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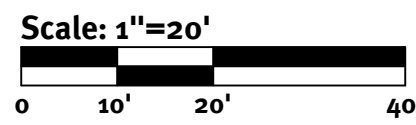


#### PLANTING NOTES:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE AT 811 AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
- CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
- PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
- ALL PLANTS TO RECEIVE A MINIMUM OF (2) INCHES TO A MAXIMUM OF THREE (3) INCHES OF AGED PINE BARK MULCH AND SHALL COVER PLANTING BEDS WITHIN 72 HOURS AFTER PLANTING AS SHOWN ON DRAWINGS.
- TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRAGILE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS TO HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH. CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS USING AN ENDOPHYTE ENHANCED MIX (AVAILABLE FROM ALLEN'S SEED STORE, SOUTH COUNTY TRAIL, EXETER, RI) OR APPROVED EQUAL. APPLY AT A RATE OF 5-7 LBS. PER 1000 SQUARE FEET. CONTRACTOR SHALL SOO OR OVERSEED ANY AREAS NOT COVERED SUBSTANTIALLY WITH GRASS AFTER ONE YEAR FROM PLANTING.
- ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL STATE BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT.
- THESE PLANS ARE FOR LANDSCAPE PLANTING ONLY.
- LIGHTING DESIGN BY OTHERS.
- THESE PLANS ARE NOT FOR CONSTRUCTION AND ARE FOR PERMITTING PURPOSES ONLY.

#### NOTE:

- SEE LANDSCAPE NOTES AND DETAILS SHEET FOR TOWN OF BRISTOL REGULATIONS REFERENCED.



## LANDSCAPE PLAN

### Comfort Inn & Suites

Owner & Applicant:  
D&M BOCA DEVELOPMENT, LLC  
92 Bulfinch Corner Road, Suite 160,  
North Attleboro, MA 02722

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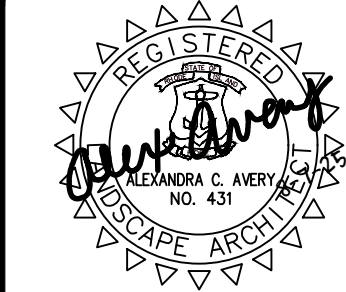
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THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS ISSUED FOR CONSTRUCTION AND STAMPED BY THE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING ASSOCIATES, INC. DOES NOT WARRANT PLANS BY ANY OTHER PARTY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY UTILITIES. DIPRETE ENGINEERING ASSOCIATES, INC. IS NOT RESPONSIBLE FOR THE LOCATION OF UTILITIES. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

0 08/27/2025 Landscape Plan Submission  
10/1 DATE Description  
Drawn By: D.R.N. Design By: K.I.D.



