



**Town of Bristol, Rhode Island
Zoning Board of Review**

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2023-12

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, March 6, 2023
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: Alfred L. Collins
PROPERTY OWNER: Alfred L. and Karen M. Collins
LOCATION: 980 Hope Street
PLAT: 3 LOT: 1
ZONE: Residential R-10

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES: to construct an approximate 12ft. x 26ft. single-story addition and 12ft. x 18ft. deck addition to the rear of an existing single-family dwelling; and to construct an approximate 12ft. x 24ft. second-story addition above a portion of the existing dwelling with less than the required left side yard.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, March 2, 2023.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2023 FEB 10 AM 8:17

APPLICATION

File No: 2023-12
Accepted by ZEO: EMT 2/10/2023

APPLICANT	Name: Al Collins
	Address: 980 Hope St
	City: Bristol State: RI Zip: 02809
	Phone #: 508-667-9501 Email: al_collins@hotmail.com
PROPERTY OWNER	Name: Alfred & Karen Collins
	Address: 980 Hope St
	City: Bristol State: RI Zip: 02809
	Phone #: 508-667-9501 Email: al_collins@hotmail.com

1. Location of subject property: <u>980 Hope St</u>	
Assessor's Plat(s)#: <u>3</u>	Lot(s) #: <u>1</u>
2. Zoning district in which property is located: <u>R-10</u>	
3. Zoning Approval(s) required (check all that apply): ☒ <u>Dimensional Variance(s)</u> ☐ <u>Special Use Permit</u> ☐ <u>Use Variance</u>	
4. Which particular provisions of the Zoning Ordinance is applicable to this application?: Dimensional Variance Section(s): <u>X</u> Special Use Permit Section(s): _____ Use Variance Section(s): _____	
5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.	
6. How long have you owned the property?: <u>1.5 yrs</u>	
7. Present use of property: <u>Single family home</u>	
8. Is there a building on the property at present?: <u>Yes</u>	
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): <u>931sf - 21ft height</u>	
10. Proposed use of property: <u>Single family home</u>	

11. Give extent of proposed alterations: Addition, new kitchen, master bed & bath

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 12 x 26
300 sf - 19' height

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: <u>15 ft</u>	Proposed Setback: <u>4 ft</u>
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required Setback: _____	Proposed Setback: _____
Building height:	Required: _____	Proposed: _____
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: One Before One After

14. Have you submitted plans for the above alterations to the Building Official? Yes in review
If yes, has he refused a permit? No If refused, on what grounds? _____

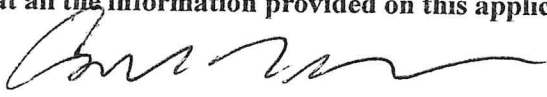
15. Are there any easements on your property?: Yes (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: yes Sewer: yes

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

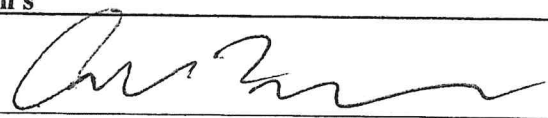
18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: 

Date: 02-08-23

Print Name: Alfred Collins

Property Owner's Signature: 

Date: 02-08-23

Print Name: Alfred Collins

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Telephone #: _____

Address: _____

#5

Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review
February 10, 2023

Thank you in advance for considering this request for a dimensional variance for our recently purchased property located at 980 Hope St.

The property is currently a single-family home totaling 931sf of living space with one full bath. Because the current layout is extremely cramped and outdated, we would like to build a one-story addition on the rear of the house. The addition would consist of a new kitchen, dining area and living room. Additionally, we are proposing to raise the roof in the former attic area to accommodate a master bedroom and bath.

Hardship

Due to the location of the house on the lot I can only add to the rear of the house. The left and front of the house are already below setback requirements. The left sits on the property line so that is not an option. The front of the house is used for parking and would be too close to the street. If I expanded to the right, it would block access to the rest of the lot.

Thank you.

Al Collins
980 Hope St
Bristol RI 02809

Parcel: 3 1	Location: 980 HOPE ST	Owner: COLLINS, ALFRED L & KAREN M TE	
Account: 32	User Acct:	LUC: 01 - Single Fam	Zoning: R-10

Parcel Values				
Total: \$325,600	Land: \$176,500	Land Area: 0.772 AC	Building: \$149,100	Assessed: \$325,600

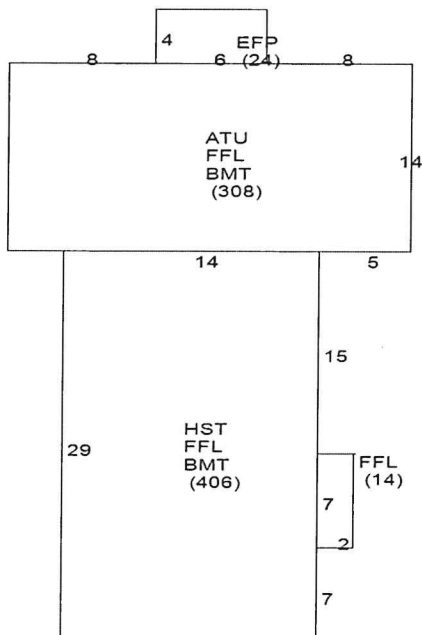
Sales Information				
Book and Page	Instrument Type	Date	Price	Grantor
2121-172	Warranty	07/02/2021	\$383,000	LAPARLE EUGENE
271-481	Warranty	03/03/1986	\$0	LAPARLE EUGENE &

Building Type: Conventional	Year Built: 1900	Grade: Q4	Condition: AG
Heat Fuel: Gas	Heat Type: Radiant Hot Water	Year Sited/Conditioned: 0.00	Fireplaces: 0
Exterior Wall: Vinyl Siding	Bsmnt Garage: 0	Roof Cover: Asphalt Shingle	# of Units: 1
# of Rooms: 6	# of Bedrooms: 3	Full Bath: 2	1/2 Baths: 0

Yard Item(s)						
Description	Quantity	Size	Year	Condition	Quality	Value
Shed	1	96	2017	GV	No Value	\$0.00

Building Areas		
Area	Net Area	Finished Area
1st FLOOR	728 SF	728 SF
BASEMENT	714 SF	0 SF
ENCLOSED PORCH	24 SF	0 SF
HALF STORY	203 SF	203 SF
UNFINISHED ATTIC	123.2 SF	0 SF

Disclaimer: This information is for tax
assessing purposes
and is not warranted



► Bristol

► 980 HOPE ST

Card 1 of 1



► Plat/Lot 3 1

► Account: 32

LUC01

Zone R-10

► Assessment

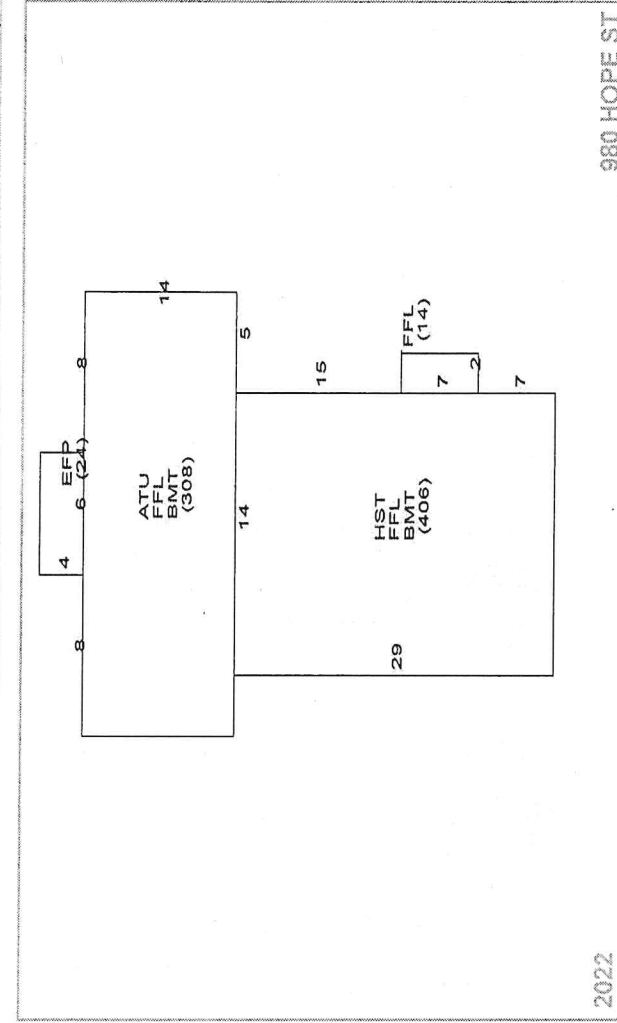
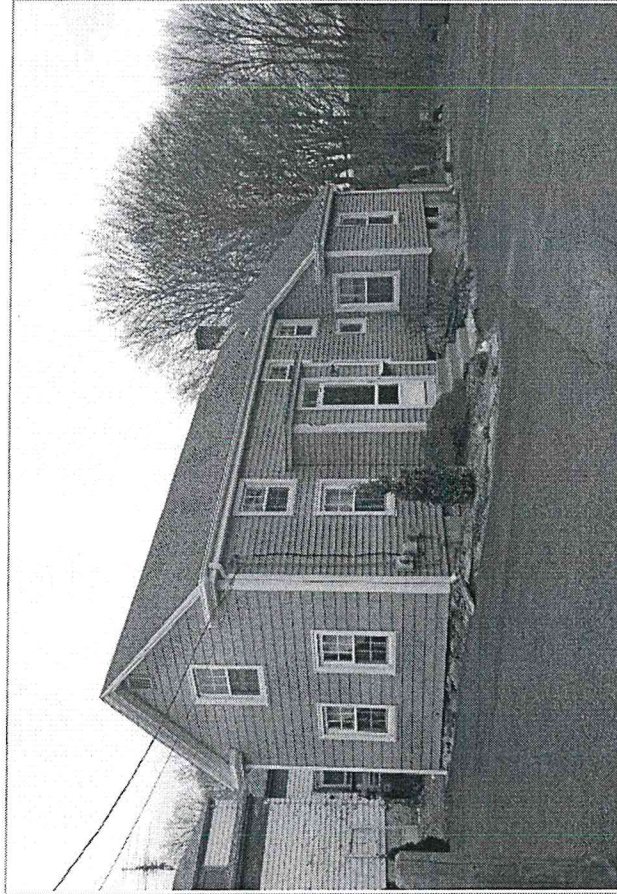
\$325,600

► Owner		► Owner Account #:		% Owned
Owner 1	Owner 2	Owner 3	Address	
COLLINS, ALFRED L & KAREN M TE			176 TREMONT ST, REHOBOTH, MA 02769	

► Previous Owners & Sales Information							Dead Type
Grantor	Date	Sale Price	Leg Ref	NAI			
LAPARLE EUGENE	07/02/2021	383,000	2121-172				W
LAPARLE EUGENE & WARWELL, HARRIET	03/03/1986	0	271-481	A			W
WARDWELL, ROYDON	01/01/1966	0	UNK-				
WARDWELL, ROYDON	01/01/1961	0	UNK-				
WARDWELL, ROYDON	01/01/1960	0	139-242				

► Assessment					
Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	Assessed Value
01	149,100	0	0.77	176,500	325,600
TOTAL	149,100	0	0.77	176,500	325,600
Source > Mkt Adj Cost					VAL per SQ Unit/Parcel > 181.68

► Previous Assessments						
Year	LUC	Building	SF/YI	Land Size	Land	Assessed Value
2022	01	149,100	0	1	176,500	325,600
2021	01	108,200	0	1	160,600	268,800
2020	01	108,200	0	1	160,600	268,800
2019	01	108,200	0	1	160,600	268,800
2018	01	91,100	0	1	148,700	239,800
2017	01	91,100	0	1	148,700	239,800



► Land Information						
Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted
01 Single Fam	0.22957	AC	P	1.00	555,000	598,075
01 Single Fam	0.5427	AC	EX	0.20	555,000	72,231

Year	LUC	Building	SF/YI	Land Size	Land	Assessed Value	AGR Credit	Appraised Value	Use Value
2022	01	149,100	0	1	176,500	325,600	0	325,600	325,600
2021	01	108,200	0	1	160,600	268,800	0	268,800	268,800
2020	01	108,200	0	1	160,600	268,800	0	268,800	268,800
2019	01	108,200	0	1	160,600	268,800	0	268,800	268,800
2018	01	91,100	0	1	148,700	239,800	0	239,800	239,800
2017	01	91,100	0	1	148,700	239,800	0	239,800	239,800

Plat/Lot 3 1

Account: 32

LUC01 Zone R-10

Assessment

\$325,600



NORTHEAST

REVALUATION GROUP LLC

Building Information

Description	Quantity	Quality
BLDG Type	1	Typical
RES Units	0	
Foundation	Concrete	
Frame 1	Wood	
EXT Wall 1	Vinyl Siding	
Roof Type 1	Gable	
Roof Cover 1	Asphalt Shins	
INT Wall 1	Plaster	
Floors 1	Hardwood	
BMT Garages	Color	
Plumbing	Electrical	
Insulation	INT vs EXT	
Heat Fuel	Gas	
# Heat Sys	Heat Type	Radiant Hot Water
% Solar HW	% Heated	100
% COM Wall	% A/C	
Ceil HGHT	% Vacuum	
Parking Type	Ceiling Type	
EXT View	% Sprinkled	

Other Factors

Grade	Q4	Q4	Alt %	0.00
Year Built	1900	EFF Year		
Alt LUC				
Bas \$/SQ	142.00			
Size Adj	1.26			
Constr Adj	1.01			
Adj \$/SQ	180.04			
Other Feats	25,500			
Grade Fac	1.00			
Neigh Infl	1.00			
Land Factor	1.00			
Adj Total	215,484			
Depreciation	66,369			
Depr Total	149,115			
Total Depreciation %	> 30.8			

Remodeling History

Additions	Plumbing	
Interior	Electric	
Exterior	Heating	
Kitchen	General	
Bath(s)		

Condo Data

Complex	
Location	
Tot Units	
FL Level	
# Floors	0
Bldg Seq	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
10/19/2021	M53026		MECH	10,000		Closed	Install gas boiler and gas service
10/19/2021	P53027		PLMB	0		Closed	6000.00, install bathroom on second floor - shower, lav, wc
10/06/2021	B52947		BLDG	0		Closed	4000.00, Replacing existing replacement windows with new ones (15)
07/28/2017	270-17-E	10/03/2017	ELEC	1,500		Closed	ADD CKTS FOR OUTLETS AND APPLIANCES IN THE KITCHEN
07/28/2017	E1606		ELEC	0		Closed	ADD CIRCUITS FOR OUTLETS AND APPLIANCES IN THE KITCHEN
06/19/2017	342-17-B	09/19/2017	BLDG	1,450		Closed	INSTALL SHED 8 X 12
06/19/2017	B37078		BLDG	0		Closed	INSTALL 8' X 12' PRE FAB SHED
09/17/2014	B36302		BLDG	0		Closed	INSTALL FENCE ALONG FRONT OF PROPERTY (HOPE STREET) STARTING 3'
09/17/2014	0603-14-B	12/12/2014	OTHR	2,500		Closed	FENCE

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1	Shed	1	Y	1			96	0	GV	2017	0
2											
3											
4											
5											
6											
7											
8											
9											
10											

Other Info.

