

FINAL MINOR SUBDIVISION

AP 158 LOTS 20 & 25

AND

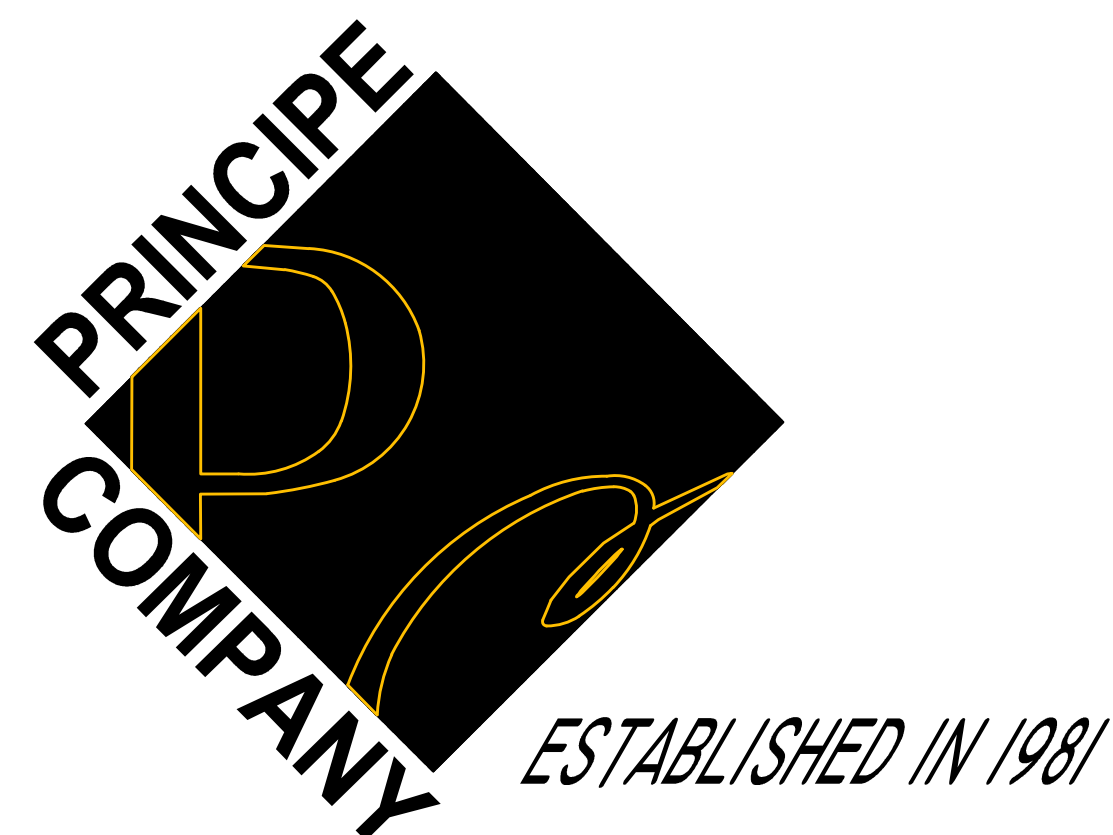
MASSASOIT AVENUE EXTENSION

IN

BRISTOL, RHODE ISLAND

APPLICANT/OWNER:

A. G. CONSTRUCTION, INC.
P.O. BOX 600
PORTSMOUTH, RI 02871



PREPARED BY:

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION

27 SAKONNET RIDGE DRIVE
TIVERTON, RHODE ISLAND 02878
401.816.5385
INFO@PRINCIPEENGINEERING.COM
WWW.PRINCIPECOMPANY.COM

APRIL 6, 2026



LOCUS MAP
NOT TO SCALE

LIST OF DRAWINGS

1. COVER SHEET
2. EXISTING CONDITIONS
3. SITE DEVELOPMENT LAYOUT
4. DRAINAGE AND GRADING
5. ROADWAY PLAN AND PROFILE
6. CONSTRUCTION DETAILS
7. CONSTRUCTION DETAILS
8. CONSTRUCTION DETAILS
9. CONSTRUCTION DETAILS

PLANNING BOARD NOTE:

IN LIEU OF HAVING A DEAD END STREET THE PLANNING BOARD APPROVED THE CONNECTION OF ABILIO DRIVE ON JAN. 11, 2018 FOR SAFETY REASONS. DO TO SITE CONSTRAINTS THE ONE INCH WATER QUALITY RUNOFF HAS BEEN MITIGATED AS REQUESTED BY THE PLANNING BOARD WITH THE USE OF A STONE DRAINAGE INFILTRATION SWALE AND CORRESPONDING CALCULATIONS AS SHOWN ON SHEET 3 OF 8.

SOILS ON THE SITE CONSIST ENTIRELY OF SOIL TYPE CeC - CANTON AND CHARLTON-FINE SANDY LOAMS, VERY ROCKY 3-8% SLOPES

THE SITE IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 44001C0014H MAP REVISED ON JULY 7, 2014

REFERENCE:

EXISTING CONDITIONS PLAN MASSASOIT AVENUE EXTENSION ASSESSOR'S PLAT 158, LOTS 20 AND 25 SITUATED AT MASSASOIT AVENUE IN BRISTOL, RHODE ISLAND PREPARED BY STEPHEN M. MURGO SR. DATED DEC. 6 2017

FINAL MINOR SUBDIVISION PLAN A.G. CONSTRUCTION, INC. AP 158 LOTS 20 & 25 MASSASOIT AVENUE BRISTOL, RI PREPARED BY STATELINE LAND SURVEYING DATED DEC. 2 2025

SURVEY & TOPOGRAPHIC PLAN AP 158 LOT 20-28, 53 & 54 MASSASOIT AVENUE BRISTOL, RHODE ISLAND FOR ADRIANO ANDRADE 225 WOOD STREET BRISTOL, RHODE ISLAND 02809 PREPARED BY WATERMAN ENGINEERING DATED APRIL 26, 2005

BRISTOL COUNTY WATER AUTHORITY REQUIREMENTS:

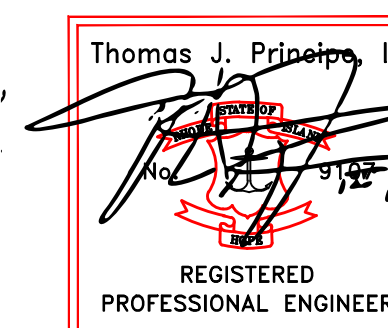
EACH LOT IS REQUIRED TO HAVE DESIGNED AND INSTALLED AN INDIVIDUAL PRESSURE BOOSTER SYSTEM, INCLUDING BACKFLOW PREVENTION DEVICES IN AT NO COST TO BCWA. THIS REQUIREMENT MUST BE RECORDED IN THE LAND EVIDENCE RECORDS FOR EACH LOT INDICATING THAT THE COST TO MAINTAIN THE SYSTEMS WILL BE BORNE BY THE HOMEOWNERS.

