



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809
Telephone: (401) 253-7000
www.bristolri.gov

August 25, 2026
File #: ZBR-26-32

NOTICE OF PUBLIC HEARING PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review
that a Public Hearing will be held in-person at:
Bristol Town Hall
10 Court Street, Bristol, RI 02809
Monday, September 14, 2026 at 7:00 p.m.

In regards to the petition of:

Applicant: Douglas M. & Susan E. Dahl
Owner of Record: Douglas M. and Susan E. Dahl
Location: 61 SMITH ST, BRISTOL, RI, 02809
Plat: 133 Lot: 128
Zoning District: R-15

Applicant is requesting **Special Use Permit and Dimensional Variances** to:

construct a 28ft. x 46ft. single-family dwelling at a height greater than 25 feet above grade in the flood zone; and with greater than permitted gross floor area (GFA) for the dwelling, first and second floor footprints, and deck.

Edward M. Tanner
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov.

From: Hutchinson, Melissa **Sent:** Thursday, July 9, 2026 8:36 AM

Subject: 61 Smith St - Dahl Updates

Team-

I have updated the design drawings for the Dahl Residence based on our TRC meeting

(see attached).

The following changes have been made:

1. Eliminated the Second Floor SunRoom (-190 sf)
2. Reduced the size of the Second Floor Deck (-61 sf)
3. Replaced the East side of the deck with a 4:12 pitch roof

Mr. Tanner - please feel free to share these updates with the Zoning Board in advance of our 7/13 petition hearing for the Special Use Permit.

Please let me know if there is anything additional info required.

Thanks so much,

Melissa

--

Melissa R. Hutchinson

MH Architect, LLC

222 Narragansett Blvd.

Portsmouth, RI 02878





203 Hooper Street
Tiverton, RI 02878
401.559.1957
mharchitect.com

Revisions

No.	Date	Description	Initials
1	1/4/2023	DECK STAIRS	MRH
4	12/10/2025	STAIR SIMPLIFICATION	MRH
6	3/17/2026	ROOF SIMPLIFICATION	MRH
9	7/8/2026	REMOVE SUNRM, REDUCE DECK	MRH

DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

drawing status
ISSUED FOR CONSTRUCTION
Issued on 11/7/2022

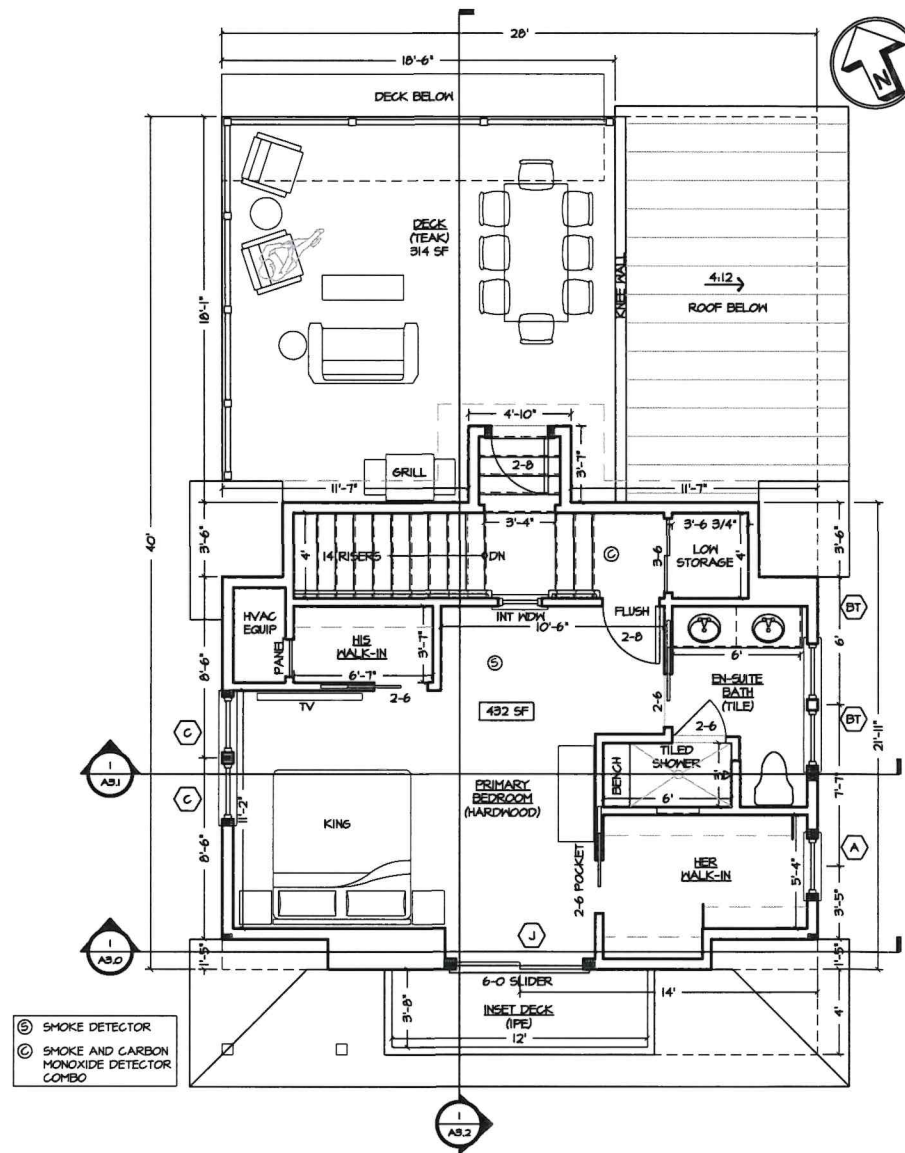
Drawing Title
PROPOSED FLOOR PLANS

Date	Scale
November 7, 2022	1/4" = 1'-0"

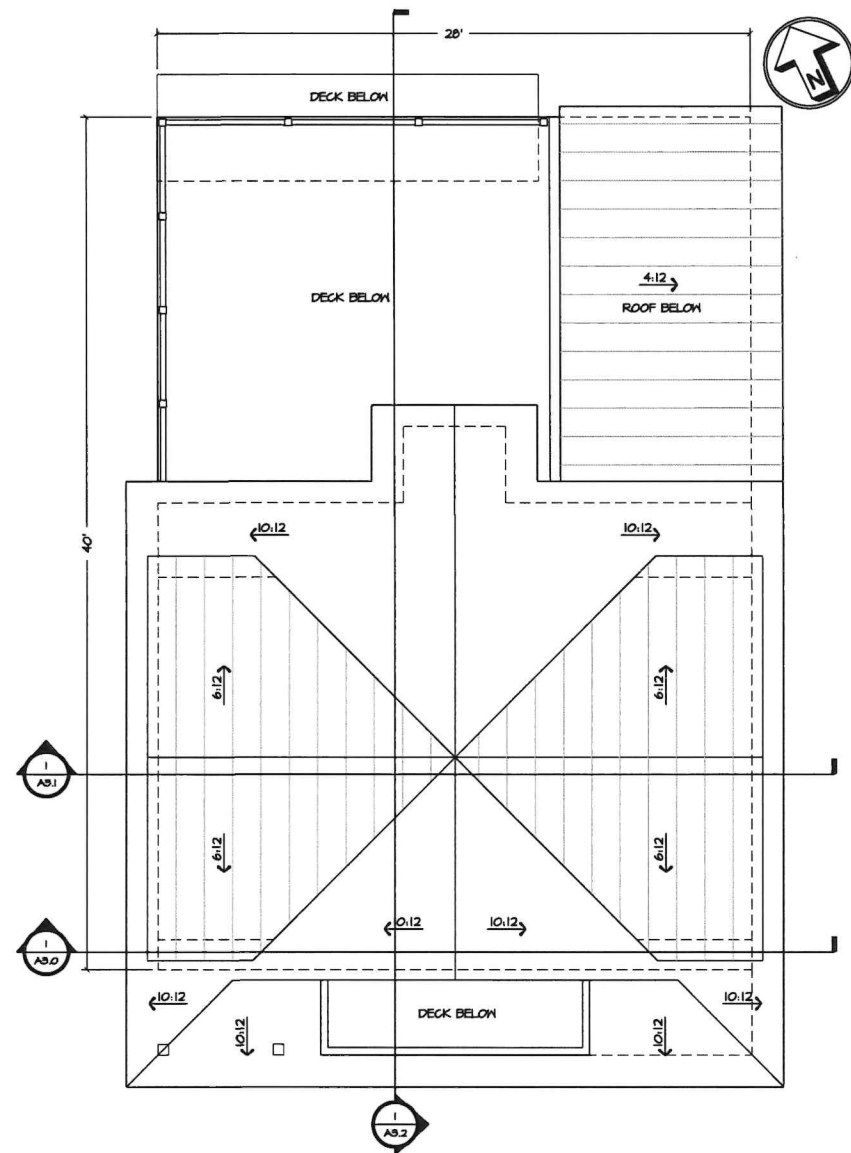
Drawing Number

A1.2

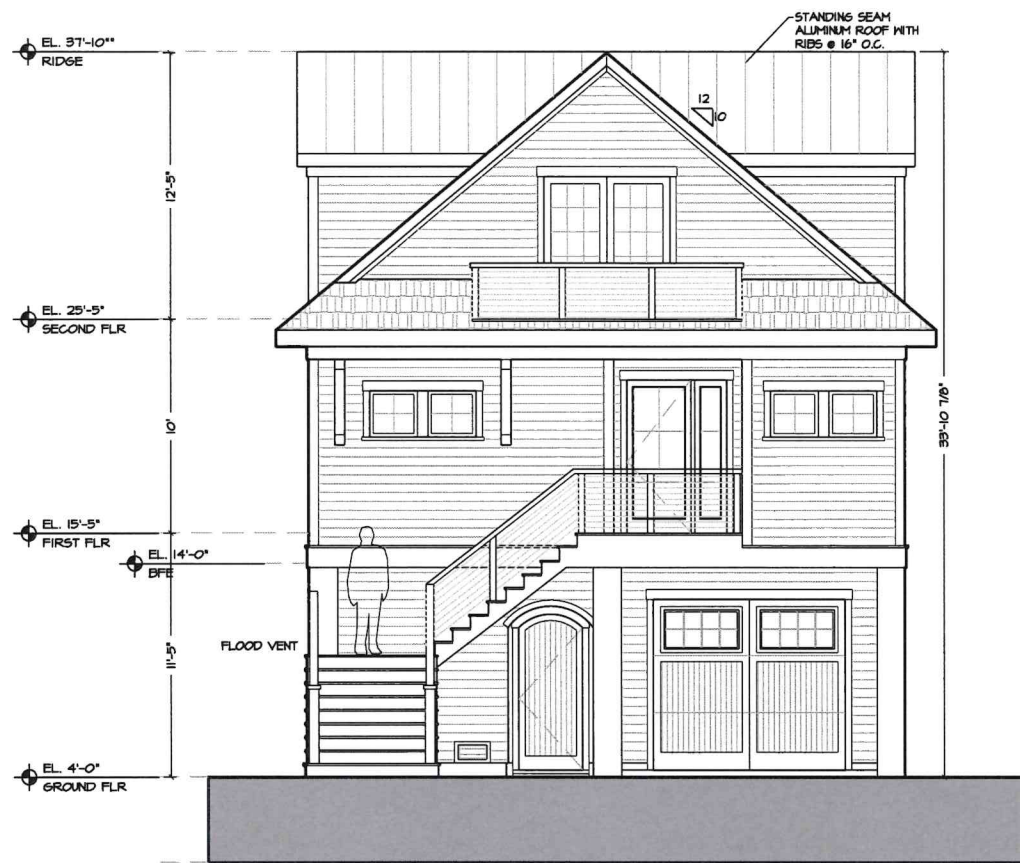
© Copyright 20



3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



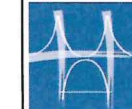
3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



MH Architect, LLC



203 Hooper Street
Tiverton, RI 02878
401.559.1957
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Revisions

No.	Date	Description	Initials
1	1/4/2023	DECK STAIRS	MRH
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9	7/8/2026	REMOVE SUNRM, REDUCE DECK	MRH

DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

Issued for construction
11/7/2022

Drawing Title
PROPOSED EXTERIOR ELEVATIONS

Date
November 7, 2022

Scale
1/4" = 1'-0"

Drawing Number

A2.0



Town of Bristol, Rhode Island ***Zoning Board of Review***

STAFF REPORT FOR:

FILE NO. 2026-32

APPLICANT: Douglas M. and Susan E. Dahl

LOCATION: 61 Smith Street

PLAT: 133

LOT: 128

ZONE: Residential R-15

APPLICANT IS REQUESTING A SPECIAL USE PERMIT TO:

Construct a 28ft. x 46ft. single-family dwelling at a height greater than 25 feet above grade in the flood zone; and with dimensional relief required for greater than permitted gross floor area (GFA) for the dwelling, first and second floor footprints, and deck.

