



Bristol Historic District Commission

Application for Review of Proposed Work - Printable Application

HDC-25-126

September 10, 2025

THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT APPLICATION. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BY THE BRISTOL BUILDING DEPARTMENT BEFORE WORK CAN BEGIN.

Project Address	Assessor's Plat/Lot
1237 HOPE ST , BRISTOL, RI, 02809	061-0034-000

Applicant	Applicant Phone	Applicant Email
David Manocchio	401 259 1862	dmanocchio@turnerbrothers.com

Property Owner (If Different from Applicant)	Owner Mailing Address

Architect/Engineer	A/E Phone Number	A/E Email
Jonathan O'Donnell	401 855-0878	jonod5@yahoo.com

Contractor	Contractor Phone Number	Contractor Email

Work Category:	Addition to Structure(s)
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Description of proposed work:
Change approved crawl space to full basement with bulkhead access.

Property History

Building Survey Data
RIHPHC ID #:
HISTORIC NAME:
ARCH. STYLE:
ORIGINAL CONSTRUCTION DATE (est.):

ALTERATIONS TO MAJOR ARCH. SINCE 1978 (Height, Massing, Wall Covering, Trim, Windows, Porches)

David Manocchio
 Applicant's Name – Printed
 Date: September 10, 2025

Jonathan O'Donnell
 Applicant's Digital Signature



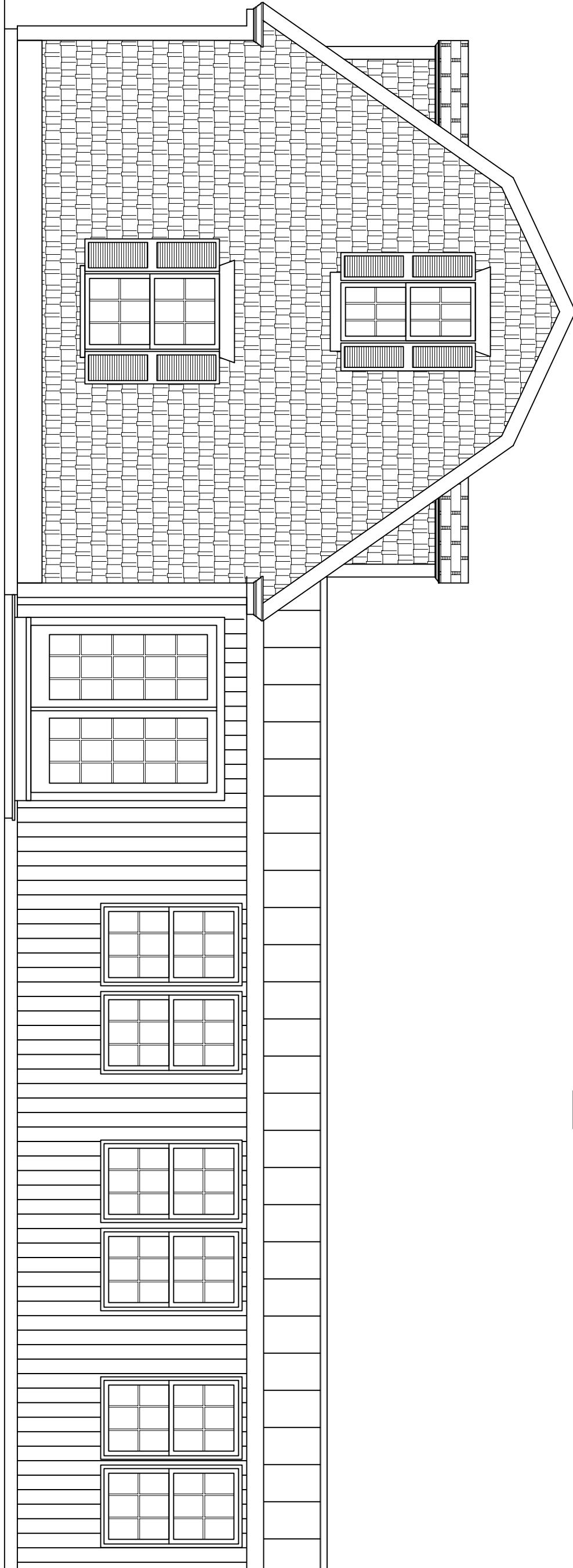
CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION		BUILDING EXTERIOR
LOCATION: 1237 HOPE ST ACRES: 1.0872 PARCEL ID: 061-0034-000 LAND USE CODE: 01 CONDO COMPLEX: OWNER: MANOCCHIO, DAVID CO - OWNER: MAILING ADDRESS: 1237 HOPE ST		BUILDING STYLE: Colonial UNITS: 1 YEAR BUILT: 1716 FRAME: Wood Frame EXTERIOR WALL COVER: Wood Shingle ROOF STYLE: Gambrel ROOF COVER: Asphalt Shingle
ZONING: R-20 PATRIOT ACCOUNT #: 3910		BUILDING INTERIOR
SALE INFORMATION		INTERIOR WALL: Plaster FLOOR COVER: Pine HEAT TYPE: BB Hot Water FUEL TYPE: Oil PERCENT A/C: True # OF ROOMS: 7 # OF BEDROOMS: 2 # OF FULL BATHS: 2 # OF HALF BATHS: 0 # OF ADDITIONAL FIXTURES: 0
SALE DATE: 3/1/2021 BOOK & PAGE: 2094-114 SALE PRICE: 515,000 SALE DESCRIPTION: SELLER: MACDONALD, GEORGINA		# OF KITCHENS: 1 # OF FIREPLACES: 0 # OF METAL FIREPLACES: 0 # OF BASEMENT GARAGES: 0
PRINCIPAL BUILDING AREAS		
GROSS BUILDING AREA: 3048 FINISHED BUILDING AREA: 1722 BASEMENT AREA: 984 # OF PRINCIPAL BUILDINGS: 1		
ASSESSED VALUES		
LAND: \$265,800 YARD: \$1,200 BUILDING: \$175,100 TOTAL: \$442,100		
SKETCH		PHOTO

