	1"	Bubbler	11	30	33.7		1.7 in/h
2	Hunter ICZ-101-25	1"	Area for Dripline	7.8	25	33.0		0.43 in/h
3	Hunter ICV-G	1"	Turf Rotary	6.87	40	44.6		0.65 in/h
4	Hunter ICV-G	1"	Turf Rotary	18.72	40	47.4		0.24 in/h
5	Hunter ICV-G	1"	Bubbler	11.5	30	34.3		1.71 in/h

WATERING SCHEDULE

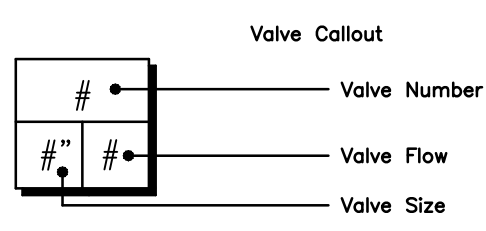
NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Hunter ICV-G	Bubbler	1.7 in/h	0.5	18	198	28.3
2	Hunter ICZ-101-25	Area for Dripline	0.43 in/h	0.5	71	554	79.1
3	Hunter ICV-G	Turf Rotary	0.65 in/h	0.5	47	323	46.1
4	Hunter ICV-G	Turf Rotary	0.24 in/h	0.5	124	2,321	332
5	Hunter ICV-G	Bubbler	1.71 in/h	0.5	18	207	29.6
TOTALS:					278	3,602	514.6



IRRIGATION SCHEDULE

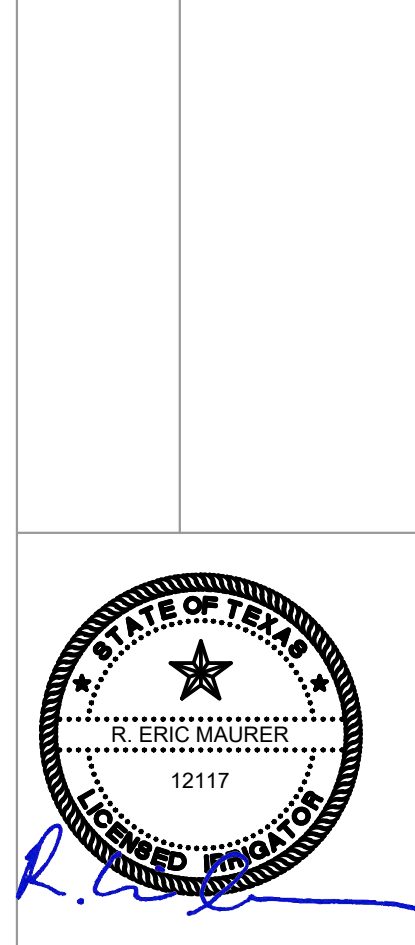
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Hunter MP Corner PROS-04-PRS40-CV-F Turf Rotator, 4in. pop-up with factory installed check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle. T=Turquoise adj arc 45-105 on PRS40 body.	9	40		Hunter ICZ-101-25 Drip Control Zone Kit. 1in. ICV Globe Valve with 1in. HY100 filter system. Pressure Regulation: 25psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	1
	Hunter MP1000 PROS-04-PRS40-CV-F Turf Rotator, 4in. pop-up with check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. M=Matoon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	16	40		Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with riser in 6in. drip box.	6
	Hunter MP2000 PROS-04-PRS40-CV-F Turf Rotator, 4in. pop-up with factory installed check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	19	40		Area to Receive Dripline Hunter HDL-06-18-CV HDL-06-18-CV: Hunter Dripline w/ 0.6 GPH emitters at 18" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 18" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.	1,170 I.F.
	Hunter MP800SR PROS-04-PRS40-CV-F Turf Rotator, 4in. pop-up with check valve, foguard, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. ADJ=Orange and Gray (arc 90-210), 360=Lime Green and Gray (arc 360)	11	40		Hunter ICV-G 1in., 1-1/2in., 2in., and 3in. Plastic Electric Remote Control Valves, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use.	4
	Hunter PRS-PRS30-00-PCN Flood Bubbler, on fixed riser.	45	30		Shut Off Valve	1
					Febco 765 1" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12in. above highest downstream outlet and the highest point in the downstream piping.	1

	Hunter P2C-400 with (01) PCM-300 Light Commercial & Residential Controller, 7-station expanded module controller, 120 VAC, Outdoor/Indoor model	1
	Strong Box SBB-22CR Low profile, tube and wire construction smooth touch surface, cold rolled steel, backflow enclosure. 23.5in.L, 28in.H, 17.75in.W.	1
	Water Meter 1" Reference Civil Utility Plan For Point Of Connection Location. 60 P.S.I. Assumed Pressure.	1
	Irrigation Lateral Line: PVC Class 200 SDR 21	1,795 I.F.
	Irrigation Mainline: PVC Schedule 40	424.0 I.F.
	Pipe Sleeve: PVC Schedule 40	218.9 I.F.



REVISION	DATE	DESCRIPTION

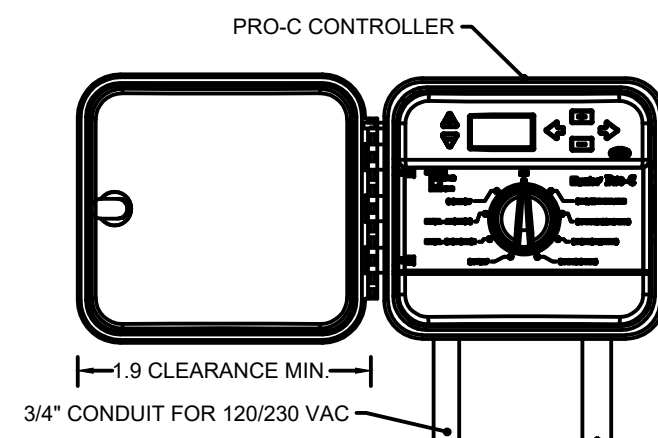
IRRIGATION PLAN
 SWIG
 3800 FM 407
 LANTANA, TX 76226



