



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2024-31

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, October 7, 2024

at 7:00 P.M.

Bristol Town Hall

10 Court Street

APPLICANT: **Franklin Dennis McCool**
PROPERTY OWNER: **Franklin Dennis McCool and Jacqueline M. Savoie**
LOCATION: **188 Poppasquash Road**
PLAT: **179** LOT: **141**
ZONE: **Residential R-40**

APPLICANT IS REQUESTING A **DIMENSIONAL VARIANCE**: to construct a 30ft. x 32ft. accessory garage structure at a size greater than permitted for accessory structures in the Residential R-40 zoning district.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, October 3, 2024.



Town of Bristol, Rhode Island

Department of Community Development Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2024 AUG 26 AM 9:22

APPLICATION

File No: 2024-31

Accepted by ZEO: EMT 8/26/24

APPLICANT:	Name:	Franklin McCool		
	Address:	188 Poppasquash Road		
	City:	Bristol	State:	RI Zip: 02809
	Phone #:		Email:	
PROPERTY OWNER:	Name:	Franklin McCool		
	Address:	188 Poppasquash Road		
	City:	Bristol	State:	RI Zip: 02809
	Phone #:	401-258-1191	Email:	F-McCool@Brown.edu

- Location of subject property: 188 Poppasquash Road
Assessor's Plat(s) #: 179 Lot(s) #: 141
- Zoning district in which property is located: R-40
- Zoning Approval(s) required (check all that apply):
☒ Dimensional Variance(s) ☐ Special Use Permit ☐ Use Variance
- Which particular provisions of the Zoning Ordinance is applicable to this application?
Dimensional Variance Section(s): Proposed garage structure is 30' x 32'
Special Use Permit Section(s):
Use Variance Section(s):
- In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
- How long have you owned the property? 10 years
- Present use of property: Residence
- Is there a building on the property at present? Yes
- Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):
38' x 102' 8472 sq ft
- Proposed use of property: Residence

11. Give extent of proposed alterations: 4 Feet Added Depth
4 Feet Added Length

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
30' x 32' Height 18' 960 square Ft

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required Setback: _____	Proposed Setback: _____
Building height:	Required: _____	Proposed: _____
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: <u>26' x 28'</u>	Proposed: <u>30' x 32'</u>	

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? Yes
If yes, has he refused a permit? Requests Dimensional VARIANCE
If refused, on what grounds? _____

15. Are there any easements on your property? No (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: Well Sewer: Septic System

17. Is the property located in the Bristol Historic District or is it an individually listed property? No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: Franklin Dennis McCool Date: 8/23/24

Print Name: Franklin Dennis McCool

Property Owner's Signature: Franklin Dennis McCool Date: 8/23/24

Print Name: Franklin Dennis McCool

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: Sophia Toun Phone #: 401 837-7871

Address: _____

8/23/2024

Dear Zoning Board Members,

I am requesting a dimensional variance for the proposed garage/barn structure for 188 Poppasquash Road. The proposed structure is 30 X 32 feet and the allowable dimensions are 26 x 28 feet. We are requesting the added square footage to accommodate a tractor and its attachments which include a front-loading bucket, backhoe, lifting forks, snowplow and brush hog mower. These items are now stored outdoors on our property. The added square footage is needed to store all these items indoors. We want to store the items indoors to avoid damage from outdoor elements, prolong their utility and for aesthetic reasons.

Thank you for considering this application.



Sincerely

F. Dennis McCool

188 Poppasquash Road

Bristol, RI 02809

8/23/2024

Dear Zoning Board Members,

I will not be able to attend the Zoning Board meeting scheduled for October 7, 2024. I would like Sopath Toun from Soto Design, Warren RI to act as my representative. She is knowledgeable of the project and has been involved with the site plan and choosing the structure. Her phone number is 401 837-7871 and email st@soto-design.com.

Sincerely

A handwritten signature in black ink, appearing to read "F. Dennis McCool". The signature is fluid and cursive, with a long, sweeping tail on the last name.

F. Dennis McCool

188 Poppasquash Road

Bristol, RI 02809

► **Owner**

► Owner Account #: 13-1504-32

Owner 1 MCCOOL, F. DENNIS TRUSTEE (20%) &

Owner 2 SAVOIE, JACQUELINE M. TRUSTEE (80%) TC

Owner 3

Address 188 POPPASQUASH RD, BRISTOL, RI 02809

% Owned

► Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
01	3,232,000	82,800	6.70	1,773,600	0	5,088,400
TOTAL	3,232,000	82,800	6.70	1,773,600	0	5,088,400

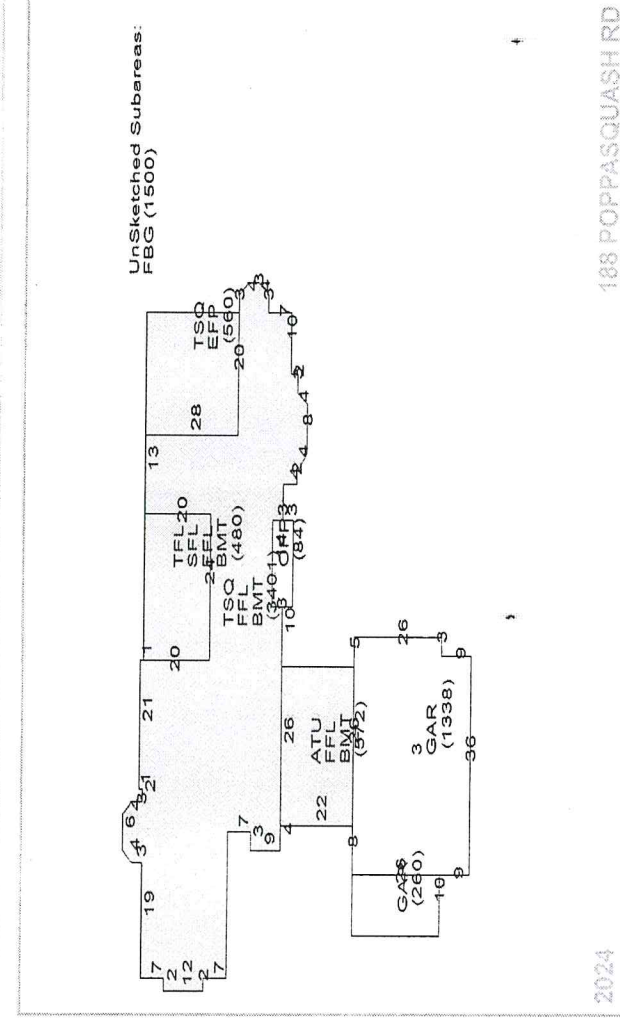
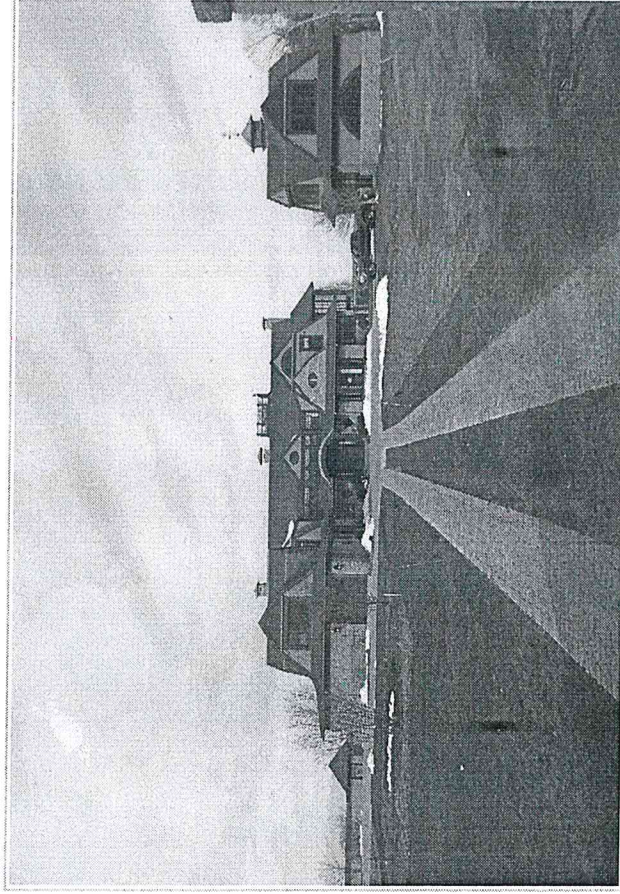
Source >	Mkt Adj Cost	VAL per SQ Unit/Card >	280.42	VAL per SQ Unit/Parcel >	280.42
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► Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2024	01	3,232,000	82,800	7	1,773,600	0	5,088,400	5,088,400
2023	01	3,232,000	82,800	7	1,773,600	0	5,088,400	5,088,400
2022	01	3,232,000	82,800	7	1,773,600	0	5,088,400	5,088,400
2021	01	3,119,000	82,800	7	1,871,700	0	5,073,500	5,073,500
2020	01	3,116,300	78,300	7	1,871,700	0	5,066,300	5,066,300
2019	01	3,116,300	60,100	7	1,871,700	0	5,048,100	5,048,100

► Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
MCCOOL, FRANKLIN DENNIS & SAVOIE, JACQUELINE	09/13/2023	0	2223-103		W
MCCOOL, FRANKLIN DENNIS & SAVOIE, JACQUELINE	03/06/2015	0	1793-084	L	O
MCCOOL, FRANKLIN DENNIS TC	10/20/2014	0	1776-81		
MCCOOL, FRANKLIN DENNIS & SAVOIE, JACQUELINE	07/09/2014	0	1764-0003	L	Dee
LEONARD, ARTHUR J. TRUSTEE	06/25/2014	0	1761-170	A	T



