



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2024-32

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, October 7, 2024

at 7:00 P.M.

**Bristol Town Hall
10 Court Street**

APPLICANT: **Jon M. Egan**
PROPERTY OWNER: **Egan Estates, LLC**
LOCATION: **434 Metacom Avenue**
PLAT: **155** LOT: **54**
ZONE: **Residential R-10SW**

APPLICANT IS REQUESTING **DIMENSIONAL VARIANCES**: to demolish an existing 12ft. x 22ft. detached accessory garage structure and construct a new 24ft. x 30ft. accessory dwelling unit (ADU) structure in its place at a size greater than permitted for accessory structures in the Residential R-10 zoning district; and with less than the required lot area for an ADU within a new accessory structure.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, October 3, 2024.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

APPLICATION

File No: **2024-32**
Accepted by ZEO: **EMT 9/3/24**

APPLICANT:	Name: Jon Egan		
	Address: 434 Metacom Ave		
	City: Bristol	State: RI	Zip: 02809
	Phone #: 4012862086	Email: jonathan.egan.mwa@gmail.com	
PROPERTY OWNER:	Name: same		
	Address:		
	City:	State:	Zip:
	Phone #:	Email:	

1. Location of subject property: <u>434 Metacom Ave</u>		
Assessor's Plat(s) #: <u>155</u>	Lot(s) #: <u>0054</u>	
2. Zoning district in which property is located: <u>R-10</u>		
3. Zoning Approval(s) required (check all that apply): ☒ Dimensional Variance(s)☐ Special Use Permit☐ Use Variance		
4. Which particular provisions of the Zoning Ordinance is applicable to this application? Dimensional Variance Section(s): <u>pre-existing structure to an ADU</u> Special Use Permit Section(s): _____ Use Variance Section(s): _____		
5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.		
6. How long have you owned the property? <u>6 years +</u>		
7. Present use of property: <u>single family (residential)</u>		
8. Is there a building on the property at present? <u>yes</u>		
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): <u>12 6 feet X 20 feet, 252 square feet, 14 feet high</u>		
10. Proposed use of property: <u>ADU for my aging father</u>		

2024 SEP -3 PM 1:26
COMMUNITY DEPT

11. Give extent of proposed alterations: Demolish existing garage & build an ADU in the same location

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____

Hoping for 24x30, 720 square feet. 14 feet in height. If need be, we will reduce to 24x22.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>30</u>	Proposed Setback: <u>34.5</u>
Left side lot line:	Required Setback: <u>6</u>	Proposed Setback: <u>9.2</u>
Right side lot line:	Required Setback: <u>6</u>	Proposed Setback: <u>10.8</u>
Rear lot line:	Required Setback: <u>35</u>	Proposed Setback: <u>41.5</u>
Building height:	Required: <u>none</u>	Proposed: <u>14</u>
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: 1 Before 1 + ADU After

14. Have you submitted plans for the above alterations to the Building Official? no

If yes, has he refused a permit? no

If refused, on what grounds? _____

15. Are there any easements on your property? no (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: X Sewer: X

17. Is the property located in the Bristol Historic District or is it an individually listed property? no

18. Is the property located in a flood zone? no If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: [Signature] Date: 8/15/24

Print Name: Jon Egan

Property Owner's Signature: [Signature] Date: 8/15/24

Print Name: Jon Egan

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

Dear Zoning Board,

My wife and I are requesting a variance for 434 Metacom Ave. We have a 10,000 sf lot that is situated on Metacom and River Street. The lot includes the main house with a driveway on Metacom as well as an old, nearly dilapidated garage with a driveway on River Street.

My father is turning 74 this year and lives in West Kingston. His physical and mental health is deteriorating and we would like to move him closer to us. Building an ADU in place of the dilapidated garage would be a perfect situation that we feel would not intrude on neighbors and would also improve the quality of the buildings in our neighborhood.

We had Steve Murgo complete a survey of the property and we are in compliance with frontage to the road (River Street) as well as setbacks from the neighbors (nearly 19 feet with a 24x22 ADU).

We are in compliance and would not need a variance to build this ADU if we were to simply keep the garage footprint and build two floors. With my father's age and health, we would need to avoid two floors and stairs.

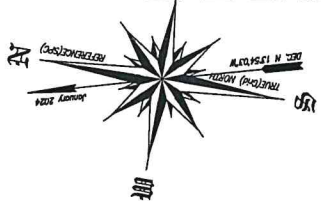
As you can see from the attached picture of the garage, we will ultimately need to tear this building down and replace it. We would like to get ahead of that and fix two situations in one. You will also see our attached designs for the floorplan of the ADU. We have attached a 24x22 plan which is a bit tight for a potential handicapped situation in the future with my father. He will need larger doorways, bathroom and no pocket doors. We have also attached plans for a 24x30 ADU.

We are more than happy to discuss any and all of this and want to work with your group to do this correctly.

Thank you for your time and efforts.

Jon & Vanessa Egan

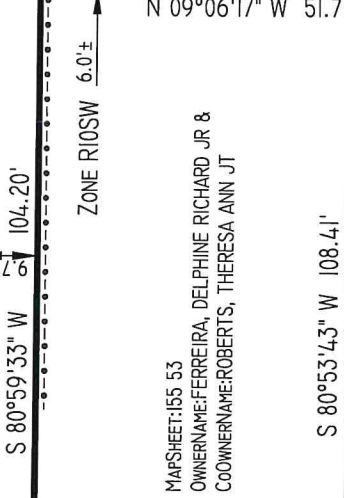
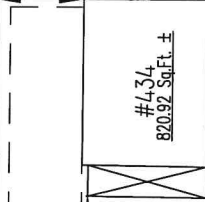
Metacom Avenue (Rte 136)
State Hwy Plat 955



