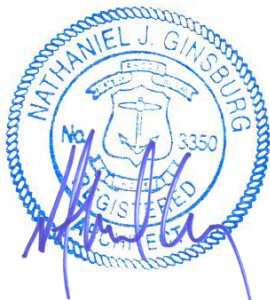


**Comfort Inn & Suites  
Planning Board Review  
August 15, 2025**

Bristol, RI

**BTGA No. 2512**



## DOCUMENTS REVIEWED

- Pre-Applicant Submission, dated 06/03/25
- Applicant Submission Revisions, provided 8/4/25
- Bristol Zoning Ordinance, dated May 19, 2025
- 2016 Bristol Comprehensive Community Plan
- Bristol Subdivision & Development Review Regulations, amended March 14, 2024
- Bristol Conservation Commission, Strategic Tree Canopy Plan, dated March 2024

## EXISTING CONDITIONS

### EXISTING SITE

The property is approximately 9.78 acres of densely wooded land. A sewer easement intersects the property from roughly the Northeast corner to the Southwest corner. Wetlands have been identified on the opposite side of that easement from where the development is proposed.



### Tax Map – Bristol GIS

**Plat:** 111 ([Bristol GIS Database-axisgis.com](http://Bristol GIS Database-axisgis.com))

**Lot:** 1 ([Bristol GIS Database-axisgis.com](http://Bristol GIS Database-axisgis.com))

**Zone:** General Business (GB) ([Bristol Official Map of Zoning Districts dated 8/3/22](http://Bristol Official Map of Zoning Districts dated 8/3/22))

**Overlay Zones:** None ([Bristol Official Map of Zoning Districts dated 8/3/22](http://Bristol Official Map of Zoning Districts dated 8/3/22))

**FEMA Flood Zone** (*FEMA Online Mapping refreshed June 2024*)

- Zone X: According to FEMA, no major flood concerns or additional requirements to protect against flooding.
- Zone AE: According to FEMA, this zone requires additional flood prevention measures but is only located in areas of the site not being proposed for development.



**FEMA Flood Map (June 2024)**

**Dimensional Regulations** (*Bristol Zoning Ordinance, Article IV*)

**Minimum Lot Size:** 10,000 SF

- The site complies with this requirement.

**Minimum Width:** 100 ft

- The site complies with this requirement.

**Minimum Frontage:** 100 ft

- The site complies with this requirement.

**Maximum Lot Coverage by Structures:** 40%

- The current proposed design complies with this requirement.

**Maximum Lot Coverage by Structures and Pavement:** 70%

- The current proposed design complies with this requirement.

**Maximum Floor Area Ratio (FAR):** 0.5

- The current proposed design complies with this requirement.

**Minimum Setback From Residential Zones:** 25'

- The current design complies with this requirement.

**Minimum Side Yard Setback:** 10'

- The current design complies with this requirement.

**Minimum Rear Yard Setback:** 30'

- The current design complies with this requirement.

**Maximum Height Restriction:** 35'

- The current design complies with this requirement.

**Allowable Permitted Uses:** Hotels are permitted in this Zone. (*Bristol Zoning Ordinance Section 28-82*)

## NEIGHBORHOOD

Commercial properties primarily run along the Northern side of Gooding Avenue, opposite the site and designated for General Business or Manufacturing. To the South and East of the site, properties have been designated by the Town for Open Space (OS). To the West, General Business runs along Gooding Avenue, surrounded by moderately sized residential properties (R-15), including those immediately adjacent to this proposed development. (*Bristol Official Map of Zoning Districts dated 8/3/22*)

According to historic mapping, the zoning makeup of this area has not changed significantly for as long as mapping has been available (mid-1920s). (*RI DEM Maps & Aerial Photos online database*).



***Properties to the North of the Site (Google Streetview)***



***Properties to the West of the Site (Google Streetview)***



## **MATERIALS**

The properties closest to this development are small, single-story homes of traditional New England style architecture. The adjacent commercial properties are a mix of styles, including flat and pitched roofs. Materials include block, red brick facades, and clapboard/shingle siding.

## **SIDEWALKS**

The North side of Gooding Avenue has a sidewalk that runs the entire length from Metacom Avenue to Hope Street. The South side has a sidewalk that runs from Hope Street to the abutting property but does not extend into this property or beyond toward Metacom.