AFDU	
PriorID1b	
PriorID1c	
PriorID2a	
PriorID2b	
PriorID2c	
PriorID3a	
PriorID3b	
PriorID3c	



980 Hope Street - 300' Radius

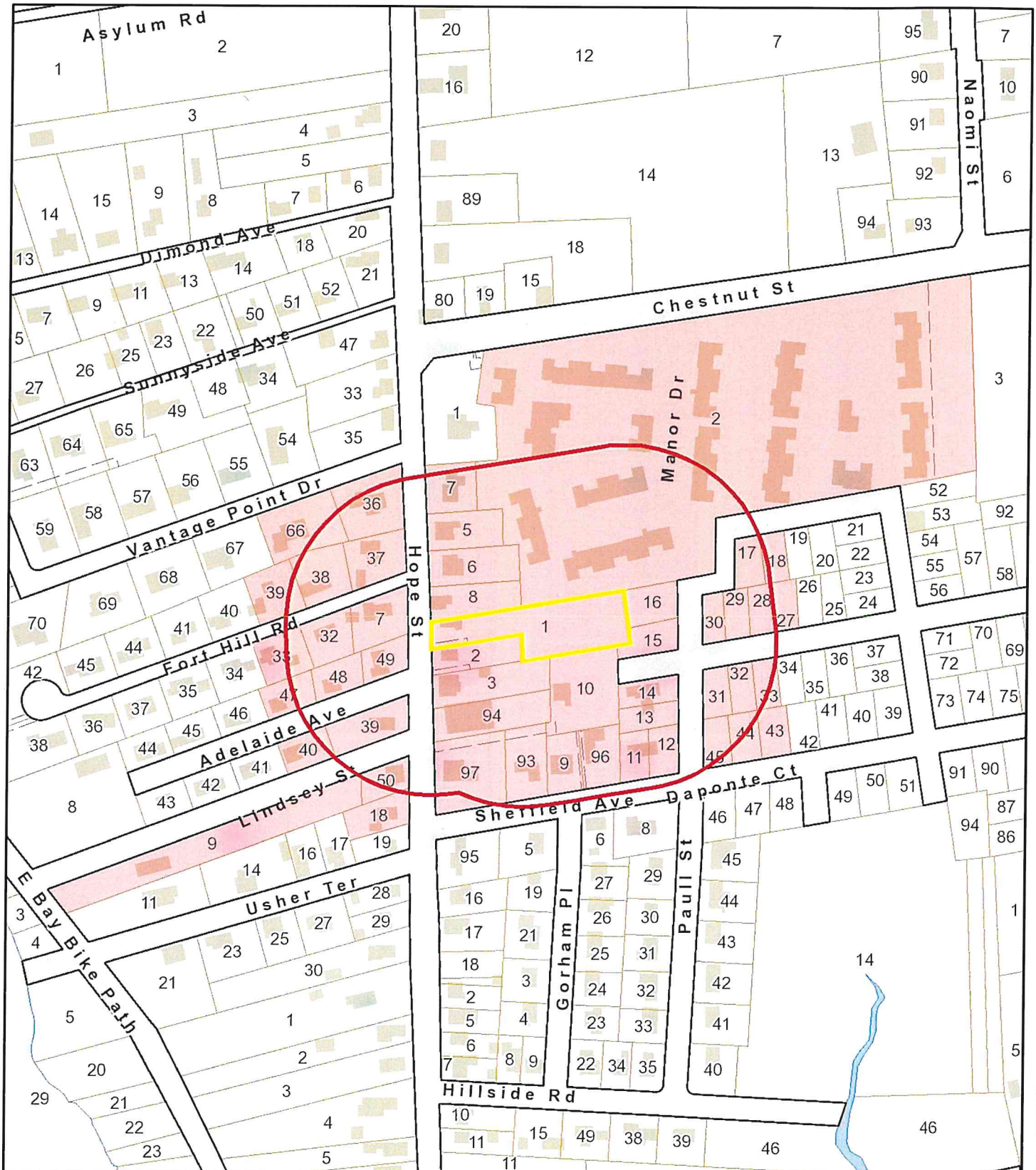
Bristol, RI



February 14, 2023

1 inch = 281 Feet

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Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 foot Abutters List Report

Bristol, RI
February 14, 2023

Subject Property:

Parcel Number: 3-1
CAMA Number: 3-1
Property Address: 980 HOPE ST

Mailing Address: COLLINS, ALFRED L & KAREN M TE
176 TREMONT ST
REHOBOTH, MA 02769

Abutters:

Parcel Number: 2-2
CAMA Number: 2-2
Property Address: 1014 HOPE ST

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 2-5
CAMA Number: 2-5
Property Address: 996 HOPE ST

Mailing Address: PERRY, MATTHEW C & GEORGIA J
TRUSTEES
996 HOPE ST
BRISTOL, RI 02809

Parcel Number: 2-6
CAMA Number: 2-6
Property Address: 990 HOPE ST

Mailing Address: SOUSA, KEVIN
8138 SANTA ROSA CT
SARASOTA, FL 34243

Parcel Number: 2-7
CAMA Number: 2-7
Property Address: 1000 HOPE ST

Mailing Address: PERRY, MATTHEW C & GEORGIA J TE
1209 CHURCH ST
MITCHELLVILLE, MD 20721

Parcel Number: 2-8
CAMA Number: 2-8
Property Address: 984 HOPE ST

Mailing Address: ALMEIDA, GILBERT L & CLAUDETTE TE
984 HOPE ST
BRISTOL, RI 02809

Parcel Number: 3-1
CAMA Number: 3-1
Property Address: 980 HOPE ST

Mailing Address: COLLINS, ALFRED L & KAREN M TE
176 TREMONT ST
REHOBOTH, MA 02769

Parcel Number: 3-10
CAMA Number: 3-10
Property Address: 970 HOPE ST

Mailing Address: IERVOLINO, MARGARET L. LIFE EST
TROY, LORI J. ETAL TC
970 REAR HOPE STREET
BRISTOL, RI 02809

Parcel Number: 3-11
CAMA Number: 3-11
Property Address: SHEFFIELD AVE

Mailing Address: FIELD, AUDREY B.
5 SHEFFIELD AVE
BRISTOL, RI 02809

Parcel Number: 3-12
CAMA Number: 3-12
Property Address: 5 SHEFFIELD AVE

Mailing Address: FIELD, AUDREY B.
5 SHEFFIELD AVE
BRISTOL, RI 02809

Parcel Number: 3-13
CAMA Number: 3-13
Property Address: PAULL ST

Mailing Address: CAMERA, JOSEPH P, SUSAN & PAUL,
KATHRYN JT
25 PAULL ST
BRISTOL, RI 02809



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300 foot Abutters List Report

Bristol, RI
February 14, 2023

Parcel Number: 3-14 CAMA Number: 3-14 Property Address: 25 PAULL ST	Mailing Address: CAMERA, JOSEPH P, SUSAN & PAUL, KATHRYN JT 25 PAULL ST BRISTOL, RI 02809
Parcel Number: 3-15 CAMA Number: 3-15 Property Address: HOPE ST	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-16 CAMA Number: 3-16 Property Address: HOPE ST	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-17 CAMA Number: 3-17 Property Address: LOIS AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-18 CAMA Number: 3-18 Property Address: LOIS AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-2 CAMA Number: 3-2 Property Address: 974 HOPE ST	Mailing Address: CARREIRO, RONALD J. 974 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-27 CAMA Number: 3-27 Property Address: DITTEMORE AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-28 CAMA Number: 3-28 Property Address: DITTEMORE AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-29 CAMA Number: 3-29 Property Address: DITTEMORE AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-3 CAMA Number: 3-3 Property Address: 972 HOPE ST	Mailing Address: WHITHAM, BEVERLY A LE; JACOBSON, KIMBERLY ANN & HALE, CYNTHIA JEAN-TRUSTEES, WHITHAM TRUST 972 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-30 CAMA Number: 3-30 Property Address: DITTEMORE AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-31 CAMA Number: 3-31 Property Address: DITTEMORE AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809



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300 foot Abutters List Report

Bristol, RI
February 14, 2023

Parcel Number: 3-32 CAMA Number: 3-32 Property Address: DITTEMORE AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-33 CAMA Number: 3-33 Property Address: DITTEMORE AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-43 CAMA Number: 3-43 Property Address: SHEFFIELD AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-44 CAMA Number: 3-44 Property Address: SHEFFIELD AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-45 CAMA Number: 3-45 Property Address: SHEFFIELD AVE	Mailing Address: TOWN OF BRISTOL HOUSING AUTHORITY OF BENJ.CHURCH 1014 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-9 CAMA Number: 3-9 Property Address: 2 SHEFFIELD AVE	Mailing Address: BARNEY, JOHN M & GORDON, GERRI L TE 2 SHEFFIELD AVE BRISTOL, RI 02809
Parcel Number: 3-93 CAMA Number: 3-93 Property Address: 1 SHEFFIELD AVE	Mailing Address: DEROBIO, JASON LISA MARIE TE 1 SHEFFIELD AVE BRISTOL, RI 02809
Parcel Number: 3-94 CAMA Number: 3-94 Property Address: 970 HOPE ST	Mailing Address: ROUSSEL, MARTIN LEWIS 970 HOPE ST BRISTOL, RI 02809
Parcel Number: 3-96 CAMA Number: 3-96 Property Address: 3 SHEFFIELD AVE	Mailing Address: CASSICK, MEREDITH H. (SUR) 3 SHEFFIELD AVE BRISTOL, RI 02809
Parcel Number: 3-97 CAMA Number: 3-97 Property Address: 956 HOPE ST	Mailing Address: MADDEN, HUGH A JR KRISTEN E TE 956 HOPE ST BRISTOL, RI 02809
Parcel Number: 83-36 CAMA Number: 83-36 Property Address: 999 HOPE ST	Mailing Address: OCONNELL, THOMAS & MUNIAK- OCONNELL, CHRISTINE TE 999 HOPE ST BRISTOL, RI 02809
Parcel Number: 83-37 CAMA Number: 83-37 Property Address: 997 HOPE ST	Mailing Address: FURTADO, PAUL J. LUCY TE 997 HOPE STREET BRISTOL, RI 02809



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300 foot Abutters List Report

Bristol, RI
February 14, 2023

Parcel Number: 83-38 CAMA Number: 83-38 Property Address: 5 FORT HILL RD	Mailing Address: TANNER, EDWARD M. 5 FORT HILL RD BRISTOL, RI 02809
Parcel Number: 83-39 CAMA Number: 83-39 Property Address: 7 FORT HILL RD	Mailing Address: TAMUL, JOHN W & DARLING, SANDRA C TRUSTEES 7 FORT HILL RD BRISTOL, RI 02809
Parcel Number: 83-66 CAMA Number: 83-66 Property Address: 3 VANTAGE POINT DR	Mailing Address: KOPSACK, DANIEL G. MELISSA A. 3 VANTAGE POINT DR BRISTOL, RI 02809
Parcel Number: 84-18 CAMA Number: 84-18 Property Address: 949 HOPE ST	Mailing Address: PRINCIPE, PAMELA A 949 HOPE ST BRISTOL, RI 02809
Parcel Number: 84-32 CAMA Number: 84-32 Property Address: 4 FORT HILL RD	Mailing Address: RUTKOWSKI, MICHAEL W & MARY ANNE 4 FORT HILL RD BRISTOL, RI 02809
Parcel Number: 84-33 CAMA Number: 84-33 Property Address: 6 FORT HILL RD	Mailing Address: ALTICE, KENNETH M & ALTICE-LEITE, JANE ANN JT 6 FORT HILL RD BRISTOL, RI 02809
Parcel Number: 84-39 CAMA Number: 84-39 Property Address: 963 HOPE ST	Mailing Address: PIRRI, ANGELO M. 1 COMMERCIAL WAY WARREN, RI 02885
Parcel Number: 84-40 CAMA Number: 84-40 Property Address: 4 ADELAIDE AVE	Mailing Address: VOLPICELLI, EMILIO F. ET UX PAULA J. VOLPICELLI TE 4 ADELAIDE AVE BRISTOL, RI 02809
Parcel Number: 84-47 CAMA Number: 84-47 Property Address: 5 ADELAIDE AVE	Mailing Address: RAAD, WENDY J & GALE, ANDREJS V TE 5 ADELAIDE AVE BRISTOL, RI 02809
Parcel Number: 84-48 CAMA Number: 84-48 Property Address: 1 ADELAIDE AVE	Mailing Address: MCGRAW, JOHN F & ELAINE E TE 1 ADELAIDE AVE BRISTOL, RI 02809
Parcel Number: 84-49 CAMA Number: 84-49 Property Address: 971 HOPE ST	Mailing Address: SQUATRITO, TONELLA & JEROME M. LE SQUATRITO, J. JR. & S.P., CASEY, M. Trustees 19 GORHAM PLACE BRISTOL, RI 02809
Parcel Number: 84-50 CAMA Number: 84-50 Property Address: 951 HOPE ST	Mailing Address: SYLVARIA, DAVID M & CHELSEA TE 1 ADELAIDE CT BRISTOL, RI 02809



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300 foot Abutters List Report

Bristol, RI
February 14, 2023

Parcel Number: 84-7
CAMA Number: 84-7
Property Address: 985 HOPE ST

Mailing Address: TOMPKINS, ROBERT M. ELLEN
CATHERINE
985 HOPE ST
BRISTOL, RI 02809

Parcel Number: 84-9
CAMA Number: 84-9
Property Address: 1 LINDSEY AVE

Mailing Address: SHERMAN, JOHN A
1 LINDSEY AVE
BRISTOL, RI 02809



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ALMEIDA, GILBERT L & CLAU
984 HOPE ST
BRISTOL, RI 02809

IERVOLINO, MARGARET L. LI
TROY, LORI J. ETAL TC
970 REAR HOPE STREET
BRISTOL, RI 02809

ROUSSEL, MARTIN LEWIS
970 HOPE ST
BRISTOL, RI 02809

ALTICE, KENNETH M &
ALTICE-LEITE, JANE ANN J
6 FORT HILL RD
BRISTOL, RI 02809

KOPSACK, DANIEL G.
MELISSA A.
3 VANTAGE POINT DR
BRISTOL, RI 02809

RUTKOWSKI, MICHAEL W & MA
4 FORT HILL RD
BRISTOL, RI 02809

BARNEY, JOHN M & GORDON,
2 SHEFFIELD AVE
BRISTOL, RI 02809

MADDEN, HUGH A JR
KRISTEN E TE
956 HOPE ST
BRISTOL, RI 02809

SHERMAN, JOHN A
1 LINDSEY AVE
BRISTOL, RI 02809

CAMERA, JOSEPH P, SUSAN &
PAUL, KATHRYN JT
25 PAULL ST
BRISTOL, RI 02809

MCGRRAW, JOHN F &
ELAINE E TE
1 ADELAIDE AVE
BRISTOL, RI 02809

SOUSA, KEVIN
8138 SANTA ROSA CT
SARASOTA, FL 34243

CARREIRO, RONALD J.
974 HOPE ST
BRISTOL, RI 02809

OCONNELL, THOMAS &
MUNIAK-OCONNELL, CHRISTIN
999 HOPE ST
BRISTOL, RI 02809

SQUATRITO, TONELLA & JERO
SQUATRITO, J. JR. & S.P.,
19 GORHAM PLACE
BRISTOL, RI 02809

CASSICK, MEREDITH H. (SUR
3 SHEFFIELD AVE
BRISTOL, RI 02809

PERRY, MATTHEW C & GEORGI
1209 CHURCH ST
MITCHELLVILLE, MD 20721

SYLVARIA, DAVID M &
CHELSEA TE
1 ADELAIDE CT
BRISTOL, RI 02809

COLLINS, ALFRED L & KAREN
176 TREMONT ST
REHOBOTH, MA 02769

PERRY, MATTHEW C & GEORGI
996 HOPE ST
BRISTOL, RI 02809

TAMUL, JOHN W &
DARLING, SANDRA C TRUSTEE
7 FORT HILL RD
BRISTOL, RI 02809

DEROBBIO, JASON
LISA MARIE TE
1 SHEFFIELD AVE
BRISTOL, RI 02809

PIRRI, ANGELO M.
1 COMMERCIAL WAY
WARREN, RI 02885

TANNER, EDWARD M.
5 FORT HILL RD
BRISTOL, RI 02809

FIELD, AUDREY B.
5 SHEFFIELD AVE
BRISTOL, RI 02809

PRINCIPE, PAMELA A
949 HOPE ST
BRISTOL, RI 02809

TOMPKINS, ROBERT M.
ELLEN CATHERINE
985 HOPE ST
BRISTOL, RI 02809

FURTADO, PAUL J.
LUCY TE
997 HOPE STREET
BRISTOL, RI 02809

RAAD, WENDY J &
GALE, ANDREJS V TE
5 ADELAIDE AVE
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

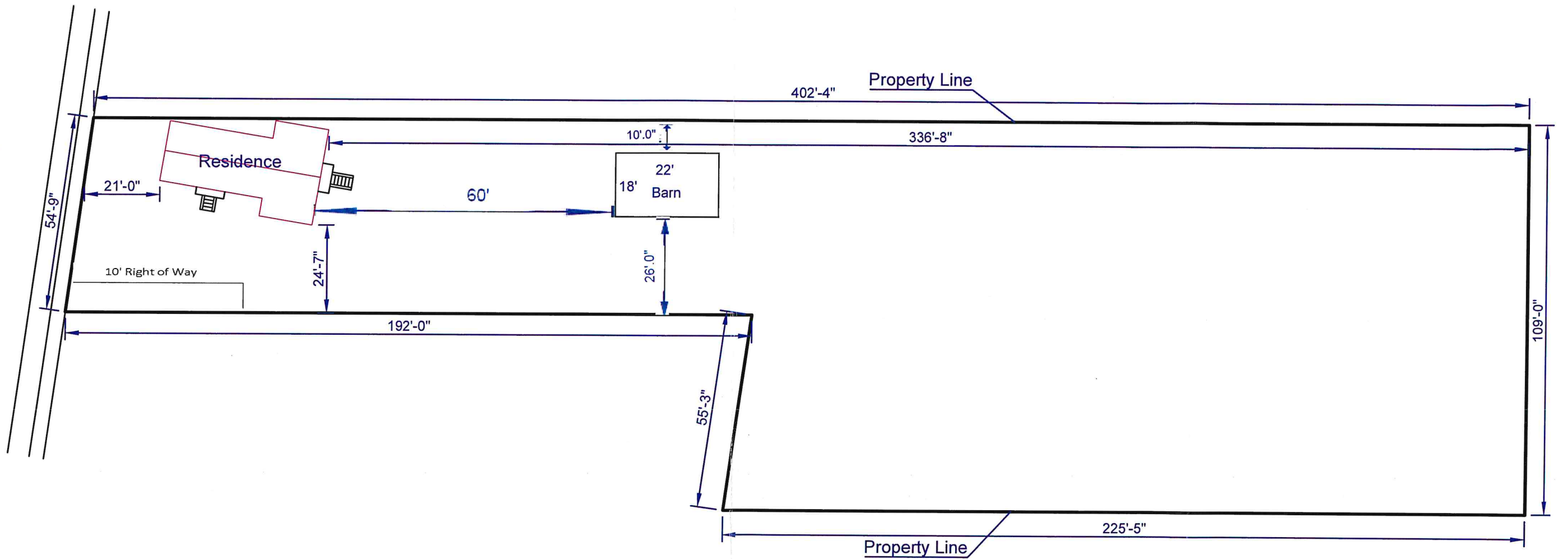
TOWN OF BRISTOL HOUSING
AUTHORITY OF BENJ.CHURCH
1014 HOPE ST
BRISTOL, RI 02809

VOLPICELLI, EMILIO F. ET
PAULA J. VOLPICELLI TE
4 ADELAIDE AVE
BRISTOL, RI 02809

WHITHAM, BEVERLY A LE; J
HALE, CYNTHIA JEAN-TRUSTE
972 HOPE ST
BRISTOL, RI 02809



Hope St





FTCY #PI#NRJ	
SHEET NUMBER	DRAWING NAME
001	GENERAL NOTES
002	ARCHITECTURAL SITE PLAN
003	FIRST & SECOND FLOOR DEMOLITION PLANS
004	BASEMENT FOUNDATION PLAN
005	FIRST FLOOR FRAMING PLAN
006	FIRST FLOOR PLAN
007	FIRST FLOOR REFLECTED CEILING PLAN
008	SECOND FLOOR FRAMING
009	SECOND FLOOR PLAN
010	SECOND FLOOR REFLECTED CEILING PLAN
011	LOWER AND UPPER ROOF PLAN
012	EXTERIOR ELEVATIONS
013	ENLARGED KITCHEN PLANS AND ELEVATIONS
014	ENLARGED BATHROOM PLANS, ELEVATION, DETAILS
015	BUILDING SECTIONS, DETAILS, DOOR & WINDOW SCHEDULES

PROJECT DESCRIPTION

OWNER:
AL COLLINS

DESIGNER:
TRAZA DESIGN, LLC

CONTRACTOR:
TO BE DETERMINED

PROJECT:
EXISTING SINGLE FAMILY STRUCTURE TO UNDERGO RENOVATIONS THAT EXTEND THE OVERALL FOOTPRINT TO THE REAR OF THE PROPERTY BY 10'. THE PROPOSED ADDITION INCLUDES 2ND OF 3' LIABLE SPACE 3RD OF 4' REAR AND FRONT DECK AND 1ST OF 2' RENOVATED SPACE.

