



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809

Telephone: (401) 253-7000

www.bristolri.gov

June 29, 2026
File #: ZBR-26-32

NOTICE OF PUBLIC HEARING

PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review
that a Public Hearing will be held in-person at:

Bristol Town Hall

10 Court Street, Bristol, RI 02809

Monday, July 13, 2026 at 7:00 p.m.

In regards to the petition of:

Applicant: Douglas M. & Susan E. Dahl

Owner of Record: Douglas M. and Susan E. Dahl

Location: 61 SMITH ST , BRISTOL, RI, 02809

Plat: 133 Lot: 128

Zoning District: R-15

Applicant is requesting **Special Use Permit and Dimensional Variances** to:

construct a 28ft. x 46ft. single-family dwelling at a height greater than 25 feet above grade in the flood zone; and with greater than permitted gross floor area (GFA) for the dwelling, first and second floor footprints, and deck.

Edward M. Tanner

Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov.



Zoning Board of Review Application
Town of Bristol

Record ID: ZBR-26-32

61 Smith Street 133 128

June 22, 2026

Applicant

Name of Applicant	Douglas M. & Susan E. Dahl
Who is Submitting this Application	Attorney
	If other, Describe:
Owner's Name (If Different than Applicant)	Douglas M. & Susan E. Dahl

Location for Application

Property Type	Both		
Zoning District	R-15		
Address, Plat, Lot	Address	Plat	Lot
	61 Smith Street	133	128

Type of Application

Application Type	Special Use Permit & Dimensional Variance
Proposed	New Building
	If other, Detail:
New Building Type	One Family Dwelling
	If other, Detail:

Size of Proposed Building(s)/Addition(s) (If applicable)

Total Square Footage	1,818 feet
Width in Feet	28 feet
Length in Feet	46 feet
Height Above Grade	34 feet
Number of Stories	3

Setbacks

Front Yard in Feet	0 feet
Rear Yard in Feet	0 feet
Left Side Yard in Feet	0 feet
Right Side Yard in Feet	0 feet
Height in Feet	0 feet

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)

28-150(e)(e)(e)

Describe the extent of the proposed alterations and the reasons for the requesting relief

Applicant seeks a special use permit to demolish an existing fire damaged residential structure and construct a new 28ft. x 46ft. single-family residential structure exceeding 25 ft in height in a flood zone and dimensional variance to permit greater gross floor area than permitted.

Existing Lot Specifications	
Current Use of Premises	Residential
	If other, explain:
Number of Units	
Lot Area	4,782
Lot Frontage	50
Lot Depth	100

Existing Buildings & Structures		
Structure:	Square Footage:	Building/Structure Detail if Other:

Project Narrative

Application of Douglas M. and Susan E. Dahl

Property: 61 Smith Street, Bristol, Rhode Island

Assessor's Plat 133, Lot 128

Zoning District: Residential R-15

Relief Requested: Special Use Permit pursuant to Section 28-150(e)(e)(e) and Dimensional Variances related to Gross Floor Area standards.

Introduction and Project Description

The Applicants, Douglas M. and Susan E. Dahl, respectfully request approval to demolish an existing fire damaged residential structure and replace it with a new 28ft x 46 ft. elevated 2-bedroom single-family residence at 61 Smith Street, Bristol, Rhode Island. The subject property is a nonconforming waterfront lot of record containing approximately 4,782 square feet and located along the Kickemuit River within a FEMA flood hazard area. The lot is situated within a neighborhood consisting primarily of older waterfront homes developed prior to the adoption of modern zoning and floodplain regulations. The parcel is characterized by irregular lot lines and limited developable area.

The property was previously the subject of Zoning Board approvals in 2020 authorizing demolition of a fire-damaged dwelling and construction of a replacement residence. Those approvals have expired and, as a result, the Applicants must reapply for zoning relief. The previously approved project received dimensional relief from front and rear setback requirements. Since that time, the Town has adopted new flood zone regulations that govern residential structures exceeding twenty-five (25) feet in height from grade, and the proposed project is now reviewed under those provisions. The project no longer needs any setback relief because of the changes to the state law governing setbacks on substandard lots of record.

The proposed residence has been designed to comply with current FEMA floodplain construction requirements and coastal resiliency standards. The structure elevates the living area above the required flood elevation and incorporates parking, storage, and utility space beneath the habitable floors. Architectural plans indicate a building height of approximately 33 feet 11 inches measured from existing grade to ridge, requiring review under Section 28-150(e)(e)(e).

Relief Requested

A. Special Use Permit – Section 28-150(e)(e)(e)

The Applicants seek a Special Use Permit pursuant to Section 28-150(e)(e)(e) because the proposed residence exceeds twenty-five (25) feet in height from grade within a residential flood zone.

The proposal satisfies the intent and requirements of the ordinance as follows:

1. Floodplain Compliance

The residence has been designed in accordance with FEMA floodplain standards and state building code requirements applicable to structures located within flood hazard areas. Habitable space is elevated above the base flood elevation, with the lower level utilized for parking and storage purposes.

2. Roof Design

The proposed roof system utilizes pitched roof forms substantially exceeding the minimum 4:12 roof pitch required by the ordinance. The design maintains the traditional architectural character of waterfront homes within the neighborhood.

3. Neighborhood Compatibility

The proposed dwelling is consistent with the scale and character of surrounding waterfront residences. The design reflects contemporary flood-resistant construction while maintaining residential architectural elements common throughout the Smith Street waterfront area. The project replaces a long-vacant, fire-damaged structure with a well-designed owner-occupied residence that will improve the appearance of the property and surrounding neighborhood. The Zoning Board previously found that redevelopment of this property would benefit the neighborhood and fit within the character of the area.

4. Lot Configuration and Coastal Conditions

The subject lot is uniquely constrained by its location between Smith Street and the Kickemuit River, flood zone requirements, and CRMC coastal restrictions. Elevated construction necessary to meet flood standards inherently increases overall building height. The Special Use Permit process recognizes this reality and provides a mechanism for reviewing structures that must be elevated to safely accommodate residential use.

B. Dimensional Variance – Gross Floor Area

The Project meets all applicable standards relative to building lot coverage; however dimensional variances are necessary from the Gross Floor Area standards contained in Section 28-150(e)(e)(e)(4).

Requirement	Permitted	Proposed
Gross Floor Area (GFA)	1,434.6 sq. ft.	1,818 sq. ft.
First Floor Footprint	60% of GFA (861 sq. ft.)	1,093 sq. ft. (76%)
Second Floor Footprint	40% of GFA (573.8 sq. ft.)	725 sq. ft. (50%)
Deck Area	15% of GFA (215 sq. ft.)	472 sq. ft. (26%)

The requested relief therefore consists of:

1. Variance to permit total GFA of 1,818 square feet where 1,434.6 square feet is permitted.
2. Variance to permit a first-floor living area of approximately 1,093 square feet (76% of GFA) where 60% is permitted.
3. Variance to permit a second-floor living area comprising approximately 50% of total GFA where 40% is permitted.
4. Variance to permit second-floor deck area equal to approximately 26% of GFA where 15% is permitted.

Grounds Supporting the Variances

A. Hardship Arises From the Unique Characteristics of the Land

The hardship results from the unique physical characteristics of this waterfront parcel and not to the general characteristics of the surrounding area or any economic disability of the applicant.

The lot is an undersized lot of record containing approximately 4,782 square feet and is constrained by:

- Its location within a FEMA flood hazard area;
- Its location adjacent to the Kickemuit River;
- Irregular lot geometry;
- Existing neighborhood development patterns consisting of older nonconforming waterfront lots;
- Modern floodplain regulations requiring elevation of habitable space; and
- CRMC coastal requirements governing development near the shoreline.

These physical conditions substantially limit design flexibility and reduce the ability to achieve the ordinance's prescribed floor-area allocations while maintaining a practical family residence.

B. Hardship Is Not Self-Created

The Applicants did not create the lot, the flood zone designation, the coastal location, or the dimensional limitations associated with the parcel. The proposal is simply an effort to replace a fire-damaged residence and construct a code-compliant home suitable for year-round occupancy. Previous Board decisions specifically found that the hardship was not self-created.

C. No Alteration of Neighborhood Character

The project will not alter the general character of the neighborhood or impair the intent of the Comprehensive Plan.

The surrounding area consists largely of waterfront homes of varying ages, sizes, and architectural styles. Many nearby residences have been renovated, elevated, or reconstructed to meet modern floodplain requirements. The proposed residence is consistent with these development trends and will replace a vacant, deteriorated property with an attractive new home.

Previous Board findings specifically concluded that redevelopment of this property would benefit the neighborhood and fit within its established character.

D. More Than a Mere Inconvenience

Strict application of the GFA standards would prevent construction of a reasonably sized 2-bedroom, flood-compliant residence on this unique undersized waterfront parcel.

Reducing the structure to the ordinance-prescribed floor area would significantly impair the functionality of the dwelling and would prevent the Applicants from achieving a reasonable replacement home while complying with FEMA elevation requirements and modern building standards. The resulting hardship is substantially greater than a mere inconvenience and satisfies the legal standard for dimensional relief. Previous Board decisions reached the same conclusion with respect to redevelopment of this property.

Conclusion

The Applicants respectfully submit that the proposed project satisfies the standards for issuance of a Special Use Permit under Section 28-150(e)(e)(e) and the standards for dimensional variances under Rhode Island law and the Bristol Zoning Ordinance.

The proposal replaces a long-vacant fire-damaged structure with a FEMA-compliant waterfront residence designed to meet modern safety standards while respecting the character of the surrounding neighborhood. The requested relief results from the unique physical constraints of the property, is not self-created, constitutes the minimum relief necessary to permit reasonable residential use, and will not adversely affect neighboring properties or the public interest.

