



Town of Bristol, Rhode Island
Department of Community Development

10 Court Street
Bristol, RI 02809
www.bristolri.gov
401-253-7000

October 25, 2023

TO: Zoning Board of Review
FROM: Edward M. Tanner, Zoning Officer
RE: *Application of Robert Kreft*
22 Wall Street

I am writing in response to the zoning board's request for additional information relative to the merger of Assessor's Lots 17 and 21 on Plat 33 (a.k.a. 22 Wall Street).

- In the early 2000's lots 21, 23 & 24 on the south side of Wall Street and the north side of Center Street were three separate Assessor's lots (originally created in the early 1900's), and they were occupied by a commercial tavern/bar and its associated parking. See **attached** assessor's map and GIS aerial photo map from circa 2006 and 2008 respectively.
- In September 2006, the Planning Board approved a subdivision of the three lots listed above in which lot 23 was split between lots 21 and 24. The resulting two lots each contained 7,380 square feet of land area and met the minimum dimensional requirements for a buildable lot in the R-6 zoning district. See **attached** assessor's map from 2010 showing this lot configuration and **attached** Zoning Certificate from 2018 stating that lot 21 is a buildable lot.
- In May 2013, Robert Kreft purchased lot 17, with the existing multi-family dwelling known as 22 Wall Street.
- In August 2018, Robert Kreft purchased the vacant lot 21 from Wood Frame Structures, Inc.
- In December 2020, Robert Kreft filed a Real Estate Lot Merger Declaration with the Tax Assessor formally merging lot 21 into lot 17 (see copy **attached**). Since that time, these previously separate lots have been considered one property totaling 22,140 square feet of land area.
- In July 2021, Robert Kreft submitted an application for a dimensional variance to the zoning board (File #2021-31) proposing construction of an accessory garage structure on the vacant portion of the property that was formerly lot 21. This petition was denied by the zoning board.
- In July 2023, Robert Kreft submitted the current application for dimensional variances to construct an accessory garage structure with a different size and configuration from the previous petition.

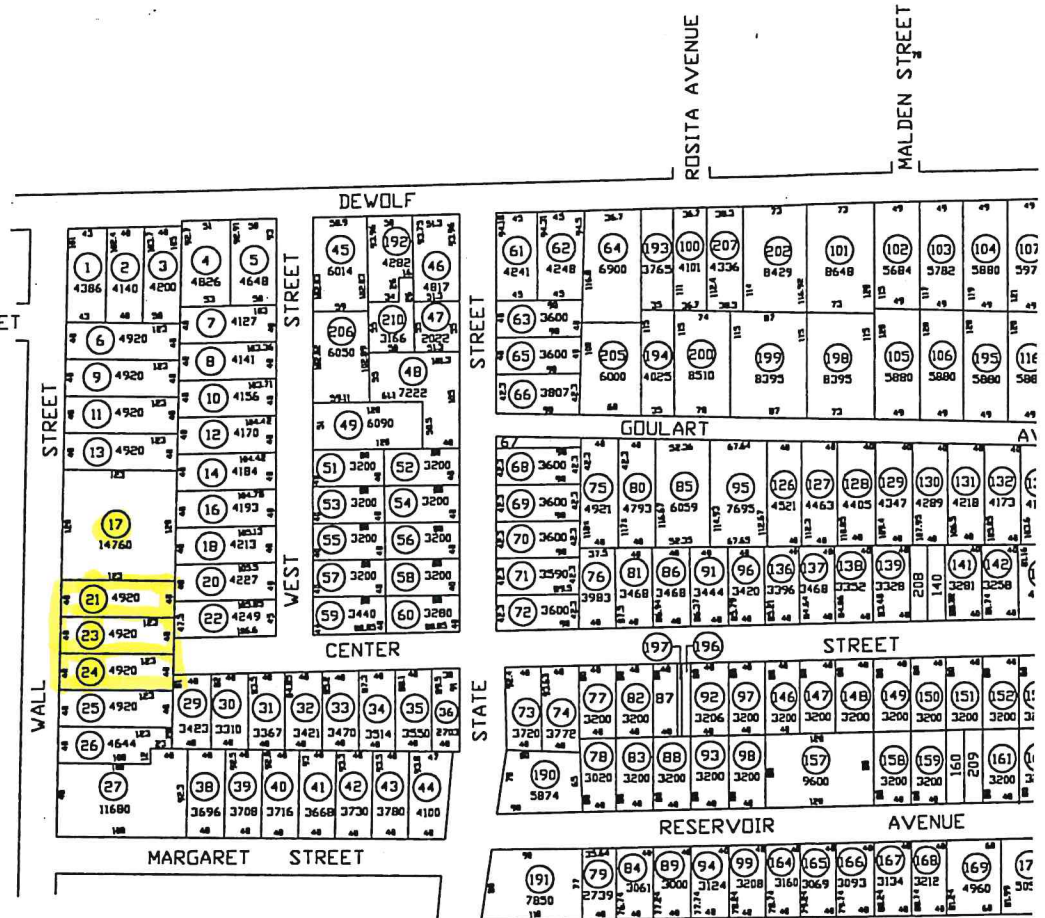
Should you have any questions pertaining to this matter, please feel free to contact me.