THE EXTENDED PORTION OF THE PROPERTY WILL CONTAIN A NEW KITCHEN DINING ROOM AND REAR DECK. THERE WILL ALSO BE A RENOVATED PORTION OF THE SECOND FLOOR THAT CONTAINS A MASTER BEDROOM AND BATHROOM. A NEW PORCH AND ENTRY WILL BE INSTALLED. THE PORCH WILL HAVE A PERGOLA STYLE ROOF THAT IS OPEN TO THE ELEMENTS. PRESURE TREATED WOOD TO BE USED IN EXPOSED AREAS. ALL CONSTRUCTION SHALL CONFORM TO THE RHODE ISLAND BUILDING CODE.

APPLICABLE CODE:
RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE (VERSION 2018)

COLLISION GRID (100 x 100)	
CERTIFICATION (100 x 100)	
INTERCOMUNICATION (100 x 100)	
PROTECTOR TAG (100 x 100)	
ELEVATION (100 x 100)	
REFLECTION TAG (100 x 100)	
CONSTRUCTION (100 x 100)	
WATER TAG (100 x 100)	
WALL TAG (100 x 100)	
POSS NAME (100 x 100)	
DOOR TAG (100 x 100)	
STAIRS (100 x 100)	
SHIELD WATER (100 x 100)	
ROOF - ROOF (100 x 100)	

A.F.F.	ABOUT FINISH FLOOR	N.P.	HIGH POINT
B.F.	BOTTOM OF	RYAC	HEATING, VENTILATION, AIR
C.J.	CENTRAL JOINT		CONDITION
CER	CLEAR	I.B.C.	INSTALLED BY CONTRACTOR
CL	CEILING	I.B.C.	INSTALLED BY OWNER
C.W.	CONCRETE MASONRY UNIT	INSUL	INSULATION
COL	COLUMN	MECH	MECHANICAL
CON	CONCRETE	WFR	WALFRAUM
CNT	CONTINUOUS		
C.W.	CERAMIC TILE	M.O.	MASONRY OPENING
D.W.	DRAWING	WJL	WELT
EA	EACH	W.T.R.	WATER TREATING
ELEV	ELEVATION		ON CENTER
ENCL	ENCLOSURE	D.O.	OUTSIDE DRAIN
EQ	EQUAL	D.P.A.	DISPOSITIVE PART
EST.	ESTIMATE	OPP	OPPOSITE
EX. LENT.	EXHAST	PLW	PLAIN
F.F.	FURNISHED BY CONTRACTOR	P.T.M.	PRESSURE TREATED
F.O.D.	FURNISHED BY OWNER	PID	PAINTED
F.L.	FLOOR	RD	RADIUS
F.O.	FACE OF FOUNDATION	REINF.	REINFORCING
F.A.	FACE OF STUD	REQ'D	REQUIRED
F.O.W.	FACE OF WALL	R.O.	ROUGH OPENING
G.A.	GALVANIZED	SW	SWITCH
G.V.	GALVANIZED	SV	SQUARE
G.C.	GENERAL CONTRACTOR	S.S.S.	STAINLESS STEEL
GL	GLASS	STL	STEEL
GL	GYPSSUM WALL BOARD	T.O.S.	TOP OF STEEL
GY. J.S.	GYPSSUM JOINT BOARD	TY	TYPE
H.W.	HARDWARE	U.N.S.	UNLESS NOTED OTHERWISE

3 EXTERIOR - 1/8" AIR-SEALED WALL

NOTE:
EXTEND ENTIRE ASSEMBLY TO UNDERSIDE OF DECK/STRUCTURE. PROVIDE FINE SEALANT AT ANY WALL ASSEMBLY PENETRATIONS.

Labels for drawing 3:
 1/2" (1) LAYER OF 2" RIGID INSULATION
 (2) LAYER OF 1/2" INTERIOR GRADE PLY OR 3/8" OR 2P BOARDS
 2X6 @ 16" O.C. @ 14" O.C.
 BATT INSULATION
 1 5/8" 2X6 GA. STEEL STUDS @ 16" O.C.

4 INTERIOR - NON-AIR-SEALED WALL

NOTE:
EXTEND ENTIRE ASSEMBLY TO UNDERSIDE OF DECK/STRUCTURE.

Labels for drawing 4:
 1/2" (1) LAYER OF 2" RIGID INSULATION
 2X6 @ 16" O.C. @ 14" O.C.

5 INTERIOR - NON-AIR-SEALED WALL

NOTE:
EXTEND ENTIRE ASSEMBLY TO UNDERSIDE OF DECK/STRUCTURE.

Labels for drawing 5:
 1/2" (1) LAYER OF 2" RIGID INSULATION
 2X6 @ 16" O.C. @ 14" O.C.

6 INTERIOR - NON-AIR-SEALED IN-FILL WALL

NOTE:
EXTEND ENTIRE ASSEMBLY TO UNDERSIDE OF DECK/STRUCTURE. ALIGN NEW WALL ASSEMBLY FINISH TO EXL. WALL ASSEMBLY FINISH.

Labels for drawing 6:
 1/2" (1) LAYER OF 2" RIGID INSULATION
 2X6 @ 16" O.C. @ 14" O.C.
 EXL. WALL ASSEMBLY (1/2" AIR-SEALED)
 1/2" O.C. STUDS

ALL DIMENSIONS ARE BASED ON EXISTING CONDITIONS, DRAWINGS, AND/OR FIELD MEASUREMENTS, FIELD VERIFICATION OF EXISTING CONDITIONS, DIMENSIONS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK AND SHALL INFORM THE OWNER OF ANY DISCREPANCIES AFFECTING PROPER COMPLETION OF CONTRACT WORK.

2. DISCREPANCIES FROM PORTION OF THE DRAWINGS ARE NOT INTENDED. CLARIFY ANY SUCH DISCREPANCIES WITH THE OWNER PRIOR TO COMMENCING WORK IN QUESTION.

3. ALL DIMENSIONS INVOLVING EXISTING WALLS ARE TO FACE OF WALL FINISH (J.S.W.), UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS FOR NEW WORK ARE TO FACE OF STUD (J.S.S.), UNLESS NOTED OTHERWISE.

5. DO NOT SCALE DRAWINGS TO DETERMINE LOCATIONS AND LAYOUT OF THE WORK.

6. UNLESS OTHERWISE AGREED TO IN WRITING WITH THE OWNER, SECURE ALL PERMITS AND PAY FEES FOR SAME, AS REQUIRED BY STATE AND LOCAL RULES AND REGULATIONS.

7. MAINTAIN IN GOOD CONDITION ONE COMPLETE APPROVED SET OF PLANS WITH ALL REVISIONS. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION.

8. MAINTAIN CLEAN AND ORDERLY WORK AREAS; DO NOT ALLOW TRASH AND DEBRIS TO ACCUMULATE.

9. MAINTAIN ACCESS TO ALL EXISTING CONTRACTS AND UTILITIES WITH THE CONTRACTORS OR REMODEL. COOPERATE WITH THE OWNER AND OTHER CONTRACTORS AND COORDINATE WORK WITH THE OWNER SO THAT OUT OF OTHERS CAN BE INCORPORATED IN A TIMELY MANNER.

10. THE OWNER RESERVES THE RIGHT TO PERFORM ADDITIONAL WORK THAT IS NOT PART OF THIS CONTRACT WITH THE CONTRACTORS. ORDER SEPARATE CONTRACTS AND/OR WITH THE CONTRACTORS OR REMODEL. COOPERATE WITH THE OWNER AND OTHER CONTRACTORS AND COORDINATE WORK WITH THE OWNER SO THAT OUT OF OTHERS CAN BE INCORPORATED IN A TIMELY MANNER.

11. ALL DAMAGES TO THE PROPERTY DUE TO CONTRACT OPERATIONS MUST BE REPORTED IMMEDIATELY TO THE OWNER.

12. ALL WORK SHALL BE ACCOMPLISHED WITH QUALITY WORKMANSHIP AND IN ACCORDANCE WITH ALL APPLICABLE INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED WITH STRICT ACCORDANCE TO ALL PROVIDED MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. MATERIALS AND METHODS OF INSTALLATION SHALL CONFORM TO APPROPRIATE NATIONAL TRADE HANDBOOKS.

13. SUBSTITUTIONS: WHEN PROVIDING A PRODUCT OR MATERIAL WHICH IS A SUBSTITUTE FROM WHAT THE DRAWINGS SHOW AS THE "AS SPECIFICATED", THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ANY VARIATIONS FROM THE ORIGINALLY SPECIFIED PRODUCT, INCLUDING BUT NOT LIMITED TO DIMENSIONAL AND PERFORMANCE REQUIREMENTS, OR STRUCTURAL SUPPORT. ANY SUBSTITUTIONS FOR MATERIALS SPECIFIED MUST BE APPROVED BY THE OWNER.

14. REPLACE OR REWEAVE ANY FABRIC, IMPROPER OR INTERIOR MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER COMPLETION AND ACCEPTANCE OF THE WORK.

15. LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND PROTECT THEM FROM DAMAGE.

16. LOCATIONS FOR CONSTRUCTION DUMPSTERS OR OTHER TEMPORARY FACILITIES AND STAGING AREAS OUTSIDE OF THE WORK AREA MUST BE REVIEWED WITH, AND APPROVED BY, THE OWNER, AND/OR LOCAL AUTHORITIES AS APPROPRIATE.

17. NEW GYPSUM WALLBOARD SUBSTRATES APPLIED OVER EXISTING BASES TO REMAIN, AND NEW WOOD STUDS, SHALL BE SECURED WITH APPROPRIATE SCREW FASTENERS. ALL JOINTS SHALL BE TAPED AND FINISHED AND APPROPRIATE HEAD TRIM PROVIDED WHERE REQUIRED.

18. PROVIDE A BEAD OF SANITARY, WOUND RESISTANT SILICONE SEALANT AT THE FOLLOWING LOCATIONS:

18.1. CONDUIT AND PIPE PENETRATIONS AT WALLS AND CEILINGS.

18.2. BASEBOARD TO WALL.

18.3. WINDOW FRAMES AND MISC. TRIM JOINTS WITH WALL.

18.4. INTERSECTION OF DISMISSAL MATERIALS.

18.5. ELSEWHERE AS SHOWN ON DRAWINGS OR WHERE REQUIRED BY THE DESIGNER, OR LOCAL AUTHORITIES. PROVIDE FINISHABLE SEALANTS AT LOCATIONS SCHEDULED TO RECEIVE PAINTED OR STAINED FINISHES.

19. IN A PORTION OF THE WORK OF THIS CONTRACT INVOLVES THE UNCOVERING OF ORIGINAL SURFACES BY THE REMOVAL OF EXISTING TURNED OUT WALLS, FINISHES, FLOOR COVERINGS, ETC., THE ORIGINAL SURFACES SHALL BE EXPOSED, REPAIRED, CLEANED, PREPARED FOR FINISHING AND REFINISHED AS SCHEDULED, REFER TO GENERAL NOTES.

20. IF NOT SPECIFIED OTHERWISE, COLORS AND FINISHES OF SPECIFIED PRODUCTS WILL BE SELECTED FROM MANUFACTURER'S STANDARD RANGE.

21. PRODUCTS SHALL BE PROPERLY ENCLOSED IN CONTAINERS, BOXES, PACKAGES, ETC. TO PREVENT DAMAGE AND/OR DISCOLORATION OF THE FINISH. DELIVER IN MANUFACTURER'S ORIGINAL UNOPENED CONTAINERS WITH LABELS INDICATING BRAND NAMES, MODEL NUMBERS, QUALITY DESIGNATIONS, ETC.

22. DESIGNATE DELIVER DATES OF OWNER FURNISHED ITEMS IN THE CONSTRUCTION SCHEDULE. RECEIVE, UNLOAD AND HANDLE OWNER FURNISHED ITEMS TO BE INSTALLED BY THE CONTRACTOR AT THE SITE. STORE MATERIALS DELIVERED TO SITE OFF GROUND, UNDER COVER, IN DRY WELL VENTILATED LOCATIONS SECURED FROM THEFT AND THEFT. IN FULL COMPLIANCE WITH MANUFACTURER'S RECOMMENDATIONS, CAREFULLY STORE STORED MATERIALS FROM DAMAGE, DAMPNESS, AND EXTREMES OF TEMPERATURE. PROVIDE SEPARATORS BETWEEN FINISHED MATERIALS WHICH ARE STORED IN STACKED OR LEANING POSITIONS.

23. PLAN AND SCHEDULE WORK AND PURCHASING IN ORDER TO MINIMIZE ON-SITE CONSTRUCTION TIME AND DISRUPTION OF EXISTING BUILDING OCCUPANTS AND OPERATIONS.

24. THE OWNER RESERVES THE RIGHT TO INSTALL OCCUPANCY IN COMPLETED AREAS OF THE BUILDING, PRIOR TO SUBSTANTIAL COMPLETION PROVIDED THAT SUCH OCCUPANCY DOES NOT INTERFERE WITH THE COMPLETION OF THE WORK.

25. MAINTAIN WEARS OF FLOORS DURING CONSTRUCTION.

26. WORKMEN SHALL CONDUCT THEMSELVES IN A REASONABLE MANNER (IE. SHALL NOT USE PROFANITY, CREATE ANNUYANCE TO SURROUNDING BUILDINGS OR RESIDENTS, LOITER IN SURROUNDING AREAS, ETC.).

27. IN THE EVENT THAT ANY PORTION OF THE WORK WILL BE TOO DISTURBING, MAKE ARRANGEMENTS WITH THE OWNER TO CONDUCT THE WORK AT A LATER DATE.

28. ALL JOINTS OF GYPSUM BOARD/CEILING BACKER BOARD SHALL BE TAPED AND FINISHED PER MANUFACTURER'S INSTRUCTIONS SPECIFICATIONS. PROVIDE ALL APPROPRIATE TRIM AND ACCESSORIES FOR A COMPLETE INSTALLATION.

29. PRIME PAINT AND OTHERS USE PREPARE WALL SUBSTRATES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS, SPECIFICATIONS, AND AS REQUIRED TO RECEIVE FINISHED SPECIFIED.

30. REVIEW ALL DRAWINGS FOR FINISHED, MILLWORK, FITTINGS AND EQUIPMENT ITEMS THAT ARE PROVIDED PACKAGING IN WALLS TO PROPERLY ATTACH BACK. COORDINATE WORK SO THAT ALL BACK-LOGGING IS REQUIRED PRIOR TO INSTALLATION OF SUBSTRATES OR PARTITIONS.

31. ISOLATE FRAMING STUDS FROM STRUCTURAL LOADING BOTH HORIZONTALLY AND VERTICALLY.

32. PROVIDE SLIP OR CURVED JOINTS AT TOP OF WALLS WHERE THEY MEET STRUCTURAL BEAMS OR DECK JOISTS. MAINTAIN LATERAL STABILITY.

33. PATCH AND REPAIR ALL EXISTING WALLS TO REPAIR TO RECEIVE NEW FINISH.

34. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL STATE AND LOCAL CODES, ZONING REGULATIONS, AND OTHER APPLICABLE LAWS.

35. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WORK INDICATED OR REASONABLY IMPLIED ON THESE DRAWINGS, INCLUDING PROVISIONS OF COMPLETE OPERATIONAL ELECTRICAL SYSTEMS.

36. CONTRACTOR SHALL PROVIDE INSURANCES REQUIRED BY STATE LAWS (IE. GENERAL LIABILITY AND AUTOMOBILE COMPENSATION). BUILDER'S RISK INSURANCE SHALL BE PROVIDED BY EITHER THE OWNER OR THE CONTRACTOR.

37. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ANY AND ALL TEMPORARY UTILITIES REQUIRED TO PERFORM THE WORK.

38. ALL ELECTRICAL WORK WILL BE PERFORMED ON A DESIGN-BUILD BASIS. EXACT LOCATION OF OUTLETS, LIGHT FIXTURES, ETC. TO BE DETERMINED BY OWNER AND CONTRACTOR.

39. ALL INTERIOR DOORS ARE TO BE LOCATED 1" OFF THE HINGE SIDE TO THE ADJACENT WALL, UNLESS NOTED OTHERWISE.

40. THIS DRAWING SET HAS APPROXIMATELY 12 MONTHS FROM THE DATE IT WAS ISSUED UNTIL THERE IS ANOTHER SET OF THIS BUILDING PERMIT. IF PERMIT IS SHORT AFTER THE 12 MONTHS, CONSULT TRADA DESIGN, LLC FOR VERIFICATION OF PERMIT.