Accordingly, the Applicants respectfully request that the Zoning Board grant:

1. A Special Use Permit pursuant to Section 28-150(e)(e)(e) for a residential structure exceeding 25 feet in height within the flood zone; and
2. Dimensional Variances for Gross Floor Area, first-floor floor area ratio, second-floor floor area ratio, and deck area as described herein.

STATE OF RHODE ISLAND
BRISTOL, SC

TOWN OF BRISTOL
ZONING BOARD OF REVIEW

Owner Authorization Letter

Date: June 19, 2026

To: Bristol Zoning Board of Review

Subject: Authorization for Attorney to File Zoning Application

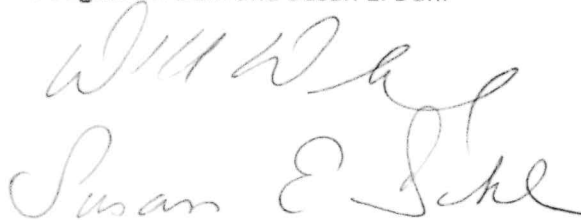
We, Douglas M. and Susan E. Dahl, owners of 61 Smith Street, hereby authorize Attorney David P. Martland to act on our behalf concerning the filing of a zoning application for the property located at 61 Smith Street, Bristol, RI, designated as Plat 133, Lot 128.

This authorization is provided to facilitate the submission and processing of the zoning application with the Zoning Board of Review for the Town of Bristol, Rhode Island.

This authorization shall remain in effect until the completion of the zoning application process, or until written notice is provided to revoke this authorization.

Sincerely,

Douglas M. Dahl and Susan E. Dahl

The block contains two handwritten signatures in cursive. The first signature is for Douglas M. Dahl, and the second signature is for Susan E. Dahl. Both signatures are written in dark ink.



61 Smith Street

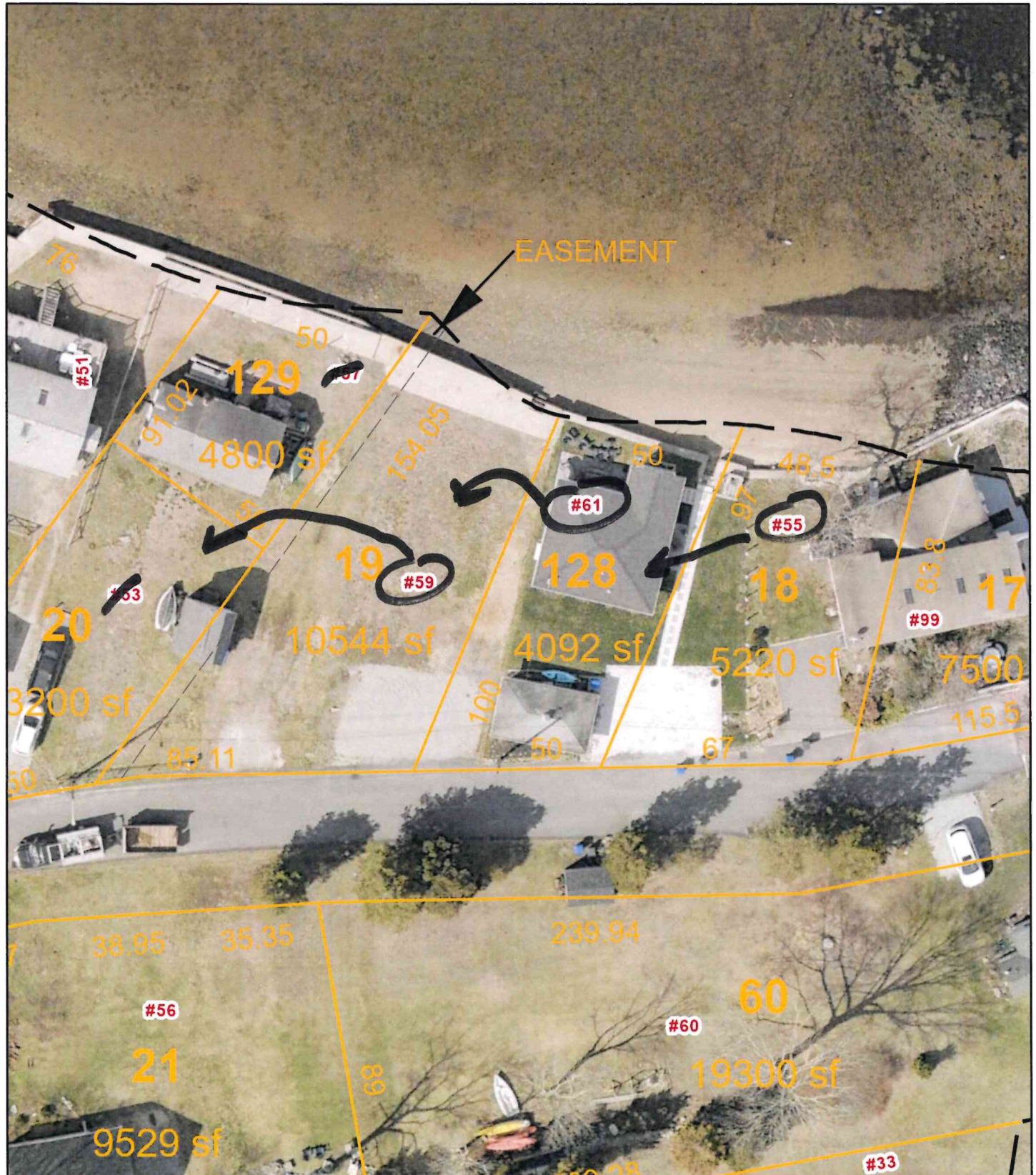
Town of Bristol, RI

1 inch = 36 Feet



www.cai-tech.com

June 23, 2026



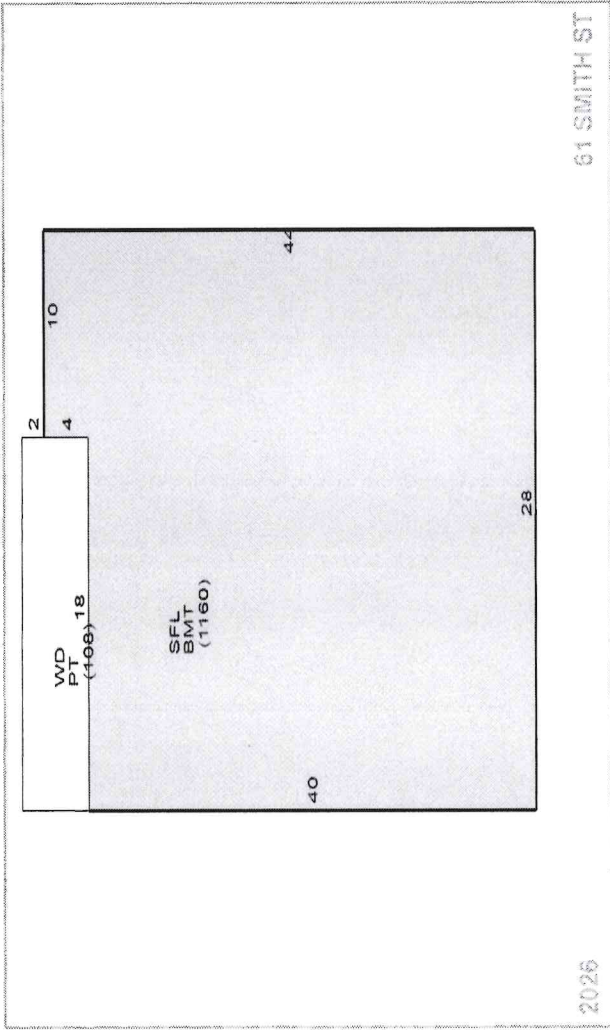
Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Owner	Owner Account #	% Owned
Owner 1 DAHL, DOUGLAS M &	50-0047-25	
Owner 2 SUSAN E TE		
Owner 3		
Address	C/O DOUGLAS DAHL 84 BAY STATE RD, WESTON, MA 02493	

Previous Owners & Sales Information					
Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
JUDGE, TERRENCE P.	12/20/2018	225,000	1967-308		W
WAZ, GRACE J.	12/21/2011	0	1627-65		Q

Assessment					
Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit
13	0	0	0.09	250,800	0
TOTAL	0	0	0.09	250,800	0
Source > Mkt Adj Cost			VAL per SQ Unit/Card >	0.00	VAL per SQ Unit/Parcel > 98.90

Previous Assessments					
Year	LUC	Building	SF/YI	Land Size	Land
2025	01	310,600	10,600	0	250,800
2024	13	0	0	0	209,000
2023	13	0	0	0	209,000
2022	13	0	0	0	209,000
2021	01	40,600	0	0	186,400
2020	01	40,600	0	0	186,400
				AGR Credit	Appraised Value
				0	572,000
				0	209,000
				0	209,000
				0	209,000
				0	227,000
				0	227,000



Land Information					
Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price
13 Res Vacant	0.09394	AC	P	1.00	774,000
Adjusted					2,669,789

Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
B	WF	200					250,800			1.00	0

► Visit History

SFL	2nd FLOOR	1,160	1,160	0.00	0	Date	Result	By
BMT	BASEMENT	1,160	0	0.00	0	2/24/2025	BP	JF
PT	PATIO	108	0	0.00	0	1/29/2025	REVIEW	MP
WD	WOOD DECK	108	0	0.00	0	8/3/2021	REVIEW	
Total		2,536	1,160		0	5/4/2018	REVIEW	
						4/17/2018	MEASURED	
						8/25/2007	LISTED	
						8/25/2007	CALL BACK	MP
						6/29/2007	CALL BACK	
						6/13/2007	MEASURE	

lot is vacant. reval picked up home in error. gis overlay is incorrect

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
10/30/2023	B57620		BLDG	900,000	0	Open	Original home burned down in a fire. We are rebuilding a home from the ground
1							
2							
3							
4							
5							
6							
7							
8							
9							

