

BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND
ASSESSOR'S PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76

PERMITTING PLAN

DECEMBER 6, 2022
REVISED: MAY 19, 2023

PREPARED FOR
**BRADY SULLIVAN
PROPERTIES**
670 N. COMMERCIAL STREET
MANCHESTER, NH 03101
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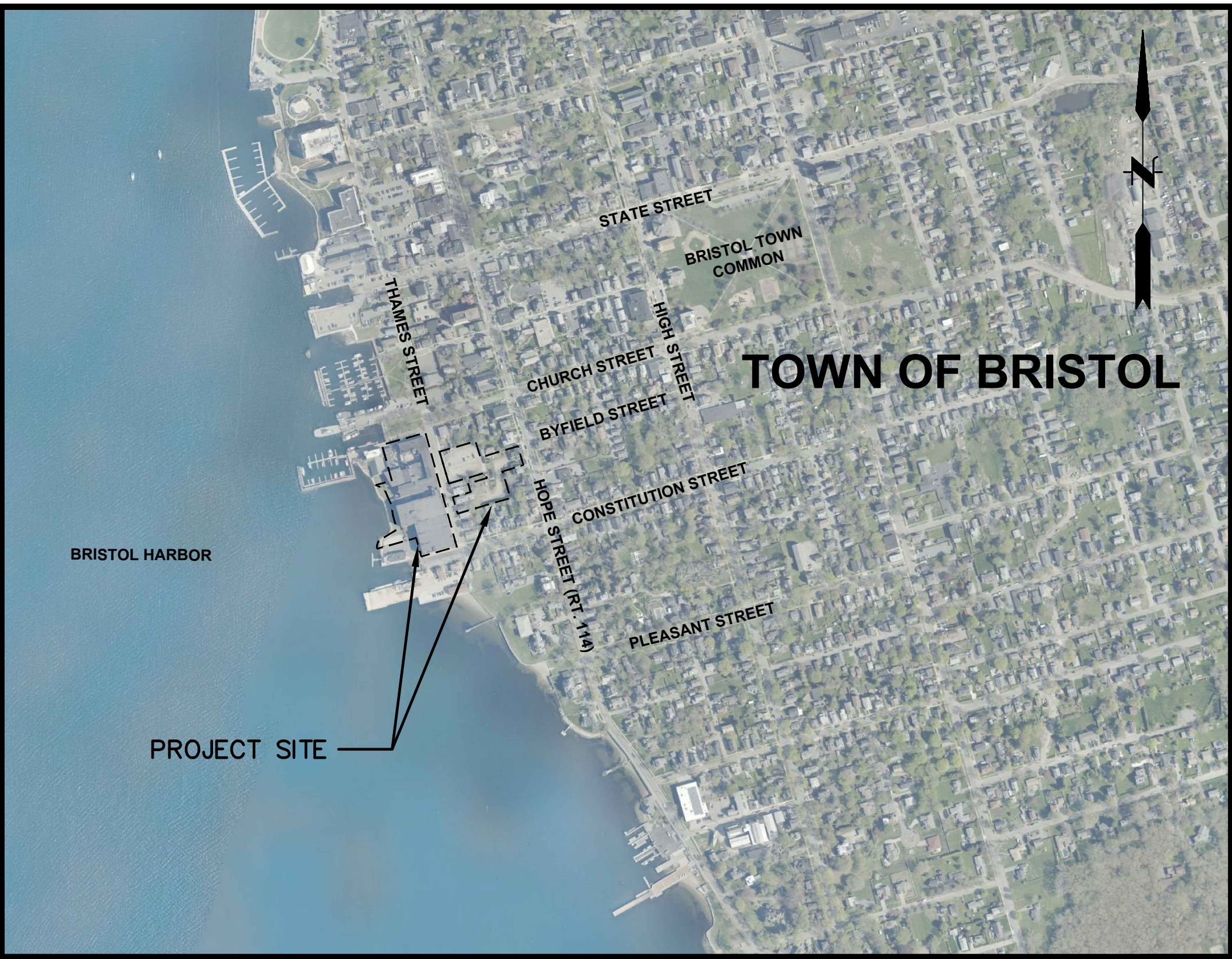
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SHEET INDEX

<u>SHEET No.</u>	<u>SHEET TITLE</u>
GI-001	COVER SHEET
CN-001	GENERAL NOTES AND LEGEND
1 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
2 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
3 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
CP-101	SITE DEMOLITION PLAN
CE-101	SOIL EROSION & SEDIMENTATION CONTROL PLAN
CS-101	SITE PLAN
CS-102	SITE CIRCULATION PLAN
CG-101	GRADING PLAN
CG-102	DRAINAGE PLAN
CU-101	WATER & SEWER PLAN
LP-101 - LP-103	PLANTING PLANS
CD-501 - CD-502	PLANTING DETAILS
CD-503 - CD-511	CIVIL DETAILS
CD-512	LANDSCAPING DETAILS



LOCATION MAP
SCALE: 1" = 500'

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

GI-001

SHEET 1 OF 27

LEGEND		LEGEND	
EXIST	PROP	EXIST	PROP

LEGEND NOTE

SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SHOWN ON THE DRAWINGS TO SCALE OR TO THEIR ACTUAL DIMENSION OR LOCATION. COORDINATE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

GENERAL NOTES

- REFERENCES:
 - THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "STATE STANDARD SPECIFICATIONS" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 - THE STATE OF RHODE ISLAND STANDARD DETAILS, 2015 EDITION, AND ALL CURRENT REVISIONS, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "STATE STANDARD DETAILS" OR "R.I. STD. ###" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLANDS STANDARD DETAILS.
 - THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, 2016 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
 - THE STATE OF RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL, COASTAL MANAGEMENT PROGRAM "RED BOOK" (650-RCP-20-00-01), 2022 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
 - THE STATE OF RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL, COASTAL MANAGEMENT PROGRAM "METRO BAY REGION SPECIAL AREA MANAGEMENT PLAN" (650-ROR-20-00-5), 2022 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
 - THE SITE-SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC PLAN) PREPARED BY FUSS & O'NEILL, INC., DATED NOVEMBER 4, 2022, IS MADE A PART HEREOF, AS IF ATTACHED HERETO.
 - EXISTING CONDITIONS:
 - SURVEY: PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION WERE OBTAINED FROM A PLAN TITLED BOUNDARY AND TOPOGRAPHIC SURVEY, BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021.
 - FLOOD ZONE: THE SUBJECT SITE LIES WITHIN ZONE "AE", A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL-CHANCE FLOOD EVENT, WITH BASE FLOOD ELEVATION OF 12 FT.; & ZONE "VE", A SPECIAL FLOOD ZONE AREA, WITH BASE FLOOD ELEVATION OF 14 FT. & ZONE "X", WITH 0.2% ANNUAL CHANCE FLOOD HAZARD, AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE, PER FLOOD INSURANCE RATE MAP (FIRM) 44001C0014H, EFFECTIVE JULY 7, 2014.
 - UTILITIES: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND HAVE NOT YET BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
 - MATERIAL:
 - CURBING: CURBING SHALL BE GRANITE (R.I. STD. 7.3.0), CONCRETE (R.I. STD. 7.1.0) OR BITUMINOUS BERM (R.I. STD. 7.5.1) AND IN ACCORDANCE WITH SECTION M.09 OF THE STATE STANDARD SPECIFICATIONS.
 - BITUMINOUS CONCRETE PAVEMENT: BITUMINOUS PAVEMENTS SHALL MEET REQUIREMENTS OF PART 400 OF THE STATE STANDARD SPECIFICATIONS.
 - CEMENT CONCRETE SIDEWALKS: ALL PORTLAND CEMENT CONCRETE USED IN THE CONSTRUCTION OF THE CEMENT CONCRETE SIDEWALKS SHALL BE CLASS A(AE) AND CONFORM TO THE REQUIREMENTS AS SET FORTH IN SUBSECTIONS 601.01.1 AND 601.03.1 OF THE STATE STANDARD SPECIFICATIONS.
 - SIGNAGE: ALL SIGNAGE SHALL MEET MUTCD REQUIREMENTS AND COMPLY WITH STANDARDS IN RIDOT SECTIONS T.15. AND M.16.
 - UTILITIES:
 - STORM DRAINAGES: STORM DRAIN PIPING SHALL BE SMOOTH LINED BE DOUBLE-WALL HIGH DENSITY POLYETHYLENE PIPE, (n=0.012) WITH WATERTIGHT JOINTS. THE SIZES OF ALL PIPES ARE NOTED ON THE PLANS.

ALL CATCH BASINS SHALL BE PRECAST CONCRETE, AS SPECIFIED ON THE DETAIL SHEETS, WITH BICYCLE SAFE GRATES, R.I. STANDARD 6.3.2, OR APPROVED EQUAL.
 - SEWER: ALL SEWER PIPE, UNLESS OTHERWISE SPECIFIED, SHALL BE POLYVINYL CHLORIDE (SDR 35).

CLEAN OUTS SHALL BE INSTALLED WHERE THE DISTANCE FROM THE BUILDING TO THE MAIN SEWER IS GREATER THAN 100 FEET OR WHERE BENDS GREATER THAN 45° ARE PROPOSED. CLEAN OUTS SHALL BE MADE BY INSTALLING "Y" AND ONE-EIGHTH BENDS OF THE SAME DIAMETER AS THE BUILDING SEWER, OR A MAXIMUM OF FOUR INCHES. THE CLEAN OUT SHALL BE BROUGHT UP FROM THE BUILDING SEWER TO FINISH GRADE WITH A ROADWAY BOX.

SEWER INSTALLATION PRACTICES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH TOWN OF BRISTOL DPW STANDARDS.
 - GAS AND ELECTRIC: COORDINATE AND INSTALL GAS, ELECTRIC, AND COMMUNICATIONS UTILITIES IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE APPROPRIATE UTILITY COMPANIES.
 - WATER: WATER MAINS SHALL BE CEMENT LINED DUCTILE IRON, DUCTILE IRON SHALL BE CLASS 52 AND CONFORM TO AWWA C151. CEMENT LINING SHALL CONFORM TO AWWA C104 AND HAVE DOUBLE THICKNESS. JOINTS AT FITTINGS, VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINTS, AWWA C11, WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE, AWWA C111, WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. FITTINGS SHALL BE CEMENT-LINED, DUCTILE IRON, AWWA C110, WITH A 250 PSI MINIMUM.
- WATER SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH BRISTOL COUNTY WATER AUTHORITY STANDARDS. WATER SERVICE, GREATER THAN 2-INCH DIAMETER, SHALL BE CLASS 52 CEMENT LINED DUCTILE IRON AND CONFORM TO AWWA C151. CEMENT LINING SHALL CONFORM TO AWWA C104 AND HAVE DOUBLE THICKNESS. JOINTS AT FITTINGS, VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINTS, AWWA C111, WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE, AWWA C111, WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. FITTINGS SHALL BE CEMENT-LINED, DUCTILE IRON, AWWA C110, WITH A 250 PSI MINIMUM.
- CURB STOP BOXES SHALL BE IN CONFORMANCE WITH BRISTOL COUNTY WATER AUTHORITY STANDARDS.
- ALL WATER GATES AND VALVES SHALL BE NRS, MEET AWWA C500 AND C509 STANDARDS, AND OPEN TO THE LEFT. ALL WATER LINES SHALL HAVE A MINIMUM OF 4.5 FEET OF GROUND COVER AND A MINIMUM OF 10 FOOT HORIZONTAL SEPARATION FROM THE SEWER SYSTEM. WHERE THE WATER MAIN CROSSES ANY UTILITY A VERTICAL CLEARANCE OF 18 INCHES MUST BE MAINTAINED. AT CROSSINGS BETWEEN WATER AND SEWER LINES, THE SEWER LINE SHALL BE SLEEVED AND ENCASED IN CONCRETE FOR A DISTANCE OF AT LEAST 10-FEET IN EACH DIRECTION OF THE CROSSING.

ABBREVIATIONS

GENERAL APPROX	UTILITY
BIT	CMP CATCH BASIN
BW	CPP CORRUGATED METAL PIPE
CB	CPC CORRUGATED POLYETHYLENE PIPE
CCB	DCB DOUBLE CATCH BASIN
ELEV	DI DUCTILE IRON PIPE
EXIST	F&G FRAME AND GRATE
CO	F&C FRAME AND COVER
MAX	HDP HIGH DENSITY POLYETHYLENE
MIN	HYD HYDRANT
NTS	INV INVERT ELEVATION
PCC	PVC POLYVINYL CHLORIDE PIPE
PROP	RCP REINFORCED CONCRETE PIPE
R&D	RD ROOF DRAIN
R&R	SMH SEWER MANHOLE
R&S	TSV TAPPING SLEEVE, VALVE AND BOX
TOS	UP UTILITY POLE
TW	
TYP	
VGC	

GENERAL CONSTRUCTION REQUIREMENTS

- THE SITE IS A REGULATED SITE UNDER THE RIDEM "RULES AND REGULATIONS FOR THE INVESTIGATION AND REMEDIATION OF HAZARDOUS MATERIALS RELEASES" ("REMEDIATION REGULATIONS"), AND A SITE-SPECIFIC REMEDIAL ACTION WORK PLAN (RAWP). COMPLY WITH THE RAWP AND RIDEM OFFICE OF WASTE MANAGEMENT REQUIREMENTS FOR ALL LAND DISTURBANCE ACTIVITIES AND CONSTRUCTION. ALL EXCESS EXCAVATED MATERIALS, EXCESS FILL, EXCESS CONSTRUCTION MATERIALS, AND DEBRIS SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS, AND RAMP.
 - ALL EXISTING SOIL AT THE SITE IS CONSIDERED TO BE REGULATED SOIL, FALLS UNDER RIDEM JURISDICTION, AND AT THE END OF THE PROJECT, SHOULD BE COVERED BY A SOIL CAP. ALL EXCAVATED ON-SITE SOIL TO BE REMOVED FROM THE SITE BY THE CONTRACTOR MUST BE MANAGED IN ACCORDANCE WITH THE RAWP AND DISPOSED OF AT A RIDEM-APPROVED FACILITY.
 - PRIOR TO IMPORTATION TO THE SITE, ALL EARTHEN MATERIAL, INCLUDING BUT NOT LIMITED TO BACKFILL, BEDDING, BORROW, GRANULAR MATERIAL, FILL, GRAVEL BORROW, AND GRAVEL BASE, MUST BE LABORATORY ANALYZED AND APPROVED AS CLEAN FILL BY THE ENGINEER IN ACCORDANCE WITH THE RAWP.
 - THE SITE IS REGULATED UNDER OSHA 29 CFR 1910.120 AND 1926.65. ALL CONTRACTORS AND WORKERS SHALL MAINTAIN COMPLIANCE WITH HAZARDOUS WASTE OPERATIONS AND EMERGENCY RESPONSE (HAZWOPER) TRAINING AND CERTIFICATION REQUIREMENTS.
 - CONTRACTOR IS RESPONSIBLE FOR PREPARING AND FOLLOWING A SITE-SPECIFIC HEALTH AND SAFETY PLAN (HASP) IN ACCORDANCE WITH OSHA 29 CFR 1910.120. A COPY MUST BE MAINTAINED ON-SITE AT ALL TIMES AND BE AVAILABLE FOR EXAMINATION BY THE OWNER AND ENGINEER, IF REQUESTED. THE SITE IS REGULATED UNDER OSHA 29 CFR 1910.120 AND 1926.65. ALL CONTRACTORS AND WORKERS SHALL MAINTAIN COMPLIANCE WITH HAZARDOUS WASTE OPERATIONS AND EMERGENCY RESPONSE (HAZWOPER) TRAINING AND CERTIFICATION REQUIREMENTS.
 - CONTRACTOR IS RESPONSIBLE FOR PREPARING AND FOLLOWING A SITE-SPECIFIC HEALTH AND SAFETY PLAN (HASP) IN ACCORDANCE WITH OSHA 29 CFR 1910.120. A COPY MUST BE MAINTAINED ON-SITE AT ALL TIMES AND BE AVAILABLE FOR EXAMINATION BY THE OWNER AND ENGINEER, IF REQUESTED.
 - DISCHARGES FROM CONSTRUCTION SITE ARE REGULATED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RHODE ISLAND POLLUTANT DISCHARGE SYSTEM ELIMINATION (RIDPES) PROGRAM. THE PROJECT SHALL COMPLY WITH THE CONDITIONS OF THE RIDPES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE RUNOFF, AND THE TOWN OF BRISTOL CODE OF ORDINANCES, CHAPTER 29 ARTICLE III "SOIL EROSION, RUNOFF AND SEDIMENT CONTROL".
 - VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY AND CONFIRM ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS ARE CONSISTENT. NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
 - OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS WITH THE LOCAL AND STATE MUNICIPALITIES. APPLICATION FEES SHALL BE PAID BY OWNER. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED AND THE CONTRACTOR HAS SUPPLIED THE REQUIRED NOTICES.
 - METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
 - DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER/OWNER.
 - CONTACT "DIG SAFE" AT 1-888-344-7233, 72 HOURS PRIOR, EXCLUDING WEEKENDS AND HOLIDAYS, TO ANY EXCAVATION PERFORMED ON SITE.
 - THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES AND NOTIFY OWNER/ENGINEER OF ANY DISCREPANCIES FROM CONTRACT DOCUMENTS. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATIONS REQUIRED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREOF AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING, AT HIS/HER EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
 - AN APPROVED SET OF PLANS, SIGNED SOIL EROSION AND SEDIMENT CONTROL PLAN (AKA STORMWATER POLLUTION PREVENTION PLAN), AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
 - THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
 - IDENTIFY TREES TO BE REMOVED PRIOR TO CONSTRUCTION AND MARK THEM WITH CONSTRUCTION TAPE FOR REVIEW BY THE OWNER/ENGINEER. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHEREVER FEASIBLE. DO NOT REMOVE TREES UNTIL REVIEWED AND APPROVED BY THE OWNER/ENGINEER.
 - PROVIDE PAPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS.
 - RESTORE HARDSCAPE IMPROVEMENTS WITH MATCHING MATERIALS (I.E. ANY PAVEMENT, WALKS, CURBS, ETC.) THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
 - RESTORE DISTURBED LANDSCAPE AREAS TO ORIGINAL CONDITION (I.E. SEEDED, SODDED, PLANTED) UNLESS OTHERWISE DIRECTED WITHIN CONTRACT DOCUMENTS.
 - ADJUST UTILITY COVERS, GRATES, AND HAND HOLES TO FINISH GRADE.
 - ALL EXCESS EXCAVATED MATERIALS, EXCESS FILL, EXCESS CONSTRUCTION MATERIALS, DEBRIS, AND WASTE SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS.
 - DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.
 - WORK IS RESTRICTED TO THE HOURS OF 7 AM TO 5 PM ON MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

