

RENOVATION AND ADDITION OF:

# 79 CONSTITUTION STREET

BRISTOL, RHODE ISLAND, 02809

HISTORIC DISTRICT COMMISSION SET

NOT FOR CONSTRUCTION

18 SEPTEMBER 2025

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MECHANICAL,  
ELECTRICAL,  
AND PLUMBING

TO BE  
PERMITTED  
DESIGN BUILD



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PROJECT NUMBER: 240905

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BRISTOL, RHODE ISLAND, 02809

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REVISIONS	

COVER

DRAWN BY: VF  
CHECKED BY: VP  
SHEET SIZE: ARCH D 24" X 36"


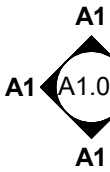

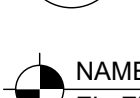
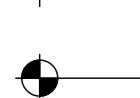

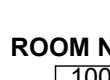





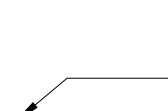


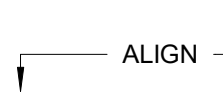

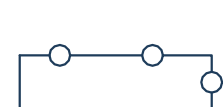
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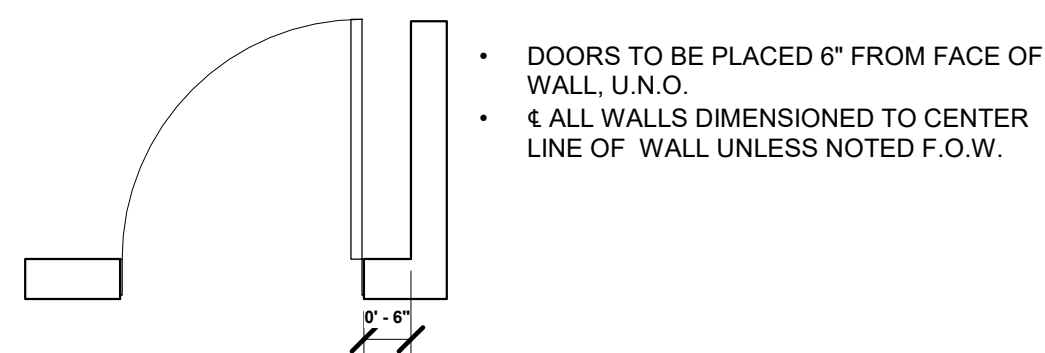
## MATERIAL DRAFTING PATTERNS

	ALUMINUM
	BRICK
	CONCRETE
	CONCRETE BLOCK
	CERAMIC TILE, HORIZONTAL SURFACE
	CERAMIC TILE, VERTICAL SURFACE
	EARTH
	ENGINEERED WOOD (MDF, HDF, ETC.)
	EXISTING, UNEXCAVATED
	GLASS, SPECIALTY
	GLASS, HORIZONTAL SURFACE
	GLASS, VERTICAL SURFACE
	GYPSUM/PLASTER
	METAL (STEEL, ETC.)
	PLASTIC
	PLYWOOD
	POROUS FILL (GRAVEL, CRUSHED STONE, ETC.)
	RIGID INSULATION
	RUBBLE
	SHINGLE
	WOOD (EDGE GRAIN)
	WOOD (END GRAIN)
	WOOD (FACE GRAIN)
	GENERIC 1
	GENERIC 2
	GENERIC 3
	GENERIC 4
	GENERIC 5
	GENERIC 6

## SYMBOLS

EXTERIOR ELEVATION	
INTERIOR ELEVATION	
SECTION	
ELEVATION	
SPOT ELEVATION	
COLUMN GRID MARK	
ROOM NAME AND MARK	
DOOR MARK	
WALL TYPE	
WINDOW TYPE	
FURNITURE / SPECIALTY EQUIPMENT MARK	
BREAK LINE	
LEADER	
DIMENSION	
REVISION CLOUD	
ALIGN	
FLOOR FINISH	
MOCKUP LOCATION	

## TYPICAL DOOR NOTES



## COMMON ABBREVIATIONS

ABV	ABOVE		L.E.D.	LIGHT EMITTING DIODE
A/C	AIR CONDITION		L.H.	LEFT HAND
ACC.	ACCESS(IBLE)		LIB.	LIBRARY
ACT	ACOUSTICAL CEILING TILE		LKR	LOCKER
ADDL	ADDITIONAL		LVL	LAMINATED VENEER LUMBER
ADJ.	ADJUSTABLE (OR) ADJACENT		LOC.	LOCATION
A/E	ARCHITECT/ENGINEER		L.O.W.	LIMIT OF WORK
A.F.F.	ABOVE FINISH FLOOR		LVR	LOUVER
A/HJ	AUTHORITY HAVING JURISDICTION			
ALUM.	ALUMINUM	MAS.	MASONRY	
ALT.	ALTERNATE	MAT.	MATERIAL	
ANOD.	ANODIZED	MAX.	MAXIMUM	
ARCH.	ARCHITECT(URAL)	MECH.	MECHANICAL	
A.P.	ACCESS PANEL	MED.	MEDIUM	
APT	APARTMENT	MEMB	MEMBRANE	
APPROX.	APPROXIMATE	MDF	MEDIUM DENSITY FIBERBOARD	
ASI	ARCHITECT'S SUPPLEMENTAL INSTRUCTION	MIN.	MINIMUM	
AUTO.	AUTOMATIC	MISC.	MISCELLANEOUS	
AUX.	AUXILIARY	M.O.	MASONRY OPENING	
		M.R.	MOISTURE RESISTANT	
BAS	BUILDING AUTOMATION SYSTEM	MTD	MOUNTED	
BD	BOARD	MTL	METAL	
BDRM	BEDROOM			
BITUM.	BITUMINOUS	N.A.	NOT APPLICABLE	
BLDG.	BUILDING	NAT.	NATURAL	
BLKG	BLOCKING	N.C.	NOISE CRITERIA	
BLW	BELOW	N.I.C.	NOT IN CONTRACT	
BSMT	BASEMENT	NKL	NICKEL	
BOT.	BOTTOM	NOM.	NOMINAL	
BRK	BRICK	N.R.C.	NOISE REDUCTION COEFFICIENT	
BRZ	BRONZE	N.T.S.	NOT TO SCALE	
BTWN	BETWEEN			
		O.C.	ON CENTER	
CAB.	CABINET	OCFI	OWNER FURNISHED CONTRACTOR INSTALLED	
C.F.M.F.	COLD-FORMED METAL FRAMING	OFOI	OWNER FURNISHED OWNER INSTALLED	
C.L.	CENTER LINE	O.H.	OPPOSITE HAND	
CLG	CEILING	OPNG	OPENING	
CLR	CLEAR(ANCE)	OPP	OPPOSITE	
C.J.	CONTROL JOINT	ORIG.	ORIGINAL	
CMU	CONCRETE MASONRY UNIT	OVHD	OVERHEAD	
COL.	COLUMN	OZ.	OUNCE	
COMP.	COMPRESS(ED), (ION), (IBLE)			
CONC.	CONCRETE	PERP	PERPENDICULAR	
CONST.	CONSTRUCTION	PLAM	PLASTIC LAMINATE	
CONT.	CONTINUE(E), (OUS)	PNT	PAINT	
COORD.	COORDINATE	PTD	PAINTED	
CPT	CARPET	PR	PAIR	
CPR	COPPER	P.T.	PRESSURE TREATED	
C.T.	CERAMIC TILE	PTN	PARTITION	
C.T.E.	CONNECT TO EXISTING	PLYWD	PLYWOOD	
C.U.H.	CABINET UNIT HEATER			
		Q.T.	QUARRY TILE	
DBL	DOUBLE	R.B.	RESILIENT BASE	
DEMO	DEMOLISH), (LITION)	R.D.	ROOF DRAIN	
DET.	DETAIL	REF.	REFER	
D.F.	DRINKING FOUNTAIN	REFR	REFRIGERATOR	
DH	DOUBLE HUNG	REQ.	REQUIRE(D)	
DIA.	DIAMETER	RES.	RESILIENT	
DIAG.	DIAGONAL	REV.	REVISION	
DIM.	DIMENSION	R.H.	RIGHT HAND	
DN	DOWN	RM	ROOM	
DR	DOOR	R.O.	ROUGH OPENING	
DS	DOWNSPOUT			
DTL	DETAIL	SCHED.	SCHEDULE	
DWG	DRAWING	SECT.	SECTION	
DX	DUPLEX	SF	SQUARE FEET	
		SHT	SHEET	
EA.	EACH	SHTH	SHEATHING	
EL.	ELEVATION	SIM.	SIMILAR	
ELEC.	ELECTRIC(AL)	SPEC.	SPEC (-IFIED) (IFICATION)	
ELEV.	ELEVATOR	SRL	SUBMITTAL REVIEW LETTER	
EMER.	EMERGENCY	SQ.	SQUARE	
EMS	EMERGENCY MANAGEMENT SYSTEM	S.S.	STAINLESS STEEL	
E.J.	EXPANSION JOINT	S.S.M.	SOLID SURFACE MATERIAL	
EQ.	EQUAL	STD	STANDARD	
EQUIP	EQUIPMENT	STOR.	STORAGE	
ETR	EXISTING TO REMAIN	STL	STEEL	
EXG	EXISTING	STRUCT.	STRUCTURAL	
EXT.	EXTERIOR	SUSP.	SUSPEND(ED)	
		SYS.	SYSTEM	
F.A.	FIRE ALARM	T&G	TONGUE AND GROOVE	
F.A.R.	FLOOR AREA RATIO	TBD	TO BE DETERMINED	
F.C.U.	FAN COIL UNIT	TEL.	TELEPHONE	
F.D.	FLOOR DRAIN	TEMP	TEMPORARY	
FDN	FOUNDATION	THK	THICK(NESS)	
F.E.	FIRE EXTINGUISHER	THR	THRESHOLD	
FEC	FIRE EXTINGUISHER CABINET	THRU	THROUGH	
FEL	FURNITURE, FIXTURE, AND EQUIPMENT	T.O.	TOP OF	
FGL	FIBERGLASS	TSTAT	THERMOSTAT	
FIN.	FINISH	TYP.	TYPICAL	
FIXT.	FIXTURE	TZ	TERRAZZO	
FL.	FLOOR			
FLUOR.	FLUORESCENT	U.H.	UNIT HEATER	
F.O.	FACE OF	U.N.O.	UNLESS NOTED OTHERWISE	
F.P.	FIRE PROTECTION	U.O.N.	UNLESS NOTED OTHERWISE	
FT	FEET			
FTG	FOOTING	VERT.	VERTICAL	
FURN.	FURNITURE	V.I.F.	VERIFY IN FIELD	
		V.R.	VAPOR RETARDER	
GA	GAGE	w/	WITH	
GALV	GALVANIZED	W.C.	WATER CLOSET	
GB	GRAB BAR	WD	WOOD	
GL	GLASS	WIN.	WINDOW	
GLAM	GLUE LAMINATED BEAM	Z.C.C.	ZINC COATED COPPER	
GLZ	GLAZING	&	AND	
GWB	GYPSUM BOARD			
HC	HANDICAP			
HDF	HIGH DENSITY FIBERBOARD			
HM	HOLLOW METAL			
HDWR	HARDWARE			
HOR.	HORIZONTAL			
HR	HOUR			
HT	HEIGHT			