COMPREHENSIVE PLAN REVIEW:

As this application is for a special use permit, it requires review by the Planning Board or its Technical Review Committee (TRC) per Section 28-409(b) of the Zoning Ordinance. The TRC held a meeting on June 30, 2026 to review this application. The TRC voted to recommend that the zoning board consider recommendations to remove the top floor "sun room" and to reduce the size of the top floor deck to reduce the amount of dimensional standards relief needed (see attached memorandum from Diane Williamson).

FINDINGS AND RECOMMENDATIONS BY STAFF:

The applicants are requesting a special use permit to construct a new single-family dwelling on a vacant waterfront lot located on the northerly side of Smith Street. The property consists of a legal nonconforming lot containing approximately 4,782 square feet of lot area (per survey plan). The house location plans submitted with this application depict the proposed structure to be in compliance with applicable zoning setbacks for this nonconforming lot per Section 28-221(a) of the zoning ordinance.

Please note that the applicants were before the Board in September 2020 (File #2020-32) and received approval for a substantially similar request to redevelop this lot after a previous cottage on the property had been destroyed by fire (see previous decision attached). The previous request required dimensional relief for front and rear yard setbacks. However, these setback variances are no longer required per changes to state law that have been adopted in Bristol's zoning ordinance for dimensional relief on nonconforming lots of record. The requirements for a special use permit relating to construction in the flood zone found in Section 28-150(eee), however, were not in effect when the applicant previously applied to the Board in 2020.

EMT

This property is located within a mapped AE 14 flood zone as determined by FEMA. As such, the new proposed dwelling must be designed to meet current flood zone requirements. The proposed structure will have vehicle parking and storage on the lower level with living space on the upper two levels to conform to building requirements for coastal flood zones. The proposed dwelling would have an overall height of approximately 34 feet above existing grade. The zoning ordinance permits principal structures to a maximum height of 35 feet above grade in the R-15 zone. However, as this property is located within the AE flood zone, building height is calculated from the elevation of the base flood elevation plus an allowance of up to 5 feet for freeboard (see definition of "building height" in Section 28-1 of the zoning ordinance). Thus, the proposed structure could be constructed up to 54 feet above existing grade and it would still be in compliance with zoning ordinance building height limits.

Although no dimensional variance for building height is required for the proposed structure, the building height does require a special use permit per Section 28-111 dimensional regulations of the Zoning Ordinance. This ordinance requires a special use permit for any principal structure located within a flood zone with a height over 25 feet above grade. There are several specific standards for structures greater than 25 feet above grade in a residential zone and in the flood zone found in Section 28-150(eee) of the Zoning Ordinance. These specific standards include compliance with building code flood zone requirements; roof pitch requirements; front setback requirements; specific design criteria for gross floor area; and requirements for articulation of exterior walls. It appears that the proposed structure would comply with these standards, with the exception of standard (4) relating to overall gross floor area (GFA) of the parcel; the size of the first floor relative to GFA; the size of the second floor relative to the first floor footprint; and the size of second story decks relative to the calculated GFA. In addition to the standards found in Section 28-150(eee), the general standards for relief found in Section 28-409(c)(2) would also apply to this special use permit application.

As noted previously, the TRC held a meeting on June 30, 2026 to review this application. At that meeting it was noted that the size of this nonconforming lot relative to the requirements for overall GFA of the proposed structure impact the size and shape of any dwelling that could be constructed on the parcel. TRC members agreed that overall design and height of the structure were appropriate for this location; however, some modifications to the upper floor decks and removal of the sunroom would help to reduce the amount of dimensional relief needed from the standards of Section 28-150(eee)(4)a. & c.


Edward M. Tanner, Zoning Officer

7/8/2026



Town of Bristol, Rhode Island
Zoning Board of Review

Document Number 00007736
BOOK 2067 PAGE 255

DECISION FOR VARIANCE

FILE # 2020-32

RE: Application of: Douglas M. and Susan E. Dahl

For property located at **61 Smith Street**, in Bristol, Rhode Island (Tax Assessor's Plat 133, Lot 128) in the following zoning district: **Residential R-15**.

This matter was heard before the Board at a public hearing on **September 14, 2020** upon the Applicant's request for **DIMENSIONAL VARIANCES** from the Zoning Ordinance to:

Demolish an existing fire damaged residential structure and construct a new 28ft. x 46ft. single-family residential structure with less than the required front yard and less than the required rear yard.

After due consideration of the Application, (including the exhibits, testimony of the witnesses, and the entire record presented to the Board), the Board makes the following findings of fact:

1. The aforementioned hardship is due to the unique characteristics of the subject land and structure, and is not due to the general characteristics of the surrounding area. This neighborhood consists of many nonconforming lots and homes that do not meet the Town's current Zoning Ordinances and were constructed 60 or 70 years ago and previous to the dimensional requirements that we currently hold new developments to. This specific property is a nonconforming lot of record at 4,782 square feet of land area and with side lot lines that are angled from the street. The property also contains a fire damaged dwelling that was built many years ago and has been in its current condition and unoccupied for several years. The lot could not be developed without some dimensional relief for the front and rear yards. The property owners were before the Board earlier in 2020 and received dimensional relief for nearly the same proposal, but were since requested by the Rhode Island Coastal Resources Management Council (CRMC) to move the house further away from the shoreline and towards Smith Street.
2. The hardship is not the result of any prior action on the part of the applicant, nor is it due to any economic disability on the part of the applicant or any desire on the part of the applicant to realize greater financial gain. The applicants are proposing to take what is a semi-abandoned property, with a burned out structure, and building a new single-family residence to be used as an owner-occupied single-family dwelling.
3. The granting of relief would not alter the general characteristics of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Plan of the Town of Bristol. This is a residential neighborhood with many smaller waterfront nonconforming lots created prior to zoning. The proposed project to construct a new single-family dwelling to replace the existing fire-damaged residence on this lot would fit in with the neighborhood, as many of the dwellings in the area and the surrounding homes have been renovated and upgraded from summer cottages to more aesthetically pleasing homes. Given the current state of the property, any construction will benefit the neighborhood, as opposed to creating additional hardship or deficits to the properties.
4. The variance granted by the Board is the least relief from the provisions of the Zoning Ordinance necessary to remove the aforementioned hardship. The applicants are attempting to work with Residential R-15 setback requirements on a 4,700 square foot lot. By constructing the proposed replacement structure on this lot, the applicants will be eliminating a rather significant side yard nonconformity; while also moving the structure back from the shoreline while attempting to comply with CRMC requirements. The applicants are also staying within a reasonable footprint similar to the existing dwelling, as the proposed structure is only 16 feet larger than the original dwelling's footprint.
5. The hardship that would be suffered by the owner if the dimensional variance were not granted would amount to more than a mere inconvenience, as the existing structure is in need of replacement, and a two-bedroom home as proposed on this property is a reasonable structure.

Therefore the Board voted **5 to 0** to **approve** the application as proposed permitting the construction of a new 28ft. x 46ft. single-family dwelling within 24.6 feet of the front lot line at Smith Street; within 25 feet of the rear lot line at the Kickemuit River.

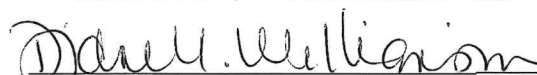
Voting to Approve: Asciola; Brum; Burke; Kern; and White

Voting to Deny: None

Making a part of this Decision the application, along with required materials, plans, and exhibits filed with the Board at the meeting, and excerpts of the public hearing minutes.

Recorded as the Decision of the Town of Bristol Zoning Board of Review on

This 30th day of October, 2020.


Diane M. Williamson, Director of Community Development

Recorded Oct 30, 2020 at 12:09P.
Louis P. Cirillo Town Clerk



Town of Bristol, Rhode Island

Department of Community Development

10 Court Street
Bristol, RI 02809
bristolri.gov
401-253-7000

July 1, 2026

TO: Zoning Board of Review

FROM: Diane M. Williamson, Administrative Officer

RE: **Special Use Permit for 61 Smith Street**
ZBR – 26-32

The Technical Review Committee (TRC) met on June 30, 2026 to review the above mentioned application for a Special Use Permit. The proposal is for a new residential home in the Flood Zone.

The TRC also reviewed the specific standards for the Special Use Permit. It was noted that the proposed design complies with all of the standards except for 3 dimensional standards related to the overall gross floor area of the building, footprint of first and second floors, and area of the deck. The TRC discussed the possibility of removing the “sun room” from the second floor which seemed like a feasible alternative and would reduce the area of this floor. The TRC also discussed the possibility of reducing the area of the deck which would also then need a revised roof line. These changes to the plan would reduce the amount of relief needed.

The TRC passed a motion to refer the above comments to the Zoning Board for their consideration in reviewing the application.

Thank you.



Zoning Board of Review Application
Town of Bristol

Record ID: ZBR-26-32

61 Smith Street 133 128

June 22, 2026

Applicant	
Name of Applicant	Douglas M. & Susan E. Dahl
Who is Submitting this Application	Attorney If other, Describe:
Owner's Name (If Different than Applicant)	Douglas M. & Susan E. Dahl

Location for Application			
Property Type	Both		
Zoning District	R-15		
Address, Plat, Lot	Address	Plat	Lot
	61 Smith Street	133	128

Type of Application	
Application Type	Special Use Permit & Dimensional Variance
Proposed	New Building If other, Detail:
New Building Type	One Family Dwelling If other, Detail:

Size of Proposed Building(s)/Addition(s) (If applicable)	
Total Square Footage	1,818 feet
Width in Feet	28 feet
Length in Feet	46 feet
Height Above Grade	34 feet
Number of Stories	3

Setbacks	
Front Yard in Feet	0 feet
Rear Yard in Feet	0 feet
Left Side Yard in Feet	0 feet
Right Side Yard in Feet	0 feet
Height in Feet	0 feet

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)
28-150(e)(e)(e)

Describe the extent of the proposed alterations and the reasons for the requesting relief
Applicant seeks a special use permit to demolish an existing fire damaged residential structure and construct a new 28ft. x 46ft. single-family residential structure exceeding 25 ft in height in a flood zone and dimensional variance to permit greater gross floor area than permitted.