CONCRETE

1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS. CONCRETE TESTING IF REQUIRED BY LOCAL OFFICIALS SHALL BE PAID FOR BY THE CONTRACTOR.
2. EXPOSED CONCRETE SHALL BE FREE OF HOMOGENEOUS OR VISUAL DEFECTS. SUCH DEFECTS SHALL BE SURFACE TREATING (PATCHING, RUBBING, ETC.) ALL EXPOSED EXTERIOR CONCRETE RETAINING WALLS, STEPS, FOUNDATIONS, ETC. SHALL BE 5% AIR ENTRAINED.
3. FOUNDATION WALLS SHALL BE CARRIED TO ELEVATIONS SHOWN ON DRAWINGS AND DEEPEN IF NECESSARY TO OBTAIN SAFE BEARING OF 2 TONS PER SQUARE FOOT.
4. ALL EXCAVATIONS AND FOUNDATION CONSTRUCTION IS TO BE IN THE DRY AND NO CONCRETE SHALL BE PLACED IN THE WATER.
5. NO FOUNDATION WALL SHALL BE PLACED ON FROZEN SOIL.
6. WHERE IT IS NECESSARY TO RAISE THE GRADE BELOW SLAB, FOUNDATIONS, OR FOOTINGS, FILL SHALL BE PLACED IN 12" LAYERS COMPACTED TO 95% ASTM D1557, METHOD D, PROCTOR TEST.
7. PROVIDE OPENINGS AND SLEEVES FOR WATER, ELECTRIC AND OTHER SERVICES AS REQUIRED.
8. POUR CONCRETE IN LEVEL COURSES FULL HEIGHT, OR FLOOR TO FLOOR IN CONSTRUCTION JOINTS VERTICAL.
9. WIRE MESH IN SLABS ON GROUND SHALL BE LAPPED 3' ON ENDS AND EDGES.
10. PROVIDE A MINIMUM OF 8" WELL COMPACTED, CLEAN, COARSE SAND OR GRAVEL UNDER ALL SLABS AFTER TOP SOIL HAS BEEN REMOVED.
11. FOOTINGS TO BEAR ON UNDISTURBED LEVEL SOIL AND STEPPED AS REQUIRED TO MAINTAIN REQUIRED DEPTH (3'-5" MIN.) BELOW FINAL GRADE.

CONCRETE

TRAINING DESIGN IS BASED UPON THE FOLLOWING LIVE LOADS AND FOR DEAD LOADS REFLECTING CONSTRUCTION SCHEDULE.

ROOF 10 P.S.F. / SNOW
FIRST FLOOR 40 P.S.F. (CONSIDER FLOOR FINISH DEAD LOADS)

PROVIDE LIVE LOAD DEFLECTION ON ALL ENGINEERED FLOOR BEAMS.

1. LUMBER (RAFTERS) SHALL BE HEW-FIN NO. 2 OR BETTER, (MIN. 6" BAY SINGLE - 1000PSF, PB REPEAT, = 1150 PSL MIN., E+ 1.25X DEF P20)
2. LIGHT FRAMING AND STUDS SHALL BE HEW-FIN NO. 2 OR BETTER, (MIN. 6" BAY SINGLE - 1000 PSL, PB REPEAT, = 1150 PSL MIN., 1.25X DEF P20) WALL STUDS SHALL BE 2X4 UNLESS NOTED OTHERWISE.
3. ALL LIGHT FRAMING, STUDS, AND LUMBER SHALL BE IN DRY CONDITION OR KILN DRIED AT TIME OF DRESSING.
4. PROVIDE STANDARD NUTS AND SPOCKES WHERE NEWLAYS ARE FLOWS FRAMING.
5. WHEN CORNER LAMINATED VENEER LUMBER (1/4" MICROLAM OR EQUIVALENT), NAIL WITH TWO ROWS ON 16" NODS AT 12" ON CENTER.
6. PROVIDE 3-1/2" MINIMUM BEARING UNDER LAMINATED VENEER LUMBER.
7. PROVIDE FACE-BLOCKING AS REQUIRED TO ACHIEVE FIRM ATTACHMENT OF WALL/CILING MOUNTED EQUIPMENT, FITTINGS, ETC.
8. INTERIOR DOOR, WINDOW CASINGS AND WOOD BASE SHALL BE SELECTED BY THE OWNER.
9. ALL DOOR CLOSERS TO BE PROVIDED WITH ONE SWELL AND POLE UNLESS NOTED OTHERWISE. SHELVES SHALL BE 1/4" PLYWOOD WITH HARDBOARD EDGE BANDING. RODS SHALL BE 1-1/2" DIA. WOOD POLES WITH DISTANCE BETWEEN SUPPORTS NOT TO EXCEED 3'-6".
10. OWNER TO HAVE FINAL SELECTION OF ALL INTERIOR AND EXTERIOR TRIM PROFILES AND MATERIALS. PROFILES AND MATERIALS IDENTIFIED IN THESE DRAWINGS ARE TO BE THE BASIS OF DESIGN.
11. EXTERIOR TRIM IS TO BE ASK, PLYWOOD PREPARED AND PAINTED (2 COATS). OWNER TO CONFIRM TRIM MATERIAL.

THERMAL AND VIBRATION PROTECTION

IF, IF APPLICABLE, ROOF SHINGLES SHALL BE ARCHITECTURAL ASPHALT SHINGLES, 50 YEAR MIN. WARRANTY. OWNER TO SELECT SHINGLE COLOR.

CONCEALED FLASHING AT ROOF RIDGES AND VALLEYS TO BE ALUMINUM. FLASHING AT PLUMBING VENTS SHALL BE GALVANIZED CONTRACTOR. PROVIDE ALUMINUM SILL FLASHING UNDER EXTERIOR DOOR SILLS AND AT THE HEAD OF DOORS AND WINDOWS IF NOT OTHERWISE NOTED.

CAPILLARY EXTERIOR JOINTS ACCORDING TO INDUSTRY STANDARDS WITH POLYISOBUTYLENE SEALANT OF STANDARD MANUFACTURER.

THE FOLLOWING ARE MIN. INSULATION REQUIREMENTS:

A. CEILING/ROOF	R-30
B. EXTERIOR WALLS	R-21
C. FLOORS	R-20

REFER TO BUILDING SECTIONS FOR ADDITIONAL INFORMATION.

NEW NOTES

1. ALL FLOOR AND WALLBOARD SUBSTRATES SHALL BE SECURE WITH APPROPRIATE SCREW FASTENERS.

2. INSTALLATION SHALL BE IN ACCORDANCE WITH "STANDARD CONSTRUCTION HANDBOOK" T.Y. S.P. PROVIDE APPROPRIATE RETAIL TRIM WHERE REQUIRED. ALL GY. BC. IN BATHROOM ARE SHALL BE WASTUERE RESISTANCE. TYP. ALL JOINTS SHALL BE TAPED AND FINISHED.

3. UNLESS NOTED OTHERWISE OR SPECIFIED BY OWNER, ALL INTERIOR WALL AND CEILING SURFACES ARE TO BE UNITS WITH ONE COAT WALLBOARD PRIMER AND TWO FINISH COATS (COLORS SELECTED BY OWNER).

4. UNLESS NOTED OTHERWISE OR SPECIFIED BY OWNER, ALL INTERIOR WOODWORK IS TO BE PAINTED WITH ONE COAT PRIMER AND ONE COAT SEMI-GLOSS FINISH (COLORS SELECTED BY OWNER).

5. HARDWOOD FLOORING PRODUCE ALLOWANCE SHALL BE COORDINATED WITH CONTRACTOR.

6. ALL THE FLOOR AND WALLPURCHASE ALLOWANCE SHALL BE COORDINATED WITH CONTRACTOR.

WELLKNOWNS

1. PURCHASE ALLOWANCE FOR CABINETS, COUNTERTOPS, AND BATHROOM VANITY SHALL BE COORDINATED WITH CONTRACTOR.

2. PURCHASE ALLOWANCE FOR TOILET/FIXTURES ACCESSORIES SHALL BE COORDINATED WITH THE CONTRACTOR.

3. ALL WINDOWS WITHIN 12" OF THE FLOOR, AND/OR WITHIN 24" OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO BE TEMPERED GLAZING.

4. ALL TOP AND SNOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLAZING.

5. PROVIDE ONE COMBINATION SMOKE/CARBON MONOXIDE DETECTOR (MIN.) OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, NOT TO EXCEED 15' MAX. AND ON EACH ADDITIONAL STORY THE DETECTING INCLUDING BASEMENTS.

6. BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING MIN. 5 CFM CHANGES PER HOUR.

7. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, AND OTHER APPLICATIONS SHALL BE GFCI PER NATIONAL ELECTRICAL CODE REQUIREMENTS. VERIFY WITH OWNER FOR EXTERIOR LOCATIONS.

8. INVESTIGATE ALL ACCESS ROOFTOP/RATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE ALL FLOOR OR CEILING THROUGH WHICH THEY PENETRATE.

9. PROVIDE DOUBLE JOISTS UNDER ALL WALLS ABOVE RUNNING PARALLEL TO JOISTS.

10. PROVIDE FACE-BLOCKING, DRAFT STOPS AS PER THE CURRENT BUILDING CODE.

TRAZA
DESIGN

Figure 1. *Left*: A 2D plot of the function $f(x, y)$ over the domain $[0, 1] \times [0, 1]$. *Right*: A 3D plot of the function $f(x, y)$ over the domain $[0, 1] \times [0, 1]$.

5214

Preprint JMIR Publications

02/08/2023

PERUITE

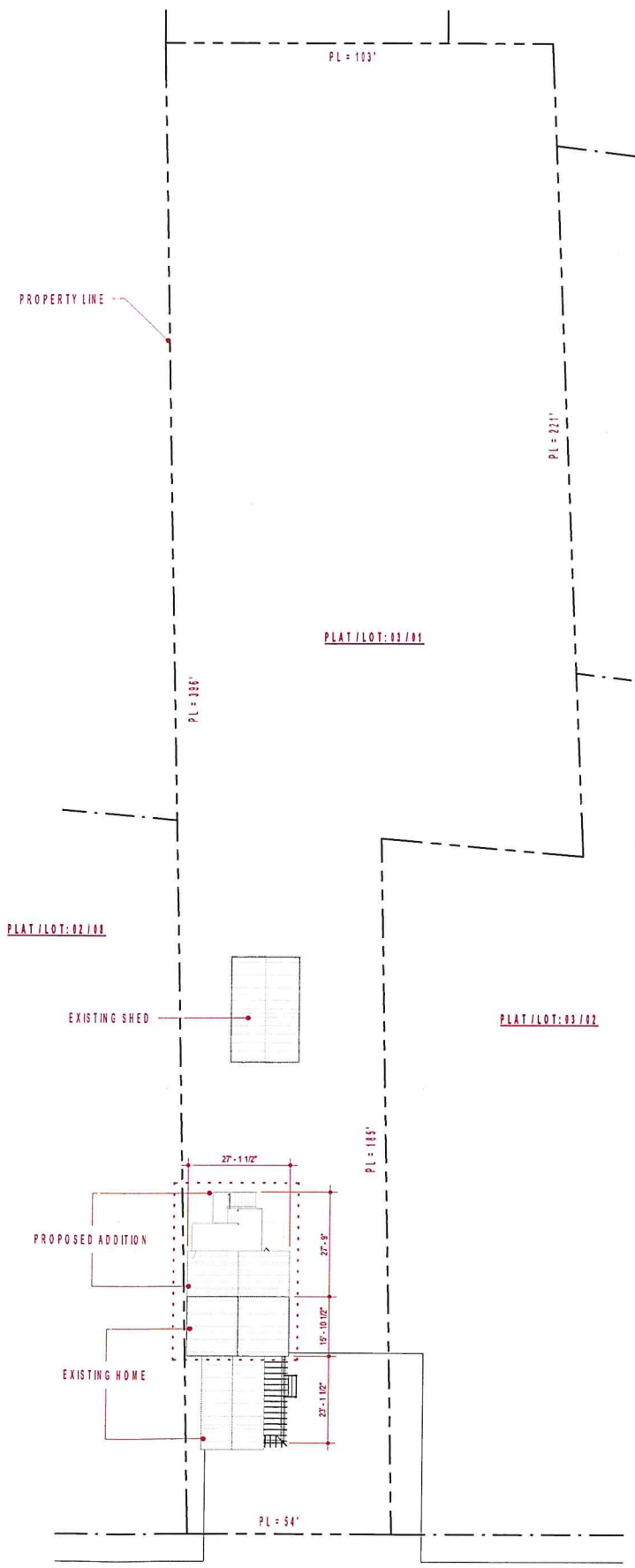
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GENERAL NOTES

001

SITE PLAN NOTES

THIS MAP IS FOR PLANNING AND ASSESSMENT PURPOSES ONLY. IT IS NOT INTENDED TO BE USED FOR AUTHORITY OF DESCRIPTION, BOUNDARY LINE DEFINITION OF PROPERTY CONVEYANCE. IT IS NOT THE PRODUCT OF A LAND SURVEY. INFORMATION WAS RETRIEVED FROM THE TOWN OF BRISTOL. THERE WILL BE NO CHANGES TO THE FOOTPRINT.



1 SITE PLAN
SCALE 1" = 20'-0"

HOPE STREET

AL COLLINS
RESIDENTIAL ADDITION
PROJECT NO. 2023-002

TRAZA
DESIGN

Project: 2023-002
Client: Al Collins
Address: 103' 221' 186' 185' 54'
Date: 02/08/2023
Permit Set

Notes:
1. The property is located within the 103' 221' 186' 185' 54' zone.
2. The proposed addition is located within the 103' 221' 186' 185' 54' zone.
3. The existing home is located within the 103' 221' 186' 185' 54' zone.

02/08/2023
PERMIT SET

ARCHITECTURAL SITE PLAN

002



END WINDOW TO REBAR
(200-100)

END WINDOW TO REBAR (200-100)

ENDING BOLT TO REBAR
(200-100)

END BOLT TO REBAR (200-100)

END WALL TO REBAR
(200-100)

END WALL TO REBAR (200-100)

WALL BOLT
(200-100)