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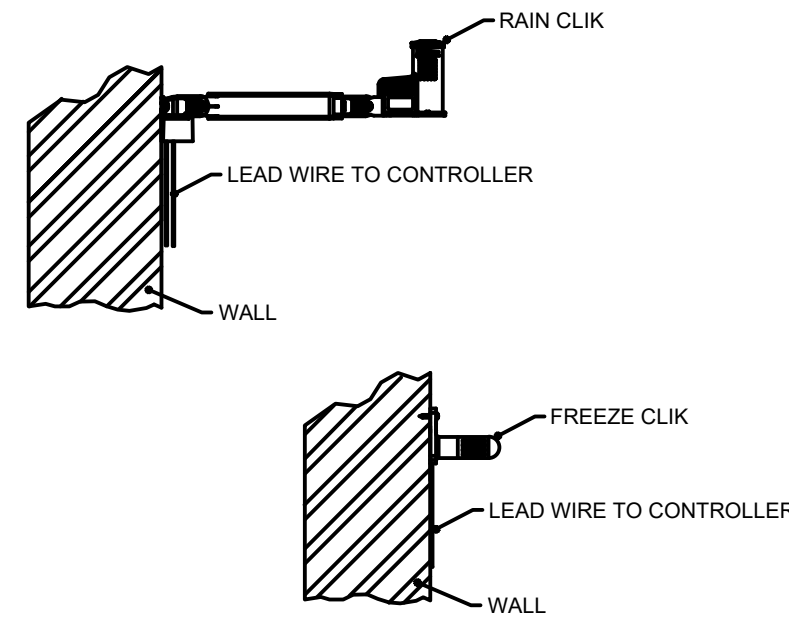
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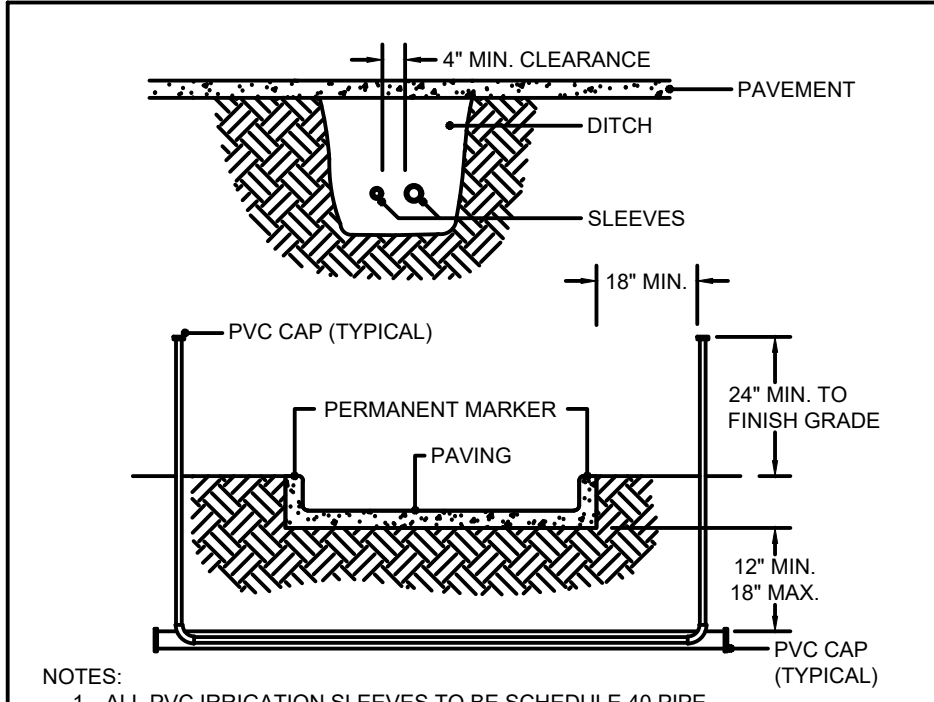
NOTE:
1. WEATHER SENSORS ARE TO BE PROVIDED AS REQUIRED BY LOCAL CODES. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

PRO-C CONTROLLER (OUTDOOR) N.T.S.



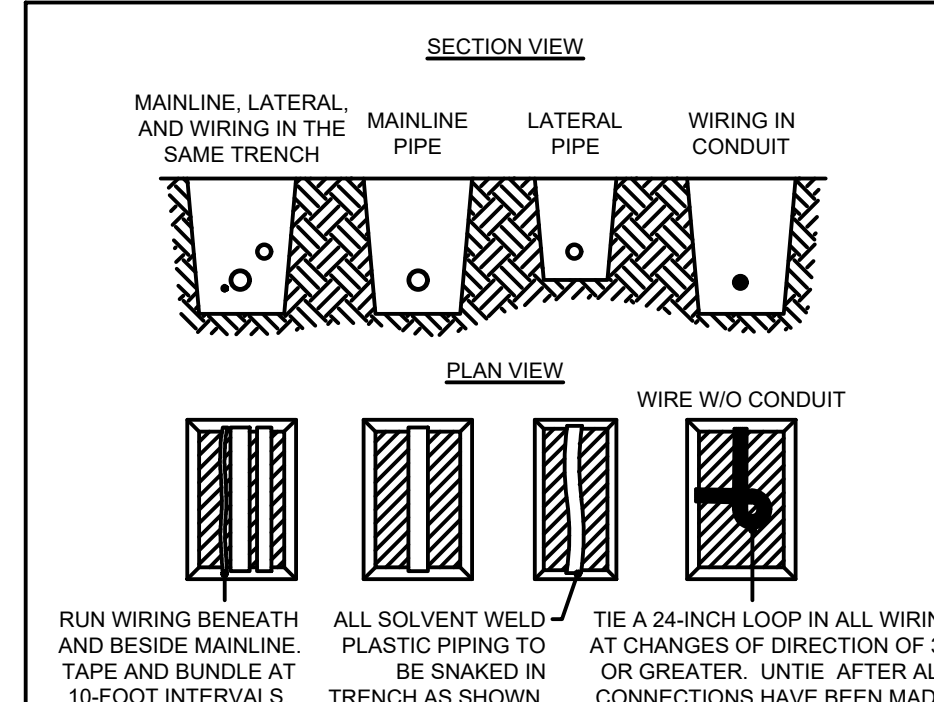
NOTE:
1. MOUNT RAIN CLIK ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN THE PATH OF SPRINKLERS.
2. MOUNT FREEZE-CLIK OUT OF DIRECT SUNLIGHT AND WHERE FREE AIR CIRCULATION IS POSSIBLE.

WEATHER SENSORS N.T.S.



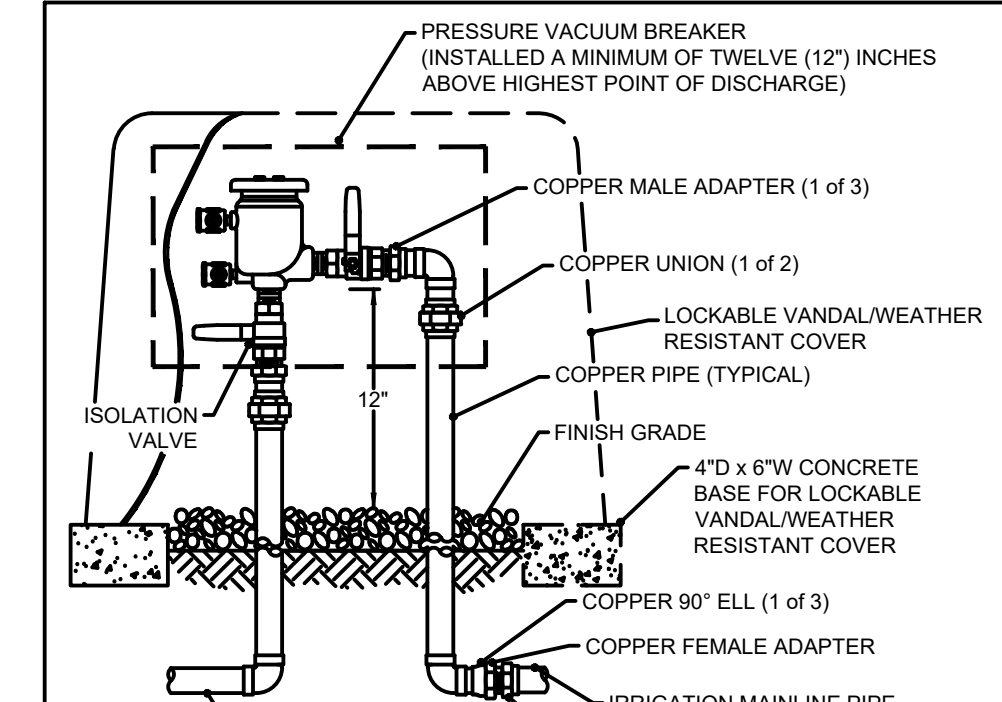
NOTES:
1. ALL PVC IRRIGATION SLEEVES TO BE SCHEDULE 40 PIPE.
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND THE SMALLER SLEEVE TO 24-INCHES MINIMUM ABOVE FINISH GRADE.
4. MECHANICALLY TAMP TO 95% PROCTOR.
5. SLEEVE LOCATIONS SHALL BE MARKED ON TO THE TOP OF CURB WITH A SAWCUT OF TWO PARALLEL LINES THAT ARE 2" LONG AND 1" APART.