SEE PLAT MAP NO. 45

SEE PLAT MAP NO. 44

FRANCIS STREET

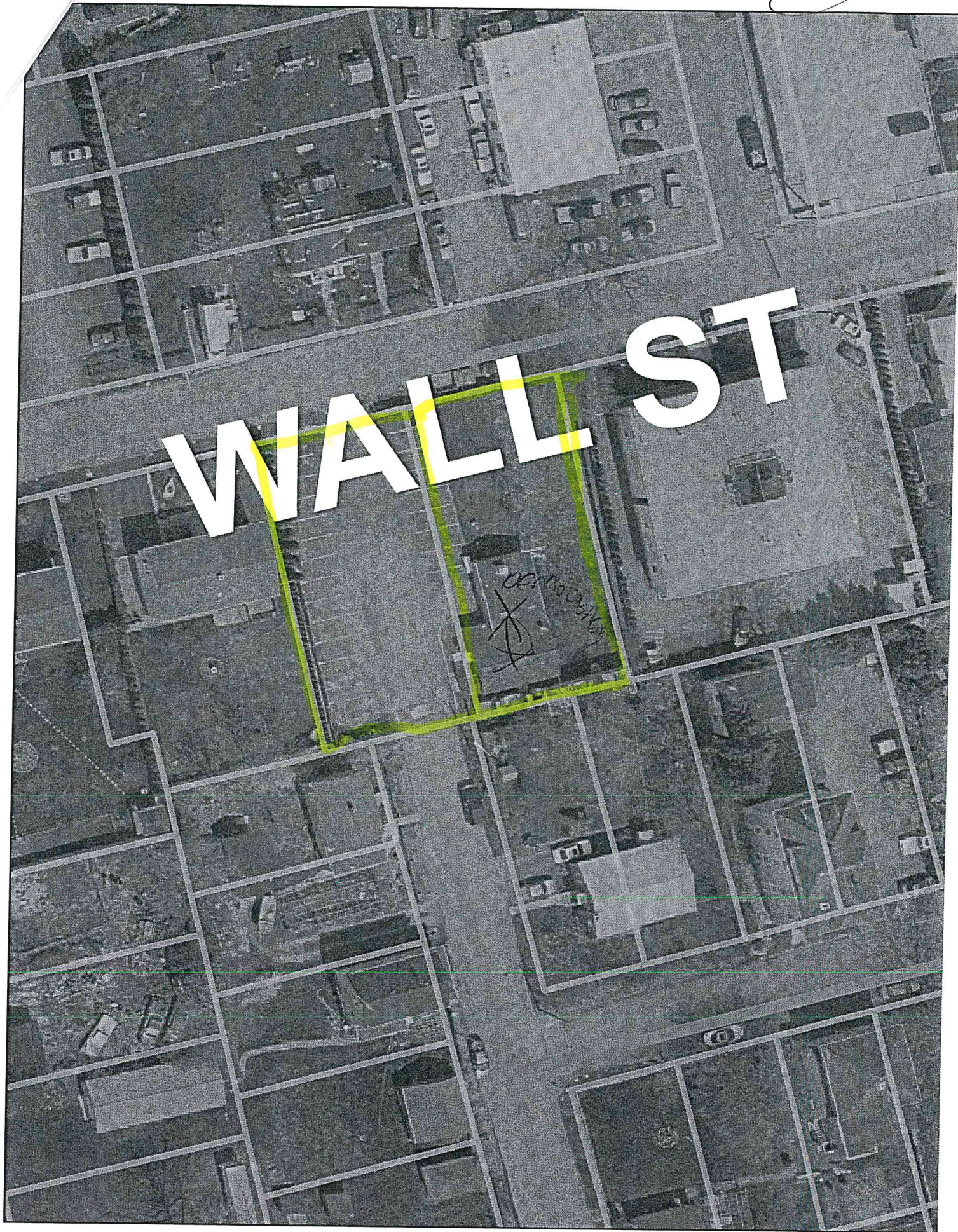
SEE PLAT MAP NO. 37

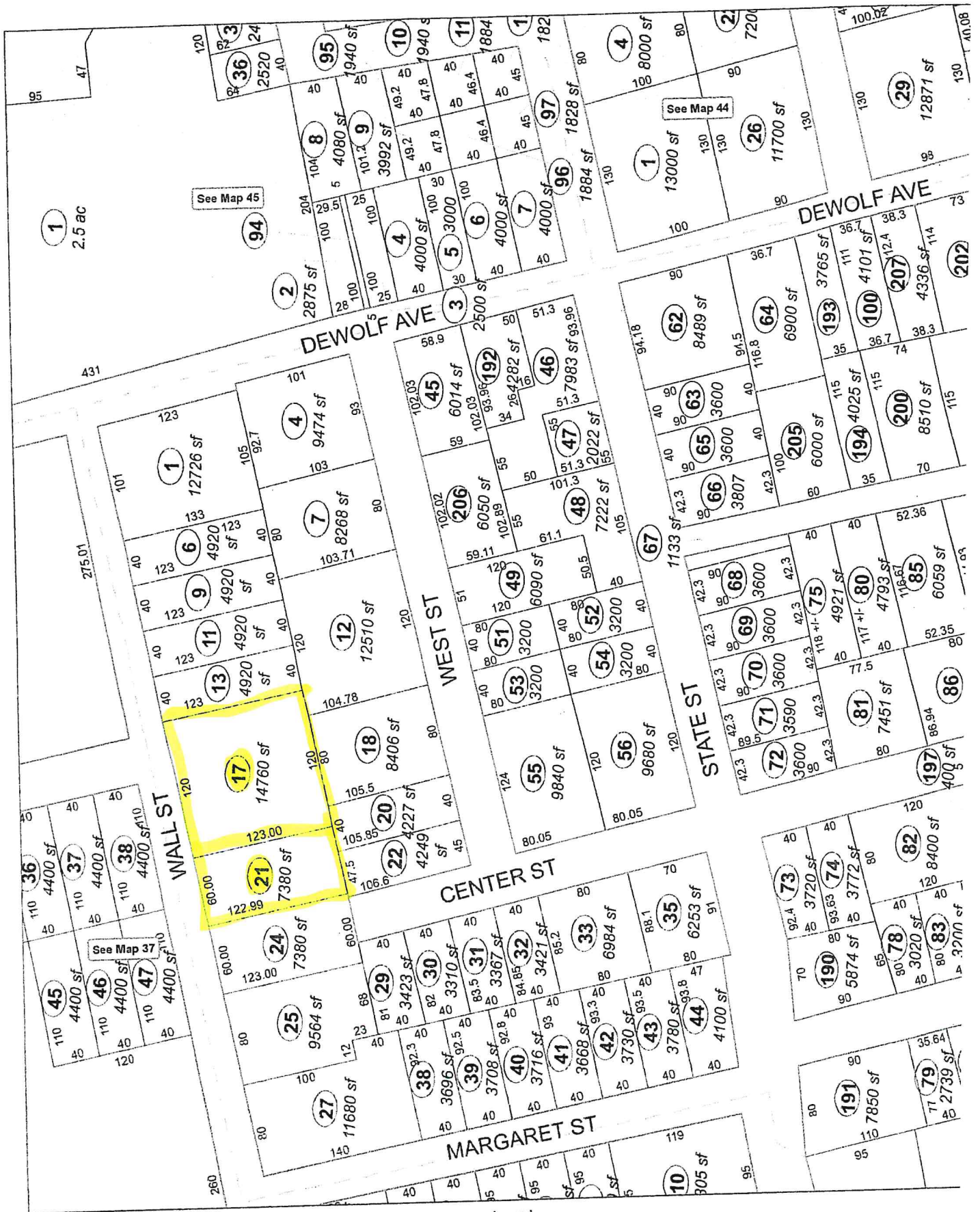


SEE PLAT MAP NO. 30

2006

2008







TOWN OF BRISTOL
DEPARTMENT OF COMMUNITY DEVELOPMENT
10 Court Street • Bristol, Rhode Island 02809

ZONING CERTIFICATE

May 4, 2018

TO: WHOM IT MAY CONCERN

**RE: Wall Street
Assessor's Plat 33, Lot 21
Zoned Residential R-6**

The lot referenced above is a vacant parcel consisting of approximately 7,380 square feet of land area located on the southerly side of Wall Street. This lot was created in its current configuration via an approved and recorded subdivision plan in September 2006. Lot 21 meets the dimensional requirements for a buildable lot in the R-6 zoning district. Thus, **lot 21 is a buildable lot** and may be improved with a single-family dwelling.

The construction of any dwelling on lot 21 would be required to conform to the following minimum property line setbacks for the R-6 zoning district:

Front Yard Setback: 20 feet or average of the block (whichever is less)
Rear Yard Setback: 20 feet
Side Yard Setbacks: 10 feet

Edward M. Tanner
Principal Planner / Zoning Enforcement Officer

cc: Building Department
Tax Assessor

Town of Bristol, Rhode Island Real Estate Merging Declaration

Name: Kreft, Robert M., Trustee
Robert M. Kreft 2020 Trust
Property: 22 Wall St
Bristol, RI 02809

Pursuant to Town of Bristol Ordinance 28-221, the undersigned, as property owner/s of contiguous parcels known as Assessors Plat 033 lots 0017 and 0021 declare/s the lots herein listed to be one parcel with a total of 22,140 square feet.

This declaration is made with the full knowledge that all Town records for assessing purposes will forever reflect this change, and will only be changed or altered through the recording of a subdivision plan, properly approved by the Town of Bristol.

All valuations to be as of December 31, 2020 and subsequent revaluation anniversaries.

Owner/s

Robert M. Kreft

STATE OF RHODE ISLAND

COUNTY OF BRISTOL

In Bristol this 9 day of December, 2020 before me personally appeared ROBERT M KREFT to me known and known by me to be the person/s executing the foregoing and said person/s acknowledge this instrument to be their free act and deed.

Catherine A Marshall

Notary Public

My Commission Expires: 12/21/2020

Date

12/9/2020

Catherine A Marshall
Notary Public

State of Rhode Island ID# 51092
My Comm. Expires: 12/20/2020

To be known as Assessors Plat 033 Lot 0017

Tax Assessor

[Signature]

Director of Community Development

Daniel Williamson

12/4/2020

Recorded Dec 16, 2020 at 03:18PM
Melissa Cordeiro Town Clerk



REFERENCES:
DRAWING WAS PREPARED USING TOWN OF BRISTOL GIS MAPPING

R-6 ZONING DIMENSIONAL REQUIREMENTS

- SIDE - 10 FT.
 FRONT - 20 FT.
 REAR - 20 FT.
 MAX HEIGHT PRINCIPLE - 35'
 MAX HEIGHT ACCESSORY - 20'
 MAX LOT COVERAGE - 30% RES



2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE DRIVEWAY. THIS SHALL BE DONE BY COMING PERPENDICULAR TO THE DRIVEWAY WITH AN ADDITIONAL STRIP OF CURB, TRAP AND DRESSING WITH CLEANING, OR BY THE USE OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION ERT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Ed Tanner

From: Robert Kreft <Rkreft@kreftgroup.com>
Sent: Monday, October 23, 2023 8:57 AM
To: Ed Tanner
Subject: Wall Street Garage
Attachments: PLOT PLAN LAYOUT 24X36 REV.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. When in doubt, contact your IT Department

Ed I believe attached is what the zoning board is looking for can you take a look and confirm? Can we speak for a few minutes this week?

Thanks in advance

Rob Kreft

Kreft Group ■
M 401-489-0984 | F 866-843-7642
rkreft@kreftgroup.com

TOWN OF BRISTOL
COMMUNITY DEV.

2023 SEP 20 PM 2: 08

PLAT 33
LOT 18

PLAT 33
LOT 20

PLAT 33
LOT 22

STREET LINE

CENTER STREET

STREET LINE



Proposed
Garage For:
Robert Kreft
16 Wall Street
Bristol, Rhode Island
Map 33 Lot 17
and
Map 33 Lot 21
Combined into one Lot

PROJECT NUMBER: 00418

Drawn By: BM

Checked By: X

Issue Date: 05-15-20

SHEET LEGEND:

Revision No	Date	Description

Drawing Title:

Site Plan

123.00' PROPERTY LINE

EXISTING 2 STORY
APARTMENT BUILDING
10,064 S.F.

PLAT 33
LOT 17 & 21
(Combined into one Lot)
22,140 S.F.

EXISTING RETAINING WALL

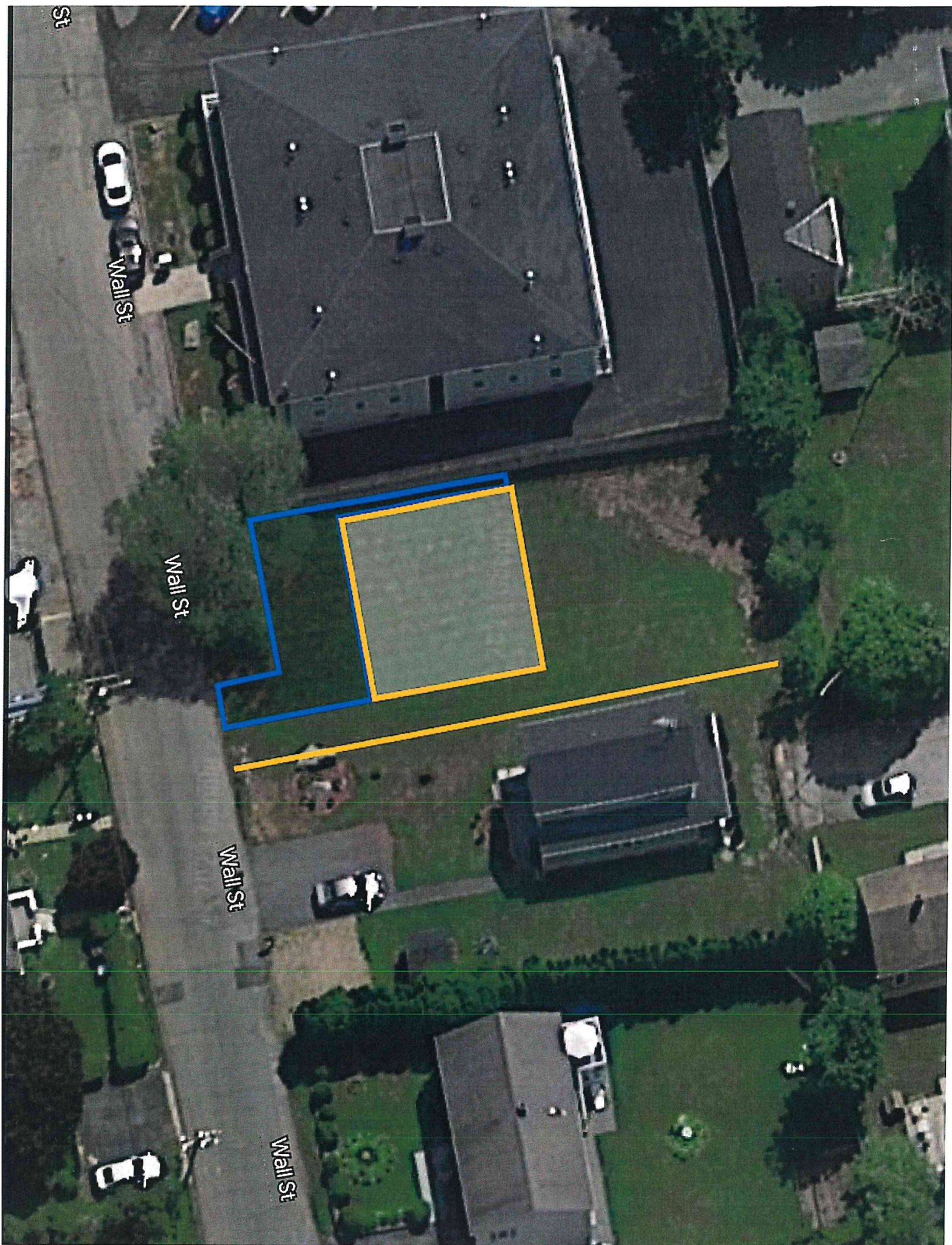
PROPOSED 42
X 40 SHOP
GARAGE

122.99' PROPERTY LINE

PLAT 33
LOT 24

STREET LINE
180.00'