Issue Date	Permit #	Closed Date	BLDG	Est. Cost	% Done	Status	Description/Instructions
10/30/2023	B57620			900,000	0	Open	Original home burned down in a fire. We are rebuilding a home from the ground
1							
2							
3							
4							
5							
6							
7							
8							
9							

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
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MH Architect, LLC
203 Hooper Street
Tiverton, RI 02878
401.559.1957
mharchitect.com

Revisions	No.	Date	Description	Initials

DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

ISSUED FOR CONSTRUCTION
ISSUED 7/1/2022

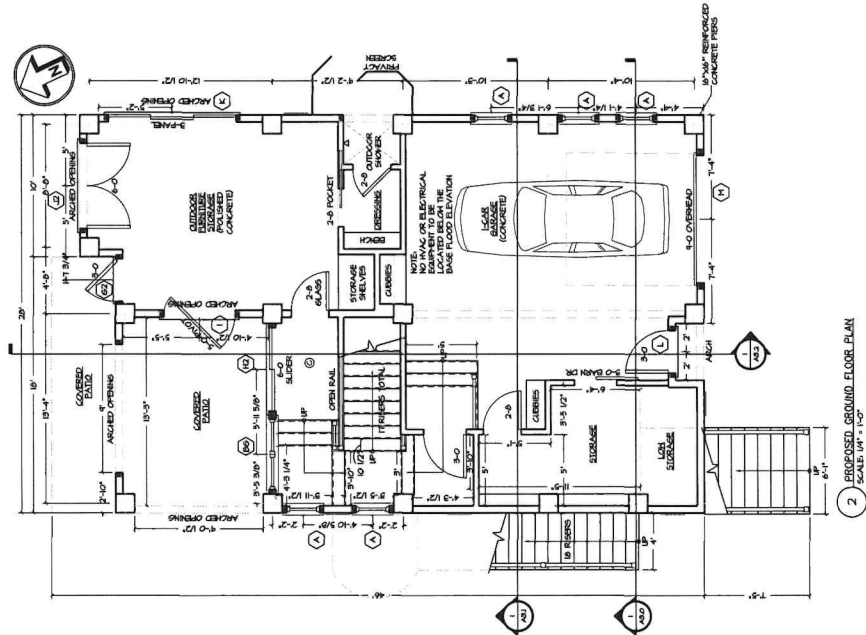
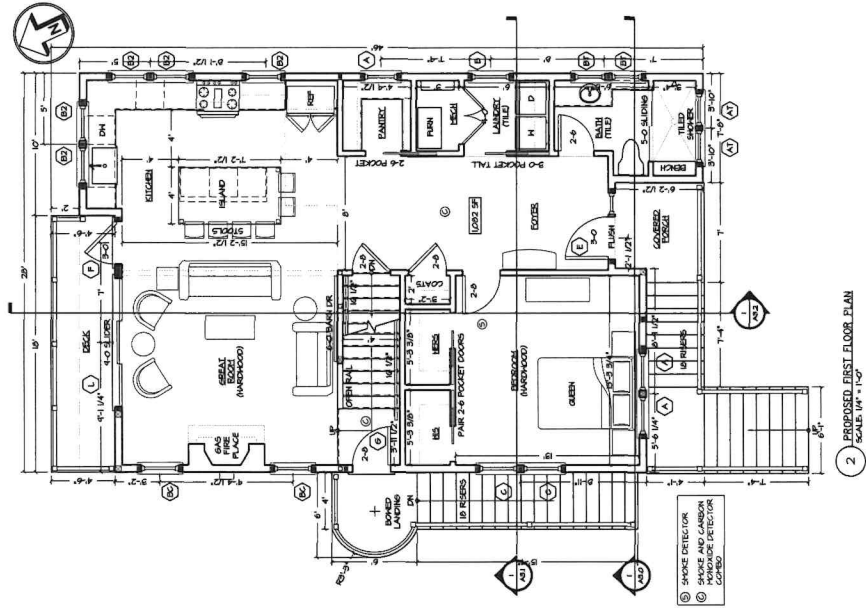
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PROPOSED FLOOR PLANS

Scale
1/4" = 1'-0"

Drawing Number

A1.1

07/01/2022





MH Architect, LLC

203 Hooper Street
Tiverton, RI 02878
401.559.1957
mharchitect.com

Revisions

No.	Date	Description	Initials

DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

ISSUED FOR CONSTRUCTION
DATE: 1/11/2022
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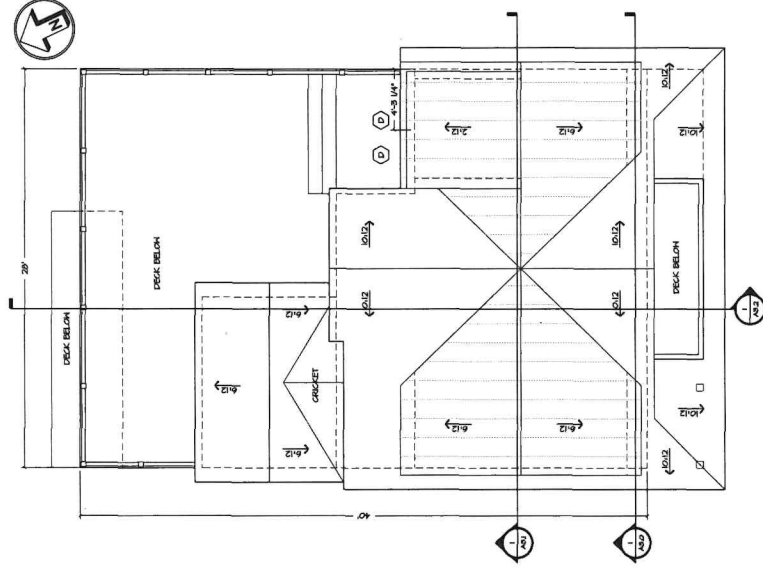
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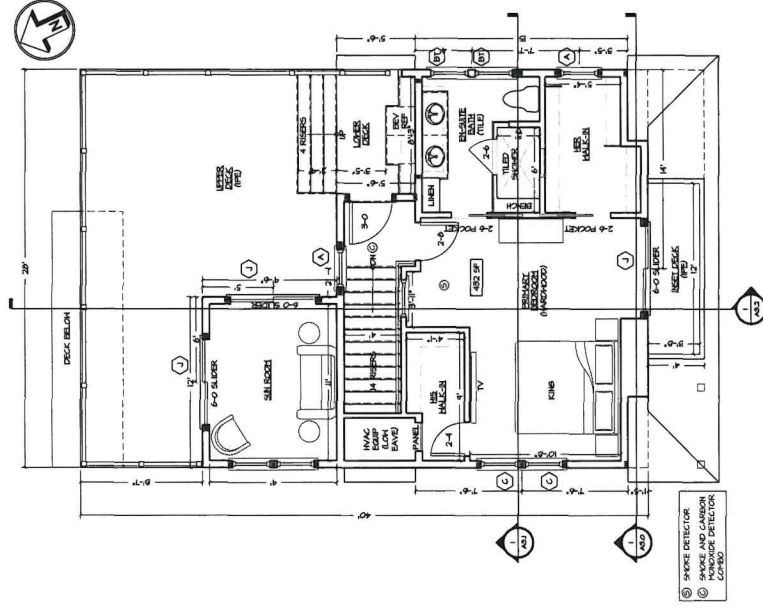
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01/11/2022



