



# Bristol Historic District Commission

## Application for Review of Proposed Work - Printable Application

HDC-25-126	September 10, 2025
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**THIS DOCUMENT IS NOT A SUBSTITUTE FOR A BUILDING, ELECTRICAL, SIGN, MECHANICAL, DEMOLITION, SOLAR OR FENCE PERMIT APPLICATION. THESE PERMITS MUST BE APPLIED FOR AND APPROVED BY THE BRISTOL BUILDING DEPARTMENT BEFORE WORK CAN BEGIN.**

Project Address	Assessor's Plat/Lot
1237 HOPE ST , BRISTOL, RI, 02809	061-0034-000

Applicant	Applicant Phone	Applicant Email
David Manocchio	401 259 1862	dmanocchio@turnerbrothers.com

Property Owner (If Different from Applicant)	Owner Mailing Address

Architect/Engineer	A/E Phone Number	A/E Email
Jonathan O'Donnell	401 855-0878	jonod5@yahoo.com

Contractor	Contractor Phone Number	Contractor Email

Work Category:	Addition to Structure(s)
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Description of proposed work:
Change approved crawl space to full basement with bulkhead access.

Property History

Building Survey Data	
RIHPHC ID #:	
HISTORIC NAME:	
ARCH. STYLE:	
ORIGINAL CONSTRUCTION DATE (est.):	
ALTERATIONS TO MAJOR ARCH. SINCE 1978 (Height, Massing, Wall Covering, Trim, Windows. Porches)	


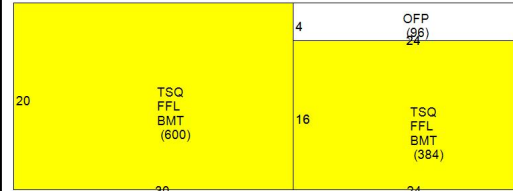
David Manocchio  
Applicant's Name – Printed  
Date: September 10, 2025

**Jonathan O'Donnell**  
Applicant's Digital Signature



# CAI Property Card

Town of Bristol, RI

GENERAL PROPERTY INFORMATION	BUILDING EXTERIOR
<b>LOCATION:</b> 1237 HOPE ST <b>ACRES:</b> 1.0872 <b>PARCEL ID:</b> 061-0034-000 <b>LAND USE CODE:</b> 01 <b>CONDO COMPLEX:</b> <b>OWNER:</b> MANOCCHIO, DAVID <b>CO - OWNER:</b> <b>MAILING ADDRESS:</b> 1237 HOPE ST  <b>ZONING:</b> R-20 <b>PATRIOT ACCOUNT #:</b> 3910	<b>BUILDING STYLE:</b> Colonial <b>UNITS:</b> 1 <b>YEAR BUILT:</b> 1716 <b>FRAME:</b> Wood Frame <b>EXTERIOR WALL COVER:</b> Wood Shngle <b>ROOF STYLE:</b> Gambrel <b>ROOF COVER:</b> Asphalt Shin
	BUILDING INTERIOR
<b>SALE INFORMATION</b> <b>SALE DATE:</b> 3/1/2021 <b>BOOK &amp; PAGE:</b> 2094-114 <b>SALE PRICE:</b> 515,000 <b>SALE DESCRIPTION:</b> <b>SELLER:</b> MACDONALD, GEORGINA	<b>INTERIOR WALL:</b> Plaster <b>FLOOR COVER:</b> Pine <b>HEAT TYPE:</b> BB Hot Water <b>FUEL TYPE:</b> Oil <b>PERCENT A/C:</b> True <b># OF ROOMS:</b> 7 <b># OF BEDROOMS:</b> 2 <b># OF FULL BATHS:</b> 2 <b># OF HALF BATHS:</b> 0 <b># OF ADDITIONAL FIXTURES:</b> 0 <b># OF KITCHENS:</b> 1 <b># OF FIREPLACES:</b> 0 <b># OF METAL FIREPLACES:</b> 0 <b># OF BASEMENT GARAGES:</b> 0
PRINCIPAL BUILDING AREAS	
<b>GROSS BUILDING AREA:</b> 3048 <b>FINISHED BUILDING AREA:</b> 1722 <b>BASEMENT AREA:</b> 984 <b># OF PRINCIPAL BUILDINGS:</b> 1	
ASSESSED VALUES	
<b>LAND:</b> \$265,800 <b>YARD:</b> \$1,200 <b>BUILDING:</b> \$175,100 <b>TOTAL:</b> \$442,100	
SKETCH	PHOTO
	