WALL STREET

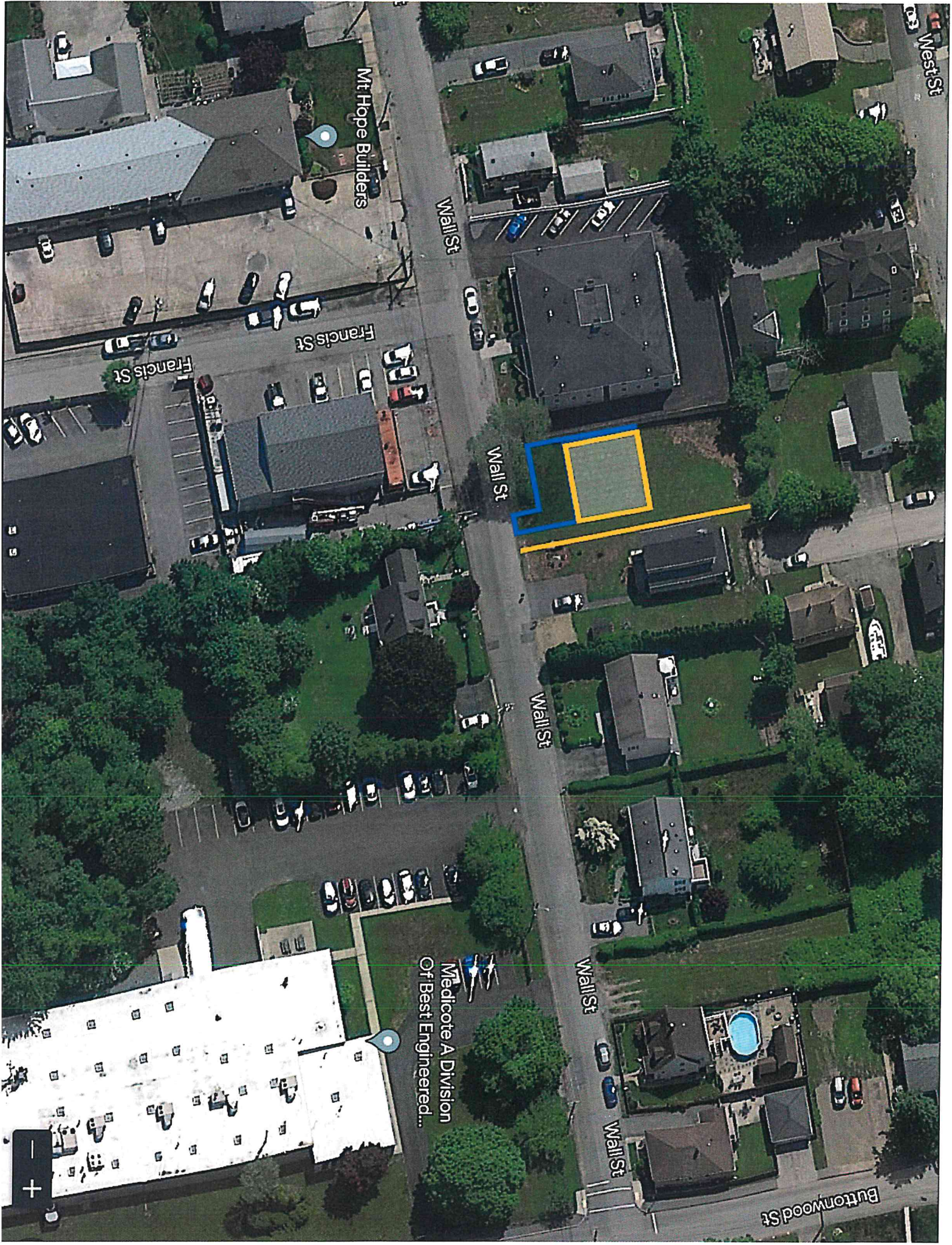


Wall St

Wall St

Wall St

Wall St



Mt Hope Builders

Francis St

Francis St

Wall St

Wall St

Wall St

Wall St

Wall St

West St

Buttonwood St

Medicote A Division
Of Best Engineered...

+



Town of Bristol, Rhode Island

Zoning Board of Review

STAFF REPORT FOR:

FILE NO. **2023-27**

APPLICANT: Robert M. Kreft
LOCATION: 22 Wall Street
PLAT: 33 LOT: 17 ZONE: R-6

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district.

COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

FINDINGS AND RECOMMENDATIONS BY STAFF:


The applicant is requesting dimensional variances to construct a 40' x 42' accessory garage structure on this property located on the southerly side of Wall Street (see attached GIS map depicting property). This property consists of a 22,140 square foot lot that is currently improved with a two-story multi-family structure containing 12 residential dwelling units. The applicant proposes to construct a four stall garage with workshop area to provide storage for vehicles and maintenance equipment used on the property. According to information presented with this application, the property currently provides off-street parking for 25 vehicles, and the garage addition would free up three of these spaces, as they are currently occupied by maintenance vehicles and equipment.

The existing residential structure was constructed in the early 1990's and received dimensional variances from the zoning board in July 1991 for a 12 unit multi-family residence with less than the required lot area per dwelling unit. The site plan submitted with the application at that time depicted off-street parking on the property for up to 34 vehicles, including 10 spaces in front of the building where there is now landscaping. The zoning ordinance requires a minimum of two off-street parking spaces per residential dwelling unit.

The proposed garage would be constructed on the westerly end of the property within a portion of the parcel that was previously a separate lot (identified as assessor's lot 21). This lot was purchased by the applicant and merged with lot 17 in 2020. The proposed garage would comply with applicable setbacks for the R-6 zoning district (although a survey will be required to confirm property line locations prior to any building permit), but it would exceed the maximum height and the maximum size permitted for an accessory structure in the R-6 zone. In addition, the proposed structure would increase lot coverage by structures on this property from 46% to 53%. The zoning ordinance permits a maximum size for accessory structures in the lot coverage by structures of 30% in the R-6 zone.

The proposed garage would have a footprint of approximately 1,680 square feet. Although the zoning ordinance does not regulate lot coverage by pavement and structures in residential zones, it appears that the proposal would cover the majority of the site with impervious surfaces. As such, this project would require a Soil Erosion, Runoff and Sediment Control (ERSC) permit per Chapter 29 of Bristol Town Code. As this property is located in the Tanyard Brook Watershed, more stringent runoff mitigation requirements would apply. The applicant will need to demonstrate that the project can meet the requirements of this ordinance and plans prepared by a Professional Engineer will be required prior to issuance of a building permit for the proposed garage.

Recall that the applicant was before the Board with a similar application in July 2021 (File # 2021-31). At that time, the applicant proposed a slightly larger structure with a different design and configuration. The Board denied that application (see attached copy of decision).

 9/13/23
Edward M. Tanner, Zoning Officer



22 Wall Street

Bristol, RI



September 13, 2023

1 inch = 35 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Town of Bristol, Rhode Island
Zoning Board of Review

Document Number 00012353
BOOK 2128 PAGE 161

DECISION FOR VARIANCE

FILE # 2021-31

RE: Application of: Robert Kreft

For property located at **22 Wall Street**, in Bristol, Rhode Island (Tax Assessor's Plat 33, Lot 17) in the following zoning district: **Residential R-6**.

This matter was heard before the Board at a public hearing on **July 12, 2021** upon the Applicant's request for **DIMENSIONAL VARIANCES** from the Zoning Ordinance to:

Construct a 24ft. x 82ft. accessory garage structure at a size greater than permitted for accessory structures in a residential zoning district, and with greater than permitted lot coverage by structures.

After due consideration of the Application, (including the exhibits, testimony of the witnesses, and the entire record presented to the Board), the Board makes the following findings of fact:

The Board finds that the applicant is requesting relief to construct a 24' x 82' accessory garage structure, which exceeds the 22' x 24' maximum size for accessory structures allowed by the Bristol Zoning Ordinance. The proposed structure would also increase lot coverage by structures to approximately 54 percent, which exceeds the 30 percent maximum lot coverage permitted in the R-6 zoning district. The Board finds that this application fails to meet all of the Standards for Relief found in the Bristol Zoning Ordinance necessary to approve a Dimensional Variance.

The Board finds that the hardship from which the applicant seeks relief is not due to the unique characteristics of the subject land or structure. The applicant proposes a six-stall garage and associated paved driveway and parking area to accommodate the residents of the 12 unit apartment building located on this property. According to Town records, this property was in compliance with off-street parking requirements when relief was originally granted for construction of the 12 unit structure. The property has since migrated to a non-conforming property from a parking standpoint. However, the space for adequate off street parking does appear to be available in the paved area surrounding the building.

Granting of the requested Dimensional Variance will alter the general characteristics of the surrounding area and will impair the intent or purpose of the Zoning Ordinance and the Comprehensive Plan of the Town of Bristol. The Zoning Ordinance requires two off-street parking spaces per residential dwelling unit; and that is what the original developer agreed to and that is what is currently available on the property, if not more than the 24 required spaces. The construction of the proposed garage and associated parking would increase lot coverage by structures and alter the characteristics of the property and surrounding area, including increasing the amount of impervious surfaces and stormwater runoff necessitating mitigation.

The relief requested to be granted is not the least relief necessary, as the applicant already has adequate space to meet the required off-street parking. The proposed garage structure would provide parking for only six (6) vehicles, which is only 25 percent of the required off-street parking, and does not appear to be the best use of the property.

The hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted will not amount to more than a mere inconvenience and will have no impact on the ability to rent residential units within that property. If existing adequate parking spaces were provided adjacent to the building, it could enhance the ability to rent the property.

Therefore the Board voted **5 to 0** to **DENY** the application to construct a 24ft. x 82ft. accessory garage structure.

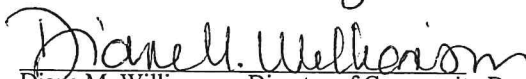
Voting to Approve petition: None

Voting to Deny petition: Asciola; Burke; Simoes; Brum; and Kern

Making a part of this Decision the application, along with required materials, plans, and exhibits filed with the Board at the meeting, and excerpts of the public hearing minutes.

Recorded as the Decision of the Town of Bristol Zoning Board of Review on

This 18th day of August, 2021.


Diane M. Williamson, Director of Community Development

Recorded Aug 18, 2021 at 12:53PM
Melissa Cordeiro Town Clerk



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2023-27

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, September 18, 2023

at 7:00 P.M.

**Bristol Town Hall
10 Court Street**

APPLICANT: **Robert M. Kreft**
PROPERTY OWNER: **Robert M. Kreft / Robert M. Kreft 2020 Trust**
LOCATION: **22 Wall Street**
PLAT: **33** LOT: **17**
ZONE: **Residential R-6**

APPLICANT IS REQUESTING **DIMENSIONAL VARIANCES TO: construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district.**

A blue ink signature of Edward M. Tanner, written in a cursive style.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, September 14, 2023.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

APPLICATION

File No: **2023-27-1**

Accepted by ZEO: **EMT 7/6/2023**

2023 JUL -6 PM 1:41
TOWN OF BRISTOL
COMMUNITY DEV.

APPLICANT	Name: Robert Kreft	<u>r.kreft@kreftgroup.com</u>	
	Address: 17 Sandy Lane		
	City: Bristol	State: RI	Zip: 02809
	Telephone #: 401-489-0984	Home:	Work/Cell:
PROPERTY OWNER	Name: Robert M Kreft Trust		
	Address: 17 Sandy Lane		
	City: Bristol	State: RI	ZIP: 02809
	Telephone #: 401-489-0984	Home:	Work/Cell:

1. Location of subject property: 22 Wall Street

Assessor's Plat(s) #: 33 Lot(s) #: 17, 21

2. Zoning district in which property is located: R-6

3. Zoning Approval(s) required (check all that apply):

☒ Dimensional Variance(s) ☐ Special Use Permit ☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): Sec.28-111

Special Use Permit Section(s): _____

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 2013

7. Present use of property: Apartments

8. Is there a building on the property at present?: Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 10,200 Sq Feet

10. Proposed use of property: Additional structure - Garage /workshop for apartment buldings and self use.

11. Give extent of proposed alterations: Addition of 42X40' Garage/Shop.
12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 42'X40'. 1537 Square feet.
13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:
- | | | |
|----------------------|----------------------------|---------------------------------|
| Front lot line(s): | Required Setback: _____ | Proposed Setback: _____ |
| Left side lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Right side lot line: | Required Setback: _____ | Proposed Setback: _____ |
| Rear lot line: | Required _____ | Proposed Setback: _____ |
| Building height: | Setback: <u>20' height</u> | Proposed: <u>22' 11" height</u> |
- Other dimensions (building size, Required coverage, lot area, parking, sign dimensions, etc.):
 Required: 22' X 24' Proposed: 40' X 42'
35% Coverage - existing 46% 53% proposed Coverage
13. Number of families before/after proposed alterations: 12 Before 12 After
14. Have you submitted plans for the above alterations to the Building Official? Yes
 If yes, has he refused a permit? No If refused, on what grounds? _____
15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)
16. Which public utilities service the property?: Water: X Sewer: X
17. Is the property located in the Bristol Historic District or is it an individually listed property?: No
18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: 

Date: 6/10/23

Print Name: Robert Kreft

Property Owner's Signature: _____

Date: _____

Print Name: _____

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: Scott Partington

Telephone #: 401-334-2852

Address: 2176 Mendon Rd # 2000, Cumberland, RI 02864

June 10, 2023

Town of Bristol
Attn: Zoning Department
10 Court Street
Bristol, RI 02809

Re: Request for Dimensional Variance -22 Wall Street

Zoning Board of Review:

Thank you for your consideration, I am the owner of the property at 22 Wall Street, Bristol, RI and requesting a dimensional variance approval which will support the addition of a garage and shop to support the maintenance of the property. The primary use will be storage and protection of maintenance equipment that is currently in the elements on the property. The garage will allow the spaces currently occupied by the equipment to be freed up for use of the multi-family.