IRRIGATION PVC SLEEVES N.T.S.



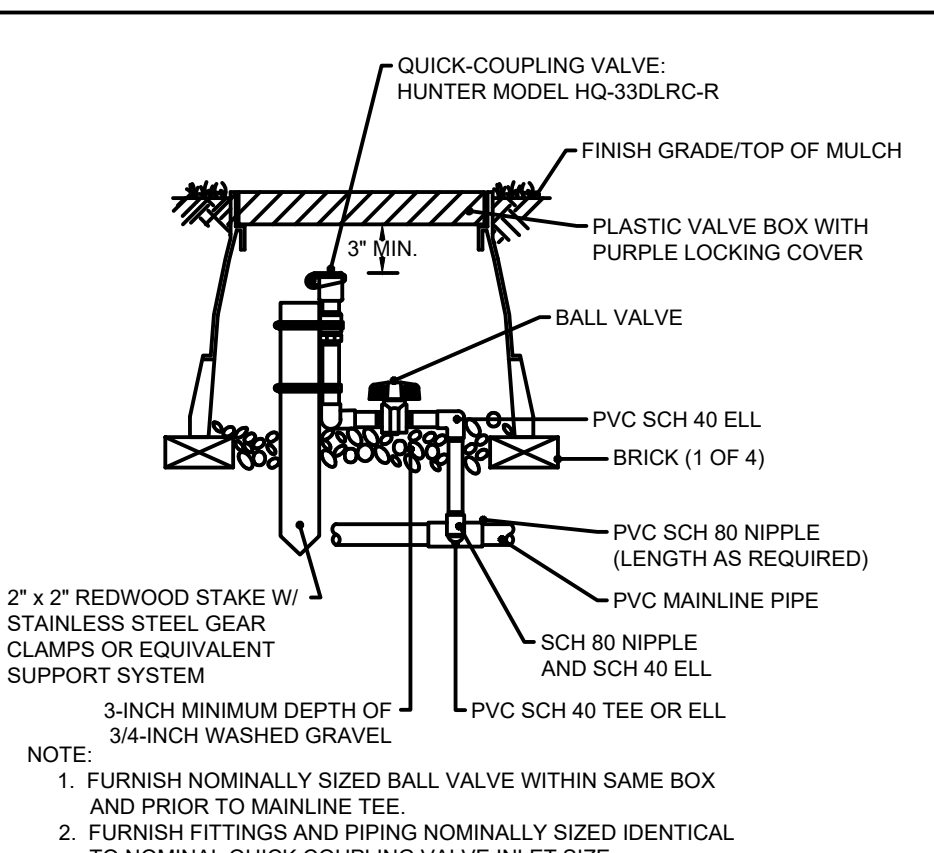
NOTES:
1. SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SCH 40 PVC TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
2. FOR PIPE AND WIRE BURIAL DEPTHS, SEE SPECIFICATIONS. MINIMUM - 12" 3. BACKFILL AND COMPACT TRENCHES TO ORIGINAL GRADE.

PIPE AND WIRING TRENCHING N.T.S.



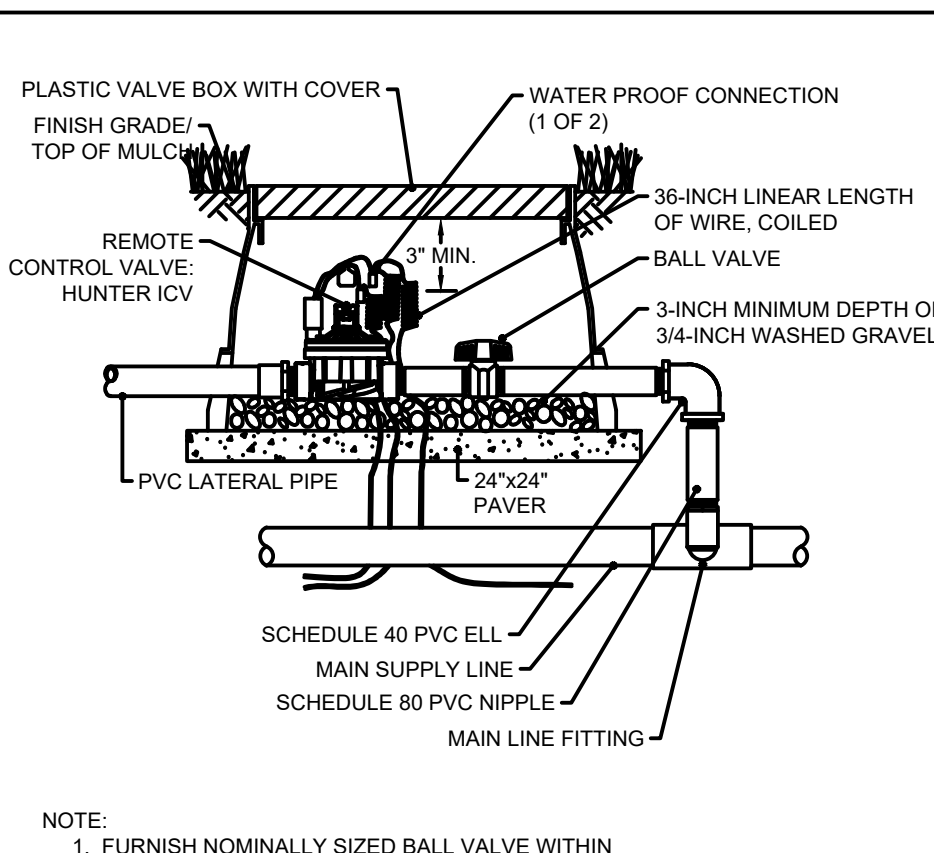
NOTE:
1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION. PRIOR TO BACKFLOW PREVENTER, INSTALL A NOMINALLY SIZED ISOLATION VALVE.

PRESSURE VACUUM BREAKER N.T.S.