## **RETAINING WALLS**

No retaining walls are currently present on this site.

## **LIGHTING**

General pole street lighting is present along Gooding Avenue.

## **COMMUNICATION LINES**

Above ground electrical and communication lines are present primarily along the North side of Gooding Avenue, connecting to a single pole on this site to the West corner where electrical transitions to underground.

## **LANDSCAPING**

The properties in this neighborhood are landscaped and well-maintained. They all feature some element of a landscape/tree buffer from Gooding Avenue.

## **COMPREHENSIVE PLAN OBJECTIVES**

Applicants should be considerate of the Town's overarching development goals, including:

- Promote Sustainability
- Promote Conservation
- Increase Sources of Taxable Revenue
- Provide Walkability
- Reduce Excessive Lighting in Residential Neighborhoods
- Promote Good Bristol-Appropriate Design
- Promote Development that is of Appropriate Scale in Relation to Surrounding Residential Neighborhoods
- Promote Safety
- Promote Positive Neighborhood Connections.
- Provide Workforce Opportunities in Town.
- Increase forest cover by 25%
- Promote Recycling
- Provide Parking without Losing Town Character

- Not Over-Tax the Sewer System
- Protect Silver Creek
- Continue Basis Land Use Patterns
- Protect the Residential Character of Existing Neighborhoods.

The Comprehensive Community Plan indicates this parcel of land is flagged for:

- Future Land Use: Mixed Use (Affordable Residential and Commercial)
- A National Historic Candidate.
- Suitable for conservation and open space.

## PRECEDENT IMAGES

The following images are of existing Comfort Inn locations that are found to be good examples of designs that fit within the Bristol/New England character and still meet the hotel spatial requirements.



*Middletown, RI (55 rooms)*





*Rockland, MA (101 rooms)*



*Conway, NH (57 rooms)*





*New Burke Mountain, VT (107 rooms)*



*Brunswick, ME (75 rooms)*





*Brunswick, ME (75 rooms)*



*Milton, ME (86 rooms)*





*Dover, NH (79 rooms)*



*Wilton, ME (86 rooms)*





*Wilton, ME (86 rooms)*

## **RECOMMENDATIONS**

The following recommendations focus on compliance with the reviewed documents, the proposed design, and meeting the overarching goals of the comprehensive plan to create a project that brings value to the Town of Bristol.

### **APPLICATION CHANGES**

1. No signage plan has been provided to BTGA for review at this time.

#### **Photometric Plan**

1. Revise photometric plans to show exterior light levels, including any light levels onto the adjacent residential neighborhood. The plan should show no light pollution to the neighboring properties. Interior light levels are not required.

#### **Site Plans**

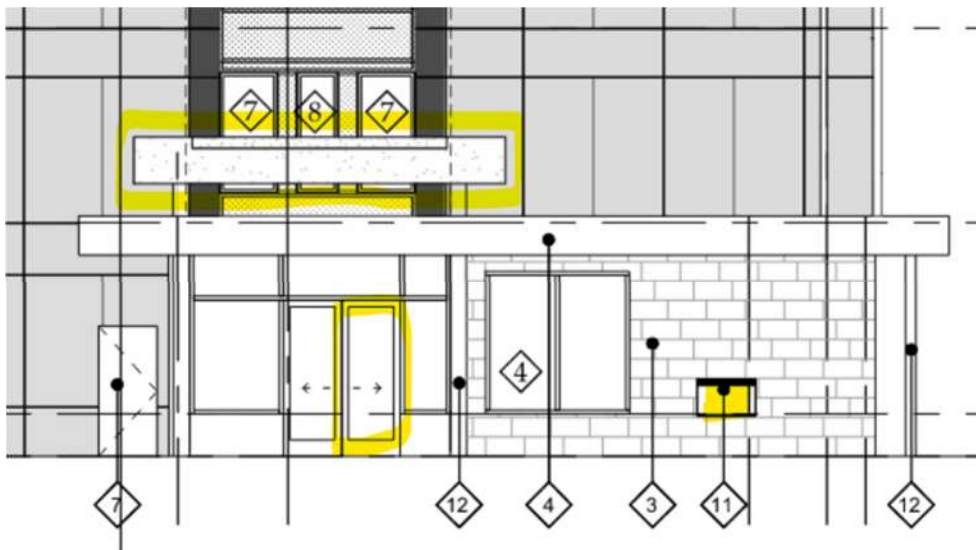
1. Revise the site plan to represent the residential neighbor's driveway and structures accurately.
2. Existing trees depicted appear to be fewer than those shown on Google Street View. A dense line of trees is seen along the residential neighbor's property and Gooding Avenue. Confirm tree placement is accurate.
3. Provide retaining wall design intent including heights and materials.
4. See recommendations throughout for recommended additional site requirements.