3 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



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Revisions

No. Date Description

Revised

DAHL RESIDENCE 61 SMITH STREET BRISTOL, RI 02809

ISSUED FOR CONSTRUCTION
11/1/2022

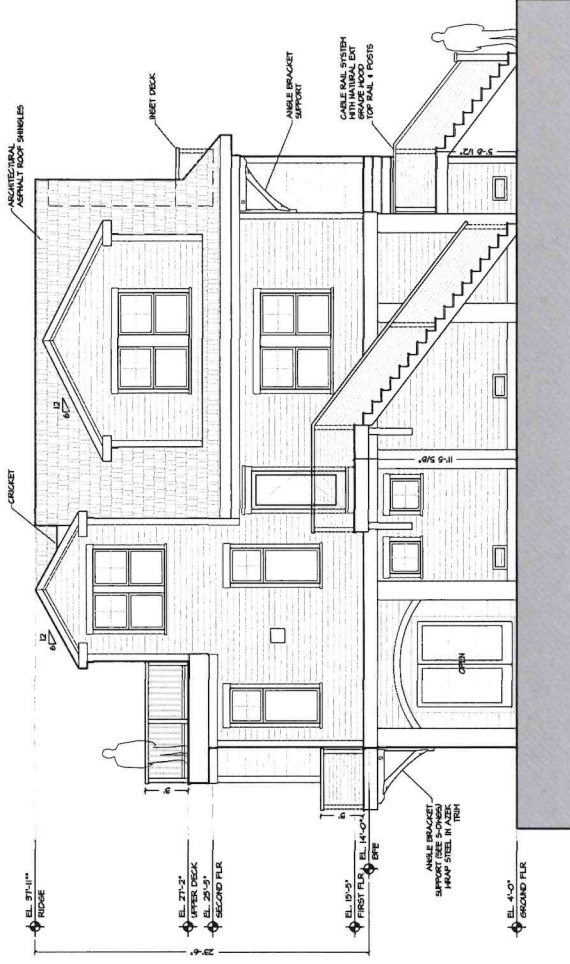
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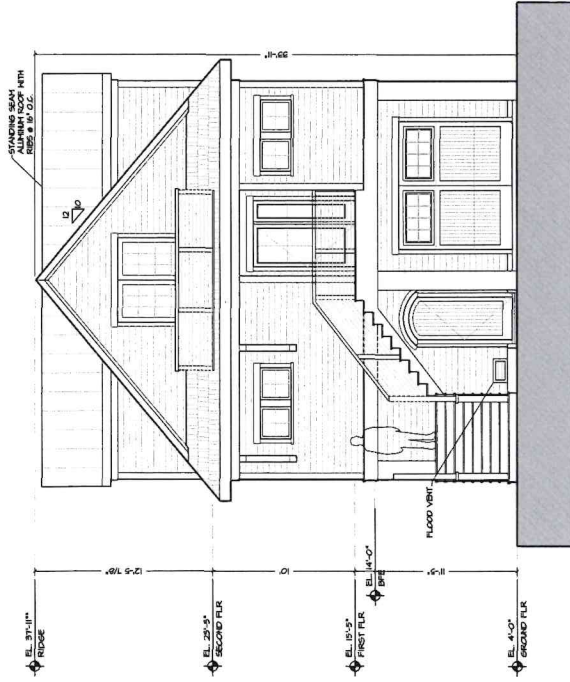
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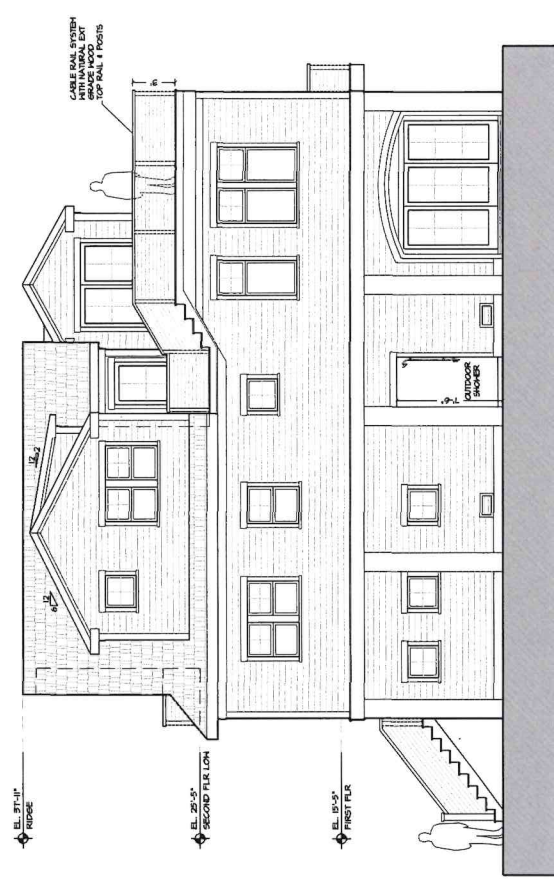
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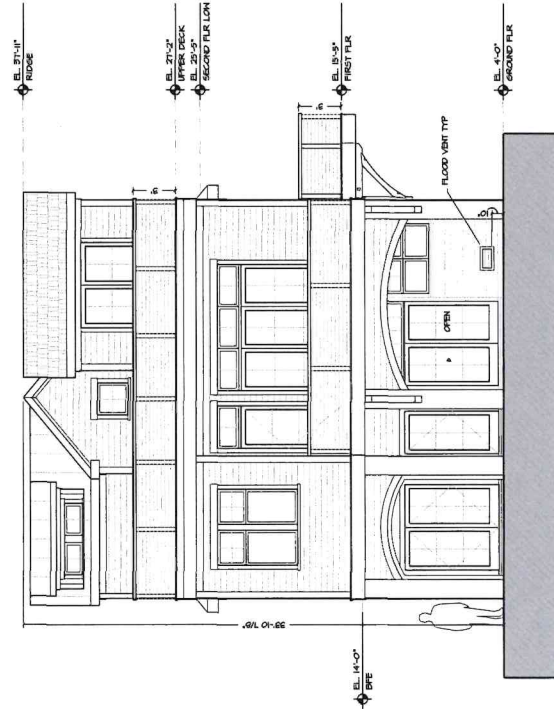
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4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



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NOT FOR CONSTRUCTION
ISSUED FOR
11/7/2022

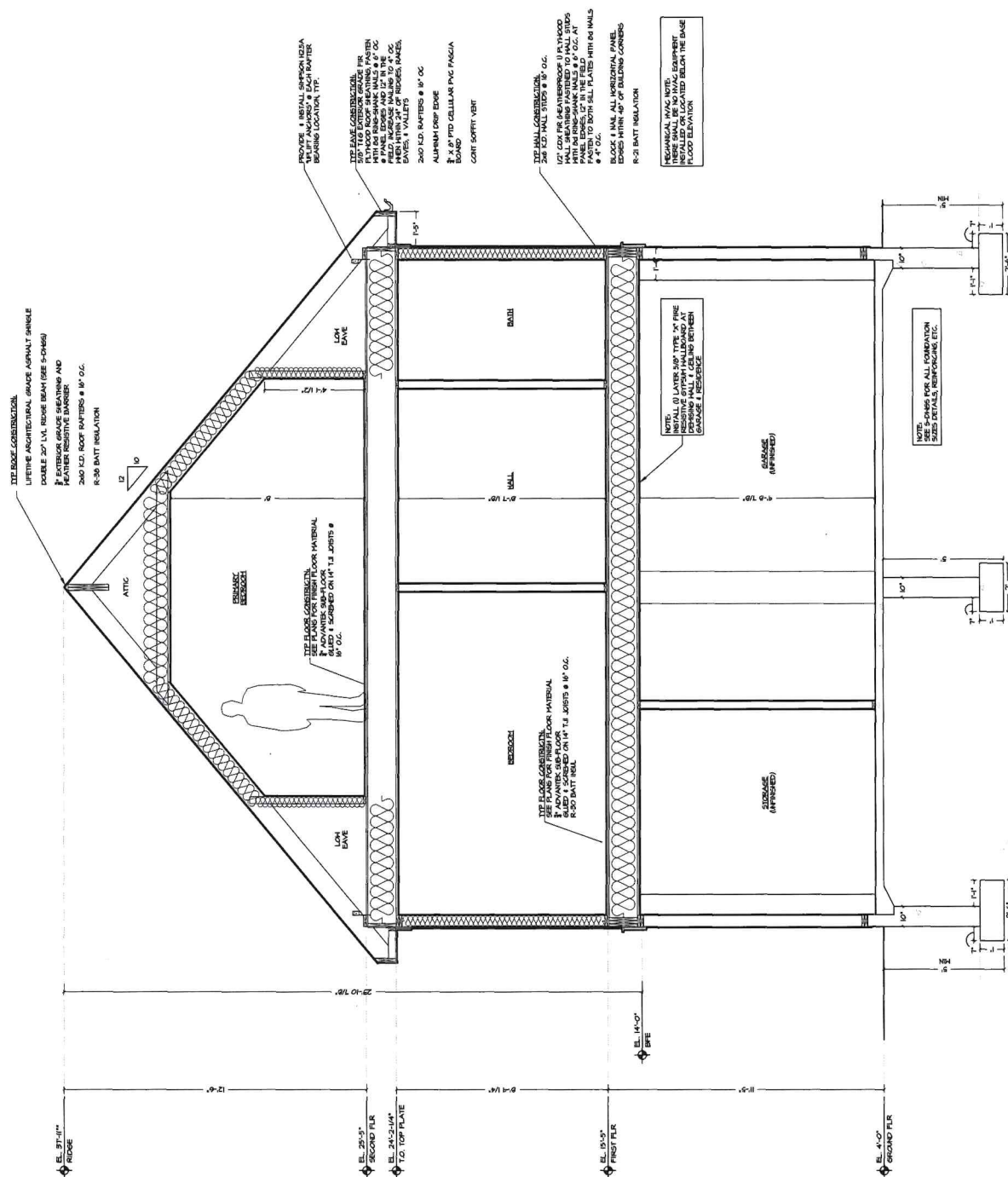
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Drawing Number

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1 CROSS SECTION
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NOTICE FOR CONSTRUCTION
ISSUED FOR
11/17/2022