TAKING
STATE HWY PLAT 308
DATED 6/1930

MAPSHEET: 156 41
OWNERNAME: HADALSKI, JOHN MICHAEL & K

N 83°26'58" E
N 80°53'43" E 141.08'
PLAT 155 LOT 54
10,002.22 Sq.Ft. ±
0.2296 ACRES' ±



MAPSHEET: 155 53
OWNERNAME: FERREIRA, DELPHINE RICHARD JR &
COOWNERNAME: ROBERTS, THERESA ANN JT

	REQUIRED	A D U
MIN. LOT AREA	10,000	10,002sf
MIN. LOT WIDTH	80.0'	50'
MIN. LOT FRONTAGE	80.0'	50'
MAX. LOT COVERAGE	25%	13.4%
MIN. FRONT YARD	30'	34.5'
MIN. SIDE YARD	15' ADU 6'	9.2'
MIN. REAR YARD	35'	41.5'

Zone 10SW
River Street

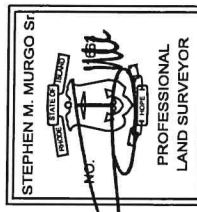
CERTIFICATION:

This survey has been conducted and the plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on Jan 4th, 2022, as follows:
(a) Type of Boundary Survey
(b) Comprehensive Boundary Survey
(c) GPS Relative Positioning for Discrete Direct Measurements (2)
Refer to 1.9.10. For Deviation From Published Standards
The purpose of the Survey and Plan is to show property line information, the location of structures and other relative features.



Copyright 2024 Stephen M. Murgio, PLS
This Survey is being Provided Solely for the use of the Current Parties, and that no License has been Created, Expressed or Implied, to copy the Survey or Plan as it is Necessary in Conjunction with the Original Transaction.

BY:
Stephen M. Murgio, PLS
COA 15 A33
Aug. 7, 2024

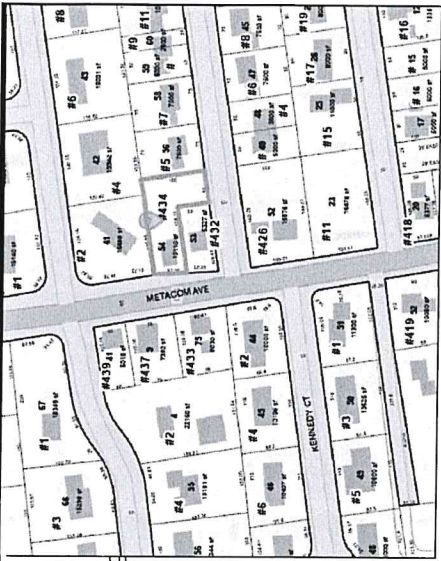


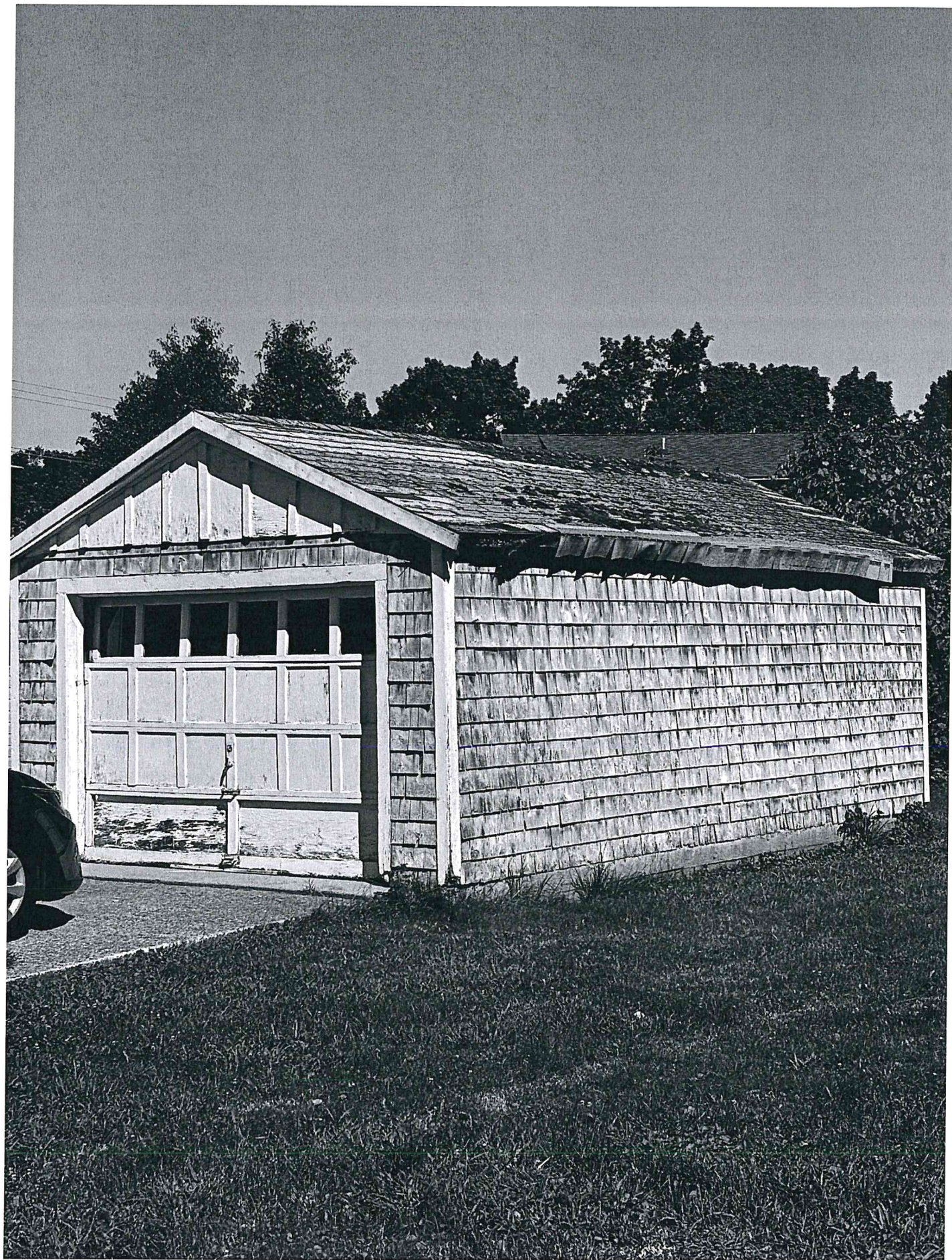
PREPARED BY
STEPHEN M. MURGO SR.
PROFESSIONAL LAND SURVEYOR
MASSACHUSETTS & RHODE ISLAND
116 N. STREET
EAST PROVIDENCE, RHODE ISLAND 02914
401-253-0092
[Cell & Text]
SMMSURVEY@COX.NET