01 REMOVE AND REUSE HEATING UNIT IF POSSIBLE. COORDINATE WITH OWNER
REMOVAL AND STORAGE.

02 REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE. TYP.

03 REMOVE AND RETURN APPLANCE TO OWNER. COORDINATE WITH OWNER
REMOVAL AND STORAGE OPTIONS, TYP.

04 REMOVE AND DISPOSE OF EXISTING EXTERIOR STAIR ASSEMBLY IN ITS ENTIRETY..

05 REMOVE AND DISPOSE OF EXISTING CHIMNEY IN ITS ENTIRETY.

06 REMOVE AND DISPOSE PORTION OF ROOF IN ITS ENTIRETY.

07 REMOVE AND DISPOSE LOWER ROOF. COORDINATE WITH NEW WORK PLANS.

08 EXISTING STAIRWAY TO REMAIN.

09 EXISTING HEATING UNIT TO REMAIN.

10 REMOVE AND DISPOSE OF EXISTING MILLWORK IN KITCHEN.

11 EXISTING PLUMBING FIXTURE TO REMAIN

AL COLLINS
RESIDENTIAL ADDITION

TRAZA
DESIGN

File name: 21040001 Page 1 of 1

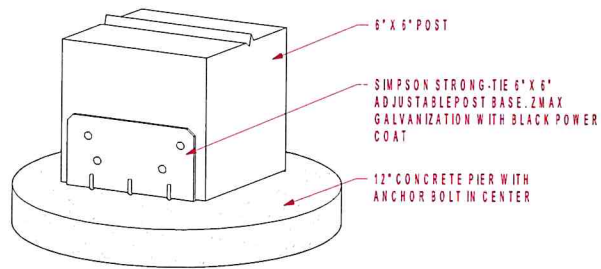
Troy:ke 20020

1000

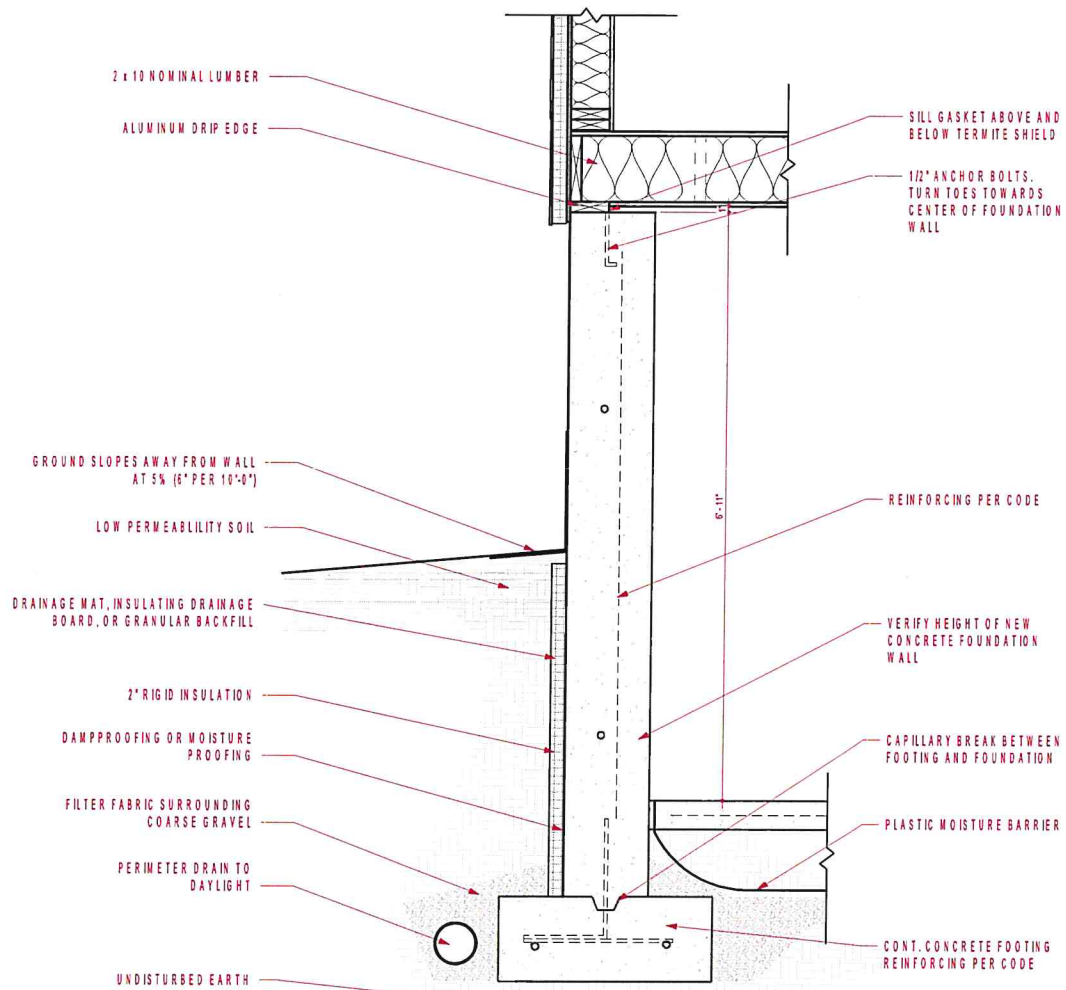
DEMOLITION PLANS

003

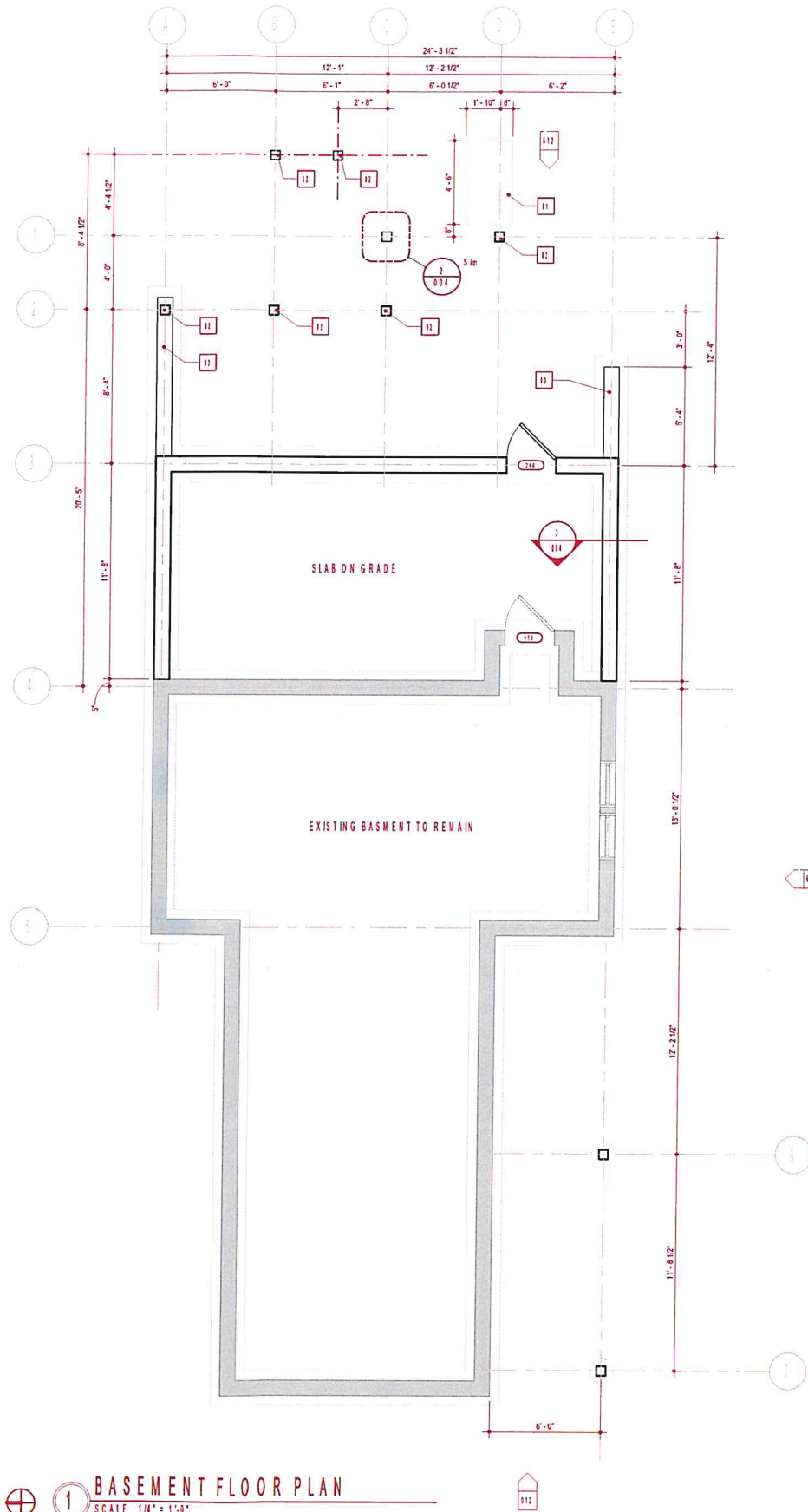
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2 POST BASE DETAIL - 6X6 - 12"
SCALE 1" = 1'-0"



3 FOUNDATION WALL DETAIL
SCALE 1" = 1'-0"



1 BASEMENT FLOOR PLAN
SCALE 1/4" = 1'-0"

KEYNOTES - FOUNDATION PLAN

- 01 54" X 30" CONCRETE PAD FOR STAIR LANDING
- 02 6X6 P.T. WOOD POST. SEE 005/2 FOR POST BASE DETAILS.
- 03 2' X 12" CONCRETE RETAINING WALL. USE 2' X 1' FOOTING BELOW FROST LINE.

AL COLLINS
RESIDENTIAL ADDITION

TRAZA
DESIGN

Project: 2024-001

Client: Mr. & Mrs. John Doe

Address: 1234 Main Street, Anytown, USA

Phone: (555) 123-4567

Email: info@trazadesign.com

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Email: info@trazadesign.com

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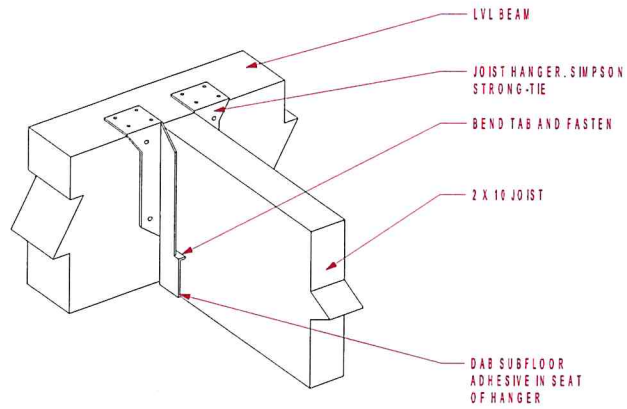
Project: 2024-001

Client: Mr. & Mrs. John Doe

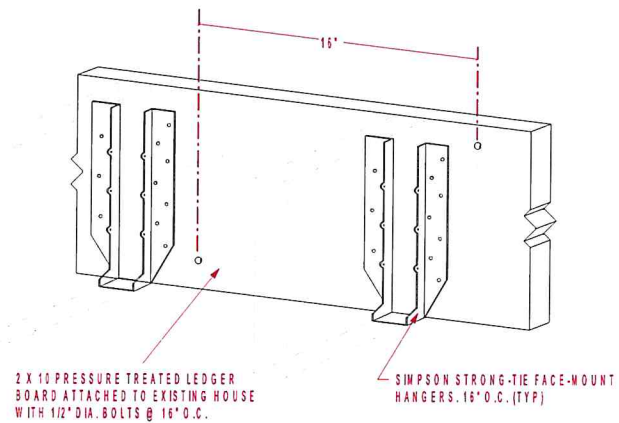
Address: 1234 Main Street, Anytown, USA

Phone: (555) 123-4567

Email: info@trazadesign.com

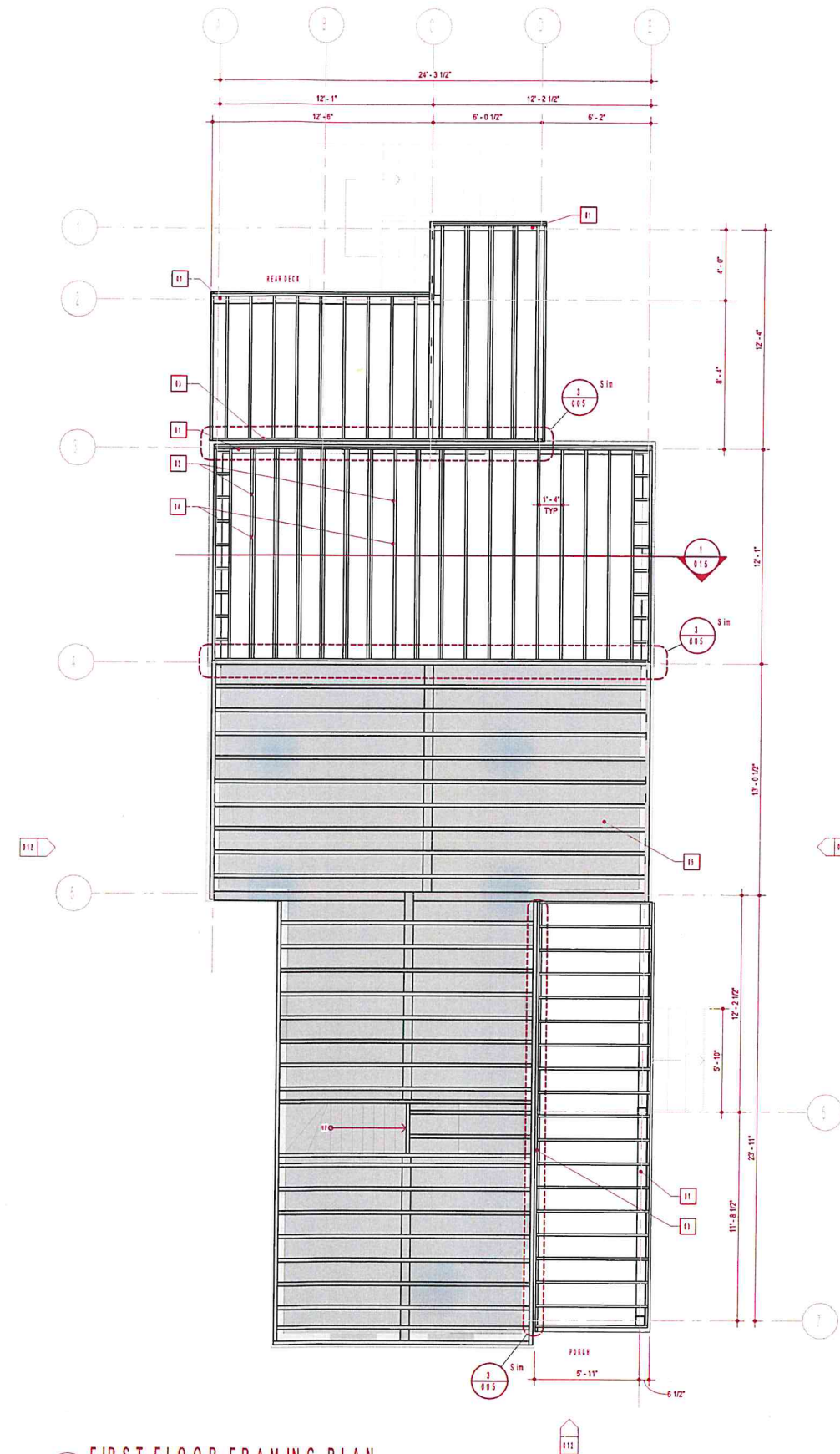


2 JOIST-BEAM CONNECTION
SCALE 1" = 1'-0"



3 LEDGER BOARD DETAIL
SCALE 1" = 1'-0"

1 FIRST FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



KEYNOTES - 1ST FLOOR FRAMING PLAN

- 01 (4) 2 X12 LVL BEAM
- 02 2X10 @ 16" O.C. FRAMING FOR TYPICAL FLOOR JOISTS
- 03 USE WATER PROOFING TO SEPARATE DECK FROM LIVABLE AREA
- 04 DOUBLE UP JOISTS UNDER HIGH TRAFFIC KITCHEN AREA
- 05 EXISTING STRUCTURE TO REMAIN, NOT IN PROJECT SCOPE

AL COLLINS
RESIDENTIAL ADDITION

TRAZA
DESIGN

Project: 2018-001

Client: Mr. & Mrs. Smith

Location: 1234 Main St, Anytown, CA

Architect: TRAZA DESIGN

Engineer: J. Doe

Date: 02/08/2023

Scale: 1/4" = 1'-0"

Notes: See keynotes for details.

Revisions: 1.0

Drawn by: J. Doe

Checked by: J. Doe

Approved by: J. Doe

Project: 2018-001

Date: 02/08/2023

Scale: 1/4" = 1'-0"

Notes: See keynotes for details.

Revisions: 1.0

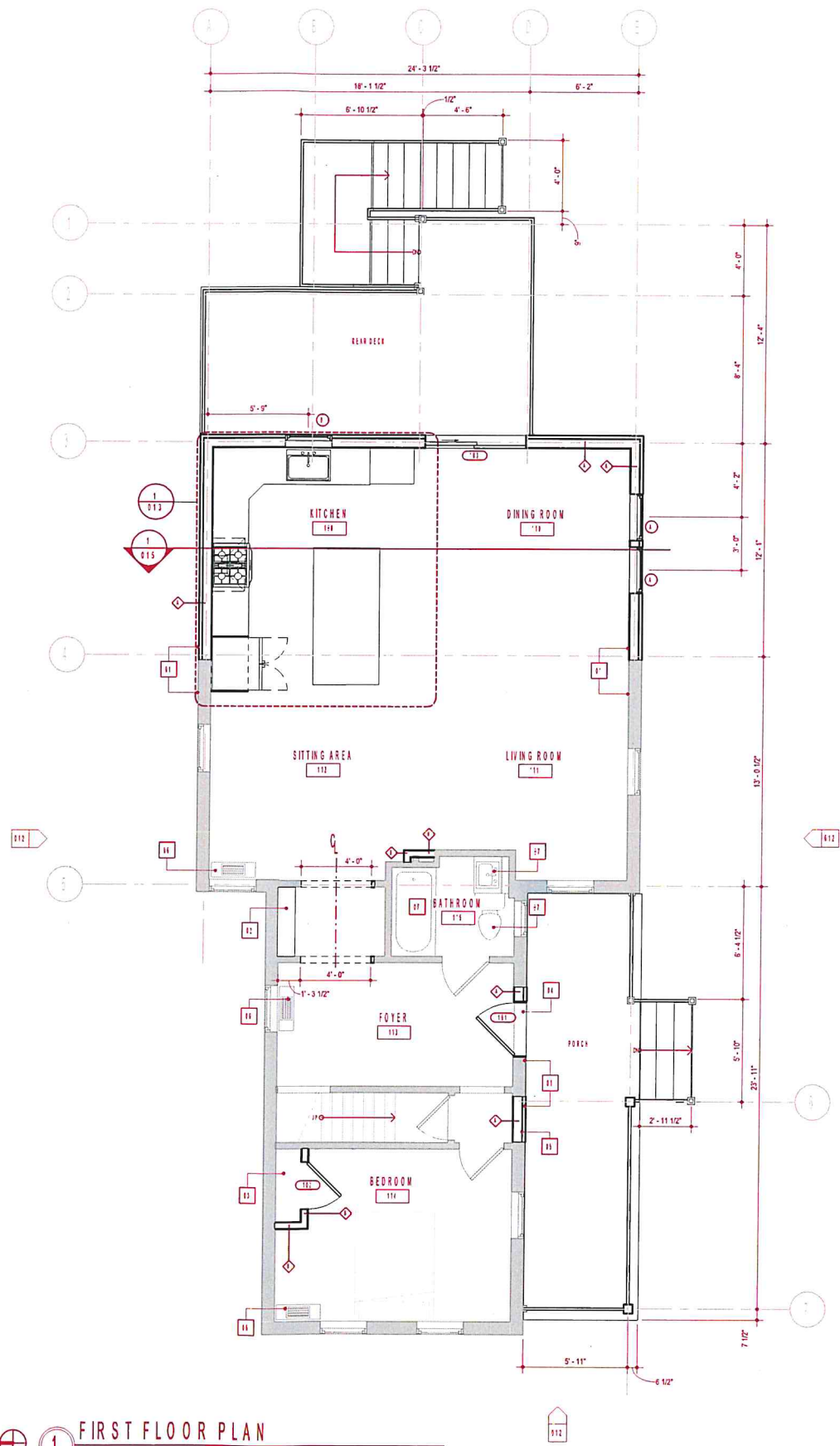
Drawn by: J. Doe

Checked by: J. Doe

Approved by: J. Doe

Project: 2018-001

1 FIRST FLOOR PLAN
SCALE 1/8" = 1'-0"



FLOOR PLAN LEGEND

- EXISTING WOOD TO REMAIN (Shaded)
- NEW WOOD (Shaded)
- EXISTING WOOD TO REMAIN (Shaded)
- NEW WOOD (Shaded)
- EXISTING WALL TO REMAIN (Shaded)
- NEW WALL (Shaded)
- EXPOSED WOOD (Shaded)
- ROOF WOOD (Shaded)