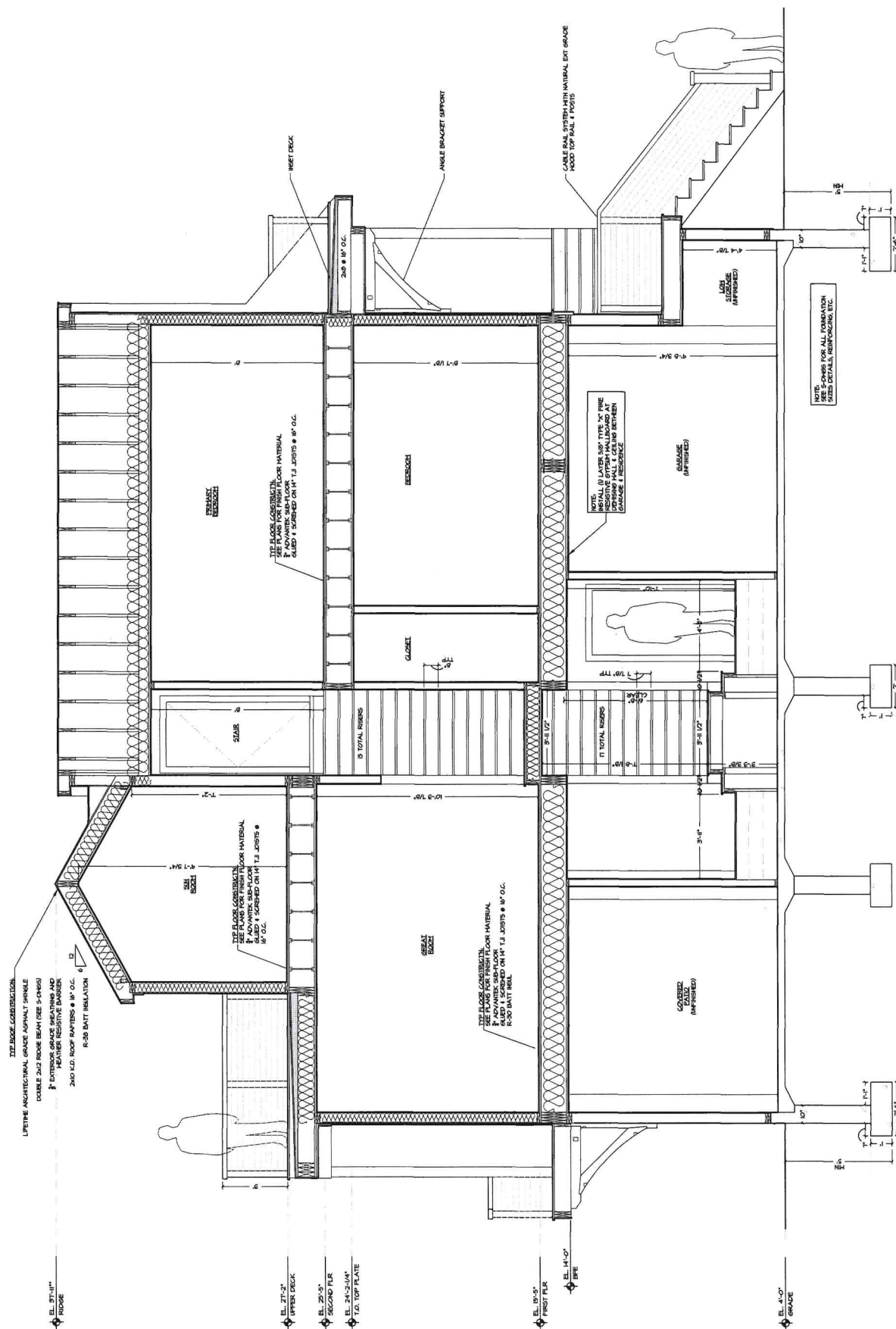
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Drawing Number

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DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

NOTICE FOR CONSIDERATION
ISSUED FOR
RECEIVED ON 01/17/2022

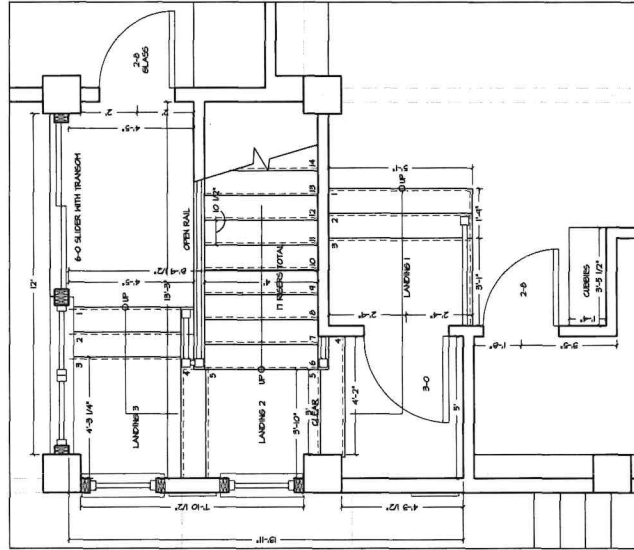
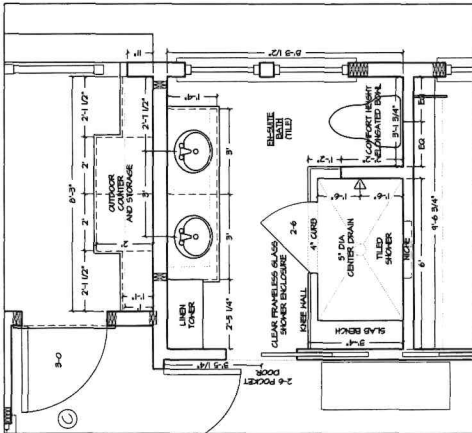
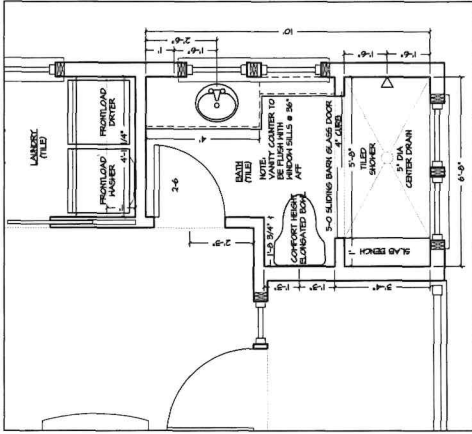
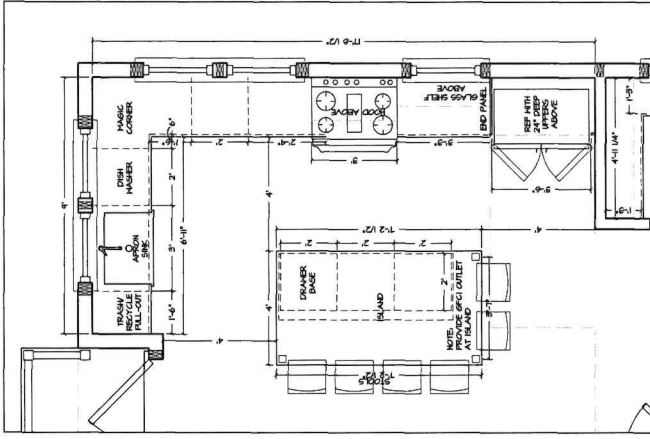
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PROPOSED FLOOR PLAN

Date	November 7, 2022
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Drawing Number

A5.0

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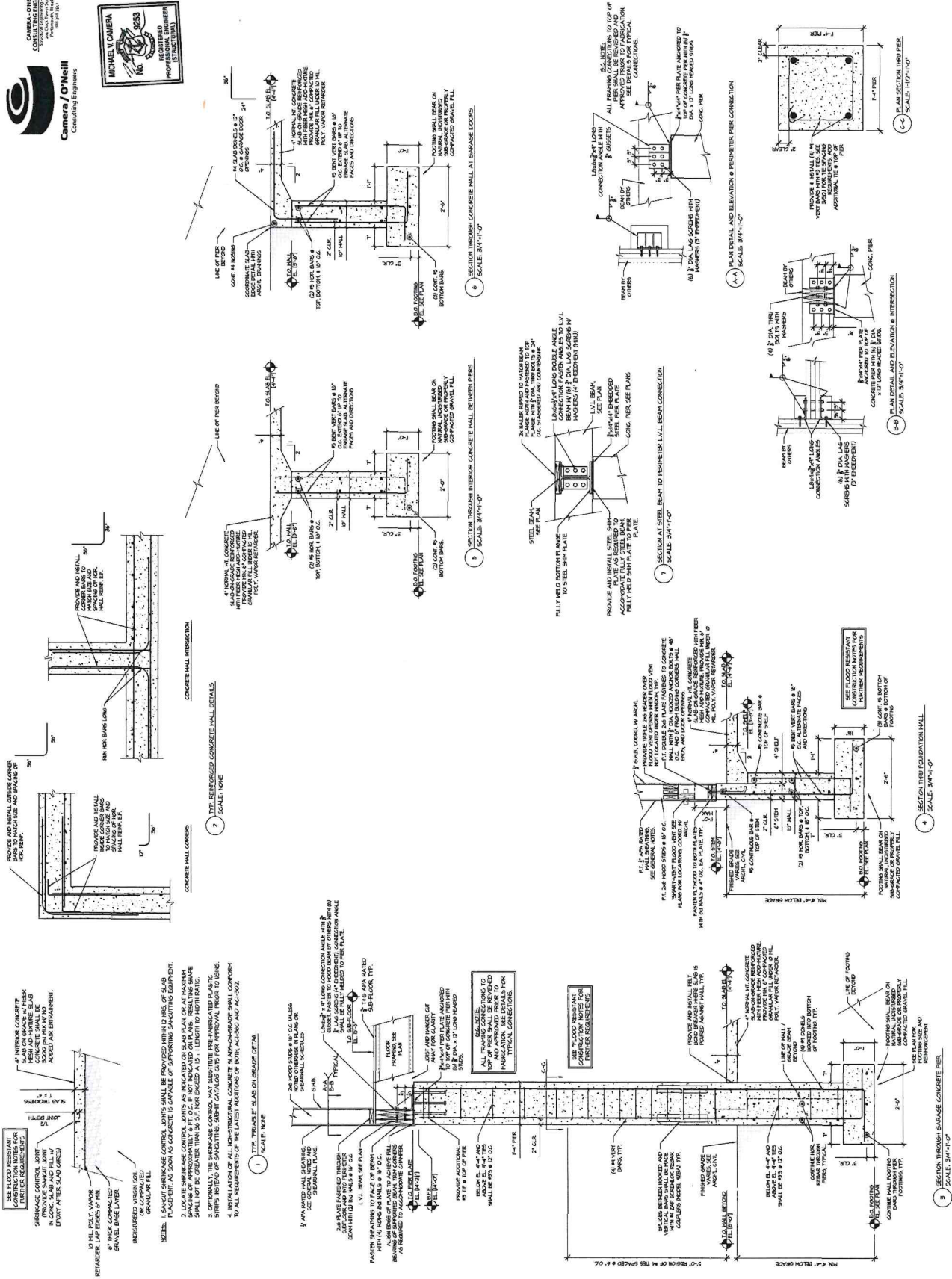
BRISTOL, RI 02809