Egan Estates, LLC
ASSESSOR'S PLAT 155, LOT 54
SITUATED AT
43 METACOM AVENUE
IN
BRISTOL, RHODE ISLAND

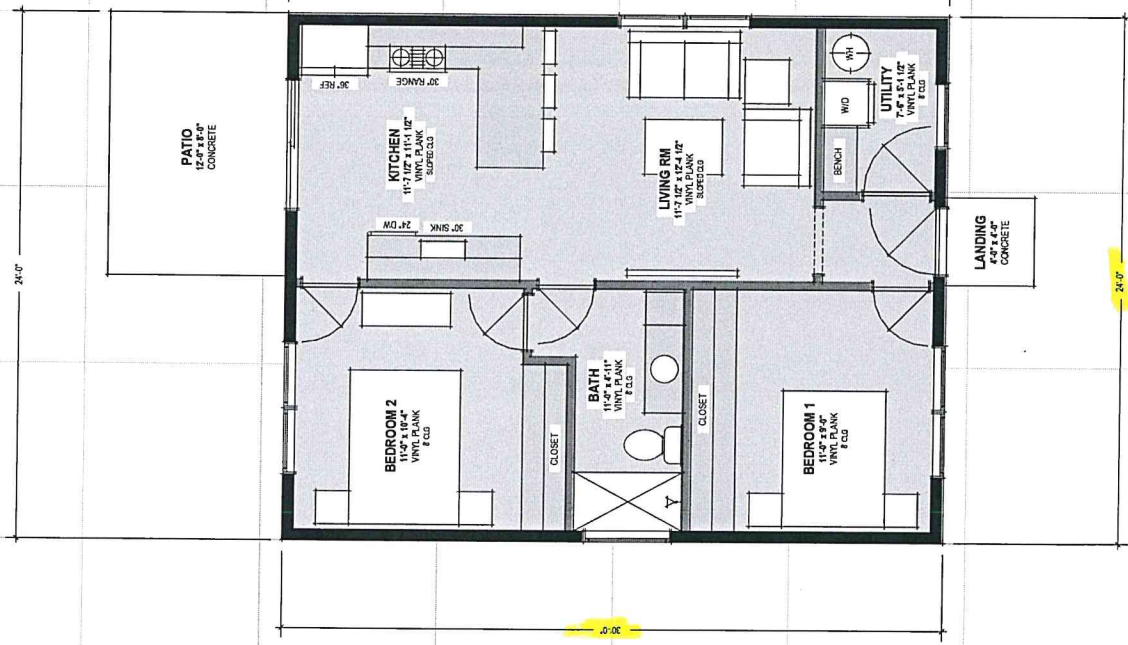
LEGEND
(SYMBOLS MAY BE FOUND ON PLAN)

- IRON ROD FOUND
- WATER
- GAS
- MANHOLE
- EXISTING FIRE HYDRANT
- CATCH BASIN DOUBLE
- SEWER
- UTILITY POLE
- TAX ASSESSOR
- DRILL HOLE SET
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING CATCH BASIN
- MONUMENT TO BE SET
- PK NAIL FOUND
- FENCE POST
- MONUMENT FOUND
- FENCE LINE
- DRILL HOLE FOUND
- SPOT GRADE
- SURVEY POINT
- RHB
- O.P. IRON PIPE FOUND