## Landscape Plan

1. Overall, landscaping is well designed, distributed throughout the site, and provides street trees.
2. Revise the site plan to represent the residential neighbor's driveway and structures accurately.
3. The TRC and Planning Board may require the landscape plan to be reviewed by the Conservation Commission for approval.
4. All existing shrubs and ground cover are to be shown.
5. All plantings that are large for their species, rare to the area, or of other special horticultural or landscape value should be indicated on the plans.
6. The plan shall confirm that plantings are shown at their five (5) year growth stage.
7. The plan should include exterior lighting.
8. The plan should include all maintenance requirements.
9. Where existing plantings are to be retained, the plan shall indicate proposed methods of protecting them during construction.
10. Upon completion of all required plantings, a letter prepared and signed by a registered landscape architect shall be submitted to the Administrative Officer certifying that all landscape/buffer plantings have been properly installed in compliance with the approved landscape plan.
11. See recommendations throughout for recommended additional landscape.

## Exterior Elevations

1. Revise the exterior elevation directional tags to be consistent with the plan/site/geographically direction. Consider revising the numbering system to be more logical.
2. Provide updated exterior elevations as they do not currently match the provided renderings.
3. Orient all plans consistently across sheets for readability and clarity.
4. Provide further clarification on the proposed fireplace noted on the exterior elevations.
5. Provide further clarifications on the concrete band shown above the main entry door.
6. The sidelight next to the main sliding glass door does not appear to be large enough to allow the door to open fully.



7. Key plan on elevations should be of the plan and not the RCP.
8. Provide elevation markers on all exterior elevations. Not provided on "B1".



9. Revise window tags for appropriate key notes. Keynote tags and window tags should not be the same design.
10. Confirm what existing elevation is being considered as the “Grade” level.
11. Keynotes 9 and 10 are missing on the exterior elevations.
12. See recommendations throughout for additional building design suggestions/requirements.

### **Renderings**

1. Renderings show more exterior signs than permitted.
2. Renderings should show what will be seen from street level, not a cut through of grade. Show retaining wall materials.
3. The top renderings showing the Northern elevation appears to show grass and a large retaining wall to the East. Indicate how the land be held back to the North in that area.
4. Renderings showing the residential neighbors view are required. The provided renderings do not accurately represent their views.
5. Renderings to show the residential property to the West accurately. Not all structures are shown.
6. The adjacent commercial property is not shown accurately. It is not the same height as the proposed Comfort Inn.
7. The West elevation rendering is not shown accurately. The elevation of the building will be partially concealed by the ground. Plantings would not thrive below ground.
8. People shown in the renderings are not to scale.
9. Provide an awning over the entry door on the West elevation.

### **COMPREHENSIVE PLAN OBJECTIVES**

Applicants should be considerate of the Town’s overarching development goals, including:

1. Promote Sustainability
2. Promote Conservation
3. Increase Sources of Taxable Revenue
4. Provide Walkability
5. Reduce Excessive Lighting in Residential Neighborhoods
6. Promote Good Bristol-Appropriate Design
7. Promote Development that is of Appropriate Scale in Relation to Surrounding Residential Neighborhoods
8. Promote Safety
9. Promote Positive Neighborhood Connections.
10. Provide Workforce Opportunities in Town.
11. Increase forest cover by 25%
12. Promote Recycling
13. Provide Parking without Losing Town Character
14. Not Over-Tax the Sewer System
15. Protect Silver Creek
16. Continue Basis Land Use Patterns

17. Protect the Residential Character of Existing Neighborhoods.

The Comprehensive Community Plan indicates this parcel of land is flagged for:

1. Future Land Use: Mixed Use (Affordable Residential and Commercial)
2. A National Historic Candidate.
3. Suitable for conservation and open space.