Existing Lot Specifications	
Current Use of Premises	Residential
	If other, explain:
Number of Units	
Lot Area	4,782
Lot Frontage	50
Lot Depth	100

Existing Buildings & Structures		
Structure:	Square Footage:	Building/Structure Detail if Other:

Project Narrative

Application of Douglas M. and Susan E. Dahl

Property: 61 Smith Street, Bristol, Rhode Island

Assessor's Plat 133, Lot 128

Zoning District: Residential R-15

Relief Requested: Special Use Permit pursuant to Section 28-150(e)(e)(e) and Dimensional Variances related to Gross Floor Area standards.

Introduction and Project Description

The Applicants, Douglas M. and Susan E. Dahl, respectfully request approval to demolish an existing fire damaged residential structure and replace it with a new 28ft x 46 ft. elevated 2-bedroom single-family residence at 61 Smith Street, Bristol, Rhode Island. The subject property is a nonconforming waterfront lot of record containing approximately 4,782 square feet and located along the Kickemuit River within a FEMA flood hazard area. The lot is situated within a neighborhood consisting primarily of older waterfront homes developed prior to the adoption of modern zoning and floodplain regulations. The parcel is characterized by irregular lot lines and limited developable area.

The property was previously the subject of Zoning Board approvals in 2020 authorizing demolition of a fire-damaged dwelling and construction of a replacement residence. Those approvals have expired and, as a result, the Applicants must reapply for zoning relief. The previously approved project received dimensional relief from front and rear setback requirements. Since that time, the Town has adopted new flood zone regulations that govern residential structures exceeding twenty-five (25) feet in height from grade, and the proposed project is now reviewed under those provisions. The project no longer needs any setback relief because of the changes to the state law governing setbacks on substandard lots of record.

The proposed residence has been designed to comply with current FEMA floodplain construction requirements and coastal resiliency standards. The structure elevates the living area above the required flood elevation and incorporates parking, storage, and utility space beneath the habitable floors. Architectural plans indicate a building height of approximately 33 feet 11 inches measured from existing grade to ridge, requiring review under Section 28-150(e)(e)(e).

Relief Requested

A. Special Use Permit – Section 28-150(e)(e)(e)

The Applicants seek a Special Use Permit pursuant to Section 28-150(e)(e)(e) because the proposed residence exceeds twenty-five (25) feet in height from grade within a residential flood zone.

The proposal satisfies the intent and requirements of the ordinance as follows:

1. Floodplain Compliance

The residence has been designed in accordance with FEMA floodplain standards and state building code requirements applicable to structures located within flood hazard areas. Habitable space is elevated above the base flood elevation, with the lower level utilized for parking and storage purposes.

2. Roof Design

The proposed roof system utilizes pitched roof forms substantially exceeding the minimum 4:12 roof pitch required by the ordinance. The design maintains the traditional architectural character of waterfront homes within the neighborhood.

3. Neighborhood Compatibility

The proposed dwelling is consistent with the scale and character of surrounding waterfront residences. The design reflects contemporary flood-resistant construction while maintaining residential architectural elements common throughout the Smith Street waterfront area. The project replaces a long-vacant, fire-damaged structure with a well-designed owner-occupied residence that will improve the appearance of the property and surrounding neighborhood. The Zoning Board previously found that redevelopment of this property would benefit the neighborhood and fit within the character of the area.

4. Lot Configuration and Coastal Conditions

The subject lot is uniquely constrained by its location between Smith Street and the Kickemuit River, flood zone requirements, and CRMC coastal restrictions. Elevated construction necessary to meet flood standards inherently increases overall building height. The Special Use Permit process recognizes this reality and provides a mechanism for reviewing structures that must be elevated to safely accommodate residential use.

B. Dimensional Variance – Gross Floor Area

The Project meets all applicable standards relative to building lot coverage; however dimensional variances are necessary from the Gross Floor Area standards contained in Section 28-150(e)(e)(e)(4).

Requirement	Permitted	Proposed
Gross Floor Area (GFA)	1,434.6 sq. ft.	1,818 sq. ft.
First Floor Footprint	60% of GFA (861 sq. ft.)	1,093 sq. ft. (76%)
Second Floor Footprint	40% of GFA (573.8 sq. ft.)	725 sq. ft. (50%)
Deck Area	15% of GFA (215 sq. ft.)	472 sq. ft. (26%)

The requested relief therefore consists of:

1. Variance to permit total GFA of 1,818 square feet where 1,434.6 square feet is permitted.
2. Variance to permit a first-floor living area of approximately 1,093 square feet (76% of GFA) where 60% is permitted.
3. Variance to permit a second-floor living area comprising approximately 50% of total GFA where 40% is permitted.
4. Variance to permit second-floor deck area equal to approximately 26% of GFA where 15% is permitted.

Grounds Supporting the Variances

A. Hardship Arises From the Unique Characteristics of the Land

The hardship results from the unique physical characteristics of this waterfront parcel and not to the general characteristics of the surrounding area or any economic disability of the applicant.

The lot is an undersized lot of record containing approximately 4,782 square feet and is constrained by:

- Its location within a FEMA flood hazard area;
- Its location adjacent to the Kickemuit River;
- Irregular lot geometry;
- Existing neighborhood development patterns consisting of older nonconforming waterfront lots;
- Modern floodplain regulations requiring elevation of habitable space; and
- CRMC coastal requirements governing development near the shoreline.

These physical conditions substantially limit design flexibility and reduce the ability to achieve the ordinance's prescribed floor-area allocations while maintaining a practical family residence.

B. Hardship Is Not Self-Created

The Applicants did not create the lot, the flood zone designation, the coastal location, or the dimensional limitations associated with the parcel. The proposal is simply an effort to replace a fire-damaged residence and construct a code-compliant home suitable for year-round occupancy. Previous Board decisions specifically found that the hardship was not self-created.

C. No Alteration of Neighborhood Character

The project will not alter the general character of the neighborhood or impair the intent of the Comprehensive Plan.

The surrounding area consists largely of waterfront homes of varying ages, sizes, and architectural styles. Many nearby residences have been renovated, elevated, or reconstructed to meet modern floodplain requirements. The proposed residence is consistent with these development trends and will replace a vacant, deteriorated property with an attractive new home.

Previous Board findings specifically concluded that redevelopment of this property would benefit the neighborhood and fit within its established character.

D. More Than a Mere Inconvenience

Strict application of the GFA standards would prevent construction of a reasonably sized 2-bedroom, flood-compliant residence on this unique undersized waterfront parcel.

Reducing the structure to the ordinance-prescribed floor area would significantly impair the functionality of the dwelling and would prevent the Applicants from achieving a reasonable replacement home while complying with FEMA elevation requirements and modern building standards. The resulting hardship is substantially greater than a mere inconvenience and satisfies the legal standard for dimensional relief. Previous Board decisions reached the same conclusion with respect to redevelopment of this property.

Conclusion

The Applicants respectfully submit that the proposed project satisfies the standards for issuance of a Special Use Permit under Section 28-150(e)(e)(e) and the standards for dimensional variances under Rhode Island law and the Bristol Zoning Ordinance.

The proposal replaces a long-vacant fire-damaged structure with a FEMA-compliant waterfront residence designed to meet modern safety standards while respecting the character of the surrounding neighborhood. The requested relief results from the unique physical constraints of the property, is not self-created, constitutes the minimum relief necessary to permit reasonable residential use, and will not adversely affect neighboring properties or the public interest.

Accordingly, the Applicants respectfully request that the Zoning Board grant:

1. A Special Use Permit pursuant to Section 28-150(e)(e)(e) for a residential structure exceeding 25 feet in height within the flood zone; and
2. Dimensional Variances for Gross Floor Area, first-floor floor area ratio, second-floor floor area ratio, and deck area as described herein.

STATE OF RHODE ISLAND
BRISTOL, SC

TOWN OF BRISTOL
ZONING BOARD OF REVIEW

Owner Authorization Letter

Date: June 19, 2026

To: Bristol Zoning Board of Review

Subject: Authorization for Attorney to File Zoning Application

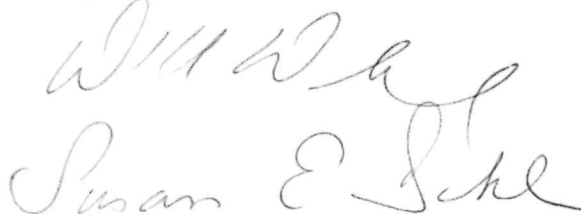
We, Douglas M. and Susan E. Dahl, owners of 61 Smith Street, hereby authorize Attorney David P. Martland to act on our behalf concerning the filing of a zoning application for the property located at 61 Smith Street, Bristol, RI, designated as Plat 133, Lot 128.

This authorization is provided to facilitate the submission and processing of the zoning application with the Zoning Board of Review for the Town of Bristol, Rhode Island.

This authorization shall remain in effect until the completion of the zoning application process, or until written notice is provided to revoke this authorization.

Sincerely,

Douglas M. Dahl and Susan E. Dahl

The block contains two handwritten signatures in cursive. The first signature is for Douglas M. Dahl, and the second is for Susan E. Dahl. Both signatures are written in dark ink and are positioned one above the other.