We are planning to retire withing the next 5 years and move to the property. I purchased 22 Wall Street (Plat 33 Lot 21) in 2012 and then in 2018 purchased the lot next door (Plat 33 Lot 17). In December 2020, the properties were combined. The proposed structure would be located on the lot that was combined. The individual lot (Plat 33 Lot 17) had a permit for a single-family dwelling, before the properties were combined.

22 Wall Street is unique as it is a large, 12 family property, located in in an R-6 zone where all the structures on the same side of the street are single family homes. Across the street is zoned LB and contains large multi-family properties and a few businesses each with parking lots dedicated to their properties.

22 Wall Street currently has 25 parking spaces located around the building. Parking is needed for approximately 24 cars (2 per unit) as each unit is comprised of 2 bedrooms. The units are a mix of families and college students. The equipment including a tractor, work truck and trailer occupy 3 spaces. The addition of the garage will allow me to place the equipment inside a garage away from the elements and provide protection for the equipment as the tractor has been broken into several times. After being placed in the new garage, the open three spaces for the use of my tenants. Allowing 2 spaces for each unit.

To support my request, please find enclosed drawings with accurate measurements.

The measurements and details of the planned garage and variances sought:

Garage: The planned garage and shop will measure 42' x 40' and will placed on the empty lot purchased in 2018 (Plat 33 Lot 17).

Variances sought;

- 1) Coverage: The property is in an R-6 zoning district and per Sec. 28-111 Maximum lot coverage by structures is set at 35%. Original lot coverage for 22 Wall was 61% with the properties combined it is currently at 46%. The new proposed garage will bring the lot coverage to a total of 53%.
- 2) Size: The property again is in an R-6 zoning district and per Sec. 28-111 Maximum size of accessory structures is set at 22' X 24'. I am asking for a variance on size to 40' x 42'.
- 3) Height: The current height requirement is 20' for accessory structures we are seeking a variance to 22' 11"

The hardship we are seeking relief from is due to the unique characteristics of the subject land, particularly after combining the properties and lack of any structure to protect the expensive equipment I require for maintenance.

The hardship is not due to any prior action of myself, I purchased the property in its present configuration. I am not

seeking relief for my own economic gain but to prevent deterioration of the equipment needed to maintain the property. The granting of the requested variance will not alter the general characteristics of the surrounding area or impair the intent or purpose of the zoning ordinance or the Comprehensive Plan of the Town of Bristol.

This relief to be granted is the least relief necessary to store equipment and provide maintenance to my property. If the dimensional variance is not granted, it would amount to more than a mere inconvenience and

In every other respect we are maintaining the lot in conformance with existing Bristol Zoning regulations. If you require anything further, please do not hesitate to contact me. Thank you for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "R. Kreft", written in a cursive style.

Robert M Kreft

PAGE:

6

SHEETS:

6

Proposed
Garage For:
Robert Kreft
16 Wall Street
Bristol, Rhode Island
Map 33 Lot 17
and
Map 33 Lot 21
Combined into one Lot

PROJECT NUMBER:	00418
Drawn By:	BM
Checked By:	X
Issue Date:	08-18-20

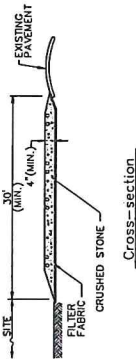
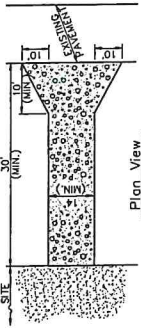
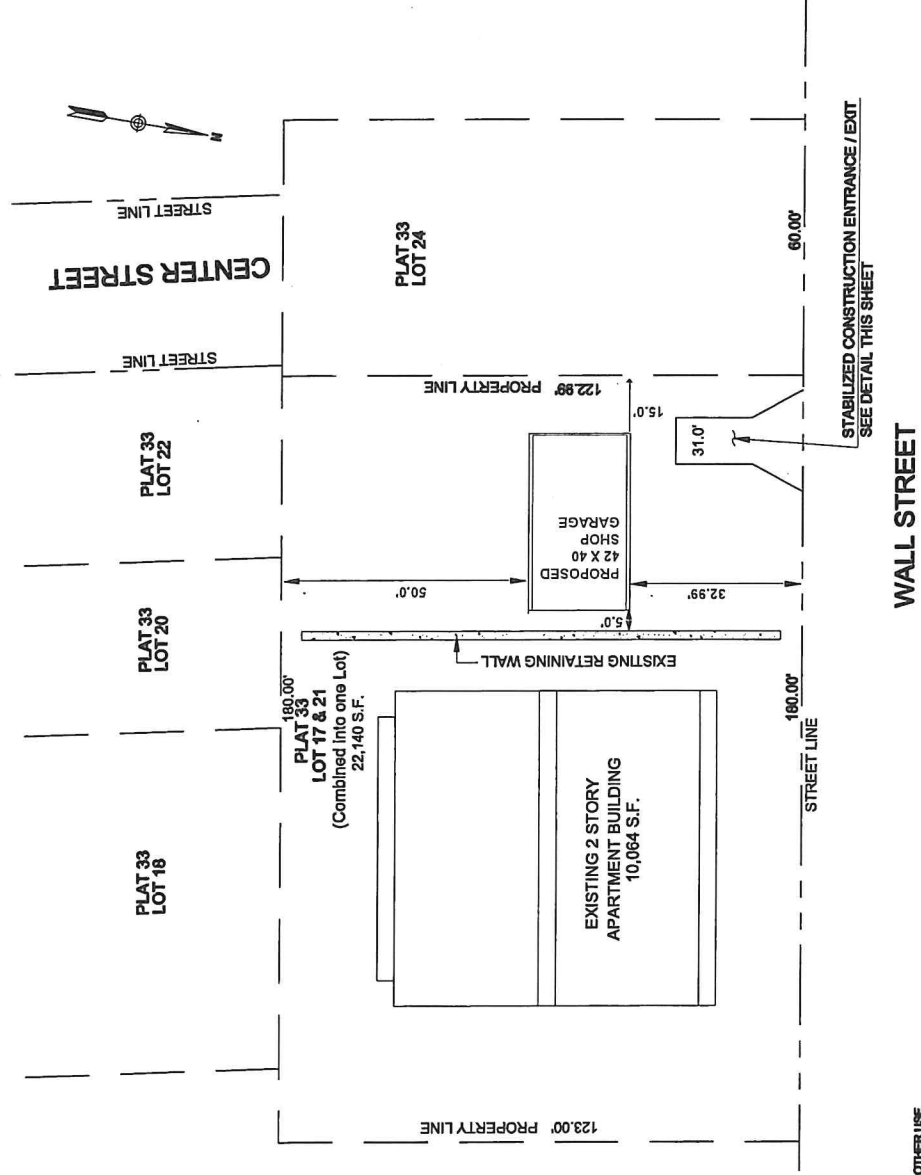
SHEET LEGEND:

Revisions No.	Date	Description

Drawing Title:

Site Plan

Scale: 1"=10'



Notes:

- ENTRANCE WIDTH SHALL BE A FOURTEEN (14) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO ADJACENT AREAS. THE ENTRANCE SHALL BE MAINTAINED BY DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO PREVENT TRACKING. THE ENTRANCE SHALL BE MAINTAINED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY, DUMPED OR REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
- STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

STABILIZED CONSTRUCTION ENTRANCE / EXIT

NOT TO SCALE

REFERENCES:

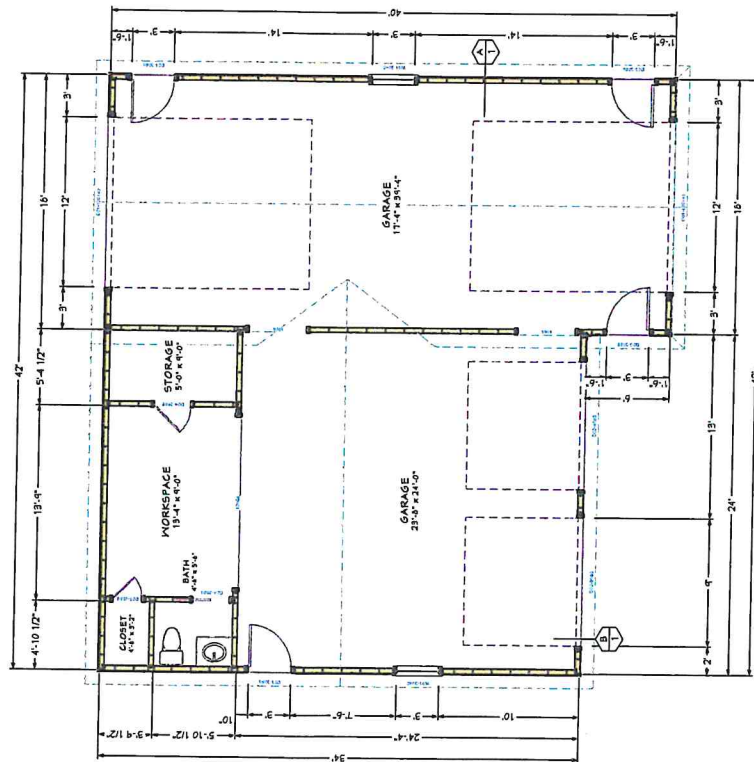
DRAWING IS NOT SURVEYED AND WAS DEVELOPED USING TOWN OF BRISTOL GIS MAPPING.