MASTER PLAN APPROVAL CONDITIONS

- CHANGE OF CONDITIONS OF THE 2008 TOWN COUNCIL ZONING MAP APPROVAL AND ORDINANCE TEXT INCLUDING RESIDENTIAL AND COMMERCIAL DENSITY USES AS WELL AS MODIFICATION TO THE WIDTH OF THE PARKING SPACES AND THE DOUBLE STRIPING ON THE INTERIOR PARKING SPACES.
- DEDICATION BY DEED OF THE PARKING LOT ON THE NORTHEAST CORNER OF CHURCH AND THAMES STREET, PLAT 10, LOT 32 TO THE TOWN OF BRISTOL FOR PUBLIC PARKING AS REQUIRED BY THE ZONING THAT THERE BE 10% OF THE LAND AREA TO BE SET ASIDE FOR PUBLIC INSTITUTIONAL USES AS REQUIRED BY SECTION 28-284(g).
- CONNECTION OF THE PUBLIC WALKWAY TO THE MARITIME CENTER.
- A TRAFFIC STUDY TO INCLUDE COUNTS TO BE TAKEN IN THE SUMMER MONTHS (JUNE, JULY, AUGUST, OR SEPTEMBER), AND TO BE SUBMITTED TO THE PEER REVIEW OF THE PLANNING BOARD'S CONSULTANT ENGINEER, WITH THE REVIEW FEE TO BE REIMBURSED BY THE APPLICANT IN ACCORDANCE WITH THE REGULATIONS.
- A REVISED FISCAL IMPACT STUDY SUBJECT TO THE PEER REVIEW OF A CONSULTANT SELECTED BY THE PLANNING BOARD WITH REVIEW FEE TO BE REIMBURSED BY THE APPLICANT IN ACCORDANCE WITH THE REGULATIONS.
- DEED RESTRICTIONS ON BOTH THE MILL BUILDING PROPERTY AND THE SURFACE PARKING LOT ACROSS FROM THE MILL SO THAT PARKING IS CONNECTED TO THE MILL AND CANNOT BE SEPARATELY CONVEYED.
- DEED RESTRICTIONS, RUNNING TO THE TOWN OF BRISTOL, ON THE SURFACE PARKING LOT THAT NO STRUCTURES BE BUILT ON THIS PROPERTY.
- PARKING SPACES ON THE SURFACE PARKING LOT TO BE DOUBLE STRIPED.
- ALL SERVICES TO THE RESIDENTIAL UNITS WILL BE PRIVATE INCLUDING RECYCLING AND GARBAGE PICK-UP, SNOW PLOWING, DRIVEWAY AND DRAINAGE MAINTENANCE. THIS SHALL BE A DEED COVENANT IN LAND EVIDENCE RECORDS.

SOIL EROSION AND SEDIMENT CONTROL

- A SITE-SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC PLAN) HAS BEEN PREPARED. THE SESC PLAN MUST BE REVIEWED AND SIGNED BY THE OWNER, OPERATOR (I.E. CONTRACTOR), AND CONTRACTOR'S DESIGNATED SESC INSPECTOR. A HARD-COPY OF THE SIGNED SESC PLAN, INCLUDING ALL INSPECTION REPORTS, CORRECTIVE ACTION LOGS, AND ADDENDA, MUST BE KEPT ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION.
- FOLLOW THE SITE-SPECIFIC SESC PLAN, SITE PREPARATION PLAN, EROSION AND SEDIMENT CONTROL SPECIFICATION, AS WELL AS RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK AND THE TOWN OF BRISTOL CODE OF ORDINANCES, CHAPTER 29 ARTICLE III "SOIL EROSION, RUNOFF AND SEDIMENT CONTROL". IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THE PLANS, ALL EROSION AND SEDIMENT CONTROL MEASURES OR WORKS AND REHABILITATION MEASURES MUST CONFORM TO OR EXCEED THESE REQUIREMENTS.
- THE TIMELY INSTALLATION, INSPECTION, AND MAINTENANCE/REPLACEMENT OF SEDIMENT AND EROSION CONTROL DEVICES TO ENSURE PROPER OPERATION AND PERMIT COMPLIANCE IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL CONSTRUCTION OF THE PROJECT IS COMPLETE AND ACCEPTED BY THE OWNER. THE OWNER IS RESPONSIBLE THEREAFTER. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL CONTINUE TO BE MAINTAINED IN EFFECTIVE CONDITION UNTIL SITE STABILIZATION.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE PLAN, OR AS DIRECTED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND LOCAL MUNICIPALITY, OR AS MAY BE REQUIRED TO PREVENT SEDIMENT FLOW TO STORM DRAINS OR SURFACE WATERS.
- AN INSPECTION OF STORMWATER CONTROL MEASURES MUST BE CONDUCTED BY THE CONTRACTOR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.25 INCHES OF RAINFALL PER TWENTY-FOUR (24) HOUR PERIOD.
- PREPARE AN INSPECTION REPORT SUMMARIZING THE SCOPE OF THE INSPECTION, NAME(S) AND TITLES OF PERSONNEL MAKING THE INSPECTION, THE DATE(S) OF THE INSPECTION, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SESC PLAN, AND CORRECTIVE ACTIONS WHICH MUST BE MADE. SUCH REPORTS MUST IDENTIFY ANY INCIDENTS OF NONCOMPLIANCE. WHERE AN INSPECTION DOES NOT IDENTIFY ANY INCIDENTS OF NONCOMPLIANCE, INSPECTION REPORT MUST STILL BE PREPARED TO CERTIFY THAT THE SITE IS IN COMPLIANCE WITH THE SESC PLAN AND RIDPES PERMIT. THE INSPECTION REPORT MUST BE SIGNED BY THE INSPECTOR AND OPERATOR AND KEPT WITH THE ON-SITE SESC PLAN.
- FOLLOWING AN INSPECTION, ALL CORRECTIVE ACTIONS MUST BE COMPLETED WITHIN SEVEN (7) CALENDAR DAYS. A CORRECTIVE ACTION LOG MUST BE SIGNED BY THE OPERATOR AND KEPT WITH THE ON-SITE SESC PLAN.
- BASED ON THE RESULTS OF THE INSPECTIONS, THE SESC PLAN MUST BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN SEVEN (7) CALENDAR DAYS FOLLOWING THE INSPECTION. SUCH MODIFICATIONS MUST PROVIDE FOR IMPLEMENTATION OF ANY CHANGES TO THE SESC PLAN WITHIN SEVEN (7) CALENDAR DAYS FOLLOWING THE INSPECTION.
- IF AN INSPECTION REVEALS A DISCHARGE OF SEDIMENTS TO THE WATERS OF THE STATE OR A SEPARATE STORM SEWER SYSTEM, THE PERMITEE MUST NOTIFY THIS OFFICE OF THE NATURE OF THE DISCHARGE, THE MEASURES TAKEN TO CLEAN UP THE DISCHARGE, AND THE MEASURES TAKEN TO PREVENT FUTURE RELEASES.
- A HARD COPY OF THE COMPLETE SESC PLAN, INCLUDING ALL INSPECTION REPORTS, CORRECTIVE ACTION LOGS, AND ADDENDA, MUST BE RETAINED BY THE OWNER FOR AT LEAST FIVE (5) YEARS FROM THE DATE THAT THE SITE HAS UNDERGONE FINAL STABILIZATION.

SPILL PREVENTION AND RESPONSE PROCEDURE

- ANY INADVERTENT OR DELIBERATE DISCHARGE OF WASTE OIL OR ANY OTHER POLLUTANT TO THE STORMWATER MANAGEMENT SYSTEM (I.E. INFILTRATION BEST MANAGEMENT PRACTICES, OR CLOSED-CONDUIT DRAINAGE SYSTEM THAT DISCHARGES TO MUNICIPAL SEPARATE STORM SEWER SYSTEM OR WATER BODY) REQUIRES IMMEDIATE NOTIFICATION TO THE RIDEM OIL POLLUTION CONTROL PROGRAM AT (401) 277-2284, AS PER THE OIL POLLUTION CONTROL REGULATIONS. DURING NON-WORKING HOURS, NOTIFICATION OF SPILLS CAN BE MADE TO THE RIDEM DIVISION OF ENFORCEMENT AT (401) 222-3070 (THE 24-HOUR EMERGENCY RESPONSE PHONE NUMBER).
- ANY INCIDENT OF GROUNDWATER CONTAMINATION RESULTING FROM THE IMPROPER DISCHARGE OF POLLUTANTS TO THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AS WELL AS ANY OTHER PARTIES THAT THE RIDEM DETERMINES TO BE RESPONSIBLE FOR THE CONTAMINATION. PURSUANT TO STATE LAWS AND REGULATIONS, THE RIDEM MAY REQUIRE THE PROPERTY OWNER, CONTRACTOR, AND OTHER RESPONSIBLE PARTIES TO REMEDIATE ANY INCIDENTS THAT MAY ADVERSELY IMPACT GROUNDWATER QUALITY.
- UPON TRANSFER OF THE PROPERTY, THE NEW OWNER SHALL BE INFORMED AS TO THE LEGAL RESPONSIBILITIES ASSOCIATED WITH STORMWATER MANAGEMENT SYSTEM, AS INDICATED ABOVE.

STORMWATER MAINTENANCE PROGRAM

- OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEM SHALL BE CONDUCTED IN ACCORDANCE WITH SITE-SPECIFIC LONG-TERM OPERATION & MAINTENANCE PLAN.

CONSTRUCTION SEQUENCE

CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT ARE EXPECTED TO COMMENCE IN APRIL 2024 AND WILL BE COMPLETED BY APRIL 2026. THE GENERAL SEQUENCE FOR EACH PHASE OF CONSTRUCTION IS AS FOLLOWS:

- INSTALL PERIMETER SEDIMENT CONTROL BARRIERS, INLET PROTECTION, TREE PROTECTION AND PROPOSED CONSTRUCTION ACCESSSES.
- CLEAR AND GRUB SITE, REMOVE PAVEMENT, REMOVE MATERIALS TO BE DISPOSED OF, AND STOCKPILE ITEMS AS DEPICTED ON PLANS.
- RAZE CONCRETE MASONRY BLOCK STRUCTURE ON MILL PROPERTY.
- PERFORM SELECTIVE DEMOLITION WITHIN BUILDING INTERIOR AND RENOVATE MILL BUILDING PER ARCHITECTURAL PLANS.
- CONDUCT ROUGH GRADING AND STOCKPILE EXCESS SOILS FOR REMOVAL OR REUSE.
- INSTALL STORMWATER MANAGEMENT SYSTEMS, STORM DRAINS, AND UTILITIES.
- COMPACT SUBGRADE AND INSTALL GRAVEL BORROW IN ALL AREAS TO BE PAVED WITH BITUMINOUS OR CONCRETE PAVEMENT.
- INSTALL PROPOSED CURBING.
- INSTALL BASE AND BINDER COURSES FOR ALL PAVED AREAS.
- CONDUCT FINAL GRADING OF LANDSCAPED AREAS, CONSTRUCT SIDEWALKS AND PERVIOUS WALKWAYS, AND INSTALL FENCING.
- PERMANENTLY SEED ALL NON-PAVED AREAS AND INSTALL LANDSCAPING.
- INSTALL THE SURFACE COURSE FOR ROADWAYS AND PARKING AREAS.
- INSTALL PAVEMENT MARKINGS AND SIGNAGE.
- REMOVE TEMPORARY EROSION CONTROLS MEASURES ONCE PERMANENT VEGETATION COVER HAS BEEN ESTABLISHED AND THE SITE IS STABILIZED, INSPECTED, AND APPROVED BY THE CITY OF PROVIDENCE AND THE ENGINEER.