► Land Information

[illegible]

Area Detail

Area	Fin. Area	Rate	Undep. Val.
4,453	4,453	98.85	440,175
2,971	2,971	98.85	293,655
1,500	1,500	24.71	37,065
480	480	98.85	47,445
480	480	98.85	47,445
1,338	0	0.00	0
4,453	0	14.83	66,039
	560	0 15.11	8,462
1,598	0	39.19	55,940
18,146	9,884		999,856

► **Notes**
Memo of Trust Bk 1724 P
ALLOW ENTRY STATED

Item	Unit	Quantity	Unit Price	Total Price	Status
1	kg	80	1.25	100.00	Closed
2	kg	0	1.25	0.00	Closed
3	kg	0	1.25	0.00	Closed
4	kg	0	1.25	0.00	Closed
5	kg	0	1.25	0.00	Closed
6	kg	0	1.25	0.00	Closed
7	kg	0	1.25	0.00	Closed
8	kg	0	1.25	0.00	Closed
9	kg	0	1.25	0.00	Closed
10	kg	0	1.25	0.00	Closed
11	kg	0	1.25	0.00	Closed
12	kg	0	1.25	0.00	Closed
13	kg	0	1.25	0.00	Closed
14	kg	0	1.25	0.00	Closed
15	kg	0	1.25	0.00	Closed
16	kg	0	1.25	0.00	Closed
17	kg	0	1.25	0.00	Closed
18	kg	0	1.25	0.00	Closed
19	kg	0	1.25	0.00	Closed
20	kg	0	1.25	0.00	Closed
21	kg	0	1.25	0.00	Closed
22	kg	0	1.25	0.00	Closed
23	kg	0	1.25	0.00	Closed
24	kg	0	1.25	0.00	Closed
25	kg	0	1.25	0.00	Closed
26	kg	0	1.25	0.00	Closed
27	kg	0	1.25	0.00	Closed
28	kg	0	1.25	0.00	Closed
29	kg	0	1.25	0.00	Closed
30	kg	0	1.25	0.00	Closed
31	kg	0	1.25	0.00	Closed
32	kg	0	1.25	0.00	Closed
33	kg	0	1.25	0.00	Closed
34	kg	0	1.25	0.00	Closed
35	kg	0	1.25	0.00	Closed
36	kg	0	1.25	0.00	Closed
37	kg	0	1.25	0.00	Closed
38	kg	0	1.25	0.00	Closed
39	kg	0	1.25	0.00	Closed
40	kg	0	1.25	0.00	Closed
41	kg	0	1.25	0.00	Closed
42	kg	0	1.25	0.00	Closed
43	kg	0	1.25	0.00	Closed
44	kg	0	1.25	0.00	Closed
45	kg	0	1.25	0.00	Closed
46	kg	0	1.25	0.00	Closed
47	kg	0	1.25	0.00	Closed
48	kg	0	1.25	0.00	Closed
49	kg	0	1.25	0.00	Closed
50	kg	0	1.25	0.00	Closed
51	kg	0	1.25	0.00	Closed
52	kg	0	1.25	0.00	Closed
53	kg	0	1.25	0.00	Closed
54	kg	0	1.25	0.00	Closed
55	kg	0	1.25	0.00	Closed
56	kg	0	1.25	0.00	Closed
57	kg	0	1.25	0.00	Closed
58	kg	0	1.25	0.00	Closed
59	kg	0	1.25	0.00	Closed
60	kg	0	1.25	0.00	Closed
61	kg	0	1.25	0.00	Closed
62	kg	0	1.25	0.00	Closed
63	kg	0	1.25	0.00	Closed
64	kg	0	1.25	0.00	Closed
65	kg	0	1.25	0.00	Closed
66	kg	0	1.25	0.00	Closed
67	kg	0	1.25	0.00	Closed
68	kg	0	1.25	0.00	Closed
69	kg	0	1.25	0.00	Closed
70	kg	0	1.25	0.00	Closed
71	kg	0	1.25	0.00	Closed
72	kg	0	1.25	0.00	Closed

Order Size	Quantity	Cost
1	4	10
60	0	10
800	5	10
596	4	10
594	4	10

Disclaimer - This Inform

Disclaimer - This Information is believed to be correct, but is subject to change and is not warranted.



188 Poppasquash Road - 300' Radius

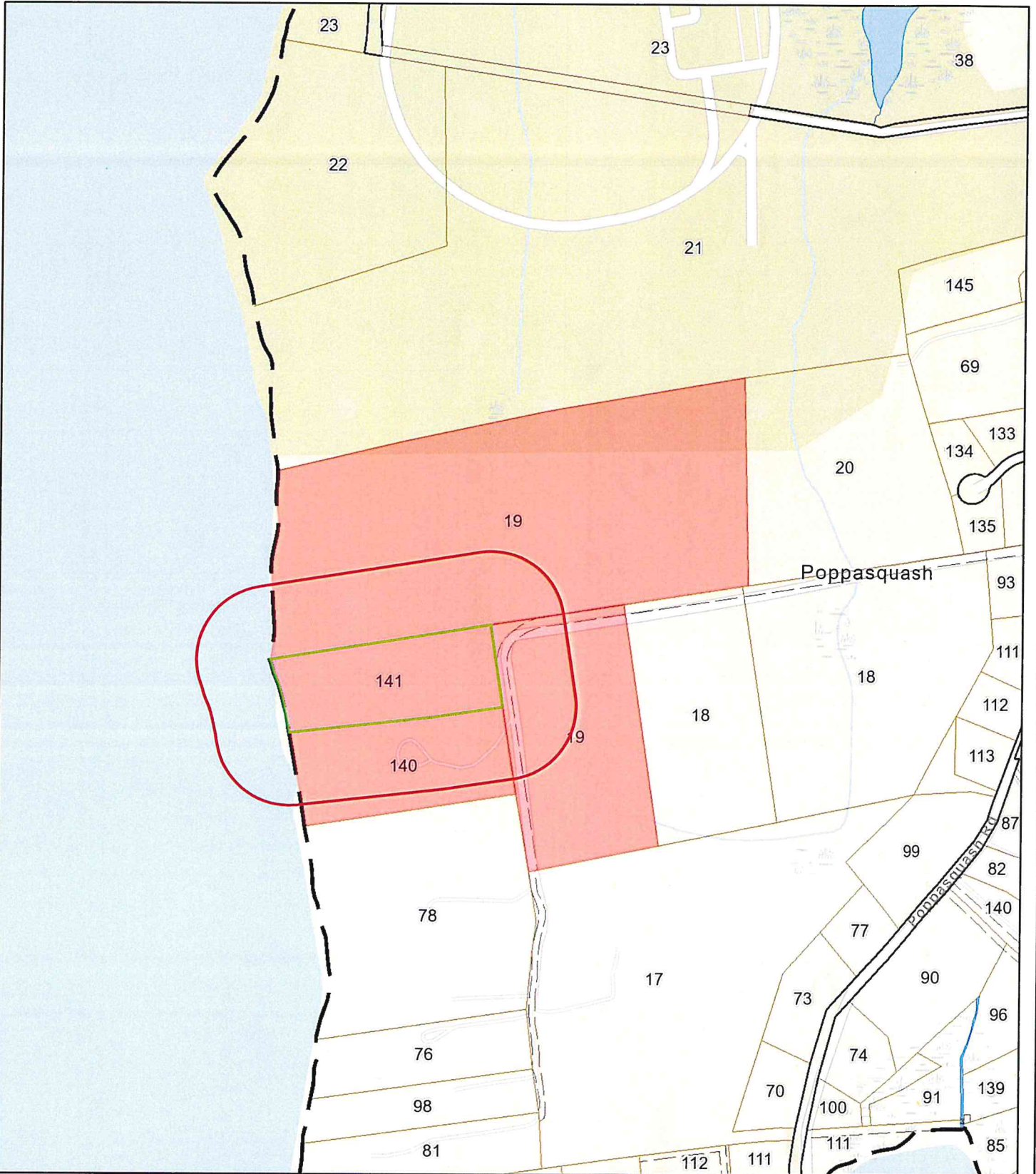
Bristol, RI



www.cai-tech.com

1 inch = 563 Feet

September 5, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
September 05, 2024

Subject Property:

Parcel Number: 179-141
CAMA Number: 179-141
Property Address: 188 POPPASQUASH RD

Mailing Address: MCCOOL, F. DENNIS TRUSTEE (20%) &
SAVOIE, JACQUELINE M. TRUSTEE
(80%) TC
188 POPPASQUASH RD
BRISTOL, RI 02809

Abutters:

Parcel Number: 179-140
CAMA Number: 179-140
Property Address: 182 POPPASQUASH RD

Mailing Address: SANBROEK, LLC
PO BOX 842
BRISTOL, RI 02809

Parcel Number: 179-141
CAMA Number: 179-141
Property Address: 188 POPPASQUASH RD

Mailing Address: MCCOOL, F. DENNIS TRUSTEE (20%) &
SAVOIE, JACQUELINE M. TRUSTEE
(80%) TC
188 POPPASQUASH RD
BRISTOL, RI 02809