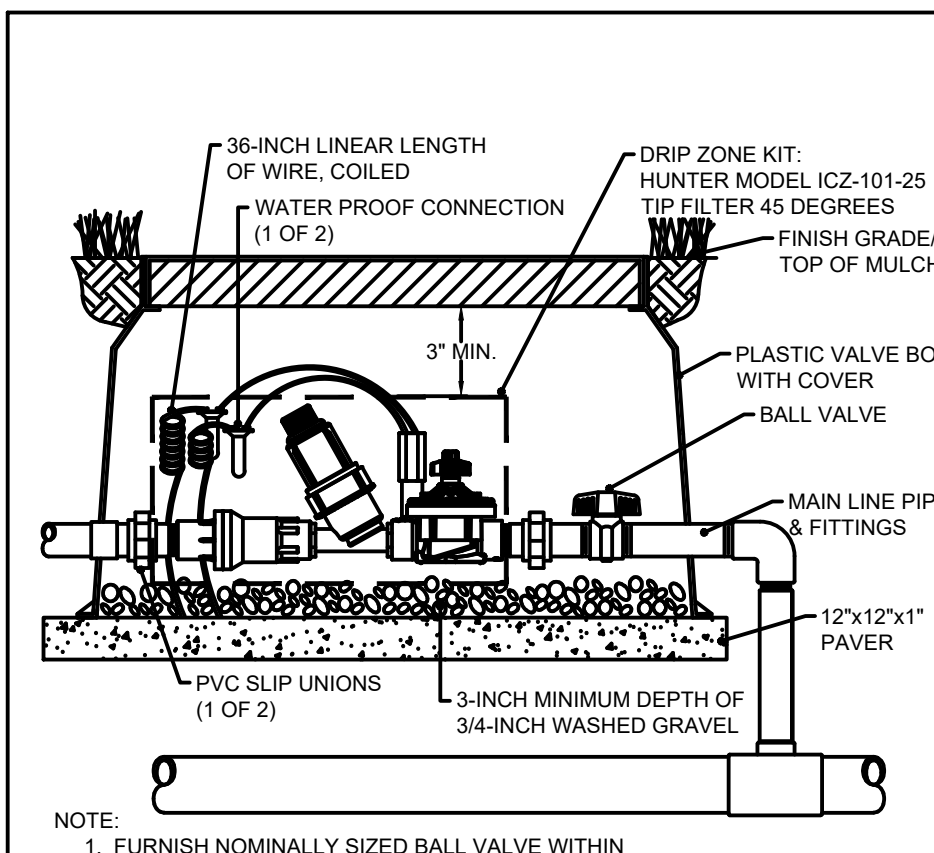
NOTE:
1. FURNISH NOMINALLY SIZED BALL VALVE WITHIN SAME BOX AND PRIOR TO MAINLINE TEE.
2. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

QUICK COUPLING VALVE N.T.S.



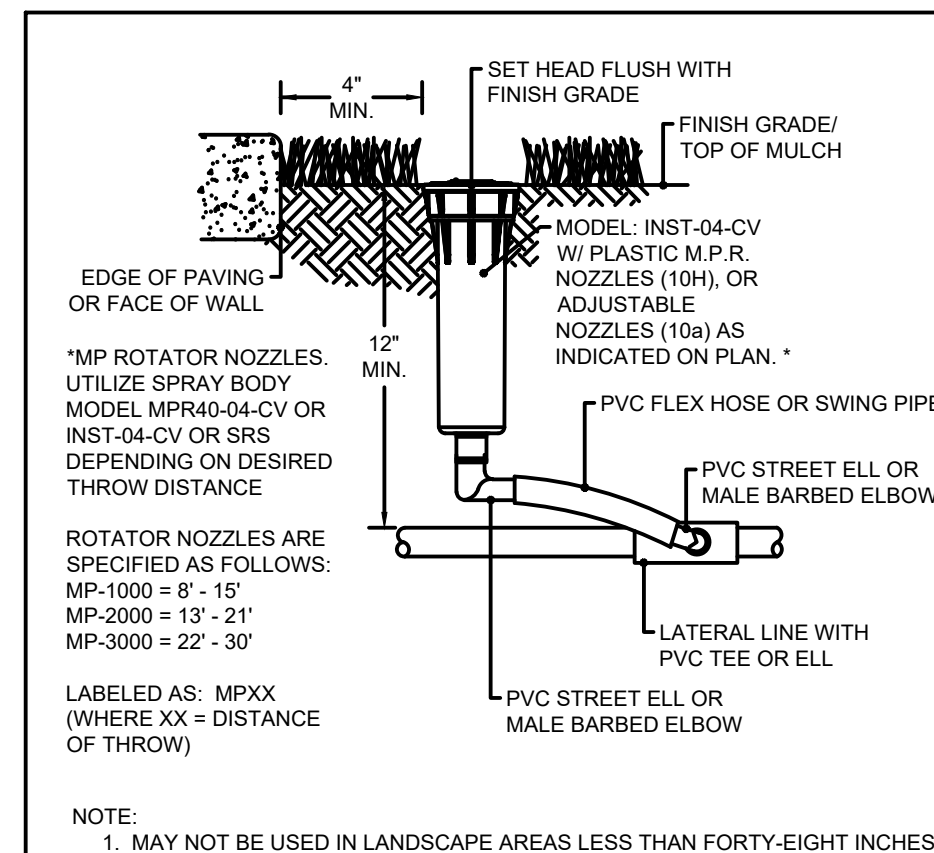
NOTE:
1. FURNISH NOMINALLY SIZED BALL VALVE WITHIN SAME BOX AND PRIOR TO MAINLINE TEE.

ICV IN VALVE BOX N.T.S.



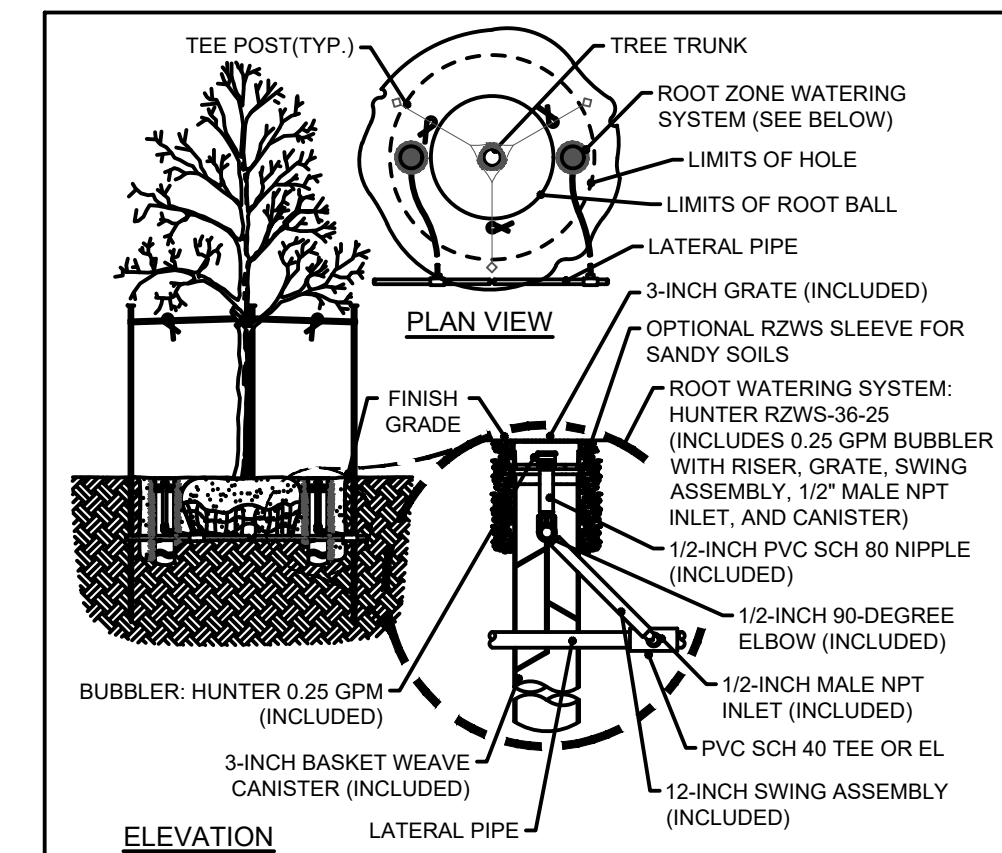
NOTE:
1. FURNISH NOMINALLY SIZED BALL VALVE WITHIN SAME BOX AND PRIOR TO MAINLINE TEE.