www.cai-tech.com

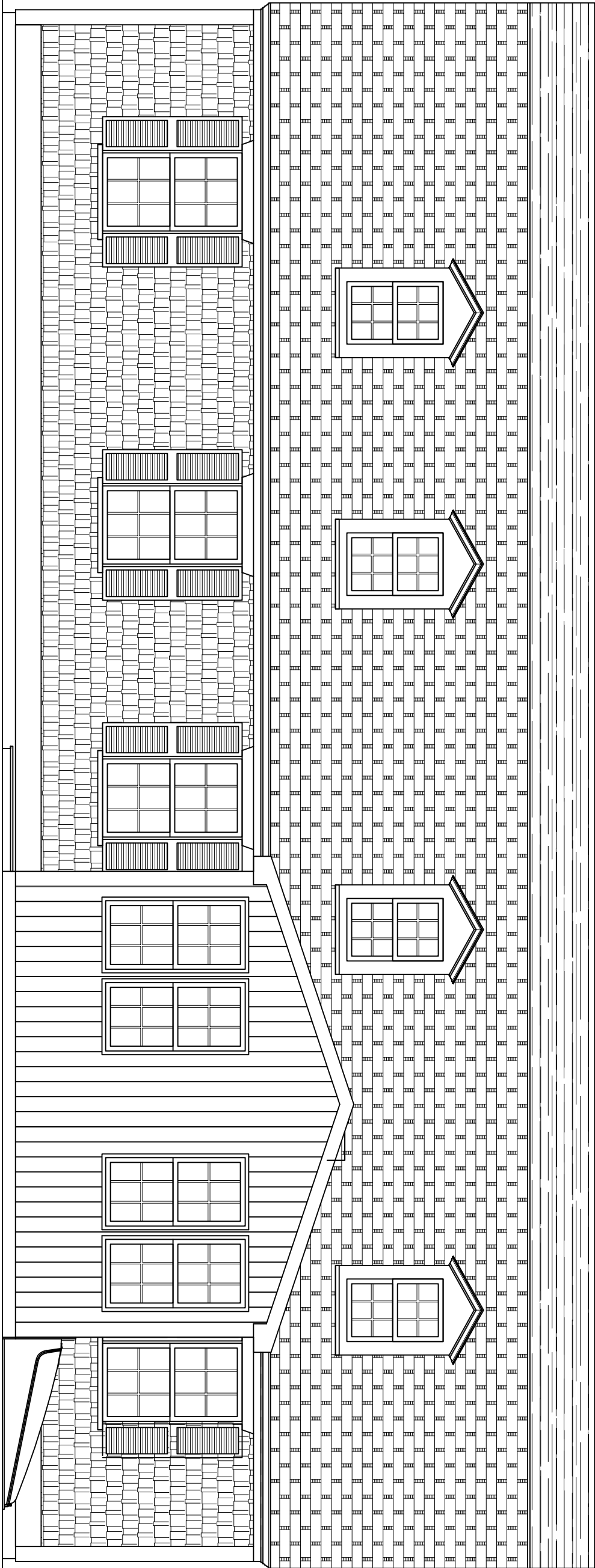
This information is believed to be correct but is subject to change and is not warranted.

9/22/2025

Property Information - Bristol, RI

335

Page 1 of 1



PROPOSED NORTH ELEVATION

SCALE:  $\frac{1}{4}" = 1'-0"$

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PROJECT:

DAVID MANOCCHIO  
1237 HOPE ST.  
BRISTOL, RI 02809

O'Donnell  
DESIGN SERVICES

JONATHAN O'DONNELL  
42 DUDLEY AVE.  
NEWPORT, RI 02840

(401)855-0878  
jonod5@yahoo.com

BY:

JONATHAN O'DONNELL

DRAWING:  
PROPOSED  
NORTH  
ELEVATION

SCALE:	AS NOTED
DATE:	7/22/2025
SHEET NO.	1 OF X

5.0



PROPOSED EAST ELEVATION

9.0



PROJECT:

DAVID MANOCCHIO  
1237 HOPE ST.  
BRISTOL, RI 02809

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DESIGN SERVICES

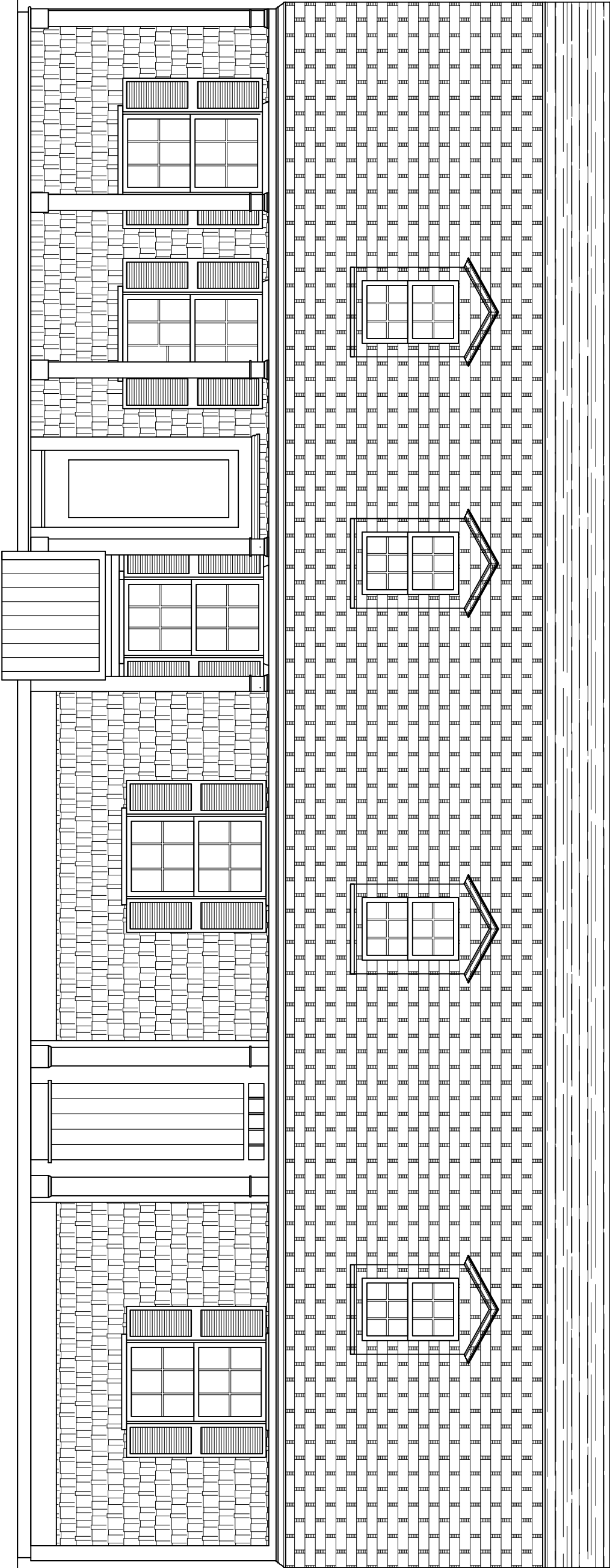
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BY: JONATHAN O'DONNELL