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**79 CONSTITUTION STREET**

10. **COLLEGE AND NONCOLLEGE**

**BRISTOL, RHODE ISLAND, 02809**

HISTORIC DISTRICT COMMISSION SET  
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18 SEPTEMBER 2025

**DC SET**

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## REVISIONS

[illegible]

## PROJECT INFORMATION

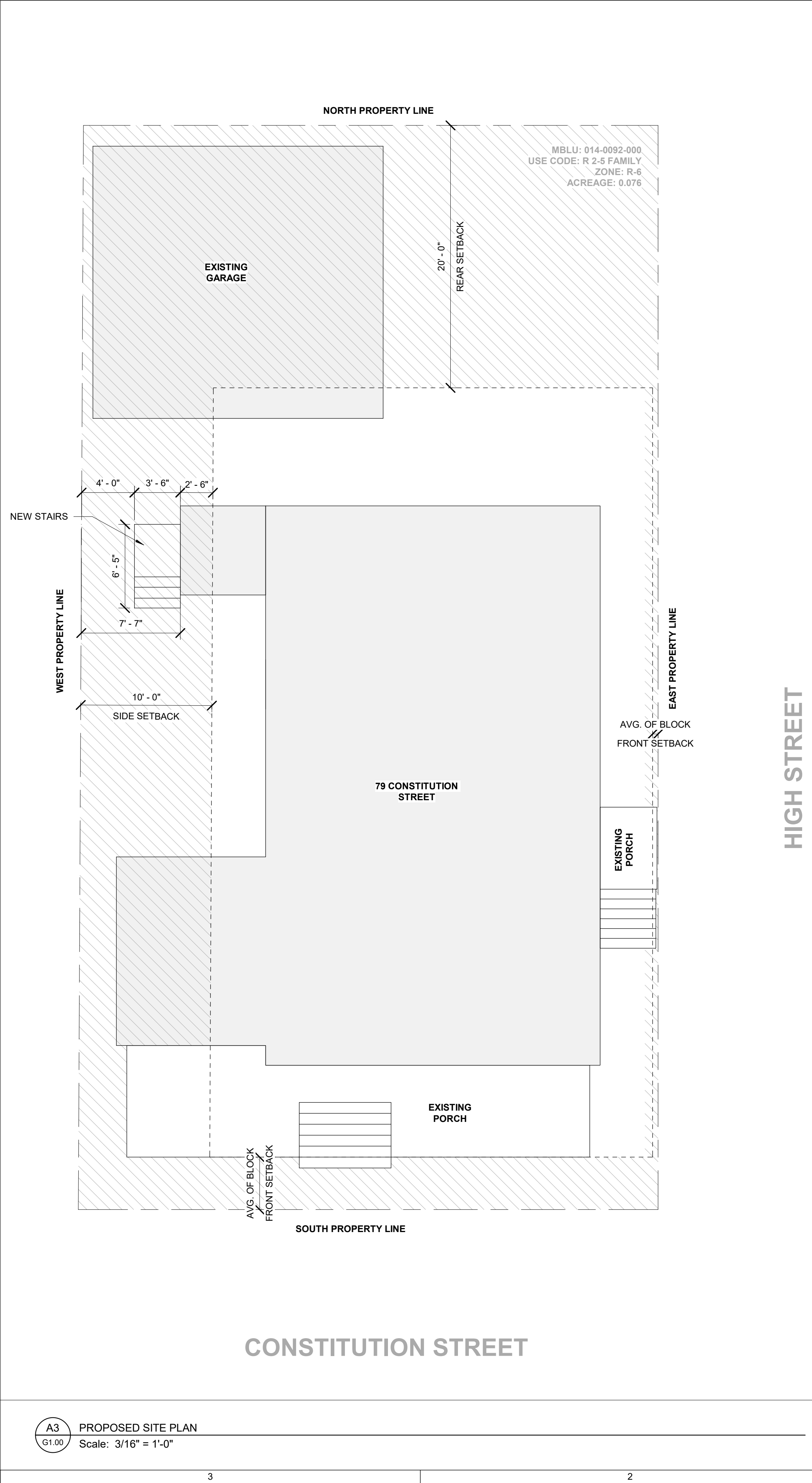
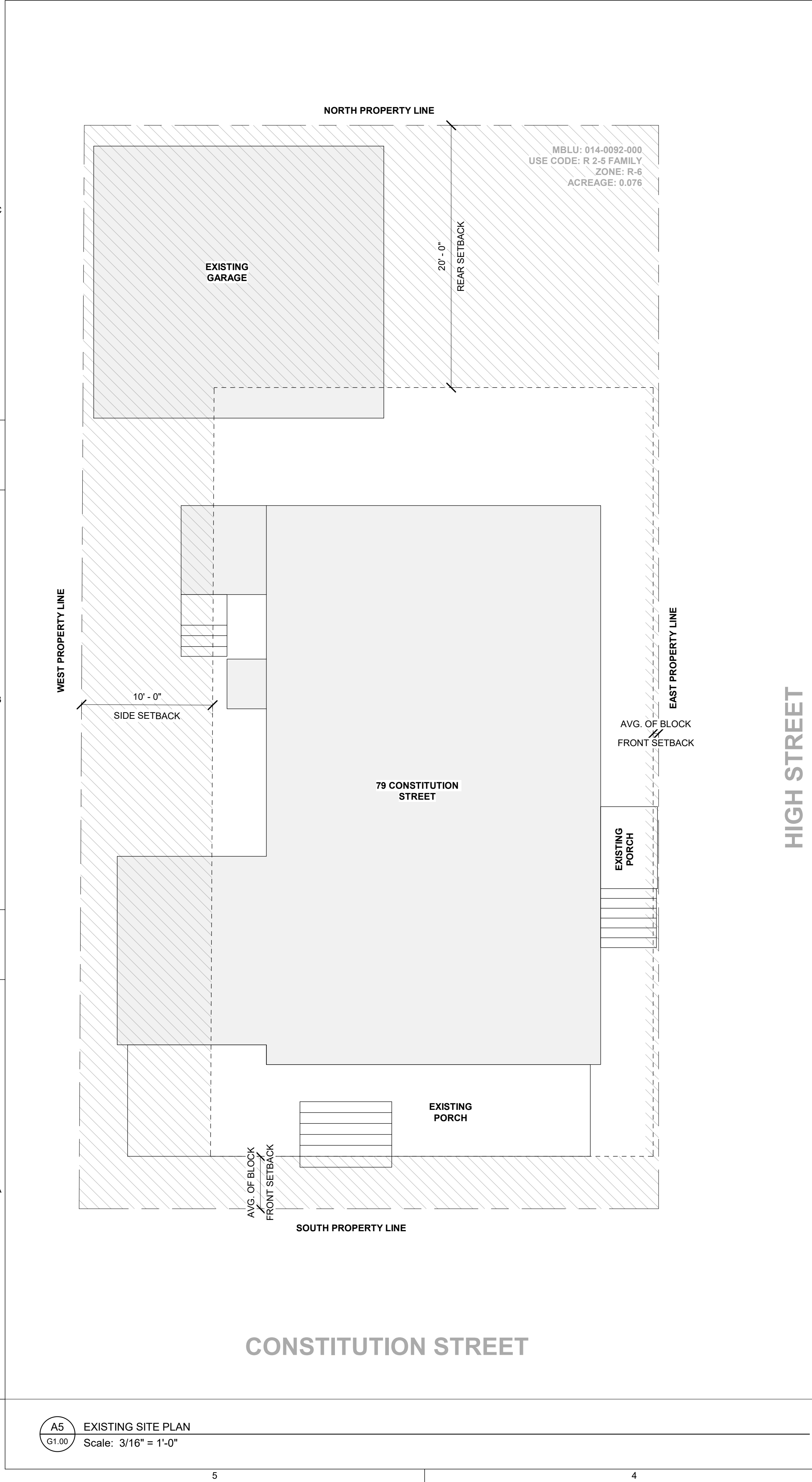
DRAWN BY: VF

CHECKED BY: VP

**SHEET SIZE: ARCH D 24" X 36"**

## G0.01





### ZONING SUMMARY

MBLU	014-0092-000		
USE CODE	28		
DESIGNATED ZONE	R-6		
DISTRICT	HISTORIC DISTRICT		
NEIGHBORHOOD	I		
FLOATING OVERLAY	N/A		
USE	R 2-5 Family		
ACREAGE	0.076		
YEAR BUILT	1813		
BUILDING STYLE	2 FAMILY		
MINIMUM LOT SIZE (SQFT.)	6,000		
MINIMUM FRONTAGE (FT.)	60		
	MAXIMUM	EXISTING	PROPOSED
LOT COVERAGE (% OF LOT)	30	57	57
BUILDING HEIGHT (FT.)	35*	33.5	33.5
BUILDING STORIES	N/A	2.5	2.5
	MINIMUM REQ.	EXISTING	PROPOSED
PARKING	N/A	2+	2+
	FRONT	SIDE	REAR
MINIMUM SETBACKS (FT.)	20**	10	20

### ZONING FINDINGS

- \*MAX. HEIGHT IS 35 FT. OR AVG. OF BLOCK, WHICHEVER IS GREATER
- \*\*MIN. FRONT SETBACK IS AVG. OF BLOCK OR 20 FT., WHICHEVER IS LESS
- 
- 

### UTILITY INFORMATION

WASTEWATER SYSTEM	SEWER LINES
WATER SUPPLY SYSTEM	MUNICIPAL WATER SUPPLY
FUEL SUPPLY SYSTEM	OIL
ELECTRICITY SUPPLY SYSTEM	ABOVE GROUND POWER LINES

### GENERAL NOTES

CONCEPTUAL SITE PLAN BASED ON INFORMATION PROVIDED ON TOWN GIS MAP, PROPERTY CARD AND SUPPLIED BY THE PROPERTY OWNER.