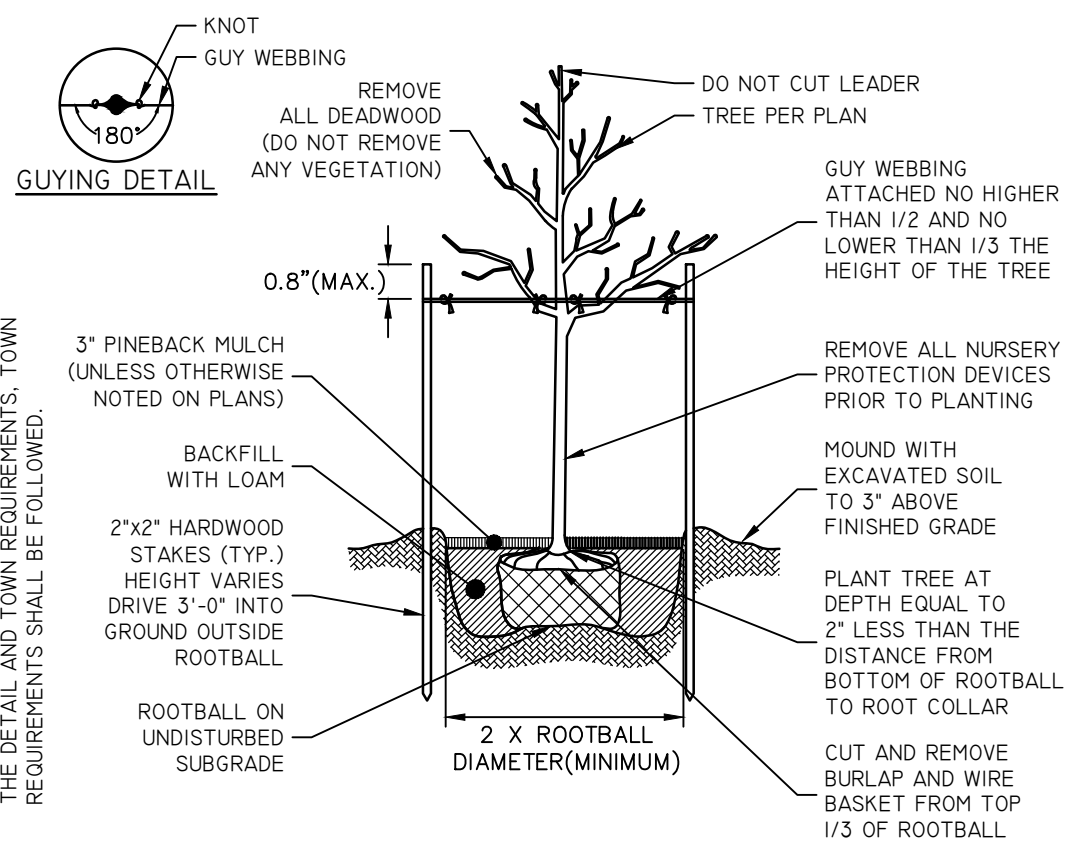
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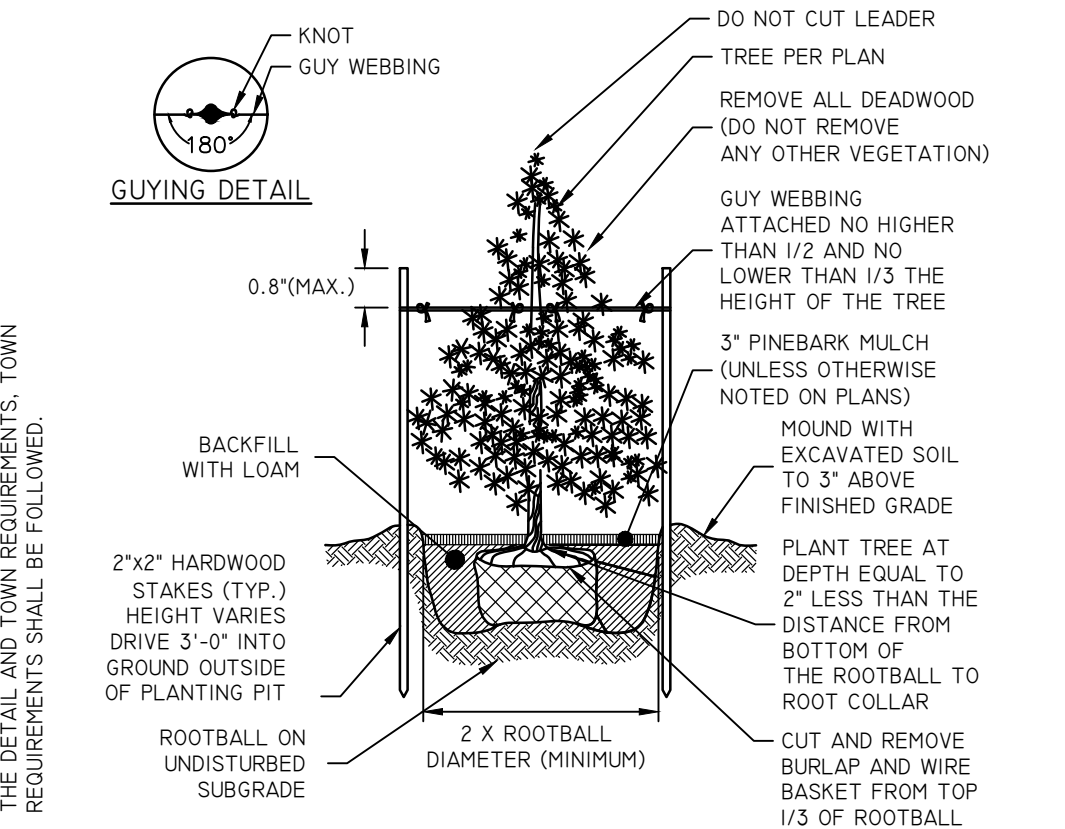