Date	November 4, 2022
Scale	AS NOTED

Drawing Number

SO.1

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MICHAEL V. CAMERON

No. 9253
REGISTERED
PROFESSIONAL ENGINEER
(STRUCTURAL)



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203 Hoopes
Tiverton, F
401.5
mharchitec

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BRISTOL, RI 02809

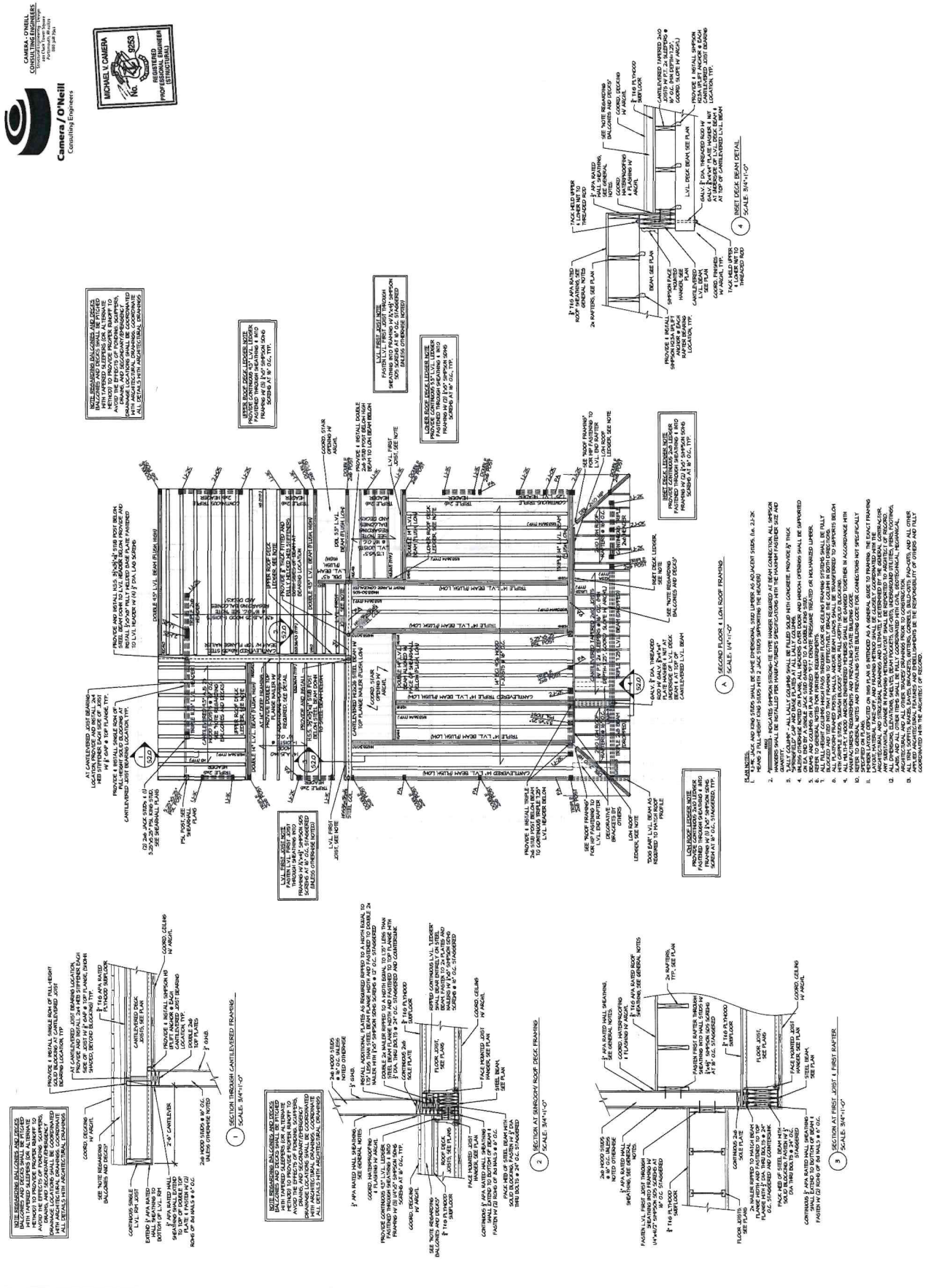
BRISTOL, RI 02809

Drawing Title
SECOND FLOOR FRAMING

Date	November 4, 2012
Drawing Number	

S2.0

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[illegible]

BRISTOL, RI 02809

S3.0.

[illegible][illegible]



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Revisions

No.	Date	Description	By	Check

DAHL RESIDENCE
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BRISTOL, RI 02809

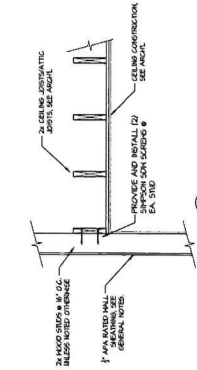
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DETAILS

Date
November 4, 2012

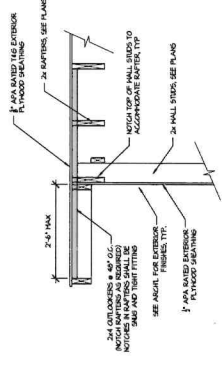
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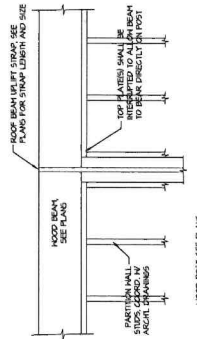
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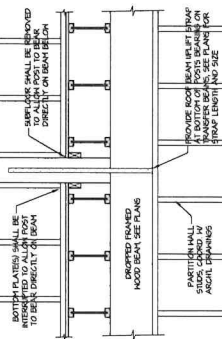
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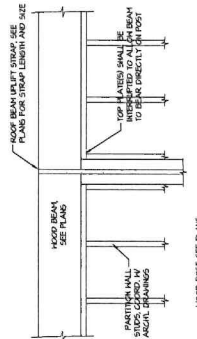
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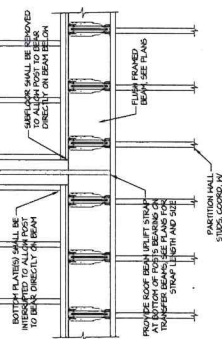
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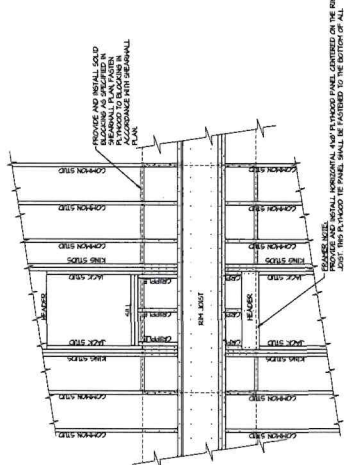
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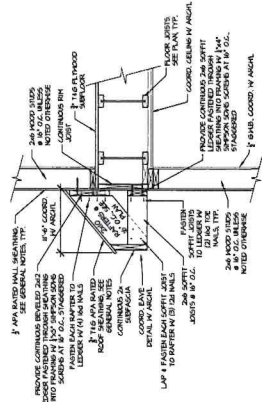
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SCALE: 3/4"=1'-0"



8 TYP. SABLE END HALL BRACING DETAIL
SCALE: 3/4"=1'-0"



9 SECTION THROUGH SABLE END BRACE - LADDER FRAME DETAIL
SCALE: 3/4"=1'-0"



10 SECTION THROUGH SABLE END BRACE - LADDER FRAME DETAIL
SCALE: 3/4"=1'-0"



MH Architect, LLC
203 Hooper Street
Tiverton, RI 02878
401.555.1957
mharchitect.com

Revisions		
No.	Date	Description

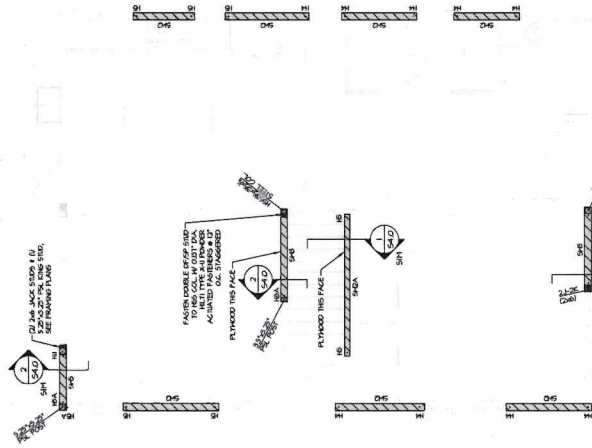
DAHL RESIDENCE
61 SMITH STREET
BRISTOL, RI 02809

Drawing Title
FIRST FLOOR SHEARWALLS

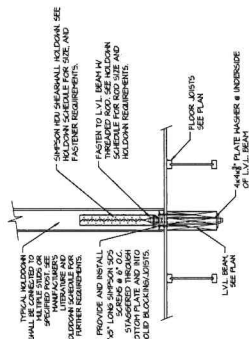
Sheet
November 4, 2022
AS NOTED
Drawing Number

\$4.0

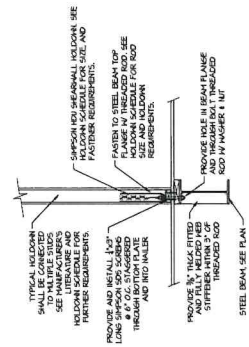
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1 TYPICAL INTERIOR SHEARWALL CONNECTION TO BEAM ABOVE
SCALE 3/4"=1'-0"