BRADY SULLIVAN PROPERTIES, LLC

GENERAL NOTES AND LEGEND

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CN-001

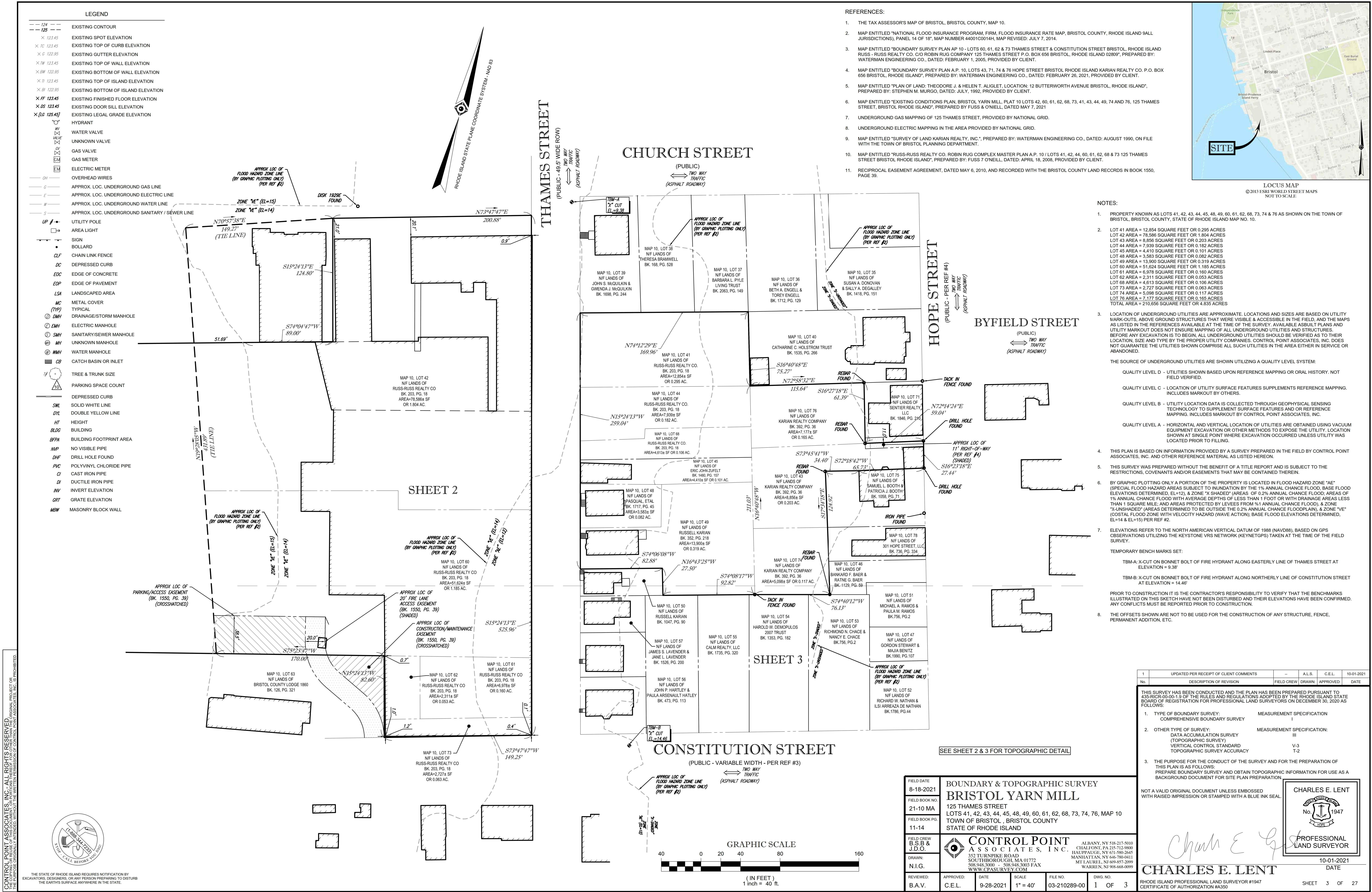
SHEET 2 OF 28



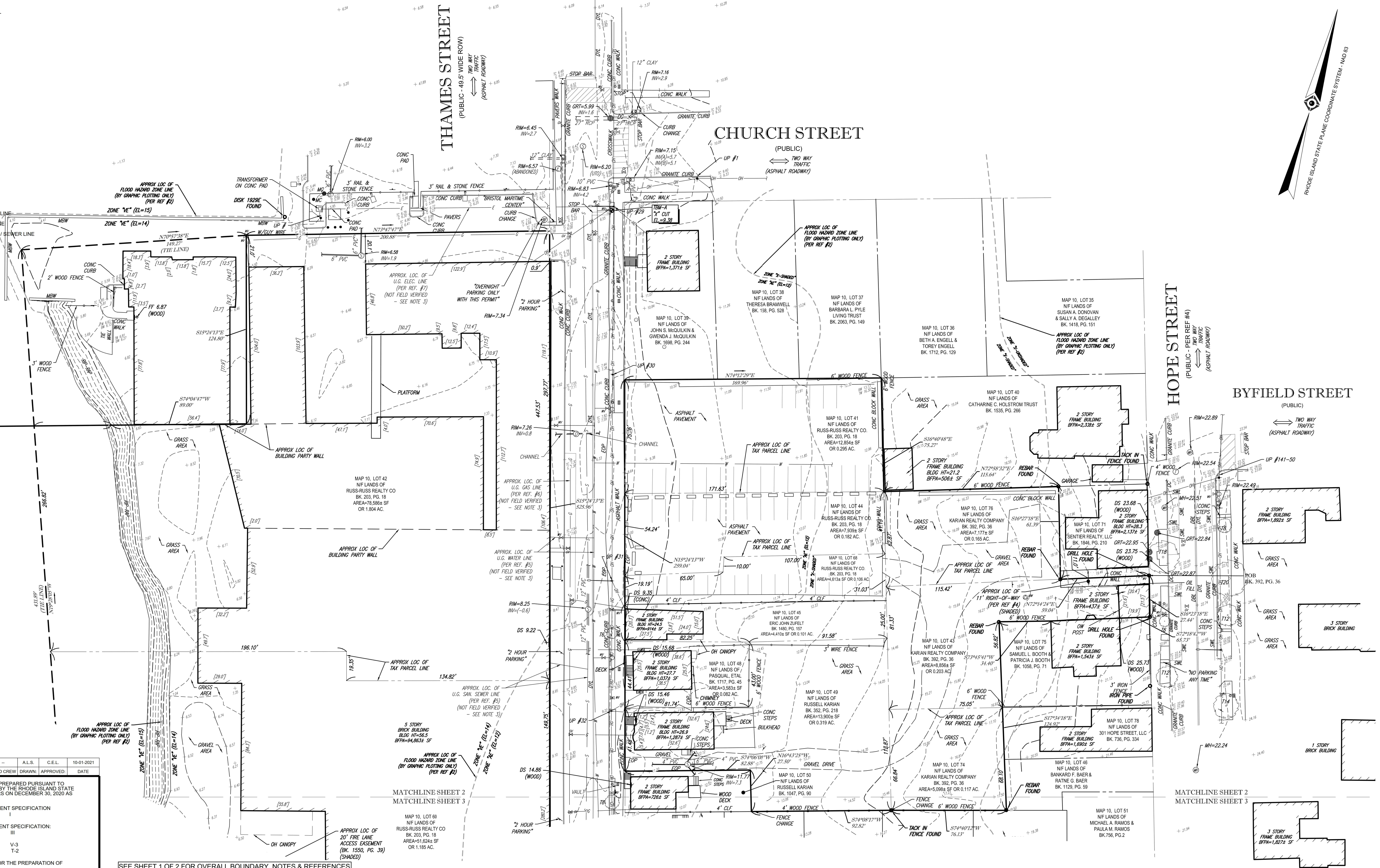
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SCALE:	HORIZ.: NOT TO SCALE
	VERT.:
DATUM:	
	HORIZ.:
	VERT.:
	0
	GRAPHIC SCALE



- LEGEND
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING SPOT ELEVATION
 - X 123.45 EXISTING TOP OF CURB ELEVATION
 - X 122.95 EXISTING GUTTER ELEVATION
 - X 122.95 EXISTING TOP OF WALL ELEVATION
 - X 122.95 EXISTING BOTTOM OF WALL ELEVATION
 - X 123.45 EXISTING TOP OF ISLAND ELEVATION
 - X 122.95 EXISTING BOTTOM OF ISLAND ELEVATION
 - X 123.45 EXISTING FINISHED FLOOR ELEVATION
 - X 123.45 EXISTING DOOR SILL ELEVATION
 - X 125.45 EXISTING LEGAL GRADE ELEVATION
 - HYDRANT
 - WATER VALVE
 - UNKNOWN VALVE
 - GAS VALVE
 - GAS METER
 - ELECTRIC METER
 - OVERHEAD WIRES
 - APPROX. LOC. UNDERGROUND GAS LINE
 - APPROX. LOC. UNDERGROUND ELECTRIC LINE
 - APPROX. LOC. UNDERGROUND WATER LINE
 - APPROX. LOC. UNDERGROUND SANITARY/SEWER LINE
 - UTILITY POLE
 - AREA LIGHT
 - SIGN
 - BOLLARD
 - CLF CHAIN LINK FENCE
 - DC DEPRESSIONED CURB
 - EDC EDGE OF CONCRETE
 - ESP EDGE OF PAVEMENT
 - LSA LANDSCAPED AREA
 - MC METAL COVER
 - TYP TYPICAL
 - DMH DRAINAGE/STORM MANHOLE
 - SMH ELECTRIC MANHOLE
 - SMH SANITARY/SEWER MANHOLE
 - MH UNKNOWN MANHOLE
 - WMH WATER MANHOLE
 - CB CATCH BASIN OR INLET
 - TREE & TRUNK SIZE
 - PARKING SPACE COUNT
 - DEPRESSIONED CURB
 - SWL SOLID WHITE LINE
 - DYL DOUBLE YELLOW LINE
 - HT HEIGHT
 - BLDG BUILDING
 - BFFPA BUILDING FOOTPRINT AREA
 - NVP NO VISIBLE PIPE
 - DHF DRILL HOLE FOUND
 - PVC POLYVINYL CHLORIDE PIPE
 - CI CAST IRON PIPE
 - DI DUCTILE IRON PIPE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - MEW MASONRY BLOCK WALL



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-001.8 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION: COMPREHENSIVE BOUNDARY SURVEY

2. OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION: DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY) III

3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

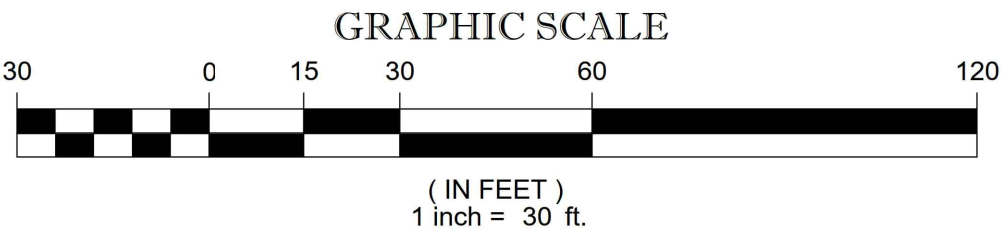
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CHARLES E. LENT
PROFESSIONAL LAND SURVEYOR
10-01-2021
DATE

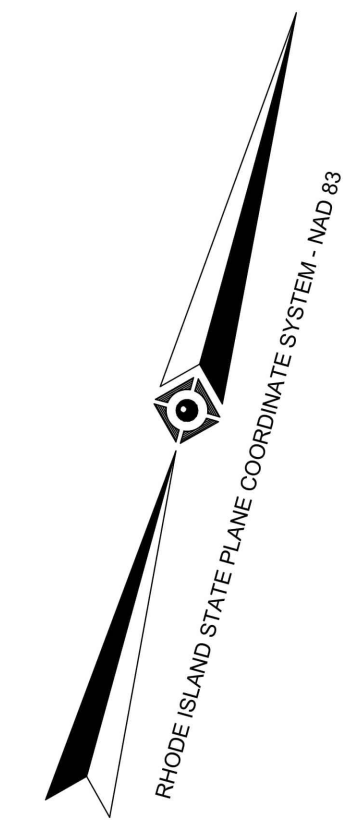
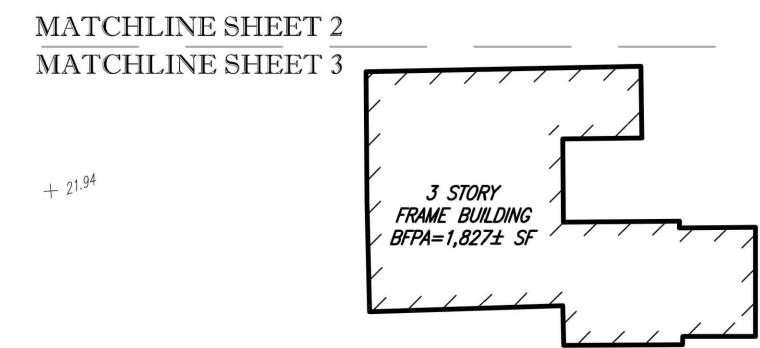
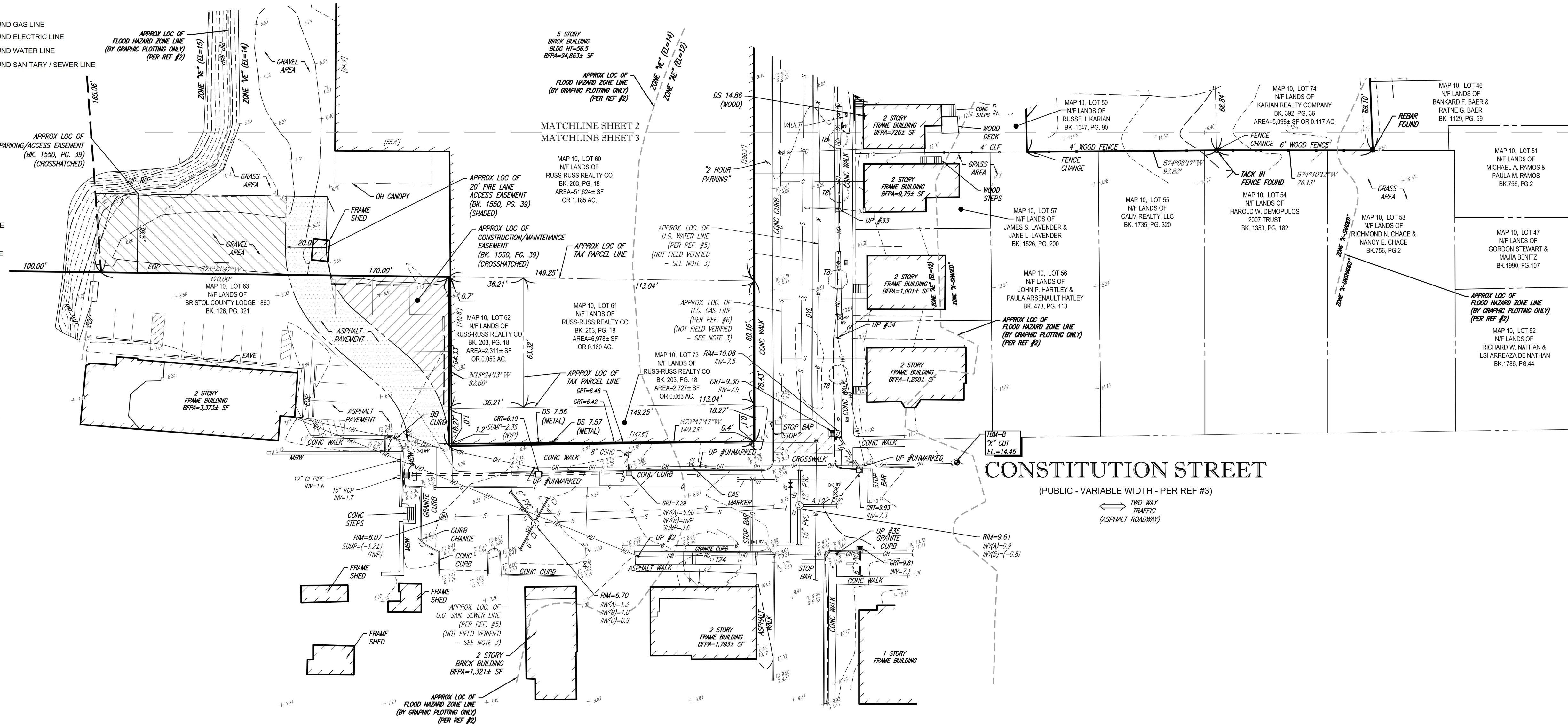
BOUNDARY & TOPOGRAPHIC SURVEY
BRISTOL YARN MILL
125 THAMES STREET
LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY
STATE OF RHODE ISLAND

CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-0010
CHAFFONT, PA 215-712-9800
HAUPPAUGE, NY 631-580-2645
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2099
WARRICK, NJ 908-668-0099
WWW.CPASURVEY.COM

FIELD DATE: 8-18-2021
FIELD BOOK NO: 21-10 MA
FIELD BOOK PG: 11-14
FIELD CREW: B.S.B. & J.D.O.
DRAWN: N.I.G.
REVIEWED: B.A.V.
APPROVED: C.E.L.
DATE: 9-28-2021
SCALE: 1" = 30'
FILE NO: 03-210289-00
DWS. NO: 2 OF 3