THE CONCEPTUAL SITE PLAN PREPARED BY THE DESIGNER IS MEANT TO SHOW DESIGN INTENT OF THE PROJECT AND BASIC ZONING INFORMATION AND FINDINGS TO ASSIST IN DESIGN DECISIONS.

THE PROPERTY OWNER IS REQUIRED TO SUPPLY THE DESIGNER WITH A SURVEY PREPARED BY A LICENSED SURVEYOR OR CIVIL ENGINEER TO PROVIDE THE LEGAL DECRIPTION OF THE PROPERTY BOUNDARIES, SIZE, EASEMENTS, UTILITIES, WETLANDS AND LOCATIONS OF ALL STRUCTURES ON THE LOT AND THEIR DISTANCES.

IF THERE IS AN ONSITE WASTEWATER TREATMENT SYSTEM THAT IS EXISTING OR PROPOSED ON THE SITE, REQUIREMENTS FOR SETBACKS AND PLACEMENT SHOULD BE PROVIDED TO THE DESIGNER PRIOR TO STARTING ANY DESIGN WORK.

NORTH ARROW

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ZONING PLANS & SUMMARY

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**G1.00**



**A3** EXISTING NORTH EXTERIOR ELEVATION  
EX3.01 Scale: 1/4" = 1'-0"





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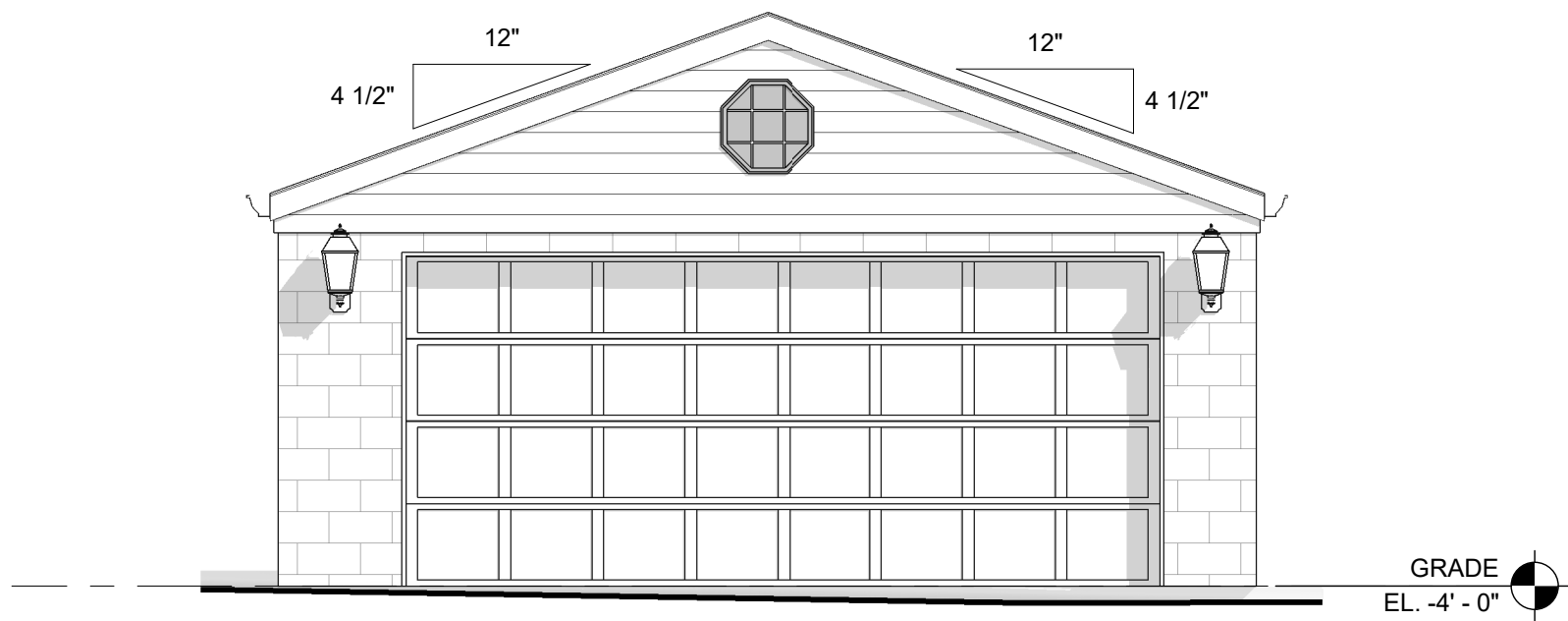