DRIP ZONE CONTROL KITS N.T.S.



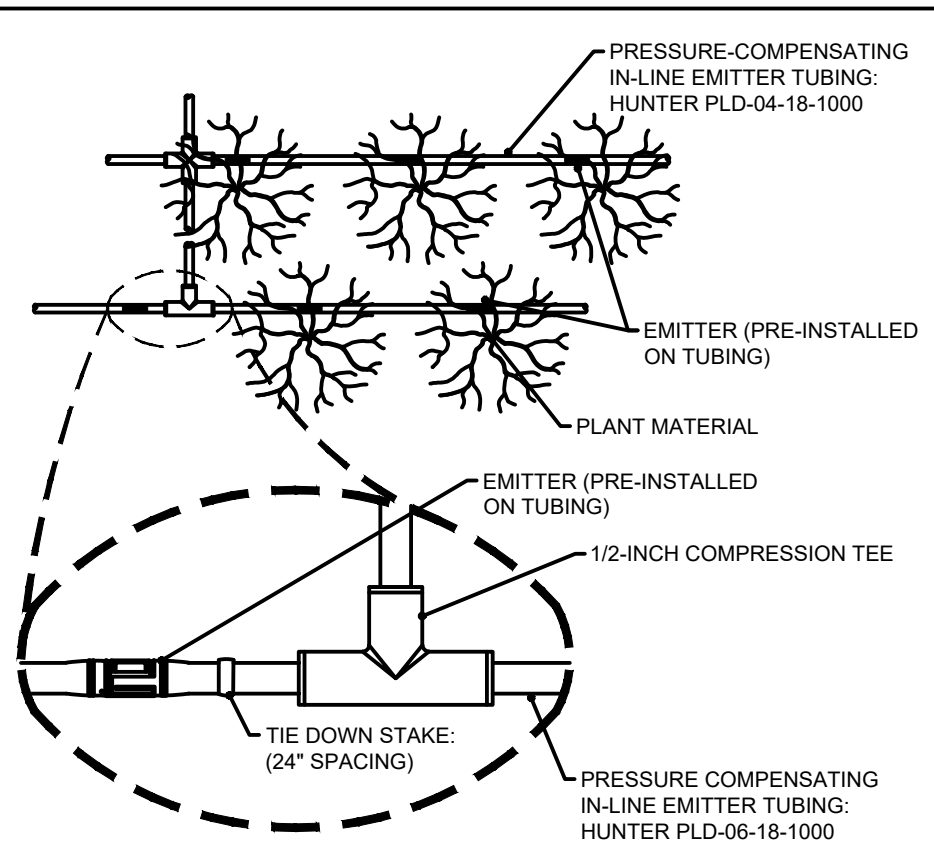
NOTE:
1. MAY NOT BE USED IN LANDSCAPE AREAS LESS THAN FORTY-EIGHT INCHES (48") IN LENGTH OR WIDTH.

TURF POP-UP SPRAY HEAD N.T.S.

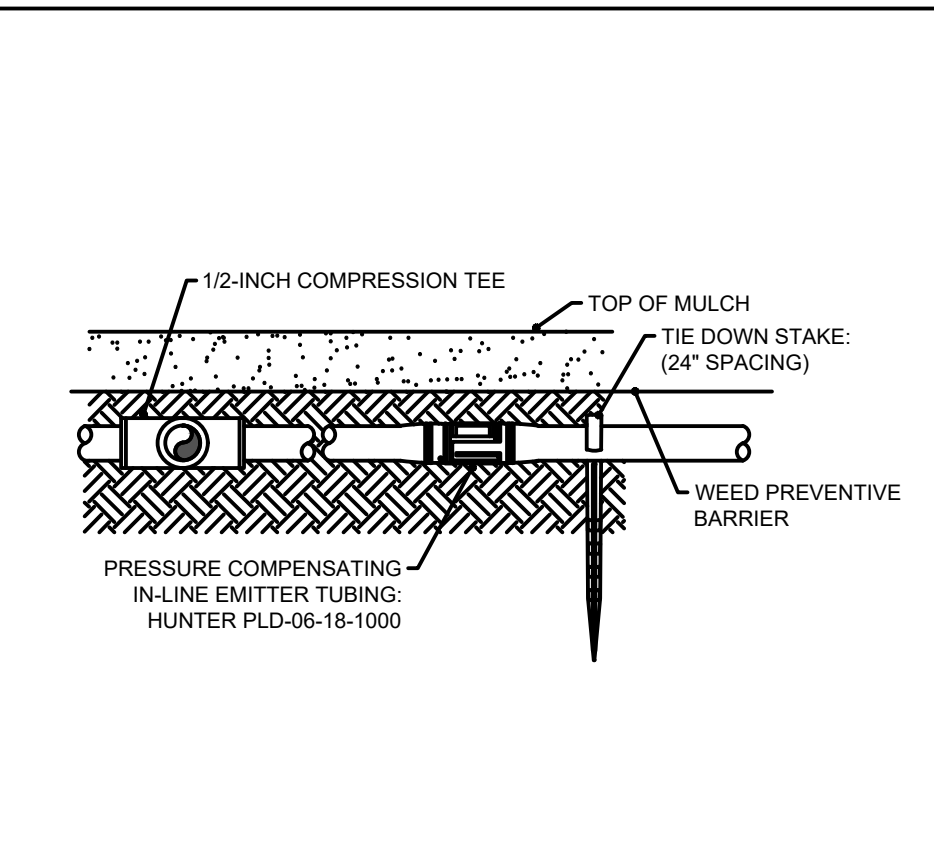


NOTE:
1. MAY NOT BE USED IN LANDSCAPE AREAS LESS THAN FORTY-EIGHT INCHES (48") IN LENGTH OR WIDTH.

ROOT ZONE WATERING SYSTEM N.T.S.



PROFESSIONAL LANDSCAPE DRIPLINE N.T.S.



PROFESSIONAL LANDSCAPE DRIPLINE N.T.S.