DRAWING:  
PROPOSED  
SOUTH  
ELEVATION

REVISIONS

SCALE: AS NOTED  
DATE: 7/22/2025  
SHEET NO. 1 OF X



1  
PROPOSED SOUTH ELEVATION  
SCALE:  $\frac{1}{4}" = 1'-0"$



PROPOSED WEST ELEVATION

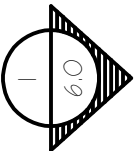
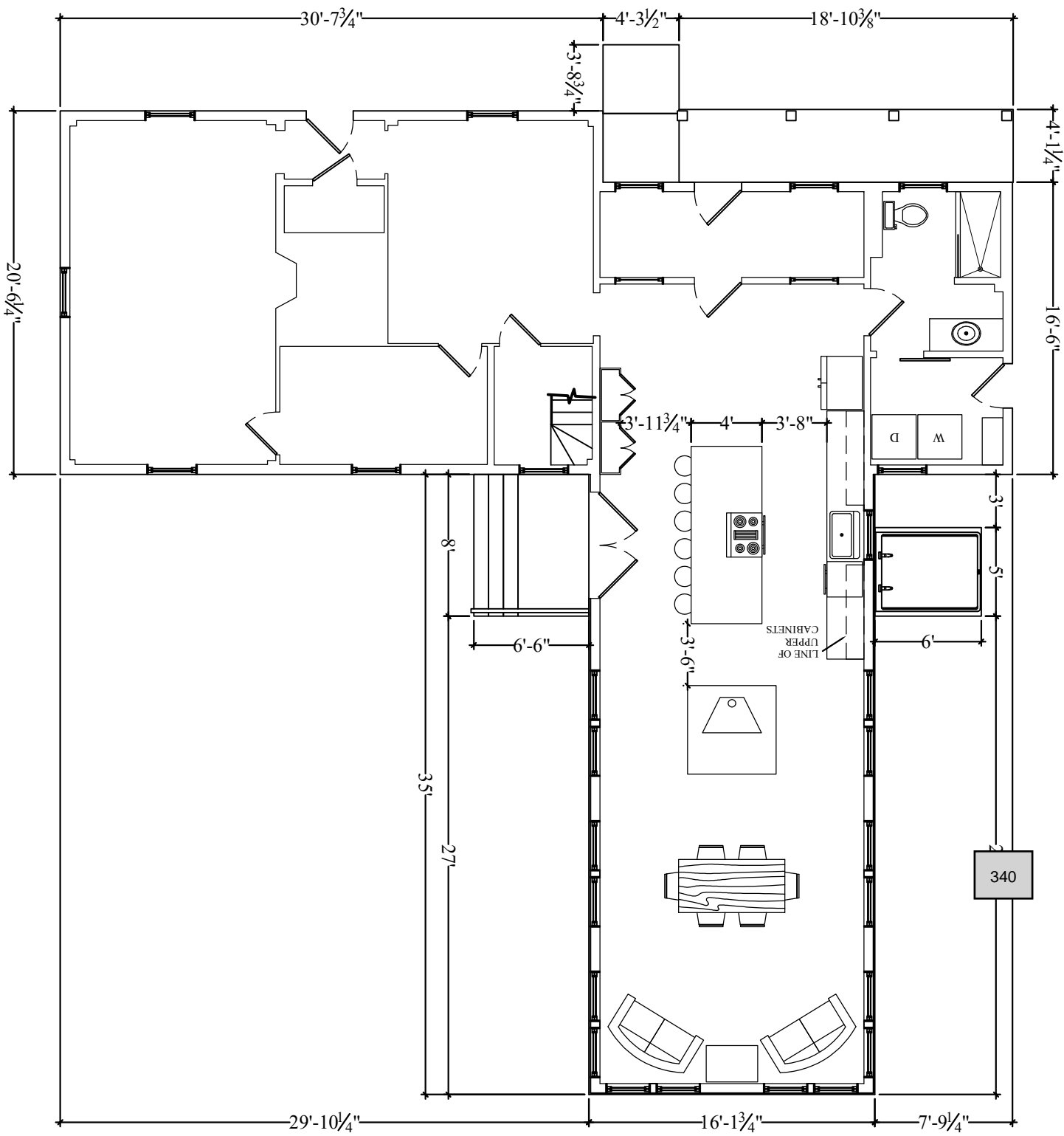
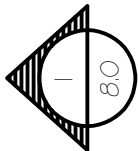
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BRISTOL, RI 02809

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[illegible]