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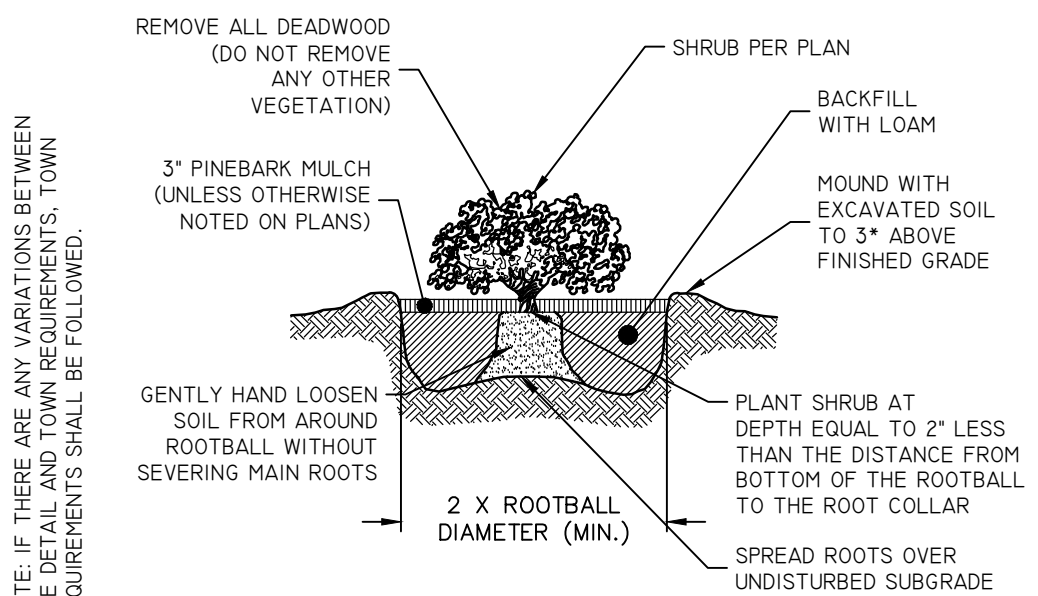
LARGE TREE STAKING AND PLANTING DETAIL  
(2" CALIPER AND GREATER)