EXISTING GARAGE EXTERIOR  
ELEVATIONS

DRAWN BY: VF

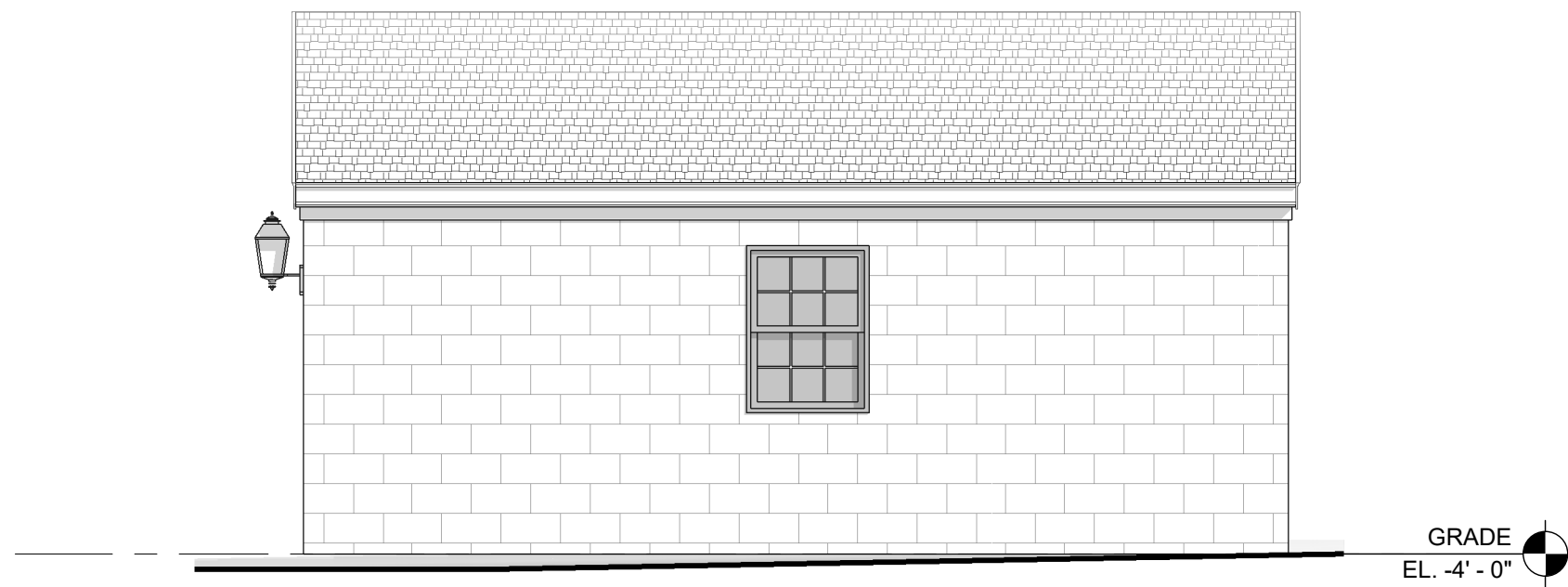
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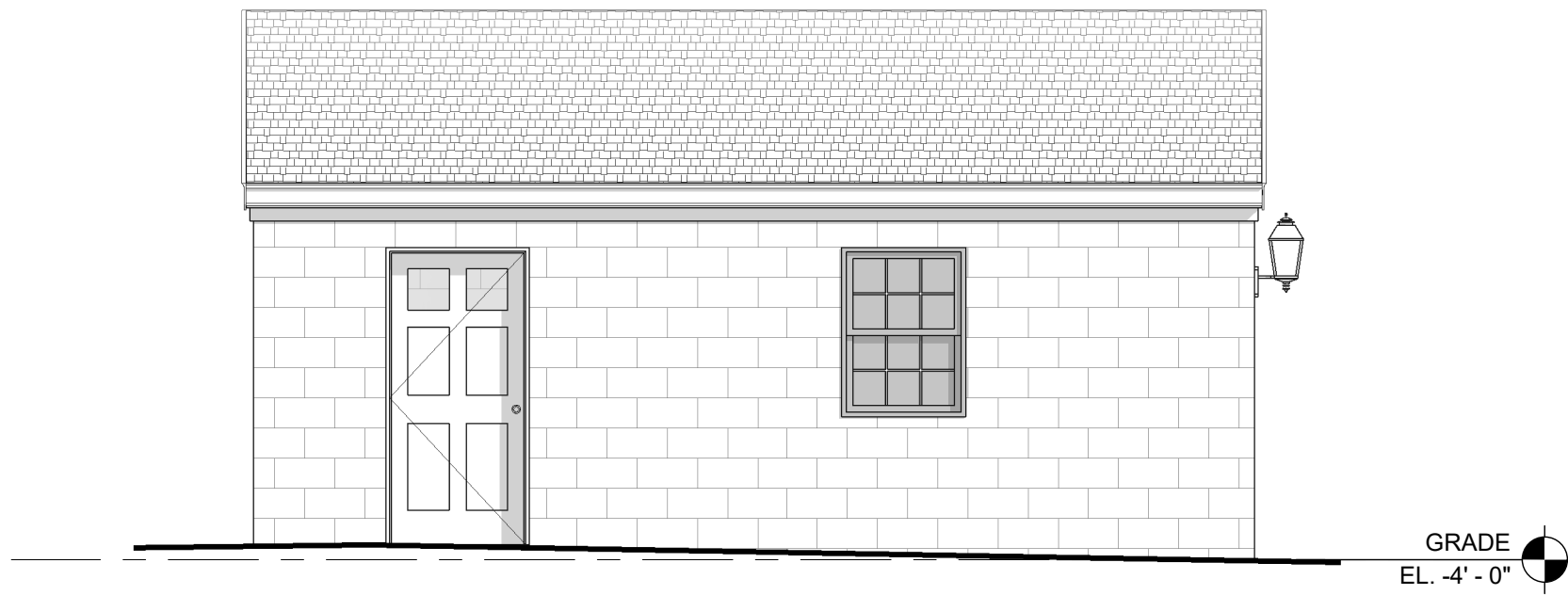
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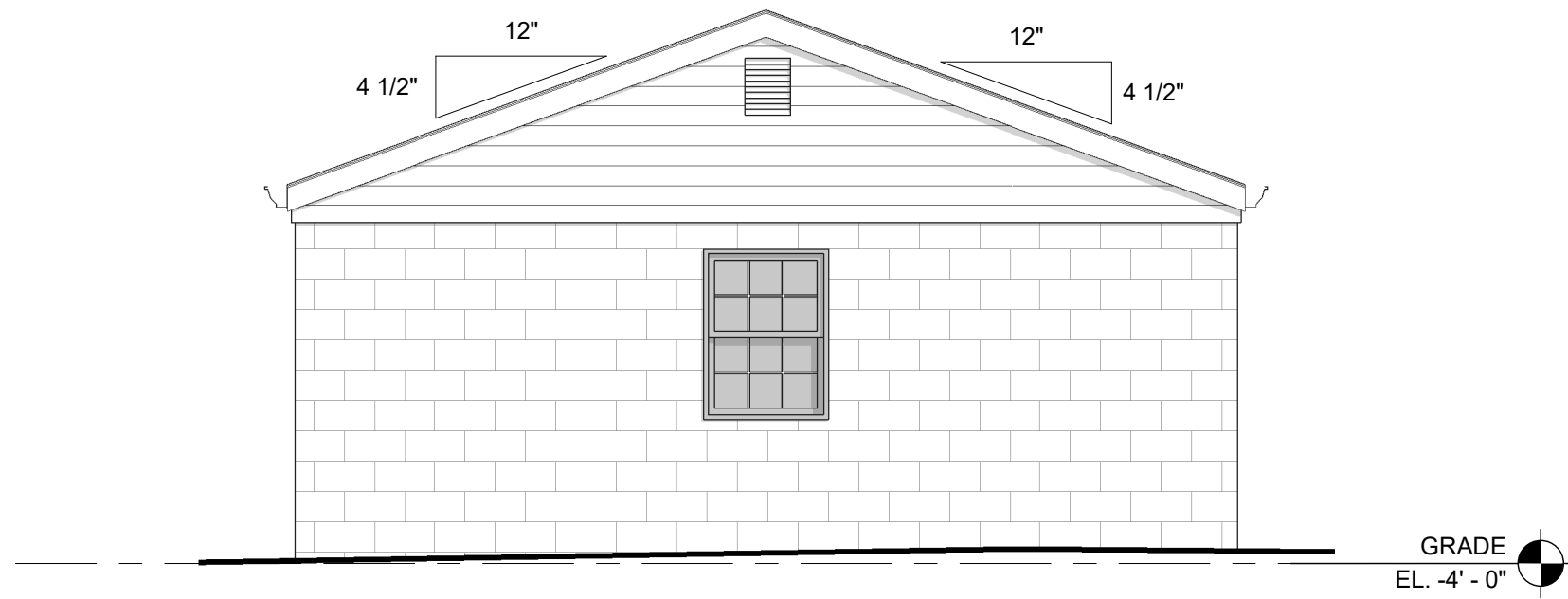
B5 EXISTING GARAGE EAST ELEVATION  
Scale: 1/4" = 1'-0"



B3 EXISTING GARAGE NORTH ELEVATION  
Scale: 1/4" = 1'-0"

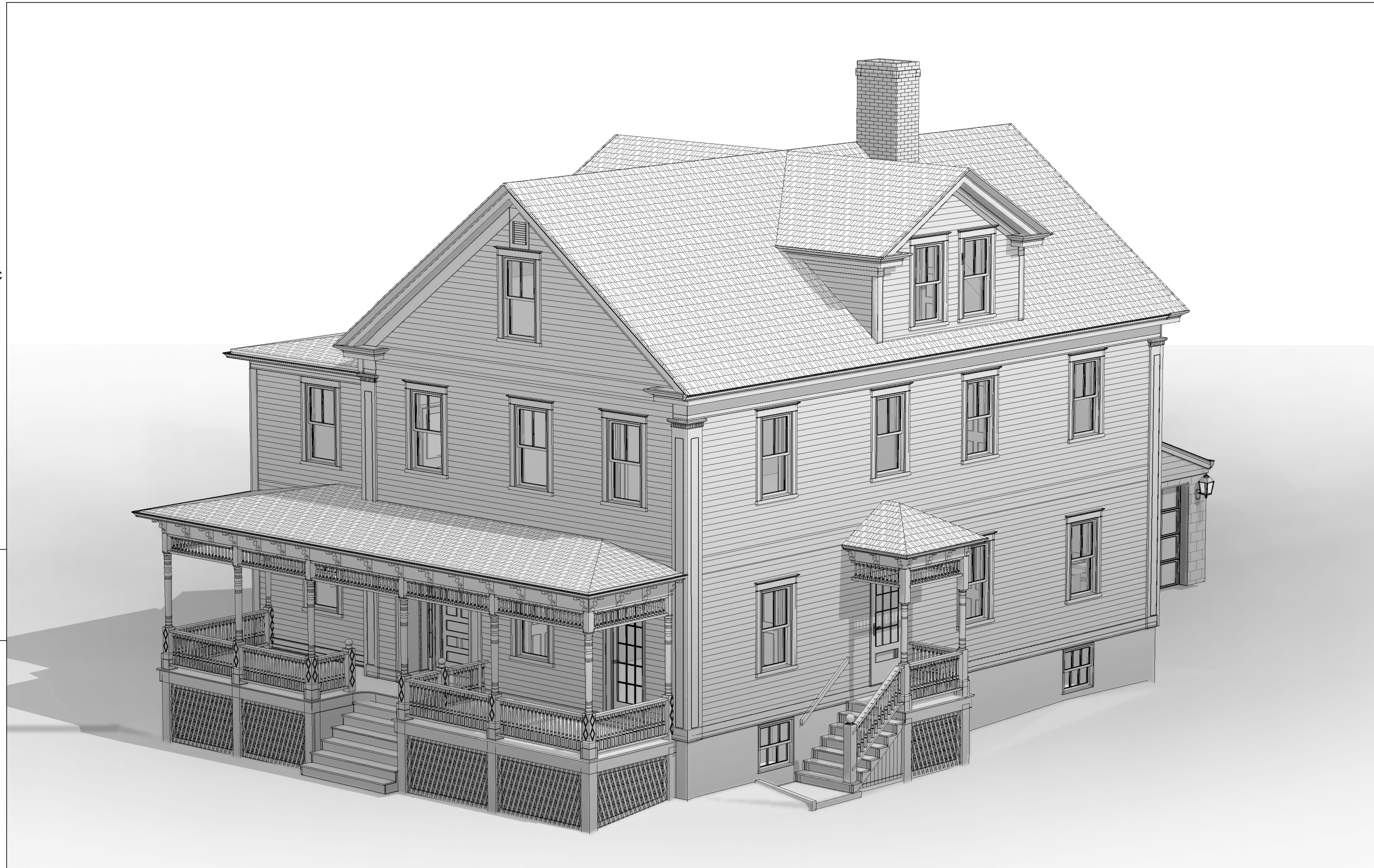


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Scale: 1/4" = 1'-0"