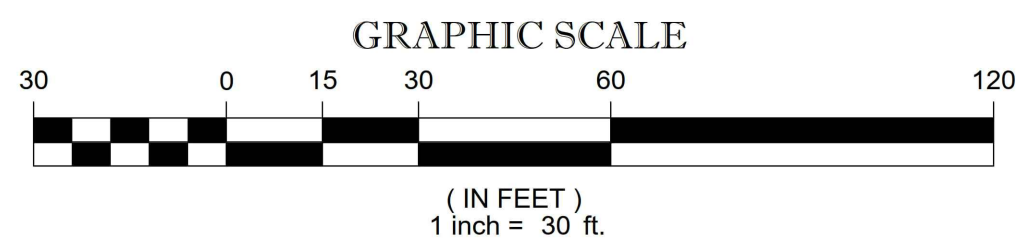
- LEGEND
- 124 --- EXISTING CONTOUR
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X 123.45 EXISTING SPOT ELEVATION
X TC 123.45 EXISTING TOP OF CURB ELEVATION
X G 122.95 EXISTING GUTTER ELEVATION
X TW 123.45 EXISTING TOP OF WALL ELEVATION
X BW 122.85 EXISTING BOTTOM OF WALL ELEVATION
X TI 123.45 EXISTING TOP OF ISLAND ELEVATION
X BI 122.95 EXISTING BOTTOM OF ISLAND ELEVATION
X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
X DS 123.45 EXISTING DOOR SILL ELEVATION
X LG 125.45 EXISTING LEGAL GRADE ELEVATION
HYDRANT
WATER VALVE
UNKNOWN VALVE
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APPROX. LOC. UNDERGROUND WATER LINE
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UTILITY POLE
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BOLLARD
CHAIN LINK FENCE
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LANDSCAPED AREA
METAL COVER
TYPICAL DRAINAGE/STORM MANHOLE
ELECTRIC MANHOLE
SANITARY/SEWER MANHOLE
UNKNOWN MANHOLE
WATER MANHOLE
CATCH BASIN OR INLET
TREE & TRUNK SIZE
PARKING SPACE COUNT
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SOLID WHITE LINE
DOUBLE YELLOW LINE
HEIGHT
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BUILDING FOOTPRINT AREA
NO VISIBLE PIPE
DRILL HOLE FOUND
POLYVINYL CHLORIDE PIPE
CAST IRON PIPE
DUCTILE IRON PIPE
INVERT ELEVATION
GRATE ELEVATION
MASONRY BLOCK WALL




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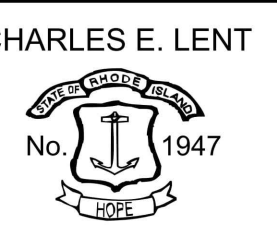


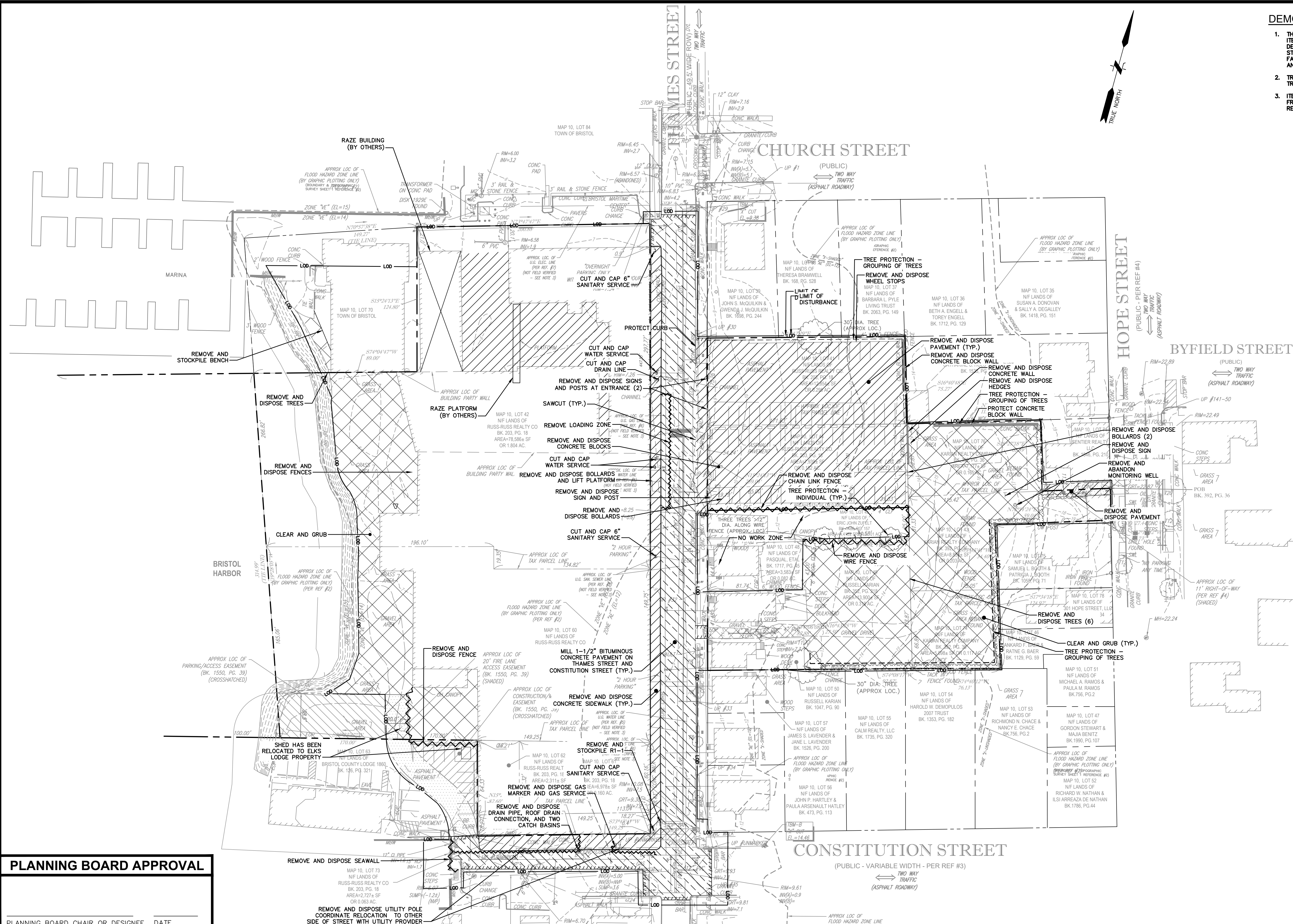
THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



FIELD DATE 8-18-2021	BOUNDARY & TOPOGRAPHIC SURVEY BRISTOL YARN MILL				
FIELD BOOK NO. 21-10 MA	125 THAMES STREET LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10				
FIELD BOOK PG. 11-14	TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND				
FIELD CREW B.S.B. & J.D.O.	CONTROL POINT ASSOCIATES, INC. ALBANY, NY 518-217-5010 352 TURNPIKE ROAD CHALFONT, PA 215-712-9800 SOUTHERBOROUGH, MA 01772 HAITHAUG, NJ 603-880-2645 508.948.3000 - 508.948.3003 FAX MANHATTAN, NY 646-780-0411 WWW.CPASURVEY.COM WARREN, NJ 908-668-0099				
DRAWN: N.I.G.	APPROVED: C.E.L.	DATE 9-28-2021	SCALE 1" = 30'	FILE NO. 03-210289-00	DWG. NO. 3 OF 3

1	UPDATED PER RECEIPT OF CLIENT COMMENTS	--	A.L.S.	C.E.L.	10-01-2021
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN:	APPROVED:	DATE
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:					
1.	TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY	MEASUREMENT SPECIFICATION I			
2.	OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY) VERTICAL CONTROL STANDARD TOPOGRAPHIC SURVEY ACCURACY	MEASUREMENT SPECIFICATION: III V-3 T-2			
3.	THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.				
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.					
<div><div><div>CHARLES E. LENT</div><div>No.  1947</div><div>PROFESSIONAL LAND SURVEYOR</div></div></div>					
					10-01-2021 DATE
CHARLES E. LENT					
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947 CERTIFICATE OF AUTHORIZATION #A350					
SHEET 5 OF 27					





- ## DEMOLITION NOTES
1. THE DEMOLITION PLAN IS PROVIDED FOR INFORMATION ONLY AND MAY NOT INDICATE ALL ITEMS REQUIRED TO BE DEMOLISHED. PERFORM A PRE-BID SITE INSPECTION. COORDINATE DEMOLITION OF UNIDENTIFIED UTILITIES OR STRUCTURES WITH OWNER. DEMOLISH STRUCTURES, SITES, UTILITIES, UTILITIES, ETC. AS REQUIRED TO CONSTRUCT PROPOSED FACILITY AND UTILITY SERVICES. PROTECT ALL PUBLIC AND PRIVATE UTILITIES, SERVICES, AND STRUCTURES THAT ARE NOT DESIGNATED FOR REMOVAL.
 2. TREES, BRUSH AND STUMPS REMOVED BY CLEARING & GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
 3. ITEMS TO BE STOCKPILED ON-SITE FOR REUSE OR TO BE RELOCATED SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS. IF DAMAGED DURING CONSTRUCTION THEY SHALL BE REPLACED IN-KIND AT NO ADDITIONAL COST TO THE OWNER.

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE	DATE
----------------------------------	------

4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL

SEAL

SCALE:

HORZ.: 1"= 40'
VERT.:

DATUM:	
	HORZ.: NAD 1983
	VERT.: NAVD 1988

40 20 0
GRAPHIC SCALE



FUSS & O'NEILL

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BRADY SULLIVAN PROPERTIES, LLC

SITE DEMOLITION PLAN

BRISTOL YARN MILL

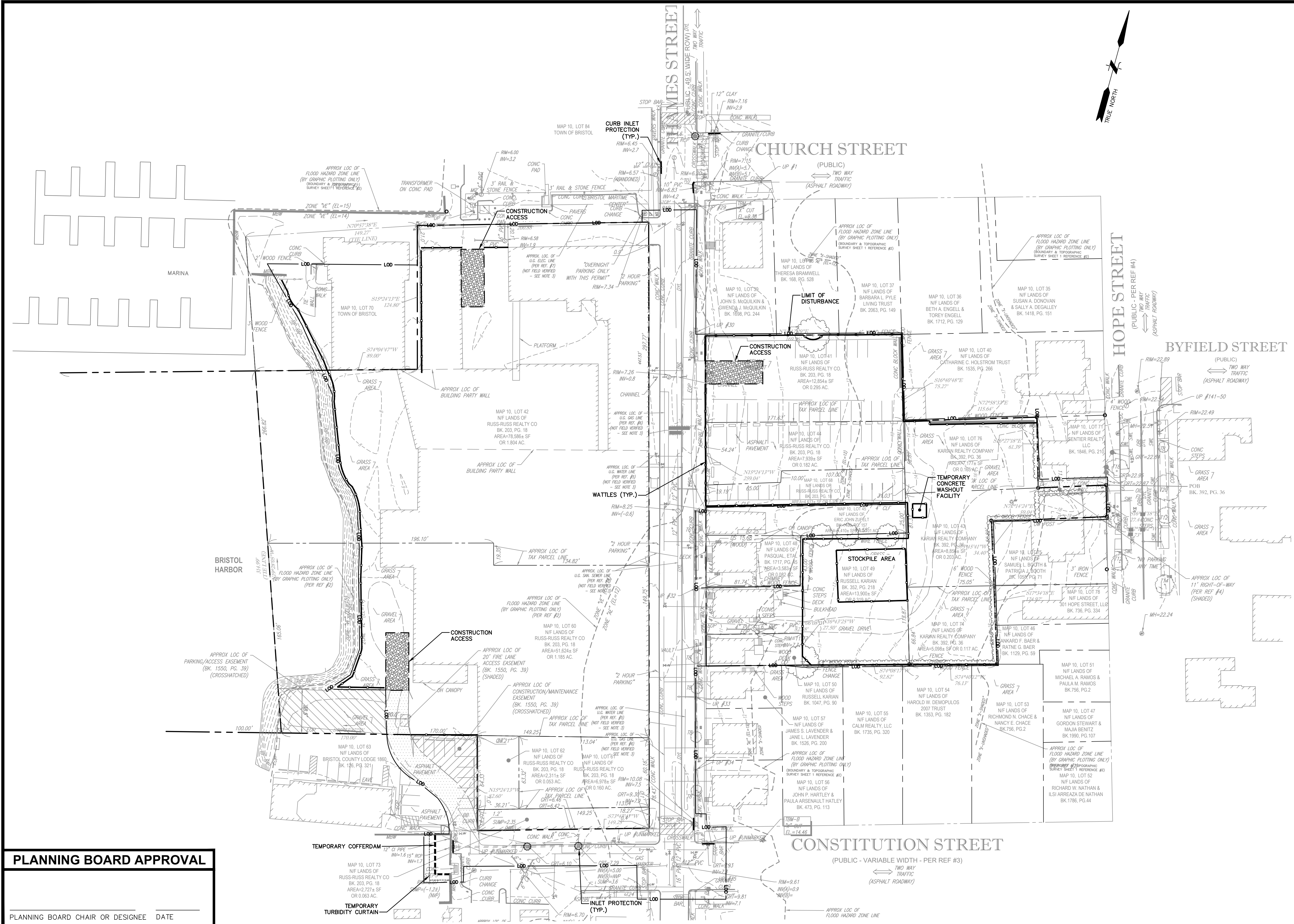
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CP-101

SHEET 6 OF 28



PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
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1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC

SOIL EROSION AND SEDIMENTATION
CONTROL PLAN

BRISTOL YARN MILL

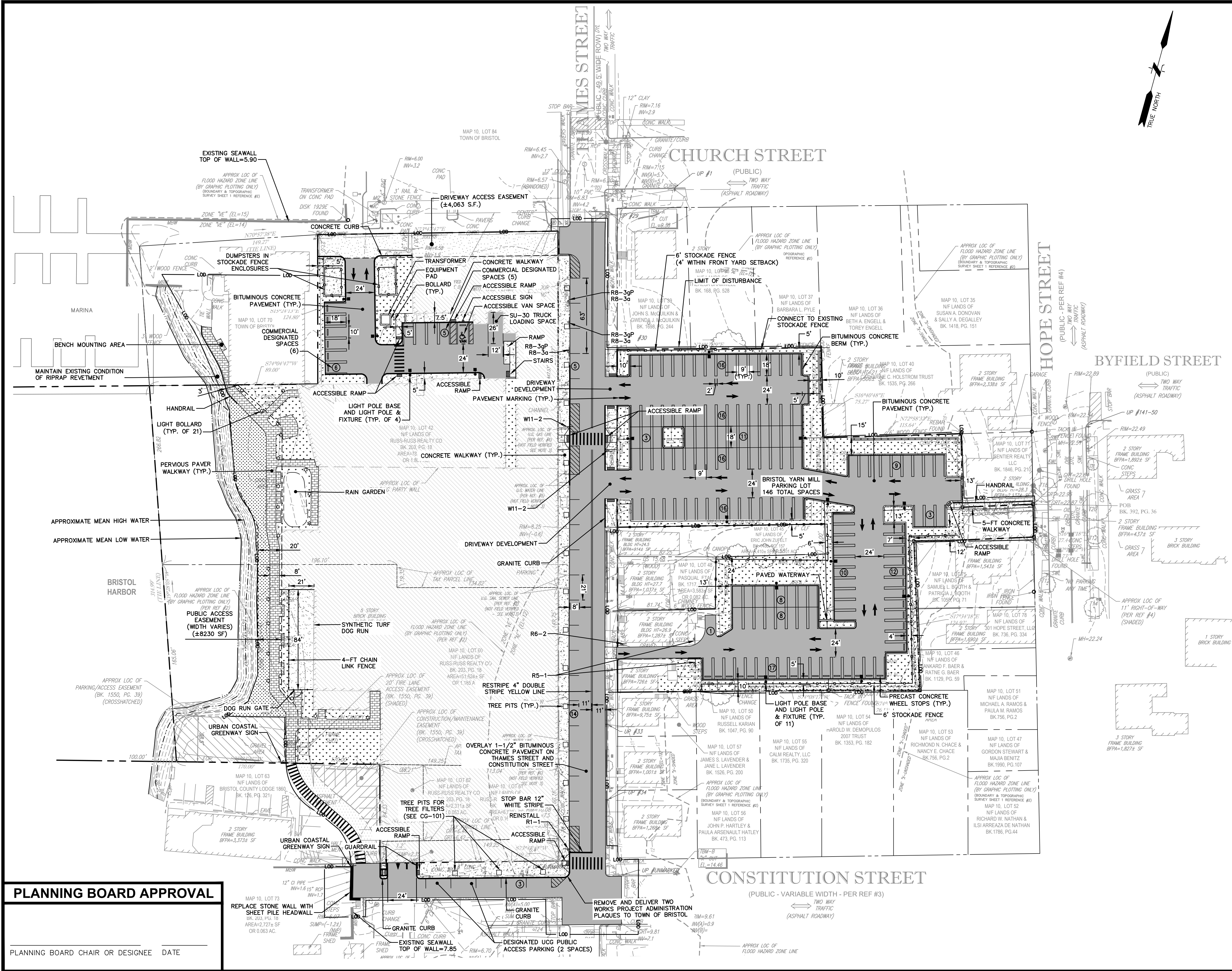
125 THAMES STREET BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