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PROPOSED EAST ELEVATION

SCALE: $\frac{1}{4}'' = 1'-0''$



337

SCALE: AS NOTED

DATE: 7/22/2025

SHEET NO. 1 OF X

DRAWING:
PROPOSED
EAST
ELEVATION

REVISIONS

BY:
JONATHAN O'DONNELL

Project Name:
Jonathan O'Donnell's residence in building for my home constructed
Architect/Civil Engineer: Jonathan O'Donnell
Address: 42 Dudley Ave.
City: Newport
State: RI
Zip: 02840
Phone: (401) 855-0878
E-mail: jonod5@yahoo.com

O'Donnell
DESIGN SERVICES

(401)855-0878
jonod5@yahoo.com

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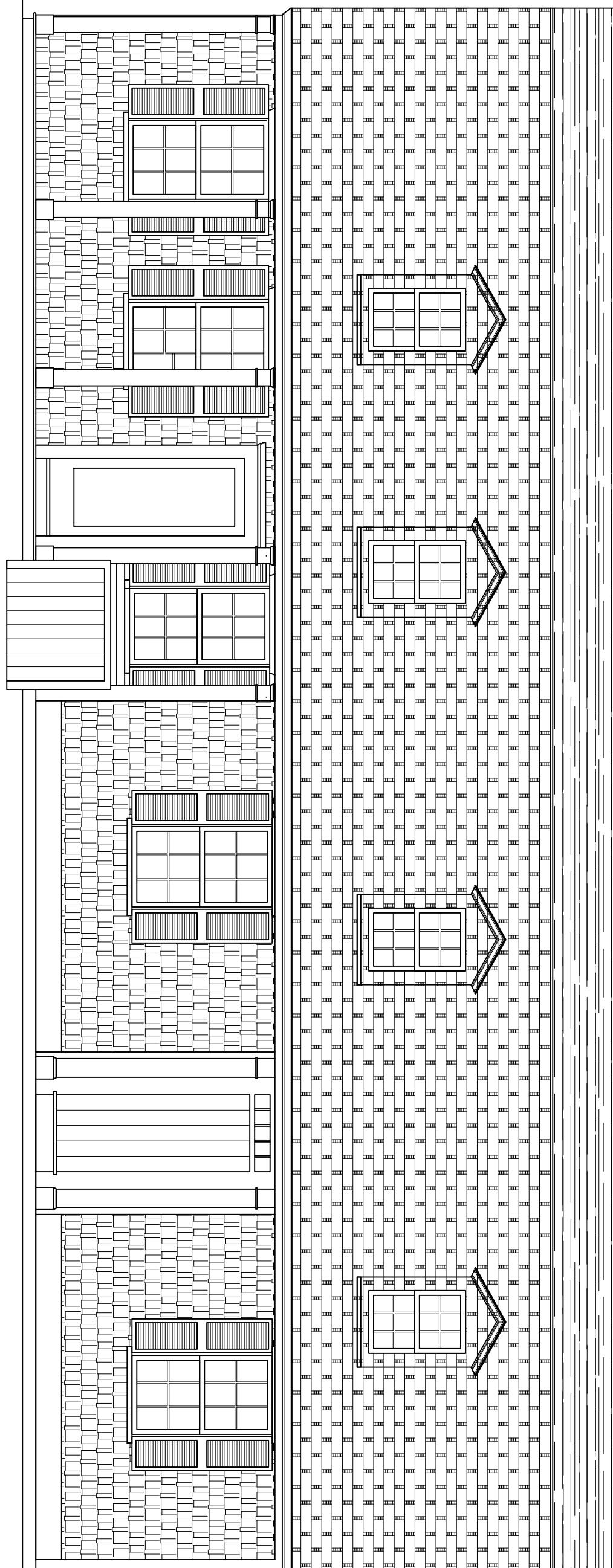
PROJECT:

DAVID MANOCCHIO
1237 HOPE ST.
BRISTOL, RI 02809

PROPOSED SOUTH ELEVATION

SCALE: $\frac{1}{4}'' = 1'-0''$

PROPOSED SOUTH ELEVATION



338

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DESIGN S

(401)855-0878
ioned5@yahoo.com

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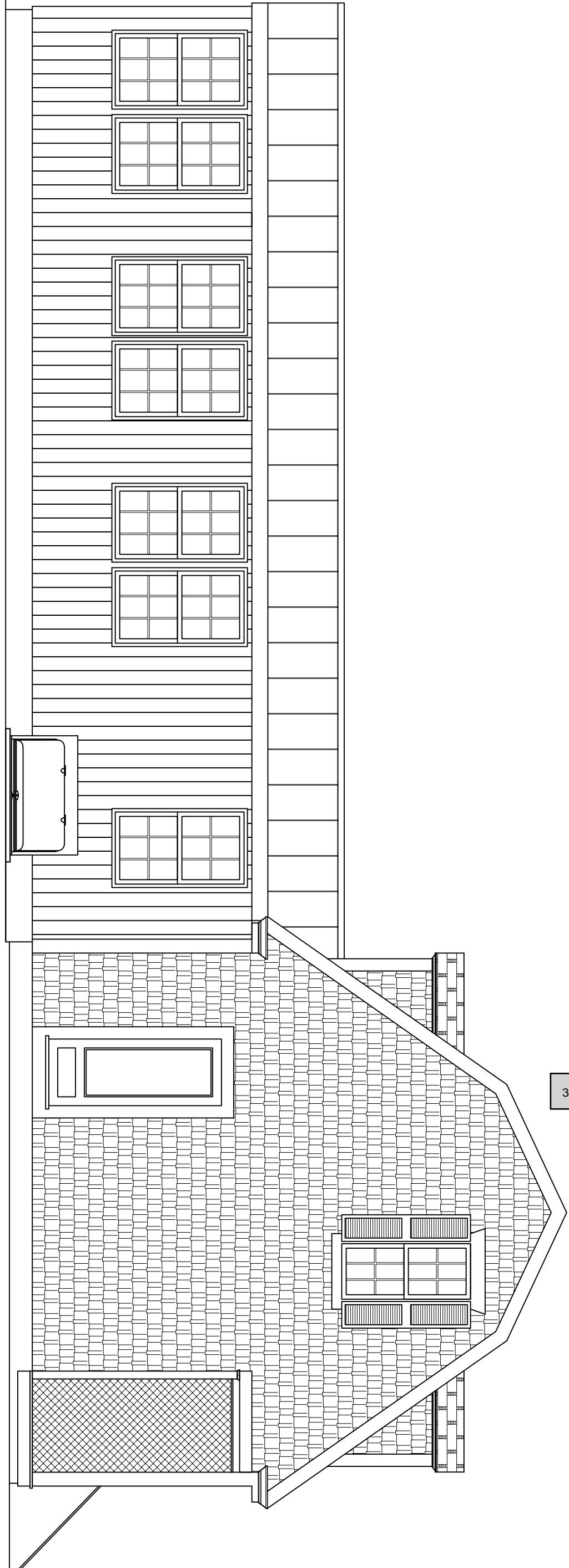
DAVID MANOCCHIO
1237 HOPE ST.
BRISTOL, RI 02809

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PROPOSED WEST ELEVATION

SCALE: $\frac{1}{4}$ " = 1'-0"

PROPOSED W
SCALE: $\frac{1}{4}$ " = 1'-0"



PROJECT

DAVID MANOCCHIO
1237 HOPE ST.
BRISTOL, RI 02809

O'Donnell

DESIGN SERVICES

(401)855-0878

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BY:
JONATHAN O'DONNELL
DRAWING:
PROPOSED
WEST
ELEVATION
REVISIONS
DATE: 9/8/2025
SCALE: AS NOTED
DATE: 7/22/2025
SHEET NO. 1 OF X

Architectural floor plan of a house with the following dimensions and features:

- Exterior Dimensions:** The overall width is 30'-7 3/4", and the overall depth is 20'-6 1/4".
- Rooms and Dimensions:**
 - Living Room:** 18'-10 3/8" wide by 14'-1 1/4" deep.
 - Dining Room:** 16'-6" wide by 11'-3" deep.
 - Kitchen:** 11'-3" wide by 10'-9" deep, featuring a sink, stove, and refrigerator.
 - Bathroom:** 4'-3 1/2" wide by 4'-3 3/4" deep.
 - Staircase:** Located between the Living Room and Dining Room, leading to an upper level.
 - Upper Level:** Reached via a staircase from the Dining Room area.
- Dimensions:**
 - Overall width: 30'-7 3/4", overall depth: 20'-6 1/4".
 - Living Room: 18'-10 3/8" wide, 14'-1 1/4" deep.
 - Dining Room: 16'-6" wide, 11'-3" deep.
 - Kitchen: 11'-3" wide, 10'-9" deep.
 - Bathroom: 4'-3 1/2" wide, 4'-3 3/4" deep.
 - Staircase: 3'-11 3/4" wide, 4'-8" deep.
 - Overall depth: 20'-6 1/4", overall width: 30'-7 3/4".
 - Central corridor: 3'-5" wide, 16'-6" deep.
 - Upper level dimensions: 11'-3" wide, 10'-9" deep.
- Annotations:**
 - LINE OF UPPER CABINETS:** A line of circles indicating the height of upper kitchen cabinets.
 - 340:** A label in a gray box located on the right side of the plan.
 - 5.O:** A label in a circle at the bottom center.
 - 7.O:** A label in a circle at the top center.
 - 8.O:** A label in a circle on the right side.
 - 5.0:** A label in a circle at the bottom left.
- Furniture:**
 - A dining table and chairs are placed in the Dining Room.
 - A sofa and a chair are placed in the Living Room.
 - A small table is placed in the central corridor.