Parcel Number: 179-19
CAMA Number: 179-19
Property Address: 187 POPPASQUASH RD

Mailing Address: PERRY, GREGORY DAVID & PERRY,
CHERYL RODERICK TE
187 POPPASQUASH RD
BRISTOL, RI 02809

Parcel Number: 180-19
CAMA Number: 180-19
Property Address: STATE

Mailing Address: DEM PARKS AND RECREATION 1100
TOWER HILL RD
ATTN: KIMBERLY LAPIERRE
NORTH KINGSTOWN, RI 02852



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9/5/2024

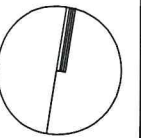
Page 1 of 1

DEM PARKS AND RECREATION
1100 TOWER HILL RD
ATTN: KIMBERLY LAPIERRE
NORTH KINGSTOWN, RI 02852

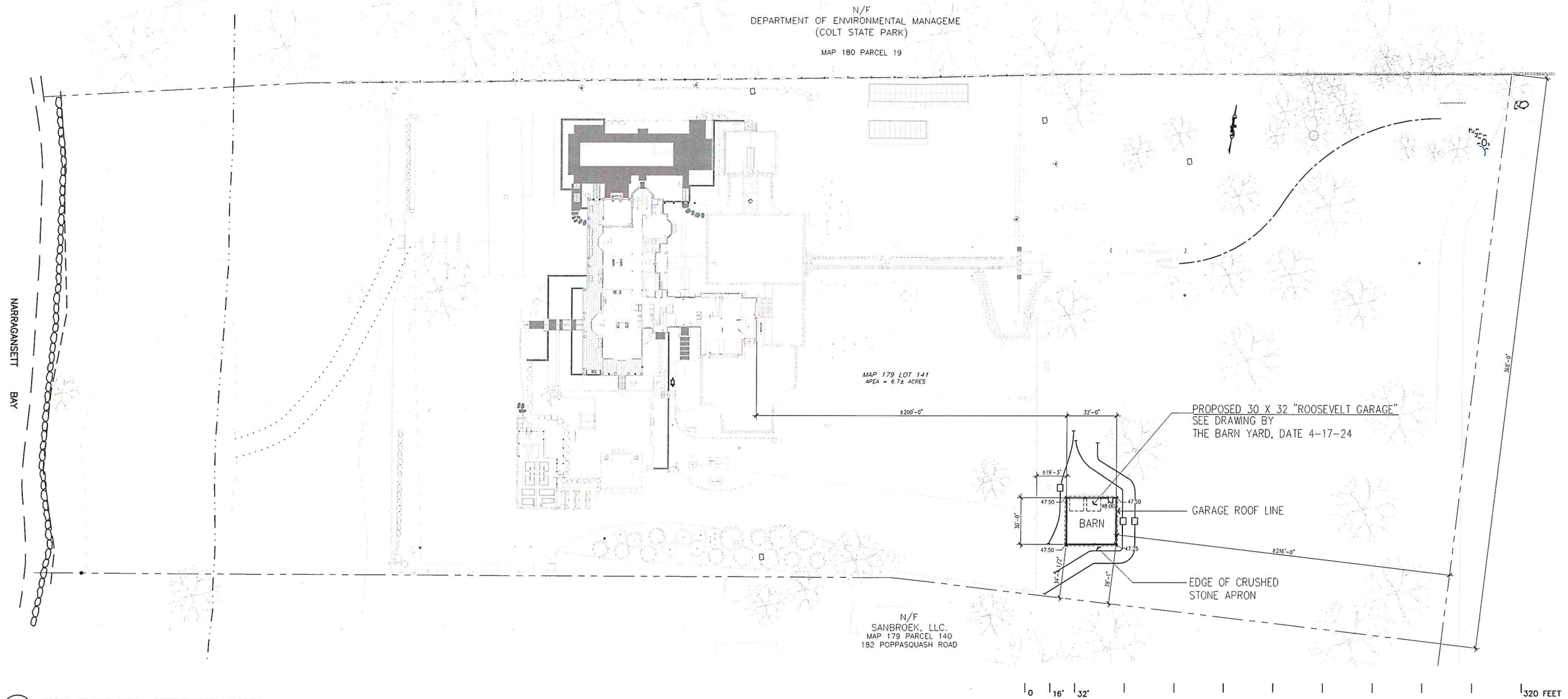
MCCOOL, F. DENNIS TRUSTEE
SAVOIE, JACQUELINE M. TRU
188 POPPASQUASH RD
BRISTOL, RI 02809

PERRY, GREGORY DAVID &
PERRY, CHERYL RODERICK T
187 POPPASQUASH RD
BRISTOL, RI 02809

SANBROEK, LLC
PO BOX 842
BRISTOL, RI 02809



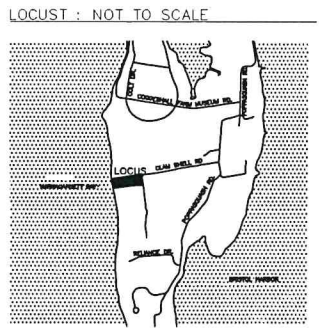
SUNDOWN OAK
188 POPPASQUASH ROAD BRISTOL, RHODE ISLAND



○ SITE PLAN WITH PROPOSED BARN
SCALE: 1/32" = 1'-0"

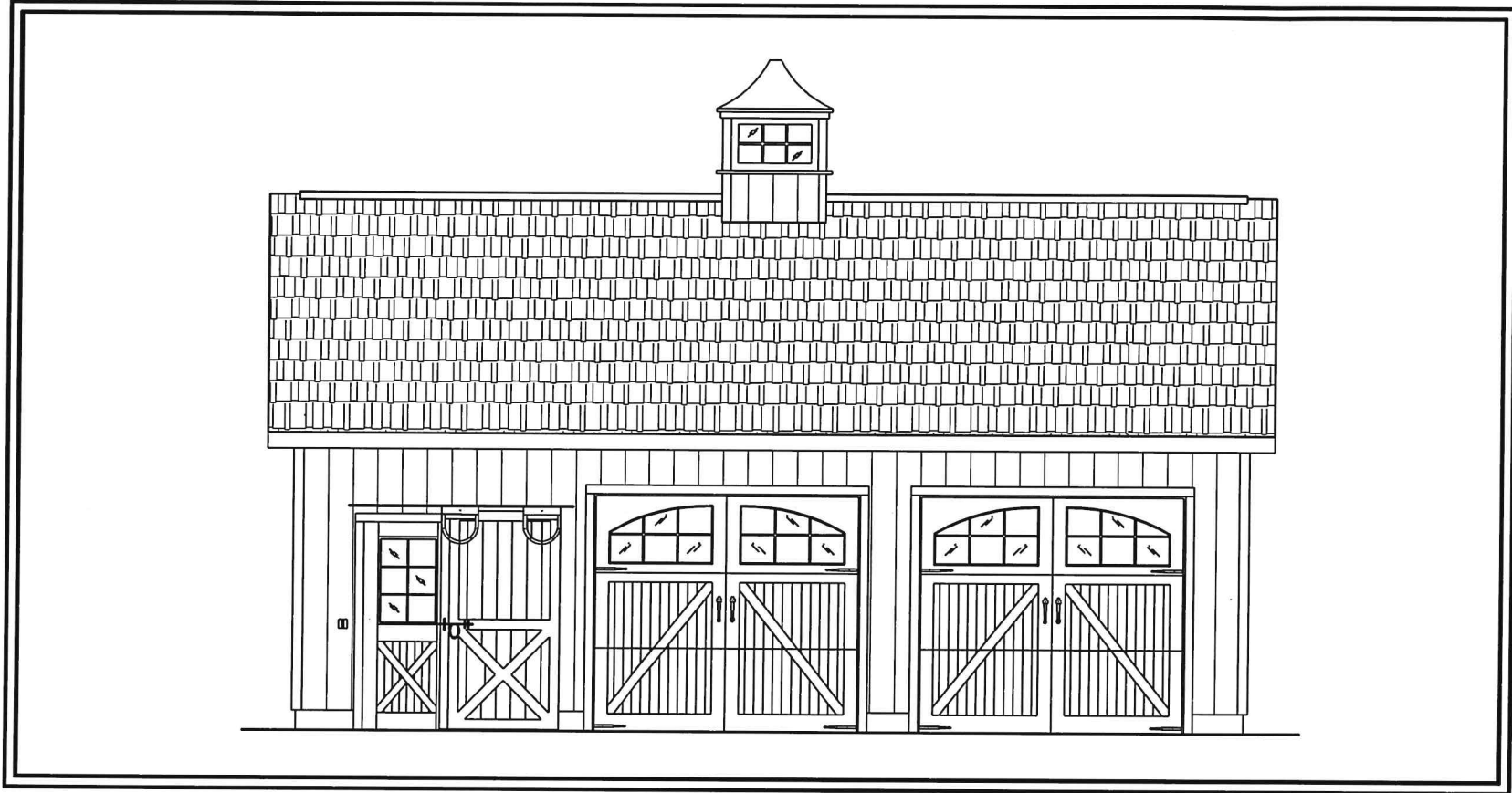
DATE: 08-14-24

ZONING REQUIREMENTS:	
ZONING DISTRICT : RESIDENTIAL R40	
LOT AREA	6.7 Acres ±
FRONT YARD SETBACK	40 FT.
SIDE YARD SETBACK	25 FT.
REAR YARD SETBACK	40 FT.
MAX. BUILDING HEIGHT	35 FT.
LOT MAX. BLDG. OCCUPATION %	20 %



ROOSEVELT GARAGE FOR:
SOPATH TOUN

188 POPPASQUASH ROAD
BRISTOL, RI 02809



30' X 32 1-1/2 STORY CUSTOM GARAGE

DESIGN DATA:

GROUND SNOW LOAD:	30 PSF
SECOND FLOOR LIVE LOAD:	40 PSF
ULTIMATE WIND SPEED: V(ULT)	120 MPH (3-SEC. GUST)
BUILDING CODE REFERENCE:	RISBC-2 RHODE ISLAND 1 & 2 FAMILY DWELLING CODE 2018 INTERNATIONAL RESIDENTIAL CODE

FABRICATED BY:



DRAWING LIST

COVER	TITLE SHEET & DESIGN DATA
SHEET 1	FRONT & LEFT ELEVATIONS
SHEET 2	RIGHT & REAR ELEVATIONS
SHEET 3	FOUNDATION PLAN & DETAILS
SHEET 4	FIRST FLOOR PLAN
SHEET 5	ROOF FRAMING PLAN & NOTES
SHEET 6	BUILDING SECTION
SHEET 7	SHEAR WALL SECTION & DETAILS
SHEET 8	TRUSS INFORMATION

THE BARN YARD

SHOWCASE LOCATION
RTE. 83 120 WEST ROAD
ELLINGTON, CT 06029
860-896-0636

HEADQUARTERS
9 VILLAGE STREET
ELLINGTON, CT 06029
860-454-9103

SHOWCASE LOCATION
RTE. 6 BETHEL, CT
203-740-7433

CT LICENSE # 558916
MALICENSE # 127550

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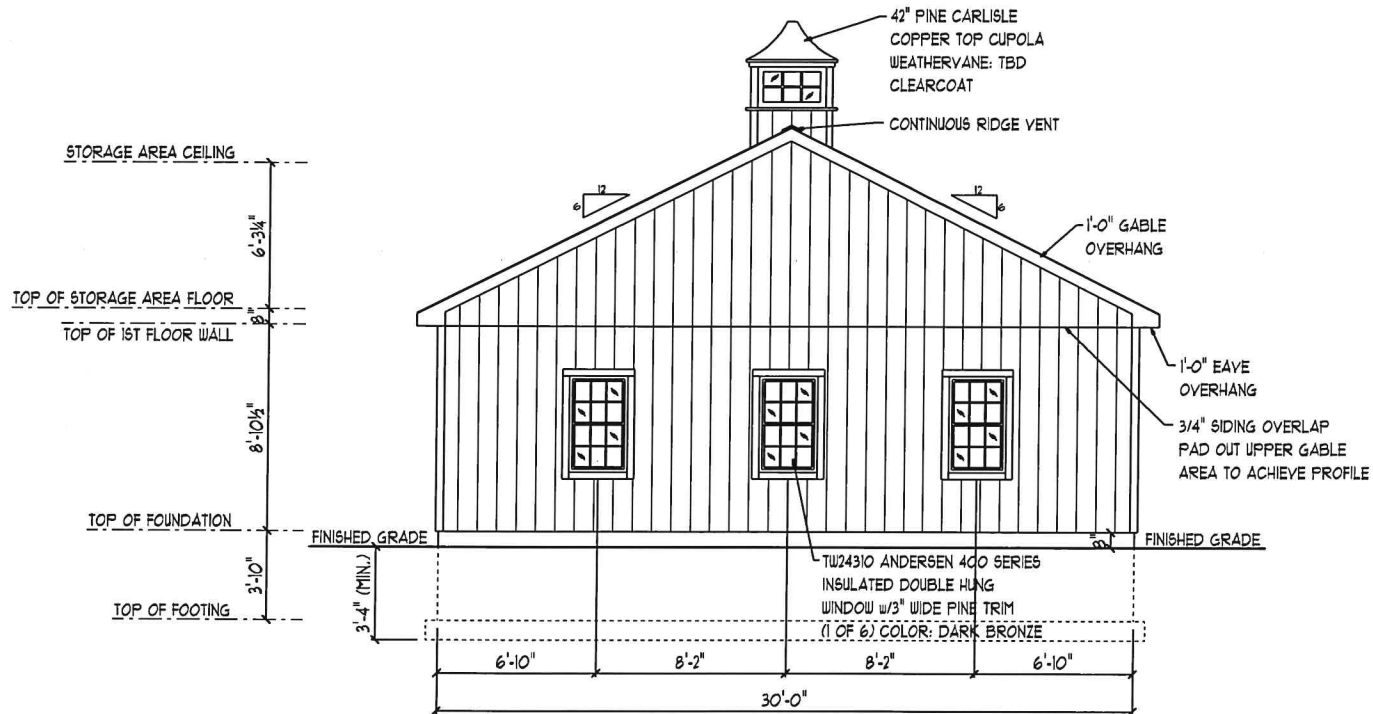
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PROJECT NO. 10358

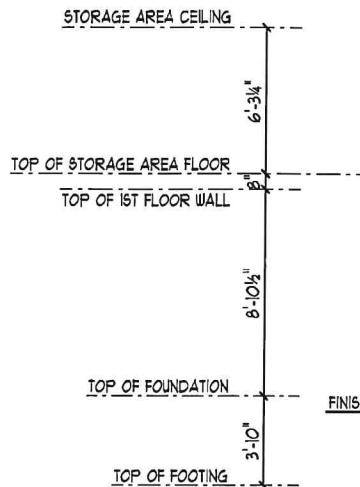
PRINT DATE: 4/17/24

BUILDING MATERIAL SCHEDULE		
ITEM	DESCRIPTION	FINISH/COLOR
ROOF ASSEMBLY		
ROOF SHEATHING	1/2" CDX PLYWOOD	NA
WEATHER BARRIER	SYNTHETIC ROOF UNDERLAYMENT	NA
ROOFING	30YR TAMKO ARCHITECTURAL SHINGLES	AGED WOOD
EAVE OVERHANGS	1'-0" PINE SOFFIT w/2" WIDE CONT. VENT STRIP (BROWN)	UNPRIMED
FASCIAS	PINE	UNPRIMED
GABLE OVERHANGS	1'-0" w/SOLID PINE SOFFIT	UNPRIMED
RAKES	PINE	UNPRIMED
RIDGEVENT	CONTINUOUS ROLLED VENT	NA
WALL ASSEMBLY		
INT. SIDING	NONE	NA
FRAMING	2X6 SPRUCE	NA
SHEATHING	1/2" CDX PLYWOOD	NA
WEATHER BARRIER	TYVEK BUILDING WRAP	NA
SPACER	1X3 FURRING STRIP @ 24" O.C.	NA
EXT. SIDING	1X10 VERTICAL SHIPLAP PINE	UNPRIMED
OHD JAMB & TRIM	PINE	UNPRIMED
WINDOW & DOOR TRIM	PINE	UNPRIMED
SHUTTERS	NONE	NA

NOTE: ALL 1X PINE FOR FASCIAS, RAKES, SOFFITS AND TRIM SHALL BE CUT FROM 1X8 PINE SHIPLAP SIDING



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE						
MANUFACTURER	MODEL #	TEMP	QTY	ROUGH OPENING	COLOR	GRILLES
ANDERSEN 400 SERIES	TW24310	NO	6	2'-6 1/4" X 4'-1"	BRONZE	GBG

DOOR SCHEDULE								
MANUFACTURER	MODEL #	SIZE	HINGE	SWING	QTY	ROUGH OPENING	COLOR	DESCRIPTION
CUSTOM	SPANISH CEDAR	3070	L	IN	1	38 1/2" X 86 1/2"	UNPRIMED	6-LITE HALF GLASS
CUSTOM	SLIDING PINE	4' X 1'-6"			1	4' X 1'-6"	UNPRIMED	SLIDING PINE w/CROSSBUCKS ON AUTHENTIC HORSEHOE TRACK
CUSTOM	SPANISH CEDAR	9' X 8'			2	9'-1" X 8'-3/4"	UNPRIMED	ARCHED GLASS & Z-BRACE w/DECORATIVE STRAP HINGES & HANDLES AND GALVANIZED TRACKS

SEALED BY:

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THE BARN YARD
HEADQUARTERS
9 VILLAGE STREET
ELLINGTON, CT 06029
860-898-0635
CT LICENSE # 558916
MALICENSE # 177550
WWW.GREATCOUNTRYGARAGES.COM

SHOWCASE LOCATIONS
RTE 83/20 WEST ROAD
ELLINGTON, CT 06029
860-898-0635

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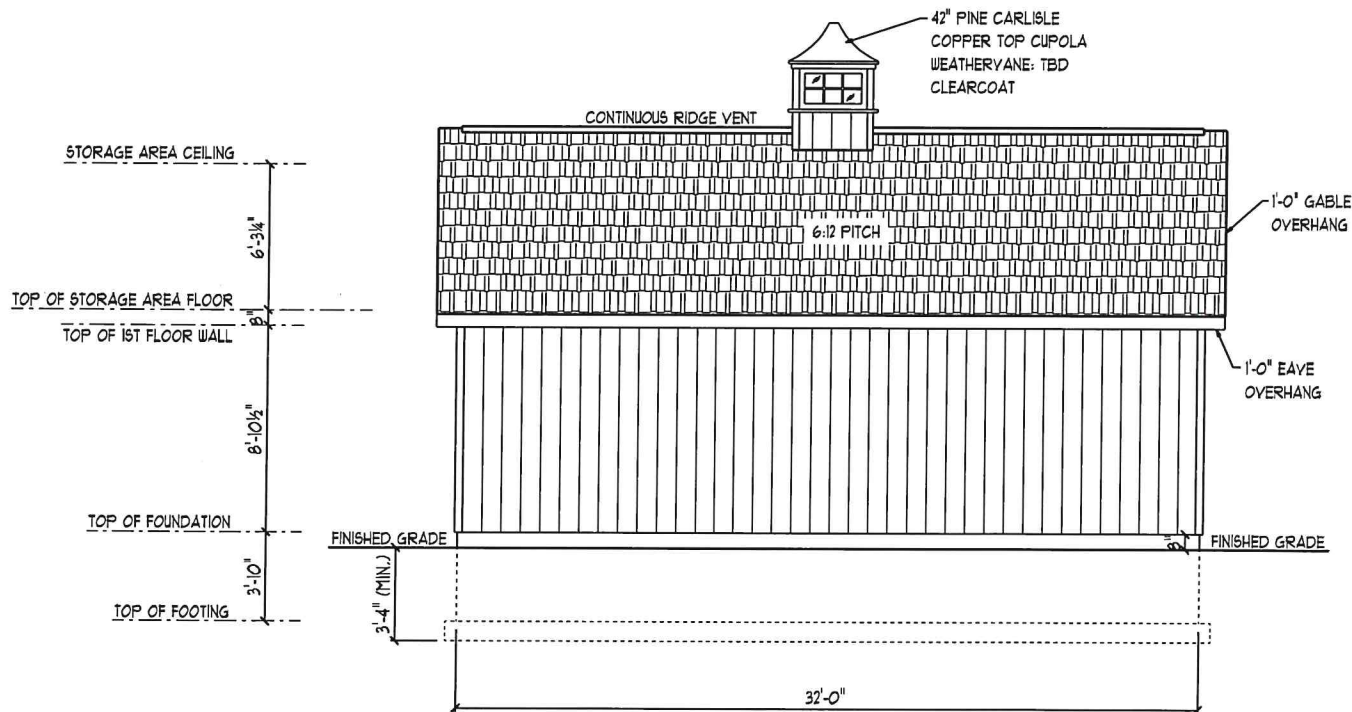
THE BARN YARD