KEYNOTES - 1ST FLOOR PLAN

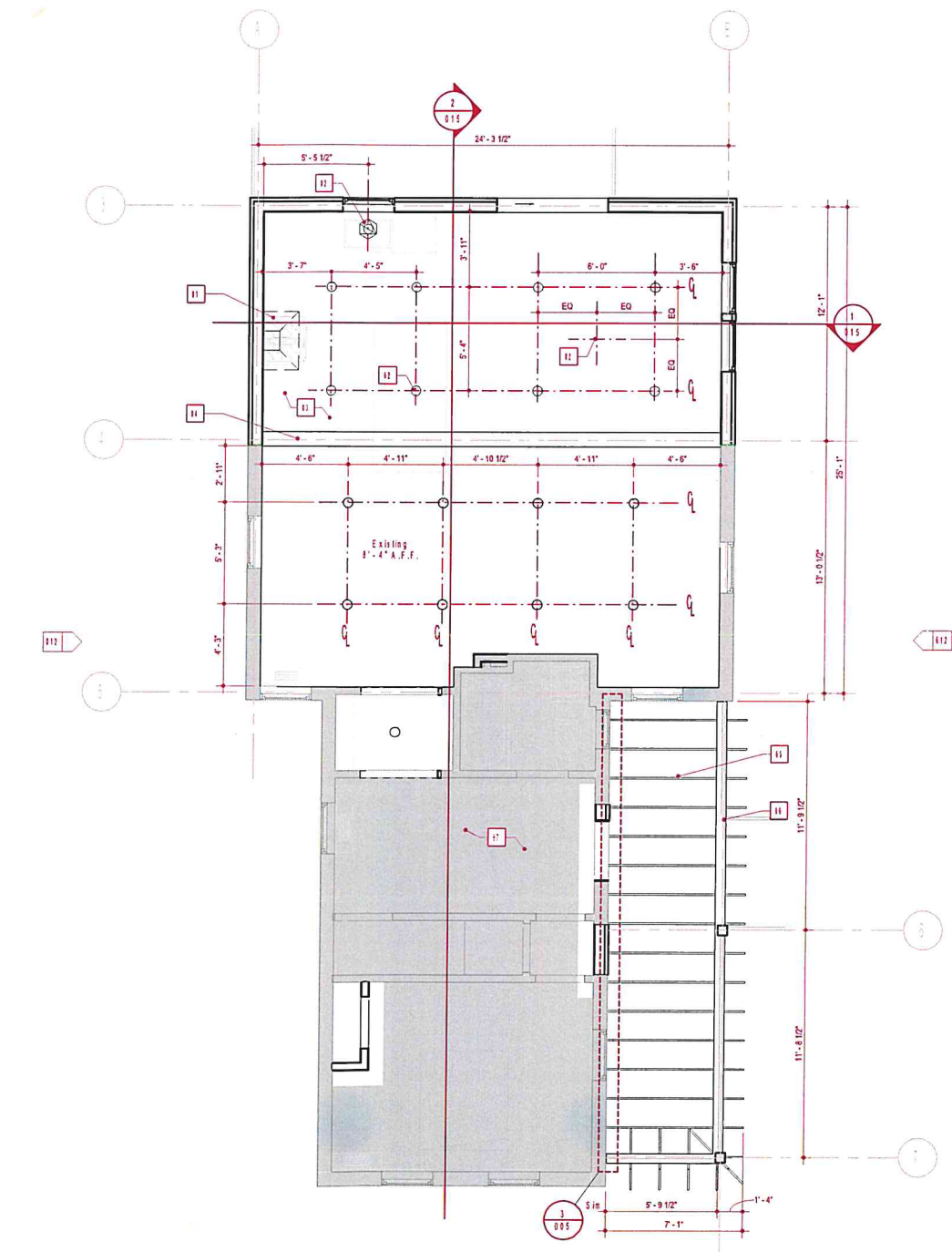
- 01 ALIGN
- 02 OPEN SHELVING
- 03 PROPOSED BEDROOM CLOSET
- 04 PROPOSED NEW ENTRANCE
- 05 INFILL WALL
- 06 EXISTING HEATING UNIT TO REMAIN
- 07 EXISTING PLUMBING FIXTURE TO REMAIN



Project: [Blank]
Location: [Blank]
Client: [Blank]
Architect: [Blank]
Engineer: [Blank]
Permit: [Blank]
Date: [Blank]

02/08/2023
PERMIT SET

FIRST FLOOR PLAN



1 FIRST FLOOR REFLECTED CEILING PLAN
SCALE 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

- RECESSED LIGHT FIXTURE (reflected ceiling plan)
- NEW GYP. BS. CEILING (reflected ceiling plan)
- EXIST. GYP. BS. CEILING TO REMAIN (reflected ceiling plan)

KEYNOTES - 1ST FLOOR REFLECTED CEILING PLAN

- 01 RANGE HOOD DUCTED TO EXTERIOR
- 02 PENDANT LIGHT
- 03 VAULTED CEILING
- 04 LVL BEAM, PROVIDED BY NATIONAL LUMBER OR SIMILAR
- 05 2X6 P.T. PERGOLA FRAMING, PAINTED WHITE TO MATCH TRIM
- 06 (3) 2X8 P.T. LVL BEAM, PAINTED WHITE TO MATCH TRIM
- 07 EXISTING STRUCTURE TO REMAIN, NOT IN PROJECT SCOPE

AL COLLINS
RESIDENTIAL ADDITION
PROJECT NO. 2023-007



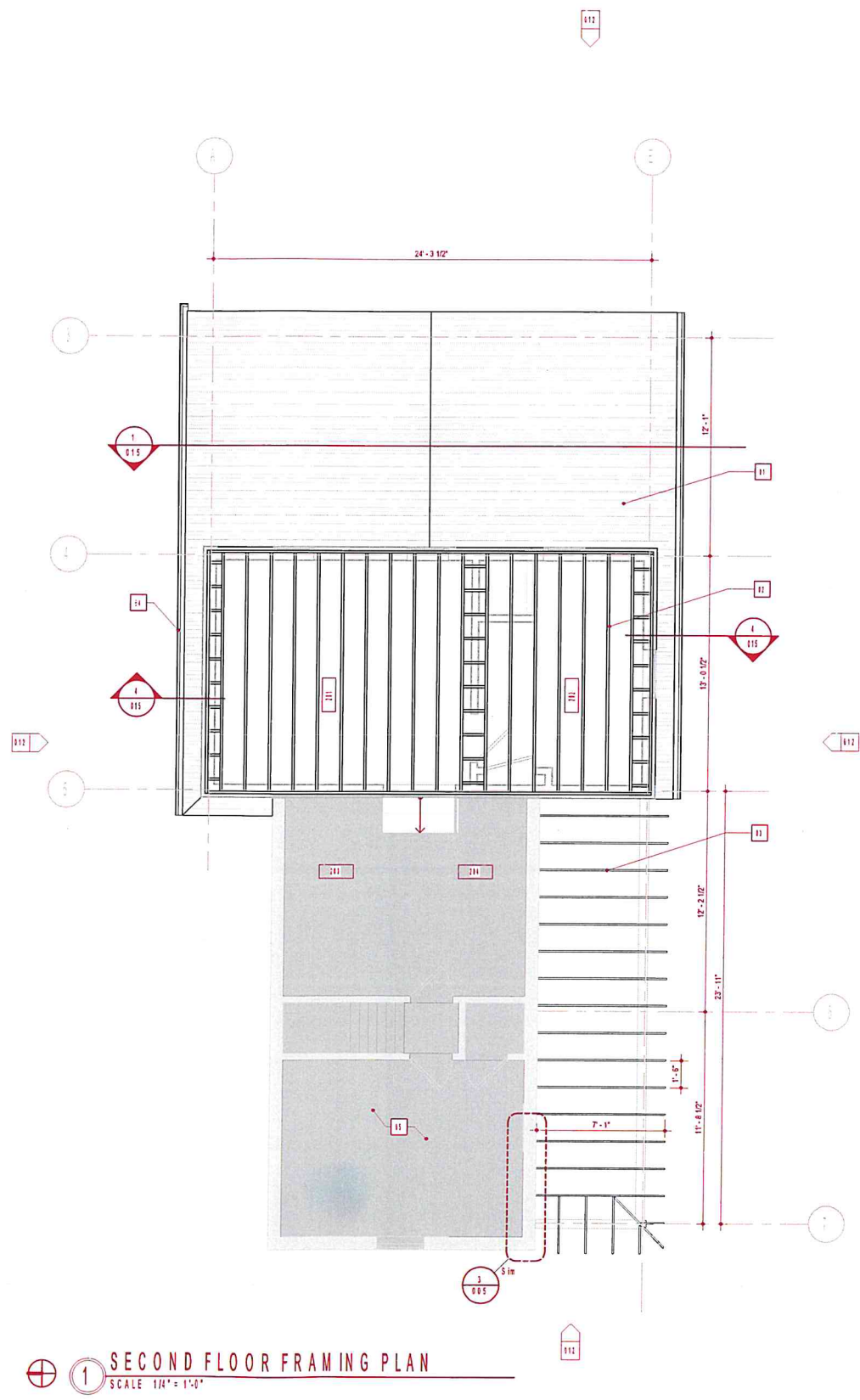
Revised	By	Date

NOTES:
1. The design is based on the information provided by the client. The client is responsible for providing accurate and complete information.
2. The design is based on the information provided by the client. The client is responsible for providing accurate and complete information.
3. The design is based on the information provided by the client. The client is responsible for providing accurate and complete information.

02/08/2023
PERMIT SET

FIRST FLOOR REFLECTED
CEILING PLAN

KEYNOTES - 2ND FLOOR FRAMING PLAN	
01	LOWER ROOF, 3/12 PITCH, TYPICAL FRAMING
02	2X10 @ 16" O.C. FRAMING FOR TYPICAL FLOOR JOISTS
03	2X6 P.T. PERGOLA FRAMING, PAINTED WHITE TO MATCH TRIM
04	GUTTERS TO MATCH EXISTING HOUSE
05	EXISTING STRUCTURE TO REMAIN, NOT IN PROJECT SCOPE



AL COLLINS
RESIDENTIAL ADDITION
1001 WEST 10TH STREET, SUITE 100
DENVER, CO 80202



Project: 21014
Drawing: 02/08/2023
Scale: 1/8" = 1'-0"
Sheet: 008
Title: SECOND FLOOR FRAMING

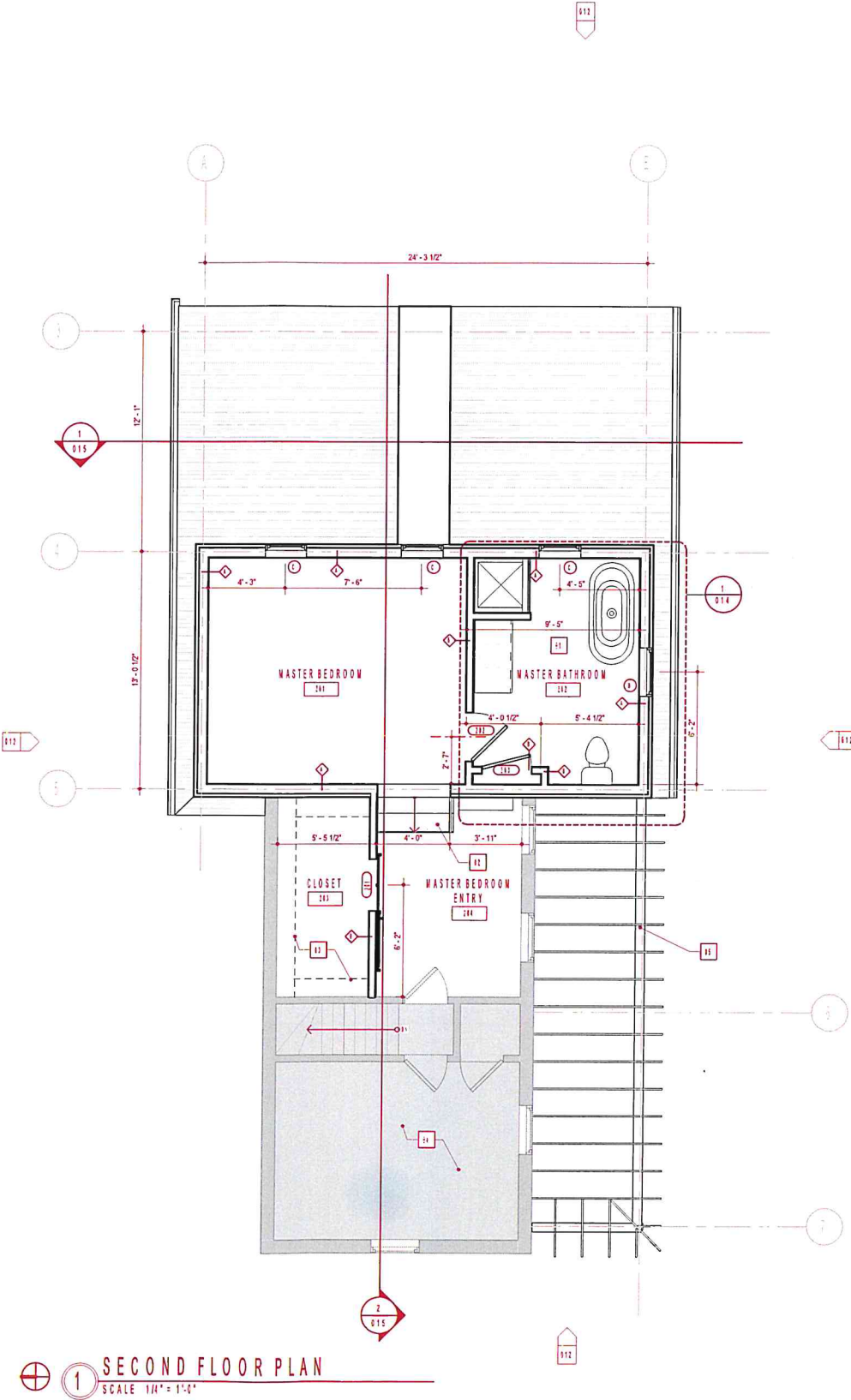
TRAZA DESIGN
1001 WEST 10TH STREET, SUITE 100
DENVER, CO 80202
TEL: 303.733.1111
WWW.TRAZADENIGN.COM

02/08/2023
PERMIT SET

SECOND FLOOR FRAMING

KEYNOTES - 2ND FLOOR PLAN

- 01 PLUMBER TO RUN HOT, COLD AND SEWER LINES TO BATHROOM
- 02 FRAME STAIRS TO UPPER LEVEL, +1'-7"
- 03 CLOSET POLE AND SHELF
- 04 EXISTING STRUCTURE TO REMAIN, NOT IN PROJECT SCOPE
- 05 2X6 P.T. PERGOLA FRAMING, PAINTED WHITE TO MATCH TRIM



1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

ALCOLLINS
RESIDENTIAL ADDITION
PROJECT NUMBER: 22004



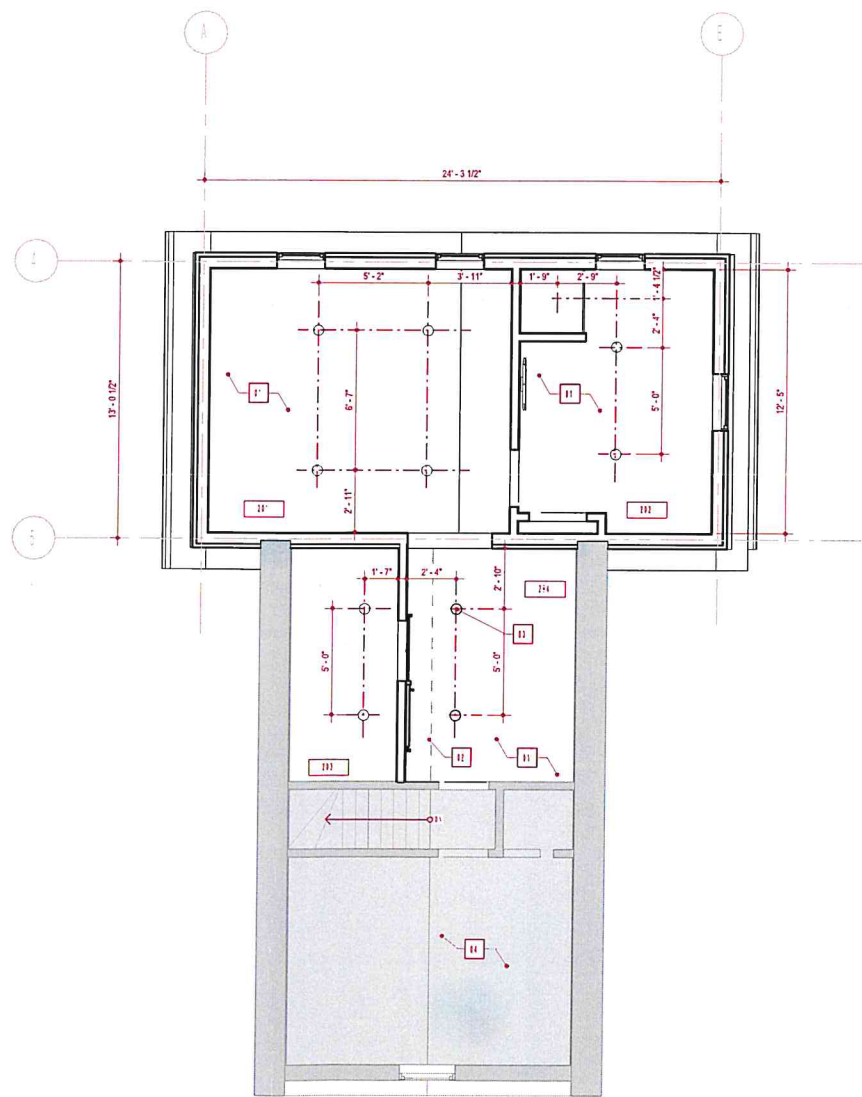
Project: 22004
Drawn: 02/08/2023
Revised: 02/08/2023
Scale: 1/4" = 1'-0"
Sheet: 009
Title: SECOND FLOOR PLAN

Notes:
1. The owner has requested that the existing structure be retained and the new addition be constructed with a pergola framing system.
2. The existing structure is a single-story house with a brick exterior and a gabled roof.
3. The new addition will be a two-story house with a brick exterior and a gabled roof.
4. The new addition will include a master bedroom, master bathroom, and master bedroom entry.
5. The new addition will include a staircase leading to an upper level.