61 Smith Street

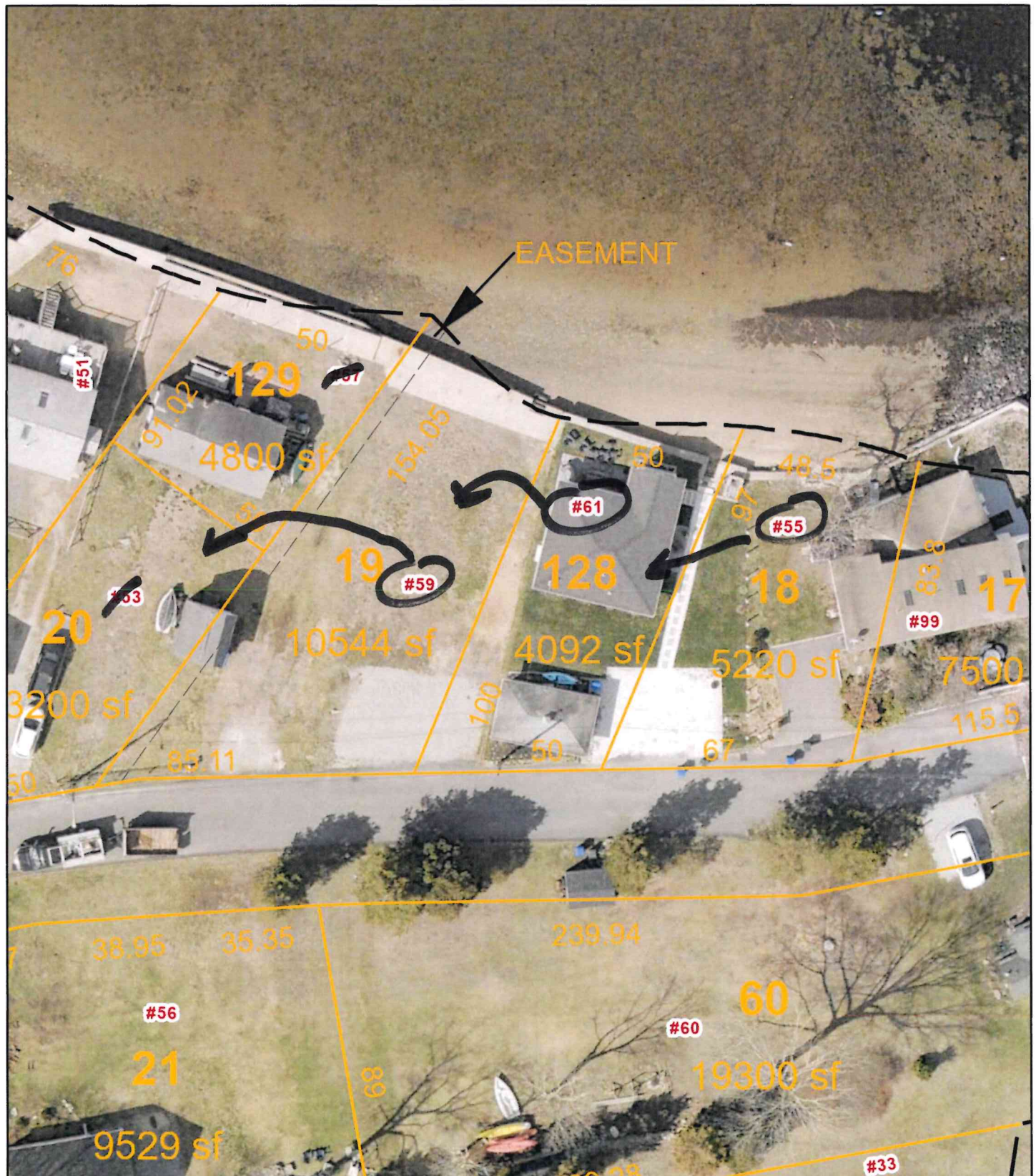
Town of Bristol, RI

1 inch = 36 Feet



www.cai-tech.com

June 23, 2026

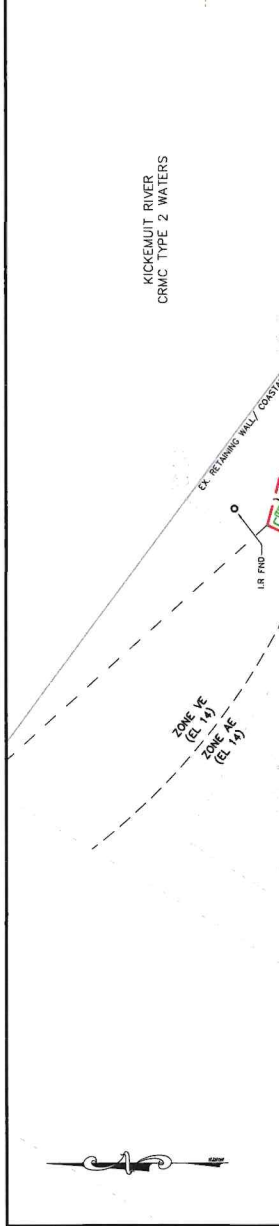


Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



LEGEND

PROPERTY LINE
 ABUTTER LINE
 EX. EDGE OF PAVEMENT
 EX. CONTOUR
 EX. WATERLINE
 EX. UTILITY POLE
 EX. TEST PIT
 PROPOSED CONTOUR
 PROPOSED SPOT GRADE
 DOWNSPOUT
 EX. 9.0 CONSTRUCTION ACCESS



STRUCTURAL LOT COVERAGE:

EXISTING SHED LOT COVERAGE - 1,000 SF
 EXISTING SHED LOT COVERAGE - 1,000 SF (NOT INCLUDED IN CALC.)
 EXISTING SHED LOT COVERAGE - 1,000 SF (NOT INCLUDED IN CALC.)
 TOTAL EXISTING STRUCTURAL LOT COVERAGE - 1,000 SF
 PROPOSED BUILDING FOOTPRINT - 1,179 + 45 (COVERED DECK) = 1,224 SF
 TOTAL INCREASE IN STRUCTURAL LOT COVERAGE
 1,224 SF - 1,000 SF = 224 SF
 THERE WILL BE AN INCREASE IN S.L.C. OF 21.5% OR 21.3% < 25%

GENERAL NOTES:

1. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH ALL APPLICABLE ORDINANCES, REGULATIONS AND APPLICABLE OF PROJECT SITE CONSTRUCTION ACTIVITIES.
2. ALL CONSTRUCTION WILL BE UNDERTAKEN IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE TOWN OF BRISTOL.
3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE PROPERTIES OF THE LOT AND TO REPAIR OR REPLACE ANY DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
4. IF THE MUNICIPALITY REQUIRES A PROJECT PRE-CONSTRUCTION MEETING, THE CONTRACTOR SHALL ATTEND AND WILL PROVIDE ALL REQUESTED MATERIALS PRIOR TO COMMENCING ANY WORK.
5. IF CEMENT CONCRETE MIX TRUCKS ARE TO BE WASHED OUT ON SITE, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND TYPICAL LOCATIONS ON-SITE FOR ALL CONSTRUCTION WASTE AND TO ENSURE THAT THIS WASTE DOES NOT BECOME A NEIGHBORHOOD NUISANCE.

APPROXIMATE EARTHWORK QUANTITIES:

THERE WILL BE MINIMAL EARTHWORK NEEDED FOR THIS PROJECT
 FINAL GRADING TO MATCH ALL EXISTING GRADES FOR THE SITE
 THE EXISTING LOAM ON-SITE WILL BE STOCKPILED PRIOR TO CONSTRUCTION AND REUSED. REFER TO THE SEEDING NOTES FOR STABILIZING TEMPORARY EXPOSED SLOPES AS WELL AS PERMANENT SEEDING.

REVISIONS

NO.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

PRINCIPLE COMPANY, INC.
 ENGINEERING DIVISION
 277 BARNSTABLE STREET, SUITE 200
 BARNSTABLE, MA 01953
 401.616.5365

SITE PLAN
 MAP 133 LOT 128
 61 SMITH STREET
 BRISTOL, RHODE ISLAND

SCALE: AS NOTED
 SHEET NO.: 1 OF 2
 DRAWN BY: KAB
 DESIGN BY: KAB
 CHECKED BY: L.P.
 DATE: 02/04/2023
 PROJECT NO.: CRMC-2019-3

ZONING CRITERIA

	REQUIRED	PROPOSED
ZONING DISTRICT	R-15*	
ACTUAL LOT AREA	14,500 SQ. FT.	14,500 SQ. FT.
MINIMUM LOT AREA	14,500 SQ. FT.	14,500 SQ. FT.
MINIMUM FRONT YARD SETBACK	10.0'	10.0'
MINIMUM SIDE YARD SETBACK	10.0'	10.0'
MINIMUM REAR YARD SETBACK	24.0'	24.0'
MINIMUM LOT BUILDING COVERAGE	35%	35%
MINIMUM BUILDING HEIGHT	35'	35'

*THE SUBJECT LOT IS A SUBSTANDARD LOT OF REFERENCE AND IS THEREFORE ELIGIBLE FOR VARIANCE. VARIANCES TO BE DETERMINED BY THE TOWN OF BRISTOL ZONING OFFICE.

SITE PLAN REFERENCE:

CLASS 1 BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY CONDUCTED BY:
 GEORGE J. GESSER, INC. REGISTERED LAND SURVEYOR
 FOR THE PROPERTY LOCATED AT:
 MAP 133 LOT 128
 DATE: FEBRUARY 14, 2013
 *ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.

FEMA FLOOD ZONE NOTE:

ALL PROPOSED CONSTRUCTION IS IN ZONE 1
 THE BASE FLOOD ELEVATION SURROUNDING THIS PROPERTY IS 14'

SITE PLAN GRAPHIC SCALE

1" = 10' (BY FEET)
 1 inch = 10 ft.

SMITH STREET
 (25 FT PUBLIC R.O.W.)

MAP 133 / LOT 128



MH Architect, LLC
203 Hooper Street
Therion, RI 02878
401.559.1957
mharchitect.com

Revisions	Date	Description	By

DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

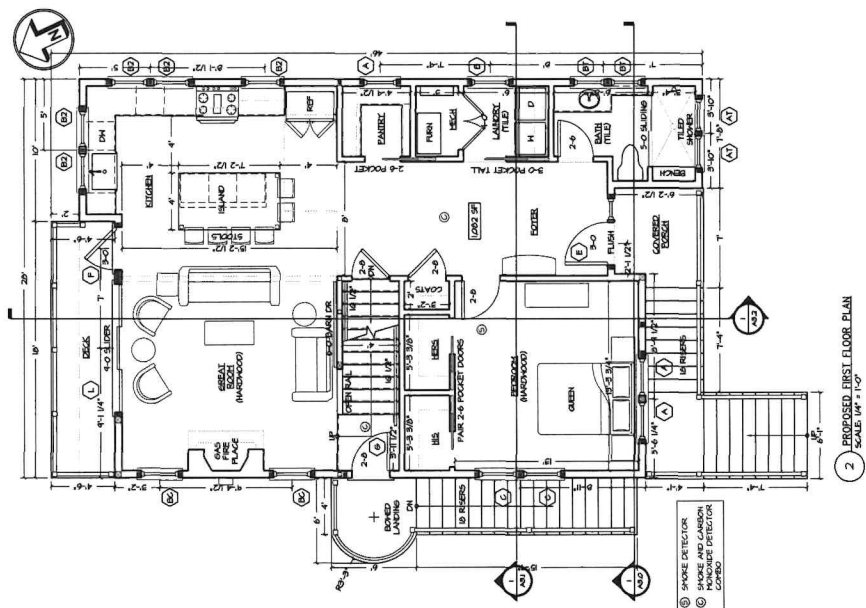
ISSUED FOR CONSTRUCTION
1/1/2022

Drawing Title
PROPOSED FLOOR PLANS

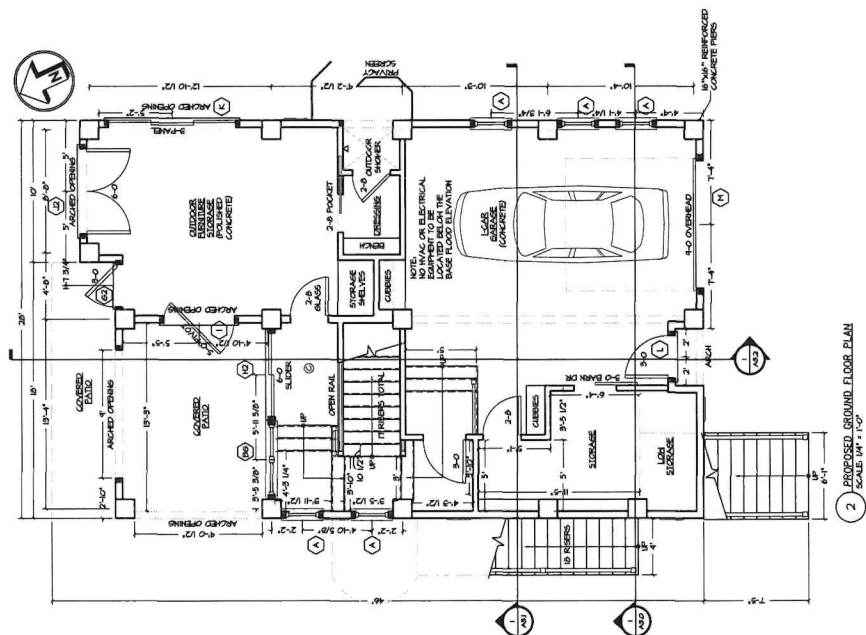
Scale
1/4" = 1'-0"

Drawing Number

A1.1



2 PROPOSED FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



2 PROPOSED GROUND FLOOR PLAN
SCALE 1/4" = 1'-0"



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Tiverton, RI 02878
401.559.1957
mharchitect.com