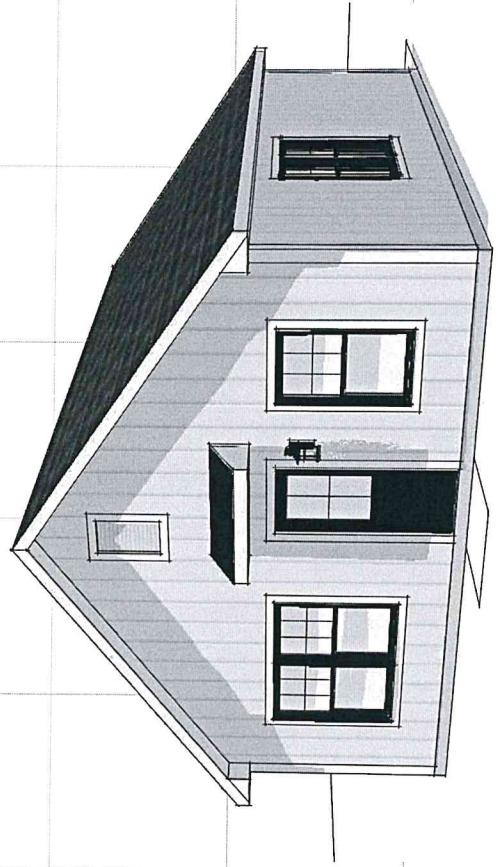




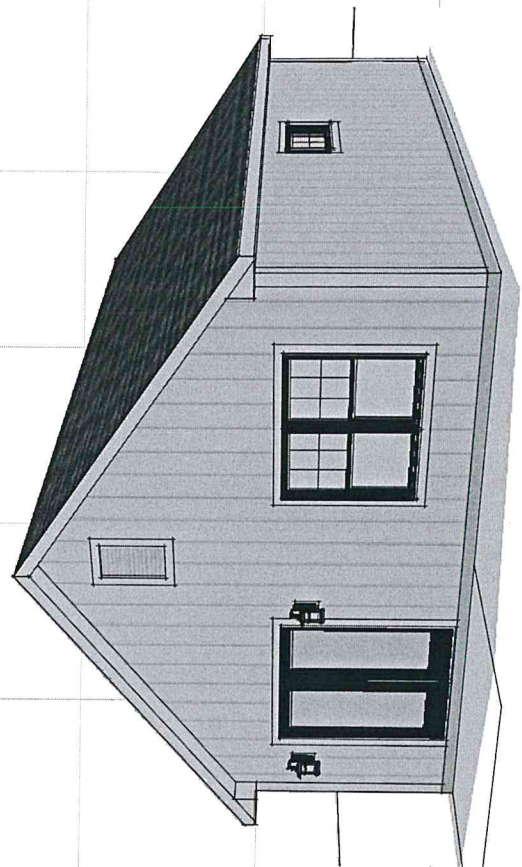
1 FLOOR PLAN
1/4" = 1'-0"



2 3D VIEW
1/100A
NOT TO SCALE



3 3D VIEW
1/100A
NOT TO SCALE



NATIONAL
DESIGN & DRAFTING
10177550
OFFICE@NDD.COM

434 METACOM
NEW ADU
434 METACOM AVE
BRISTOL, RI 02809

GENERAL NOTES

- ALL EXTERIOR WALLS ARE NORMAL 2x4 @ 16" OC UNLESS OTHERWISE NOTED
- ALL INTERIOR WALLS ARE NORMAL 2x4 @ 16" OC UNLESS OTHERWISE NOTED
- INTERIORS WALL BETWEEN GARAGE AND BUILDING IS NORMAL 2x4 @ 16" OC
- DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
- DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

LEGEND

- \$CD\$ SMOKE/CO DETECTOR
- \$CD\$ CO DETECTOR
- \$SD\$ SMOKE DETECTOR
- \$HD\$ HEAT DETECTOR
- \$EFT\$ EXHAUST FAN

USE OF THESE DRAWINGS
TO HOLD NATIONAL DESIGN &
DRAFTING INC. LIABLE FOR ANY
MISTAKES OR OMISSIONS
WHICH MAY ARISE BEFORE, DURING
OR AFTER CONSTRUCTION. THE
OWNER AND CONTRACTOR MUST
ENSURE THAT THE INFORMATION
CONTAINED HEREIN IS USED IN
CONFORMANCE WITH ALL APPLICABLE
CODES AND REGULATIONS.