PROPOSED 1ST LEVEL PLAN

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0

O'Donnell

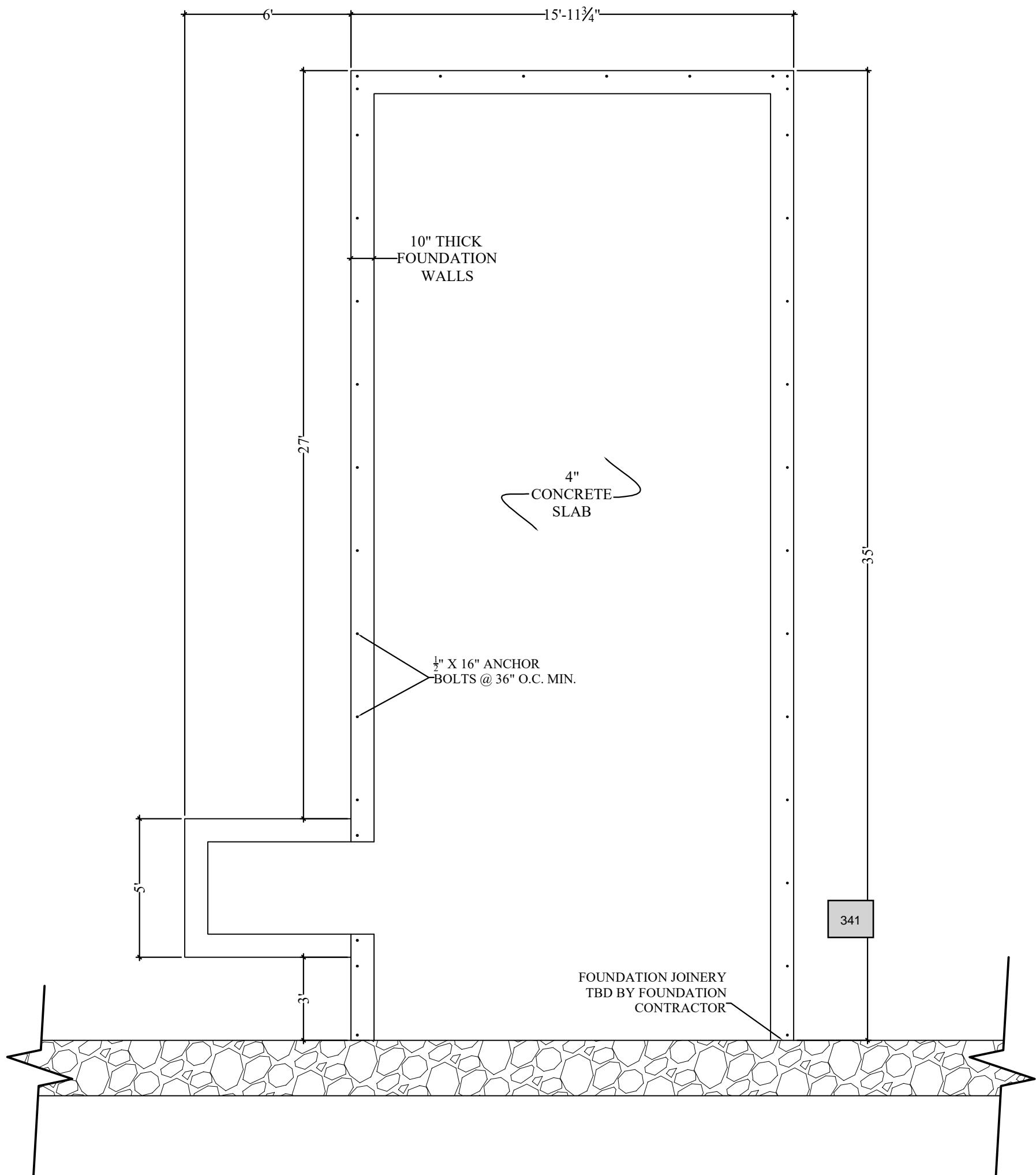
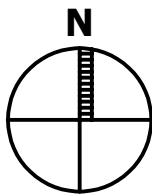
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PROJECT

DAVID MANOCCHIO
1237 HOPE ST.
BRISTOL, RI 02809

BY:
JONATHAN O'DONNELL
DRAWING:
PROPOSED 1ST
LEVEL PLAN
REVISIONS
SCALE: AS NOTED
DATE: 7/22/2025
SHEET NO. 1 OF X



PROPOSED FOUNDATION PLAN
SCALE: $\frac{1}{4}$ " = 1'-0"

BY:
JONATHAN O'DONNELL
DRAWING:
PROPOSED
FOUNDATION
PLAN
REVISIONS

Project Name: *Customer must be present in during any in-field survey notifications or this plan, or changes are necessary, contact the designer (O'Donnell)*
Comments: *Customer must be present in during any in-field survey notifications or this plan, or changes are necessary, contact the designer (O'Donnell)*
1. Contractor must verify all dimensions prior to proceeding with construction.
2. Foundation contractor must verify all dimensions prior to proceeding with construction.
3. Permit Submittal: Foundation plan of record must be submitted to the local permitting authority.
4. The designer of record is O'Donnell.
5. The designer of record is O'Donnell.
6. The designer of record is O'Donnell.
7. The designer of record is O'Donnell.
8. The designer of record is O'Donnell.