Project: 22004

02/08/2023
PERMIT SET

SECOND FLOOR PLAN



1 SECOND FLOOR REFLECTED CEILING PLAN
SCALE 1/4" = 1'-0"

REFLECTED CEILING PLAN LEGEND

- RECESSED LIGHT FIXTURE (reflected ceiling plan)
- NEW GYP. DG. CEILING (reflected ceiling plan)
- EXIST. GYP. DG. CEILING TO REMAIN (reflected ceiling plan)

KEYNOTES - 2ND FLOOR REFLECTED CEILING PLAN

- 01 VAULTED CEILING
- 02 RIDGE BEAM
- 03 USE ADJUSTABLE RECESSED LIGHTING FOR VAULTED CEILINGS
- 04 EXISTING STRUCTURE TO REMAIN, NOT IN PROJECT SCOPE

AL COLLINS
RESIDENTIAL ADDITION
PROJECT ENTRY 01

TRAZA
DESIGN

Project: 22000

Client: AL COLLINS
Architect: TRAZA DESIGN
Interior Designer: TRAZA DESIGN
Date: 02/08/2023
Scale: 1/4" = 1'-0"

Notes:
1. This plan is a reflected ceiling plan and should be used in conjunction with the floor plan and section drawings.
2. The ceiling height is indicated by the room numbers.
3. The ceiling is to be finished with gypsum board and painted white.
4. The ceiling is to be finished with gypsum board and painted white.

Project: 22000

02/08/2023

PERIOD SET

SECOND FLOOR
REFLECTED CEILING PLAN

010

01	EXISTING STRUCTURE TO REMAIN. NOT IN PROJECT SCOPE
02	1'-0" OVERHANG
03	14" RIDGE BEAM
04	2 X 10 NOMINAL LUMBER @ 3" / 12" SLOPE
05	2 X 10 NOMINAL LUMBER @ 5" / 12" SLOPE



AL COLLINS
RESIDENTIAL ADDITION

TRAZA
DESIGN

$$2 \times 10^{-5} \text{ s}$$

2020

02/08/2023

PERMIT 301

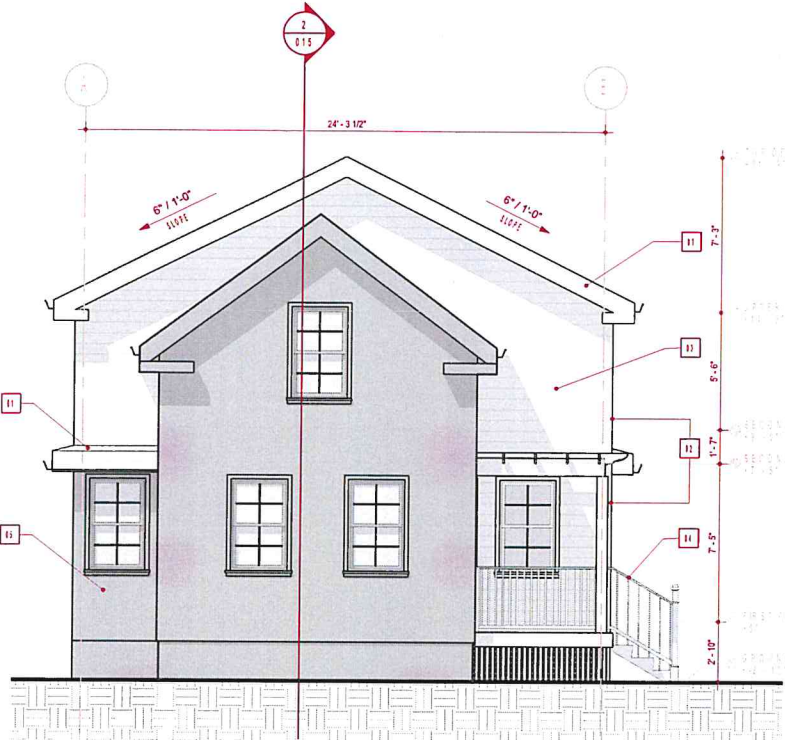
WATER AND OFFER ROOT PLAN

044

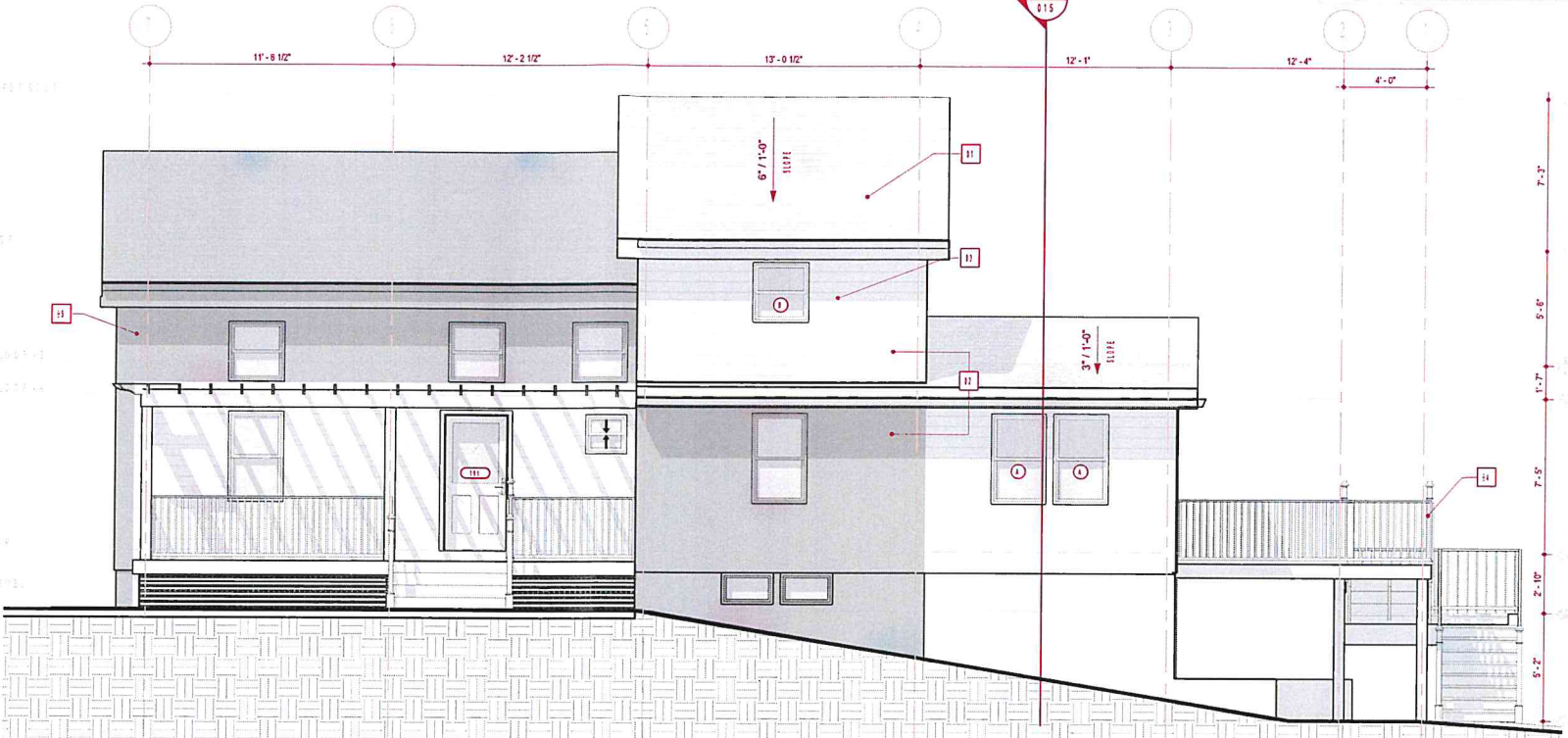
vii

MG [PQVGU#GZVGTQT#NGXCVIQP

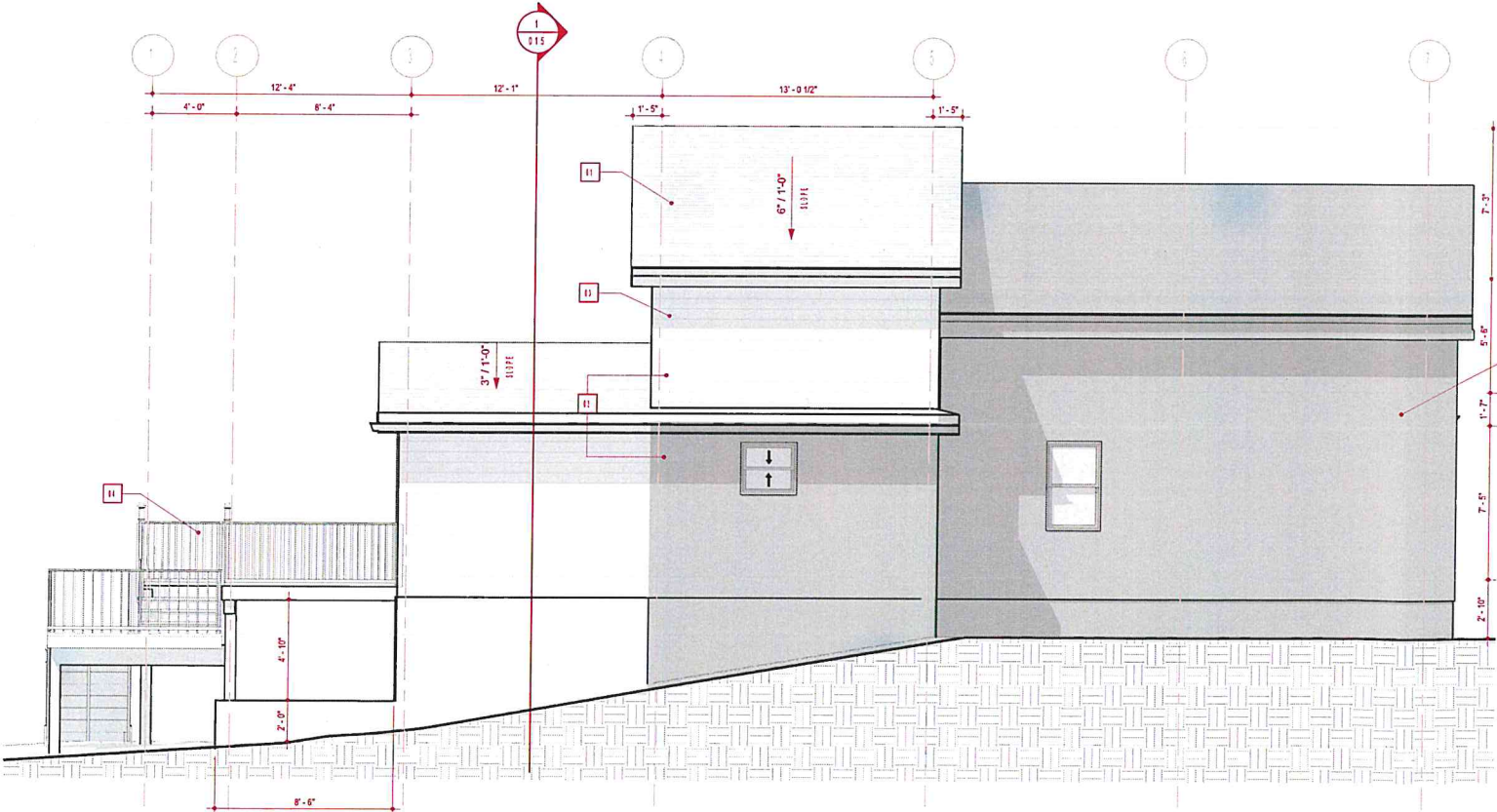
- 01 ASPHALT SHINGLE ROOF. TYPICAL WOOD FRAMING. ALUMINUM TRIM FASCIA
- 02 ALIGN WALL
- 03 EXTERIOR SIDING TO MATCH HOUSE. TBD BY OWNER
- 04 PROPOSED WOOD DECK WITH TREXFINISH. RAILING DESIGN TBD BY OWNER
- 05 EXISTING STRUCTURE TO REMAIN



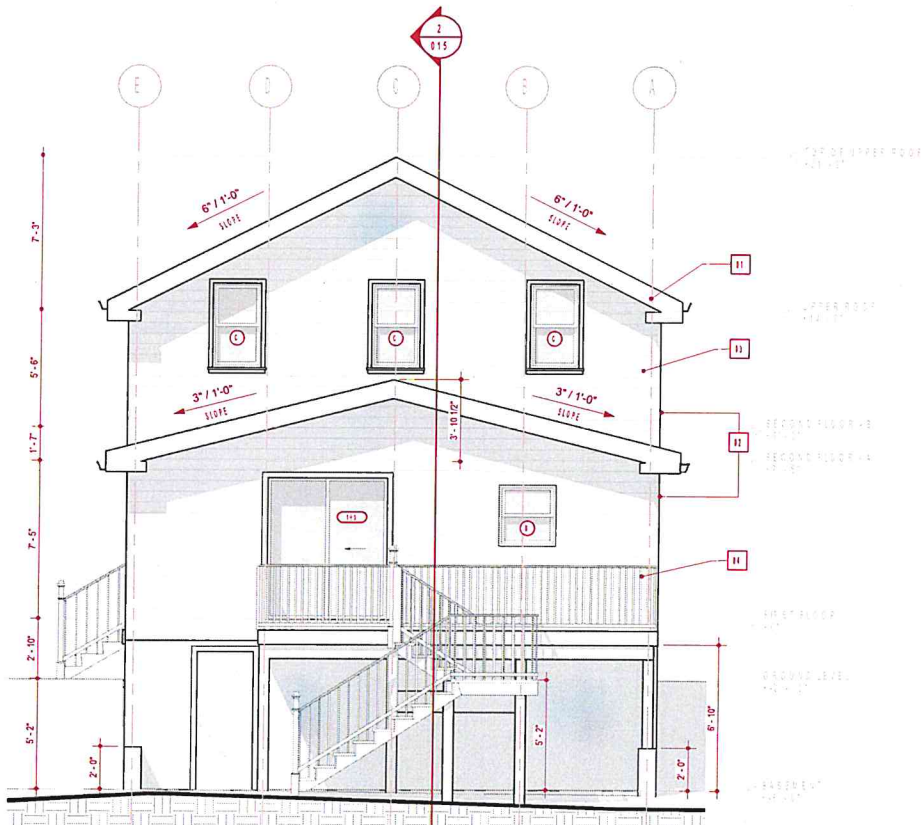
1 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



2 EAST ELEVATION
SCALE 1/4" = 1'-0"



3 WEST ELEVATION
SCALE 1/4" = 1'-0"



4 NORTH ELEVATION
SCALE 1/4" = 1'-0"

AL COLLINS
RESIDENTIAL ADDITION

TRAZA
DESIGN

Project: 012
Location: 12345 Main St, Anytown, CA 90210
Client: Mr. & Mrs. J. Doe
Architect: TRAZA DESIGN
Date: 02/08/2023
Permit Set

Notes:
1. All work shall conform to the latest editions of the International Residential Code (IRC) and local ordinances.
2. The proposed addition shall be constructed with materials and workmanship of equivalent quality to the existing structure.
3. The existing foundation shall be inspected and found adequate to support the proposed addition.