R-6 ZONING SETBACKS

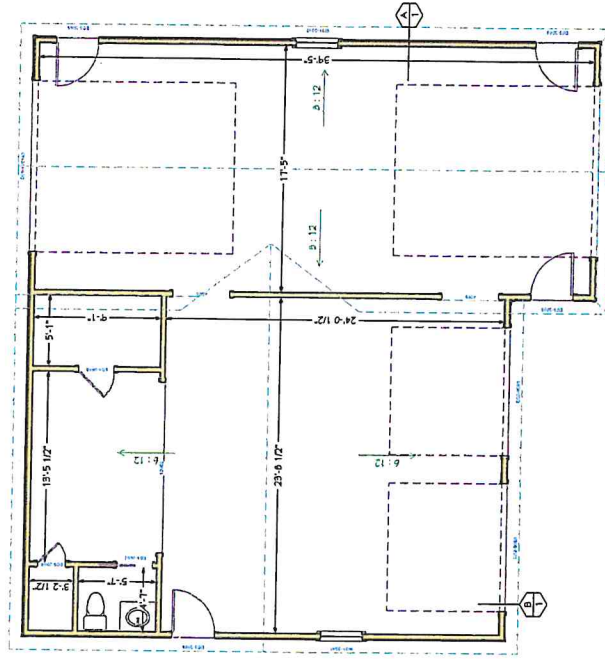
- MINIMUM SIDE YARD - 10 FT.
- MINIMUM FRONT YARD - 20 FT.
- MINIMUM REAR YARD - 20 FT.
- MAXIMUM HEIGHT OF PRINCIPAL STRUCTURES - 35 FT.
- MAXIMUM HEIGHT OF ACCESSORY STRUCTURES - 20 FT.
- MAXIMUM LOT COVERAGE BY STRUCTURES - 30% RESIDENTIAL 35% ANY OTHER USE

NUMBER	DATE	DESCRIPTION	BY	CHKD	DATE
001	08-12-14	2	1	1	08-12-14
002	08-12-14	2	1	1	08-12-14
003	08-12-14	2	1	1	08-12-14
004	08-12-14	2	1	1	08-12-14
005	08-12-14	2	1	1	08-12-14

NUMBER	DATE	DESCRIPTION	BY	CHKD	DATE
001	08-12-14	2	1	1	08-12-14
002	08-12-14	2	1	1	08-12-14
003	08-12-14	2	1	1	08-12-14
004	08-12-14	2	1	1	08-12-14
005	08-12-14	2	1	1	08-12-14

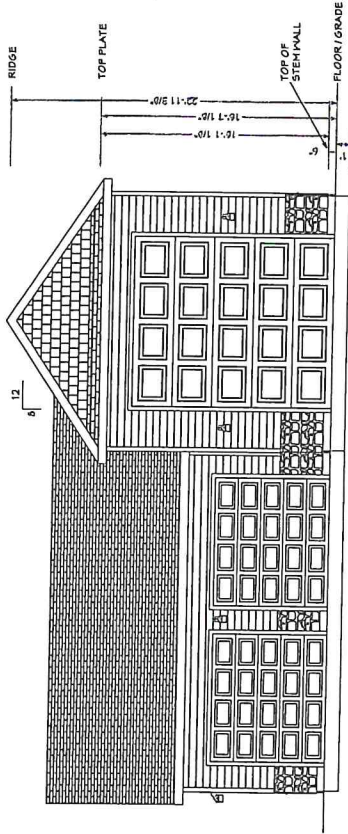


MAIN FLOOR PLAN
SCALE: 1/4" = 1'

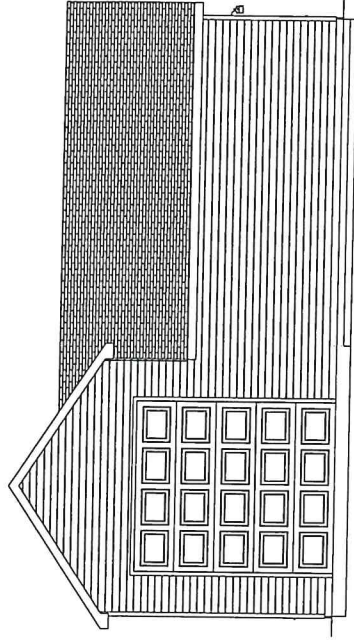


MAIN FLOOR PLAN
SCALE: 1/4" = 1'

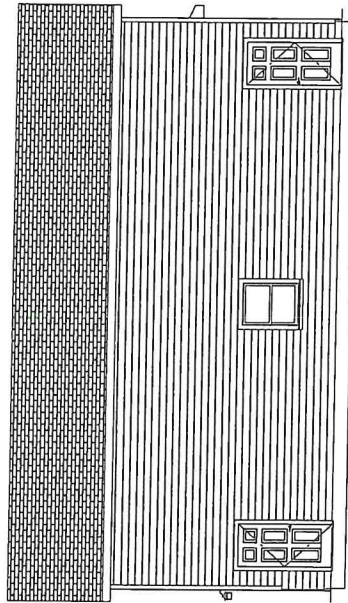
42x40 Garage
#42X40G1B



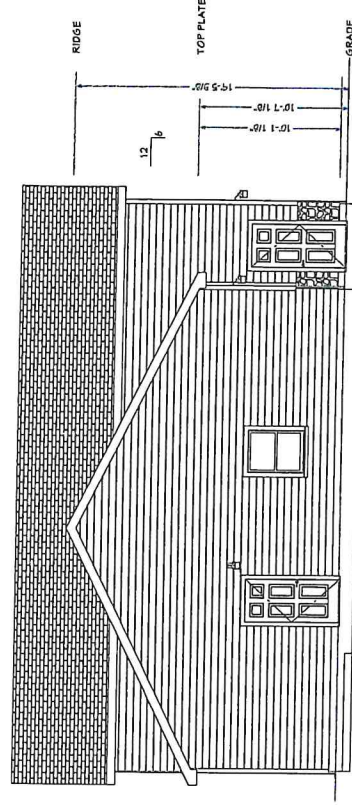
FRONT ELEVATION
SCALE: 1/4" = 1'



REAR ELEVATION
SCALE: 1/4" = 1'



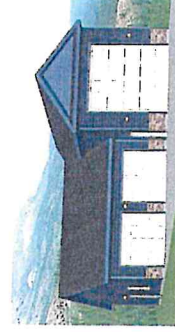
RIGHT ELEVATION
SCALE: 1/4" = 1'

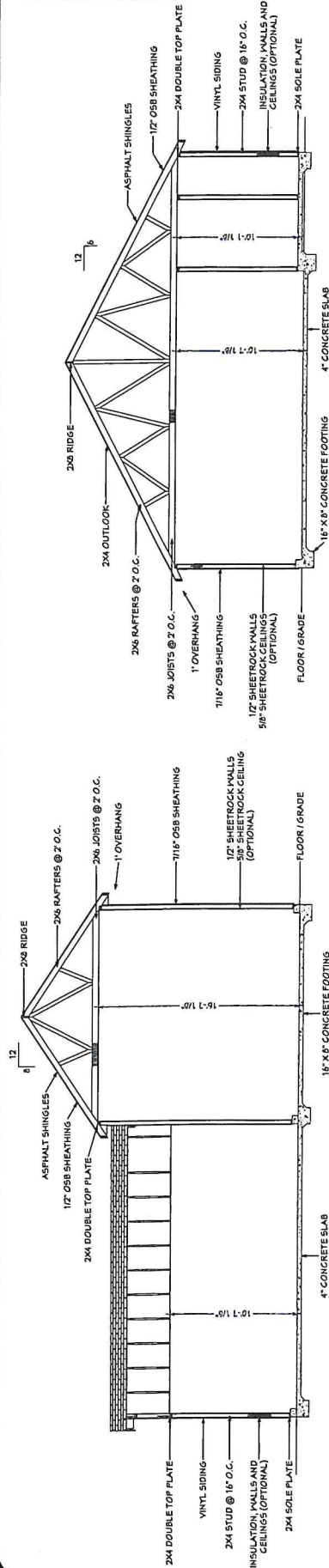


LEFT ELEVATION
SCALE: 1/4" = 1'