**BUILDING DESIGN**

1. Utilizing Bristol-appropriate materials such as clapboard siding, shingles, and field stone.
2. Provide a New England-style roof shape similar to other Comfort Inns designs in the local area to reduce the overall scale of the building in comparison to the majority one-story residential properties to the West.
3. Install any antennae attached to the building in compliance with Section 28-147 of the Zoning Ordinance.
4. Comply with the signage requirements noted in the SIGNAGE section of this report and within the applicable codes, including limitations on the quantity and size of signs allowed.

Below are example renderings that we believe meet the intent of the design guidelines and the Town of Bristol. The designs suggest materials, roof shapes, and landscaping that enhance the project and still meet the programmatic needs proposed by the applicant. These designs reflect elements of designs already produced by Comfort Inn in other New England locations.



*Example Scheme A-1*



*Example Scheme A-2*





*Example Scheme A-3*



*Example Scheme A-4*



*Example Scheme B-1*



*Example Scheme B-2*



*Example Scheme B-3*





**Example Scheme B-4**

## **CONSERVATION**

The Bristol Subdivision & Development Review Regulations give the Planning Board the power to require improvements and dedication of land to mitigate negative impacts of the proposed development or require the applicant to pay a fee to offset these impacts to the site and/or Town.

1. Consider dedicating the portion of the site that is not currently proposed to be developed as Open Space/Conservation Land.
2. Preserve existing trees, especially old growth, wherever possible within the proposed developed area for neighbor buffering and streetscaping. Specifically, preserve the trees along the Western side of the proposed construction.
3. Consider contributing to forest conservation in other areas of Town to aid in the goal of increasing forested areas.

## **SUSTAINABILITY**

The Town requires all developments to prioritize sustainability and energy efficiency through the appropriate selection of building orientation, materials, shading, landscaping, etc. Following LEED guidelines is encouraged. Low Impact Design (LID) strategies are required and must be consistent with the State of Rhode Island Stormwater Design and Installation Standards Manual.

1. Sustainability is not only a priority for the Town of Bristol in their Comprehensive Plan, but an objective all design and construction professionals should ethically adhere to on every project. Consider opportunities for providing a good-faith effort in terms of sustainable development. Adhering to LEED Silver guidelines is a way to balance sustainability practices and would fit within the State of Rhode Island's standards for public projects. This may include, but is not limited to:
  - a. Providing rooftop solar panels



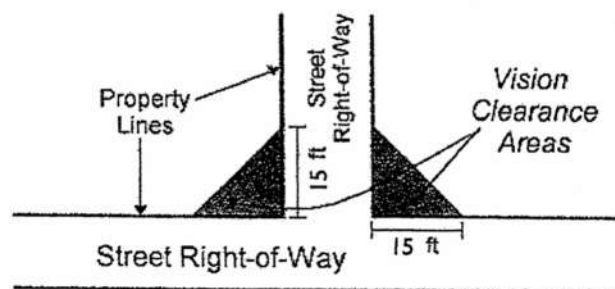
- b. Installation of low-flow fixtures
  - c. Installation of an energy-efficient heat source
  - d. Sourcing materials locally, whenever practical
  - e. Installing low-emitting, recycled materials
  - f. Requiring sustainable construction practices like recycling, no-idling policies, etc.
2. Provide evidence of Low Impact Design (LID) strategies and consistency with the State of Rhode Island Stormwater Design and Installation Standards Manual.

## SITE IMPROVEMENTS

1. Consider providing one-way circulation in the rear parking area to reduce the overall footprint, create the feel of a smaller-scale parking area, and provide opportunities for plantings and tree shading.
2. Consider the location of the ADA parking spaces in conjunction with how visitors will access the building at any given point during their stay. Providing at least one accessible parking spot close to the main entrance may provide better accessibility for arriving guests, while the spots in the rear parking area may be best for current guests to access the elevators. This will be contingent on the proposed security access design and anticipated circulation.
3. Consider providing Bristol-appropriate materials for the retaining walls and garbage enclosure, such as field stone.