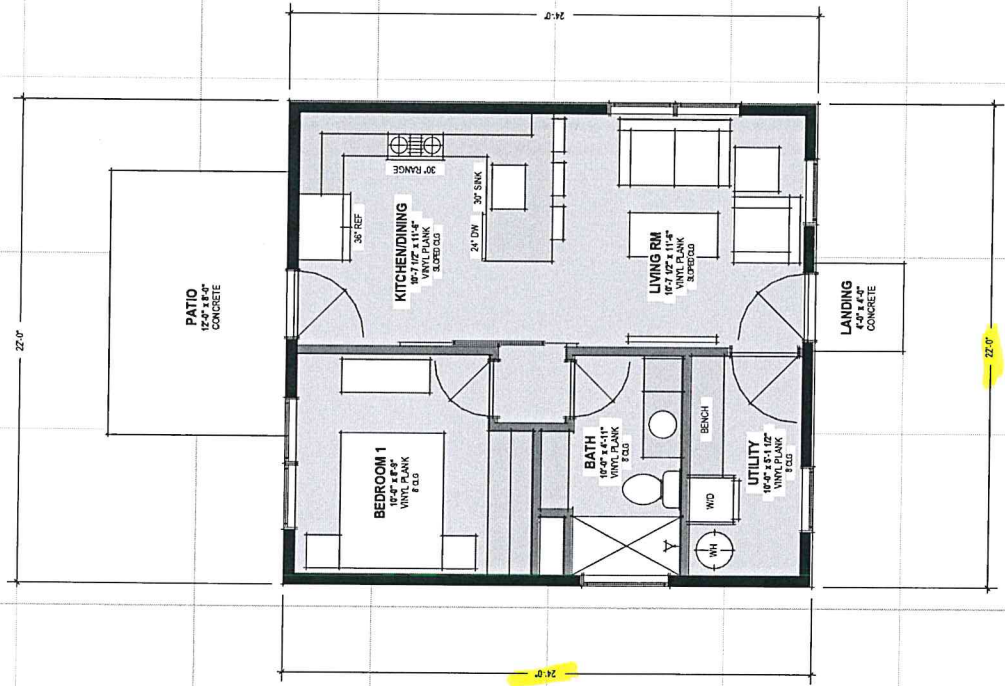
A100A

DESIGN PLAN

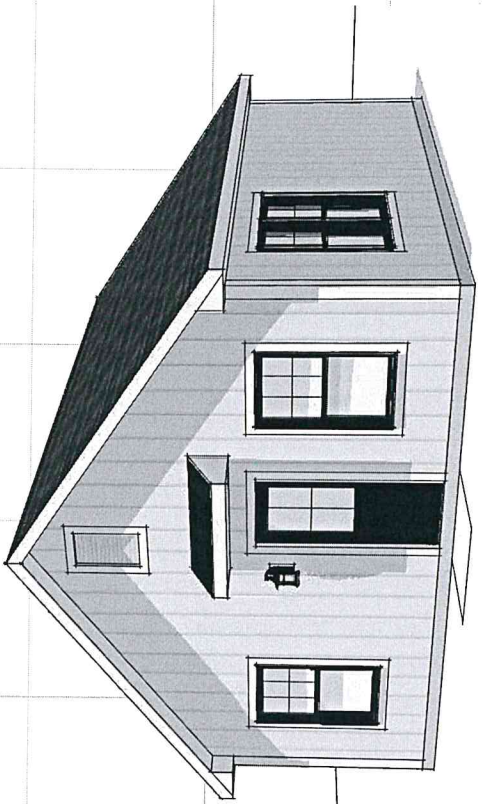
4/25/24	KR	24-18	05
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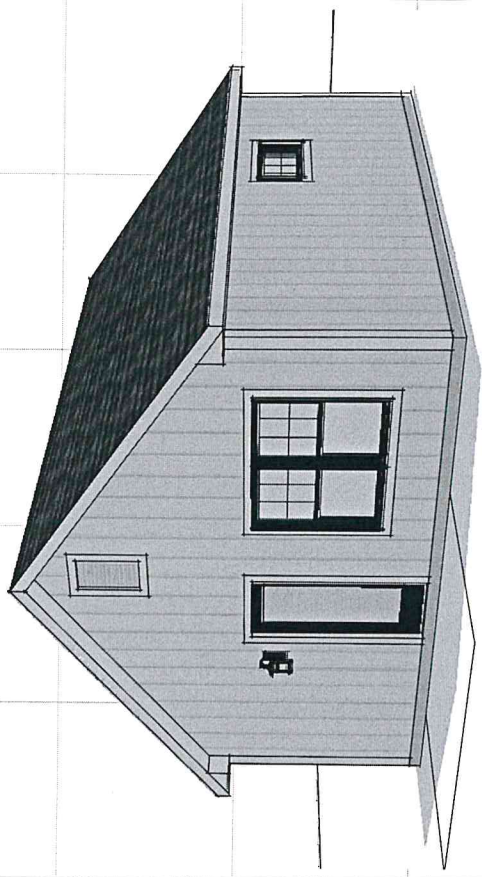
1 FLOOR PLAN
1/4" = 1'-0"



2 3D VIEW
NOT TO SCALE



3 3D VIEW
NOT TO SCALE



NATIONAL
DESIGN & DRAFTING
(401) 714-2588
OFFICE@NDD.COM

434 METACOM
NEW ADU
434 METACOM AVE
BRISTOL, RI 02809

GENERAL NOTES

- ALL EXTERIOR WALLS ARE NOMINAL 2x6 @ 16" OC UNLESS OTHERWISE NOTED
- ALL INTERIOR WALLS ARE NOMINAL 2x4 @ 16" OC UNLESS OTHERWISE NOTED
- INTERIOR WALL BETWEEN GARAGE AND BUILDING IS NOMINAL 2x6 @ 16" OC
- DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF FRAMING OR EXTERIOR FACE OF FOUNDATION WALL
- DIMENSIONS TO INTERIOR WALLS ARE TO CENTER OF WALL FRAMING

LEGEND

- SDI SMOKE/CO DETECTOR
- CO CO DETECTOR
- SDI SMOKE DETECTOR
- HD HEAT DETECTOR
- EF EXHAUST FAN

USE OF THESE DRAWINGS CONSTITUTES AN AGREEMENT NOT TO HOLD NATIONAL DESIGN & DRAFTING RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH MAY ARISE BEFORE, DURING OR AFTER CONSTRUCTION. THE USER OF THESE DRAWINGS MUST ENSURE THAT THE INFORMATION AND SUBMITTALS PROVIDED TO NATIONAL DESIGN & DRAFTING ARE ACCURATE AND COMPLETE. NATIONAL DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS AND THE USER SHALL BE RESPONSIBLE FOR ALL APPLICABLE CODES AND REGULATIONS.

A100B

DESIGN PLAN

05/03/2024

432556 MS 24'-0" 07'



NATIONAL
DESIGN & DRAFTING
10101 714-2586
OFFICE@NDDMAIL

434 METACOM
NEW ADD
434 METACOM AVE
BRISTOL, RI 02809

A200B

DESIGN PLAN

05/10/2024

425556 MS 2 IN 3 09

Disclaimer - This Information is believed to be correct, but is subject to change and is not warranted.

Sub Area Detail

► Notes

► Remodeling History

Complex	Plumbing
Complex	Plumbing

► Building Permits

[illegible]

► Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length

Year ID: 2024

Real ID: 2024

► **Notes**

► Remodeling History

► Building Permits

	Issue Date	Permit #	Closed Date	BP Type
Training Courses				

► Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length

Year ID: 2024



434 Metacom Avenue - 300' Radius

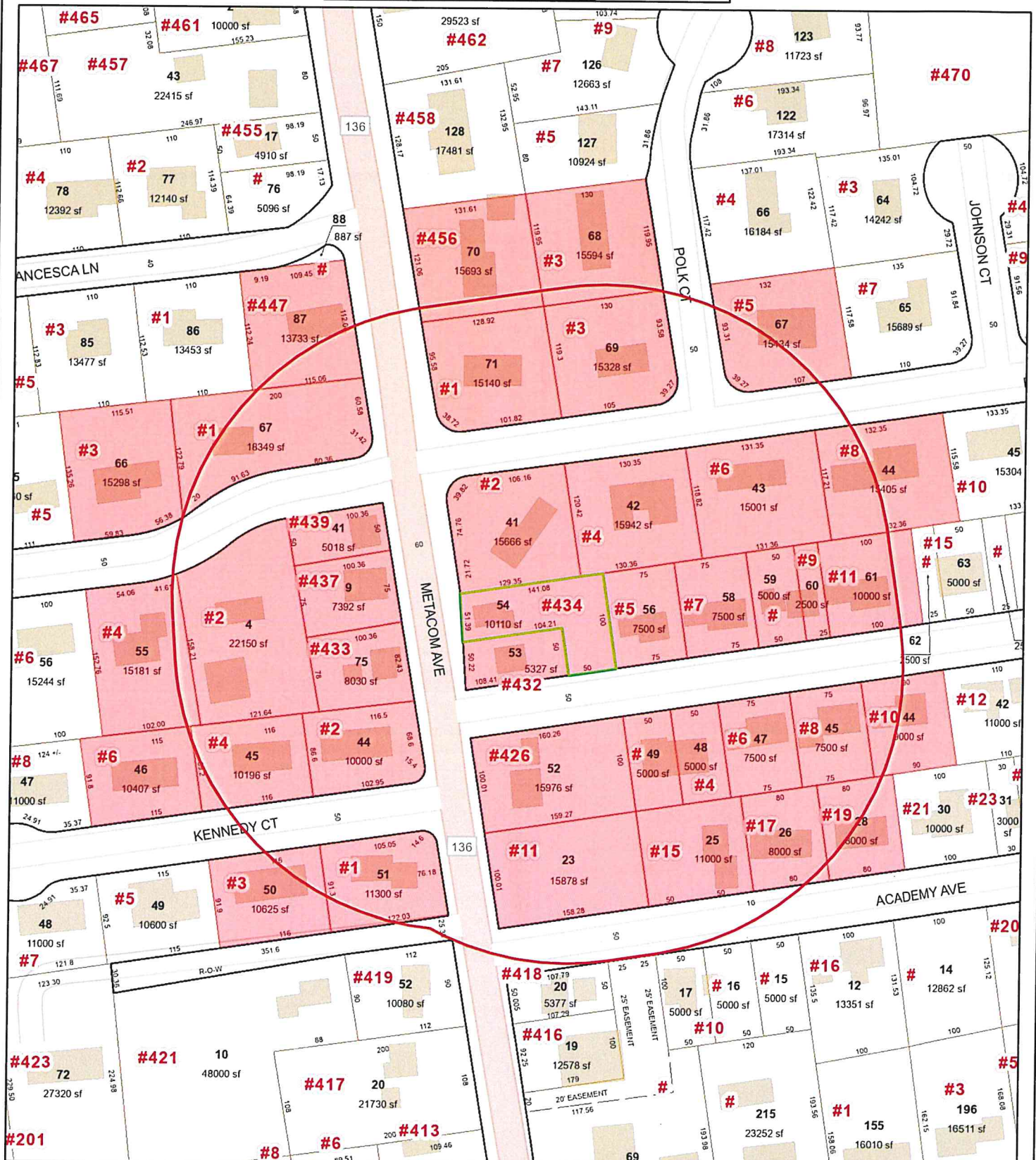
Bristol, RI



1 inch = 141 Feet

www.cai-tech.com

September 5, 2024



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
September 05, 2024

Subject Property:

Parcel Number: 155-54
CAMA Number: 155-54
Property Address: 434 METACOM AVE

Mailing Address: EGAN ESTATES, LLC
1206 MIDDLE RD
PORTSMOUTH, RI 02871

Abutters:

Parcel Number: 155-23
CAMA Number: 155-23
Property Address: 11 ACADEMY AVE

Mailing Address: HOLSTEIN, KENNETH
385 MARKET ST
WARREN, RI 02885

Parcel Number: 155-25
CAMA Number: 155-25
Property Address: 15 ACADEMY AVE

Mailing Address: SOUSA, PAUL R.
15 ACADEMY AVE
BRISTOL, RI 02809

Parcel Number: 155-26
CAMA Number: 155-26
Property Address: 17 ACADEMY AVE

Mailing Address: OLIVER, CHRISTOPHER W
17 ACADEMY AVE
BRISTOL, RI 02809

Parcel Number: 155-28
CAMA Number: 155-28
Property Address: 19 ACADEMY AVE

Mailing Address: RICAMO, PAUL N & MICHELETTI, ERIN E
JT
19 ACADEMY AVE
BRISTOL, RI 02809

Parcel Number: 155-44
CAMA Number: 155-44
Property Address: 10 RIVER ST

Mailing Address: CALCE, JOHN ELSIE LIFE EST
10 RIVER STREET
BRISTOL, RI 02809

Parcel Number: 155-45
CAMA Number: 155-45
Property Address: 8 RIVER ST

Mailing Address: CARREIRO, AUSTIN
8 RIVER ST
BRISTOL, RI 02809

Parcel Number: 155-47
CAMA Number: 155-47
Property Address: 6 RIVER ST

Mailing Address: CARREIRO, ALVARO F & STEVEN
TRUSTEES FAM LIVG TRST VALENTINA
A LIV TRUST
6 RIVER ST
BRISTOL, RI 02809

Parcel Number: 155-48
CAMA Number: 155-48
Property Address: 4 RIVER ST

Mailing Address: ANDRADE, FERNANDO M ETUX OLGA
C. ANDRADE TE
4 RIVER ST.
BRISTOL, RI 02809

Parcel Number: 155-49
CAMA Number: 155-49
Property Address: RIVER ST

Mailing Address: ANDRADE, FERNANDO M ETUX OLGA
C. ANDRADE TE
4 RIVER ST.
BRISTOL, RI 02809

Parcel Number: 155-52
CAMA Number: 155-52
Property Address: 426 METACOM AVE

Mailing Address: DEANE, LESTER BRUCE LENORA
1621 GLEN ABBY LN
WINTER HAVEN, FL 33881