NOT TO SCALE



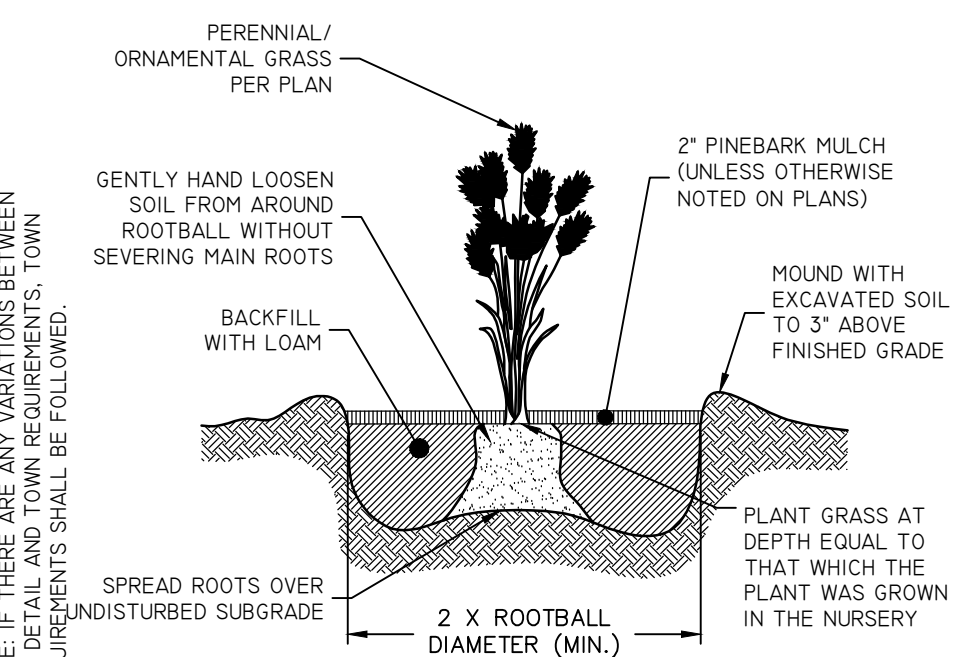
EVERGREEN TREE PLANTING DETAIL  
(4'-0" HIGH AND GREATER)

NOT TO SCALE



CONTAINER GROWN SHRUB PLANTING DETAIL

NOT TO SCALE



PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

NOT TO SCALE

PLANT SCHEDULE

SYMBOL CODE QTY BOTANICAL NAME COMMON NAME CONT CAL

TREES

	AC	1	ACER JAPONICUM 'GREEN CASCADE'	GREEN CASCADE FULLMOON MAPLE	4'5'	B&B
	CC	9	CRATAEGUS CRUS-GALLI	COCKSPUR HAWTHORN	B&B	2.5" CAL MIN
	KP	1	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	B&B	2.5" CAL MIN
	LS	5	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM	B&B	2.5" CAL MIN
	SR	4	SYRINGA RETICULATA	JAPANESE TREE LILAC	B&B	2.5" CAL MIN
	TC	2	TILIA CORDATA	LITTLELEAF LINDEN	B&B	2.5" CAL MIN
	ZS	2	ZELKOVA SERRATA	JAPANESE ZELKOVA	B&B	2.5" CAL MIN

SYMBOL CODE QTY BOTANICAL NAME COMMON NAME SIZE FIELD2

SHRUBS

	CS	3	CORNUS SERICEA	RED TWIG DOGWOOD	3/4'	HT
	HA	12	HYDRANGEA ARBORESCENS 'INCREDIBALL'	INCREDIBALL WHITE HYDRANGEA	5	GAL
	HQ	12	HYDRANGEA QUERCIFOLIA 'SIKE'S DWARF'	SIKE'S DWARF OAKLEAF HYDRANGEA	3	GAL
	IC	39	ILEX CRENATA 'HELLERI'	HELER JAPANESE HOLLY	5	GAL
	ISC	9	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	4/5'	HT
	IS	12	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY HOLLY	5	GAL
	PL	13	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	5	GAL
	RR	27	ROSA X 'RADWHITE'	WHITE KNOCK OUT® ROSE	3	GAL
	TT	29	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	4/5'	HT

GRASSES

	CXA	10	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	2	GAL
	CM	29	CAREX MUEHLENBERGII	SAND BRACED SEDGE	1	GAL
	FG	51	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	1	GAL
	PV	22	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	2	GAL
	PAH	42	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	2	GAL

PERENNIALS

	AB	18	ASTILBE X ARENDsii 'BRIDAL VEIL'	BRIDAL VEIL ASTILBE	1	GAL
	HP	12	HOSTA PLANTAGINEA	FRAGRANT HOSTA	1	GAL
	LM	60	LIRIOPE MUSCARI 'MONROE'S WHITE'	MONROE'S WHITE LILYTURF	1	GAL