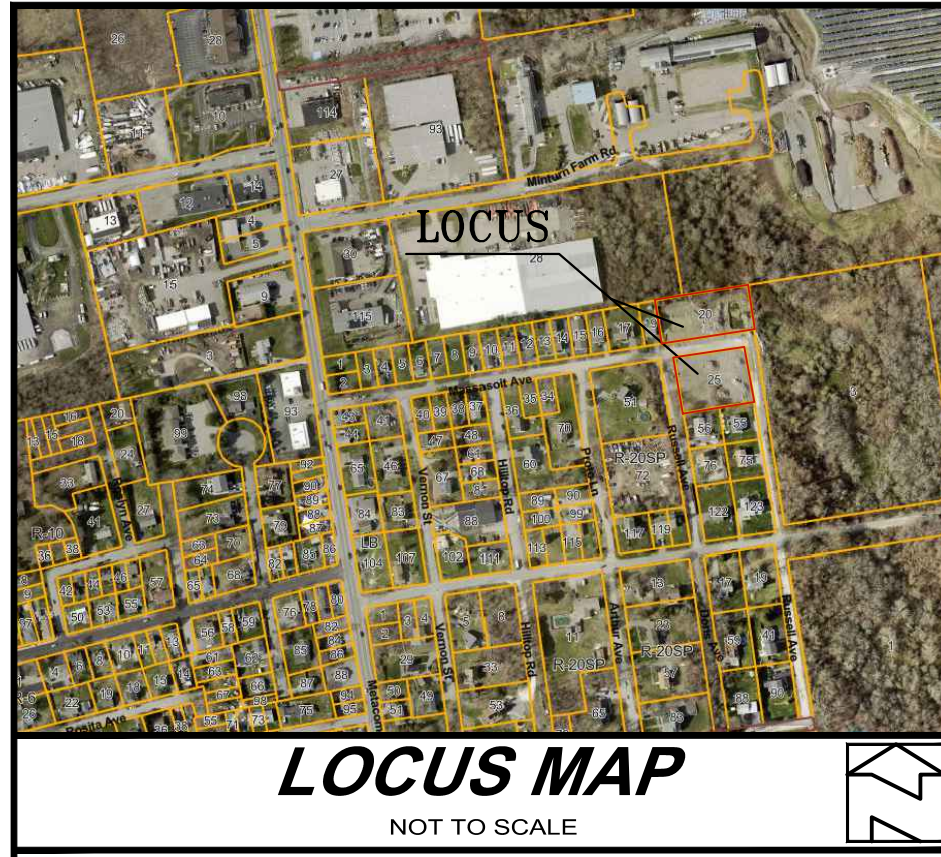
ZONING CRITERIA

R-20SP ZONING

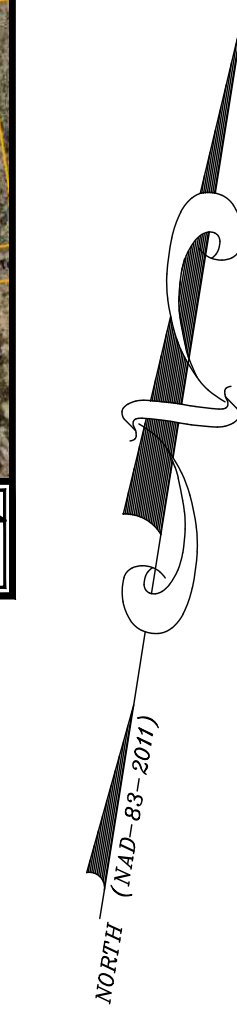
MINIMUM LOT AREA	15,000 S.F. WITH TOWN SEWER & WATER
MINIMUM LOT WIDTH	120'
MINIMUM LOT FRONTAGE	120'
*MINIMUM FRONT YARD SETBACK	35'
*MINIMUM SIDE YARD SETBACK	20'
*MINIMUM REAR YARD SETBACK	35'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35'

Corner lot: A corner lot will have more than one front lot line, all of which shall meet the front yard setback. The yard setback of one of the rear lot lines may be reduced to side yard setback requirements.





STREET INDEX:
 MASSASOIT AVENUE
 ABILIO DRIVE
 BEATRICE LANE

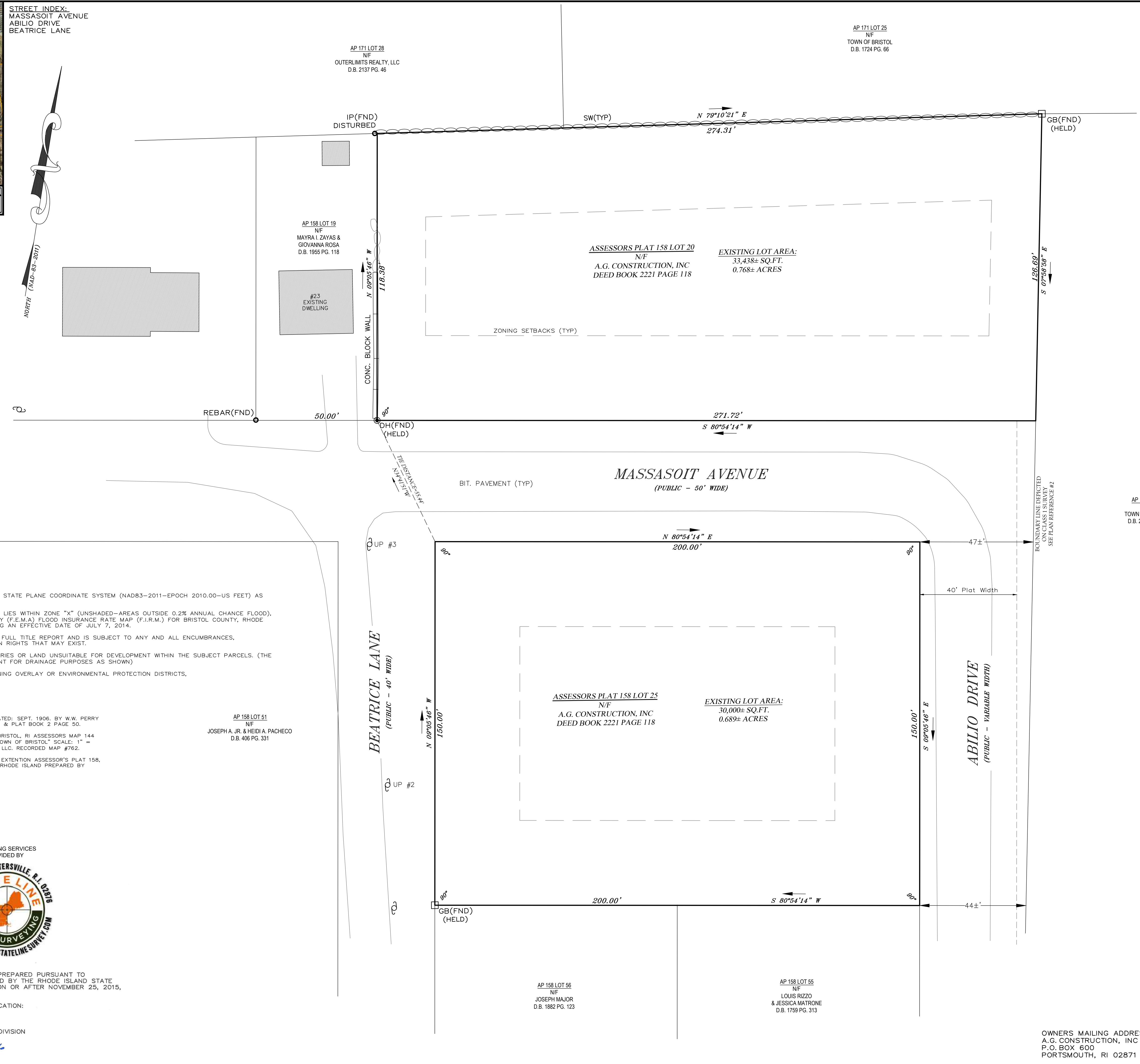


ZONING CRITERIA	
ZONING DISTRICT	R-20SP
MINIMUM LOT AREA	15,000 SQ.FT.
MINIMUM LOT WIDTH	120'
MINIMUM FRONT YARD SETBACK	35'
MINIMUM SIDE YARD SETBACK	20'
MINIMUM REAR YARD SETBACK	35'
MAXIMUM BUILDING HEIGHT	35'
MAXIMUM LOT COVERAGE	25% (3,750 SQ.FT.)