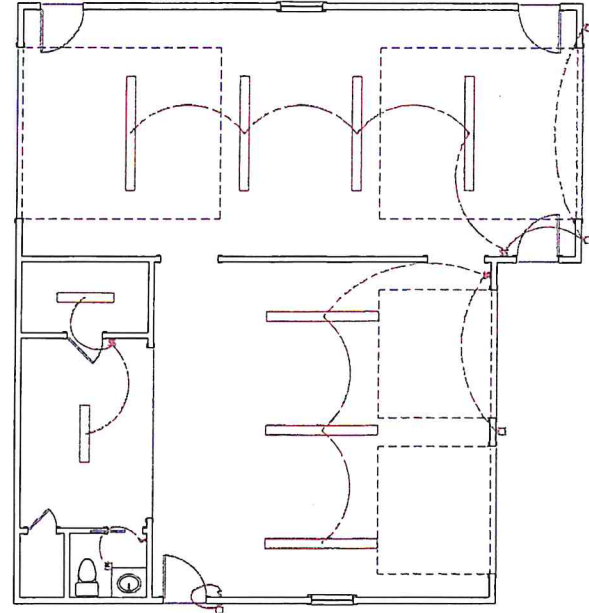
42x40 Garage #42X40G1B

SQUARE FEET: 1537 (230 Storage)
WIDTH: 42'
DEPTH: 40'
EXTERIOR WALL STRUCTURE: 2X4 STUDS

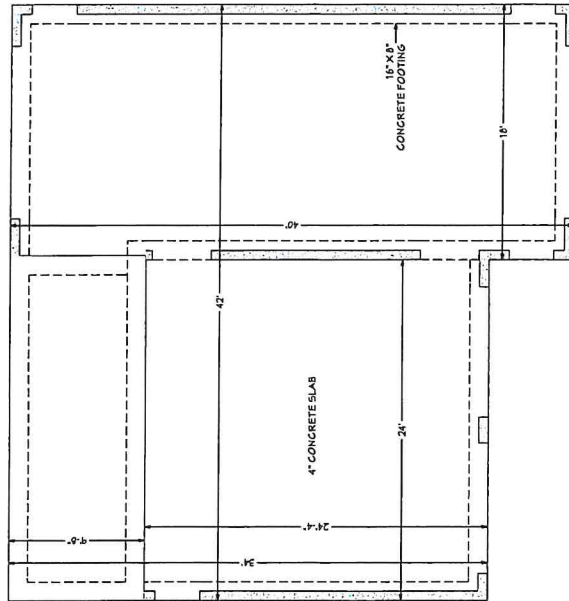




CROSS SECTION
SCALE: 1/4\"/>

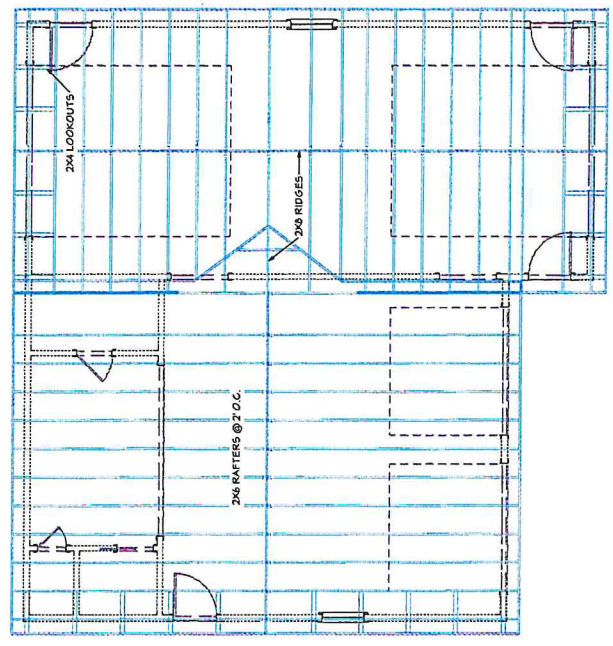


LIGHTING PLAN
SCALE: 1/4\"/>

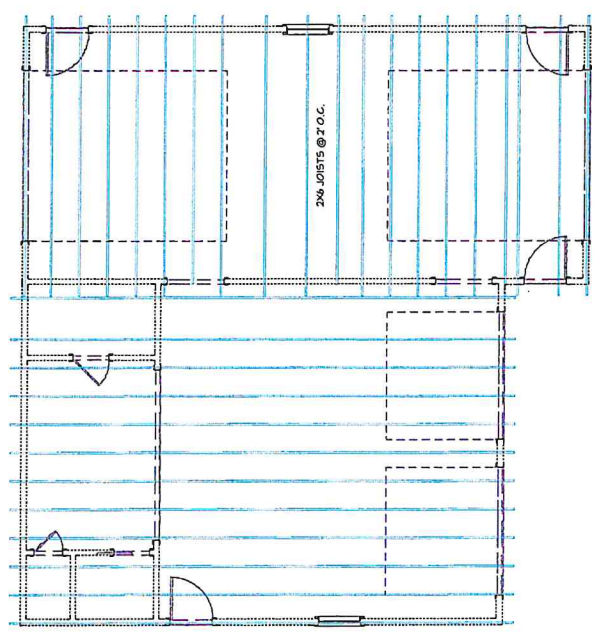


42x40 Garage
#42x40G1B

FOUNDATION PLAN
SCALE: 1/4\"/>



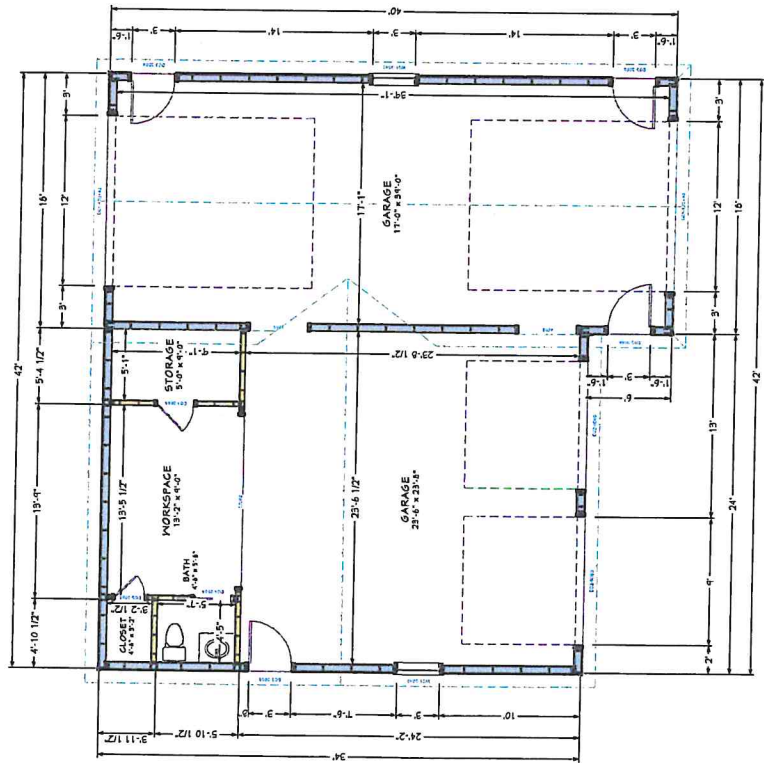
ROOF FRAMING PLAN
SCALE: 1/4" = 1'



CEILING FRAMING PLAN
SCALE: 1/4" = 1'

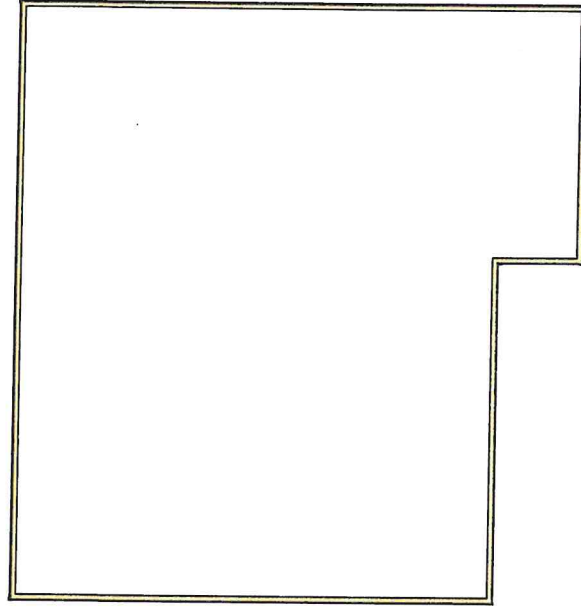
42x40 Garage
#42X40G1B

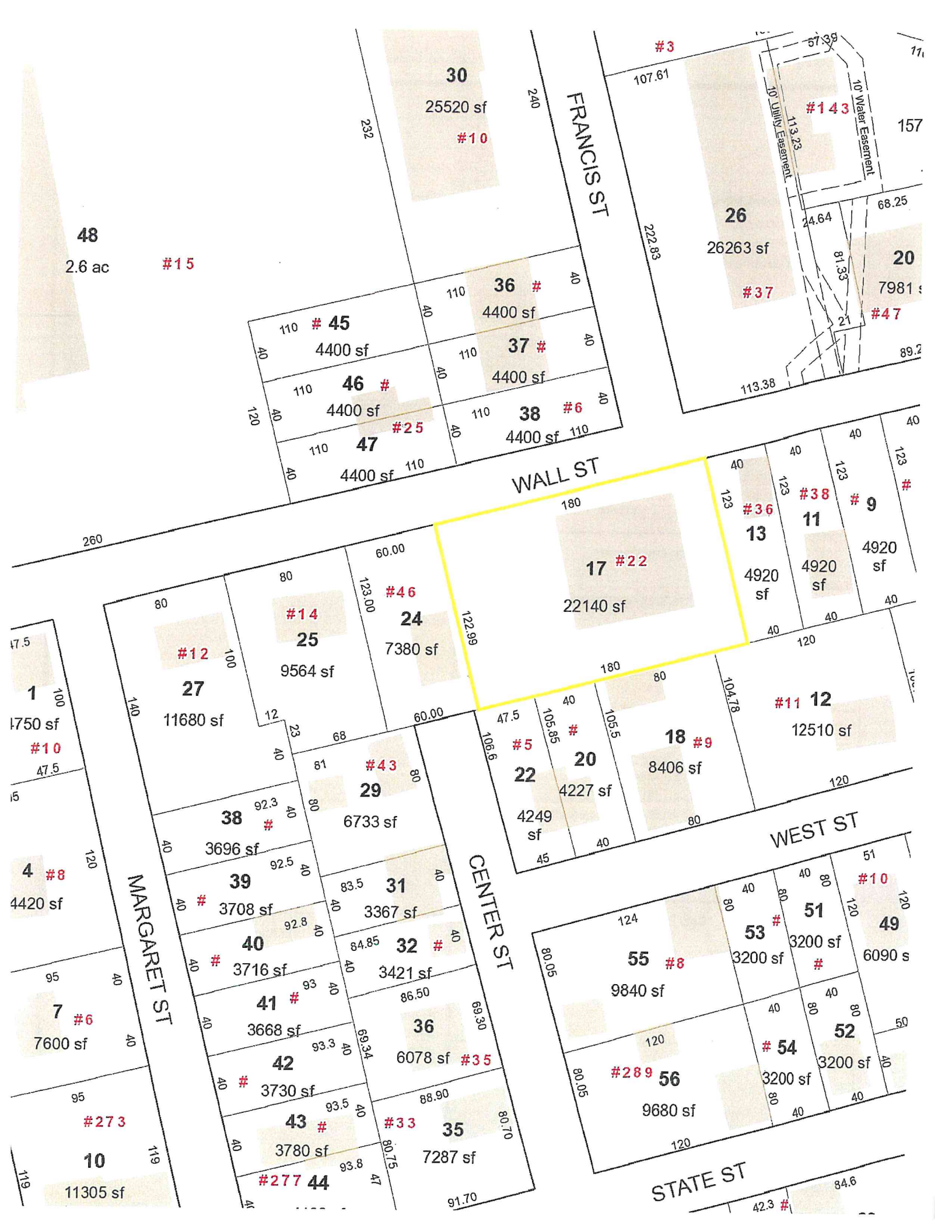
2x6 Exterior Walls @ 2' O.C.



MAIN FLOOR PLAN
SCALE: 1/4" = 1'

42x40 Garage
#42X40G1B





Bristol, RI

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Disclaimer: This information is for tax assessing purposes and is not warranted

Parcel Identification

Map/Lot 33 17
 Account 2587
 State Code 03 - Apartments
 Card 1/1
 User Account

Assessment

Land \$177,800
 Building \$969,100
 Card Total \$1,146,900
 Parcel Total \$1,146,900

Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2021	\$183,300	\$780,300	\$11,000	\$974,600
2020	\$180,600	\$780,300	\$11,000	\$971,900
2019	\$180,600	\$847,800	\$11,000	\$1,039,400
2018	\$163,500	\$812,800	\$10,600	\$986,900

Location and Owner

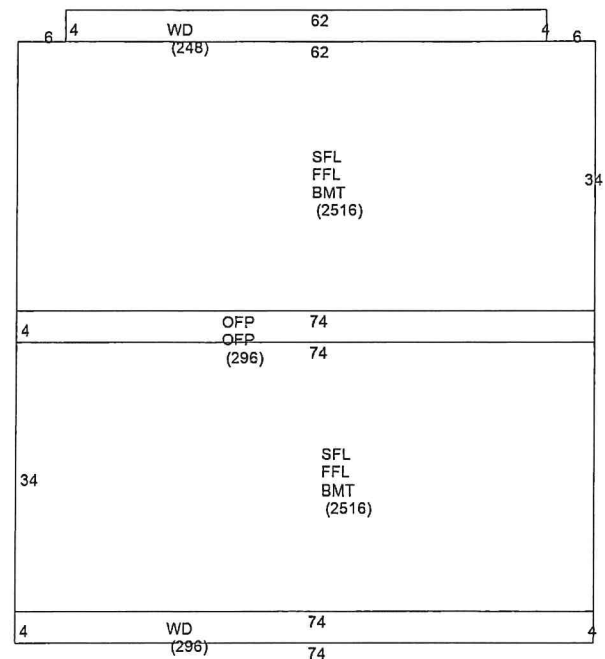
Location 22 WALL ST
 Owner KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRUST
 Owner2
 Owner3
 Address 17 SANDY LANE
 Address2
 Address3 BRISTOL RI 02809

Building Information

Design Apt
 Year Built 1994
 Heat BB Hot Water
 Fireplaces 0
 Rooms 48
 Bedrooms 24
 Bathrooms 12 Full Bath\ 12 Half Bath
 Above Grade Living Area 10,064 SF

Sale Information

Sale Date	Sale Price	Legal Reference	Instrument
10/09/2020	\$0	2062-174	Warranty
08/17/2018	\$112,500	1952-73	Warranty
05/23/2013	\$962,500	1709-306	Warranty
03/22/2013	\$850,000	1699-134	Warranty