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9/5/2024

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Page 1 of 4



300 feet Abutters List Report

Bristol, RI
September 05, 2024

Parcel Number: 155-53
CAMA Number: 155-53
Property Address: 432 METACOM AVE

Mailing Address: FERREIRA, DELPHINE RICHARD JR &
ROBERTS, THERESA ANN JT
432 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 155-54
CAMA Number: 155-54
Property Address: 434 METACOM AVE

Mailing Address: EGAN ESTATES, LLC
1206 MIDDLE RD
PORTSMOUTH, RI 02871

Parcel Number: 155-56
CAMA Number: 155-56
Property Address: 5 RIVER ST

Mailing Address: NICASTRO, VICTORIA & LALLY, BRIAN J
TE
5 RIVER ST
BRISTOL, RI 02809

Parcel Number: 155-58
CAMA Number: 155-58
Property Address: 7 RIVER ST

Mailing Address: DEMELO, MARIA
7 RIVER ST
BRISTOL, RI 02809

Parcel Number: 155-59
CAMA Number: 155-59
Property Address: RIVER ST

Mailing Address: LOMBARDO, CHARLES A & STACEY M
TE
9 RIVER STREET
BRISTOL, RI 02809

Parcel Number: 155-60
CAMA Number: 155-60
Property Address: 9 RIVER ST

Mailing Address: LOMBARDO, CHARLES A & STACEY M
TE
9 RIVER STREET
BRISTOL, RI 02809

Parcel Number: 155-61
CAMA Number: 155-61
Property Address: 11 RIVER ST

Mailing Address: ESTRELLA, DAVID TRUSTEE THE
ESTRELLA FAMILY TRUST
11 RIVER ST
BRISTOL, RI 02809

Parcel Number: 156-41
CAMA Number: 156-41
Property Address: 2 ROOSEVELT DR

Mailing Address: HADALSKI, JOHN MICHAEL & KAREN
REED TE
2 ROOSEVELT DR
BRISTOL, RI 02809

Parcel Number: 156-42
CAMA Number: 156-42
Property Address: 4 ROOSEVELT DR

Mailing Address: LABRECQUE, MARY E TRUSTEE &
TABOR, SUZANNE TC
4 ROOSEVELT DR
BRISTOL, RI 02809

Parcel Number: 156-43
CAMA Number: 156-43
Property Address: 6 ROOSEVELT DR

Mailing Address: HAMMON, BRETT E & CHRISTIE
6 ROOSEVELT DR
BRISTOL, RI 02809

Parcel Number: 156-44
CAMA Number: 156-44
Property Address: 8 ROOSEVELT DR

Mailing Address: FALES, FRANK M & JENNA TE
8 ROOSEVELT DR
BRISTOL, RI 02809

Parcel Number: 156-67
CAMA Number: 156-67
Property Address: 5 ROOSEVELT DR

Mailing Address: DEALMEIDA, URBANO JR ETU MARY
LOU DEALMEIDA TE
5 ROOSEVELT DRIVE
BRISTOL, RI 02809



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Page 2 of 4



300 feet Abutters List Report

Bristol, RI
September 05, 2024

Parcel Number: 156-68
CAMA Number: 156-68
Property Address: 3 POLK COURT

Mailing Address: MACDONOUGH, CHARLES S.
3 POLK COURT
BRISTOL, RI 02809

Parcel Number: 156-69
CAMA Number: 156-69
Property Address: 3 ROOSEVELT DR

Mailing Address: GUADALUPE, STEVEN & MARY JO TE
3 ROOSEVELT ST
BRISTOL, RI 02809

Parcel Number: 156-70
CAMA Number: 156-70
Property Address: 456 METACOM AVE

Mailing Address: ENOS, DANIELLE R.
456 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 156-71
CAMA Number: 156-71
Property Address: 1 ROOSEVELT DR

Mailing Address: DE MELO, JOSE S ET UX DE MELO,
MARY TE
1 ROOSEVELT DR
BRISTOL, RI 02809

Parcel Number: 48-4
CAMA Number: 48-4
Property Address: 2 HIGHVIEW DR

Mailing Address: CABRAL, LUIS F ET UX AIDA M. CABRAL
TE
3 HIGHVIEW DRIVE
BRISTOL, RI 02809

Parcel Number: 48-41
CAMA Number: 48-41
Property Address: 439 METACOM AVE

Mailing Address: CORREIA, SHAWN R
439 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 48-44
CAMA Number: 48-44
Property Address: 2 KENNEDY CT

Mailing Address: LIVING IN FULFILLING ENVIRONMENTS,
INC.
490 METACOM AVE
BRISTOL, RI 02809

Parcel Number: 48-45
CAMA Number: 48-45
Property Address: 4 KENNEDY CT

Mailing Address: COSTA, ELVIRA LIFE ESTATE COSTA,
KEVIN J.
4 KENNEDY CT
BRISTOL, RI 02809

Parcel Number: 48-46
CAMA Number: 48-46
Property Address: 6 KENNEDY CT

Mailing Address: DALUZ, JOSE M. STELLA ETUX TE
6 KENNEDY CT
BRISTOL, RI 02809

Parcel Number: 48-50
CAMA Number: 48-50
Property Address: 3 KENNEDY CT

Mailing Address: MARTIN, ALLISON
3 KENNEDY CT
BRISTOL, RI 02809

Parcel Number: 48-51
CAMA Number: 48-51
Property Address: 1 KENNEDY CT

Mailing Address: TEIXEIRA, DANIEL S MARIA G LE
1 KENNEDY CT
BRISTOL, RI 02809

Parcel Number: 48-55
CAMA Number: 48-55
Property Address: 4 HIGHVIEW DR

Mailing Address: BRATSOS, JOHN A. AMY M ETUX TE
4 HIGHVIEW DRIVE
BRISTOL, RI 02809