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SHEET 7 OF 28

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PLANNING BOARD APPROVAL			
PLANNING BOARD CHAIR OR DESIGNEE	DATE		

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

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	VERT.: NAD 1988
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GRAPHIC SCALE	



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401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SITE PLAN

BRISTOL YARN MILL

125 THAMES STREET
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CS-101

SHEET 8 OF 28

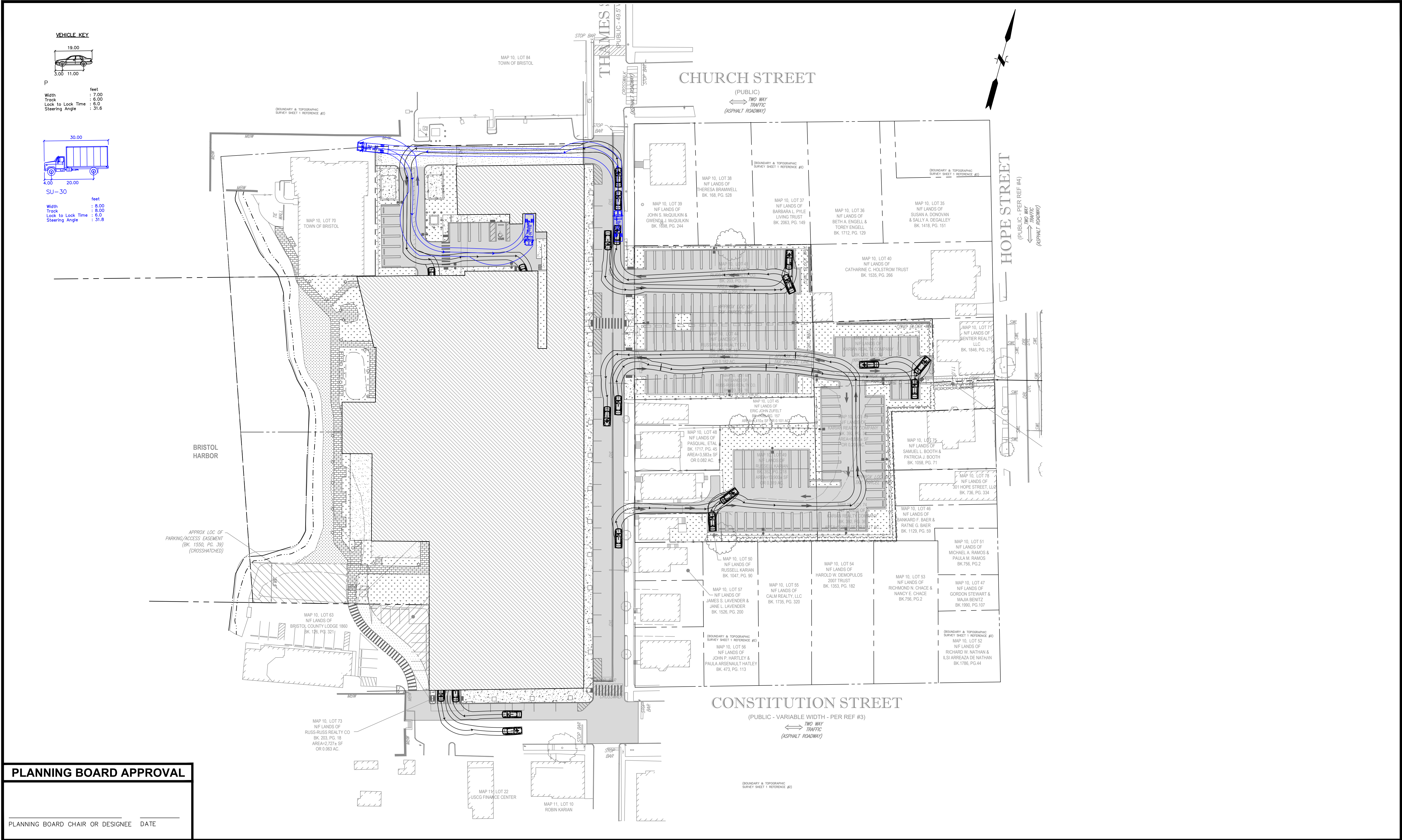
ZONING DIMENSION TABLE				
CRITERIA	REQUIRED PER ZONING DISTRICT			PROPOSED
	W	D	WPUD	(BUILDING SITE - LOTS 42,60,61,62,73)
MINIMUM LOT AREA		5,000 SF		142,226± SF (3.265 AC)
MINIMUM LOT AREA PER DWELLING UNIT	4,000 SF	2,500 SF	N/A	N/A
MINIMUM FRONTAGE		50'		149.25' CONSTITUTION STREET (MIN.)
MINIMUM LOT WIDTH		50'		149.25' CONSTITUTION STREET (MIN.)
FRONT SETBACK		0'		-0.90'
SIDE SETBACK		0'		0.0'
REAR SETBACK		10'		30±' (TO APPROX. MEAN HIGH WATER)
MAX. BUILDING HEIGHT		35' (3 STORIES)		55' MAX.-4 STORIES (EXISTING)
MAX. LOT COVERAGE BY STRUCTURES		70%		83,153 S.F./142,226 S.F. = 58.5% (PROP.) 87,296 S.F./142,226 S.F. = 61.4% (EXIST.)
MAX. TOTAL COVERAGE	85%	95%	N/A	97,606 S.F./142,226 S.F. = 68.6%
MAX. FLOOR AREA RATIO	1.5	1.4	N/A	227,286 S.F./142,226 S.F. = 1.6±
IMPERVIOUS COVER		PARKING LOT SITE		51,237 S.F./66,327 S.F. = 77.2%

- NOTES:
1. MILL BUILDING PROPERTIES COMBINED AREA IS APPROXIMATELY 142,226 SQUARE FEET.
 2. TOTAL LAND AREA INCLUDED IN REDEVELOPMENT IS APPROXIMATELY 227,286 SQUARE FEET.
 3. ALL PROJECT PARCELS ARE LOCATED WITHIN TOWN OF BRISTOL HISTORIC DISTRICT.

PARKING SUMMARY			
	USE	REQUIRED	PROPOSED
RESIDENTIAL PARKING SPACES (ON-SITE)		127	125
RESIDENTIAL PARKING SPACES (OFF-SITE)		0	143
COMMERCIAL PARKING SPACES (ON-SITE)		11	11
317 HOPE STREET (LOT 71) – ZONE D	RES/COMM	0	0
325 HOPE STREET (LOT 43) – ZONE D	COMM	0	0
60 THAMES STREET (LOT 50) – ZONE W	SF RES	1	1
70 THAMES STREET (LOT 49) – ZONE W	MF RES	2	2
TOTAL PARKING SPACES:		141	282
RESIDENTIAL PARKING REQUIREMENT:		1 SPACE/D.U. (127 RESIDENTIAL W AND REHAB LDP ZONES)	
COMMERCIAL PARKING REQUIREMENT:		1 SPACE/600 S.F. GFA (0 SPACES REQ'D FOR RESIDENTIAL, OFFICE, SERVICE, RETAIL, OR INSTITUTIONS WITHIN D ZONE) (6,479 S.F. / 600 S.F. = 11 SPACES)	
LOADING SPACE REQUIREMENT:		1 SPACE/3,000–19,999 S.F. OF GFA (6,479 S.F. = 1 SPACE)	
NOTES:			
1. PARKING AND LOADING REQUIREMENTS SHALL COMPLY WITH ARTICLE VIII SEC. 28–251.			
2. ON-STREET PARKING IS NOT INCLUDED IN THE CALCULATIONS.			
3. THERE ARE 30 TOTAL COMPACT VEHICLE PARKING SPACES, 9 DESIGNATED MOTORCYCLE SPACES AND 24 BICYCLE SPACES WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET. COMPACT PARKING SPACES ACCOUNTS FOR 10.6% OF TOTAL PARKING COUNT. MOTORCYCLE AND BICYCLE PARKING IS NOT INCLUDED IN THE CALCULATIONS.			
4. 5 ADA SPACES AND 2 ADA VAN SPACES ARE PROVIDED FOR RESIDENTIAL UNITS WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET.			

NOTE:
MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.

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PLANNING BOARD APPROVAL			
PLANNING BOARD CHAIR OR DESIGNEE		DATE	

4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM	
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM	
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM	
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM	
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER	

SEAL

SEAL

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

40 20 0 40

GRAPHIC SCALE

 **FUSS & O'NEILL**

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SITE CIRCULATION PLAN

BRISTOL YARN MILL

125 THAMES STREET

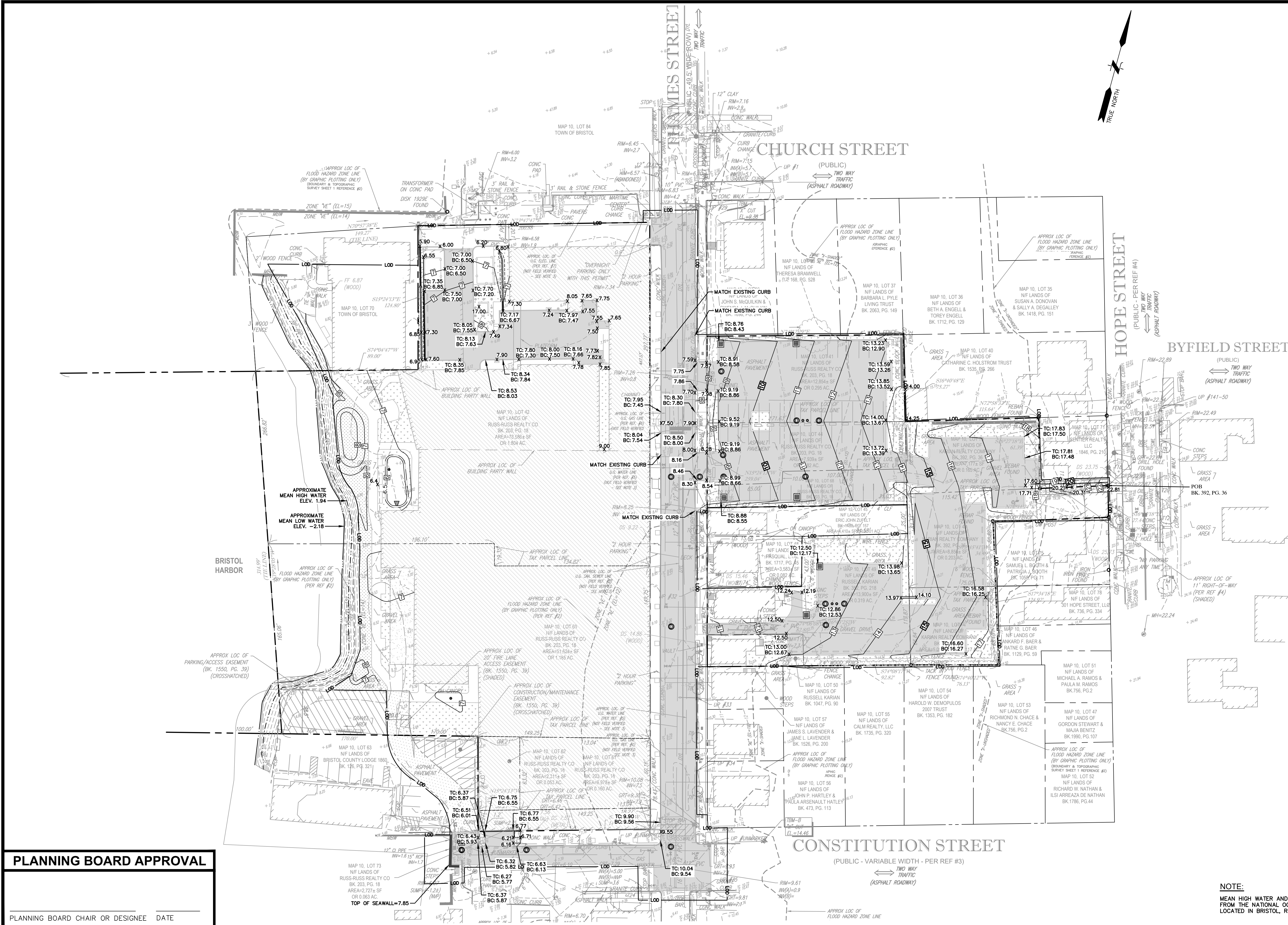
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CS-102

SHEET 9 OF 28

File Path: \\private\dfs\CadProj\DWG\GP20061150A22\CivilPlan\Permitting Plans\20061150A22_GRA01.dwg Layout: CG-101 Plotted: Fri, May 19, 2023 3:34 PM User: aljohnson
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PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

NOTE:
MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
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SEAL

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BRADY SULLIVAN PROPERTIES, LLC

GRADING PLAN

BRISTOL YARN MILL

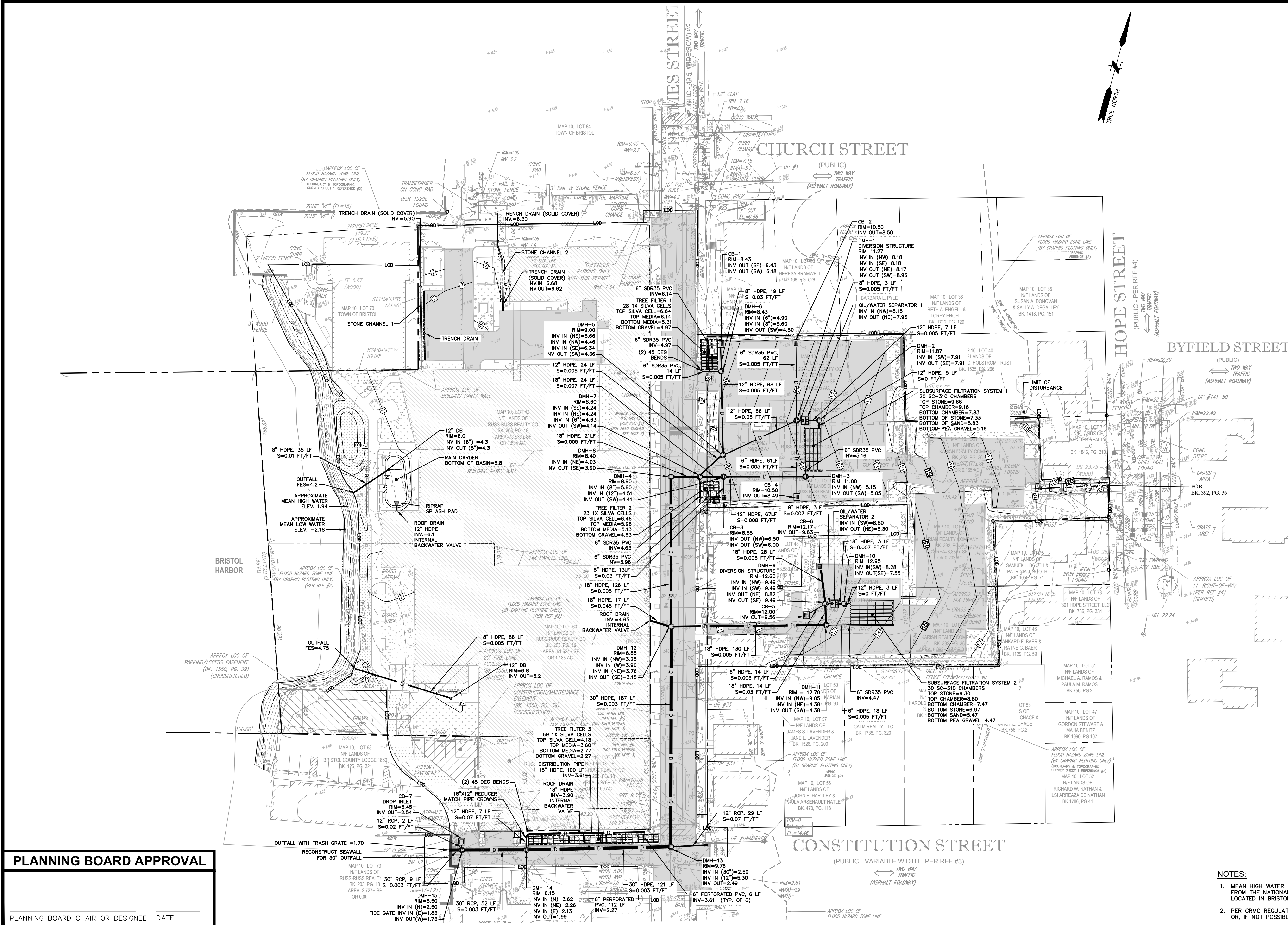
125 THAMES STREET BRISTOL, RHODE ISLAND

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CG-101

SHEET 10 OF 28

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PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