IRRIGATION NOTES:

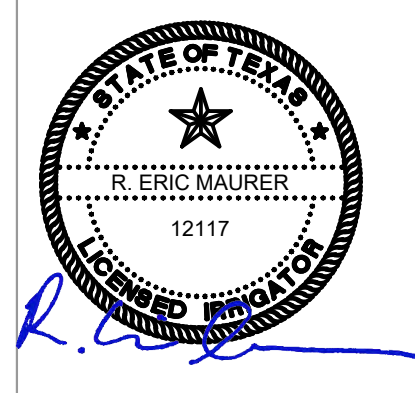
- IRRIGATION HAS BEEN DESIGNED WITH AN ASSUMED PRESSURE OF 60 PSI AT THE IRRIGATION METER. IF AVAILABLE PRESSURE IS LESS THAN ASSUMED NOTIFY LICENSED IRRIGATOR OF RECORD PRIOR TO SYSTEM INSTALLATION FOR DESIGN MODIFICATION INSTRUCTIONS.
- INSTALL WEATHER SENSING DEVICE AS SPECIFIED. AFFIX TO INSIDE OF PARAPET WALL ABOVE CONTROLLER. COORDINATE EXACT LOCATION WITH OWNER AND ARCHITECT AND CONDUIT FOR WIRING WITH ELECTRICAL CONSULTANT.
- A LICENSED IRRIGATOR MUST BE ON-SITE AND PROVIDE SUPERVISION FOR THE ENTIRE DURATION OF THE IRRIGATION SYSTEM INSTALLATION, PER TAC RULE 344.36. ON-SITE SUPERVISING LICENSED IRRIGATOR ASSUMES ALL RESPONSIBILITY FOR THE IRRIGATION SERVICES PERFORMED IN ACCORDANCE WITH THESE DOCUMENTS.
- BACKFLOW PREVENTER MUST BE WINTERIZED UPON INSTALLATION.
- EACH IRRIGATION CONTROL VALVE SHALL BE ADJUSTED TO PROVIDE THE MINIMUM AMOUNT OF PRESSURE REQUIRED (PER MANUFACTURER'S RECOMMENDATIONS) TO OPERATE THE IRRIGATION ZONE IT IS SERVING.
- ALL IRRIGATION PIPING AND VALVES MUST MEET THE SEPARATION DISTANCES FROM THE ON-SITE SEWAGE FACILITIES SYSTEM AS REQUIRED FROM A PRIVATE WATER LINE IN 289.9(110) OF TAC TITLE 30 RELATING TO MINIMUM REQUIRED SEPARATION DISTANCES FOR ON-SITE SEWAGE FACILITIES.
- ALL IRRIGATION EMISSION DEVICES MUST DIRECT FLOW AWAY FROM ANY ADJACENT IMPERVIOUS SURFACE AND SHALL NOT BE INSTALLED CLOSER THAN FOUR INCHES FROM A HARDSCAPE AREA, SUCH AS, BUT NOT LIMITED TO, A BUILDING, FENCE, CONCRETE, OR ANY OTHER IMPERVIOUS MATERIAL.
- IRRIGATION EMISSION DEVICES MUST BE INSTALLED TO OPERATE AT THE MINIMUM AND NOT ABOVE THE MAXIMUM SPRINKLER HEAD PRESSURE AS PUBLISHED BY THE MANUFACTURER FOR THE NOZZLE AND HEAD SPACING THAT IS USED.
- ALL PVC IRRIGATION PIPING MUST NOT EXCEED THE MAXIMUM WATER VELOCITY WITHIN FIVE FEET PER SECOND.
- ALL UNLABELED PVC IRRIGATION PIPING THAT IS DOWN STREAM OF PIPE SIZES LABELED 3/4" SHALL BE 1/2" CLASS 315 PVC.
- ALL PVC FITTINGS MUST BE PRIMED WITH A COLORED PRIMER PRIOR TO APPLYING THE PVC CEMENT IN ACCORDANCE WITH THE UNIFORM PLUMBING CODE (SECTION 316) OF THE INTERNATIONAL PLUMBING CODE (SECTION 605)
- RAINMOISTURE SHUT-OFF TECHNOLOGY MUST BE INSTALLED AND DONE SO IN ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS.
- AN ISOLATION VALVE MUST BE INCLUDED ON ALL IRRIGATION INSTALLATIONS AND SHALL BE PLACED BETWEEN THE WATER METER AND THE BACKFLOW PREVENTION DEVICE.
- ALL IRRIGATION PIPING MUST HAVE A MINIMUM DEPTH COVERAGE OF SIX (6) INCHES OF SELECT BACKFILL BETWEEN THE TOP OF THE PIPE AND THE FINISHED GRADE OF THE TOPSOIL MOUNDING SOIL TO MEET THIS REQUIREMENT MUST BE NOTED ON THE IRRIGATION PLAN AND DISCUSSED WITH THE IRRIGATION SYSTEM OWNER OR OWNER'S REPRESENTATIVE AND LICENSED IRRIGATOR OF RECORD TO ADDRESS ANY SAFETY ISSUES.
- ALL TRENCHES AND HOLES CREATED DURING INSTALLATION OF AN IRRIGATION SYSTEM MUST BE BACKFILLED AND COMPACTED TO FINISHED GRADE.
- ALL UNDERGROUND WIRING MUST BE LISTED BY UNDERWRITERS LABORATORIES AS ACCEPTABLE FOR BURIAL AND MUST BE BURIED WITH A MINIMUM OF SIX (6) INCHES OF BACKFILL.
- ALL ELECTRICAL WIRE SPICES EXPOSED TO MOISTURE MUST BE WATERPROOFED WITH RAINBIRD DB SERIES WIRE CONNECTORS OR APPROVED EQUAL.
- ALL QUICK COUPLERS MUST BE INSTALLED USING A QUICK COUPLER KEY AND PLACED IN A VALVE BOX. AN ISOLATION VALVE MUST BE INSTALLED UPSTREAM OF EACH QUICK COUPLER.
- A FINAL WALK THROUGH WITH OWNER'S REPRESENTATIVE MUST BE SCHEDULED PRIOR TO FINAL COMPLETION, TO EXPLAIN OPERATION OF THE SYSTEM.
- UPON COMPLETION OF THE IRRIGATION SYSTEM INSTALLATION, PROVIDE THE OWNER OR OWNER'S REPRESENTATIVE WITH A DOCUMENT CONTAINING, BUT NOT LIMITED TO THE FOLLOWING INFORMATION:
 - DRAWING SHOWING ACTUAL INSTALLATION (ALL VARIANCES FROM ORIGINAL PLAN MUST BE AUTHORIZED BY LICENSED IRRIGATOR OF RECORD). DRAWING MUST INCLUDE THE STATEMENT "THIS IRRIGATION SYSTEM HAS BEEN INSTALLED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL LAWS, ORDINANCES, RULES, REGULATIONS OR ORDERS. I HAVE TESTED THE SYSTEM AND DETERMINED THAT IT HAS BEEN INSTALLED ACCORDING TO THE IRRIGATION PLAN AND IS PROPERLY ADJUSTED FOR THE MOST EFFICIENT APPLICATION OF WATER AT THIS TIME."
 - HOW TO OPERATE AND REPAIR THE IRRIGATION SYSTEM
 - MANUFACTURER'S MANUAL FOR THE AUTOMATIC CONTROLLER
 - HOW TO CHECK THE RAIN/MOISTURE SENSOR
 - A LIST OF COMPONENTS THAT REQUIRE MAINTENANCE, SUCH AS FILTERS, AND THE RECOMMENDED FREQUENCY FOR THE SERVICE.
 - HOW TO PRUNE GRASS AND PLANTS AWAY FROM IRRIGATION EMITTERS
 - LIST OF PRECIPITATION RATES OF EACH IRRIGATION ZONE WITHIN THE SYSTEM
 - DOCUMENTATION OUTLINING ANY WATER CONSERVATION MEASURES CURRENTLY IN EFFECT FROM THE WATER PURVEYOR