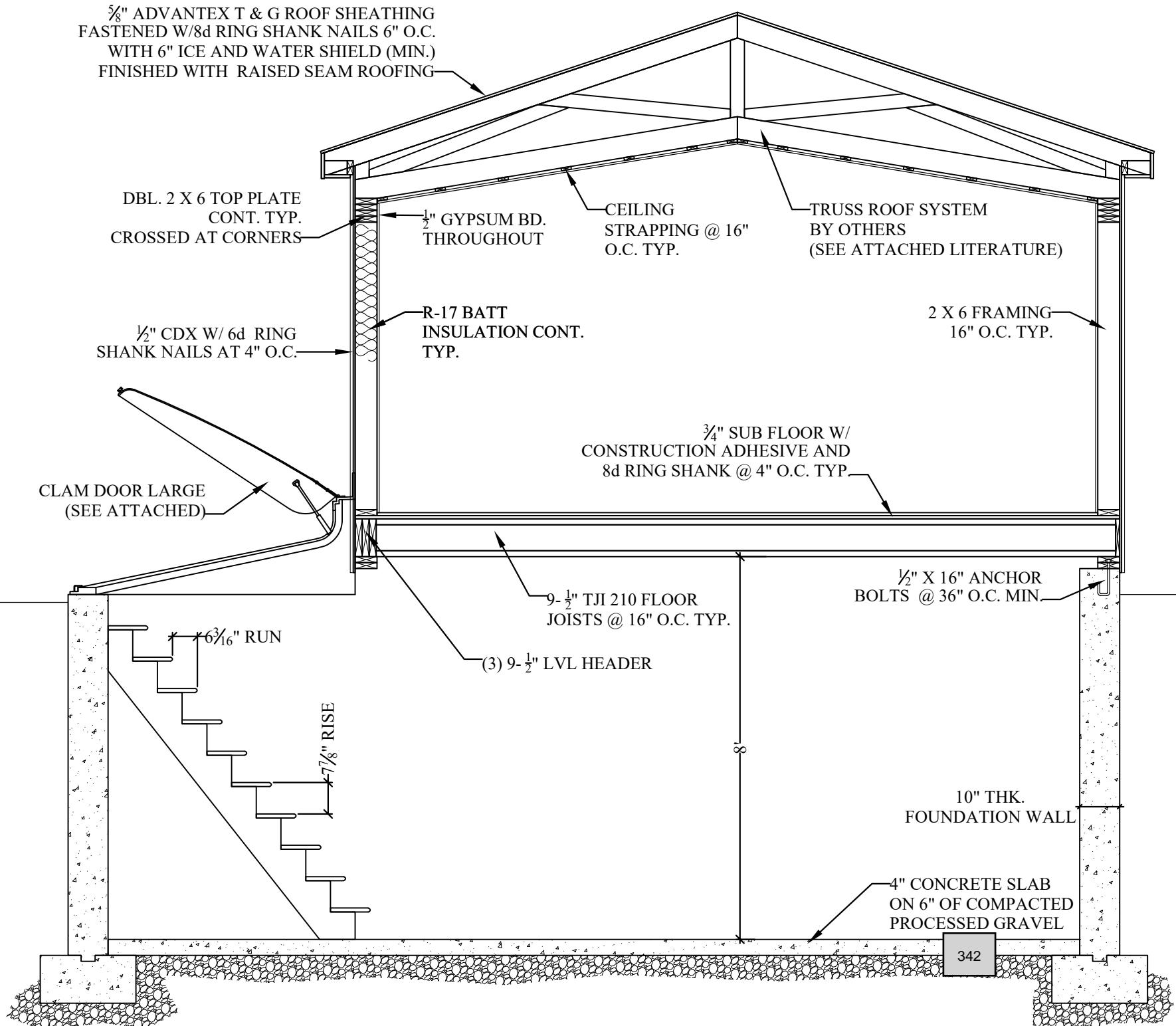
O'Donnell
DESIGN SERVICES
JONATHAN O'DONNELL
42 DUDLEY AVE.
NEWPORT, RI 02840

(401)855-0878
jonod5@yahoo.com

Comments: *Customer must be present in during any in-field survey notifications or this plan, or changes are necessary, contact the designer (O'Donnell)*

PROJECT:

DAVID MANOCCHIO
1237 HOPE ST.
BRISTOL, RI 02809



PROPOSED SECTION
SCALE: $\frac{1}{8}$ " = 1'-0"

REVISIONS
DRAWING:
SCALE:
DATE:
SHEET NO.

AS NOTED
7/22/2025
1 OF X

JONATHAN O'DONNELL
PROPOSED SECTION

BY:
JONATHAN O'DONNELL

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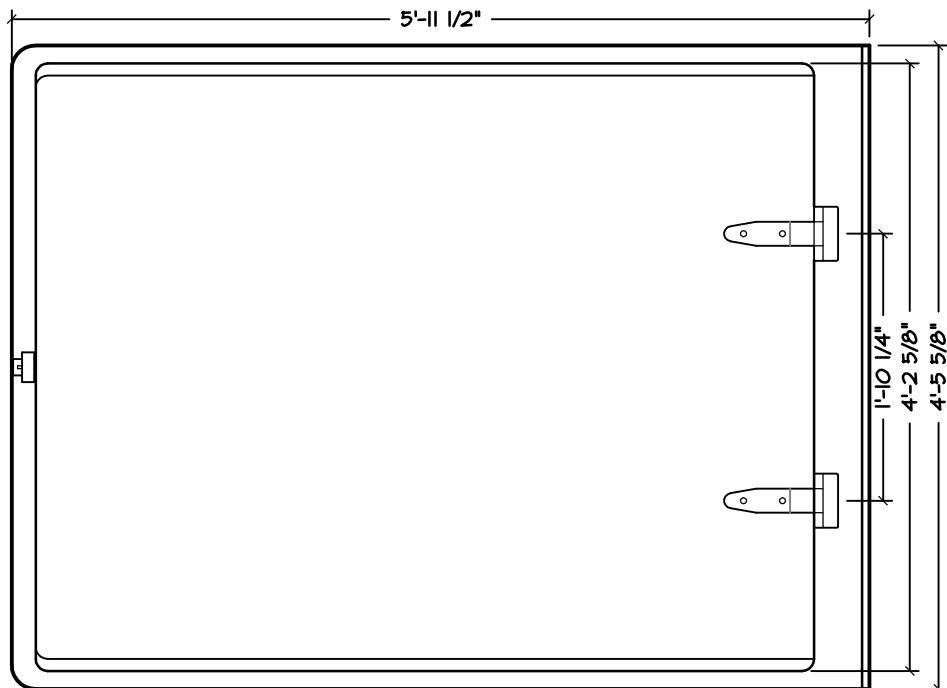
JONATHAN O'DONNELL
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Customer must be contacted in writing for any modifications to this plan. If changes are necessary, contact the designer or O'Donnell Design Services.