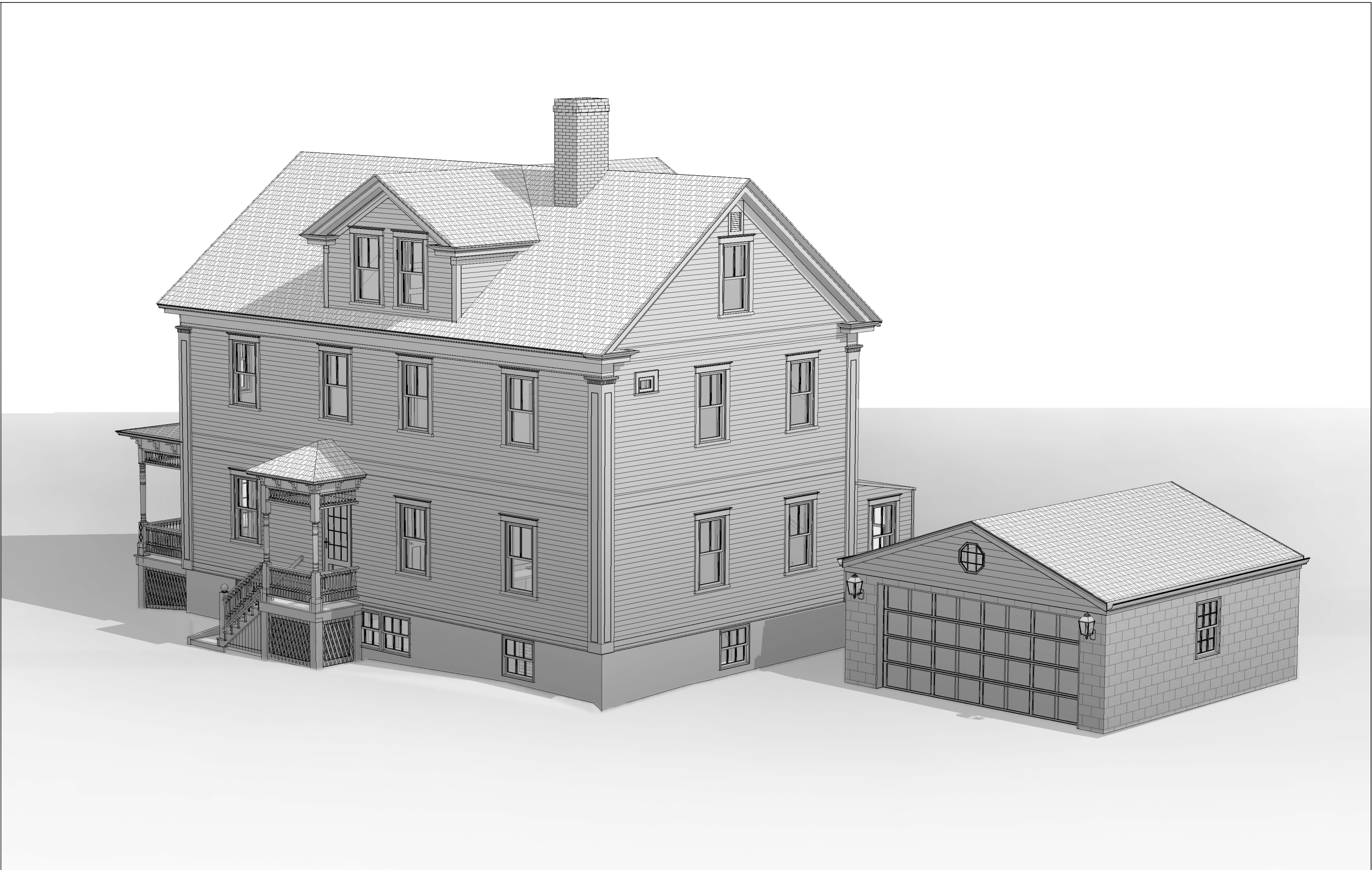


A3 EXISTING GARAGE WEST ELEVATION  
Scale: 1/4" = 1'-0"

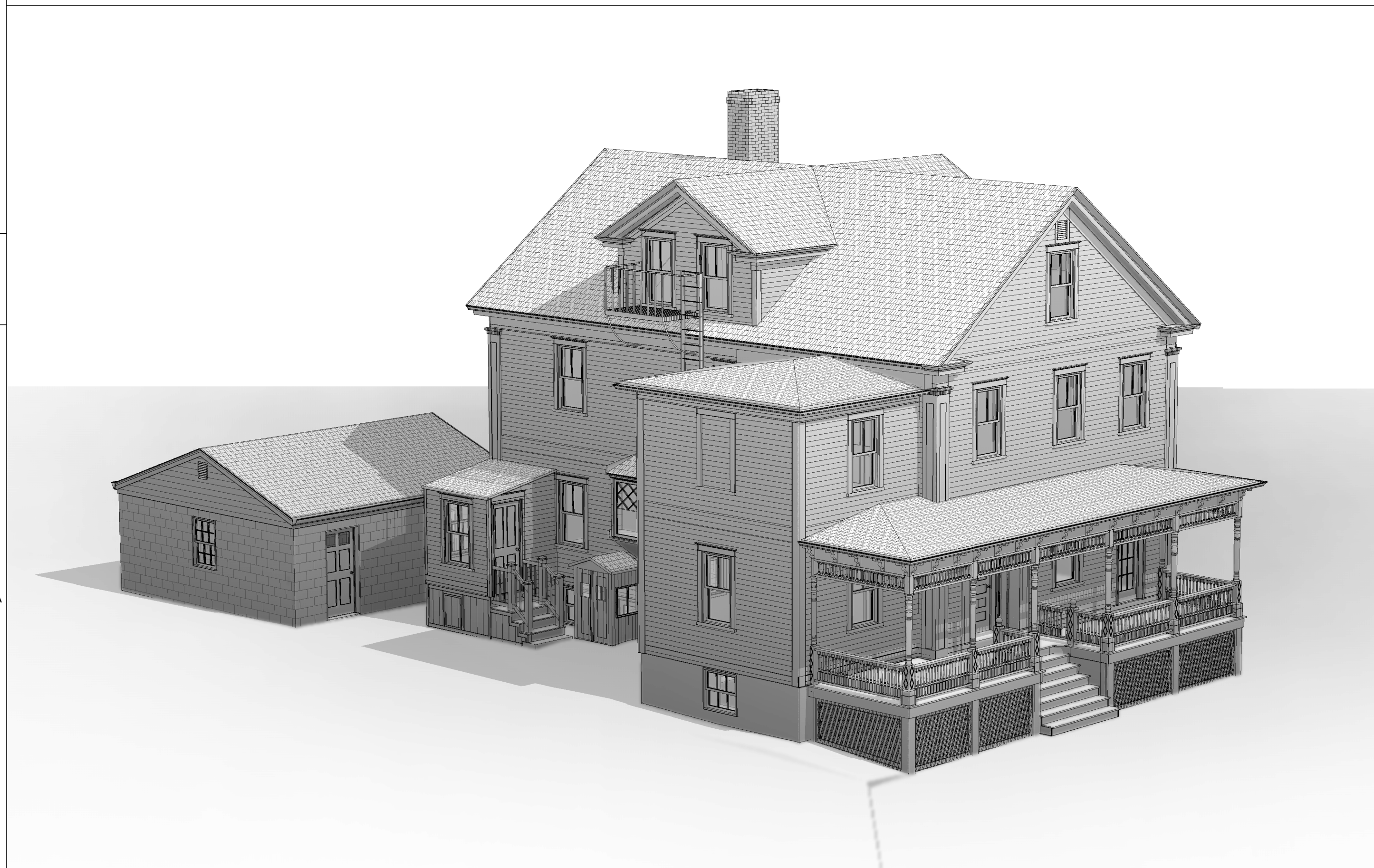




**B5** EXISTING 3D VIEW 1  
EX12.01 Scale:



**B3** EXISTING 3D VIEW 2  
EX12.01 Scale:



**A5** EXISTING 3D VIEW 3  
EX12.01 Scale:



**A3** EXISTING 3D VIEW 4  
EX12.01 Scale:



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EXISTING 3D VIEWS

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**EX12.01**







NEW STAIRCASE



A5 PROPOSED NORTH EXTERIOR ELEVATION  
A3.03 Scale: 1/4" = 1'-0"













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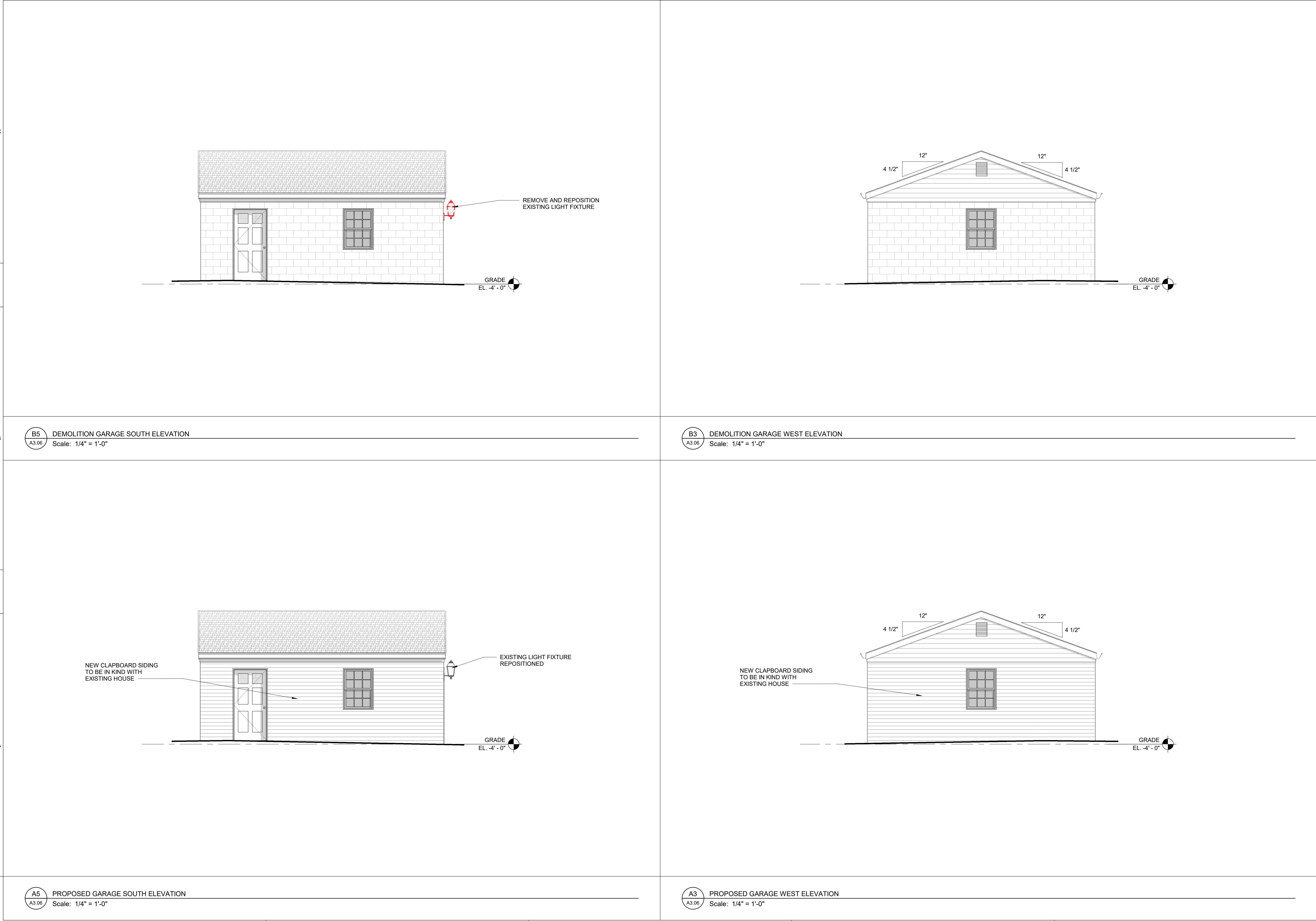
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GARAGE EXTERIOR ELEVATIONS