REFER TO CURRENT ZONING ORDINANCE FOR ADDITIONAL REGULATIONS THAT MAY APPLY

LEGEND

BIT.	BITUMINOUS
CONC.	CONCRETE
SQ.FT.	SQUARE FEET
SW	STONE WALL
DB	DEED BOOK
FND	FOUND
N/F	NOW OR FORMERLY
TYP	TYPICAL
AP	ASSESSOR'S PLAT
PB	PLAT BOOK
PG	PAGE
UP	UTILITY POLE
T	TOTAL
IP	IRON PIPE
GB	GRANITE BOUND
DH	DRILL HOLE



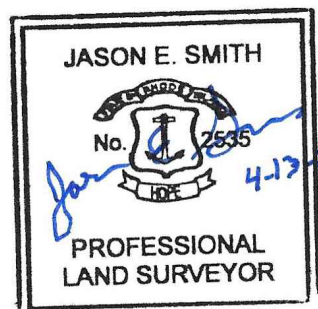
NOTES:

- 1) THE HORIZONTAL DATUM IS BASED ON THE RHODE ISLAND STATE PLANE COORDINATE SYSTEM (NAD83-2011-EPOCH 2010.00-US FEET) AS DERIVED FROM ON-SITE GPS OBSERVATIONS.
- 2) BY GRAPHIC PLOTTING ONLY, THE PARCEL SHOWN HEREON LIES WITHIN ZONE "X" (UNSHADED-AREAS OUTSIDE 0.2% ANNUAL CHANCE FLOOD), AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A) FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR BRISTOL COUNTY, RHODE ISLAND, MAP NUMBER 44001C0014H, TOWN OF BRISTOL, HAVING AN EFFECTIVE DATE OF JULY 7, 2014.
- 3) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A FULL TITLE REPORT AND IS SUBJECT TO ANY AND ALL ENCUMBRANCES, EASEMENTS, RIGHTS OF WAYS, UNWRITTEN OR OTHER UNKNOWN RIGHTS THAT MAY EXIST.
- 4) THERE ARE NO KNOWN WETLAND AREAS, HISTORIC CEMETERIES OR LAND UNSUITABLE FOR DEVELOPMENT WITHIN THE SUBJECT PARCELS. (THE EASTERLY SIDE OF SUB LOT 2 WILL BE RESERVED BY EASEMENT FOR DRAINAGE PURPOSES AS SHOWN)
- 5) THE SUBJECT PARCELS ARE NOT WITHIN ANY SPECIAL ZONING OVERLAY OR ENVIRONMENTAL PROTECTION DISTRICTS.

PLAN REFERENCES

1. PLAN ENTITLED "MT. HOPE TERRACE PLAT" SCALE: 1" = 80', DATED: SEPT. 1906, BY W.W. PERRY & C. ESTES SURVEYORS, RECORDED ON PLAT BOOK A PAGE 101 & PLAT BOOK 2 PAGE 50.
2. PLAN ENTITLED "BROWN UNIVERSITY PROPERTY TOWER STREET, BRISTOL, RI ASSESSOR'S MAP 144 LOTS 1-5, 8-15 ASSESSOR'S MAP 135 LOT 3 PREPARED FOR: TOWN OF BRISTOL" SCALE: 1" = 200', DATED: SEPT. 17, 2024 BY INSITE ENGINEERING SERVICES, LLC. RECORDED MAP #762.
3. PLAN ENTITLED "EXISTING CONDITIONS PLAN MASSASOIT AVENUE EXTENTION ASSESSOR'S PLAT 158, LOTS 20 AND 25 SITUATED AT MASSASOIT AVENUE IN BRISTOL, RHODE ISLAND PREPARED BY STEPHEN M. MURGO SR." DATED DEC. 6, 2017.

SURVEYING SERVICES
 PROVIDED BY

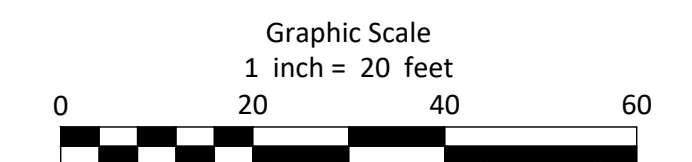


THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.3 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON OR AFTER NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 MEASUREMENT SPECIFICATION: (CLASS I)

PURPOSE OF SURVEY: BOUNDARY SURVEY FOR 4 LOT MINOR SUBDIVISION

BY: *Jason E. Smith* DATE: 4-13-2026
 JASON E. SMITH, RI PLS #2535
 L.S.CO.A. #779



EXISTING CONDITIONS

A.G. CONSTRUCTION, INC.
 A.P. 158 LOTS 20 & 25
 MASSASOIT AVENUE
 BRISTOL, RHODE ISLAND

OWNERS MAILING ADDRESS:
 A.G. CONSTRUCTION, INC
 P.O. BOX 600
 PORTSMOUTH, RI 02871

LEGEND & ABBREVIATIONS

N/F	- NOW OR FORMERLY	---	- PROPERTY LINE
A.P.	- ASSESSOR'S PLAT	- - -	- ZONING SETBACK LINE
S.F.	- SQUARE FEET	- - - -	- EXISTING CONTOUR
AC	- ACRES	○	- STONE WALL
±	- PLUS OR MINUS	X	- FENCE
STY	- STORY	S	- SEWER LINE
W/F	- WOOD FRAMED	D	- DRAIN LINE
SHP	- STATE HIGHWAY PLAT	W	- WATER LINE
RET.	- RETAINING WALL	G	- GAS LINE
PED.	- PEDESTRIAN	E	- ELECTRIC LINE
(FND.)	- FOUND	⊕	- SANITARY SEWER MANHOLE
R/HB	- RI HIGHWAY BOUND	⊕	- CATCH BASIN
PK NAIL	- MASONRY NAIL	⊕	- STORM DRAIN MANHOLE
FE	- FLARED END	⊕	- WATER GATE
RCP	- REINFORCED CONCRETE PIPE	⊕	- GAS VALVE
CLF	- CHAIN LINK FENCE	⊕	- ELECTRIC MANHOLE
INV.	- INVERT	⊕	- CONCRETE BOUND
x 10.80	- SPOT GRADE	⊕	- DRILL HOLE
		⊕	- IRON PIPE
		⊕	- GRANITE BOUND WITH DRILL HOLE TO BE SET