BY:  
JONATHAN O'DONNELL

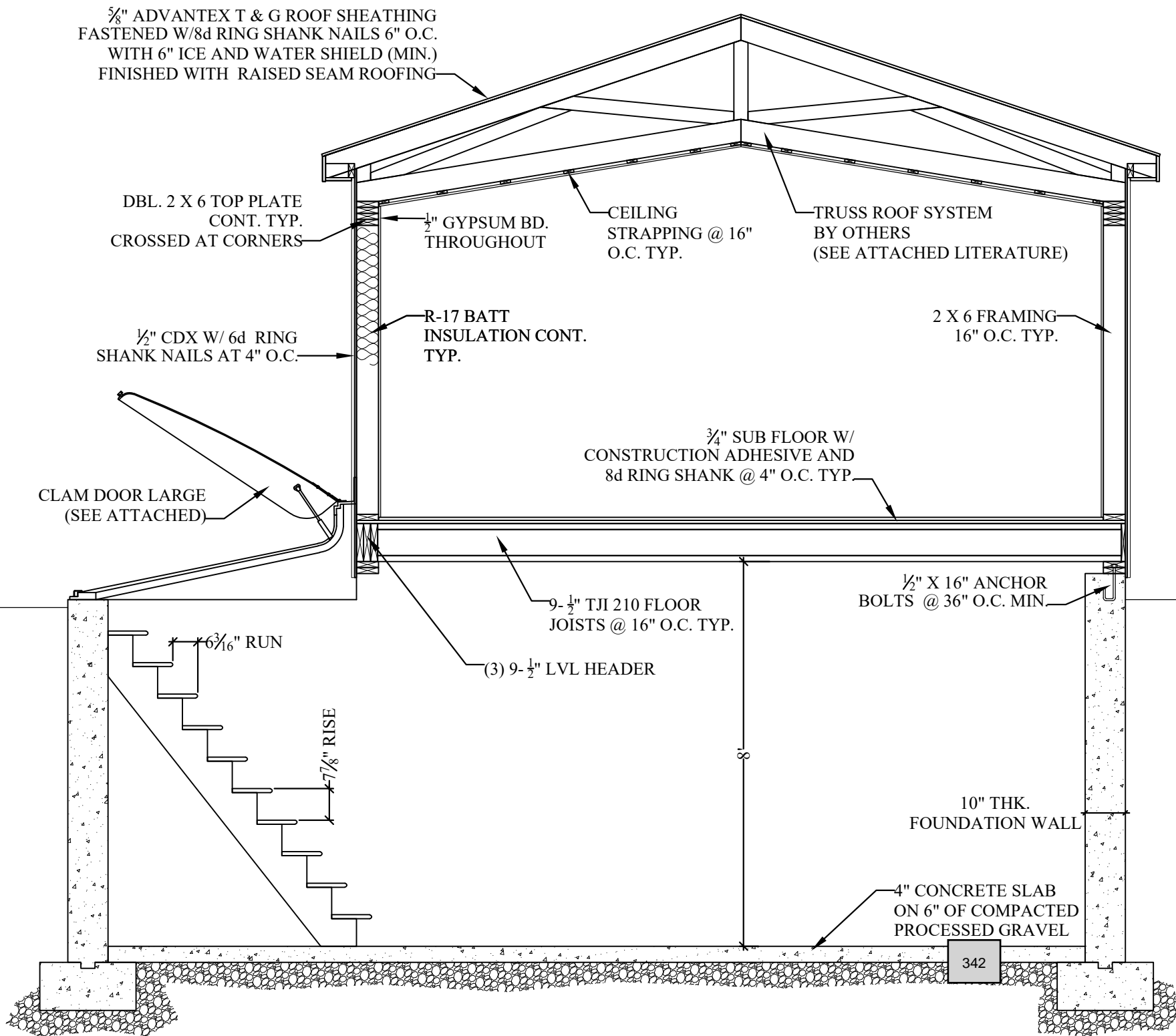
DRAWING:  
PROPOSED 1ST  
LEVEL PLAN

REVISIONS

SCALE:	AS NOTED
DATE:	7/22/2025
SHEET NO.	1 OF X

0.6





1 PROPOSED SECTION  
SCALE:  $\frac{3}{8}$ " = 1'-0"

BY:	JONATHAN O'DONNELL
DRAWING:	PROPOSED SECTION
REVISIONS	
SCALE:	AS NOTED
DATE:	7/22/2025
SHEET NO.	1 OF X

11.0

**O'Donnell**  
DESIGN SERVICES

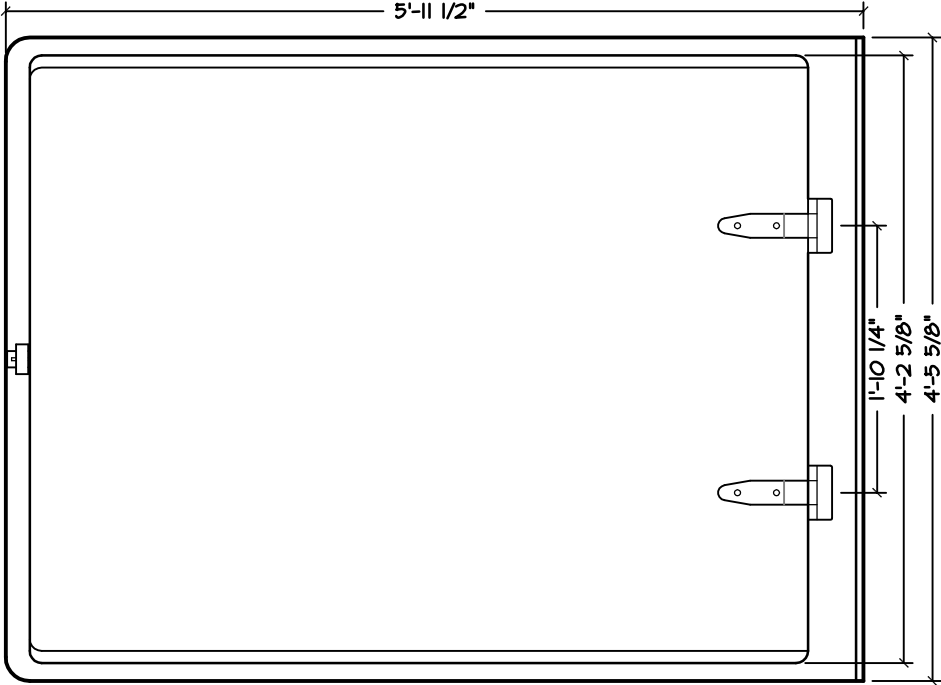
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PROJECT:

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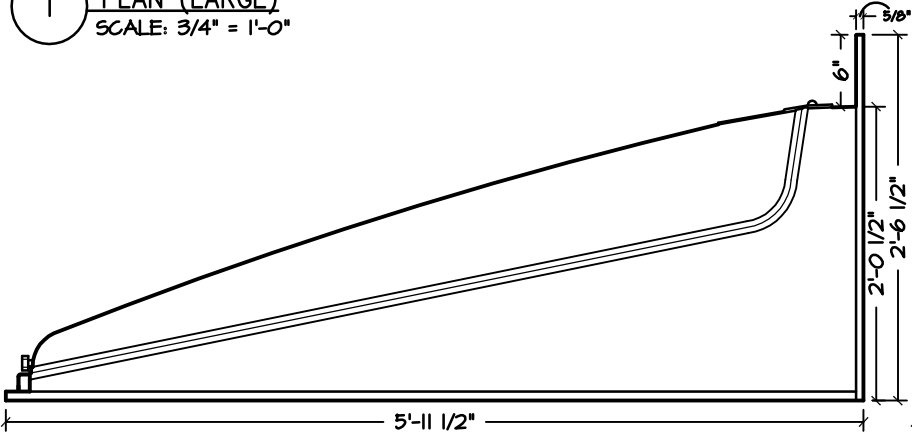


1 PLAN (LARGE)  
SCALE: 3/4" = 1'-0"

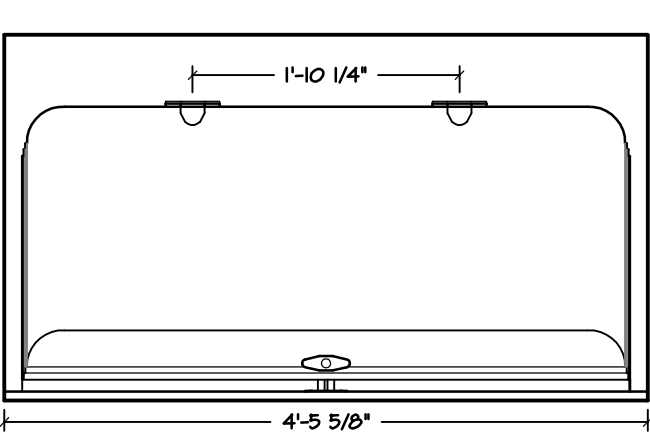
Large Clamdoor Overall Dimensions:  
4'-5-5/8" wide  
5'-11-1/2" long  
2'-0-1/2" tall (without flange)

\* fits typical 8" thick concrete foundation bulkhead  
(equal to Bilco Size C steel bulkhead)

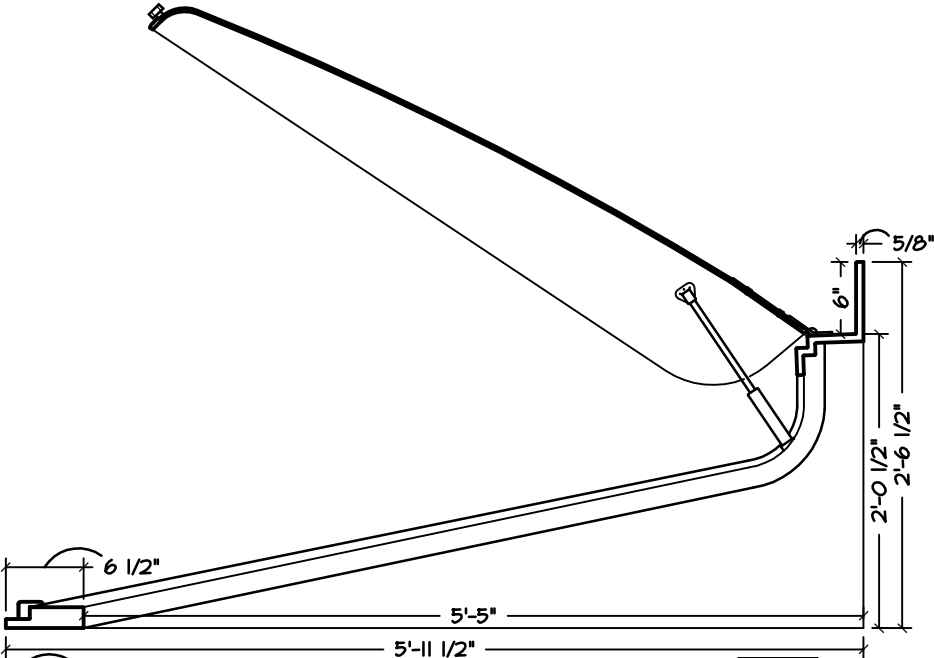
See [www.CLAMDOOR.com](http://www.CLAMDOOR.com) for installation instructions & video,  
additional details and required materials.