ROOSEVELT GARAGE FOR:
SOPATH TOWN
188 POPPASQUASH ROAD
BRISTOL, RI 02803

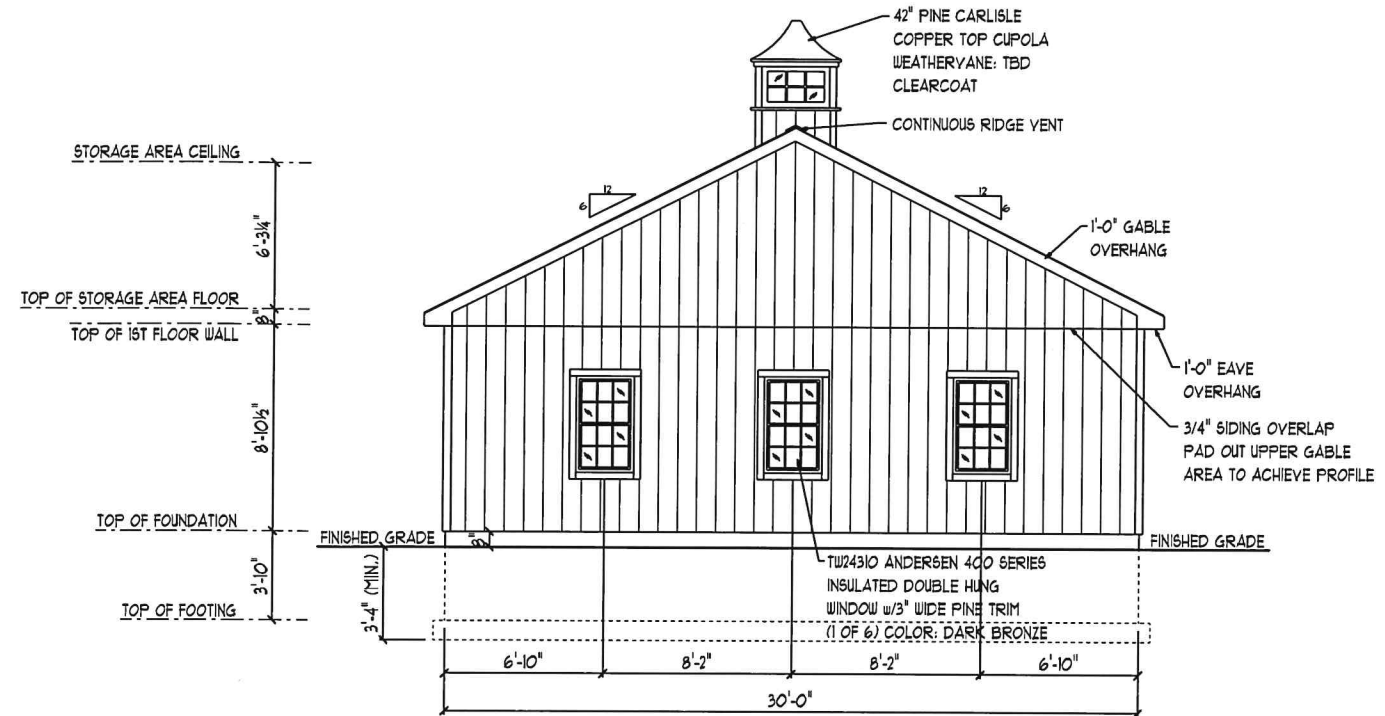
FRONT & LEFT ELEVATIONS
STYLE:
ROOSEVELT

JOB NO: 10358
DATE: 4/17/24
SCALE: AS NOTED
DRAWN BY: KRO
CHECKED BY: JRO

DRAWING #
A-1 OF 8



REAR ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

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FABRICATED BY:

The BARN YARD

ROOSEVELT GARAGE FOR:

SOPATH TOWN
188 POPPASQUASH ROAD
BRISTOL, RI 02803

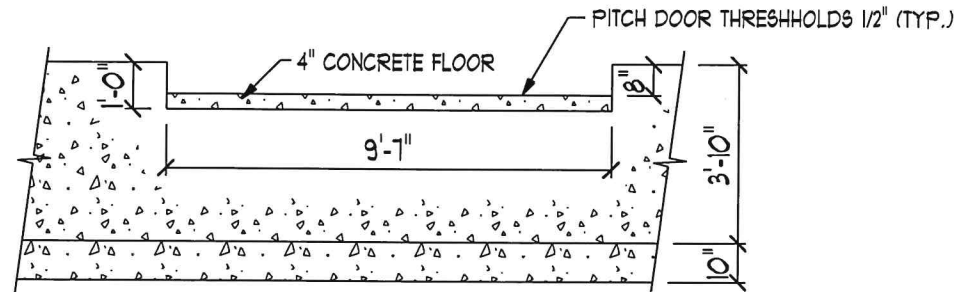
RIGHT & REAR ELEVATIONS

STYLE:
ROOSEVELT

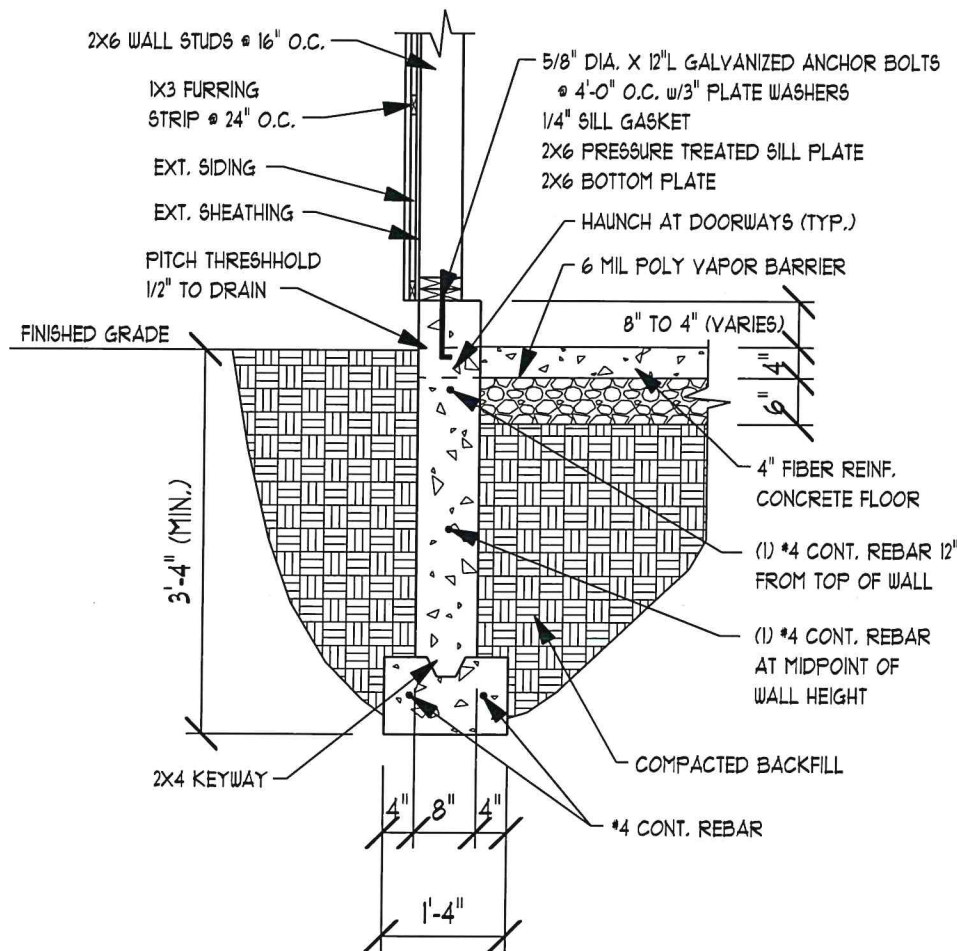
JOB NO: 10358
DATE: 4/17/24
SCALE: AS NOTED
DRAWN BY: KRO
CHECKED BY: JRO

SEALED BY:

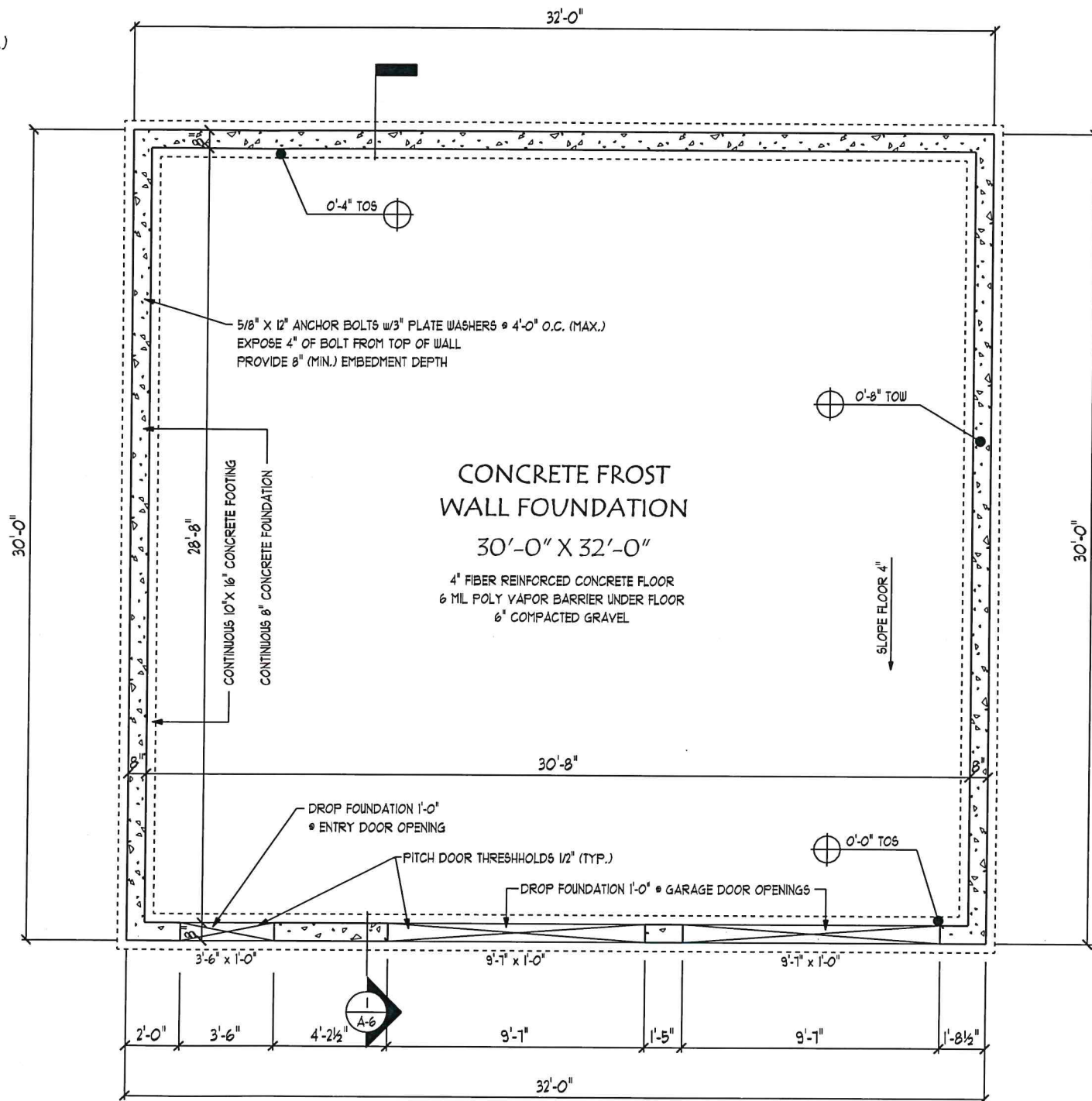
DRAWING #
A-2 OF 8



FOUNDATION DETAIL @ OH DOOR
SCALE: 1/4" = 1'-0"



FOUNDATION SECTION DETAIL
SCALE: 1/2" = 1'-0"



FOUNDATION PLAN
SCALE: 3/16" = 1'-0"

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THE BARN YARD

ROOSEVELT GARAGE FOR:
SOPATH TOWN
188 POPPASQUASH ROAD
BRISTOL, RI 02809

FOUNDATION PLAN
STYLE:
ROOSEVELT

JOB NO: 10358

DATE: 4/17/24

SCALE: AS NOTED

DRAWN BY: KRO

CHECKED BY: JRO

SEALED BY:

DRAWING #
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STRUCTURAL NOTES:

ALL WORK SHALL CONFORM TO THE CURRENT REQUIREMENTS OF THE RISD-CI RHODE ISLAND ONE AND TWO FAMILY DWELLING CODES. DIMENSIONS AND DETAILS SHALL BE CHECKED AGAINST ENGINEERING DRAWINGS. THE CONTRACTOR SHALL VERIFY AND COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS, BUEYES AND ANCHOR BOLTS AS REQUIRED BY ALL TRACES (PRINTS NOT SPECIFICALLY SHOWN SHALL BE APPROVED BY THE ENGINEER). ALL WORK TO CONFORM TO ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES AND REGULATIONS, AND THE OBTAINING OF DESIGNATED CONTRACTORS SHALL SECURE APPROPRIATE PERMITS REQUIRED BEFORE COMMENCEMENT OF ACTUAL CONSTRUCTION. ALL CONTRACTORS, SUBCONTRACTORS, SUPPLIERS AND ALL OTHER PERSONS ENGAGED IN ANY CAPACITY ON THIS PROJECT SHALL BE SUBJECT TO PROVISIONS OF THE OSHA (OCCUPATIONAL SAFETY AND HEALTH) ADMINISTRATION WHICH IS ADMINISTERED AND ENFORCED BY U.S. DEPARTMENT OF HEALTH.

FOUNDATIONS:

ALL FOOTINGS SHALL BEAR ON UNDISTURBED NATURAL MATERIAL OR GRANULAR FILL. ELEVATIONS OF BOTTOM OF FOOTING SHOWN ON PLANS ARE FOR BIDDING PURPOSES AND SHALL BE LOWERED IF NECESSARY TO THE REQUIRED BEARING MATERIAL AS FOUND FROM EXCAVATION. IF THE REQUIRED BEARING MATERIAL IS NOT ENCOUNTERED AT ELEVATIONS SHOWN, NOTIFY ENGINEER IMMEDIATELY. CONTROLLED BACK FILL AND COMPACTION IF REQUIRED. A. SCOPE: WHERE UNACCEPTABLE MATERIAL MUST BE REMOVED AND REPLACED WITH PROPER MATERIAL. A CONTROLLED PROCEDURE MUST BE FOLLOWED TO ENSURE PROPER BEARING FOR THE BUILDING. B. FILLING AND GRADING: BEFORE BACK FILLING, REMOVE CONSTRUCTION DEBRIS, STUMPS, TREES, ROOTS, SCD, HEAVY GRASS, DECAYED VEGETABLE MATTER AND OTHER UNSUITABLE MATERIALS. FILL MATERIAL SHALL BE AS APPROVED BY THE ENGINEER. C. CONSTRUCTION METHODS: AFTER DEPOSITING FILL OR BACK FILL IN 1 FOOT LIFTS, WELL DAMMED IN CONTACT TO THE FOLLOWING PERCENT OPTIMUM DENSITY. THE DRY DENSITY AFTER COMPACTION SHALL NOT BE LESS THAN 95% OF THE DRY DENSITY FOR THAT SOIL WHEN TESTED IN ACCORDANCE WITH ASTM D1557, METHOD C. IN T-48 TEST, MATERIALS OBTAINED ON THE THREE-QUARTER BIEVE SHALL BE REPLACED WITH MATERIAL RETAINED ON THE NO. 4 BIEVE, AS NOTED AS AN OPTION IN THE SPECIFICATIONS FOR THIS TEST. D. FIELD TESTS: PERFORM ONE FIELD DENSITY TEST FOR EACH SOURCE OF FILL MATERIAL, PERFORMED IN ACCORDANCE WITH ASTM D1556. PERFORM STANDARD FIELD DENSITY TESTS EACH OF AN ACCURACY OF PLUS OR MINUS ONE PERCENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER AND TESTING LABORATORY WHEN EACH LAYER OF FILL IS TO BE IN PLACE AND READY FOR TESTING. THE CONTRACTOR SHALL ALLOW 48 HOURS FOR TESTING. IF ANY FILL IS PLACED IN EXCESS OF SIXTEEN (16) INCHES WITHOUT TESTING, IT SHALL BE SUBJECT TO REMOVAL. BIEVE ANALYSIS SHALL BE AT THE CONTRACTOR'S EXPENSE. E. OBSERVATION: ALL EXCAVATION OF UNACCEPTABLE MATERIAL, INSTALLATION OF CONTROLLED FILL, COMPACTION, FIELD TESTING AND LABORATORY TESTING SHALL BE DONE UNDER THE SUPERVISION OF A TESTING LABORATORY WHO SHALL PROVIDE WRITTEN REPORTS OF ALL PHASES OF THE WORK TO THE ENGINEER.