BRISTOL ZONING REG ART VII

- (3) *Setbacks.* No parking or loading space or aisle (back-up space) shall be less than ten feet from any front lot line. No parking space or aisle shall be less than five feet from any building, except where greater setbacks are required. Parking spaces less than ten feet from any building shall be separated from such building by raised curb, bumper or wheel guards. The requirements of this subsection shall not apply to detached single or two-family dwellings.
- (10) *Screening.* Where a loading area or an off-street parking area for four or more cars is located in or adjacent to a residential zone or use, a landscaped buffer of at least three feet in width, together with an opaque fence or a compact evergreen screen not less than five feet in height shall separate such area and the adjoining property or street.
- (11) *Landscaping.* For parking areas with more than 20 spaces located in any zone, the interior of such parking areas shall be suitably landscaped with trees, shrubs, vegetation or ground cover. Such areas shall be appropriately located to prevent long, uninterrupted rows of parking spaces. landscaped areas shall be separated and protected from parking areas by curbing or other means. Where trees are required, such trees shall meet the requirements set forth in the design guidelines of the town subdivision and development review regulations at F.2.B(13). The following landscaping shall be provided:
- Along the street frontage, a three-foot planted strip with one shade tree for every 40 feet of frontage.
  - Along interior lot lines, a three-foot planted strip with one shade tree for every 50 feet of interior lot lines. A hedge of compact evergreens or other suitable plantings may be substituted for the planted strip.
  - The interior of such parking areas shall have a minimum of ten square feet of landscaping for each parking space, and shall be shaded by deciduous trees. At maturity, each tree shall be presumed to shade a circular area having a radius of 15 feet with the trunk as the center. There shall be sufficient trees so that, using this standard, 20 percent of the parking area will be shaded. Trees shall be surrounded by a minimum of 180 square feet of unpaved area, which may be counted towards calculating the required landscaping.

*Parking area or lot* means all that portion of a development that is used by vehicles, the total area used for vehicular access, circulation, parking, loading, and unloading.

BRISTOL SUBDIVISION REG F.2.B(13)

(13) Street Trees.

Where existing tree growth is determined by the Planning Board or Technical Review Committee (TRC) to be insufficient, the Planning Board or TRC shall require the applicant to plant street trees along both sides of all new streets within developments or along the existing streets abutting the development in accordance with the approved landscape plan. Street trees shall be appropriate for the terrain, soil and climatic conditions encountered in the development, and in accordance with the following standards:

- Location** - Street trees shall be planted within street rights-of-way along both sides of the street.
- Spacing** - Trees shall be planted at distances of not less than thirty (30) feet nor more than fifty (50) feet apart along each side of the street pavement. At street corners, trees shall not be planted within twenty- five (25) feet of the intersecting right-of-way lines.
- Type** - Trees shall be of nursery stock grown under local climatic conditions and of a type as recommended by the Bristol Conservation Commission and approved by the Planning Board. Species which have been introduced to this region by way of Bristol are preferred, including the following. For additional recommended tree species, reference Appendix H.
- Size** - The average trunk diameter measured at a height of six (6) inches above the finished grade shall be a minimum of two and one half (2½) inches at time of planting. Street trees shall have a minimum overall height of eight (8) feet.

LANDSCAPE NOTES & DETAILS

Comfort Inn & Suites

AP 111, Loc 1  
Bristol, Rhode Island

Owner & Applicant:  
D&M BOCA DEVELOPMENT, LLC

92 Bulfinch Corner Road, Suite 160,  
North Attleboro, MA 01927

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PROFESSIONAL ENGINEER  
DIPRETE ENGINEERING ASSOCIATES, INC.  
NO. 43

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY UTILITIES. DIPRETE ENGINEERING ASSURES NO RESPONSIBILITY FOR UTILITIES LOCATED DUE TO LOCATIONS OF EXISTING UTILITIES.

0	08/07/2025	Landscaping Plan Submission	A.C.A.	By:	Design By: K.I.D.
1	08/07/2025	Description	A.C.A.	By:	
2	08/07/2025	Drawn By: D.R.N.	A.C.A.	By:	

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