2 SIDE ELEVATION (LARGE)  
SCALE: 3/4" = 1'-0"



4 FRONT ELEVATION (LARGE)  
SCALE: 3/4" = 1'-0"



3 SECTION - OPEN (LARGE)  
SCALE: 3/4" = 1'-0"

# AMBARA®

Thermally Modified Siding, Ceiling, Trim, Beams, & Pergolas



## THE HIGHER DEGREE OF WOOD™

Ambara® is a proprietary lightweight, low density, and thermally modified West African tropical hardwood. We start with Obeche, which has a long history of use in plywood and veneers. Our proprietary thermal modification process gives our Ambara® a consistent and beautiful caramel color throughout the wood.

## AMBARA® - THE PERFECT CEDAR SUBSTITUTE

The thermal modification of the Ambara® not only affects the color of the wood, but also greatly increases the durability and stability of the wood, making it ideal for all climates and extreme outdoor environments. Ambara® can be used for indoor applications, outdoor siding, cladding, and soffit applications because the process of thermal modification increases its durability to the same class as clear all heart Western Red Cedar.

Ambara® hardwood will naturally fade to a silver-gray color when left unfinished. If you desire to maintain the natural amber-brown coloring of the boards, a wood stain with UV blockers should be used prior to installation. To maintain Ambara's® color after installation, maintenance coats of stain should be applied every 2-5 years depending on the level of UV exposure.



## TECHNICAL SPECIFICATIONS

Janka Hardness: 285 Lbf

Strength (MOR): 8,820 (psi)

Stiffness (MOE): 970 (1000 psi)

Grade: A & Btr Clear

Density: 320 kg/m3

Color: Consistent caramel brown to amber when thermally modified.

Radial Shrinkage: <1.0%

Tangential Shrinkage: <1.0%

Species: Triplochiton scleroxylon

Tree Characteristics: Tall and relatively clear with logs up to 5 feet in diameter.

Geographic Area: Abundant in West Africa, and available with FSC certification from sustainably managed forests.

Texture: Medium

Grain: Separated for Vertical and Mixed Grain

Luster: Medium High

Appearance: Medium to wide ribbon grain similar to quarter sawn Sapele

Durability: Class 2 rated. Ambara™ is in the same class as clear all heart Western Red Cedar.

Finishing: Easily takes oil/water-based stains and paint.



Nova USA Wood Products  
3821 24th Ave.  
Forest Grove, OR. 97116  
(503) 419-6407



www.novausa-wood.com

@NOVAUSAWOOD





# AMBARA®

Thermally Modified Siding, Ceiling, Trim, Beams, & Pergolas



## AMBARA® PRODUCT OFFERINGS

Ambara can be milled into common or custom patterns

Ambara® sizes stocked as S4S Blanks and Rough Sawn

4/4 thickness available in 4", 6", 8", 10" and 12" widths

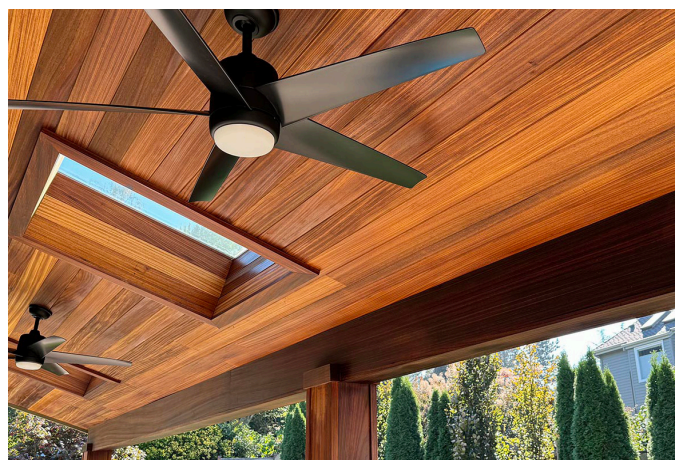
5/4 thickness available in 4", 6", 8", 10" and 12" widths

8/4 thickness available in 4", 6", 8", 10" and 12" widths

Additional dimensions available upon request



## COMMON SIDING PROFILES



Nova USA Wood Products  
3821 24th Ave.  
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Classic Series Basement Doors



Add the convenience of direct basement access and get the full use of your home with our Classic Series basement door-primer finish. BILCO basement doors allow homeowners to add code-compliant living space or storage areas to their home. Large items such games tables and furniture for finished areas, or pool supplies and patio furniture for storage areas, move easily through the wide opening of a BILCO door. Doors are available with a factory powder coat finish in colors to match the exterior of any home.