The trash enclosure must be at least 6 feet in height and fully enclosed. Consider plantings and evergreens around this site feature to minimize its visibility. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards, F.2 Public Improvement and Design Standards, Section K.*

4. Extend existing sidewalks along the site and provide a crosswalk for pedestrians to access the adjacent sidewalk to comply with the Town Comprehensive Plan goals.
5. Consider providing exterior seating areas around the development to promote connectivity per the Bristol Comprehensive Plan.
6. Do not install any improvements within the site triangle located at the site entrance. Bristol Zoning Ordinance Section 28-144.



## **RETAINING WALLS**

Applicants shall be sensitive to and incorporate the natural grade of the site. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards.*

1. Buildings designed to make grade transitions or stepped retaining walls with landscaping is recommended.
2. Retaining walls shall be distributed throughout the site as necessary.

## **LIGHTING**

Lighting should be installed to provide safety, including along sidewalks, entryways, in parking lots, and between buildings. Lighting levels must not infringe on adjacent residential properties per requirements noted throughout the Town of Bristol Subdivision and Development Review Regulations.

1. Provide lighting along the sidewalks, entry, and parking areas to promote safety. Consider dark sky requirements to reduce any unnecessary light pollution and not create a nuisance for the adjacent residential properties. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards, F.1 General Provisions – Standards for Review, Section F.*

## **COMMUNICATION LINES**

All new electric, communication (telephone, fire alarm, and cable TV), and street lighting lines shall be installed underground. Communication lines are not required to be placed underground for: minor subdivisions where no street creation is required, where utilities already exist aboveground; providing, however, that any new lines follow the existing aboveground utilities; or, where the Planning Board finds that aboveground utilities are consistent with the character of the existing neighborhood.

1. Additional overhead communication lines should not be installed on the Southern side of Gooding Avenue to be consistent with existing conditions. Install secondary lines underground to protect against natural disasters and localized loss of power, given the surrounding tree coverage.

## **SIGNAGE**

The Bristol Zoning signage guidelines emphasize simplicity. Designs should be clean, bold, and easy to read. Guidelines specifically note signage to:

1. Have a maximum of three colors.
2. Be compatible with the surrounding area.
3. Compliment the building façade.
4. Use preferred materials like wood/metal.
5. Coordinate with adjacent businesses to have similar scale, height, etc.
6. Be limited to either one wall sign or one awning/canopy sign and either one window, protecting, or freestanding sign. (Total of two signs for any given building).

7. Be illuminated only with a continuous, stationary, shielded, white light source directed solely onto the sign without causing glare or shining onto residential properties and streets.
8. Not be affixed to any utility poles, government-regulated signs (stop signs, street signs, etc.), or natural objects like a rock or tree.
9. Not extend more than five feet above the roof line.
10. Cover architectural details of the building, including but not limited to moldings, cornices, or transom windows.
11. Not impede vision or obstruct access to any street, sidewalk, driveway, parking lot, loading zone, etc.
12. Not extend over any street or right-of-way without approval by the Town Administrator.
13. Have the street number visible to passing traffic.
14. Be limited to 15 SF each.
15. Free-standing signs must not exceed 12 feet in height, have a minimum of 4 feet in ground clearance, and be at least 10 feet from all lot lines (50 feet from residential zones).
16. Not be installed in the site triangle.
17. Given this business is open 24/7, there are no limits to signage lighting hours.

## LANDSCAPING

1. Landscaping shall be conceived in a total pattern throughout the site, integrating the various elements of a site design, preserving, and enhancing the site where appropriate. Landscaping and vegetative buffers shall be utilized to separate residential areas from major roadways, commercial, and manufacturing areas. The minimum amount of site area that should be landscaped is 30% in the General Business zone. Landscaping includes plant materials such as trees, shrubs, ground covers, grass, and flowers, and may also include other materials such as rocks, berms, woodlands, stone walls, and planters. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards, F.2 Public Improvement and Design Standards, Section K.*
2. Landscaping must be provided at the following locations:
  - a. All site entrances
  - b. Public areas
  - c. Parking areas
  - d. Drainage facilities, such as retention/detention basins, or drainage swales
  - e. Open Space areas
  - f. Proposed recreation facilities
  - g. Buffer areas
  - h. Rubbish disposal areas as screening
  - i. Lot areas that are disturbed during the construction process or where extensive grading removes a significant amount of natural vegetation
  - j. Areas subject to regrading or stabilization for soil erosion and sediment control purposes