Revisions		
No.	Date	Description

DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

ISSUED FOR CONSTRUCTION
1/1/2023

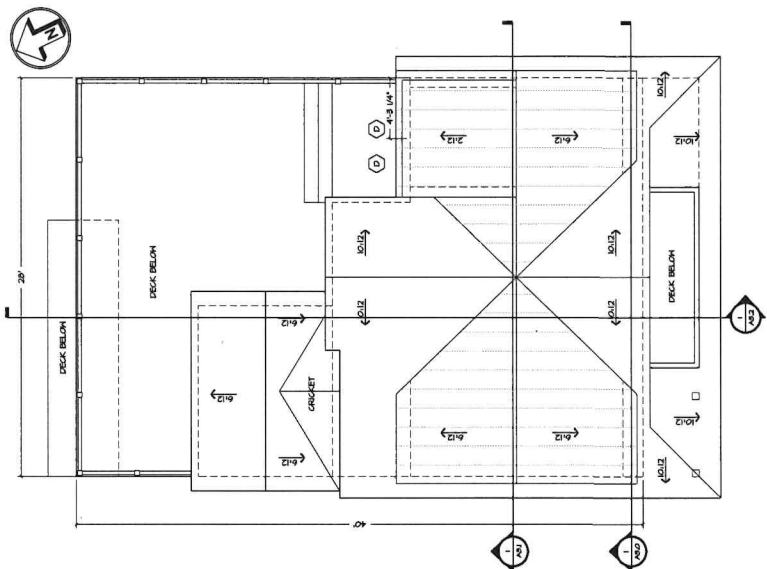
Drawing Title
PROPOSED FLOOR PLANS

DATE: November 1, 2022
SCALE: 1/4" = 1'-0"

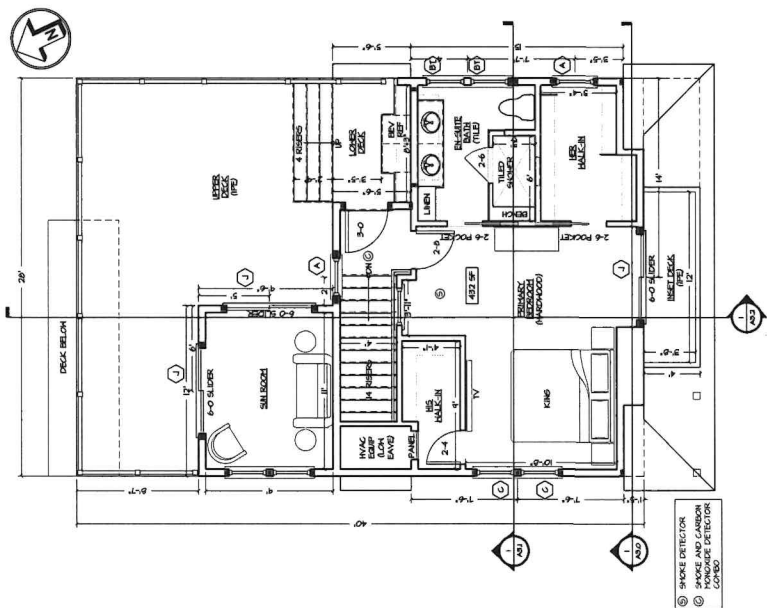
Drawing Number

A1.2

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4 PROPOSED ROOF PLAN
SCALE 1/4" = 1'-0"



3 PROPOSED SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



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Revisions	Date	Description	Drawn

DAHL RESIDENCE 61 SMITH STREET BRISTOL, RI 02809

ISSUED FOR CONSTRUCTION
11/1/2022

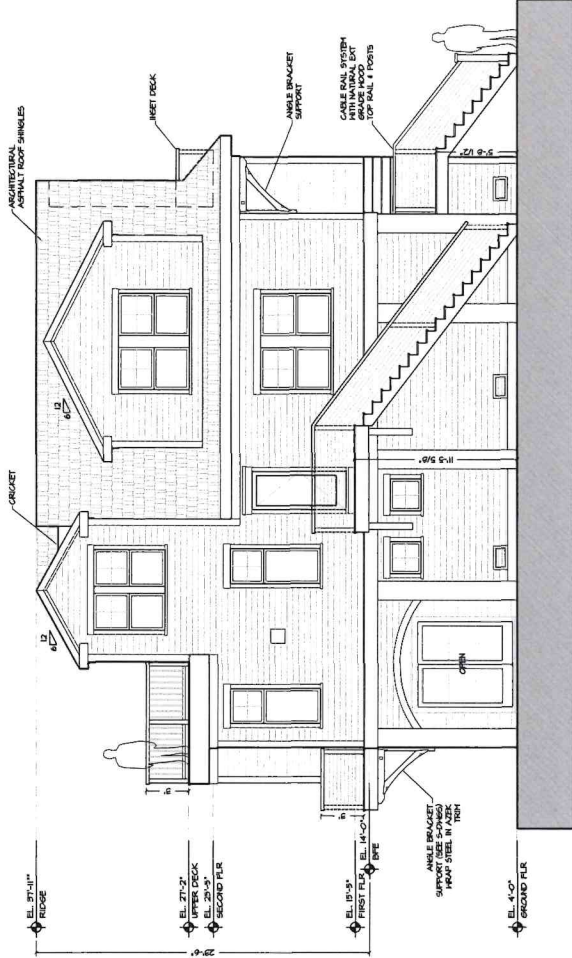
Drawing Title
PROPOSED EXTERIOR ELEVATIONS

Scale
1/4" = 1'-0"

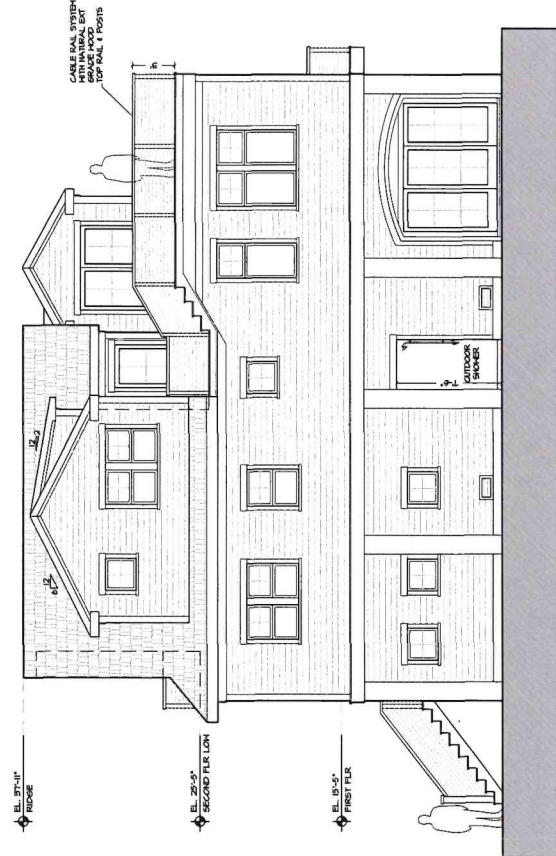
Drawing Number

A2.0

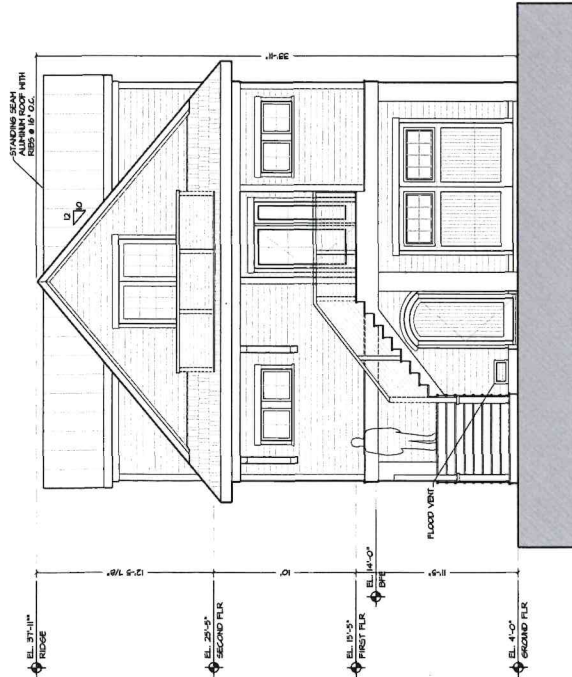
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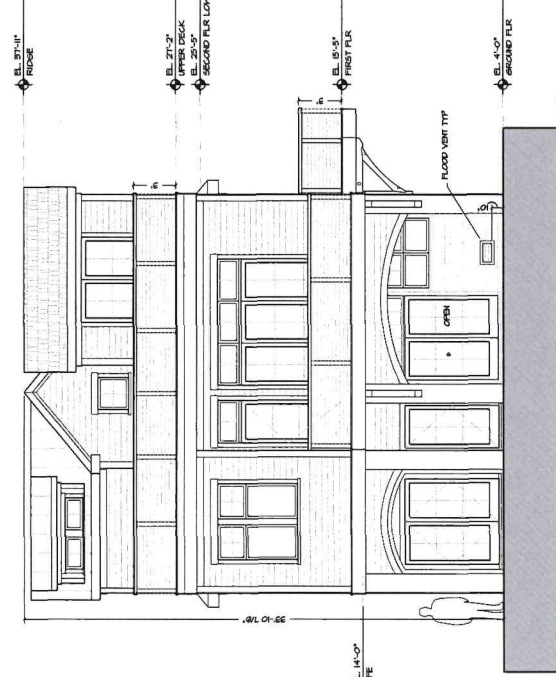
2 WEST ELEVATION
SCALE 1/4" = 1'-0"



4 EAST ELEVATION
SCALE 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE 1/4" = 1'-0"





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[illegible]

DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

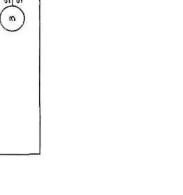
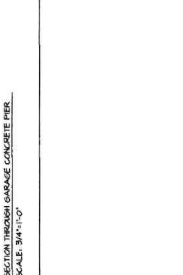
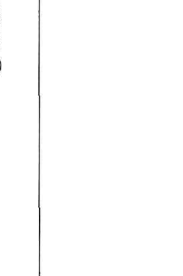
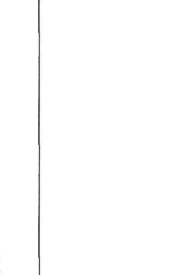
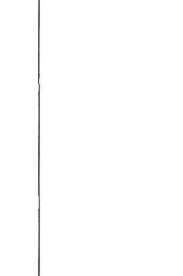
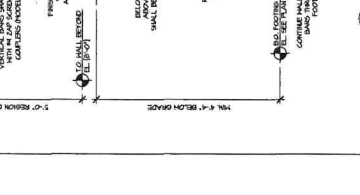
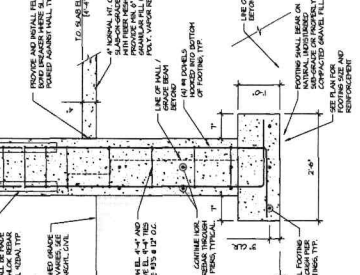
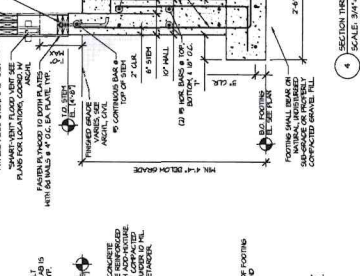
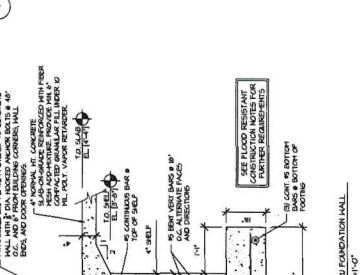
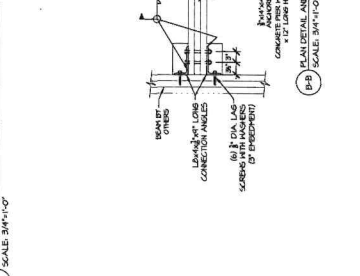
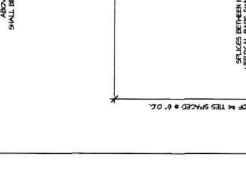
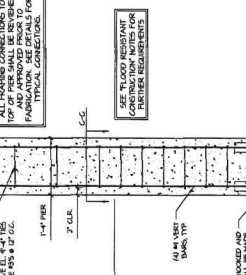
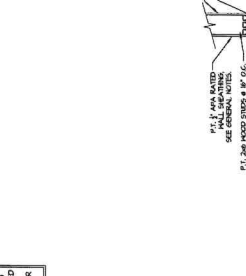
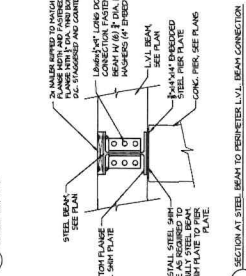
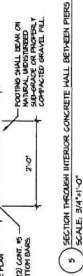
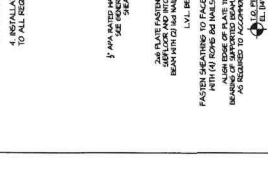
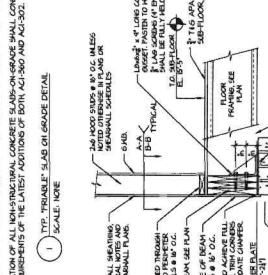
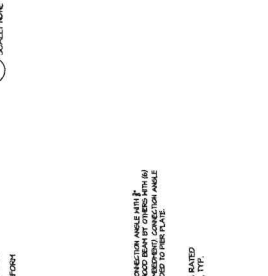
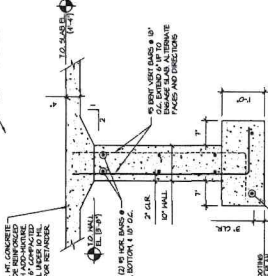
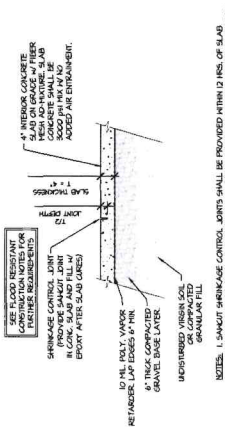
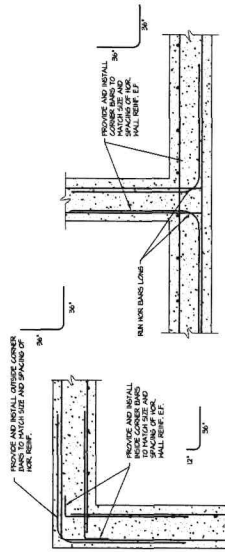
BRISTOL, RI 02809

Date	November 4, 2022
Scale	AS NOTED

Drawing Number

SO.1

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[illegible]

NOTE REGARDING BALCONIES AND DECKS: BALCONIES AND DECKS SHALL BE PITCHED WITH TAPERED SLEEPERS FOR ALTERNATE METHOD TO PROVIDE PROPER RAINFALL TO AVOID THE EFFECTS OF POORING, SLUFFING, DRAINS, AND SECONDARY EMERGENCY DRAINAGE LOCATIONS SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS. COORDINATE ALL DETAILS WITH ARCHITECTURAL DRAWINGS.

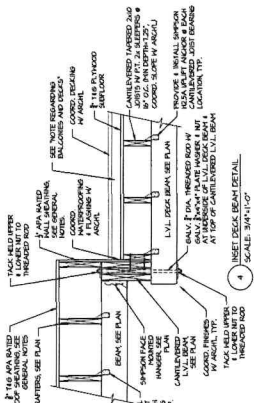
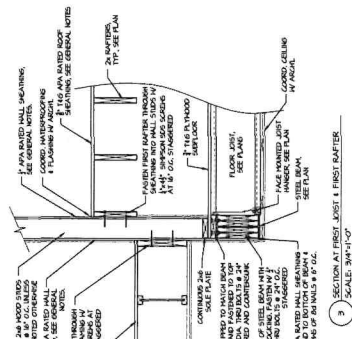
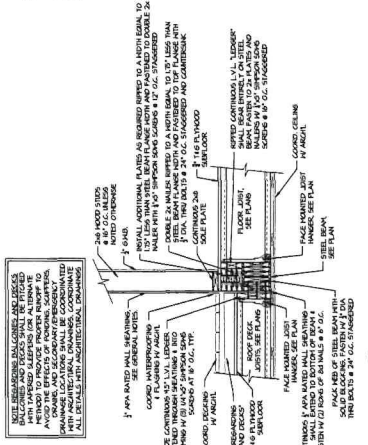
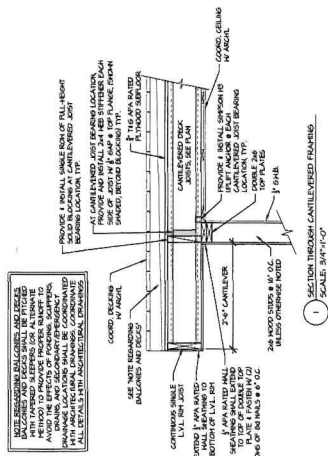
UNDER ROOF DECK LEDGER JOIST
PROVIDE CONTINUOUS 4" L.V. LEDGER
FASTENED THROUGH SHEATHING & INTO
FRAMING W/ (3) 1/2" x 5" SIMPSON 5046
SCREWS AT 16" O.C. TYP.

LVL FIRST JOIST NOTE
FASTEN LVL FIRST JOIST THROUGH
TRUSS INTO FRAMING W/ 2"x4" SIMPSON
DOES SCREW AT 16" O.C. STAGGERED
(UNLESS OTHERWISE NOTED)

LOWER ROOF DECK LEADER NOTE
PROVIDE CONTINUOUS 3/4" LVL LEADER
FASTENED THROUGH SHEATHING & INTO
FRAMING W/ (2) 1/4" x 3" SIMPSON 5045
SCREWS AT 16" O.C. TYP.

INSET DRICK LEDGER NOTE
 PROVIDE CONTINUOUS 2x6 LEDGER
 FASTENED THROUGH SHEATHING & INTO
 FRAMING W/ (2) 1"x3" SHIPSON 5040
 SCREWS AT 16" O.C. TYP.

SECOND FLOOR & LOW ROOF FRAMING
SCALE: 1/4"=1'-0"

[illegible]



Camera / O'Neill
Consulting Engineers



MH Architect, LLC
203 Hoopes
Tiverton, RI
401.5
mharchitect

[illegible]

DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

BRISTOL, RI 02809

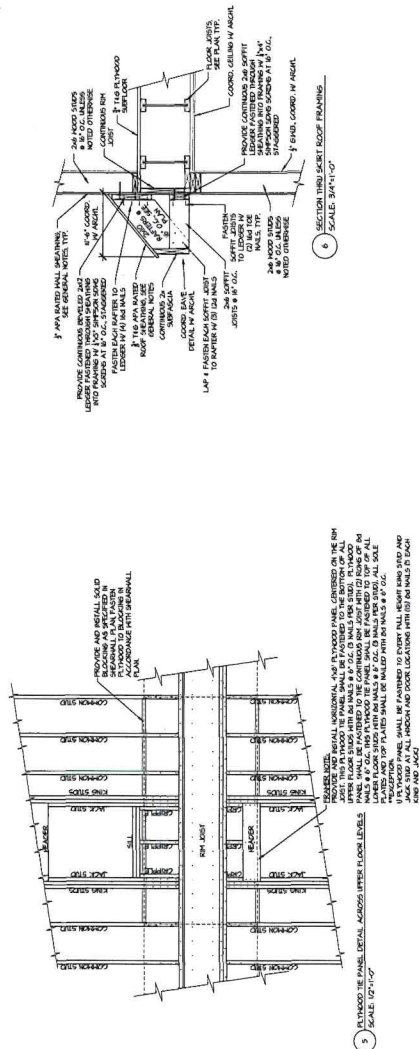
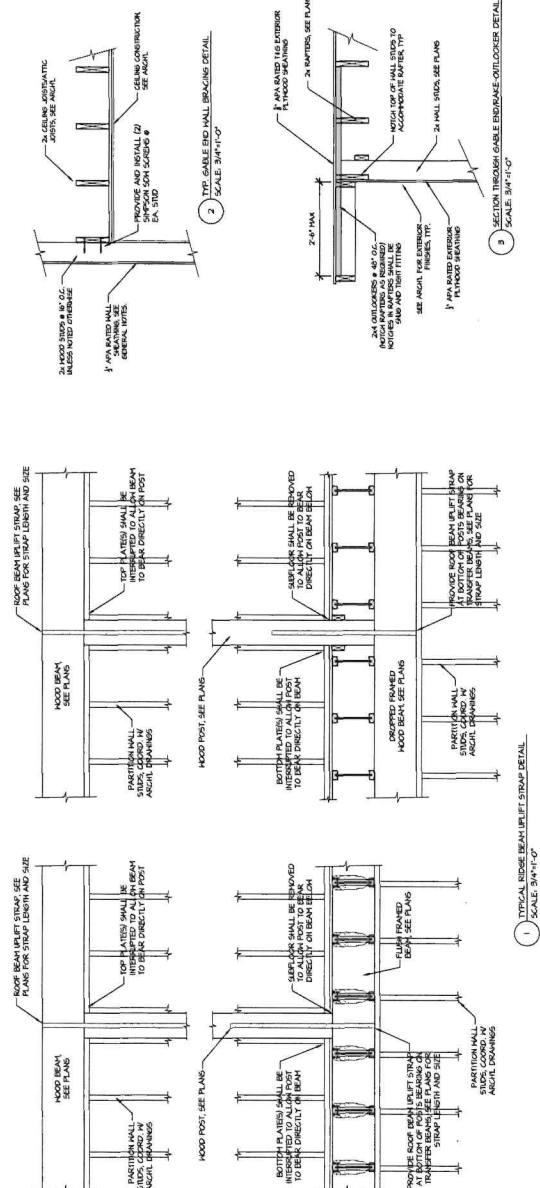
Drawing Title
DETAILS

Date: November 4, 2022 Scale: AS NOTED

Drawing Number

S3.1

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[illegible]



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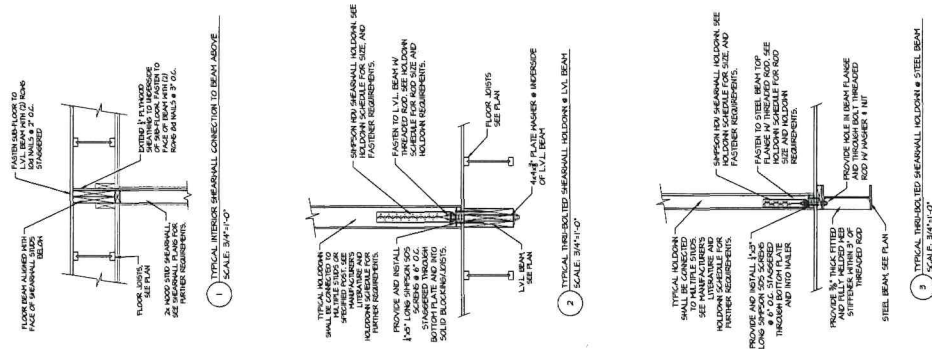
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61 SMITH STREET
BRISTOL, RI 02809

Date	November 4, 2022	Scale	AS NOTED
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S4.0

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DISCLAIMER: "TODOLONG FIRM OR 'SOUTHERN PINE' IS NOT THE NAME OF ANY COMPANY. ALL THE THRU-DRILL HOLOSPIRS MAY BE PATENTED TO CONCRETE FOUNDATIONS WITH HELI-DRILLING SYSTEM. THIS SYSTEM IS NOT A PATENTED SYSTEM. ANY COMPANY CAN USE THIS SYSTEM WITHOUT PAYING A PATENT FEE TO ANY COMPANY."