REINFORCED CONCRETE:

ALL CONCRETE WORK SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 318-02). CONCRETE SHALL BE 3000 P.S.I. NORMAL WEIGHT. ALL REINFORCING SHALL BE HIGH STRENGTH, DEFORMED BARS ASTM A 615-GRADE 60. DETAIL ALL BARS IN ACCORDANCE WITH "ACI DETAILING MANUAL," PART 1, SHOWN ON THE PLACING DRAWINGS. THE NUMBER AND LOCATION OF ALL BAR SUPPORTS AND ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT IN POSITIONS INDICATED. PROVIDE CONCRETE PROTECTION FOR REINFORCEMENT WHEN NOT OTHERWISE INDICATED SHALL BE: 1" FOR CONCRETE POURED AGAINST EARTH 2" FOR CONCRETE POURED IN FORMS BUT EXPOSED TO EARTH OR WEATHER. 1 1/2" FOR BARS #5 AND SMALLER 2" FOR BARS LARGER THAN #5 1 1/2" FOR PIERS 3/4" FOR SLABS AND WALLS NOT EXPOSED TO EARTH OR WEATHER NO SPICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. LAP SPICES WHERE PERMITTED SHALL BE A MINIMUM OF 36 BAR DIAMETERS UNLESS SHOWN OTHERWISE. MAKE ALL BARS CONTINUOUS AROUND CORNERS. PROVIDE 2x5 (1 EACH FACE) WITH 2'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE. JOISTS SHOWN OTHERWISE. SLABS, BEAMS AND WALLS SHALL HAVE NO JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT CENTER OF SPAN OR AT CENTER OF SUPPORT WITH VERTICAL BULKHEADS, HORIZONTAL KEYS AND REINFORCING CONTINUING THROUGH. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR AS APPROVED BY THE STRUCTURAL ENGINEER.

GRADES AND SPECIES OF WOOD:

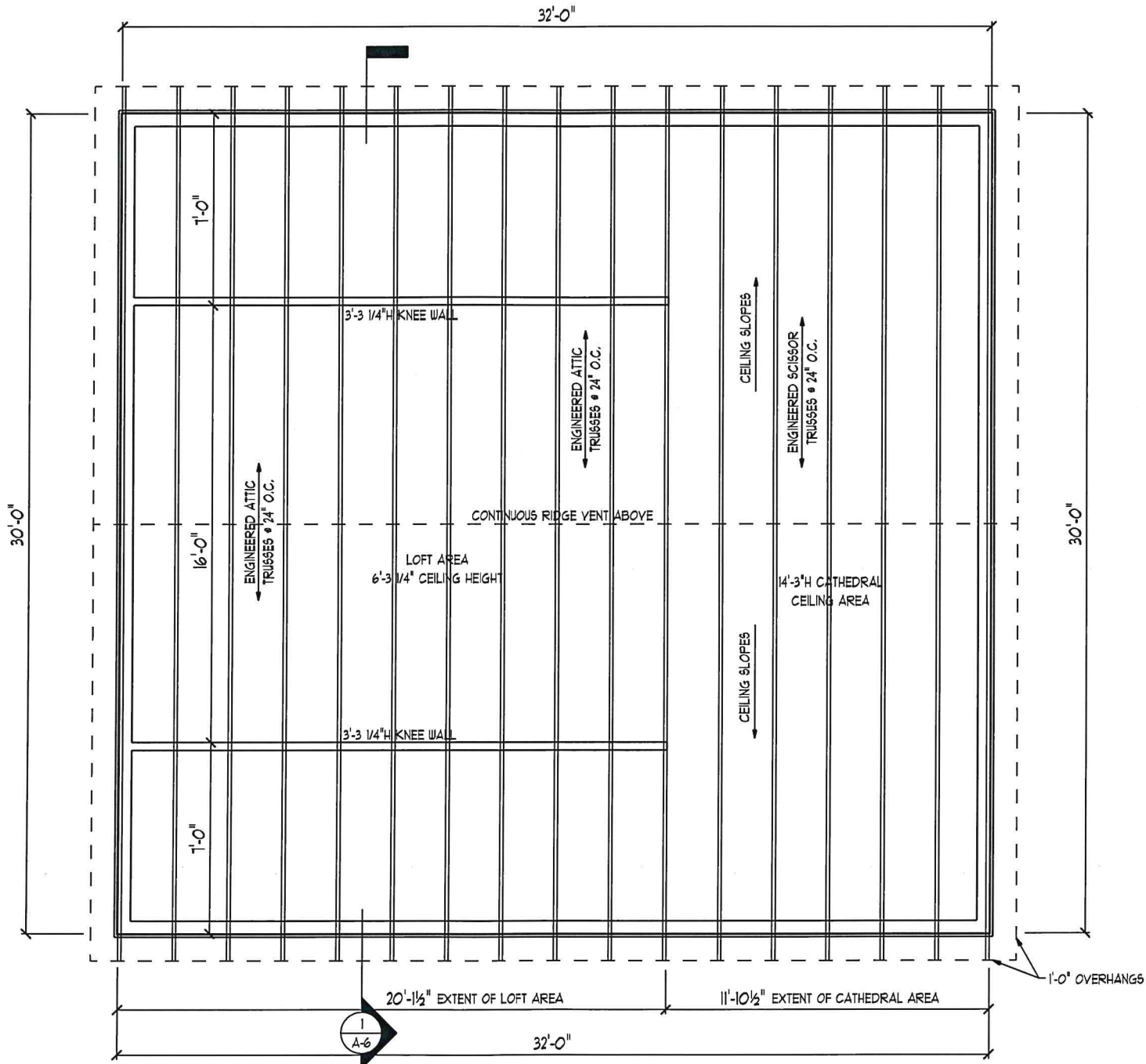
ALL LUMBER USED FOR STRUCTURAL JOISTS, RAFTERS AND COLLARS SHALL BE OF EITHER ONE OF THE FIR, SPRUCE OR DOUGLASS SPECIES WHICH SHALL BE NOT LESS THAN NO. 1 GRADE AND SHALL HAVE A MINIMUM MODULUS OF ELASTICITY (E) OF 1,600,000 PSI AND A SINGLE MEMBER FLEXURE STRESS IN BENDING (Fb) OF 1,000 PSI. MOISTURE CONTENT AT DELIVERY SHALL NOT EXCEED 15%. LIGHT FRAMING LUMBER USED FOR STUDS IN WALLS AND PARTITIONS SHALL NOT BE LESS THAN STUD OR STANDARD GRADE OR BETTER AND SHALL HAVE A COMPRESSIVE STRESS PARALLEL TO GRAIN (Fc) OF NOT LESS THAN 400 PSI. ALL SHEATHING MATERIAL SHALL BE SOFTWOOD PLYWOOD MEETING THE REQUIREMENTS OF PRODUCT STANDARD #8-1 FOR SOFTWOOD PLYWOOD CONSTRUCTION AND INDUSTRIAL AS USED BY THE AMERICAN PLYWOOD ASSOCIATION OR APPROVED EQUAL. FOR ROOF SHEATHING, USE STANDARD C-D WITH EXTERIOR GLUE 1/2" 4 PLY 24/8 OR GROUP 1. LUMBER FOR SILL PLATES SHALL BE TREATED AGAINST TERMITES, DAMAGE AND DECAY, USING WOLMAN PRESSURE TREATMENT, CHROMIATED COPPER ARSENATE PRESSURE TREATMENT, PENTACHLOROPHENOL PRESSURE TREATMENT, OR APPROVED EQUAL.

WOOD TRUSSES:

ALL WOOD TRUSSES SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH "CODE OF STANDARD PRACTICE FOR THE METAL PLATE CONNECTED WOOD TRUSS INDUSTRY." TRUSSES SHALL BE BRACED DURING ERECTION IN ACCORDANCE WITH "COMPLEMENTARY AND RECOMMENDATION FOR BRACING WOOD TRUSSES" PUBLISHED BY TRUSS PLATE INSTITUTE. TEMPORARY TRUSS BRACING SHALL NOT BE REMOVED UNTIL PERMANENT LATERAL TRUSS BRACING IS INSTALLED AND ALL OTHER REQUIREMENTS ARE COMPLETE. PERMANENT TRUSS BRACING SHALL BE ANCHORED TO SOLID END WALLS OR CROSS-BRACED AT BRACING ENDS. PERMANENT TRUSS BRACING SHALL BE PROVIDED IN THE PLANE OF THE TRUSS BOTTOM CHORD AND SHALL CONSIST OF BOTH LATERAL BRACING SPACED AT NO MORE THAN 10 FEET ON CENTER AND DIAGONAL BRACED BAYS AT BUILDING ENDS AND INTERMEDIATE INTERVALS OF NOT GREATER THAN 30 FEET ON CENTER. PERMANENT TRUSS BRACING SHALL BE AT LEAST A NOMINAL 2x4. NO SPICES, CUTS OR OTHER MODIFICATIONS SHALL BE MADE TO TRUSS MEMBERS UNLESS APPROVED BY THE ENGINEER OR SHOWN ON THE SHOP DRAWINGS. BASIC ROOF SNOU SHALL CONFORM TO LOCAL BUILDING CODE REQUIREMENT, CONSIDERING SHED NO, STACKING AND SLIDING SNOW. THE ALLOWABLE WOOD STRESSES MAY BE INCREASED 25% WHEN USED UNDER SNOW LOADING. WOOD TRUSSES ARE TO BE DESIGNED FOR ANY REACTIONS RESULTING FROM ADDITIONAL MEMBERS SUPPORTED BY WOOD TRUSSES. BOTTOM CHORD TO BE DESIGNED FOR A MINIMUM LOADING OF 10 PSF. ALL TRUSS DESIGNS SHALL BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF RHODE ISLAND. ALL SUBMISSIONS SHALL BEAR REGISTRATION SEAL OF DESIGN ENGINEER. ALL TRUSS SUBMITTALS SHALL INCLUDE THE FOLLOWING:

A. ALL TRUSS LOCATIONS, SPACING, BEARING DETAILS, MEMBERS SIZES, PITCH, SPANS AND DIVISIONS. B. SIZE, P-VALUES AND P-RATES OF GRADE LUMBER. C. LOADING CONDITIONS AND RISES INCREASES. D. NOMINAL SIZES AND LOCATIONS OF CONNECTOR PLATES AT ALL JOINTS. E. ACTUAL AXIAL LOADS IN EACH MEMBER. F. CATHETER REQUIREMENTS. G. LOCATION OF PERMANENT LATERAL BRACING. H. LOCATION OF TEMPORARY LATERAL BRACING AS REQUIRED FOR ERECTION. I. MANUFACTURER'S DATA OR FABRICATOR'S SHOP DRAWING FOR METAL TRUSS HANGERS AND THEIR LOCATIONS. PROVIDE MULTIPLE TRUSSES AS REQUIRED FOR LOADING AND BEARING.