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A3.06

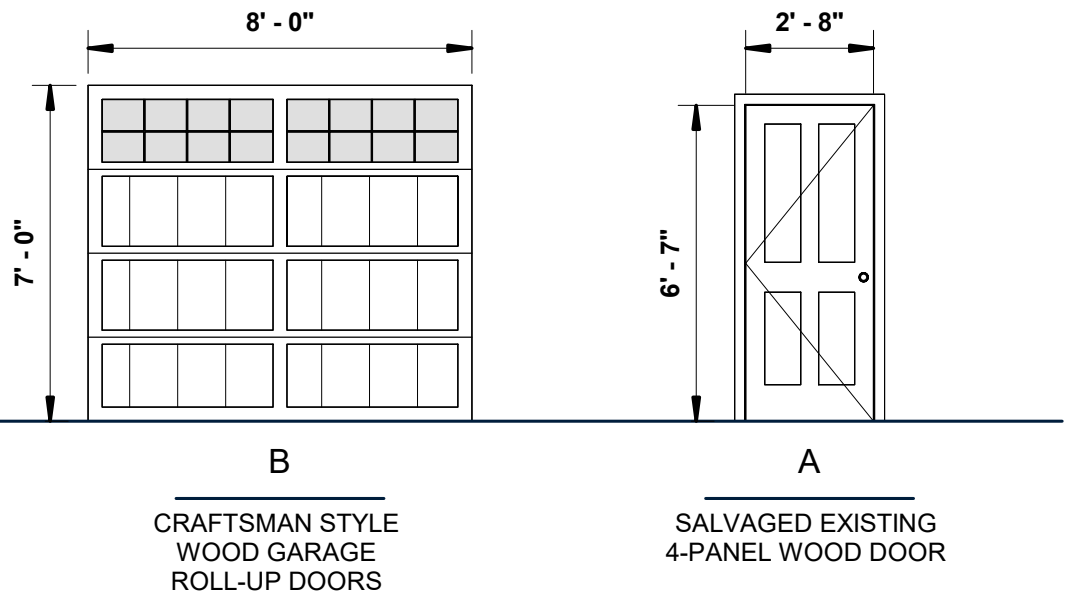




Proposed Door Schedule											
MARK	TYPE MARK	TYPE	ROOM NUMBER	ROOM NAME	FLOOR LEVEL	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	PRODUCT SERIES	NOTES
1-A	A	4-PANEL WOOD DOOR	110	MUDROOM	FIRST FLOOR LEVEL	2' - 8"	6' - 7"	2' - 10"	6' - 8"		SALVAGED DOOR FROM EXISTING MUDROOM
2-B	B	CRAFTSMAN STYLE WOOD GARAGE ROLL UP DOORS	110	GARAGE	BASEMENT LEVEL	8' - 0"	7' - 0"			TO BE DETERMINED BY OWNER	
3-B	B	CRAFTSMAN STYLE WOOD GARAGE ROLL UP DOORS	110	GARAGE	GRADE	8' - 0"	7' - 0"			TO BE DETERMINED BY OWNER	
Grand total: 3											

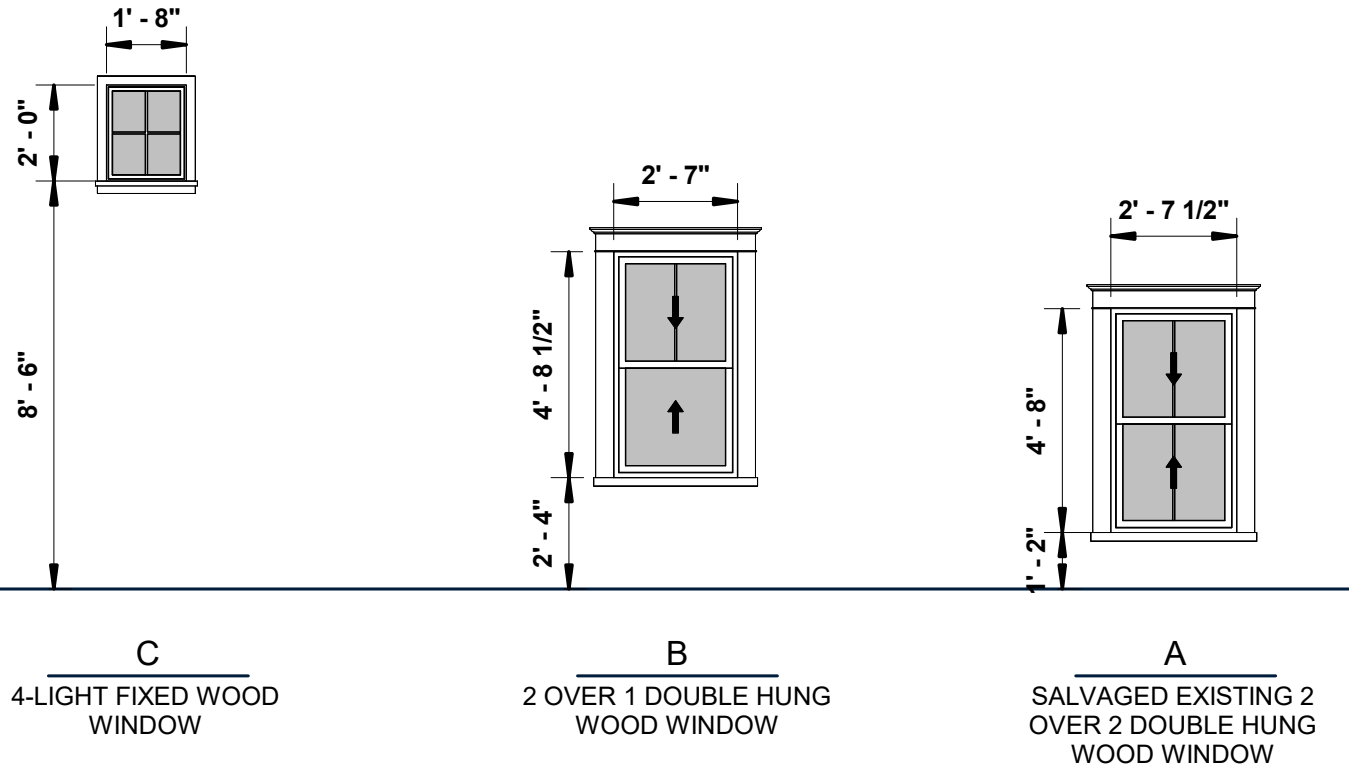
DOOR SIZING TO BE FINALIZED AFTER OWNER APPROVES SHOP DRAWING FROM CONTRACTOR.

DO NOT ORDER DOORS OFF OF THE SCHEDULE. DOORS REPRESENTATIVE TO CONFIRM ALL ROUGH OPENINGS.



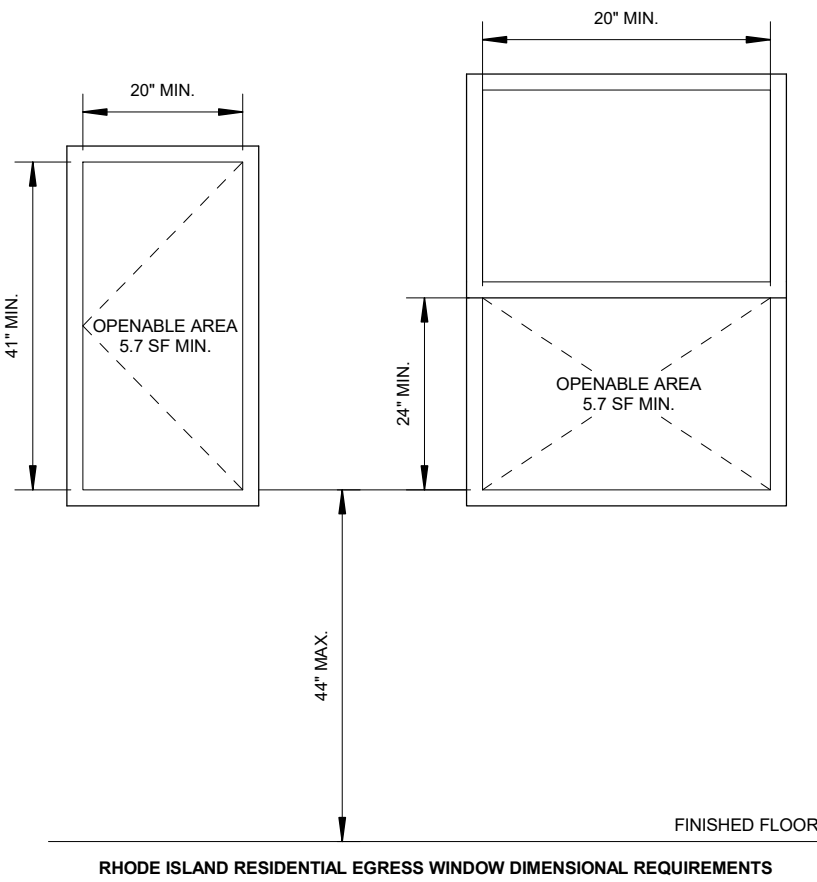
PROPOSED DOOR TYPES  
Scale: 1/4" = 1'-0"