- NOTES:
- MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.
 - PER CRMC REGULATIONS, OUTFALL WORK SHALL PROCEED FROM THE SHORELINE TOWARD THE UPLAND OR, IF NOT POSSIBLE, FLOWS SHALL BE DIVERTED AREAS UNTIL STABILIZATION IS COMPLETED.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

DRAINAGE PLAN

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

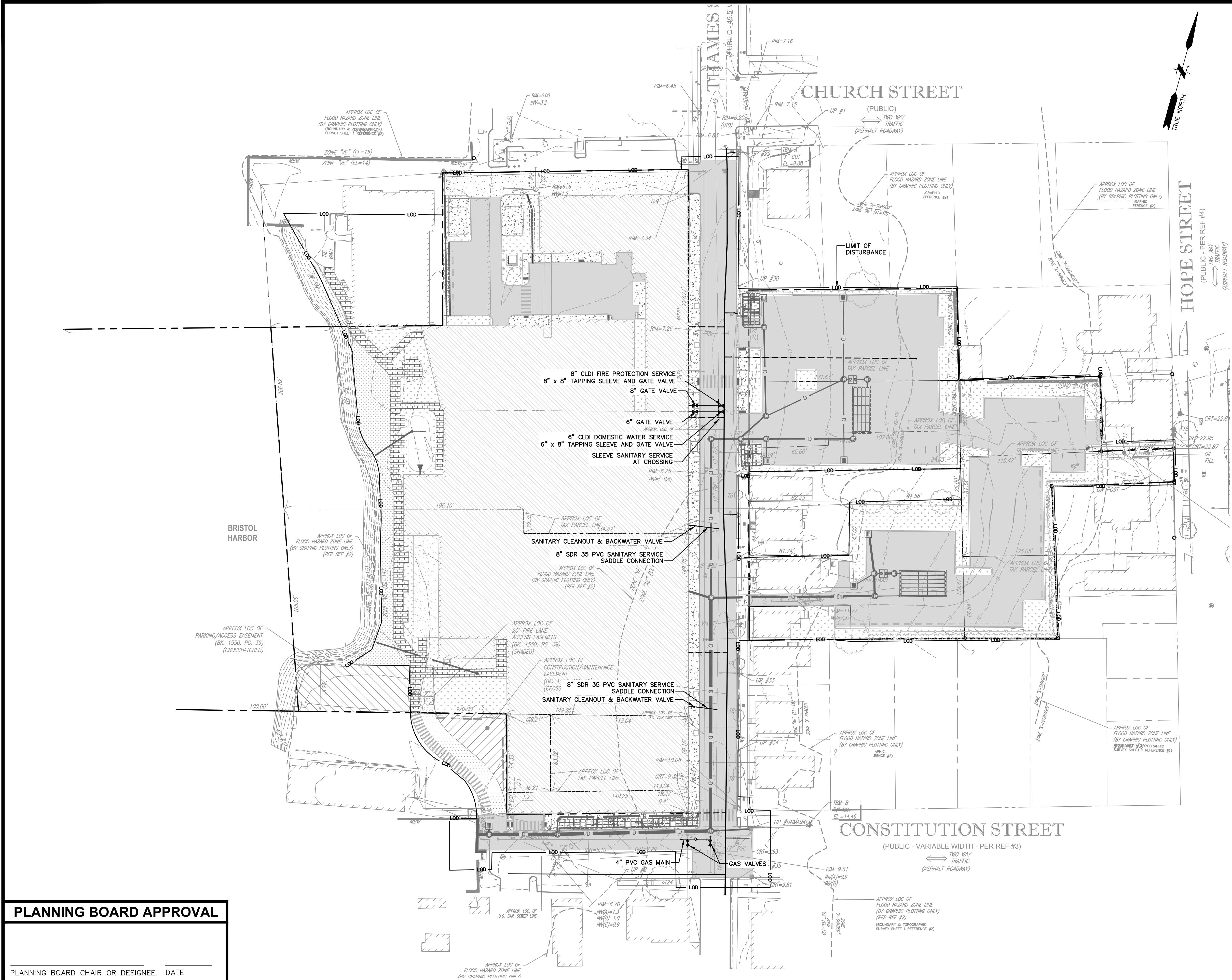
PROJ. No.: 20061150.A22

DATE: DECEMBER 6, 2023

CG-102

SHEET 11 OF 28

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PLANNING BOARD APPROVAL	
_____	_____
PLANNING BOARD CHAIR OR DESIGNEE	DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
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3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

40 20 0 40

GRAPHIC SCALE

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FUSS & O'NEILL

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401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

WATER AND SEWER PLAN

BRISTOL YARN MILL

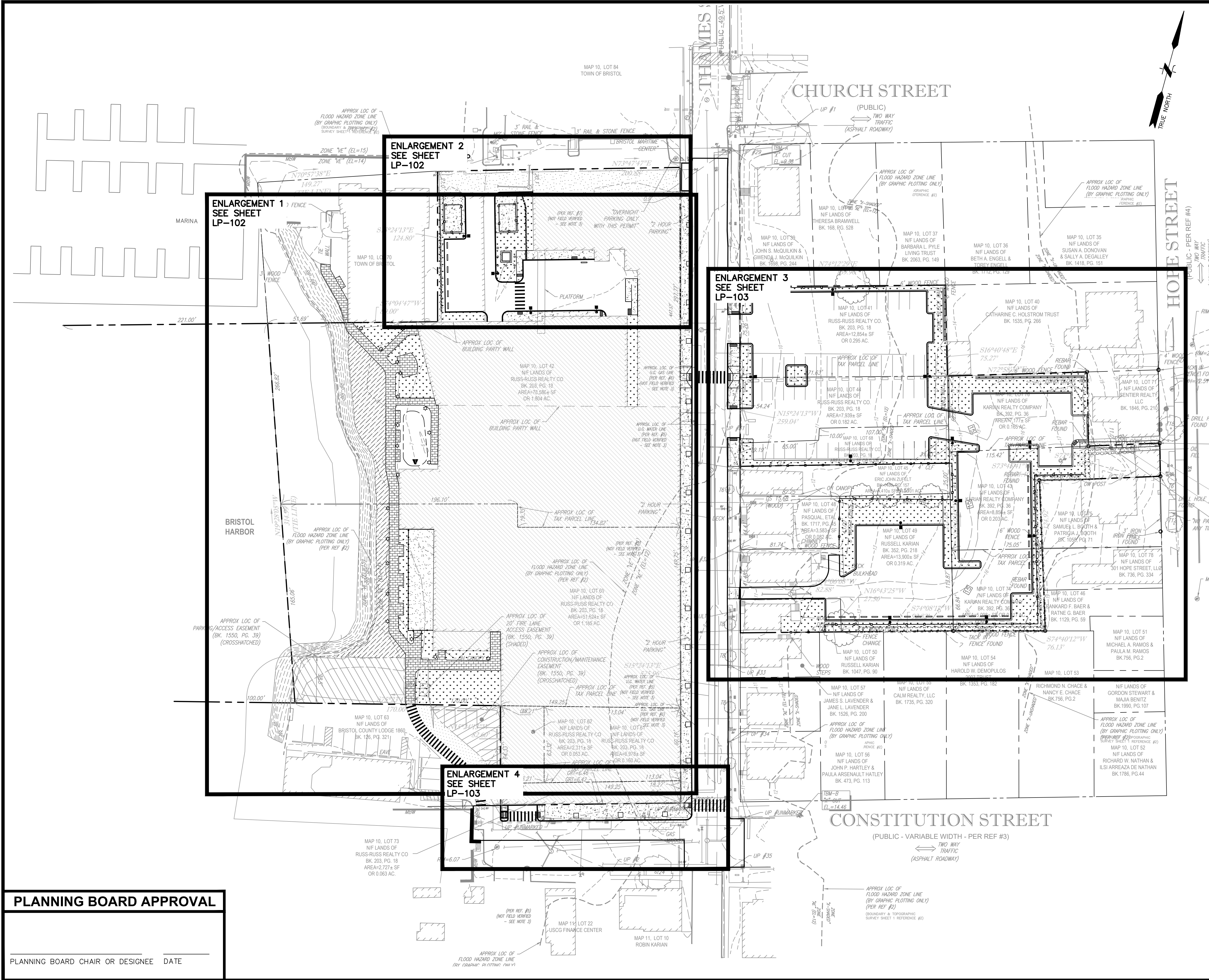
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CU-101

SHEET 12 OF 28



PLANTING NOTES

1. CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
2. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS. TREES SHALL BE TAGGED AND SUBMITTED TO L.A. THROUGH PHOTO SUBMISSION OR FIELD VISIT FOR SELECTION APPROVAL. TREES SHALL BE FIELD DUG.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE.
8. ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOD AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
10. A SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.
11. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
12. ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
13. ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
15. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
16. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
17. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

LEGEND

LAWN SEED MIX

BUFFER RESTORATION SEED MIX

BUILDING

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM	
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2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM	
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM	
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER	

SEAL

SEAL

SCALE:

HORZ.: 1"= 40'

VERT.:

DATUM:

HORZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
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BRADY SULLIVAN PROPERTIES, LLC

PLANTING PLAN

BRISTOL YARN MILL

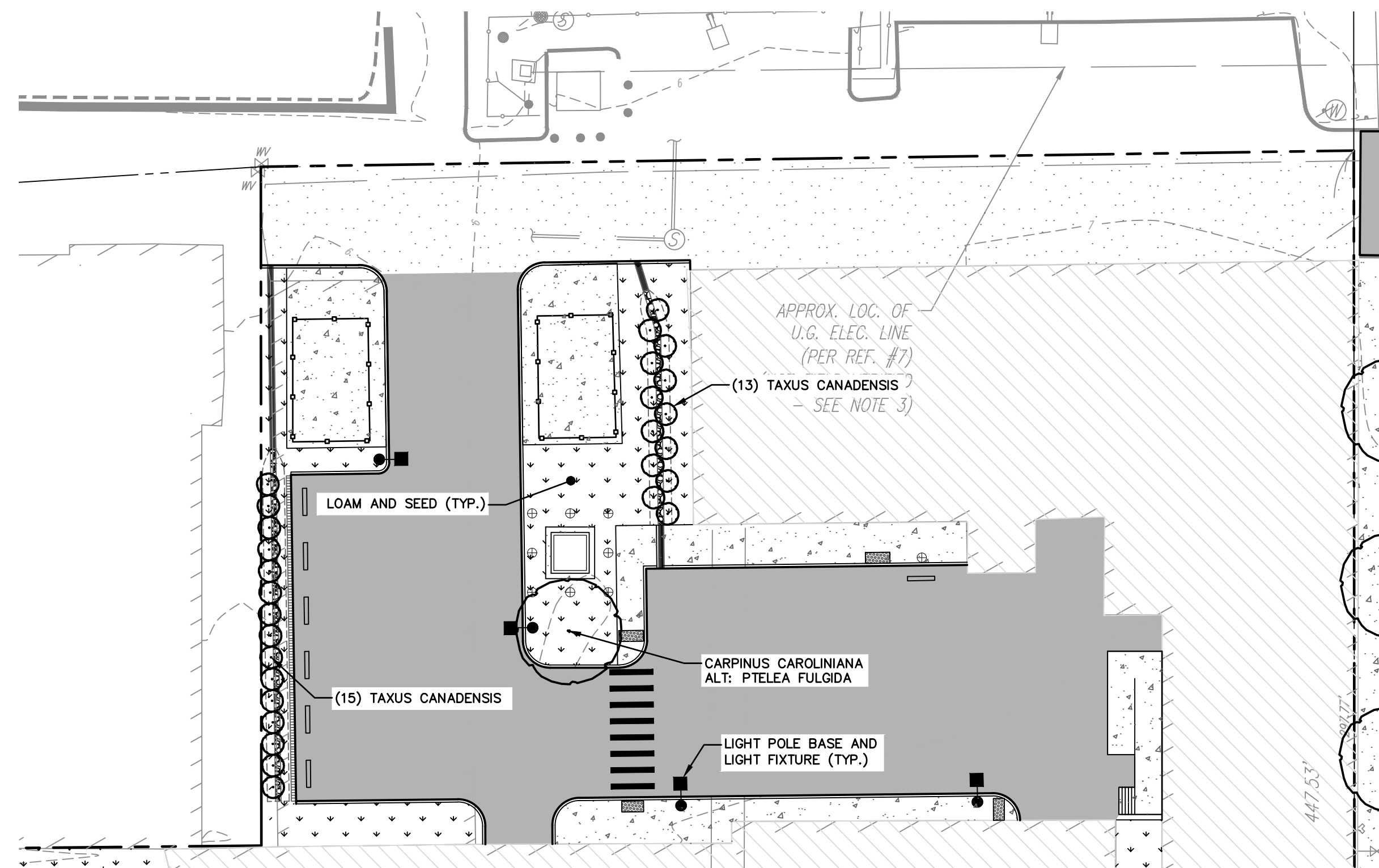
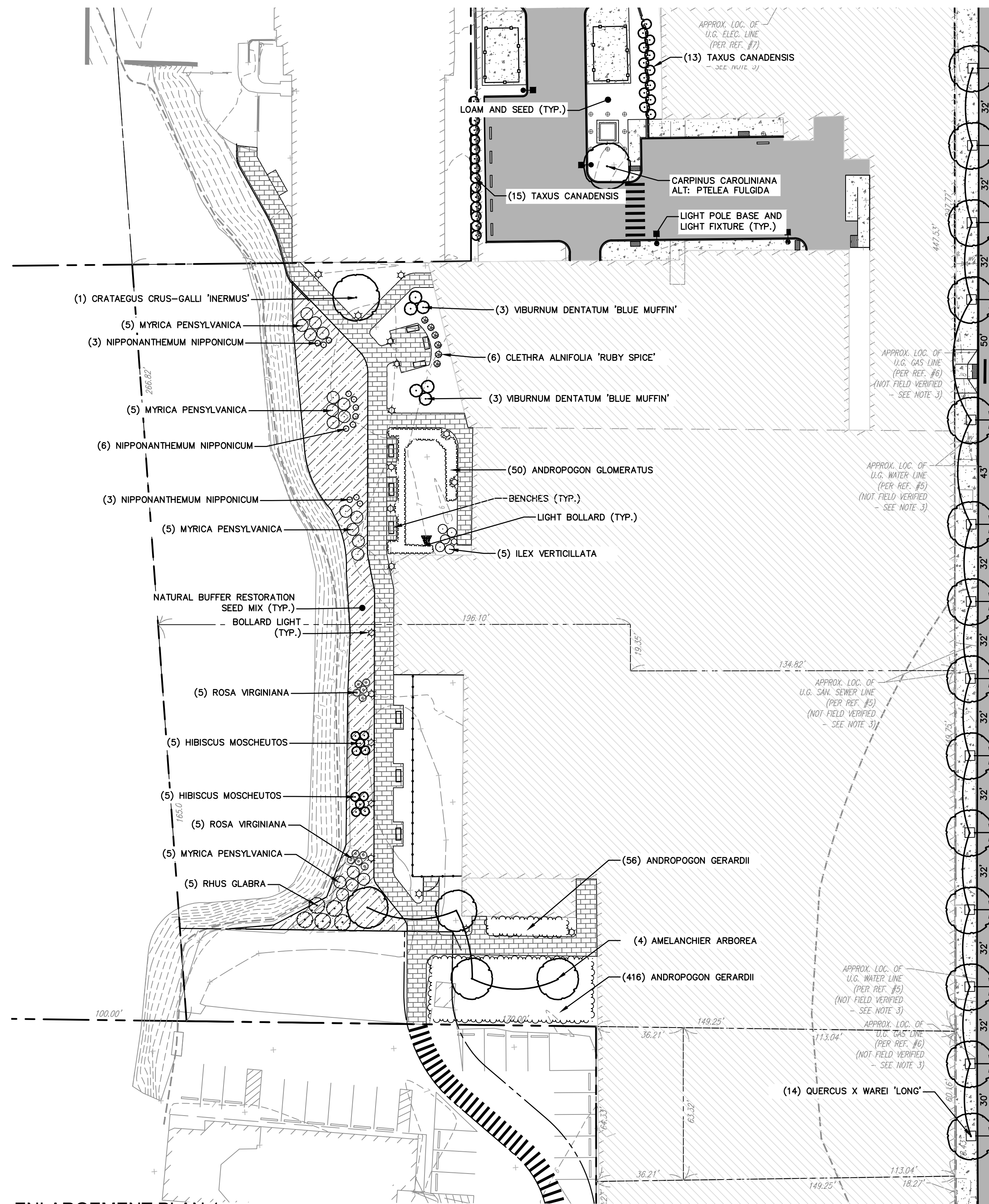
125 THAMES STREET BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22