2 TYPICAL THRU-BEAM SHEARWALL HOLD-DOWN & LVL BEAM
SCALE 3/4"=1'-0"



3 TYPICAL THRU-BEAM SHEARWALL HOLD-DOWN & STEEL BEAM
SCALE 3/4"=1'-0"

FIRST FLOOR SHEARWALLS		
SHEARWALL	PIECE	PIECE
SW-1	1	1
SW-2	1	1
SW-3	1	1
SW-4	1	1
SW-5	1	1
SW-6	1	1
SW-7	1	1
SW-8	1	1
SW-9	1	1
SW-10	1	1
SW-11	1	1
SW-12	1	1
SW-13	1	1
SW-14	1	1
SW-15	1	1
SW-16	1	1
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SW-88	1	1
SW-89	1	1
SW-90	1	1
SW-91	1	1
SW-92	1	1
SW-93	1	1
SW-94	1	1
SW-95	1	1
SW-96	1	1
SW-97	1	1
SW-98	1	1
SW-99	1	1
SW-100	1	1

HOLD-DOWN SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	NO.	DESCRIPTION	QTY	UNIT
1	1/2" X 10" LVL	1	EA	11	1/2" X 10" LVL	1	EA
2	1/2" X 10" LVL	1	EA	12	1/2" X 10" LVL	1	EA
3	1/2" X 10" LVL	1	EA	13	1/2" X 10" LVL	1	EA
4	1/2" X 10" LVL	1	EA	14	1/2" X 10" LVL	1	EA
5	1/2" X 10" LVL	1	EA	15	1/2" X 10" LVL	1	EA
6	1/2" X 10" LVL	1	EA	16	1/2" X 10" LVL	1	EA
7	1/2" X 10" LVL	1	EA	17	1/2" X 10" LVL	1	EA
8	1/2" X 10" LVL	1	EA	18	1/2" X 10" LVL	1	EA
9	1/2" X 10" LVL	1	EA	19	1/2" X 10" LVL	1	EA
10	1/2" X 10" LVL	1	EA	20	1/2" X 10" LVL	1	EA

- NOTES:
1. ALL SHEARWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESISTANCE WALL DESIGN AND CONSTRUCTION MANUAL (IRWDC).
 2. ALL SHEARWALLS SHALL BE REINFORCED WITH 1/2" X 10" LVL.
 3. ALL SHEARWALLS SHALL BE REINFORCED WITH 1/2" X 10" LVL.
 4. ALL SHEARWALLS SHALL BE REINFORCED WITH 1/2" X 10" LVL.
 5. ALL SHEARWALLS SHALL BE REINFORCED WITH 1/2" X 10" LVL.
 6. ALL SHEARWALLS SHALL BE REINFORCED WITH 1/2" X 10" LVL.
 7. ALL SHEARWALLS SHALL BE REINFORCED WITH 1/2" X 10" LVL.
 8. ALL SHEARWALLS SHALL BE REINFORCED WITH 1/2" X 10" LVL.
 9. ALL SHEARWALLS SHALL BE REINFORCED WITH 1/2" X 10" LVL.
 10. ALL SHEARWALLS SHALL BE REINFORCED WITH 1/2" X 10" LVL.



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Revisions		
No.	Date	Description

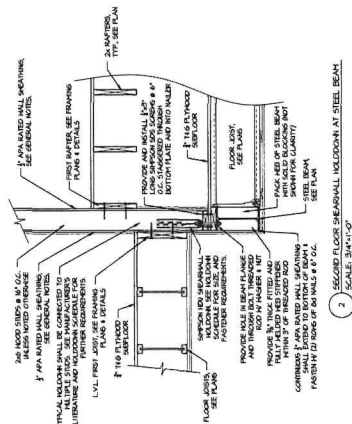
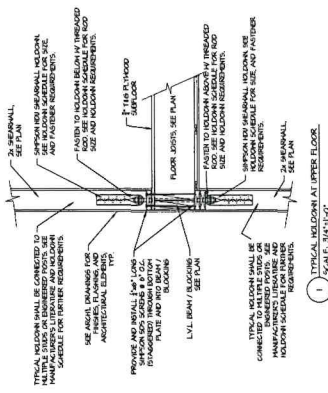
DAHL RESIDENCE 61 SMITH STREET BRISTOL, RI 02809

Drawing Title
SECOND FLOOR SHEARWALLS

Date: November 4, 2022
Drawing Number
AS NOTED

\$5.0

01/20/2022



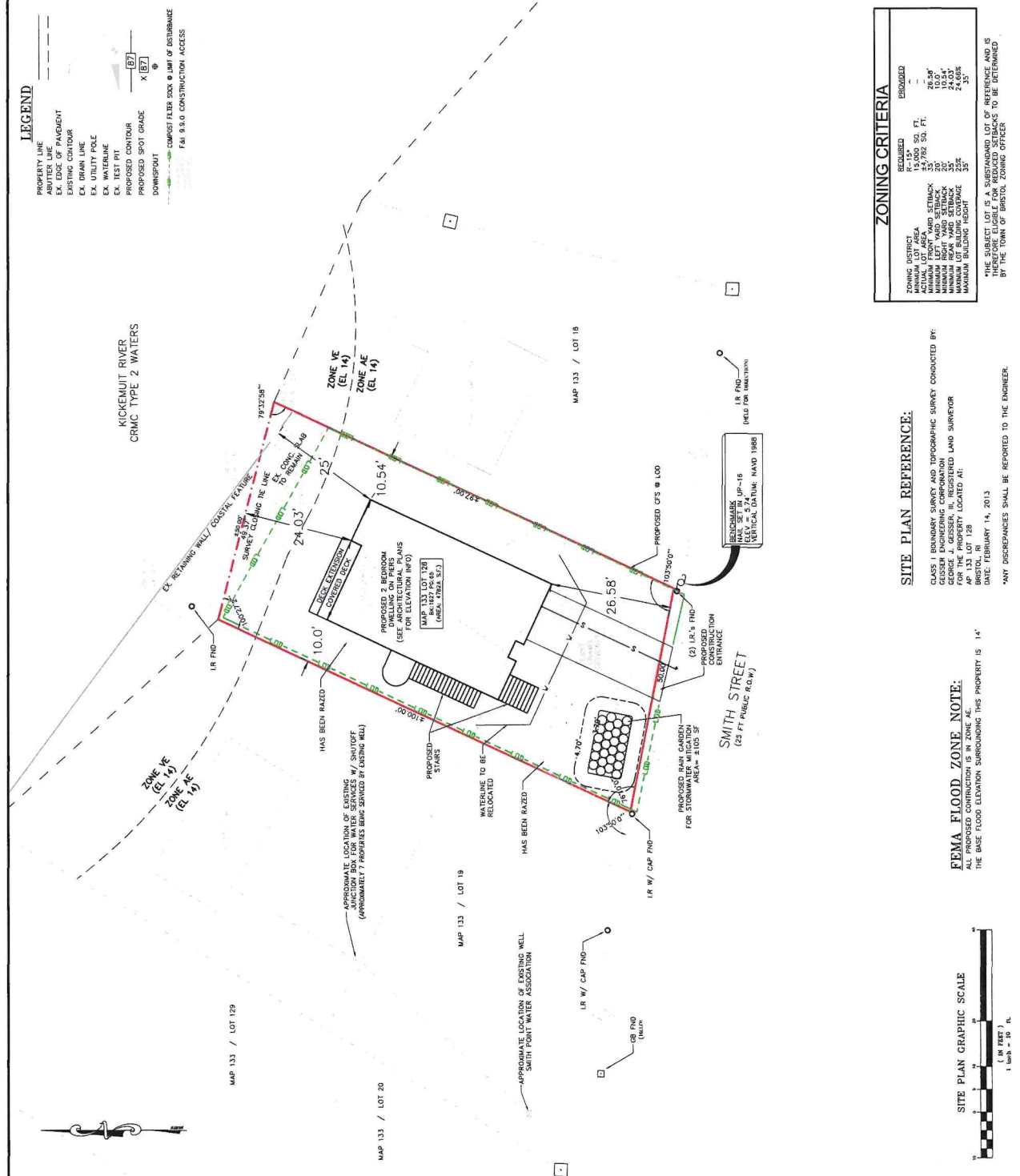
- WELDED REINFORCING STEEL SHALL BE WELDED TO THE STEEL BEAM. THE WELD SHALL BE MADE IN ACCORDANCE WITH THE FOLLOWING:
1. ALL WELDED REINFORCING STEEL SHALL BE WELDED TO THE STEEL BEAM.
 2. ALL WELDED REINFORCING STEEL SHALL BE WELDED TO THE STEEL BEAM.
 3. ALL WELDED REINFORCING STEEL SHALL BE WELDED TO THE STEEL BEAM.
 4. ALL WELDED REINFORCING STEEL SHALL BE WELDED TO THE STEEL BEAM.
 5. ALL WELDED REINFORCING STEEL SHALL BE WELDED TO THE STEEL BEAM.