ZONING CRITERIA
R-20SP ZONING

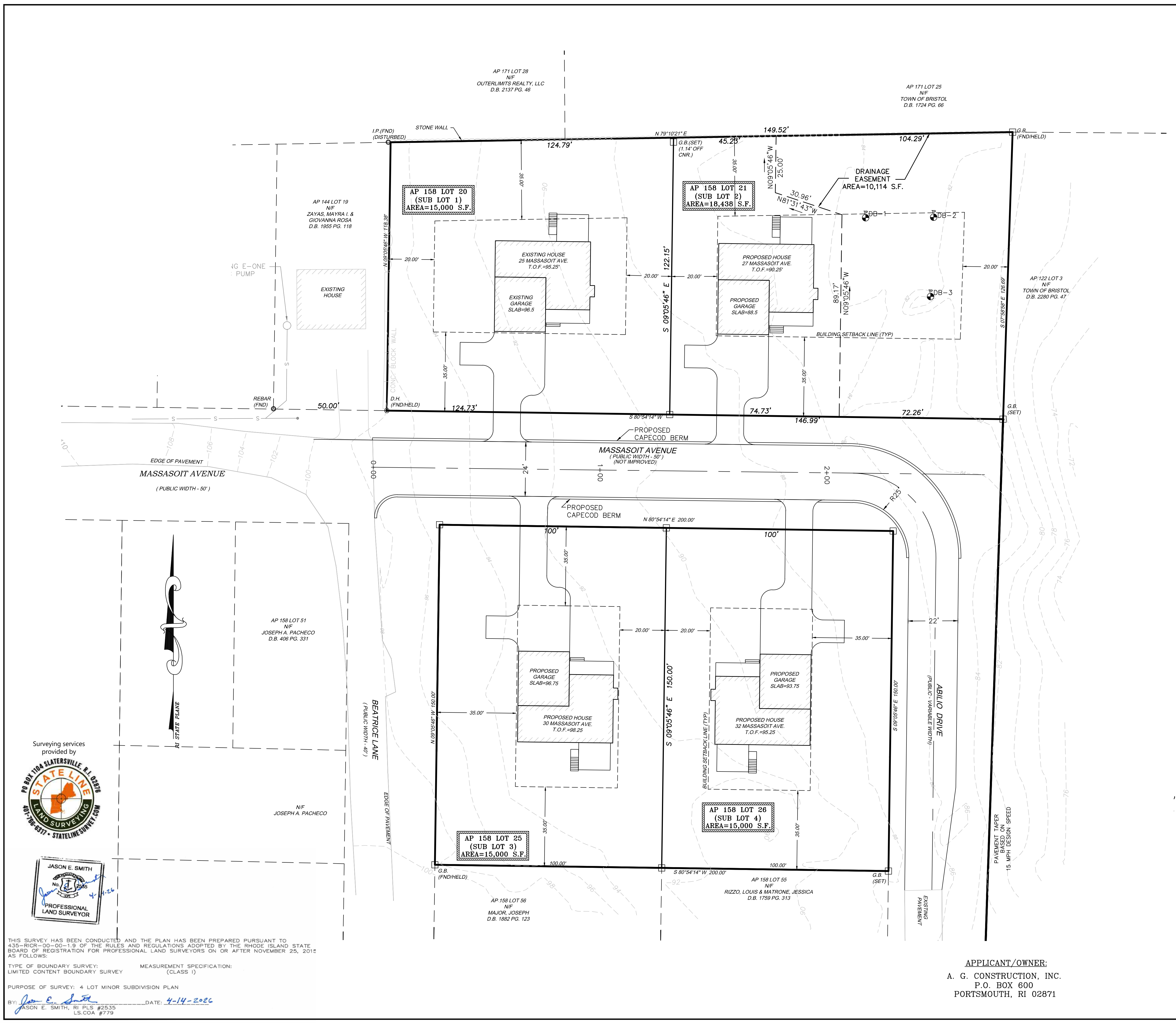
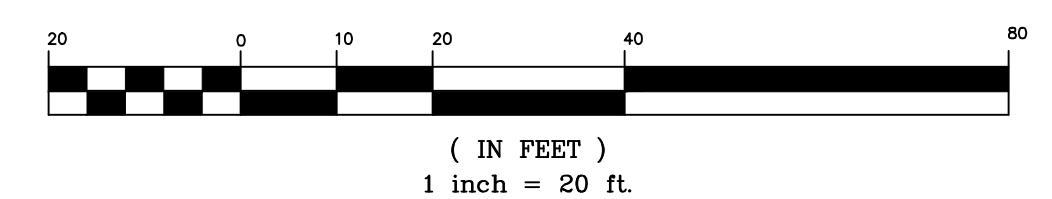
MINIMUM LOT AREA	15,000 S.F. WITH TOWN SEWER & WATER
MINIMUM LOT WIDTH	120'
MINIMUM LOT FRONTAGE	120'
MINIMUM FRONT YARD SETBACK	35'
MINIMUM SIDE YARD SETBACK	20'
MINIMUM REAR YARD SETBACK	35'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35'

Corner lot: A corner lot will have more than one front lot line, all of which shall meet the front yard setback. The yard setback of one of the rear lot lines may be reduced to side yard setback requirements.

GENERAL NOTE:

THE TOWN OF BRISTOL IS NOT RESPONSIBLE FOR MAINTENANCE OF THE ROAD OR DRAINAGE UNTIL IT HAS BEEN COMPLETED AND ACCEPTED. ALL SNOW AND ICE REMOVAL UNTIL THAT TIME IS THE RESPONSIBILITY OF THE OWNER.

GRAPHIC SCALE



SITE DEVELOPMENT LAYOUT

Thomas J. Principe, III
REGISTERED PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
WWW.PRINCIPEENGINEERING.COM