STAMP	FLYING FACE	WHEEL FACE	WHEEL BACK	WHEEL DOGS	DOGS?	WHEEL DOGS
54Q	QUTER	INNER	SINGLE 2x6	LOCATED		6d * 1" O.C.
54GA	SEE PLAN	EITHER	SINGLE 2x4	LOCATED		6d * 1" O.C.
54G	SEE PLAN	INNER	SINGLE 2x6	LOCATED		6d * 1" O.C.
54G	SEE PLAN	INNER	SINGLE 2x6	LOCATED		6d * 1" O.C.

[illegible]

HOL DOWN SCHEDULE F

[illegible]



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401.559.1957
mharchitect.com

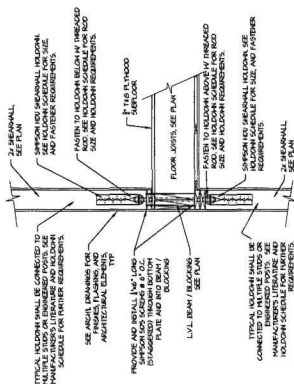
DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

Drawing Title
SECOND FLOOR SHEARWALLS

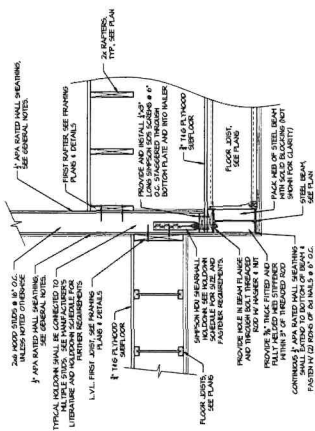
Date	November 4, 2022
Drawing Number	

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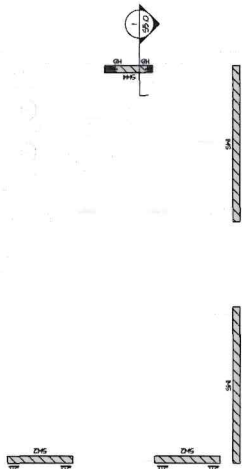
© Copyright 2012



1. TYPICAL HOLDOWN AT UPPER FLOOR



7 SECOND FLOOR SH



SECOND FLOOR SHEARWALLS

[illegible]

MEMBRANE ID TAG	FLTHOOD FAC	WEETROCK FACE	HALL STOPS PANEL EDGES	BLOCKING EDGES	WALING EDGES
S4	OUTER	INNER	SINGLE 2x6	UNBLOCKED	PD 1 8" O.C.
S4Q	OUTER	INNER	SINGLE 2x6	BLOCKED	PD 1 8" O.C.
S4B	BOTH	INNER	SINGLE 2x6	BLOCKED	PD 1 8" O.C.

SECOND FLOOR SHEARWALLS

[illegible]

▶ Previous Owners & Sales Information

Owner	Owner Account #	% Owned
Owner 1 DAHL, DOUGLAS M &	50-0047-25	
Owner 2 SUSAN E TE		
Owner 3		
Address	C/O DOUGLAS DAHL 84 BAY STATE RD, WESTON, MA 02493	

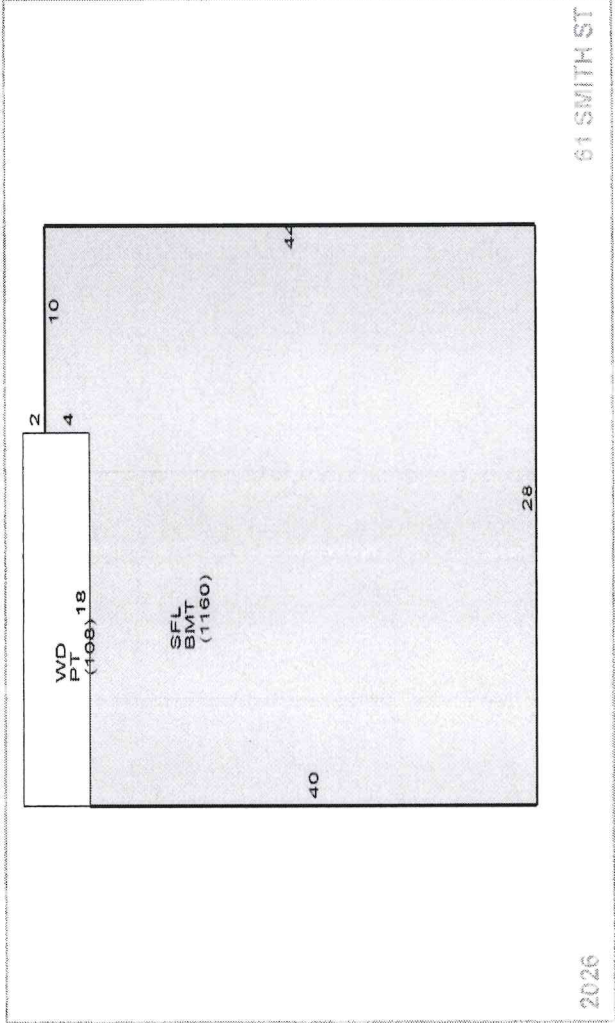
Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
JUDGE, TERRENCE P.	12/20/2018	225,000	1967-308		W
WAZ, GRACE J.	12/21/2011	0	1627-65		Q

▶ Assessment

Use Code	Bldg Value	SF/Yr Value	Land Size	Land Value	AG Credit	Assessed Value
13	0	0	0.09	250,800	0	250,800
TOTAL	0	0	0.09	250,800	0	250,800
Source >	Mkt Adj Cost	VAL per SQ Unit/Card >	0.00	VAL per SQ Unit/Parcel >	98.90	

▶ Previous Assessments

Year	LUC	Building	SF/Yr	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2025	01	310,600	10,600	0	250,800	0	572,000	572,000
2024	13	0	0	0	209,000	0	209,000	209,000
2023	13	0	0	0	209,000	0	209,000	209,000
2022	13	0	0	0	209,000	0	209,000	209,000
2021	01	40,600	0	0	186,400	0	227,000	227,000
2020	01	40,600	0	0	186,400	0	227,000	227,000



▶ Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
13 Res Vacant	0.09394	AC	P	1.00	774,000	2,669,789	B	WF	200					250,800			1.00	0
2																		
3																		
4																		

► Sub-Area Detail

Code	Description
2nd FLOOR	
BMT	BASEMENT
PT	PATIO
WD	WOOD DECK
Total	

► **Notes**

lot is vacant. reval picked

► Remodeling History		► Condo Data	
Additions	Plumbing	Complex	
Interior	Electric	Location	
Exterior	Heating	Tot Units	
Kitchen	General	FL Level	
Bath(s)		# Floors	
		Bldg Seq	1

Building Permits		Issue Date	Permit #	Closed Date	Bp Type	Est. Cost
1		10/30/2023	B57620		BLDG	900,000
2						
3						
4						
5						
6						
7						
8						
9						

	Use	Description	A	Y/S	Qty
1					
2					
3					
4					
5					
6					
7					
8					
9					
10					

Length	Width	SF Size	Quality	Cond
1	1	1	1	1
2	2	2	2	2
3	3	3	3	3
4	4	4	4	4
5	5	5	5	5
6	6	6	6	6
7	7	7	7	7
8	8	8	8	8
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86	86	86	86	86
87	87	87	87	87</

► Other Info.

Disclaimer - This information is believed to be correct, but is subject to change and is not warranted.



61 Smith Street - 300' Radius

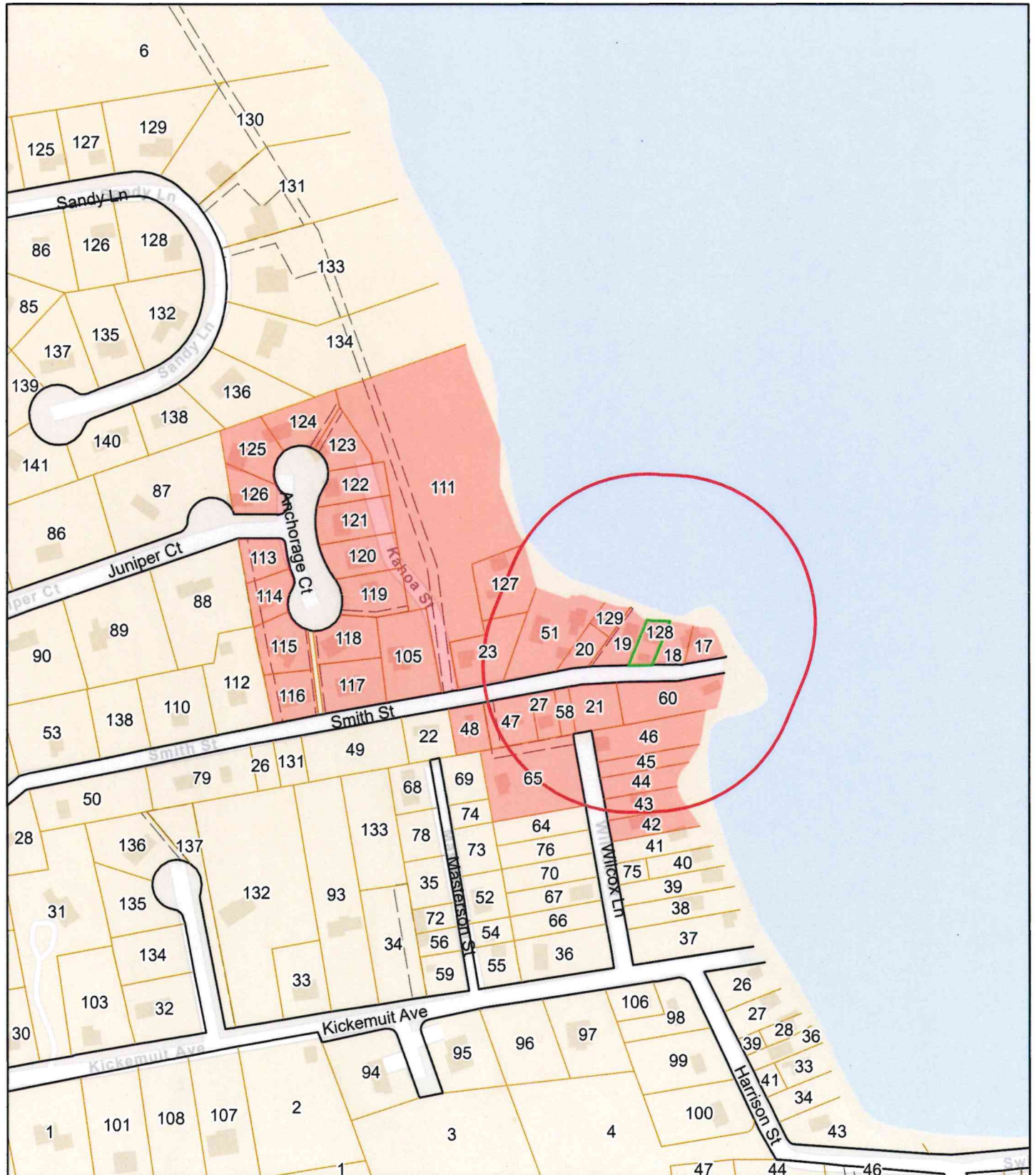
Town of Bristol, RI

1 inch = 282 Feet



www.cai-tech.com

August 25, 2026



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300 feet Abutters List Report

Bristol, RI
August 25, 2026

Subject Property:

Parcel Number: 133-128
CAMA Number: 133-128
Property Address: 61 SMITH ST

Mailing Address: DAHL, DOUGLAS M & SUSAN E TE
C/O DOUGLAS DAHL 84 BAY STATE RD
WESTON, MA 02493

Abutters:

Parcel Number: 133-105
CAMA Number: 133-105
Property Address: 31 SMITH ST

Mailing Address: WEINSTEIN, JUNE T.
31 SMITH ST
BRISTOL, RI 02809

Parcel Number: 133-113
CAMA Number: 133-113
Property Address: 14 JUNIPER CT

Mailing Address: LANG, DUNCAN M & DONNA J -
TRUSTEES
14 JUNIPER CT
BRISTOL, RI 02809

Parcel Number: 133-114
CAMA Number: 133-114
Property Address: 30 ANCHORAGE CT

Mailing Address: SANTORO, ANTHONY J.
30 ANCHORAGE CRT
BRISTOL, RI 02809

Parcel Number: 133-115
CAMA Number: 133-115
Property Address: 32 ANCHORAGE CT

Mailing Address: STORMS, GAIL TRUSTEE GAIL
STORMS LIVING TRUST
32 ANCHORAGE CT
BRISTOL, RI 02809

Parcel Number: 133-116
CAMA Number: 133-116
Property Address: 29 SMITH ST

Mailing Address: SIMONE, GEORGE III & BETH B TE
29 SMITH ST
BRITOL, RI 02809

Parcel Number: 133-117
CAMA Number: 133-117
Property Address: 37 SMITH ST

Mailing Address: RUDE, ROBERT T & DEBORAH TE
37 SMITH ST
BRISTOL, RI 02809

Parcel Number: 133-118
CAMA Number: 133-118
Property Address: 34 ANCHORAGE CT

Mailing Address: WALLACE-TOOHEY, KATHRYN D.
34 ANCHORAGE CT
BRISTOL, RI 02809

Parcel Number: 133-119
CAMA Number: 133-119
Property Address: 36 ANCHORAGE CT

Mailing Address: LUDS, JOHN T. JR TRUSTEE & LUDS,
ANNE W. (1/2) T
36 ANCHORAGE CT
BRISTOL, RI 02809

Parcel Number: 133-120
CAMA Number: 133-120
Property Address: 38 ANCHORAGE CT

Mailing Address: FERREIRA, PAUL J & KENDRA J -
TRUSTEES WESTVIEW REALTY TRUST
38 ANCHORAGE CT
BRISTOL, RI 02809

Parcel Number: 133-121
CAMA Number: 133-121
Property Address: 40 ANCHORAGE CT

Mailing Address: TAMBASCIO, LAWRENCE J. & LAURA K.
TE
40 ANCHORAGE CT
BRISTOL, RI 02809



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Parcel Number: 133-122 CAMA Number: 133-122 Property Address: 42 ANCHORAGE CT	Mailing Address: FINKENSTAEDT, TIMOTHY & MARY JO TE 42 ANCHORAGE CT BRISTOL, RI 02809
Parcel Number: 133-123 CAMA Number: 133-123 Property Address: 44 ANCHORAGE CT	Mailing Address: WALDEN, CHRISTOPHER S. KATHLEEN JT 44 ANCHORAGE CT BRISTOL, RI 02809
Parcel Number: 133-124 CAMA Number: 133-124 Property Address: 46 ANCHORAGE CT	Mailing Address: ARRUDA, JOSEPH DENISE ETUX TE 46 ANCHORAGE COURT BRISTOL, RI 02809
Parcel Number: 133-125 CAMA Number: 133-125 Property Address: 48 ANCHORAGE CT	Mailing Address: HARLOW, RICHARD J. ELIZABETH R. TE 48 ANCHORAGE COURT BRISTOL, RI 02809
Parcel Number: 133-126 CAMA Number: 133-126 Property Address: 11 JUNIPER CT	Mailing Address: HANCOCK, ROBERT D. & HANCOCK, GWENDOLYN M. TRUSTEE 11 JUNIPER CT BRISTOL, RI 02809
Parcel Number: 133-127 CAMA Number: 133-127 Property Address: 13 .5 SMITH ST	Mailing Address: JOHNSON, KEITH N DEANNE M TRUSTEE & DEANNE & K 547 WOONSOCKET HILL ROAD NORTH SMITHFIELD, RI 02896
Parcel Number: 133-128 CAMA Number: 133-128 Property Address: 61 SMITH ST	Mailing Address: DAHL, DOUGLAS M & SUSAN E TE C/O DOUGLAS DAHL 84 BAY STATE RD WESTON, MA 02493
Parcel Number: 133-129 CAMA Number: 133-129 Property Address: 57 SMITH ST	Mailing Address: GUERRERA, MATTHEW S 220 MORRISON AVE MIDDLETOWN, RI 02842
Parcel Number: 133-17 CAMA Number: 133-17 Property Address: 99 SMITH ST	Mailing Address: JANICKI, THEODORE P. 99 SMITH ST BRISTOL, RI 02809-0063
Parcel Number: 133-18 CAMA Number: 133-18 Property Address: 55 SMITH ST	Mailing Address: MATRONE, CHRISTINE F & RICHARD M TE 104 KICKEMUIT AVE BRISTOL, RI 02809
Parcel Number: 133-19 CAMA Number: 133-19 Property Address: 59 SMITH ST	Mailing Address: BIELECKI DENNIS D JANET MAY TE 570 MADISON AVE ANGOLA, NY 14006
Parcel Number: 133-20 CAMA Number: 133-20 Property Address: 53 SMITH ST	Mailing Address: BIELECKI, DENNIS & JANET TE 53 SMITH ST BRISTOL, RI 02809



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Parcel Number: 133-21
CAMA Number: 133-21
Property Address: 56 SMITH ST

Mailing Address: DAHL, DOUGLAS SUSAN
84 BAY STATE RD
WESTON, MA 02493

Parcel Number: 133-23
CAMA Number: 133-23
Property Address: 33 SMITH ST

Mailing Address: JOHNSON, KEITH N. DEANNE M., CO
TRST & KEITH N
547 WOONSOCKET HILL RD
NORTH SMITHFIELD, RI 02896

Parcel Number: 133-27
CAMA Number: 133-27
Property Address: 52 SMITH ST

Mailing Address: NYBERG, PETER H. DINGEE, SANDRA
M. TE
52 SMITH ST.
BRISTOL, RI 02809

Parcel Number: 133-42
CAMA Number: 133-42
Property Address: 16 WILCOX ST

Mailing Address: CALISE, CAROL A. LE TIROCCHI,
LAURIE J.
16 WILCOX ST
BRISTOL, RI 02809

Parcel Number: 133-43
CAMA Number: 133-43
Property Address: 10 WILCOX ST

Mailing Address: EATON, JAMES STEVEN TRUSTEE
10 WILCOX ST
BRISTOL, RI 02809

Parcel Number: 133-44
CAMA Number: 133-44
Property Address: WILCOX ST

Mailing Address: CLUKIES, DONALD F.
173 HEIDI DR
PORTSMOUTH, RI 02871

Parcel Number: 133-45
CAMA Number: 133-45
Property Address: WILCOX ST

Mailing Address: VAUGHN, MICHAEL D. TRUSTEE
8 WILCOX ST
BRISTOL, RI 02809

Parcel Number: 133-46
CAMA Number: 133-46
Property Address: 33 WILCOX ST

Mailing Address: KICKEMUIT COVE, LLC
c/o Susan Dahl 84 Bay State Road
Weston, MA 02493-2172

Parcel Number: 133-47
CAMA Number: 133-47
Property Address: 14 SMITH ST

Mailing Address: ROCHA NORMA TRUSTEE ROCHA
FAMILY REVOOCABLE TRUST
100 BEECHWOOD DRIVE
CRANSTON, RI 02921

Parcel Number: 133-48
CAMA Number: 133-48
Property Address: 30 SMITH ST

Mailing Address: RZEGOCKI, JANE E
133 MIDDLE RD
PORTSMOUTH, RI 02871

Parcel Number: 133-51
CAMA Number: 133-51
Property Address: 51 SMITH ST

Mailing Address: PRINCIPE, ELIN A LE MASSA, MELONIE
E
51 SMITH ST
BRISTOL, RI 02809

Parcel Number: 133-58
CAMA Number: 133-58
Property Address: SMITH ST

Mailing Address: DAHL, DOUGLAS & SUSAN TE
84 BAY STATE RD
WESTN, MA 02493



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Parcel Number: 133-60
CAMA Number: 133-60
Property Address: 60 SMITH ST

Mailing Address: GRAY, ELANIE M. TRUSTEE
P.O. BOX 812340
WELLESLEY, MA 02482

Parcel Number: 133-65
CAMA Number: 133-65
Property Address: 8 WILCOX ST

Mailing Address: VAUGHN, MICHAEL D. TRUSTEE
8 WILCOX ST
BRISTOL, RI 02809



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ARRUDA, JOSEPH
DENISE ETUX TE
46 ANCHORAGE COURT
BRISTOL, RI 02809

FINKENSTAEDT, TIMOTHY & M
42 ANCHORAGE CT
BRISTOL, RI 02809

LUDES, JOHN T. JR TRUSTEE
36 ANCHORAGE CT
BRISTOL, RI 02809

BIELECKI DENNIS D
JANET MAY TE
570 MADISON AVE
ANGOLA, NY 14006

GRAY, ELANIE M. TRUSTEE
P.O. BOX 812340
WELLESLEY, MA 02482

MATRONE, CHRISTINE F & RI
104 KICKEMUIT AVE
BRISTOL, RI 02809

BIELECKI, DENNIS & JANET
53 SMITH ST
BRISTOL, RI 02809

GUERRERA, MATTHEW S
220 MORRISON AVE
MIDDLETOWN, RI 02842

NYBERG, PETER H.
DINGEE, SANDRA M. TE
52 SMITH ST.
BRISTOL, RI 02809

CALISE, CAROL A. LE
TIROCCHI, LAURIE J.
16 WILCOX ST
BRISTOL, RI 02809

HANCOCK, ROBERT D. & HANC
11 JUNIPER CT
BRISTOL, RI 02809

PRINCIPE, ELIN A LE
MASSA, MELONIE E
51 SMITH ST
BRISTOL, RI 02809

CLUKIES, DONALD F.
173 HEIDI DR
PORTSMOUTH, RI 02871

HARLOW, RICHARD J.
ELIZABETH R. TE
48 ANCHORAGE COURT
BRISTOL, RI 02809

ROCHA NORMA TRUSTEE
ROCHA FAMILY REVOCABLE T
100 BEECHWOOD DRIVE
CRANSTON, RI 02921

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SUSAN
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WESTON, MA 02493

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NORTH SMITHFIELD, RI 02896

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PORTSMOUTH, RI 02871

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C/O DOUGLAS DAHL
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WESTON, MA 02493

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547 WOONSOCKET HILL RD
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BRITOL, RI 02809

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BRISTOL, RI 02809

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14 JUNIPER CT
BRISTOL, RI 02809

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GAIL STORMS LIVING TRUST
32 ANCHORAGE CT
BRISTOL, RI 02809

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40 ANCHORAGE CT
BRISTOL, RI 02809

VAUGHN, MICHAEL D. TRUSTE
8 WILCOX ST
BRISTOL, RI 02809

WALDEN, CHRISTOPHER S.
KATHLEEN JT
44 ANCHORAGE CT
BRISTOL, RI 02809

WALLACE-TOOHEY, KATHRYN D
34 ANCHORAGE CT
BRISTOL, RI 02809

WEINSTEIN, JUNE T.
31 SMITH ST
BRISTOL, RI 02809