PROJECT:

DAVID MANOCCHIO
1237 HOPE ST.
BRISTOL, RI 02809



Large Clamdoor Overall Dimensions:

4'-5 5/8" wide

5'-11 1/2" long

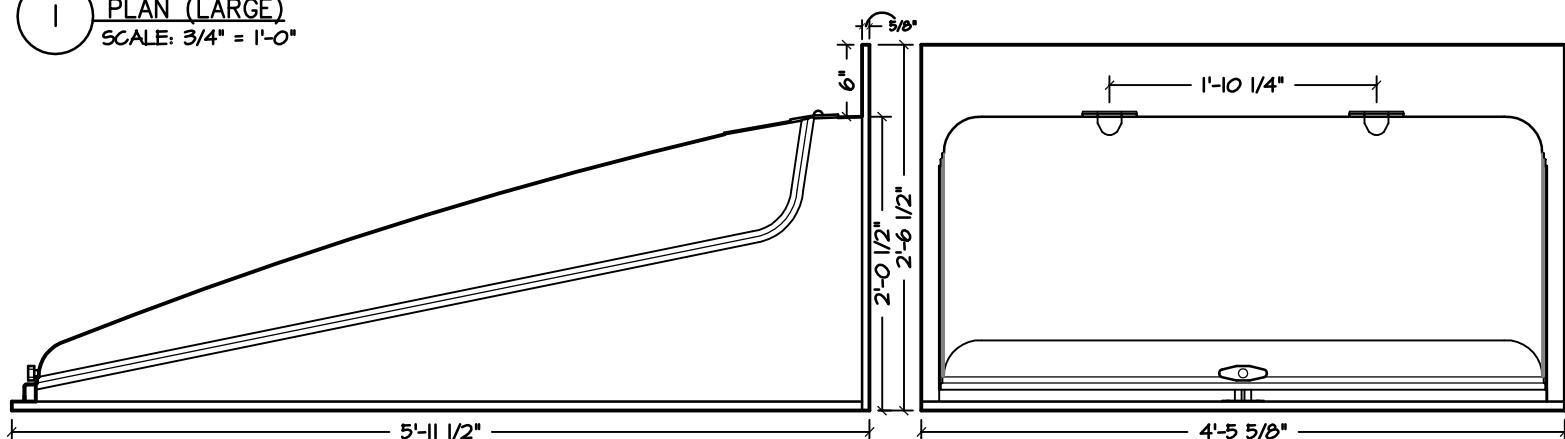
2'-0 1/2" tall (without flange)

* fits typical 8" thick concrete foundation bulkhead
(equal to Bilco Size C steel bulkhead)

See www.CLAMDOOR.com for installation instructions & video,
additional details and required materials.

1 PLAN (LARGE)

SCALE: 3/4" = 1'-0"

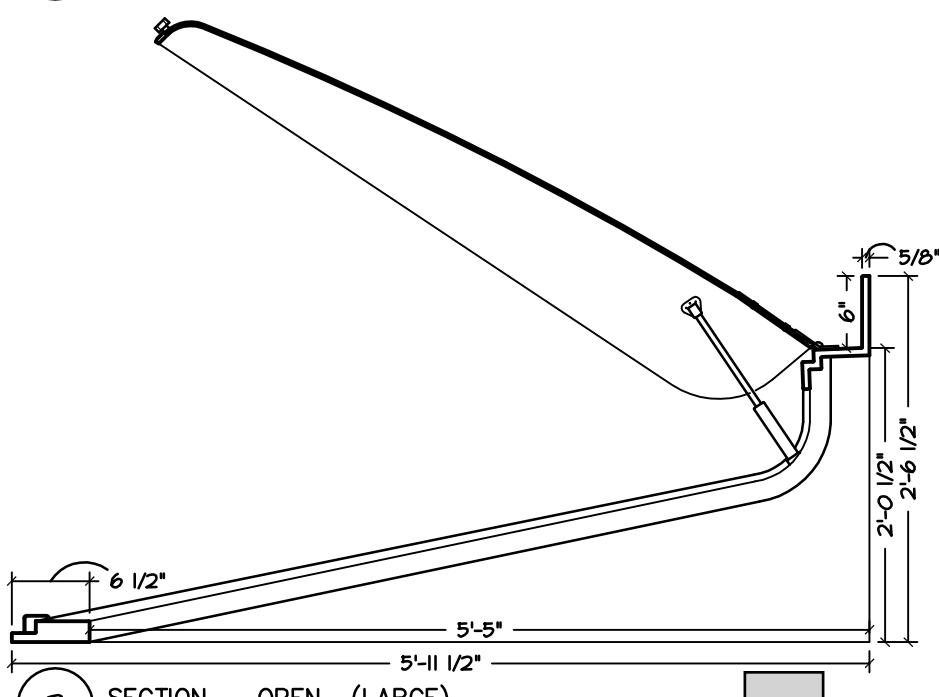


2 SIDE ELEVATION (LARGE)

SCALE: 3/4" = 1'-0"

4 FRONT ELEVATION (LARGE)

SCALE: 3/4" = 1'-0"



3 SECTION - OPEN (LARGE)

SCALE: 3/4" = 1'-0"

AMBARA®

Thermally Modified Siding, Ceiling, Trim, Beams, & Pergolas



THE HIGHER DEGREE OF WOOD™

Ambara® is a proprietary lightweight, low density, and thermally modified West African tropical hardwood. We start with Obeche, which has a long history of use in plywood and veneers. Our proprietary thermal modification process gives our Ambara® a consistent and beautiful caramel color throughout the wood.