REVISIONS

No.	DATE	DRWN	CHKD

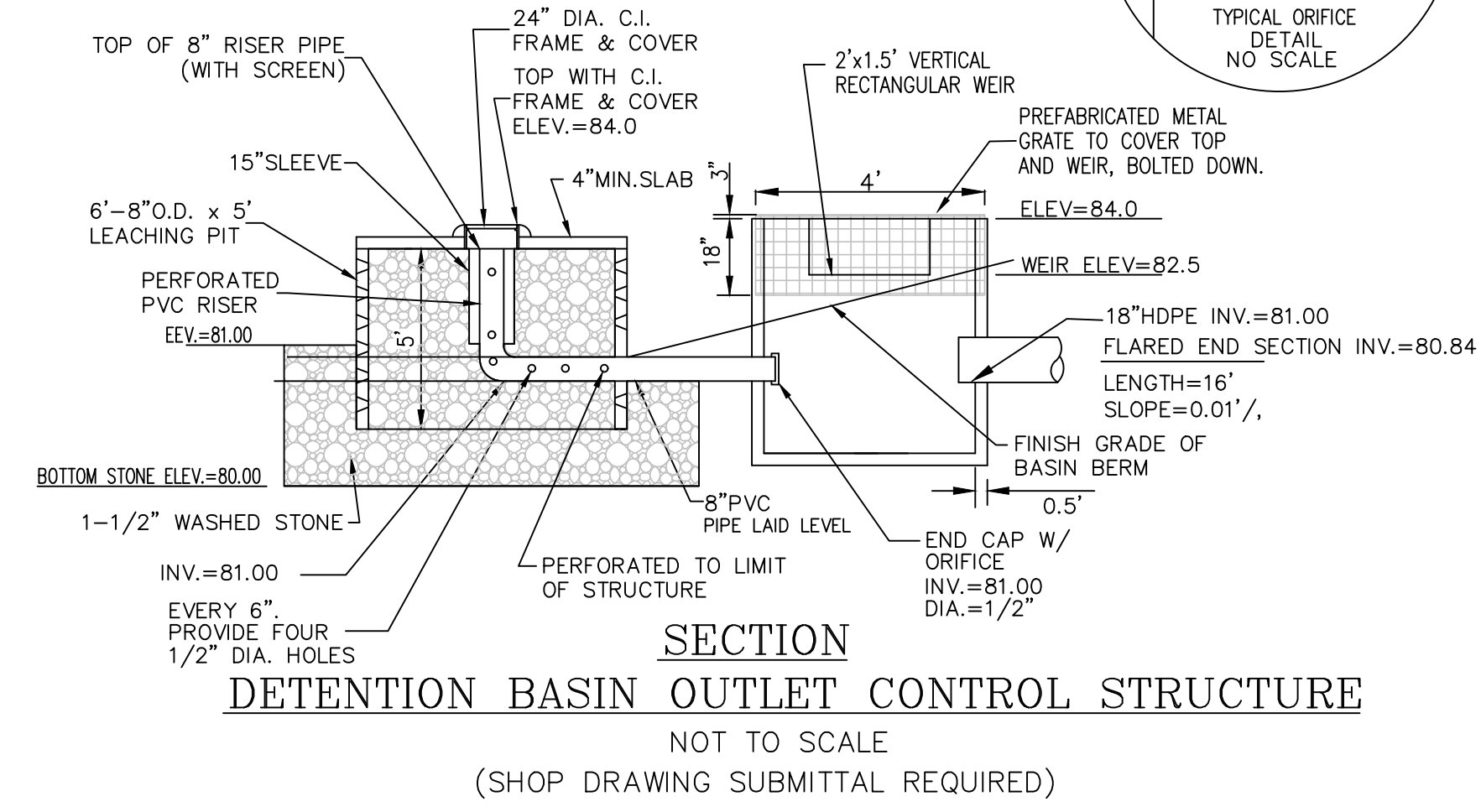
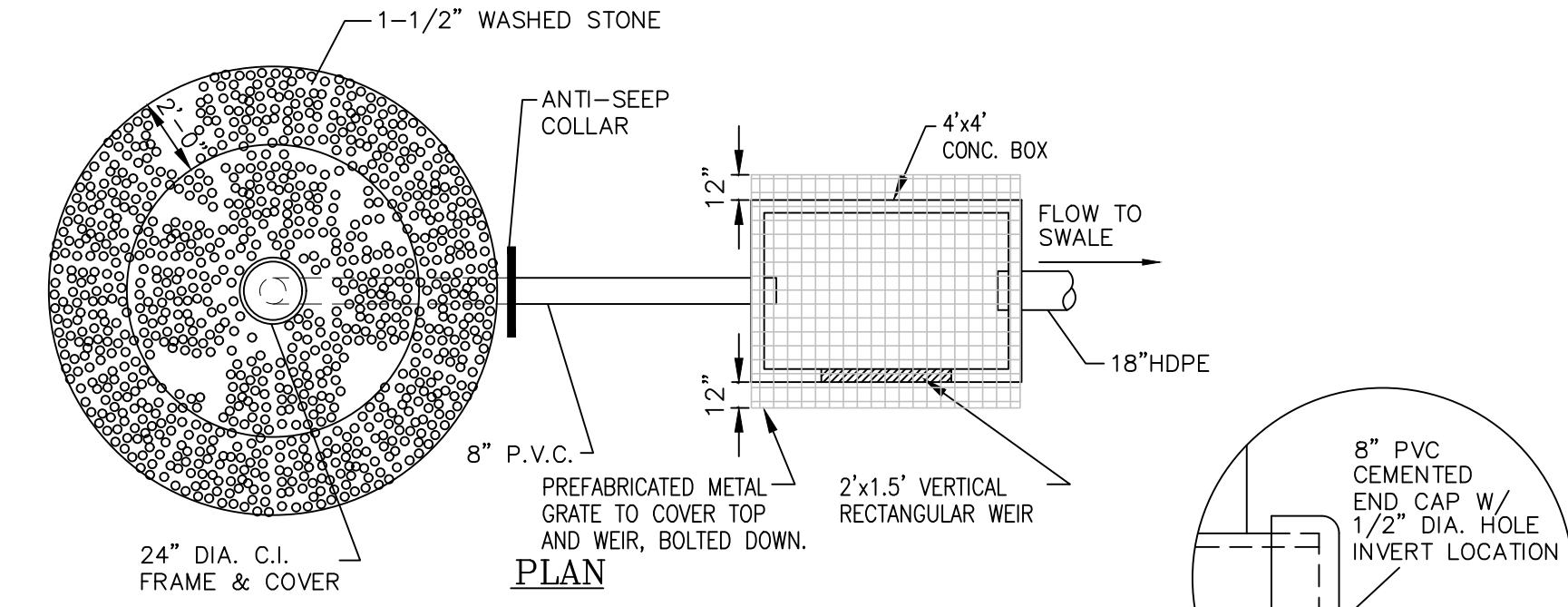
FINAL MINOR SUBDIVISION
AP 158 LOTS 20 & 25
AND
MASSASOIT AVENUE EXTENSION
IN
BRISTOL, RHODE ISLAND