DATE: DECEMBER 6, 2023

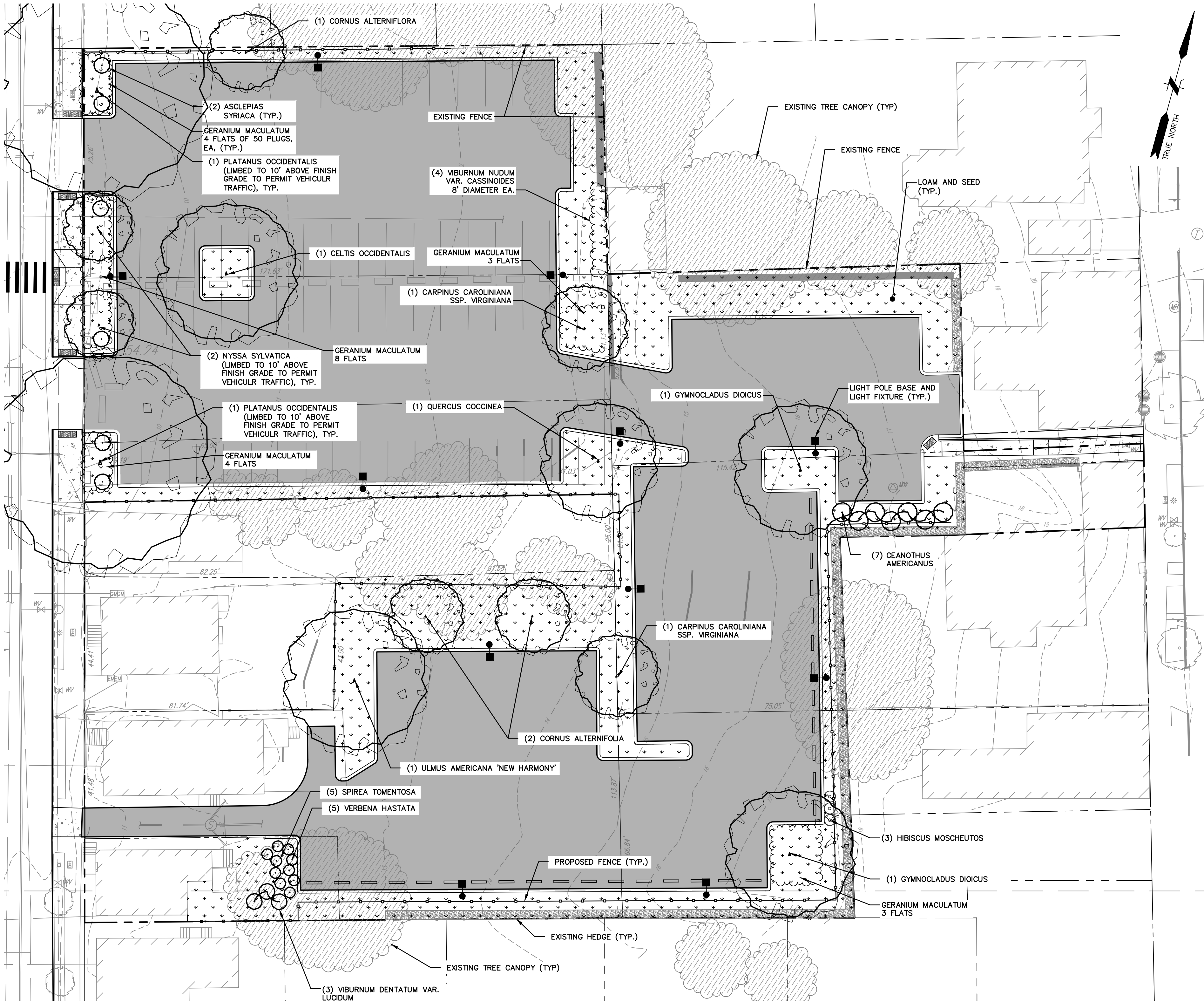
LP-101

SHEET 13 OF 28



HEET 14 OF 28

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ENLARGEMENT PLAN 3
SCALE: 1" = 20'

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM	
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM	
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM	
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM	
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER	

SEAL

SEAL

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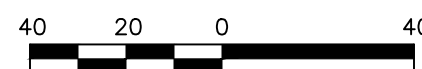
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VERT.:

DATUM:

HORZ.: NAD 1983

VERT.: NAD 1988



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BRADY SULLIVAN PROPERTIES, LLC

ENLARGEMENT PLANTING PLAN

BRISTOL YARN MILL

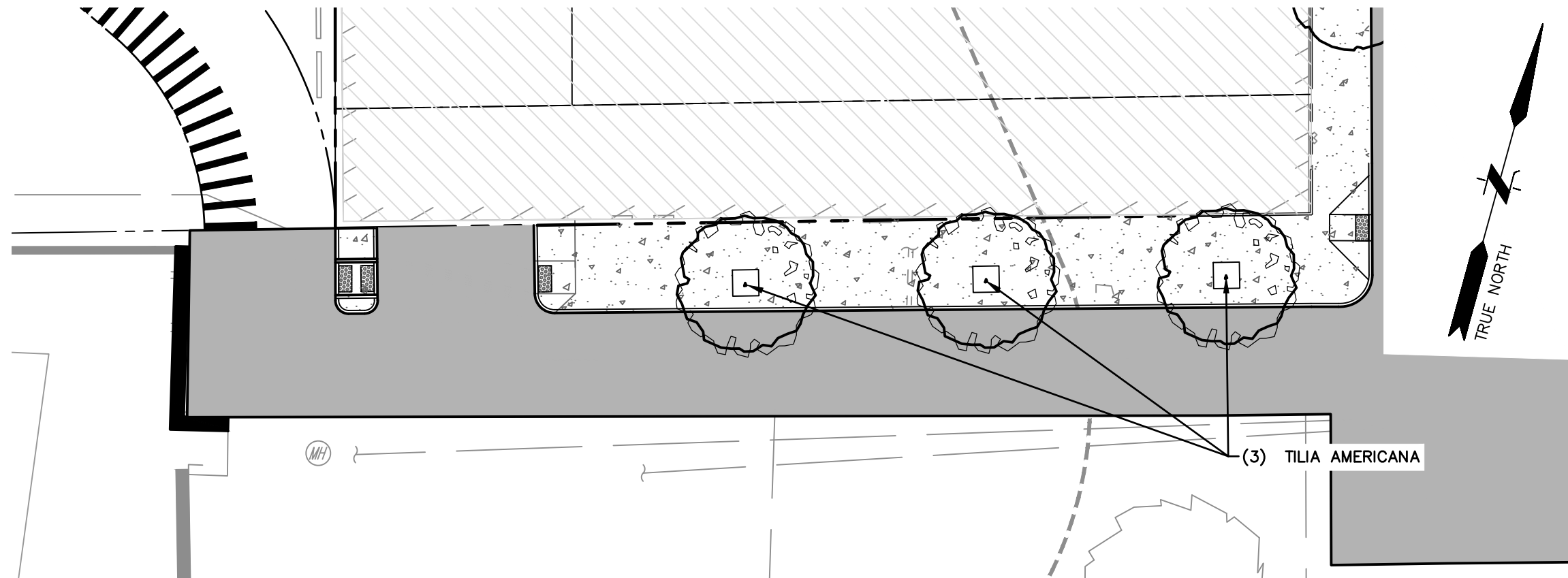
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

LP-103

SHEET 15 OF 28



ENLARGEMENT PLAN 4
SCALE: 1" = 20'

PLANT LIST

BOTANICAL NAME

COMMON NAME

QTY.

SIZE

ENLARGEMENT 3

TREES

CARPINUS CAROLINIANA SPP. VIRGINIANA
CELTIS OCCIDENTALIS
CORNUS ALTERNIFOLIA
GYMNOCLADUS DIOICUS
NYSSA SYLVATICA
PLATANUS OCCIDENTALIS
QUERCUS COCCINEA
ULMUS AMERICANA 'NEW HARMONY'

AMERICAN HORNBEAM
COMMON HACKBERRY
PAGODA DOGWOOD
KENTUCKY COFFEE TREE
BLACK GUM
COMMON SYCAMORE
SCARLET OAK
NEW HARMONY AMERICAN ELM

2
1
3
2
2
2
1
1
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER
3.5" CALIPER

SHRUBS

ASCLEPIAS SYRIACA
CEANOTHUS AMERICANUS
VIBURNUM DENTATUM VAR. LUCIDUM
VERBENA HASTATA
VIBURNUM NUDUM VAR. CASSINOIDES

COMMON MILKWEED
NEW JERSEY TEA
SMOOTH ARROWWOOD
VIBURNUM
BLUE VERVAIN
WITHE ROD VIBURNUM

12
7
3
5
4
2 GAL.
2 GAL.
3'-4" B&B
3 GAL.
3'-4" B&B

PERENNIALS/GRASSES

GERANIUM MACULATUM
HIBISCUS MOSCHEUTOS
SPIREA TOMENTOSA

SPOTTED CRANE'S BILL
SWAMP ROSE MALLOW
STEEPLEBUSH

1100
3
5
22 FLATS
2 GAL.
2 GAL.

ENLARGEMENT 4

TREES

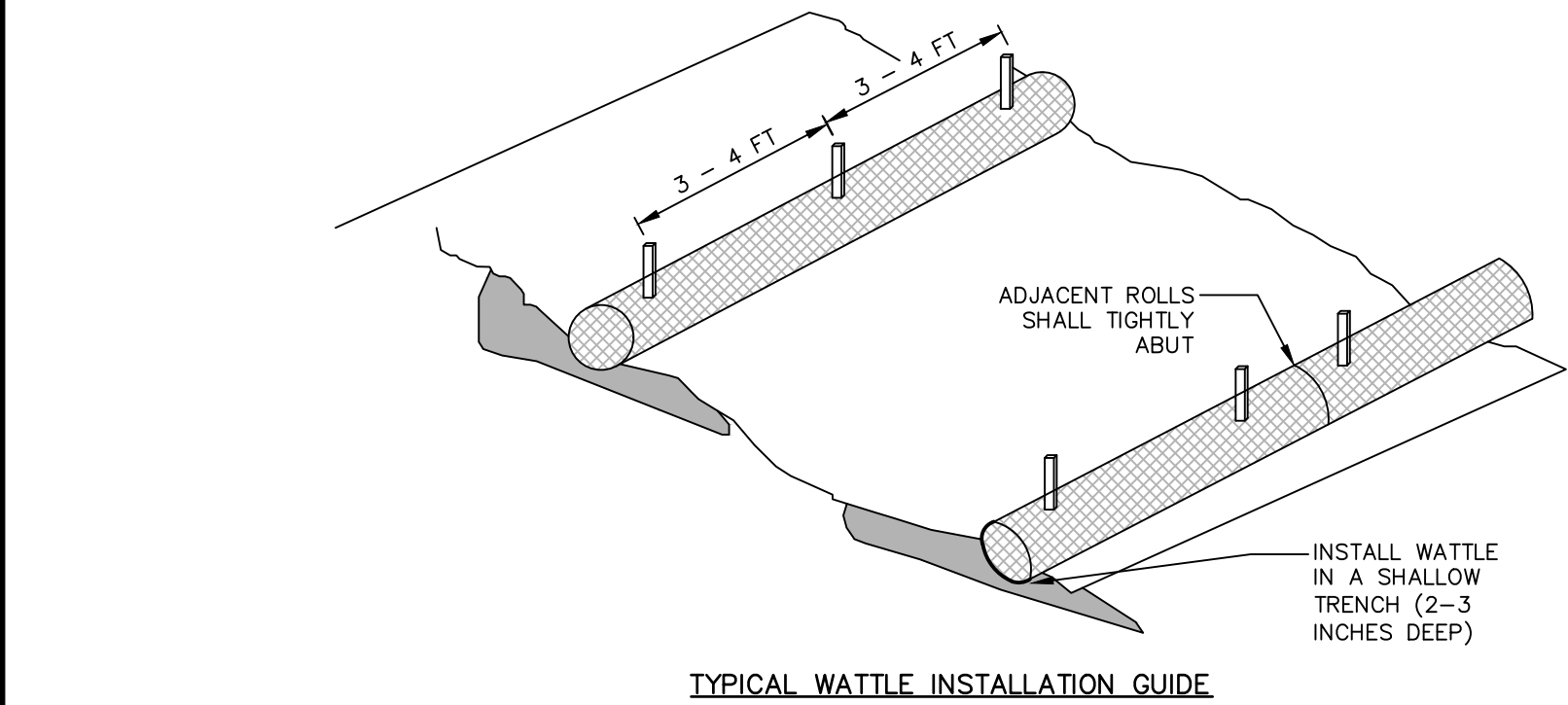
SILVER LINDEN

TILIA TOMENTOSA

3
3.5" CALIPER

NOTE:
ALL PLANTS TO BE LAID OUT IN FIELD AND PLACEMENT TO BE APPROVED PRIOR TO FINAL
INSTALLATION BY L.A. AND OWNER.