Building Sub Areas

Sub Area	Net Area
1st FLOOR	5,032 SF
2nd FLOOR	5,032 SF
BASEMENT	5,032 SF
OPEN PORCH	592 SF
WOOD DECK	544 SF

Land Information

Land Area 0.508 AC
 Zoning R-6
 View -

Bristol

22 WALL ST

Card 1 of 1

Plat/Lot 33 17

Account: 2587

LUC 03

Zone R-6

Assessment

\$1,146,900



Owner

Owner 1 KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRU:
Owner 2
Owner 3
Address 17 SANDY LANE, BRISTOL, RI 02809

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	Deed Type
KREFT, ROBERT M.	10/09/2020	0	2062-174	A
WOOD FRAME STRUCTURES	08/17/2018	112,500	1952-73	W
WALL STREET INVESTMENTS, LLC	05/23/2013	962,500	1709-306	W
MVP ASSOCIATES, LLC	03/22/2013	850,000	1699-134	L

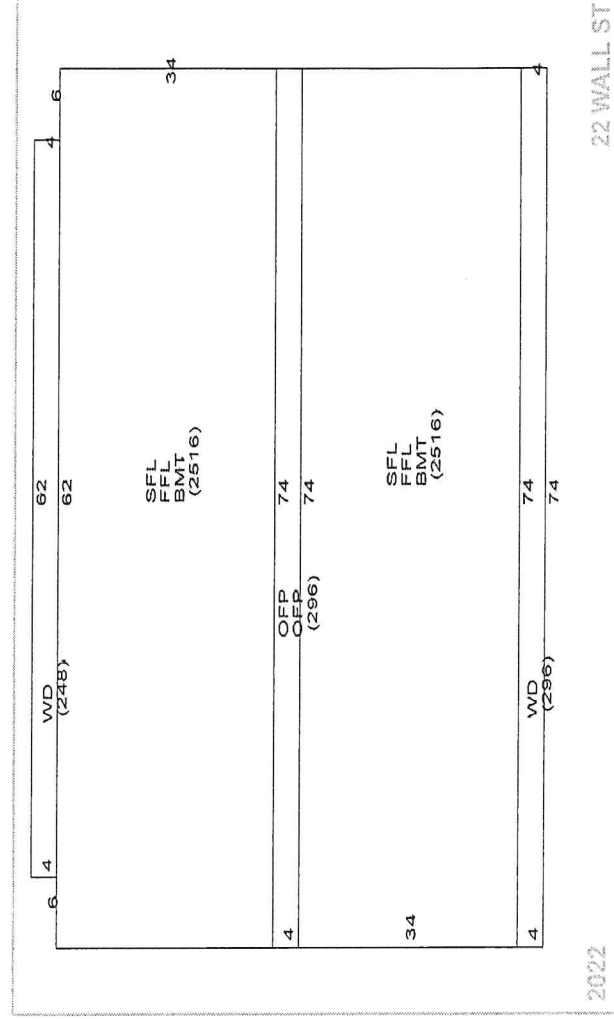
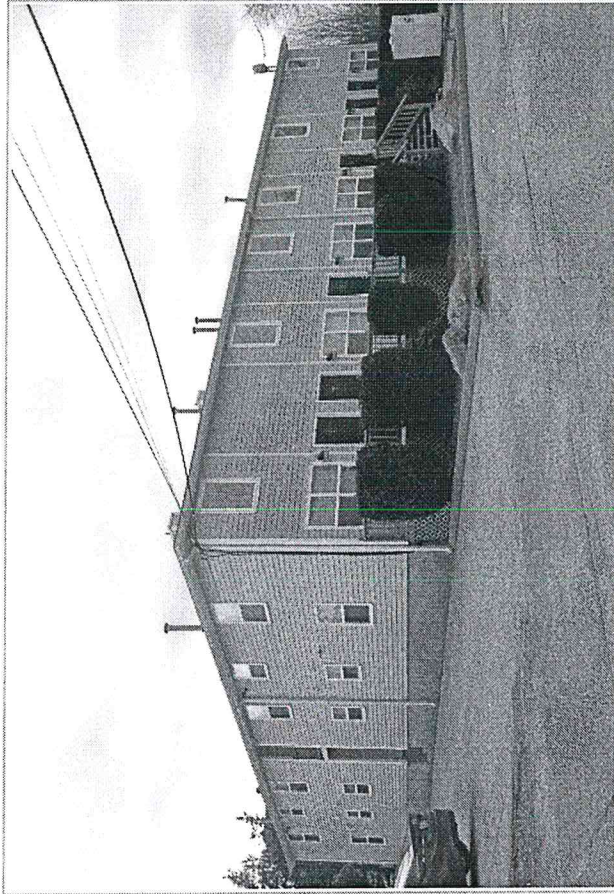
Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
03	958,100	11,000	0.51	177,800	0	1,146,900
TOTAL	958,100	11,000	0.51	177,800	0	1,146,900

Source > Mkt Adj Cost VAL per SQ Unit/Card > 70.66 VAL per SQ Unit/Parcel > 70.66

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	03	958,100	11,000	1	177,800	0	1,146,900	1,146,900
2021	03	780,300	11,000	1	183,300	0	974,600	974,600
2020	03	780,300	11,000	0	180,600	0	971,900	971,900
2019	03	847,800	11,000	0	180,600	0	1,039,400	1,039,400
2018	03	812,800	10,600	0	163,500	0	986,900	986,900
2017	03	812,800	10,600	0	163,500	0	986,900	986,900



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 03 Apartment	0.22957	AC	P	1.00	615,950	616,805	C13							141,600			1.00	0
2 03 Apartment	0.27869	AC	R	0.25	615,950	129,893	C13							36,200			1.00	0
3																		
4																		

visit history	Date	Result	By
	4/7/2022	N/C HEARIN'	AD
	10/20/2021	REVIEW	AD
	12/18/2020	CHANGE NC MDI	AD
	4/22/2019	N/C HEARIN'	JH
	7/23/2018	MEASURED JE	JE
	7/6/2018	REVIEW	JH
	11/10/2014	MEASURE	
	9/3/2013	LISTED	
	8/3/2013	MEASURE	

12 UNITS LAND AREA CORRECTED 12/06 EAS LOTS 15 & 19 DROPPED INTO THIS LOT
10/28/93 2 units undergoing renovations of new kitchens, baths on inspection date. KR
strip and roof new windows and siding 11-6-13 mcb || PORTION OF LOT 0023 DROPPED
INTO THIS LOT SEE ENV #520 9/21/06 ASSESSMENT REDUCED BY BOARD #2011-066
11/11 EAS Lot deemed buildable by zoning 5/4/18 MD

OF LOT 0023 DROPPED
BY BOARD #2011-066

Est	% Done	Status	Description/Directions
		Closed	install 12 replacement windows same size same location .27 u.value
	0	Closed	FOUNDATION ONLY FOR SINGLE FAMILY RESIDENCE
	0	Closed	CONSTRUCT SINGLE FAMILY HOME TO MEET STATE AND LOCAL CODES
		Closed	INSTALL 4" METAL FENCE TO SIDES AND REAR OF PROPERTY
		Closed	INSTALL NEW WINDOWS AND SIDING
		Closed	RESHINGLE ROOF TO CODE
		Closed	INSTALL FIRE ALARMS

► Other Info.

AFDU	Rental
PriorID1c	
PriorID2a	
PriorID2b	
PriorID2c	
PriorID3a	
PriorID3b	
PriorID3c	

WARRANTY DEED

I, Robert M. Kreft, of 17 Sandy Lane, Bristol, Rhode Island 02809, do hereby give and grant for good and valuable non-monetary consideration with *WARRANTY COVENANTS*, to Robert M. Kreft and his successors as trustee of the Robert M. Kreft 2020 Trust, also having an address of 17 Sandy Lane, Bristol, Rhode Island, 02809, the following described real property located in Bristol, Rhode Island:

That certain real estate with all buildings and improvements thereon set forth in Exhibit A, attached hereto and made a part hereof by reference.

This transfer is such that no documentary stamps are required and no withholding is required under R.I.G.L. Section 44-30-71.3.

The undersigned hereby certifies that this transfer is exempt from R.I.G.L. 22-28.35-1 as it is not a sale.

Being the same premises conveyed to this Grantor by Warranty Deed of Wall Street Investments, LLC dated May 23, 2013, and recorded in the Bristol Recorder of Deeds office on May 23, 2013 as Document Number 00001787 in Book 1709 beginning at page 306.

Witness my hand this 23rd day of September, 2020.

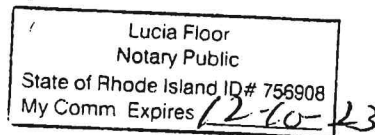
Lucia Floor
Witness

Robert M. Kreft
Robert M. Kreft

STATE OF RHODE ISLAND
COUNTY Bristol

In Bristol (city/town) on this 23rd day of September, 2020 before me personally appeared Robert M. Kreft, to me known and known by me to be the person executing the foregoing deed, and he acknowledged said instrument, by him executed, to be his free act and deed.

Lucia Floor
Notary Public
My Commission Expires:



Property Address:

22 Wall Street
Bristol, RI 02809
AP 33, Lot 17

After recording, return to:

Leon C. Boghossian III, Esq.
Hinckley Allen
100 Westminster Street, Ste. 1500
Providence, RI 02903

60142920

EXHIBIT "A"

Those certain lots or parcels of land with all the buildings and improvements thereon, situated in the Town and County of Bristol, State of Rhode Island, being numbered One Hundred Forty Five (145), One Hundred Forty Six (146) and One Hundred Forty Seven (147) on plan of Gooding Manor made by Herbert A. Pratt, C.E., dated May 1918, and recorded with the Bristol Town Clerk's Office, Bristol, Rhode Island to which reference may be had for a more particular description.