- THE NAME OF THE WATER PURVEYOR
 - A SUGGESTED SEASONAL OR MONTHLY WATERING SCHEDULE BASED ON CURRENT EVAPOTRANSPIRATION DATA FOR THE GEOGRAPHIC REGION AND MINIMUM WATER REQUIREMENTS FOR THE PLANT MATERIAL IN EACH ZONE BASED ON THE SOIL TYPE AND PLANT MATERIAL WHERE THE SYSTEM IS INSTALLED.
 - A WRITTEN WARRANTY COVERING MATERIALS AND LABOR FURNISHED IN THE NEW INSTALLATION OF THE IRRIGATION SYSTEM FOR A MINIMUM PERIOD OF ONE YEAR. WARRANTY MUST INCLUDE THE ON-SITE LICENSED IRRIGATION CONTRACTOR'S SEAL, NAME, SIGNATURE, DATE, BUSINESS ADDRESS AND BUSINESS TELEPHONE NUMBER(S). WARRANTY MUST INCLUDE THE STATEMENT "IRRIGATION IN TEXAS IS REGULATED BY THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), MC-178, P.O. BOX 130887, AUSTIN, TEXAS 78711-3087. TCEQ'S WEBSITE IS: WWW.TCEQ.STATE.TX.US" IRRIGATION CONTRACTOR SHALL ALSO SUPPLY INFORMATION REGARDING APPLICABLE MANUFACTURER'S WARRANTIES.
 - AFFIX A PERMANENT STICKER TO THE IRRIGATION CONTROLLER THAT LISTS THE ON-SITE LICENSED IRRIGATOR'S NAME, LICENSE NUMBER, COMPANY NAME, TELEPHONE NUMBER(S) AND THE DATES OF THE WARRANTY PERIOD.
 - AFFIX A LAMINATED AS-BUILT IRRIGATION ZONE MAP TO THE INSIDE COVER OF THE CONTROLLER. NUMBER ALL ZONES ON THE MAP. PROVIDE A CHART SHOWING THE PROGRAM, WATERING DAYS, START TIMES, AND RUN TIMES FOR EACH ZONE.
 - REFER TO IRRIGATION SPECIFICATIONS FOR MORE INFORMATION.
 - WHEN INSTALLING IRRIGATION UNDER OR NEAR EXISTING TREES, ALL TRENCHES MUST BE HAND DUG. ROOTS LARGER THAN THREE (3) INCHES IN DIAMETER MAY NOT BE CUT.
- DRIP IRRIGATION NOTES:**
- INSTALL MANUAL FLUSH VALVE(S) IN EACH ZONE AT LOW POINT(S), PER MANUFACTURER SPECIFICATIONS.
 - INSTALL ONE AIR/VACUUM RELIEF VALVE IN EACH SUB-SURFACE ZONE AT HIGHEST POINT PER MANUFACTURER SPECIFICATIONS.
 - INSTALL RAINBIRD OPERATION INDICATOR(S) IN EACH ZONE. FOR END-FED ZONES PLACE INDICATOR AT OPPOSITE END FROM VALVE. FOR CENTER-FED ZONES AN INDICATOR SHALL BE PLACED AT EACH END OF ZONE WHEN ZONE HAS MULTIPLE END AREAS, I.E. PARKING LOTS. PLACE ONE INDICATOR PER END AREA. PLACEMENT SHOULD BE ACCESSIBLE BUT SCREENED FROM PUBLIC VIEW.
 - ALL ON-SURFACE DRIPLINE SHALL BE COVERED BY A MULCH LAYER MIN. 3" DEEP) AND WEED BARRIER FABRIC (EXCEPT IN AREAS OF SEASONAL COLOR AND SURFACE SPREADING GROUNDCOVERS).
 - ALL DRIPLINE, IN ON-SURFACE INSTALLATIONS, MUST BE SECURED EVERY THREE (3) LINEAR FEET WITH RAINBIRD GALVANIZED TIE-DOWN STAKES, OR APPROVED EQUAL.
 - INSTALL CONTROL VALVES WITH MAXIMUM 18 GAUGE WIRE.

V:\070714 - SWIG FM 407, Lantana, TX\070714-01-001 (ENG) - SWIG FM 407, Lantana, TX\Engineering\landscapes\Plan\02 Drawings\Sheet\02.01 IRRIGATION PLAN.dwg, L2.02 IRRIGATION DETAILS, November 29, 2023, 2:07 PM, emaurer

REVISION	DATE	DESCRIPTION

IRRIGATION DETAILS
SWIG
3800 FM 407
LANTANA, TX 76226



DESIGN	DRAWN	CHKD
RM	RM	KA
JOB No. 070714-01-001		
SHEET		
L2.02		



THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Exhibit 2



1941 E. Jeter Road, Bartonville, TX 76226 817-693-5280

December 20, 2023

«NAME»

«ADDRESS»

«CITY», «STATE» «ZIP»

Re: Proposed Conditional Use Permit and Site Plan for Swig Bartonville

Dear Property Owner:

The Planning and Zoning Commission for the Town of Bartonville, Texas will conduct a public hearing at 7:00 p.m. on January 3, 2024, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider recommendations to the Town Council regarding an Ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning Regulations for the Town of Bartonville, to establish a Conditional Use Permit for a restaurant with drive-through on a 0.75-acre tract or parcel of land situated in Lot 3, Block A, of DCFWSD #7 Retail Center Addition, in the Town of Bartonville, Denton County, Texas. The subject property is located west of the intersection of Justin Road and E Jeter Road, in Bartonville, Texas. The applicant is Rama Madanat of Bowman Engineering & Consulting, Inc. The Town of Bartonville file number for this application is CUP-2023-007;

and a Resolution approving a Site Plan for the same property described above, containing a restaurant with a drive-through and other site appurtenances. The Town of Bartonville file number for this application is SP-2023-004.

The Town Council will conduct a second Public Hearing at 6:30 p.m. on January 16, 2024, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider the proposed Conditional Use Permit and Site Plan, and recommendations of the Planning and Zoning Commission. All interested parties are encouraged to attend.