- Description
- Videos
- Sales Contact
- Documents
- Education

Classic Series Basement Doors - Size B, C, O, SL



Standard Features and Benefits

- Easy to Operate... Gas Spring lift assistance provides smooth, easy, one-hand operation and prevents the doors from slamming closed.
- Weathertight... The basement door's primer finish sheds water, keeps areaway dry and free of debris. Flanged construction sheds water and prevents binding due to ice and snow.
- Rugged... Heavy gauge steel and sturdy concealed hinges, protected from the weather ensure all-season operation and lasting service.
- Durable... Baked-on Sherwin Williams primer or optional powder coat paint finish in a number of standard colors.
- Secure... Slide bolt lock and internal mounting flanges make your home safe and secure. Optional keyed lock kit available for exterior access.
- Code-Compliant... Satisfies IRC 2021 Building code requirements for emergency egress in finished basement areas.

Optional Powder Coat Paint Finish

The factory applied polyester resin finish provides a durable, weather-resistant coating and eliminates the need to paint your door after installation. This finish is superior finish to conventional paint and makes the BILCO door durable, attractive and extremely scratch-resistant. The finish is available on Size B, Size C, and in six standard colors (Black, Green, White, Sandstone, Gray, Brick) to compliment any home (see color swatches below). Powder coated basement doors can be supplied with a key lock kit and pre-punched holes for ease of installation (see table below).

Powder Coat Finish Warranty: The powder coat finish carries a one-year warranty against flaking, peeling, or blistering under normal conditions. This warranty excludes damage caused during the product installation process or resulting from falling objects,scratching, abrading, or misuse or abuse of the product in any way.

		Size and Model Numbers				Item 11.
		B	C	O	SL	
Primer*		SZ BG	SZ CG	SZ OG	SZ SLG	<a href="#">Home</a> <a href="#">Company</a> <a href="#">Contact Us</a> <a href="#">Products</a> <a href="#">Parts</a> <a href="#">News</a> <a href="#">Resources</a>
Powder Coat	White	SZ BGPC1	SZ CGPC1	X	X	
	Sandstone	SZ BGPC2	SZ CGPC2	X	X	
	Gray	SZ BGPC7	SZ CGPC7	X	X	
	Brick	SZ BGPC4	SZ CGPC4	X	X	
	Black	SZ BGPC5	SZ CGPC5	X	X	
	Green	SZ BGPC6	SZ CGPC6	X	X	
Powder Coat with Keyed Lock Kit	White	SZ BGLPC1	SZ CGLPC1	X	X	
	Sandstone	SZ BGLPC2	SZ CGLPC2	X	X	
	Gray	SZ BGLPC7	SZ CGLPC7	X	X	
	Brick	SZ BGLPC4	SZ CGLPC4	X	X	
	Black	SZ BGLPC5	SZ CGLPC5	X	X	
	Green	SZ BGLPC6	SZ CGLPC6	X	X	

\* Doors with a primer finish require a finish coat of paint by the contractor or homeowner  
X - Not available

Size your Basement Door

Prior to using our sizing program we ask that you enter your zip code if you are in the US or Canada.

Zip Code :

Submit

Size B



Width = 51" Length = 64" Height = 22"

Size SL



Width = 51" Length = 64.00" Height = 22"

Gray



Size B



Width = 51" Length = 64" Height = 22"

Size SL



Width = 51" Length = 64.00" Height = 22"

Sandstone



Size C



Width = 51" Length = 72" Height = 22"



Brick

Black



Size C



Width = 51" Length = 72" Height = 22"



Black

Green



Size O



Width = 51" Length = 80" Height = 22"



Green

Size O



Width = 51" Length = 80" Height = 22"

White






Size B



Width = 51" Length = 64" Height = 22"

CA Prop 65 Notice

**WARNING :** The State of California has deemed that this product can cause cancer, birth defects or other harmful effects. For more information, please visit [www.p65warnings.ca.gov/](http://www.p65warnings.ca.gov/)

For more information, Please



## Links

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- Safety & Security Products
- Basement Doors
- Egress Window Wells
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