TRUSS SUPPLIER SHALL PROVIDE ALL REQUIRED HANGERS, ANCHORS, AND CLIPS RATED FOR ANTICIPATED TRUSS OR BEAM END REACTIONS, FRAMING INTO AND/OR SUPPORTED BY ALL TRUSSES. HURRICANE RESTRAINT ANCHORS SHALL BE SUPPLIED AT ALL SUPPORT AND BEARING LOCATIONS OF ALL ROOF TRUSSES.



ROOF FRAMING PLAN

SCALE: 3/16" = 1'-0"

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188 POPPASQUASH ROAD
BRISTOL, RI 02809

ROOSEVELT GARAGE FOR:

ROOF FRAMING
PLAN & NOTES

STYLE:
ROOSEVELT

JOB NO: 10358

DATE: 4/17/24

SCALE: AS NOTED

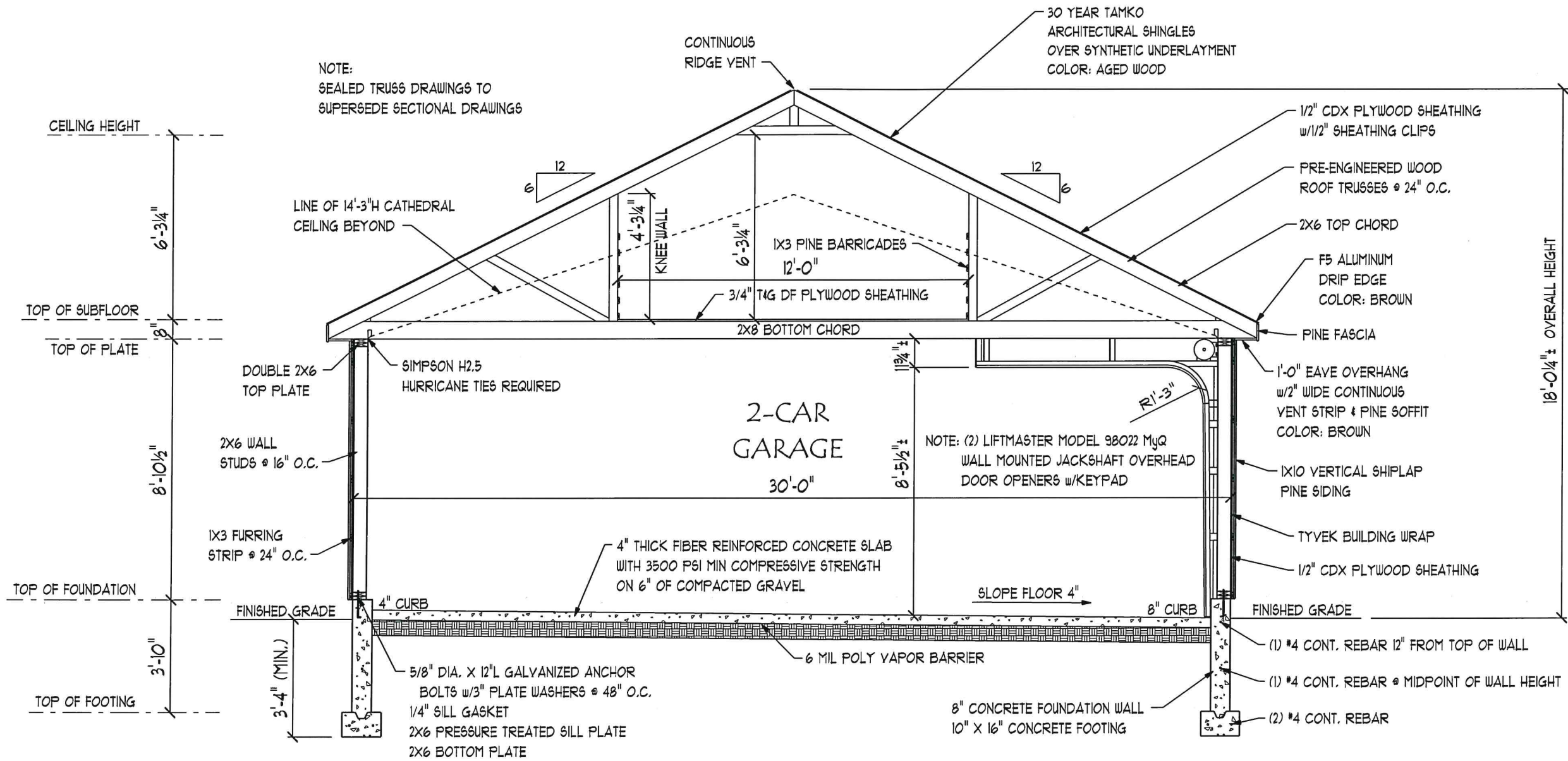
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BUILDING SECTION

SCALE: 1/4" = 1'-0"

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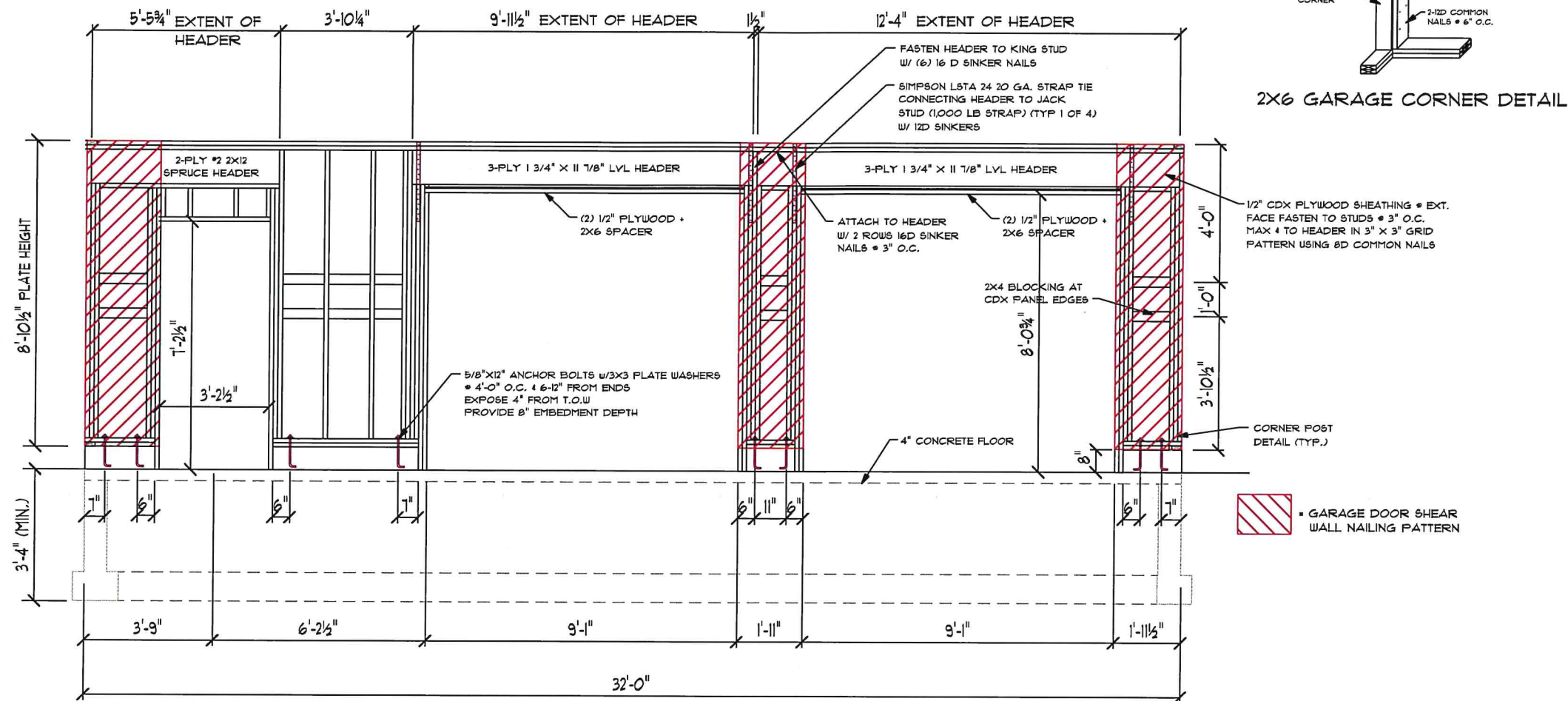
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SHEAR WALL SECTION

SCALE: 1/4" = 1'-0"

SHEAR WALL SCHEDULE & NOTES					
METHOD	NAIL	PERIMETER NAIL	INTERIOR NAIL	SHEATHING	SHEATHING ORIENTATION
WALL SHEATHING	8D COMMON	6" O.C. (MAX)	12" O.C. (MAX)	1/2" APA RATED PLYWOOD SHEATHING (SINGLE SIDE)	VERTICAL
WALL SHEATHING & GARAGE DOOR SHEAR WALL	8D COMMON	3" O.C. (MAX)	3"X3" GRID (MAX)	1/2" APA RATED PLYWOOD SHEATHING (SINGLE SIDE)	HORIZONTAL

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BRACED WALL
SECTION & DETAILS
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TRUSS INFORMATION

NOT TO SCALE

TRUSSES SPEC'D &
ENGINEERED BY
TRUSS MANUFACTURER

SEALED BY:

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