SCALE: 1"=20'	SHEET NO: 3 OF 9
DRAWN BY: TJP	DESIGN BY: TJP
DATE: 04/06/2026	CHECKED BY: TJP
	PROJECT NO.: LDP 17-36

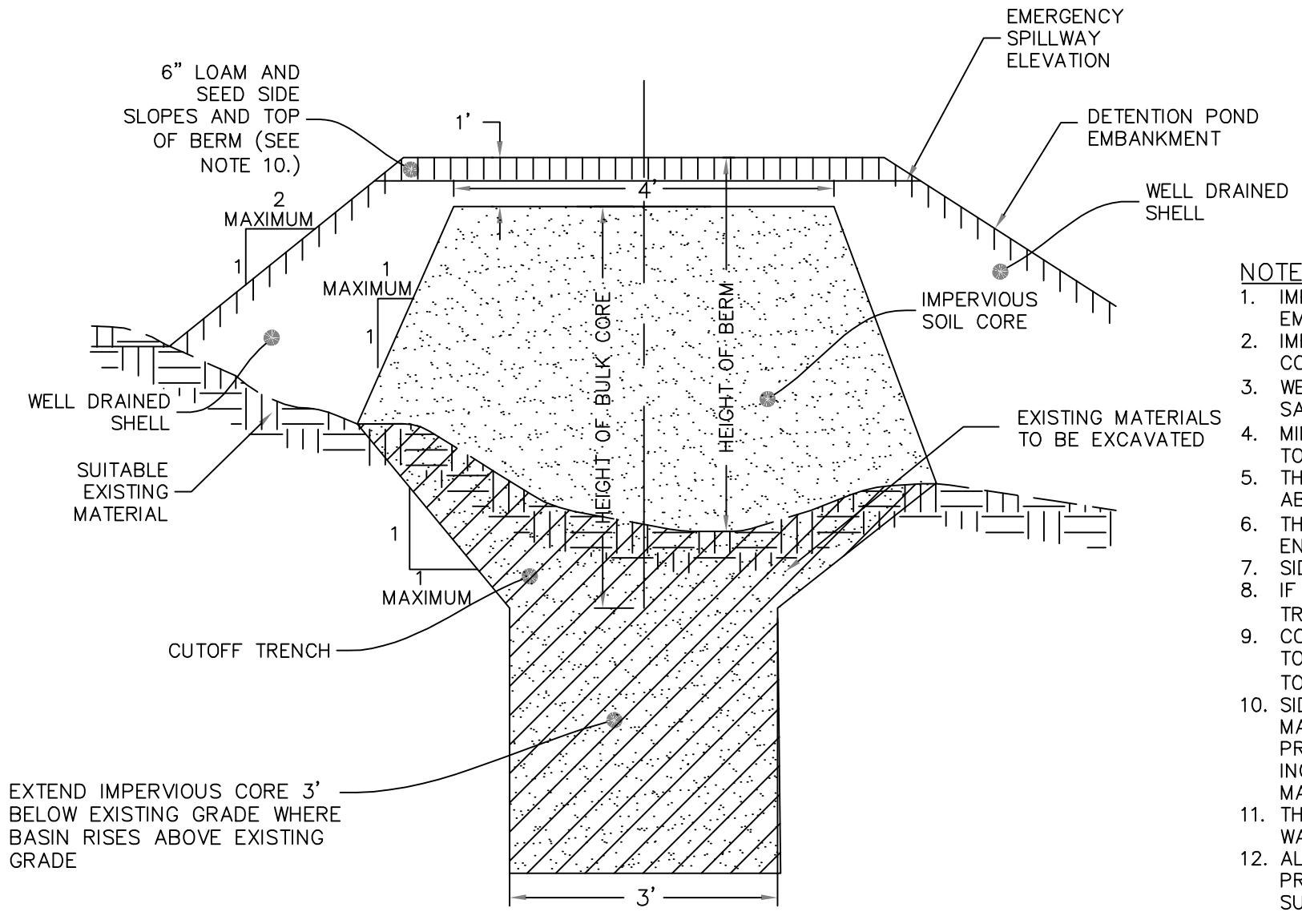
APPLICANT/OWNER:
A. G. CONSTRUCTION, INC.
P.O. BOX 600
PORTSMOUTH, RI 02871

Surveying services provided by
STATELINE LAND SURVEYING
PROFESSIONAL LAND SURVEYOR
JASON E. SMITH

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RIGR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON OR AFTER NOVEMBER 25, 2012 AS FOLLOWS:
TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY (CLASS 1)
MEASUREMENT SPECIFICATION: (CLASS 1)
PURPOSE OF SURVEY: 4 LOT MINOR SUBDIVISION PLAN
BY: Jason E. Smith DATE: 4-14-2026
JASON E. SMITH, RI PLS #2535 LS.CO.#779



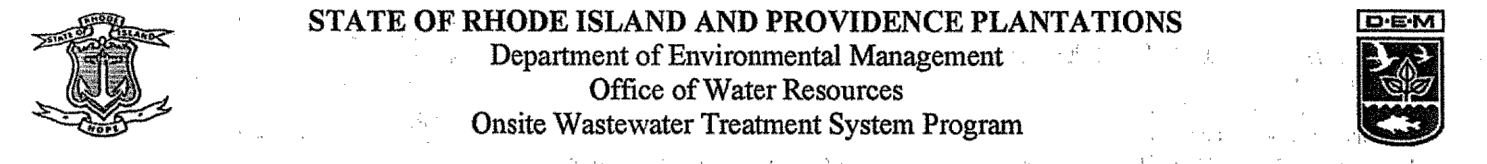
SECTION
DETENTION BASIN OUTLET CONTROL STRUCTURE
NOT TO SCALE
(SHOP DRAWING SUBMITTAL REQUIRED)



Detention Pond Earthen Embankment
NOT TO SCALE

- NOTES:**
1. IMPERVIOUS SOIL CORE TO BE PROVIDED FOR ALL DETENTION POND EMBANKMENTS.
 2. IMPERVIOUS SOIL CORE TO BE CONSTRUCTED OF MATERIAL CONSISTING OF SILT OR $\lt;200$ SOIL.
 3. WELL DRAINED SHELL TO BE CONSTRUCTED OF GRAVEL AND/OR SAND WITH LESS THAN 5% PASSING THE #20 SIEVE.
 4. MINIMUM DEPTH OF CUTOFF TRENCH (H) SHALL BE 3/4 OF THE TOTAL BERM HEIGHT.
 5. THE IMPERVIOUS CORE AT A MINIMUM SHALL EXTEND UP BOTH ABUTMENTS TO THE EMERGENCY SPILLWAY ELEVATION.
 6. THE MINIMUM BOTTOM WIDTH (A) SHALL BE 5'-8", AND WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT.
 7. SIDE SLOPES OF THE TRENCH SHALL BE NO STEEPER THAN 1:1.
 8. IF BEDROCK IS ENCOUNTERED BELOW THE DAM THE CUT OFF TRENCH CAN BE REDUCED TO 1'x1' (A&H).
 9. COMPACTION REQUIREMENTS FOR THE SHELL AND IMPERVIOUS CORE TO BE 95% OF THE MODIFIED PROCTOR PER ASTM D1557. ALL FILL TO BE PLACED IN LIFTS NOT EXCEEDING 12".
 10. SIDE SLOPE OF DETENTION POND EMBANKMENT TO BE 2:1 MAXIMUM. IF SIDE SLOPES ARE STEEPER THAN 3:1, SLOPE PROTECTION MUST BE UTILIZED ON POND EMBANKMENT. THIS INCLUDES, BUT NOT LIMITED TO, RIPRAP AND EROSION CONTROL MATS.
 11. THE IMPERVIOUS CORE SHALL BE KEPT FREE FROM STANDING WATER DURING THE BACKFILL OPERATION.
 12. ALL EMBANKMENTS TO BE DESIGNED BY A GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. ALL EMBANKMENT INSTALLATIONS TO BE SUPERVISED BY A GEOTECHNICAL ENGINEER.

- DRAINAGE AND UTILITY NOTES:**
1. UTILITY LOCATION VERIFICATION IS TO INCLUDE TEST HOLES AS NEEDED.
 2. WATER MAINS AND APPURTENANCES, INCLUDING SERVICE CONNECTIONS SHALL BE INSTALLED IN CONFORMITY WITH THE SPECIFICATIONS OF THE BRISTOL COUNTY WATER AUTHORITY.
 3. THE CONTRACTOR IS REQUIRED TO SCHEDULE AND COORDINATE WATER SERVICE INSTALLATIONS, SHUT DOWNS AND DISRUPTIONS WHICH AFFECT THE SITE AND ADJACENT USERS WITH THE LOCAL WATER AUTHORITY AND THE LOCAL FIRE DEPARTMENT.
 4. UNDERGROUND UTILITIES, ELECTRIC, TELEPHONE, FIRE ALARM CABLE, TELEVISION AND GAS SERVICES SHALL BE INSTALLED PER THE REQUIREMENTS OF THE APPLICABLE SITE UTILITY PROVIDER
 5. METALLIC WARNING TAPE SHALL BE INSTALLED 12" ABOVE ALL STORM DRAIN AND OTHER UTILITIES.
 6. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES AND ADJUTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.