SECOND FLOOR SHEARWALLS

WALL NO.	WALL TYPE	WALL THICKNESS	WALL HEIGHT	WALL AREA
1	WALL 1	12" O.C.	10' 0" O.C.	120.00
2	WALL 2	12" O.C.	10' 0" O.C.	120.00
3	WALL 3	12" O.C.	10' 0" O.C.	120.00
4	WALL 4	12" O.C.	10' 0" O.C.	120.00
5	WALL 5	12" O.C.	10' 0" O.C.	120.00

HOLDOWN SCHEDULE

WALL NO.	WALL TYPE	WALL THICKNESS	WALL HEIGHT	WALL AREA
1	WALL 1	12" O.C.	10' 0" O.C.	120.00
2	WALL 2	12" O.C.	10' 0" O.C.	120.00
3	WALL 3	12" O.C.	10' 0" O.C.	120.00
4	WALL 4	12" O.C.	10' 0" O.C.	120.00
5	WALL 5	12" O.C.	10' 0" O.C.	120.00





61 Smith Street - 300' Radius

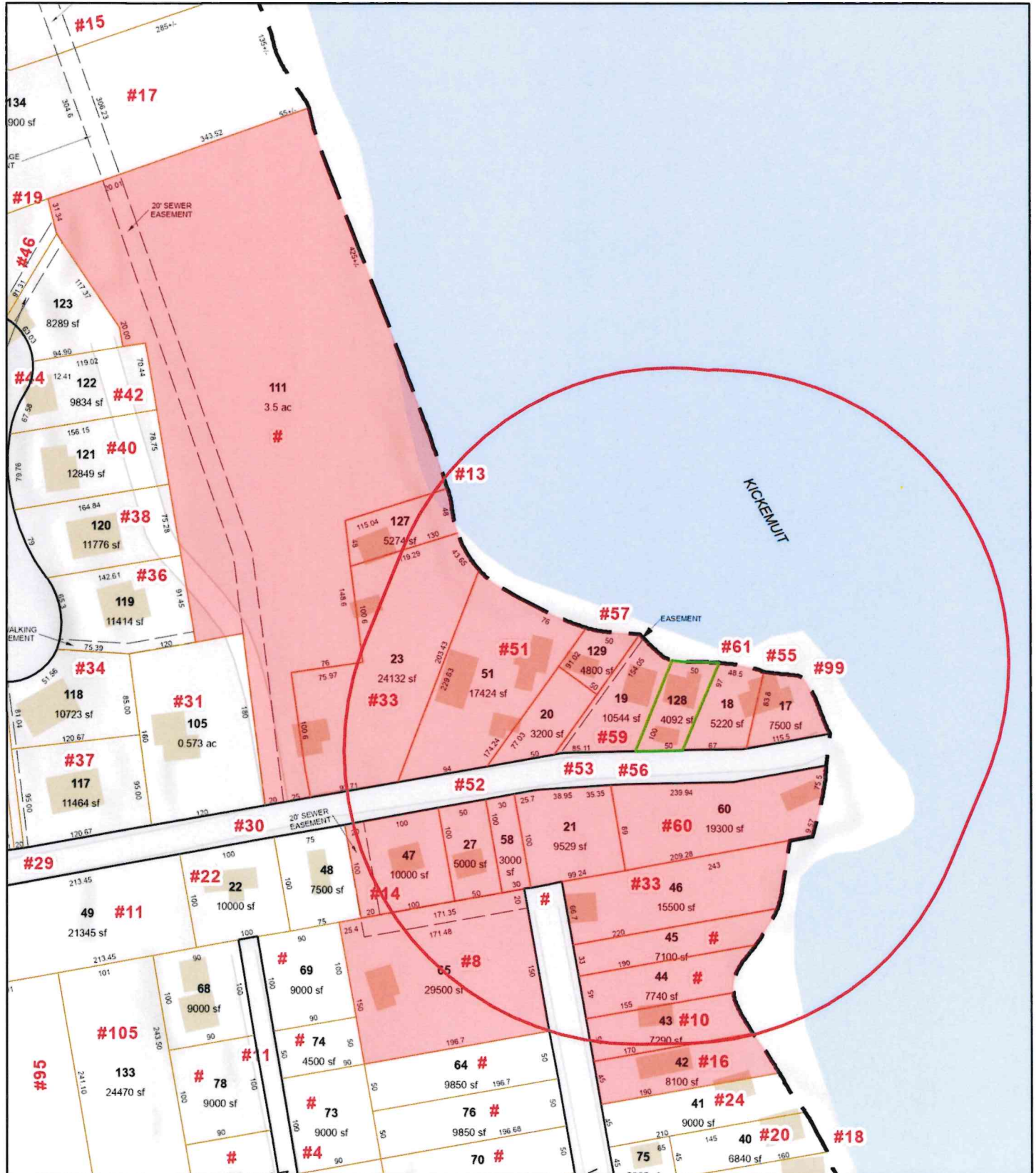
Town of Bristol, RI

1 inch = 141 Feet



www.cai-tech.com

June 23, 2026



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300 feet Abutters List Report

Bristol, RI
June 23, 2026

Subject Property:

Parcel Number: 133-128
CAMA Number: 133-128
Property Address: 61 SMITH ST

Mailing Address: DAHL, DOUGLAS M & SUSAN E TE
C/O DOUGLAS DAHL 84 BAY STATE RD
WESTON, MA 02493

Abutters:

Parcel Number: 133-127
CAMA Number: 133-127
Property Address: 13 .5 SMITH ST

Mailing Address: JOHNSON, KEITH N DEANNE M
TRUSTEE & DEANNE & K
547 WOONSOCKET HILL ROAD
NORTH SMITHFIELD, RI 02896

Parcel Number: 133-128
CAMA Number: 133-128
Property Address: 61 SMITH ST

Mailing Address: DAHL, DOUGLAS M & SUSAN E TE
C/O DOUGLAS DAHL 84 BAY STATE RD
WESTON, MA 02493

Parcel Number: 133-129
CAMA Number: 133-129
Property Address: 57 SMITH ST

Mailing Address: GUERRERA, MATTHEW S
220 MORRISON AVE
MIDDLETOWN, RI 02842

Parcel Number: 133-17
CAMA Number: 133-17
Property Address: 99 SMITH ST

Mailing Address: JANICKI, THEODORE P.
99 SMITH ST
BRISTOL, RI 02809-0063

Parcel Number: 133-18
CAMA Number: 133-18
Property Address: 55 SMITH ST

Mailing Address: MATRONE, CHRISTINE F & RICHARD M
TE
104 KICKEMUIT AVE
BRISTOL, RI 02809

Parcel Number: 133-19
CAMA Number: 133-19
Property Address: 59 SMITH ST

Mailing Address: BIELECKI DENNIS D JANET MAY TE
570 MADISON AVE
ANGOLA, NY 14006

Parcel Number: 133-20
CAMA Number: 133-20
Property Address: 53 SMITH ST

Mailing Address: BIELECKI, DENNIS & JANET TE
53 SMITH ST
BRISTOL, RI 02809

Parcel Number: 133-21
CAMA Number: 133-21
Property Address: 56 SMITH ST

Mailing Address: DAHL, DOUGLAS SUSAN
84 BAY STATE RD
WESTON, MA 02493

Parcel Number: 133-23
CAMA Number: 133-23
Property Address: 33 SMITH ST

Mailing Address: JOHNSON, KEITH N. DEANNE M., CO
TRST & KEITH N
547 WOONSOCKET HILL RD
NORTH SMITHFIELD, RI 02896

Parcel Number: 133-27
CAMA Number: 133-27
Property Address: 52 SMITH ST

Mailing Address: NYBERG, PETER H. DINGEE, SANDRA
M. TE
52 SMITH ST.
BRISTOL, RI 02809



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6/23/2026

Page 1 of 2



300 feet Abutters List Report

Bristol, RI
June 23, 2026

Parcel Number: 133-42
CAMA Number: 133-42
Property Address: 16 WILCOX ST

Mailing Address: CALISE, CAROL A. LE TIROCCHI,
LAURIE J.
16 WILCOX ST
BRISTOL, RI 02809

Parcel Number: 133-43
CAMA Number: 133-43
Property Address: 10 WILCOX ST

Mailing Address: EATON, JAMES STEVEN TRUSTEE
10 WILCOX ST
BRISTOL, RI 02809

Parcel Number: 133-44
CAMA Number: 133-44
Property Address: WILCOX ST

Mailing Address: CLUKIES, DONALD F.
173 HEIDI DR
PORTSMOUTH, RI 02871

Parcel Number: 133-45
CAMA Number: 133-45
Property Address: WILCOX ST

Mailing Address: VAUGHN, MICHAEL D. TRUSTEE
8 WILCOX ST
BRISTOL, RI 02809

Parcel Number: 133-46
CAMA Number: 133-46
Property Address: 33 WILCOX ST

Mailing Address: KICKEMUIT COVE, LLC
c/o Susan Dahl 84 Bay State Road
Weston, MA 02493-2172

Parcel Number: 133-47
CAMA Number: 133-47
Property Address: 14 SMITH ST

Mailing Address: ROCHA NORMA TRUSTEE ROCHA
FAMILY REVOOCABLE TRUST
100 BEECHWOOD DRIVE
CRANSTON, RI 02921

Parcel Number: 133-51
CAMA Number: 133-51
Property Address: 51 SMITH ST

Mailing Address: PRINCIPE, ELIN A LE MASSA, MELONIE
E
51 SMITH ST
BRISTOL, RI 02809

Parcel Number: 133-58
CAMA Number: 133-58
Property Address: SMITH ST

Mailing Address: DAHL, DOUGLAS & SUSAN TE
84 BAY STATE RD
WESTN, MA 02493

Parcel Number: 133-60
CAMA Number: 133-60
Property Address: 60 SMITH ST

Mailing Address: GRAY, ELANIE M. TRUSTEE
P.O. BOX 812340
WELLESLEY, MA 02482

Parcel Number: 133-65
CAMA Number: 133-65
Property Address: 8 WILCOX ST

Mailing Address: VAUGHN, MICHAEL D. TRUSTEE
8 WILCOX ST
BRISTOL, RI 02809



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6/23/2026

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19
BIELECKI DENNIS D
JANET MAY TE
570 MADISON AVE
ANGOLA, NY 14006

JANICKI, THEODORE P.
99 SMITH ST
BRISTOL, RI 02809-0063

BIELECKI, DENNIS & JANET
53 SMITH ST
BRISTOL, RI 02809

JOHNSON, KEITH N
DEANNE M TRUSTEE & DEANNE
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WELLESLEY, MA 02482

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