Sincerely,







Thad Chambers, CPM
Town Administrator
Town of Bartonville

enclosure

NAME	NAME 2	ADDRESS	CITY	STATE	ZIP
FIRST CHURCH NAZARENE		2200 E JETER RD	BARTONVILLE	TX	76226-8439
KROGER TEXAS LP	C/O REAL ESTATE DEPARTMENT	751 FREEPORT PKWY	COPPELL	TX	75019-4411
A-S 114 LANTANA TOWN CENTER LP		8827 W SAM HOUSTON PKWY N STE 200	HOUSTON	TX	77040-5383
DENTON COUNTY FRESH WATER SUPPLY DIST NO 7	C/O CLAY E CRAWFORD	19 BRIAR HOLLOW LN STE 245	HOUSTON	TX	77027-2858
A-S 114 LANTANA TC PHASE 2 LP		8827 W SAM HOUSTON PKWY N STE 200	HOUSTON	TX	77040-5383

Swig Bartonville Conditional Use Permit and Site Plan

Town File #
CUP-2023-007,
SP-2023-004

-  Swig Bartonville Property
-  Noticed Parcels
-  Roads
-  Bartonville Town Limits
-  Floodplain
-  Creeks

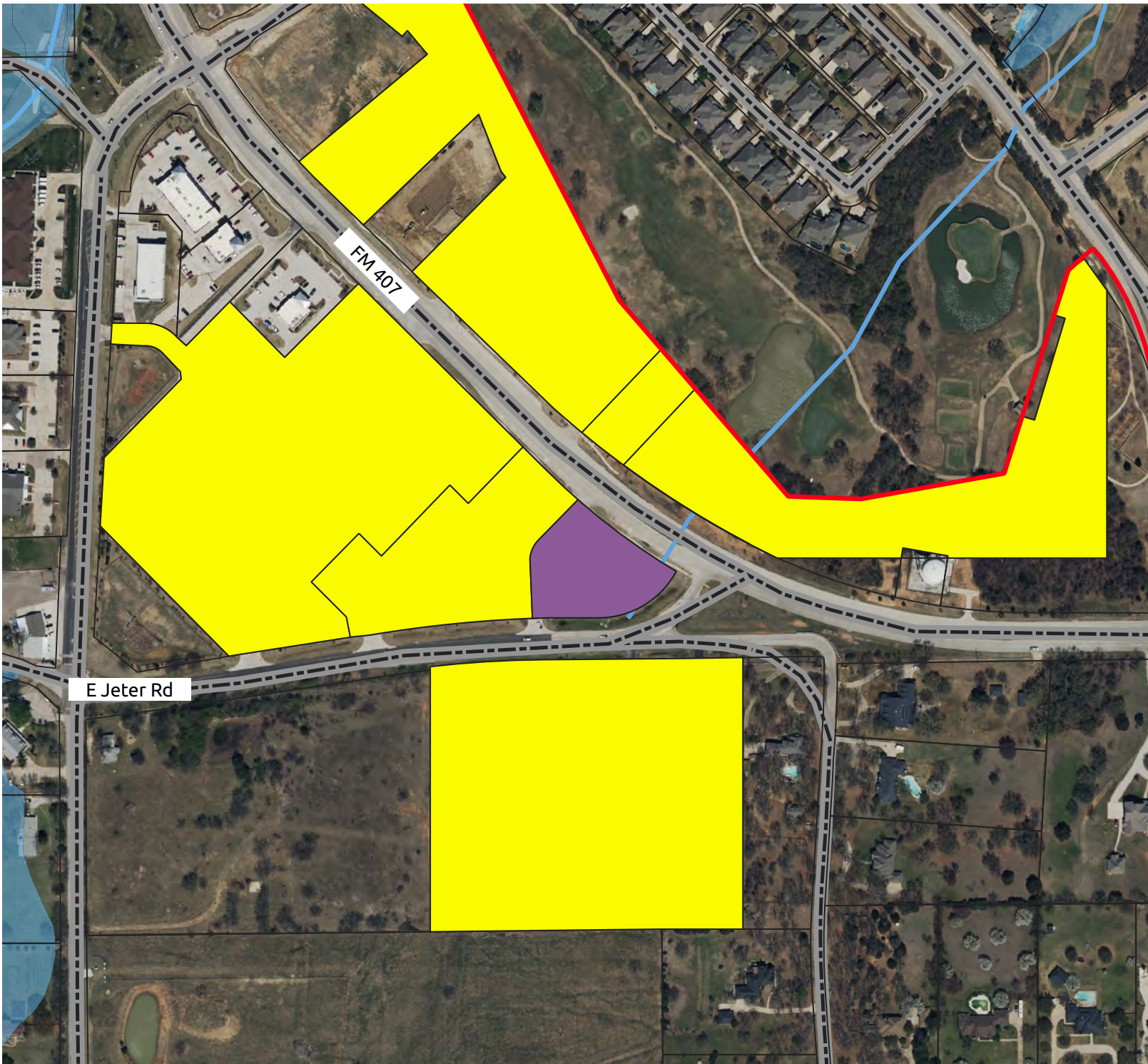
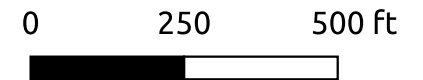


Exhibit 3

Denton Record-Chronicle
3555 Duchess Drive
(940) 387-7755

I, Ayesha Carletta M Cochran-Worthen, of lawful age, being duly sworn upon oath depose and say that I am an agent of Column Software, PBC, duly appointed and authorized agent of the Publisher of Denton Record-Chronicle, a publication that is a "legal newspaper" as that phrase is defined for the city of Denton, for the County of Denton, in the state of Texas, that this affidavit is Page 1 of 1 with the full text of the sworn-to notice set forth on the pages that follow, and that the attachment hereto contains the correct copy of what was published in said legal newspaper in consecutive issues on the following dates:

PUBLICATION DATES:
Dec. 23, 2023

Notice ID: nmbCsONxGIJQLRHx05xR
Notice Name: 12232023 SWIG CUP & SP Newspaper Notice

PUBLICATION FEE: \$62.64

I declare under penalty of perjury that the foregoing is true and correct.

Ayesha Carletta M Cochran-Worthen

Agent

SHANNEA H HOLMES
NOTARY PUBLIC
STATE OF NEW JERSEY
My Commission Expires August 1, 2026

VERIFICATION

State of New Jersey
County of Hudson

Signed or attested before me on this: 12/27/2023



Notary Public
This notarial act involved the use of communication technology

TOWN OF BARTONVILLE
NOTICE OF
PUBLIC HEARING

The Planning and Zoning Commission for the Town of Bartonville, Texas will conduct a public hearing at 7:00 p.m. on January 3, 2024, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider recommendations to the Town Council regarding an Ordinance amending the Town of Bartonville Code of Ordinances, Chapter 14, Exhibit "A," Article 14.02, Ordinance 361-05, Zoning Regulations for the Town of Bartonville, to establish a Conditional Use Permit for a restaurant with drive-through on a 0.75-acre tract or parcel of land situated in Lot 3, Block A, of DCFWSD #7 Retail Center Addition, in the Town of Bartonville, Denton County, Texas. The subject property is located west of the intersection of Justin Road and E Jeter Road, in Bartonville, Texas. The applicant is Rama Madanat of Bowman Engineering & Consulting, Inc. The Town of Bartonville file number for this application is CUP-2023-007, and a Resolution approving a Site Plan for the same property described above, containing a restaurant with a drive-through and other site appurtenances. The Town of Bartonville file number for this application is SP-2023-004. The Town Council will conduct a second Public Hearing at 6:30 p.m. on January 16, 2024, at Bartonville Town Hall, 1941 E. Jeter Road, Bartonville, Texas, to hear public comment and consider the proposed Conditional Use Permit and Site Plan, and recommendations of the Planning and Zoning Commission. All interested parties are encouraged to attend.
dre: 12/23/2023