STATE OF RHODE ISLAND AND PROVIDENCE PLANTATIONS
Department of Environmental Management
Office of Water Resources
Onsite Wastewater Treatment System Program

Site Evaluation Form
Part A - Soil Profile Description

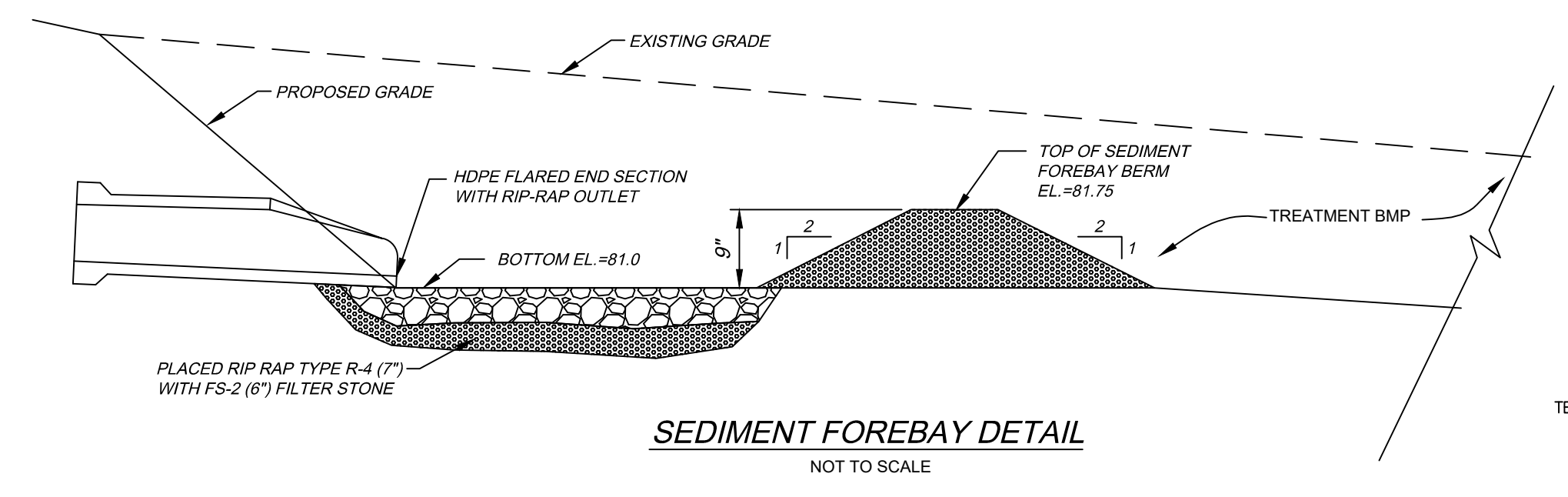
Property Owner: NCO DEVELOPERS INC Application Number: _____
 Property Location: AP 158 LOTS 20 & 25 MASSAHOIT AVE BRISTOL
 Date of Test Hole: 8/22/17
 Soil Evaluator: Thomas J. Principe III, PE License Number: D-4075
 Weather: Sunny TSP Shaded: Yes No Time: _____

TH ID	Horizon	Horizon Boundaries		Soil Colors		Fb-Dex		Texture	Structure	Consistence	Soil Category
		Depth	Dist	Topo	Matrix	Fb-Dex Features	Ab. S. Contr.				
DB-2	Horizon C	0-18"	9	5	10YR 7/4	7.5YR 4/6	C-m-p	SL	0, MA	FR	8
DB-3	Horizon C	0-20"	9	5	10YR 7/4	7.5YR 4/6	C-m-p	SL	0, MA	FR	8

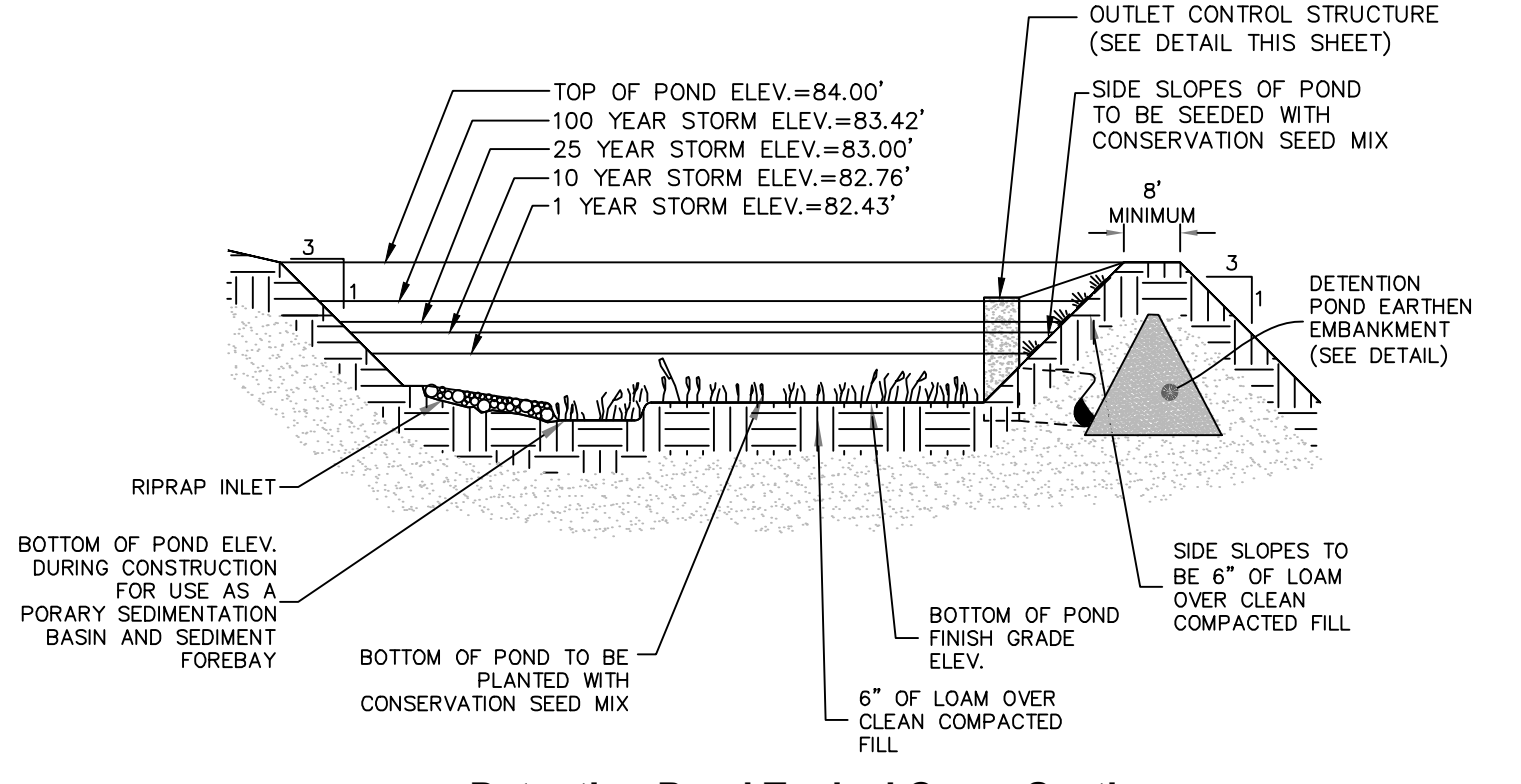
TH DB-2 Soil Class HSC Total Depth 72" Impervious/Limiting Layer Depth 72" (og) GW Seepage Depth NONE SHWT 48" (og)
 TH DB-3 Soil Class B Total Depth 96" Impervious/Limiting Layer Depth 96" (og) GW Seepage Depth NONE SHWT 48" (og)