AMBARA® - THE PERFECT CEDAR SUBSTITUTE

The thermal modification of the Ambara® not only affects the color of the wood, but also greatly increases the durability and stability of the wood, making it ideal for all climates and extreme outdoor environments. Ambara® can be used for indoor applications, outdoor siding, cladding, and soffit applications because the process of thermal modification increases its durability to the same class as clear all heart Western Red Cedar.

Ambara® hardwood will naturally fade to a silver-gray color when left unfinished. If you desire to maintain the natural amber-brown coloring of the boards, a wood stain with UV blockers should be used prior to installation. To maintain Ambara's® color after installation, maintenance coats of stain should be applied every 2-5 years depending on the level of UV exposure.



TECHNICAL SPECIFICATIONS

Janka Hardness: 285 Lbf

Strength (MOR): 8,820 (psi)

Stiffness (MOE): 970 (1000 psi)

Grade: A & Btr Clear

Density: 320 kg/m³

Color: Consistent caramel brown to amber when thermally modified.

Radial Shrinkage: <1.0%

Tangential Shrinkage: <1.0%

Species: *Triplochiton scleroxylon*

Tree Characteristics: Tall and relatively clear with logs up to 5 feet in diameter.

Geographic Area: Abundant in West Africa, and available with FSC certification from sustainably managed forests.

Texture: Medium

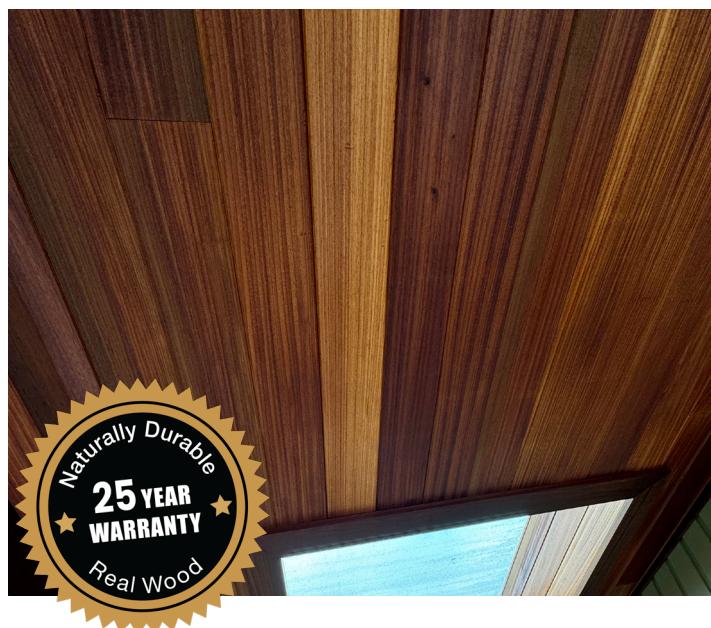
Grain: Separated for Vertical and Mixed Grain

Luster: Medium High

Appearance: Medium to wide ribbon grain similar to quarter sawn Sapele

Durability: Class 2 rated. Ambara™ is in the same class as clear all heart Western Red Cedar.

Finishing: Easily takes oil/water-based stains and paint.



Nova USA Wood Products
3821 24th Ave.
Forest Grove, OR. 97116
(503) 419-6407



www.novausawood.com

@NOVAUSAWOOD



AMBARA®

Thermally Modified Siding, Ceiling, Trim, Beams, & Pergolas



AMBARA® PRODUCT OFFERINGS

Ambara can be milled into common or custom patterns

Ambara® sizes stocked as S4S Blanks and Rough Sawn

4/4 thickness available in 4", 6", 8", 10" and 12" widths

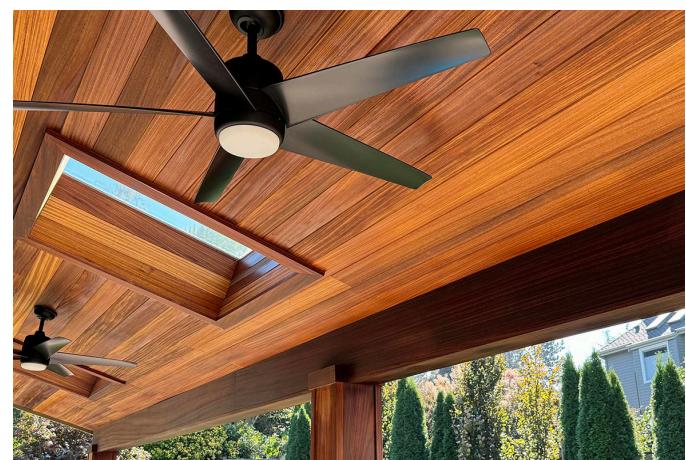
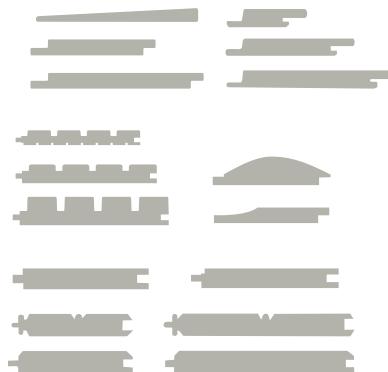
5/4 thickness available in 4", 6", 8", 10" and 12" widths