Recorded Oct 09, 2020 at 01:55P.
Louis P. Cirillo Town Clerk



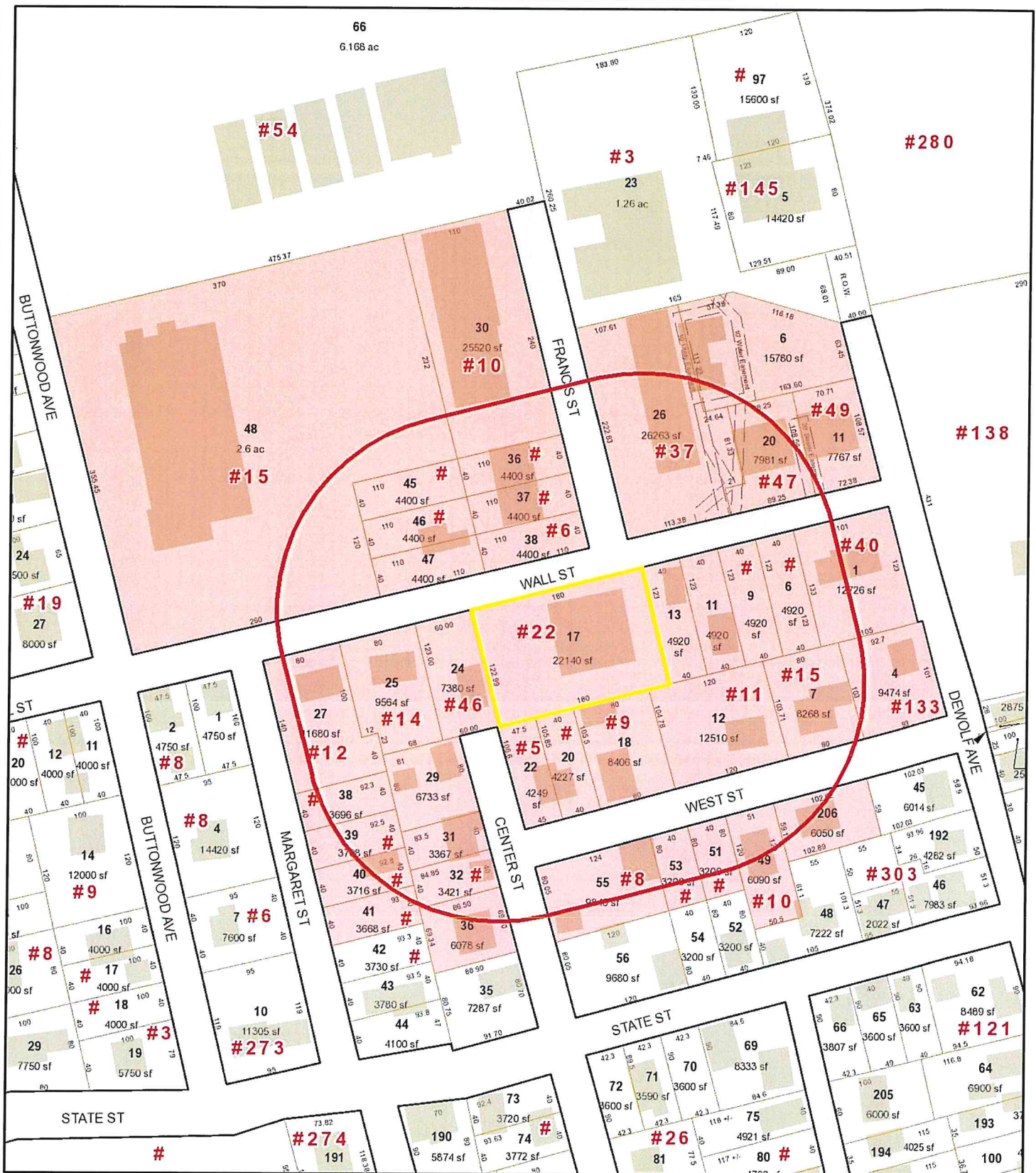
Bristol, RI



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Precision Mapping. Geospatial Solutions.

1 inch = 140 Feet

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200 foot Abutters List Report

Bristol, RI
August 23, 2023

Subject Property:

Parcel Number: 33-17
CAMA Number: 33-17
Property Address: 22 WALL ST

Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

Abutters:

Parcel Number: 33-1
CAMA Number: 33-1
Property Address: 40 WALL ST

Mailing Address: BRANCO, JOSEPH JOAN
40 WALL ST
BRISTOL, RI 02809

Parcel Number: 33-11
CAMA Number: 33-11
Property Address: 38 WALL ST

Mailing Address: FURTADO, DANIEL C
38 WALL ST
BRISTOL, RI 02809

Parcel Number: 33-12
CAMA Number: 33-12
Property Address: 11 WEST ST

Mailing Address: SKARPOS, ELIAS N
324 HILTON ST
TIVERTON, RI 02878

Parcel Number: 33-13
CAMA Number: 33-13
Property Address: 36 WALL ST

Mailing Address: KREFT, ROBERT M - TRUSTEE ROBERT
M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

Parcel Number: 33-17
CAMA Number: 33-17
Property Address: 22 WALL ST

Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

Parcel Number: 33-18
CAMA Number: 33-18
Property Address: 9 WEST ST

Mailing Address: NINE WEST PROPERTIES, LLC
32 LORRAINE STREET
BARRINGTON, RI 02806

Parcel Number: 33-20
CAMA Number: 33-20
Property Address: WEST ST

Mailing Address: TROTT, JENNA R & TYLER D TE
PINGITORE, RAYMOND J JT
5 WEST ST
BRISTOL, RI 02809

Parcel Number: 33-206
CAMA Number: 33-206
Property Address: 14 WEST ST

Mailing Address: DIGATI, GINA M
115 HIGH STREET
BRISTOL, RI 02809

Parcel Number: 33-22
CAMA Number: 33-22
Property Address: 5 WEST ST

Mailing Address: TROTT, JENNA R & TYLER D TE
PINGITORE, RAYMOND J JT
5 WEST ST
BRISTOL, RI 02809

Parcel Number: 33-24
CAMA Number: 33-24
Property Address: 46 CENTER ST

Mailing Address: FERRO, SHERRI A
46 CENTER ST
BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 33-25 CAMA Number: 33-25 Property Address: 14 WALL ST	Mailing Address: COTA, JOAO S MARIA F 14 WALL STREET BRISTOL, RI 02809
Parcel Number: 33-27 CAMA Number: 33-27 Property Address: 12 WALL ST	Mailing Address: PACHECO, JOSE M TERESA J LIFE ESTATE & PACHE 12 WALL ST BRISTOL, RI 02809
Parcel Number: 33-29 CAMA Number: 33-29 Property Address: 43 CENTER ST	Mailing Address: STEINER, BLANCHE B TRUSTEE BLANCHE B STEINER TRUST 43 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-31 CAMA Number: 33-31 Property Address: 41 CENTER ST	Mailing Address: HORTA, BRIAN J 41 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-36 CAMA Number: 33-36 Property Address: 35 CENTER ST	Mailing Address: TEIXEIRA, ASHLEY S 35 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-38 CAMA Number: 33-38 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-39 CAMA Number: 33-39 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-4 CAMA Number: 33-4 Property Address: 133 DEWOLF AVE	Mailing Address: ABENANTE, JULIE & DUNBAR, KATIE JT 133 DEWOLF AVE BRISTOL, RI 02809
Parcel Number: 33-40 CAMA Number: 33-40 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-41 CAMA Number: 33-41 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-49 CAMA Number: 33-49 Property Address: 10 WEST ST	Mailing Address: ANDRADE, ANTONIO S. MARY E. TE 10 WEST ST BRISTOL, RI 02809
Parcel Number: 33-51 CAMA Number: 33-51 Property Address: WEST ST	Mailing Address: SKELLY, ANNA C 293 STATE ST BRISTOL, RI 02809



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8/23/2023

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200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 33-53 CAMA Number: 33-53 Property Address: WEST ST	Mailing Address: SKELLY, ANNA C 293 STATE ST BRISTOL, RI 02809
Parcel Number: 33-55 CAMA Number: 33-55 Property Address: 8 WEST ST	Mailing Address: MONTEIRO, KYLE R & ELYSE S TE 8 WEST ST BRISTOLT, RI 02809
Parcel Number: 33-6 CAMA Number: 33-6 Property Address: WALL ST	Mailing Address: FURTADO, DANIEL C 38 WALL ST BRISTOL, RI 02809
Parcel Number: 33-7 CAMA Number: 33-7 Property Address: 15 WEST ST	Mailing Address: ROBINSON JANET K 15 WEST STREET BRISTOL, RI 02809
Parcel Number: 33-9 CAMA Number: 33-9 Property Address: WALL ST	Mailing Address: FURTADO, DANIEL C 38 WALL ST BRISTOL, RI 02809
Parcel Number: 37-11 CAMA Number: 37-11 Property Address: 49 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-20 CAMA Number: 37-20 Property Address: 47 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-26 CAMA Number: 37-26 Property Address: 37 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-30 CAMA Number: 37-30 Property Address: 10 FRANCIS ST	Mailing Address: JRM PROPERTIES, LLC PO BOX 305 PORTSMOUTH, RI 02871
Parcel Number: 37-36 CAMA Number: 37-36 Property Address: FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809
Parcel Number: 37-37 CAMA Number: 37-37 Property Address: FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809
Parcel Number: 37-38 CAMA Number: 37-38 Property Address: 6 FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809



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200 foot Abutters List Report

Bristol, RI
August 23, 2023

Parcel Number: 37-47
CAMA Number: 37-47
Property Address: 25 WALL ST

Mailing Address: ARRUDA, ALISON & GREGORY TE
52 VIKING DR
BRISTOL, RI 02809

Parcel Number: 37-48
CAMA Number: 37-48
Property Address: 15 WALL ST

Mailing Address: AJS ENTERPRISES LLC ATTN: STEVE J.
DOLAN
267 FERRY LANDING CIRCLE
PORTSMOUTH, RI 02871

Parcel Number: 37-6
CAMA Number: 37-6
Property Address: 143 DEWOLF AVE

Mailing Address: MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809



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8/23/2023

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ABENANTE, JULIE & DUNBAR,
133 DEWOLF AVE
BRISTOL, RI 02809

HORTA, ARMANDO JR.
SANDRA TE
277 STATE ST
BRISTOL, RI 02809

ROBINSON JANET K
15 WEST STREET
BRISTOL, RI 02809

AJS ENTERPRISES LLC
ATTN: STEVE J. DOLAN
267 FERRY LANDING CIRCLE
PORTSMOUTH, RI 02871

JRM PROPERTIES, LLC
PO BOX 305
PORTSMOUTH, RI 02871

SKARPOS, ELIAS N
324 HILTON ST
TIVERTON, RI 02878

ANDRADE, ANTONIO S.
MARY E. TE
10 WEST ST
BRISTOL, RI 02809

KREFT, ROBERT M - TRUSTEE
ROBERT M KREFT TRUST
17 SANDY LANE
BRISTOL, RI 02809

SKELLY, ANNA C
293 STATE ST
BRISTOL, RI 02809

ARRUDA, ALISON & GREGORY
52 VIKING DR
BRISTOL, RI 02809

KREFT, ROBERT M., TRUSTEE
17 SANDY LANE
BRISTOL, RI 02809

STEINER, BLANCHE B TRUSTE
BLANCHE B STEINER TRUST
43 CENTER ST
BRISTOL, RI 02809

BRANCO, JOSEPH
JOAN
40 WALL ST
BRISTOL, RI 02809

MATOS ASSOCIATES, LLC
37 WALL ST
BRISTOL, RI 02809

TEIXEIRA, ASHLEY S
35 CENTER ST
BRISTOL, RI 02809

COTA, JOAO S
MARIA F
14 WALL STREET
BRISTOL, RI 02809

MONTEIRO, KYLE R & ELYSE
8 WEST ST
BRISTOLT, RI 02809

TROTT, JENNA R & TYLER D
PINGITORE, RAYMOND J JT
5 WEST ST
BRISTOL, RI 02809

DIGATI, GINA M
115 HIGH STREET
BRISTOL, RI 02809

NINE WEST PROPERTIES, LLC
32 LORRAINE STREET
BARRINGTON, RI 02806

FERRO, SHERRI A
46 CENTER ST
BRISTOL, RI 02809

PACHECO, JOSE M
TERESA J LIFE ESTATE & P
12 WALL ST
BRISTOL, RI 02809

FURTADO, DANIEL C
38 WALL ST
BRISTOL, RI 02809

RAPOSA, RONALD & CAMPBELL
TOWN OF BRISTOL TT
57 ST ELIZABETH ST
BRISTOL, RI 02809

HORTA, BRIAN J
41 CENTER ST
BRISTOL, RI 02809

RELIABLE PEST CONTROL INC
6 FRANCIS ST
BRISTOL, RI 02809