Proposed Window Schedule													
MARK	TYPE MARK	TYPE	ROOM NUMBER	ROOM NAME	FLOOR LEVEL	WIDTH	HEIGHT	ROUGH WIDTH	ROUGH HEIGHT	SILL HEIGHT	HEAD HEIGHT	PRODUCT SERIES	NOTES
1-A	A	2 OVER 2 DOUBLE HUNG WINDOW	110	MUDROOM	FIRST FLOOR LEVEL	2' - 7 1/2"	4' - 8"	2' - 8"	4' - 8 1/2"	1' - 2"	5' - 10"		SALVAGED WINDOW FROM EXISTING MUDROOM
2-B	B	2 OVER 1 DOUBLE HUNG WINDOW	103	DINING ROOM	FIRST FLOOR LEVEL	2' - 7"	4' - 8 1/2"	2' - 7 1/2"	4' - 9"	2' - 4"	7' - 0 1/2"	TO BE DETERMINED BY OWNER	TO MATCH EXISTING HISTORIC WINDOWS
3-B	B	2 OVER 1 DOUBLE HUNG WINDOW	105	LIVING	FIRST FLOOR LEVEL	2' - 7"	4' - 8 1/2"	2' - 7 1/2"	4' - 9"	2' - 4"	7' - 0 1/2"	TO BE DETERMINED BY OWNER	TO MATCH EXISTING HISTORIC WINDOWS
4-C	C	20" x 24"	110	GARAGE	GRADE	1' - 8"	2' - 0"	1' - 8 1/2"	2' - 0 1/2"	8" - 6"	10' - 6"	TO BE DETERMINED BY OWNER	
Grand total: 4													



WINDOW SIZING TO BE FINALIZED AFTER OWNER APPROVES SHOP DRAWING FROM CONTRACTOR.

DO NOT ORDER WINDOWS OFF OF THE SCHEDULE. WINDOWS REPRESENTATIVE TO CONFIRM ALL ROUGH OPENINGS.



EGRESS WINDOW DIMENSIONS PER R310.2  
EXCEPTIONS:  
(1) Grade floor openings or below-grade openings shall have a net clear opening area of not less than 5 square feet (0.465 m2).

PROPOSED WINDOW TYPES  
Scale: 1/4" = 1'-0"



PACIFIC-VISIONS STUDIO LLC  
ARCHITECTURAL DESIGN & CONSULTING

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PROJECT NUMBER: 240905

RENOVATION AND ADDITION OF:  
**79 CONSTITUTION STREET**

79 CONSTITUTION STREET  
BRISTOL, RHODE ISLAND, 02809

HISTORIC DISTRICT COMMISSION SET  
ISSUED FOR : HDC

NOT FOR CONSTRUCTION  
18 SEPTEMBER 2025

HDC SET

This drawing set is for review, pricing, and coordination and should not be used for construction or permitting. All structural members to be reviewed and sized by a structural engineer.

REVISIONS

NO.	DESCRIPTION	DATE

DOOR & WINDOW TYPES & SCHEDULES

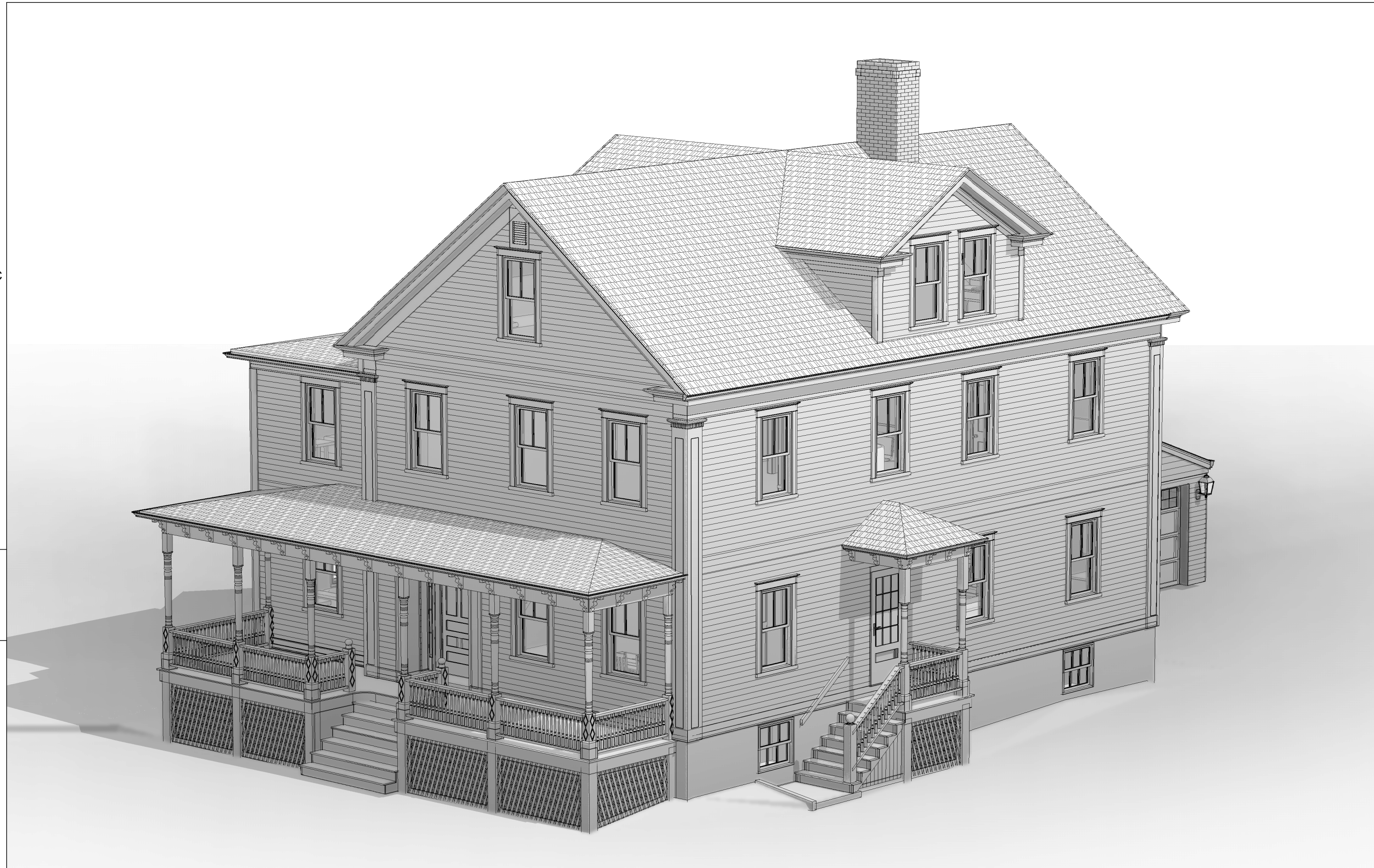
DRAWN BY: VF

CHECKED BY: VP

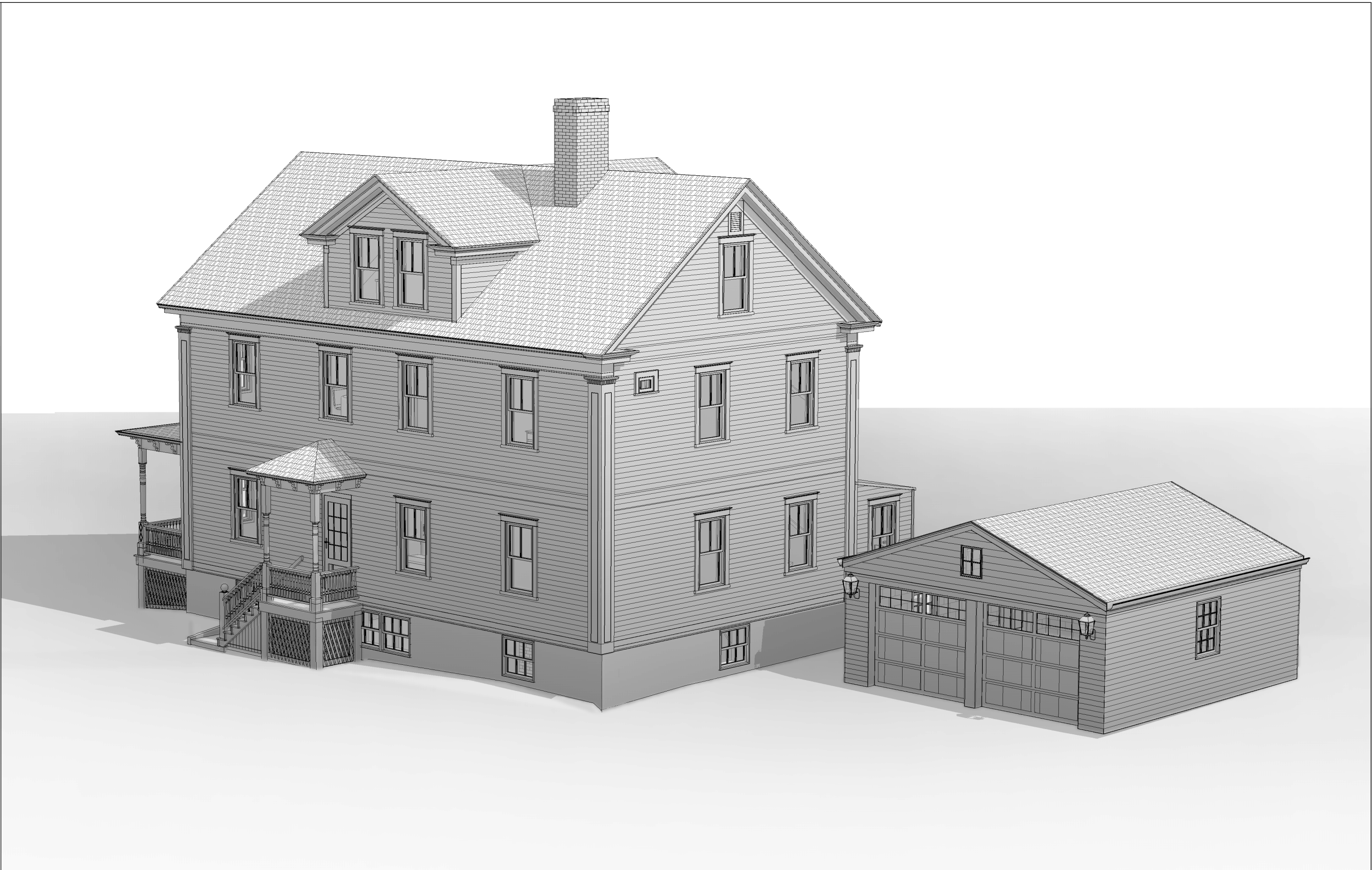
SHEET SIZE: ARCH D 24" X 36"