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9/5/2024

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Page 3 of 4



300 feet Abutters List Report

Bristol, RI

September 05, 2024

Parcel Number: 48-66
CAMA Number: 48-66
Property Address: 3 HIGHVIEW DR

Mailing Address: CABRAL, LUIS F. ET UX AIDA M.
CABRAL TE
3 HIGHVIEW DRIVE
BRISTOL, RI 02809

Parcel Number: 48-67
CAMA Number: 48-67
Property Address: 1 HIGHVIEW DR

Mailing Address: ROCHA, JESS
1 HIGHVIEW DR
BRISTOL, RI 02809

Parcel Number: 48-75
CAMA Number: 48-75
Property Address: 433 METACOM AVE

Mailing Address: ARCHAMBAULT, DUSTIN P & MELINDA
M TE
2 MALLORY CT
BRISTOL, RI 02809

Parcel Number: 48-87
CAMA Number: 48-87
Property Address: 447 METACOM AVE

Mailing Address: RAPOSO, LUIS M & MARIA G CO-
TRUSTEES
4 KATHY CT
BRISTOL, RI 02809

Parcel Number: 48-9
CAMA Number: 48-9
Property Address: 437 METACOM AVE

Mailing Address: MONIZ, ESMERALDO & CREMILDE TE
437 METACOM AVE
BRISTOL, RI 02809



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9/5/2024

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Page 4 of 4

ANDRADE, FERNANDO M ETUX
OLGA C. ANDRADE TE
4 RIVER ST.
BRISTOL, RI 02809

DALUZ, JOSE M.
STELLA ETUX TE
6 KENNEDY CT
BRISTOL, RI 02809

GUADALUPE, STEVEN & MARY
3 ROOSEVELT ST
BRISTOL, RI 02809

ARCHAMBAULT, DUSTIN P &
MELINDA M TE
2 MALLORY CT
BRISTOL, RI 02809

DE MELO, JOSE S ET UX
DE MELO, MARY TE
1 ROOSEVELT DR
BRISTOL, RI 02809

HADALSKI, JOHN MICHAEL &
2 ROOSEVELT DR
BRISTOL, RI 02809

BRATSOS, JOHN A.
AMY M ETUX TE
4 HIGHVIEW DRIVE
BRISTOL, RI 02809

DEALMEIDA, URBANO JR ETU
MARY LOU DEALMEIDA TE
5 ROOSEVELT DRIVE
BRISTOL, RI 02809

HAMMON, BRETT E &
CHRISTIE
6 ROOSEVELT DR
BRISTOL, RI 02809

CABRAL, LUIS F ET UX
AIDA M. CABRAL TE
3 HIGHVIEW DRIVE
BRISTOL, RI 02809

DEANE, LESTER BRUCE
LENORA
1621 GLEN ABBY LN
WINTER HAVEN, FL 33881

HOLSTEIN, KENNETH
385 MARKET ST
WARREN, RI 02885

CABRAL, LUIS F. ET UX
AIDA M. CABRAL TE
3 HIGHVIEW DRIVE
BRISTOL, RI 02809

DEMELO, MARIA
7 RIVER ST
BRISTOL, RI 02809

LABRECQUE, MARY E TRUSTEE
TABOR, SUZANNE TC
4 ROOSEVELT DR
BRISTOL, RI 02809

CALCE, JOHN
ELSIE LIFE EST
10 RIVER STREET
BRISTOL, RI 02809

EGAN ESTATES, LLC
1206 MIDDLE RD
PORTSMOUTH, RI 02871

LIVING IN FULFILLING
ENVIRONMENTS, INC.
490 METACOM AVE
BRISTOL, RI 02809

CARREIRO, ALVARO F & STEV
VALENTINA A LIV TRUST
6 RIVER ST
BRISTOL, RI 02809

ENOS, DANIELLE R.
456 METACOM AVE
BRISTOL, RI 02809

LOMBARDO, CHARLES A &
STACEY M TE
9 RIVER STREET
BRISTOL, RI 02809

CARREIRO, AUSTIN
8 RIVER ST
BRISTOL, RI 02809

ESTRELLA, DAVID TRUSTE
THE ESTRELLA FAMILY TRUST
11 RIVER ST
BRISTOL, RI 02809

MACDONOUGH, CHARLES S.
3 POLK COURT
BRISTOL, RI 02809

CORREIA, SHAWN R
439 METACOM AVE
BRISTOL, RI 02809

FALES, FRANK M & JENNA T
8 ROOSEVELT DR
BRISTOL, RI 02809

MARTIN, ALLISON
3 KENNEDY CT
BRISTOL, RI 02809

COSTA, ELVIRA LIFE ESTATE
COSTA, KEVIN J.
4 KENNEDY CT
BRISTOL, RI 02809

FERREIRA, DELPHINE RICHA
ROBERTS, THERESA ANN JT
432 METACOM AVE
BRISTOL, RI 02809

MONIZ, ESMERALDO &
CREMILDE TE
437 METACOM AVE
BRISTOL, RI 02809

NICASTRO, VICTORIA &
LALLY, BRIAN J TE
5 RIVER ST
BRISTOL, RI 02809

OLIVER, CHRISTOPHER W
17 ACADEMY AVE
BRISTOL, RI 02809

RAPOSO, LUIS M &
MARIA G CO-TRUSTEES
4 KATHY CT
BRISTOL, RI 02809

RICAMO, PAUL N &
MICHELETTI, ERIN E JT
19 ACADEMY AVE
BRISTOL, RI 02809

ROCHA, JESS
1 HIGHVIEW DR
BRISTOL, RI 02809

SOUSA, PAUL R.
15 ACADEMY AVE
BRISTOL, RI 02809

TEIXEIRA, DANIEL S
MARIA G LE
1 KENNEDY CT
BRISTOL, RI 02809