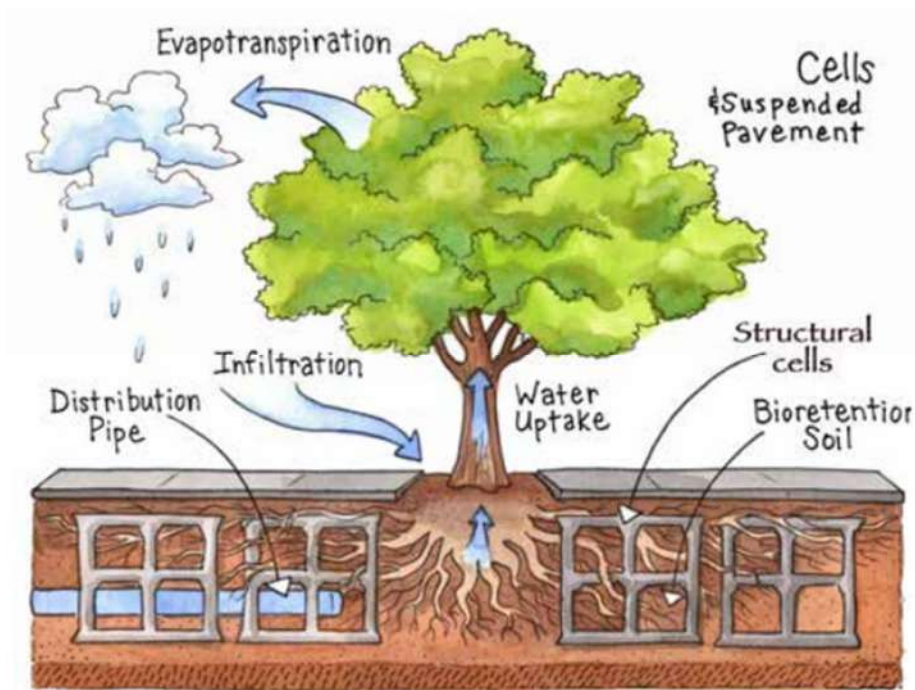
*Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards, F.2 Public Improvement and Design Standards, Section K.*



3. Install plantings and landscape materials must be appropriate for their intended use and local environment (Zone 6), soil conditions, and availability of water. The use of grasses that require minimal watering and fertilization is encouraged. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards, F.2 Public Improvement and Design Standards, Section K and F.1 General Provisions-Standards for Review, Section E and H.*
4. Install plantings and landscape that promote conservation and sustainability to comply with the Towns Comprehensive Plan and Strategic Treen Canopy Plan.
5. Provide a substantial planting buffer between the proposed development, including the parking area, and the adjacent residential neighborhood. At a minimum, install compact evergreens at least six feet tall along the entire length of the West side of the developed area. *Bristol Zoning Ordinance Section 28-155.*
  - a. When selecting plantings being used as a buffer, consider their buffering capabilities during all seasons.
  - b. Consider installing solid fencing along this buffer zone. Materials should be consistent with Bristol guidelines. Chain link fencing is not appropriate for this location.
  - c. Consider including maintenance and replacement requirements for all buffer plantings and fencing to ensure damage and deterioration do not negatively affect the neighbors in the future.
6. Do not remove any suitable topsoil. Provide evidence of topsoil condition and preservation to the Authorities Having Jurisdiction before needed Town approvals are made throughout the process. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards, F.2 Public Improvement and Design Standards, Section K.*
7. Install street trees along Gooding Avenue. Street trees must be planted at not less than 30 feet apart, but not more than 50 feet. Trees must not be planted within 25 feet of a street corner/intersecting right-of-way. Trees shall be of nursery stock grown under local climatic conditions and of a type as recommended by the Bristol Conservation Commission and approved by the Planning Board. Species that have been introduced to this region by way of Bristol are preferred. See the Bristol Development regulations for a list of approved species. The average trunk diameter measured at a height of six (6) inches above the finished grade shall be a minimum of 2½ inches at the time of planting. Street trees shall have a minimum overall height of eight (8) feet. Street trees shall be of symmetrical growth, free of insect pests and disease, suitable for street use, and durable under the maintenance contemplated. Existing trees on the site, which are suitable for use as street trees, may be used if inspected and approved by the Tree Warden before planting. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards, F.2 Public Improvement and Design Standards, Section B.*
8. Install all trees per the Conservation Commission recommendations, noted in the Strategic Tree Canopy Plan, dated March 2024.