A9.01

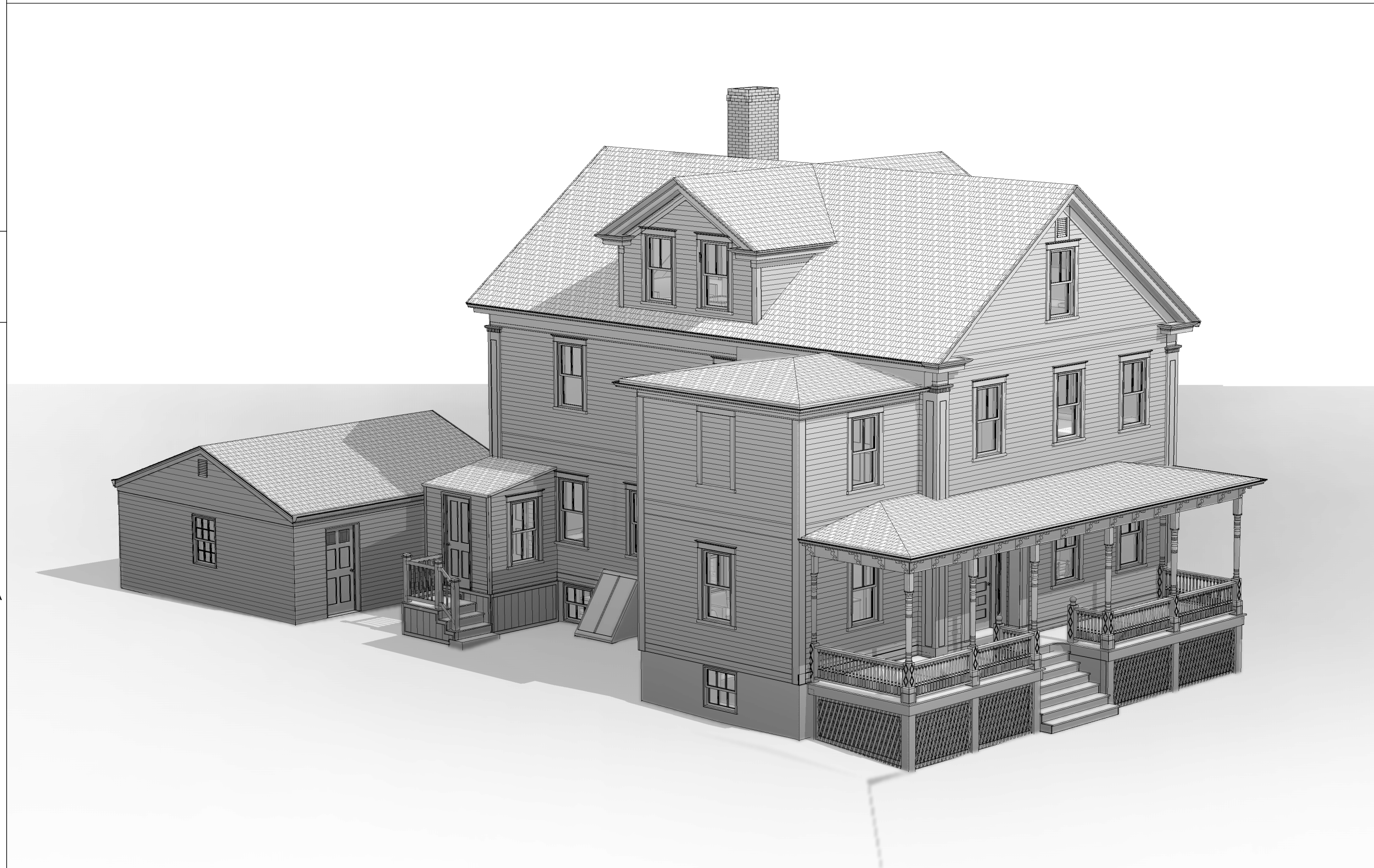




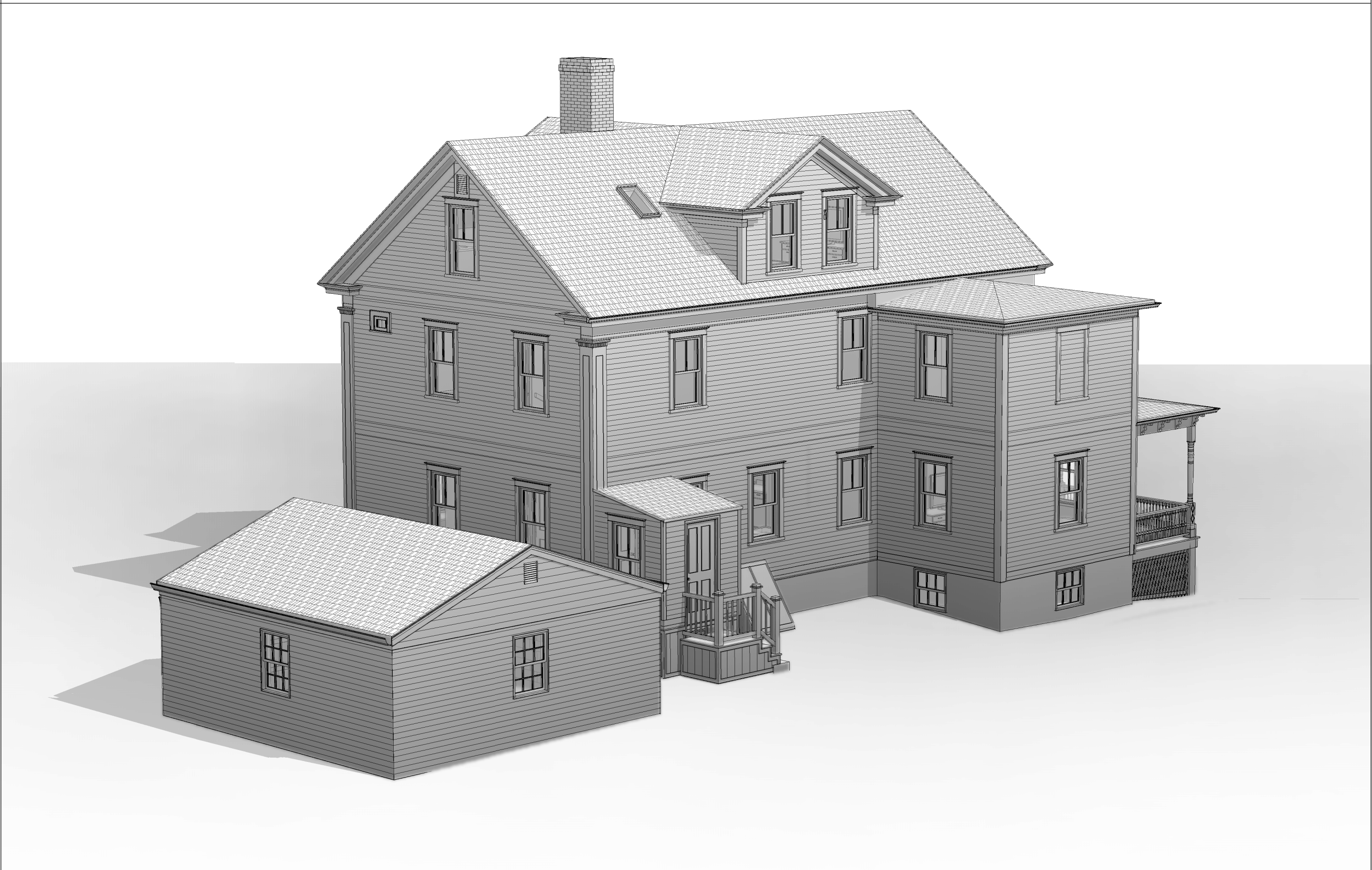
**B5** PROPOSED 3D VIEW 1  
A12.01 Scale:



**B3** PROPOSED 3D VIEW 2  
A12.01 Scale:



**A5** PROPOSED 3D VIEW 3  
A12.01 Scale:



**A3** PROPOSED 3D VIEW 4  
A12.01 Scale:



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REVISIONS	

EXTERIOR 3D VIEWS  
  
DRAWN BY: VF  
CHECKED BY: VP  
SHEET SIZE: ARCH D 24" X 36"

**A12.01**