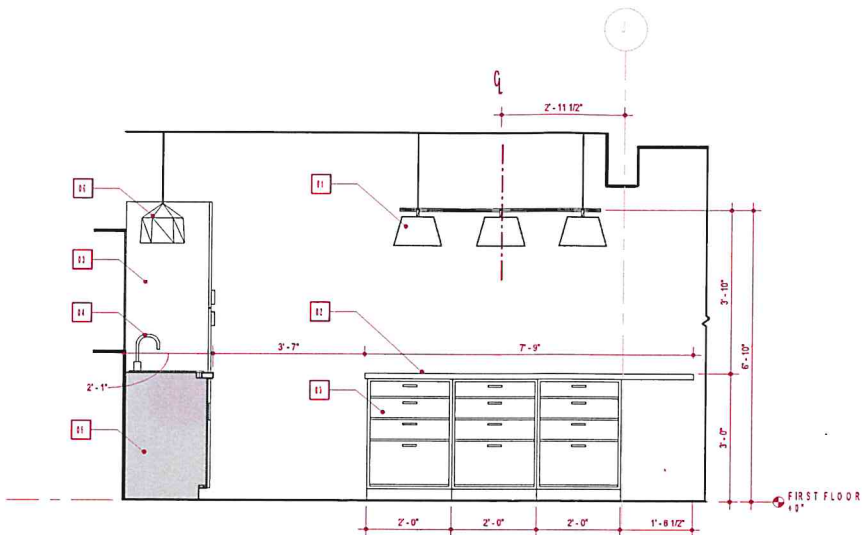
02/08/2023

PERMIT SET

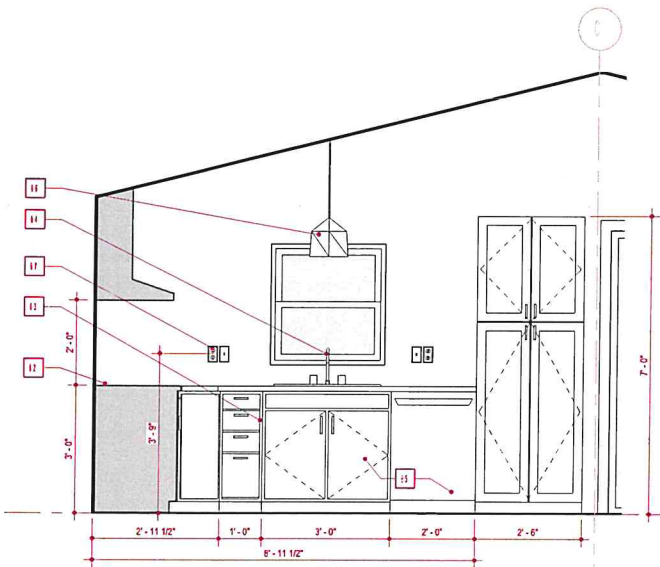
EXTERIOR ELEVATIONS

KEYNOTES - KITCHEN PLAN

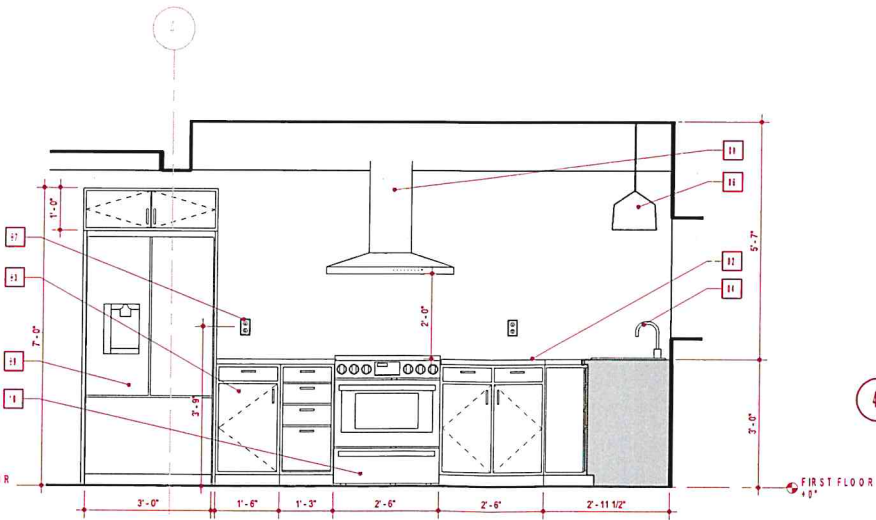
- 01 PENDANT LIGHTING CENTERED OVER ISLAND TO BE SELECTED BY OWNER
- 02 SOLID SURFACE COUNTER-TOP TO BE SELECTED BY OWNER
- 03 CABINET FINISH AND STYLE TO BE SELECTED BY OWNER
- 04 PLUMBING HARDWARE TO BE DETERMINED BY OWNER
- 05 PLUMBER TO RUN HOT, COLD AND SEWER LINES
- 06 PENDANT LIGHT CENTERED OVER SINK, TO BE SELECTED BY OWNER
- 07 ELECTRICAL OUTLET + SWITCH
- 08 RANGE HOOD DUCTED TO EXTERIOR
- 09 36" REFRIDGERATOR PROVIDED BY OWNER. G.C. TO PLUMB WATER AND ELECTRICAL LINE
- 10 RANGE OVEN PROVIDED BY OWNER. G.C. TO PROVIDE ELECTRICAL AND GAS LINE



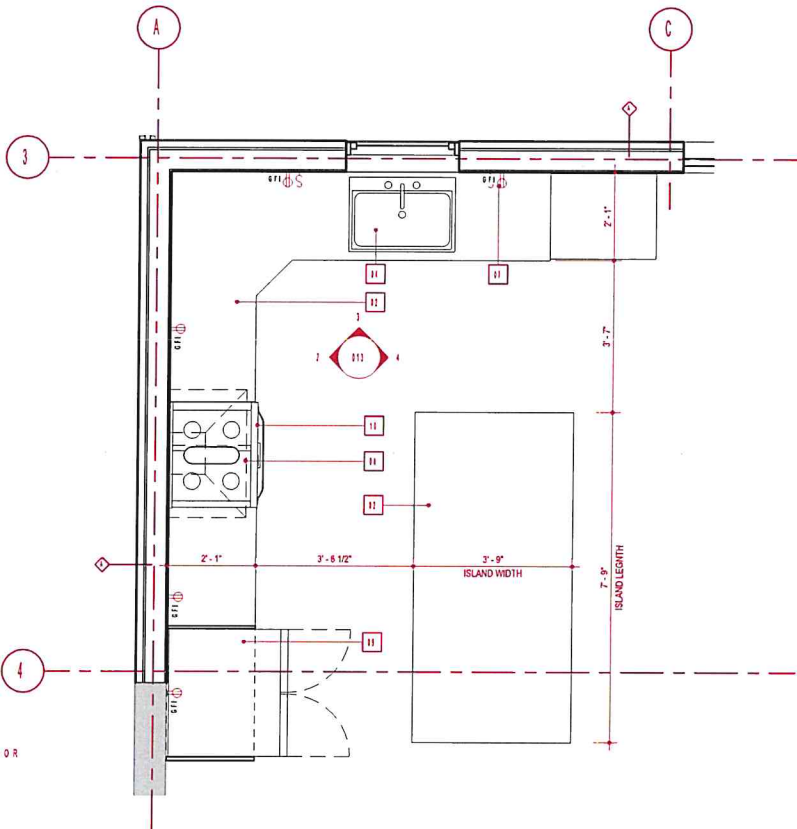
4 KITCHEN ISLAND
SCALE 1/2" = 1'-0"



3 KITCHEN SINK ELEVATION
SCALE 1/2" = 1'-0"



2 KITCHEN STOVE ELEVATION
SCALE 1/2" = 1'-0"



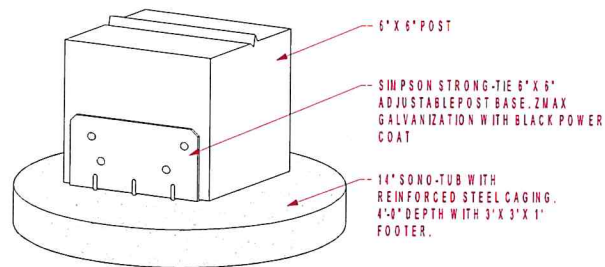
1 KITCHEN ENLARGEMENT PLAN
SCALE 1/2" = 1'-0"

Notes:
1. All dimensions are in feet and inches.
2. All dimensions are to the center of the wall or partition.
3. All dimensions are to the center of the door or window.
4. All dimensions are to the center of the island.
5. All dimensions are to the center of the sink.
6. All dimensions are to the center of the stove.
7. All dimensions are to the center of the refrigerator.
8. All dimensions are to the center of the range hood.
9. All dimensions are to the center of the pendant lighting.
10. All dimensions are to the center of the electrical outlet.

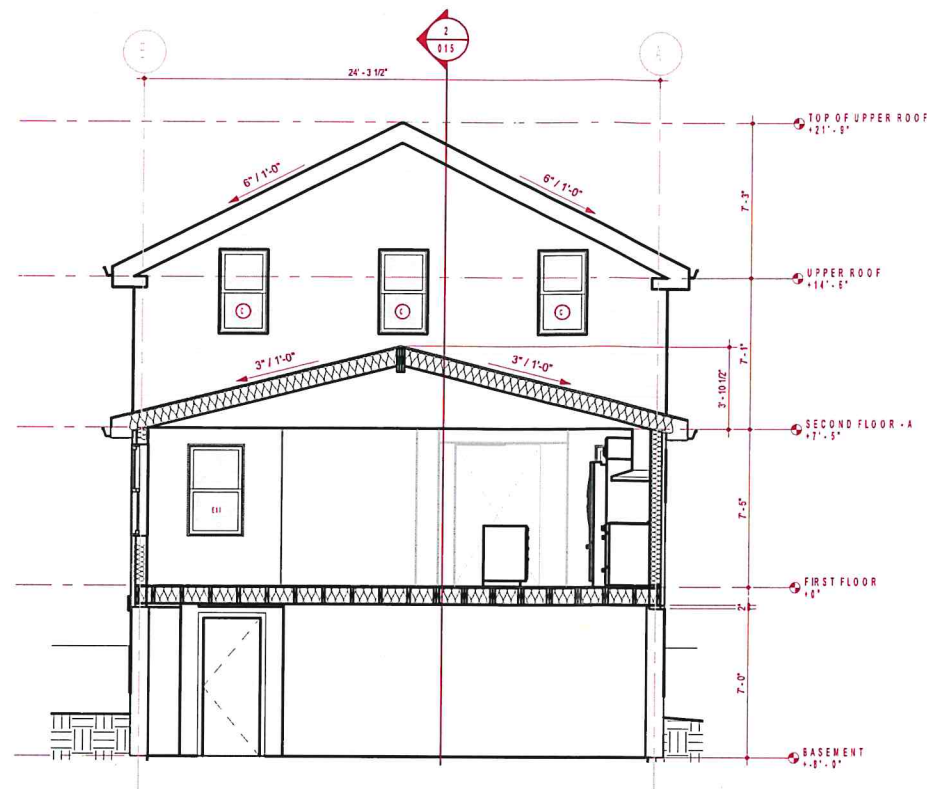
02/08/2023

PERMIT SET

ENLARGED KITCHEN PLANS,
AND ELEVATIONS



3 POST BASE DETAIL - 6X6 - 14"
SCALE 1" = 1'-0"



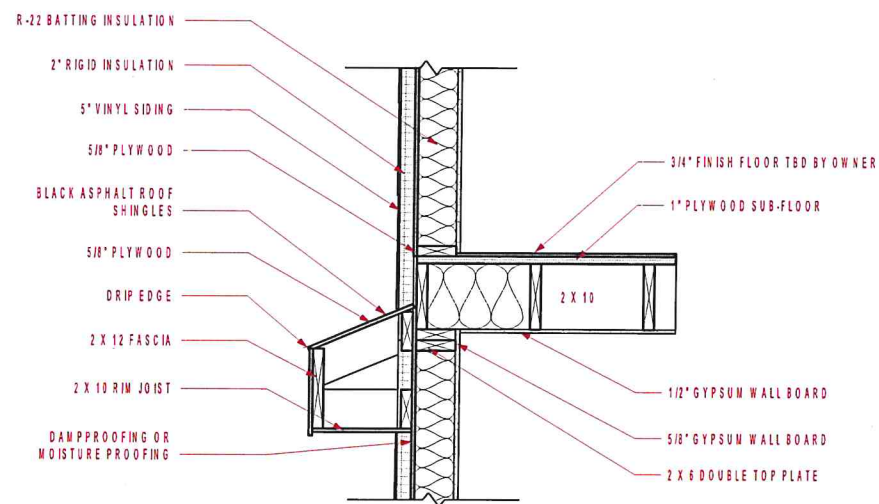
1 EAST/WEST SECTION
SCALE 1/4" = 1'-0"

WINDOW SCHEDULE					
Type Mark	Type	MARK	WIDTH	HEIGHT	COMMENTS
A	2'-6" x 4'-4"	100	2'-7 1/2"	4'-3 1/2"	MATCH EXISTING WINDOW SIZE. DOUBLE HUNG LOW-E PVC FRAME
A	2'-6" x 4'-4"	101	2'-7 1/2"	4'-3 1/2"	MATCH EXISTING WINDOW SIZE. DOUBLE HUNG LOW-E PVC FRAME
B	2'-6" x 2'-10"	103	2'-8"	2'-10"	DOUBLE HUNG. LOW-E. PVC FRAME
B	2'-6" x 2'-10"	104	2'-8"	2'-10"	DOUBLE HUNG. LOW-E. PVC FRAME
C	2'-4" x 4'-0"	105	2'-3 1/2"	3'-11 1/2"	DOUBLE HUNG. LOW-E. PVC FRAME
C	2'-4" x 4'-0"	106	2'-3 1/2"	3'-11 1/2"	DOUBLE HUNG. LOW-E. PVC FRAME
C	2'-4" x 4'-0"	107	2'-3 1/2"	3'-11 1/2"	DOUBLE HUNG. LOW-E. PVC FRAME

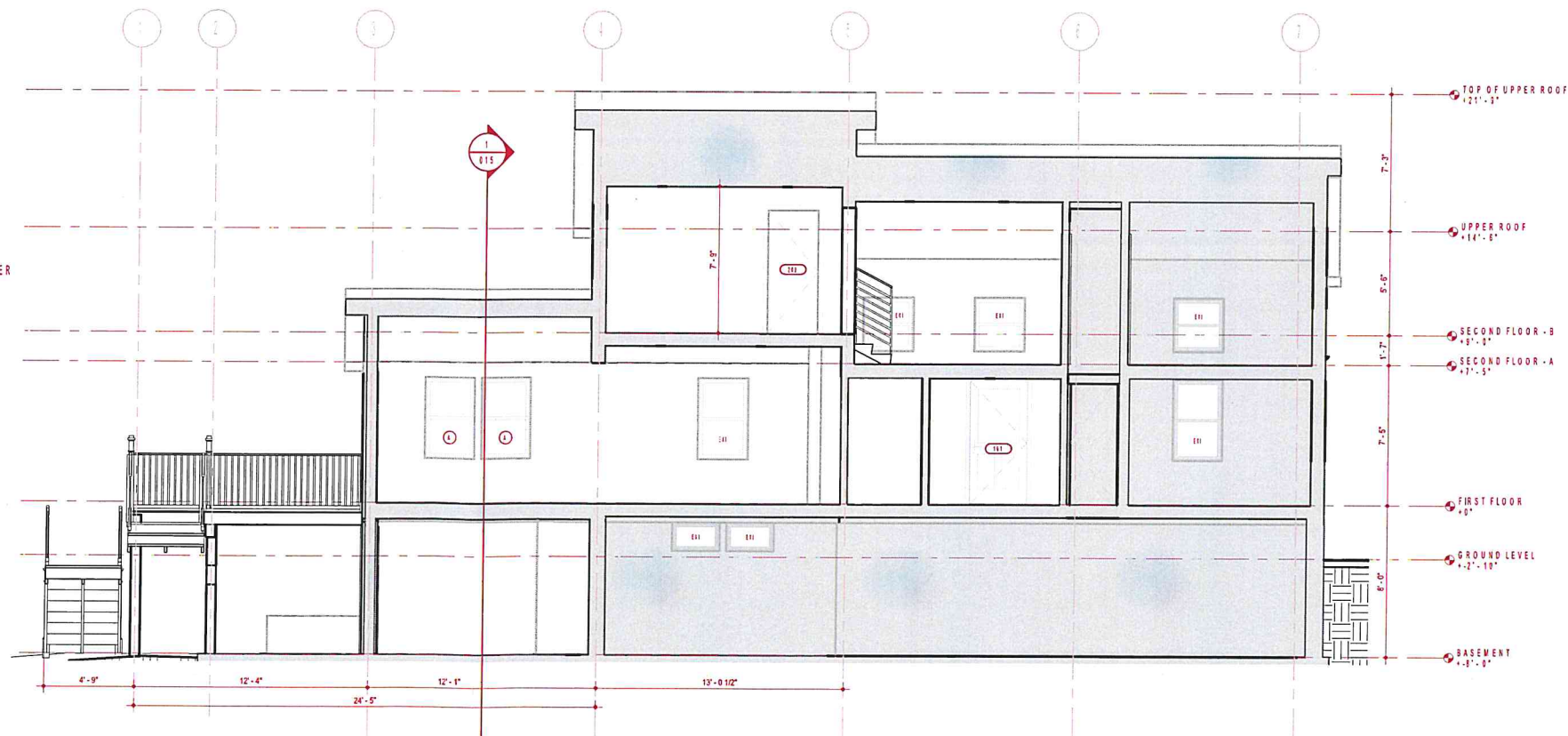
TOTAL NUMBER OF WINDOWS: 7

DOOR SCHEDULE			
MARK	PANEL WIDTH	PANEL HEIGHT	COMMENTS
101	3'-0"	6'-6"	EXTERIOR - SOLID CORE
102	2'-8"	6'-6"	INTERIOR - HALLOW-CORE
103	5'-8"	6'-8"	EXTERIOR - SLIDING DOOR
201	3'-0"	7'-0"	INTERIOR - SLIDING BARN DOOR
202	2'-8"	6'-6"	INTERIOR - HALLOW-CORE
203	2'-8"	6'-6"	INTERIOR - HALLOW-CORE
204	2'-8"	6'-6"	INTERIOR - HALLOW-CORE

TOTAL NUMBER OF DOORS: 7



4 ROOF TO WALL CONNECTION
SCALE 1" = 1'-0"



2 NORTH/SOUTH SECTION
SCALE 1/4" = 1'-0"

AL COLLINS
RESIDENTIAL ADDITION

TRAZA
DESIGN

Project: 202301

Date: 02/08/2023

Notes: 1. All work to be done in accordance with the latest edition of the International Residential Code (IRC) and the latest edition of the International Building Code (IBC).

2. The owner is responsible for obtaining all necessary permits and approvals from the local building department.

3. The contractor is responsible for obtaining all necessary permits and approvals from the local building department.

4. The contractor is responsible for obtaining all necessary permits and approvals from the local building department.

5. The contractor is responsible for obtaining all necessary permits and approvals from the local building department.

6. The contractor is responsible for obtaining all necessary permits and approvals from the local building department.

BUILDING SECTIONS,
DETAILS, DOOR & WINDOW
SCHEDULES