8/4 thickness available in 4", 6", 8", 10" and 12" widths

Additional dimensions available upon request



COMMON SIDING PROFILES



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3821 24th Ave.
Forest Grove, OR. 97116
(503) 419-6407



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345

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Classic Series Basement Doors



Add the convenience of direct basement access and get the full use of your home with our Classic Series basement door-primer finish. BILCO basement doors allow homeowners to add code-compliant living space or storage areas to their home. Large items such games tables and furniture for finished areas, or pool supplies and patio furniture for storage areas, move easily through the wide opening of a BILCO door. Doors are available with a factory powder coat finish in colors to match the exterior of any home.

[Description](#) [Videos](#) [Sales Contact](#) [Documents](#) [Education](#)

Classic Series Basement Doors - Size B, C, O, SL

Standard Features and Benefits

- Easy to Operate... Gas Spring lift assistance provides smooth, easy, one-hand operation and prevents the doors from slamming closed.
- Weathertight... The basement door's primer finish sheds water, keeps areaway dry and free of debris. Flanged construction sheds water and prevents binding due to ice and snow.
- Rugged... Heavy gauge steel and sturdy concealed hinges, protected from the weather ensure all-season operation and lasting service.
- Durable... Baked-on Sherwin Williams primer or optional powder coat paint finish in a number of standard colors.
- Secure... Slide bolt lock and internal mounting flanges make your home safe and secure. Optional keyed lock kit available for exterior access.
- Code-Compliant... Satisfies IRC 2021 Building code requirements for emergency egress in finished basement areas.

Optional Powder Coat Paint Finish

The factory applied polyester resin finish provides a durable, weather-resistant coating and eliminates the need to paint your door after installation. This finish is superior to conventional paint and makes the BILCO door durable, attractive and extremely scratch-resistant. The finish is available on Size B, Size C, and in six standard colors (Black, Green, White, Sandstone, Gray, Brick) to compliment any home (see color swatches below). Powder coated basement doors can be supplied with a key lock kit and pre-punched holes for ease of installation (see table below).

Powder Coat Finish Warranty: The powder coat finish carries a one-year warranty against flaking, peeling, or blistering under normal conditions. This warranty excludes damage caused during the product installation process or resulting from falling objects, scratching, abrading, or misuse or abuse of the product in any way.



Size and Model Numbers

Primer*	B	C	O	SL	
	SZ BG	SZ CG	SZ OG	SZ SLG	
Powder Coat	White	SZ BGPC1	SZ CGPC1	X	X
	Sandstone	SZ BGPC2	SZ CGPC2	X	X
	Gray	SZ BGPC7	SZ CGPC7	X	X
	Brick	SZ BGPC4	SZ CGPC4	X	X
	Black	SZ BGPC5	SZ CGPC5	X	X
	Green	SZ BGPC6	SZ CGPC6	X	X
Powder Coat with Keyed Lock Kit	White	SZ BGLPC1	SZ CGLPC1	X	X
	Sandstone	SZ BGLPC2	SZ CGLPC2	X	X
	Gray	SZ BGLPC7	SZ CGLPC7	X	X
	Brick	SZ BGLPC4	SZ CGLPC4	X	X
	Black	SZ BGLPC5	SZ CGLPC5	X	X
	Green	SZ BGLPC6	SZ CGLPC6	X	X

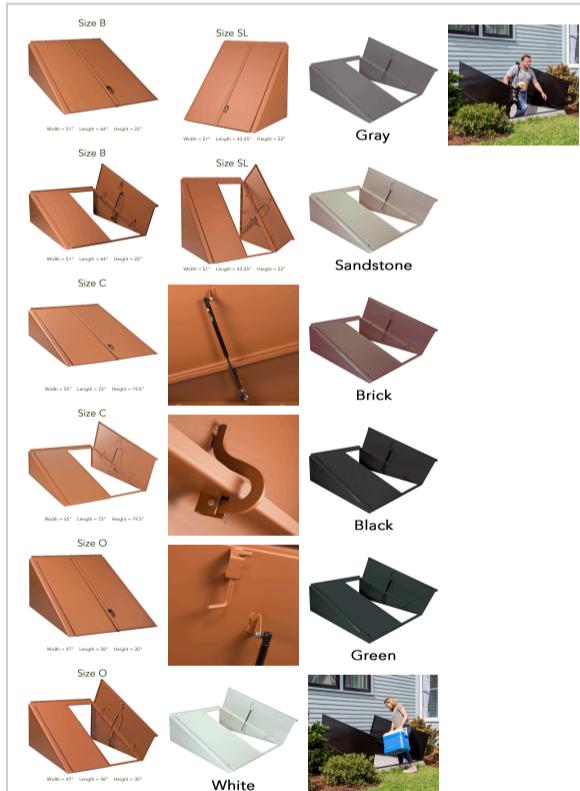
* Doors with a primer finish require a finish coat of paint by the contractor or homeowner

X - Not available

Size your Basement Door

Prior to using our sizing program we ask that you enter your zip code if you are in the US or Canada.

Zip Code :



Size B



Width = 51" Length = 64" Height = 22"

CA Prop 65 Notice



WARNING : The State of California has deemed that this product can cause cancer, birth defects or other harmful effects. For more information, please visit www.p65warnings.ca.gov/

- Access Products
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- Safety & Security Products
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