### ***Bristol Conservation Planting Guide***



### ***Recommended Tree Installation Near Sidewalks (Bristol Conservation)***

9. Planting shall be done during the proper season, and no planting shall be done in frozen soil or during unfavorable weather conditions. Each tree shall be planted plumb, slightly lower than where it stood in the nursery (in relation to the finished grade) and shall be thoroughly watered when the hole is two-thirds full of loam. Loam shall be clean, of good quality, and of such fertility and composition that it will continuously support plant growth. After watering, the filling shall be complete, and the loam thoroughly tamped. After planting, a three-inch mulch of well-seasoned manure or peat shall be applied over the disturbed ground, and a shallow watering basin provided

around the tree. Each tree shall be secured by double staking in such manner as to ensure maximum stability and to prevent whipping of the tree in high winds. Such staking shall be accomplished with a pair of 2 ½ inches by 8 feet stakes driven plumb 2 ½ feet into the ground and tied at the tops and bottoms with figure-eight hitches of No. 4 gauge wire encased in rubber hose or its equivalent. All trees shall be watered and maintained by the applicant to ensure that suitable growth has been established and maintained. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards.*

10. Vegetated buffers shall be planted and maintained where required to avoid adverse impacts from adjacent uses. The width of such buffer easement shall be determined by the Planning Board. The applicant shall propose plantings within the buffer as well as a maintenance plan, which shall be reviewed by the Bristol Conservation Commission and approved by the Planning Board. The maintenance plan shall include a provision whereby failure to maintain the buffer will result in maintenance by the Town at the owner's expense. The buffer easement may be bounded as determined by the Planning Board by either a stone wall, split rail fence, or other similar treatment to demarcate the easement area. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards.*
11. If the topsoil on a site is suitable for landscaping, then it shall not be removed. To the maximum extent practicable, the applicant shall minimize the areas of the site to be regraded or disturbed. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards.*
12. It is the Town's goal to protect and preserve healthy trees and other plant specimens that are large for their species, rare to the area, or of special horticultural or landscape value. Applicants are encouraged to incorporate these natural features into the design of the development. *Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards.*

## SCREENING

*Town of Bristol Subdivision and Development Review Regulations, Appendix F, Design and Construction Standards and Bristol Zoning Ordinance Article VIII.*

1. Fencing, walls, or vegetative screening are required along the perimeter of any development where a buffer is deemed needed to preserve public viewsheds, provide acoustic separation, and minimize the impacts on the surroundings, especially in locations adjacent to residential districts. The proposed plan provides an evergreen buffer along the East and South perimeter of the proposed developed area. Regulations require a double row of compact evergreens at least four feet tall. The proposed design locates the main entry away from the adjacent residential district. Windows and doors along the Western façade of the building are limited to the stairwell and likely an emergency stair exit door, located half a story or more below grade.
2. Do not cut down trees along the western side of the property to maintain old-growth vegetation between the building/parking area and the existing residential neighbors.
3. Off-street parking larger than 10 spaces should be screened from the view of residential districts and public streets. The proposed design locates the majority of parking in the rear of the building,



which would be largely screened from public view but currently may have sight lines from the adjacent residential properties to the West.

4. Service areas should be screened from public and residential views.
  - a. The current design provides an enclosure around their trash collection area. Install dense plantings or fencing around the transformer to conceal it from the view of Gooding Avenue and the adjacent neighbors. Comply with all RI Energy transformer design guidelines. Consider painting bollards a color that helps conceal them from view.
  - b. The loading zone is located at the rear of the building, screened from public view, but may have sight lines from the adjacent residential properties to the West.
5. Utility areas must be screened from public and residential views. The current design places the ground-mounted transformer at the front Northwest corner of the property, closest to the road and residential neighborhood. Bollards are shown to protect the transformer, but no screening is currently proposed in the documents provided.