Comments: DB-1 = 24" ledge. CoC (CANTON AND CHARLTON FINE SANDY LOAM) HYDRAULIC SOIL GROUP B

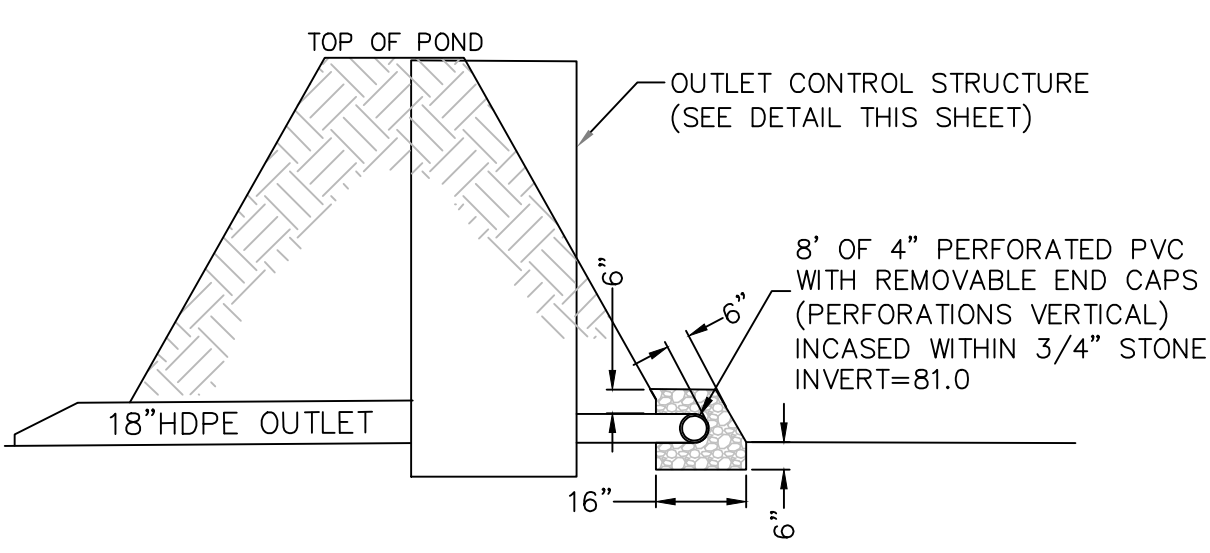
Revised 1/31/14



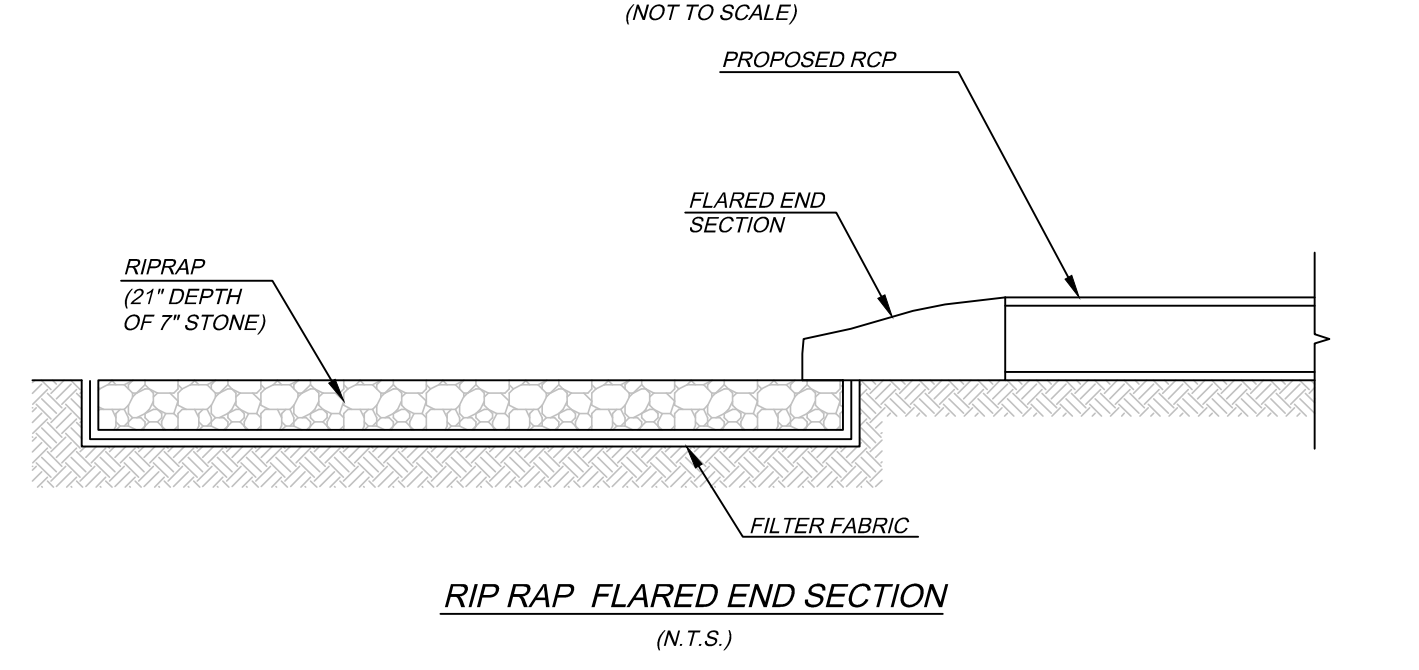
SEDIMENT FOREBAY DETAIL
NOT TO SCALE



Detention Pond Typical Cross Section
(NOT TO SCALE)

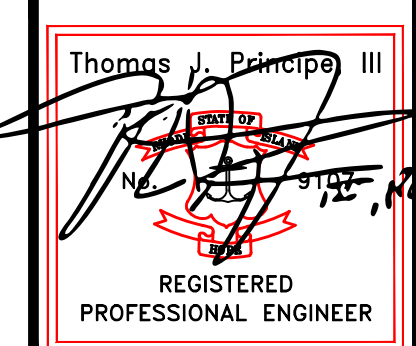


Low Flow Outlet
NOT TO SCALE



RIP RAP FLARED END SECTION
(N.T.S.)

CONSTRUCTION DETAILS-3



PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
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REVISIONS

No.	DATE	DRWN	CHKD

FINAL MINOR SUBDIVISION
AP 158 LOTS 20 & 25
AND
MASSAHOIT AVENUE EXTENSION
IN
BRISTOL, RHODE ISLAND

SCALE: AS NOTED	SHEET NO: 8 OF 9
DRAWN BY: TJP	DESIGN BY: TJP
CHECKED BY: TJP	PROJECT NO.: LDP 17-36

APPLICANT/OWNER:
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