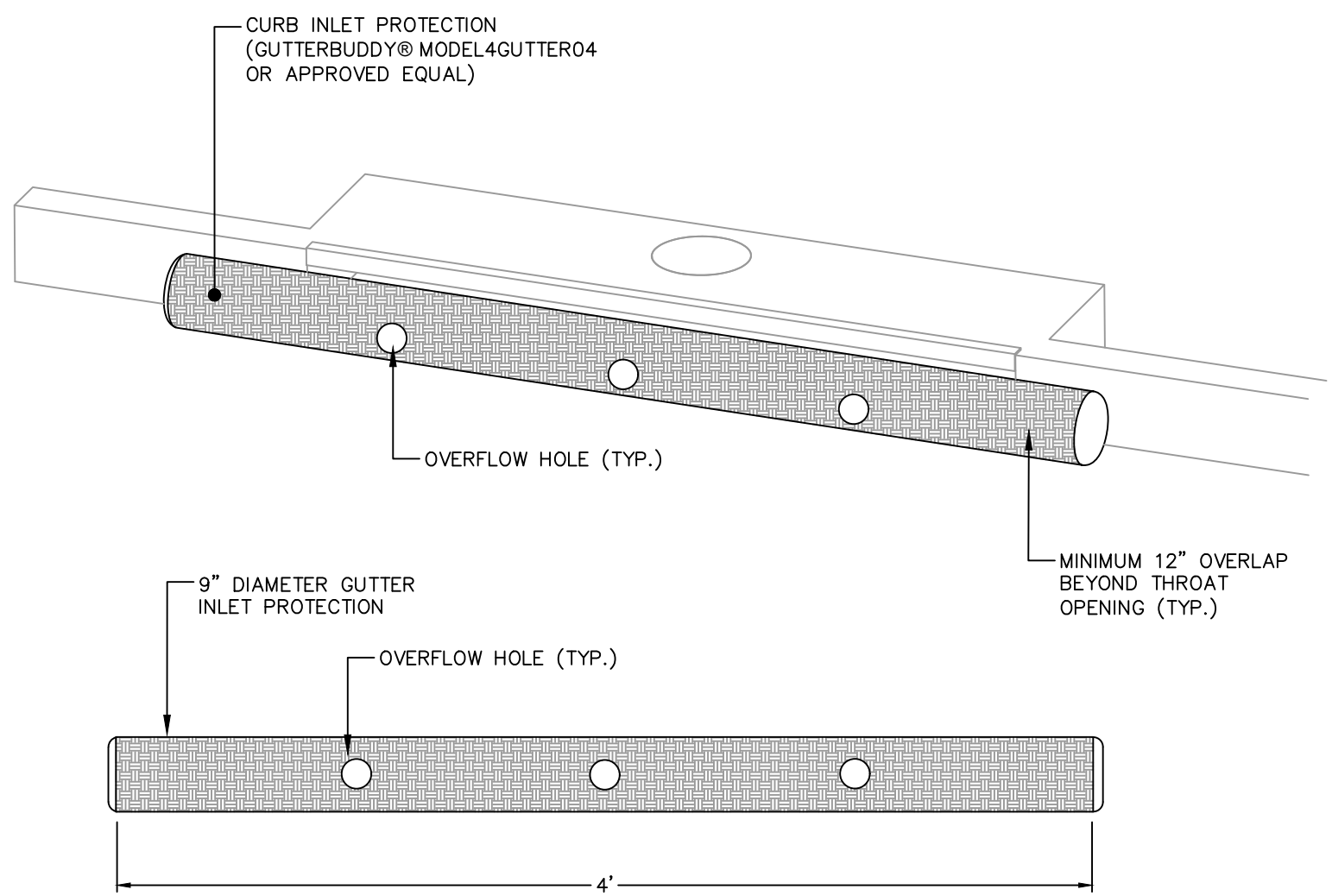
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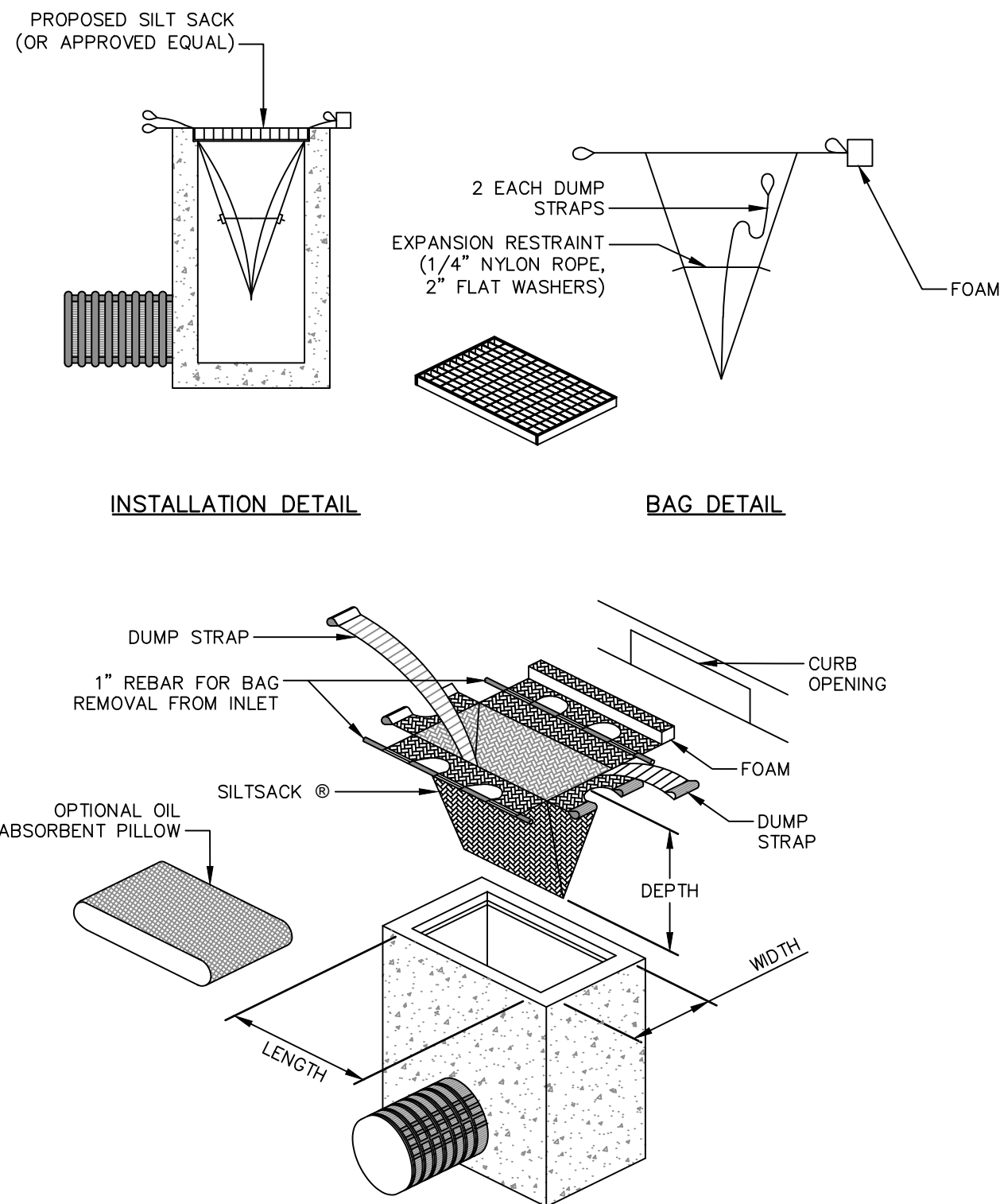
NOTES:

1. WATTLES SHALL BE TRENCHED APPROXIMATE 2-3 INCHES AND STAKED SUCH THAT WATTLES DIRECTLY CONTACT SOIL AND PRECLUDE UNDERMINING OR BLOWOUTS. THE TRENCH SHALL BE APPROXIMATELY 9 INCHES WIDE. STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE WATTLE AT A SPACING OF 3-4 FEET ON CENTER AND NO GREATER THAN 6" FROM THE EACH END OF THE WATTLE. STAKES SHALL BE 1-INCH BY 1-INCH WOODEN STAKES WITH A LENGTH OF 18 INCHES. COMPACT SOIL EXCAVATED TO CREATE TRENCH ON UPHILL SIDE.
2. ENDS OF ADJACENT WATTLES SHALL BE TIGHTLY BUTTED OR OVERLAPPED SO THAT NO OPENING EXISTS FOR WATER TO PASS THROUGH. WATTLES SHALL BE FREE OF DAMAGE OR DEFECTS WHEN DELIVERED TO THE SHIPPER. NO VEHICLES SHALL BE DRIVEN OVER WATTLES.
3. WATTLES SHALL BE 12-INCH SEDIMAX-FR™ FILTRATION ROLL MANUFACTURED BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

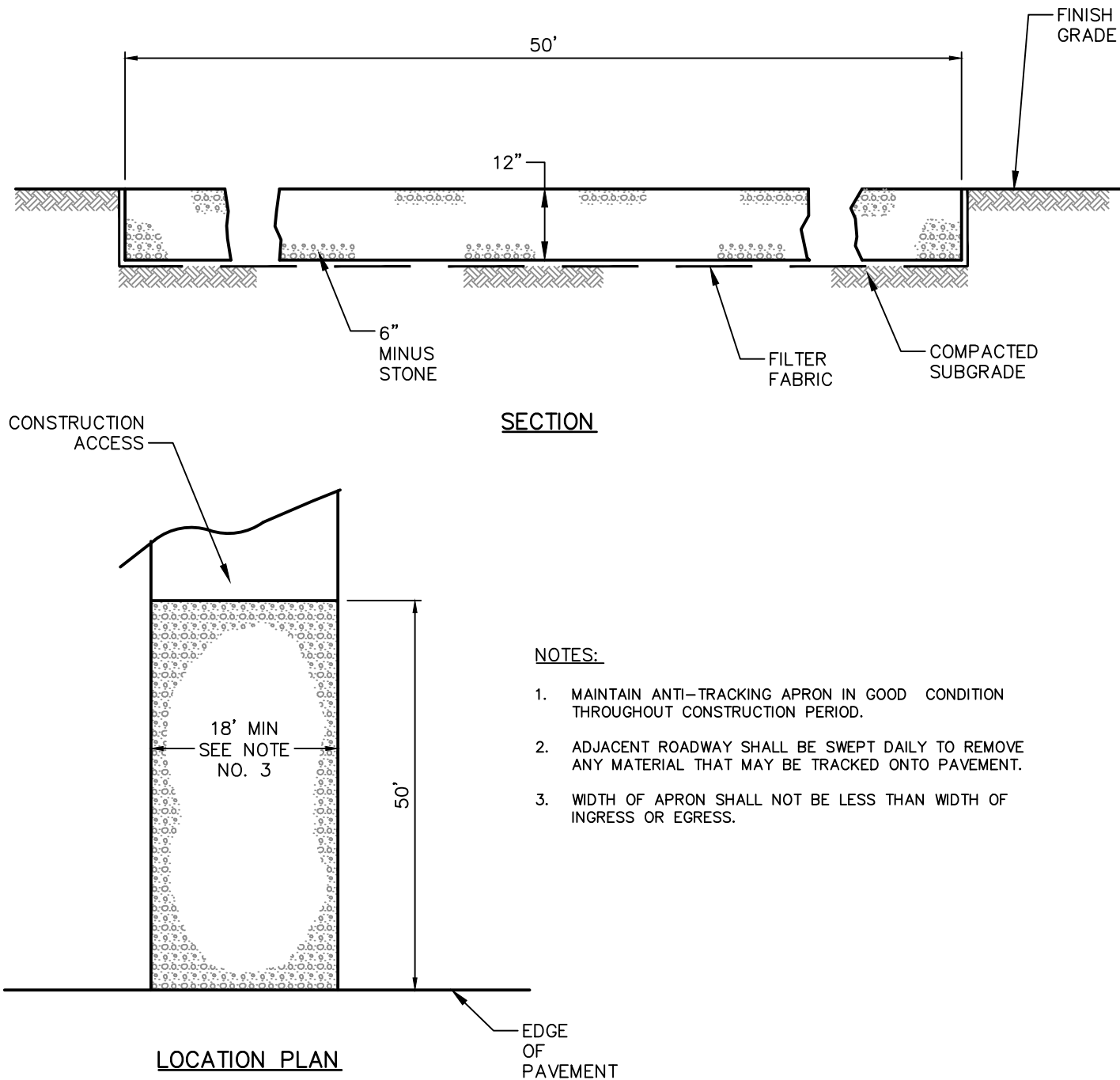
WATTLES
NOT TO SCALE



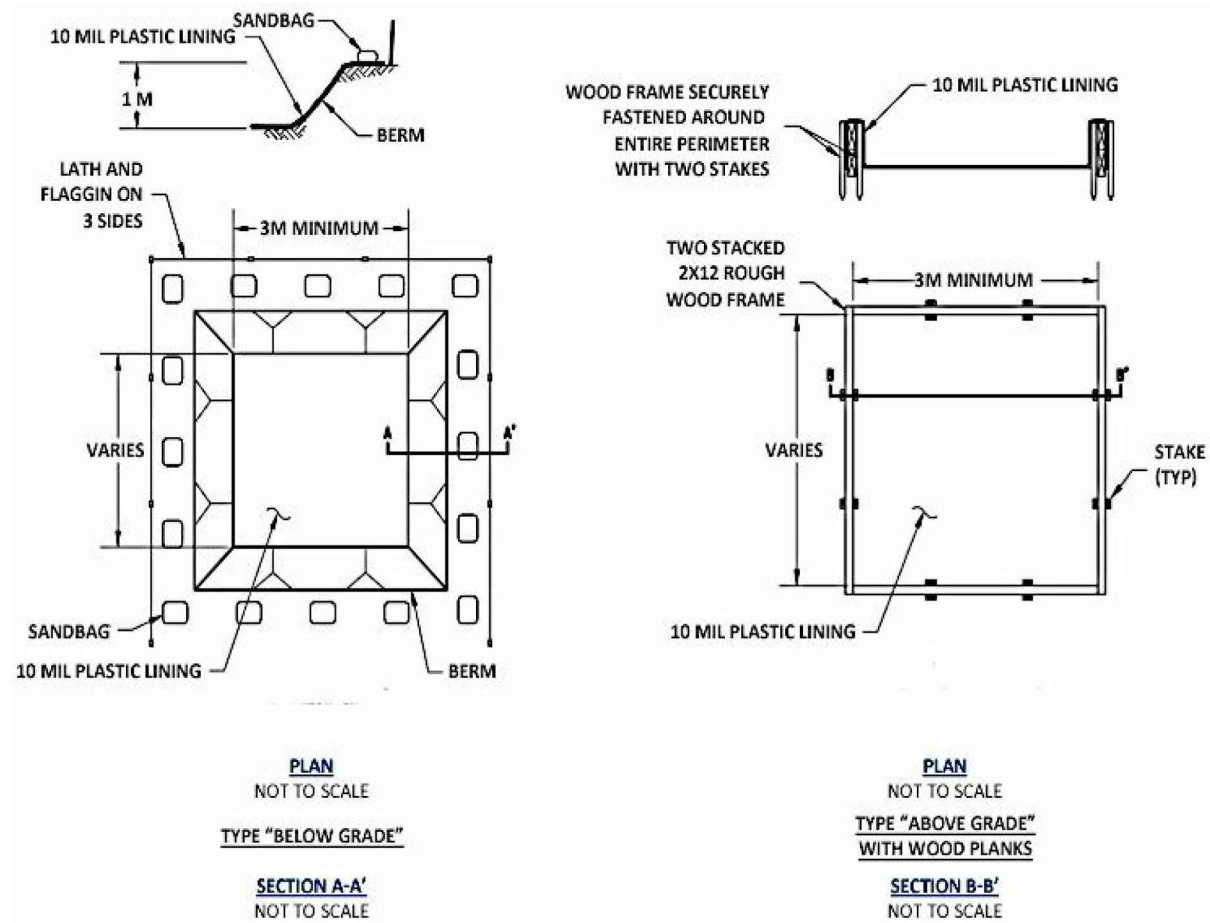
CURB INLET PROTECTION
NOT TO SCALE



CATCH BASIN INLET PROTECTION
NOT TO SCALE



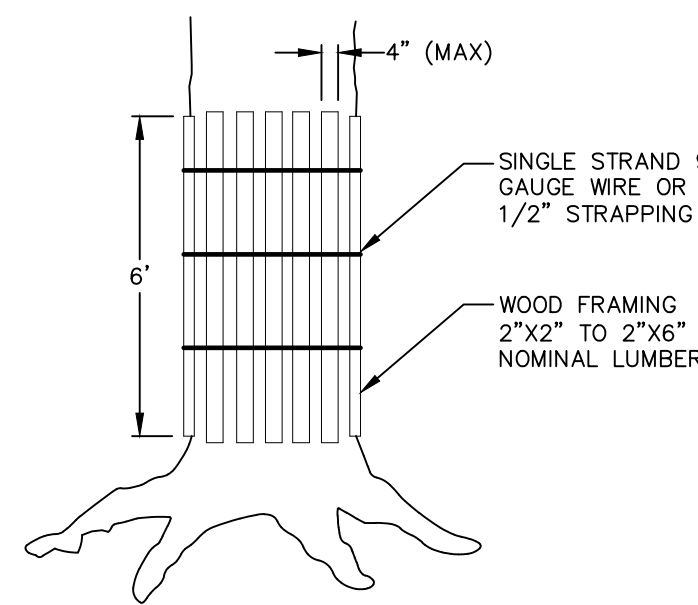
CONSTRUCTION ACCESS
NOT TO SCALE



- NOTES:**
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
 2. FOR REFERENCE PURPOSES ONLY. NOT FOR CONSTRUCTION PURPOSES.

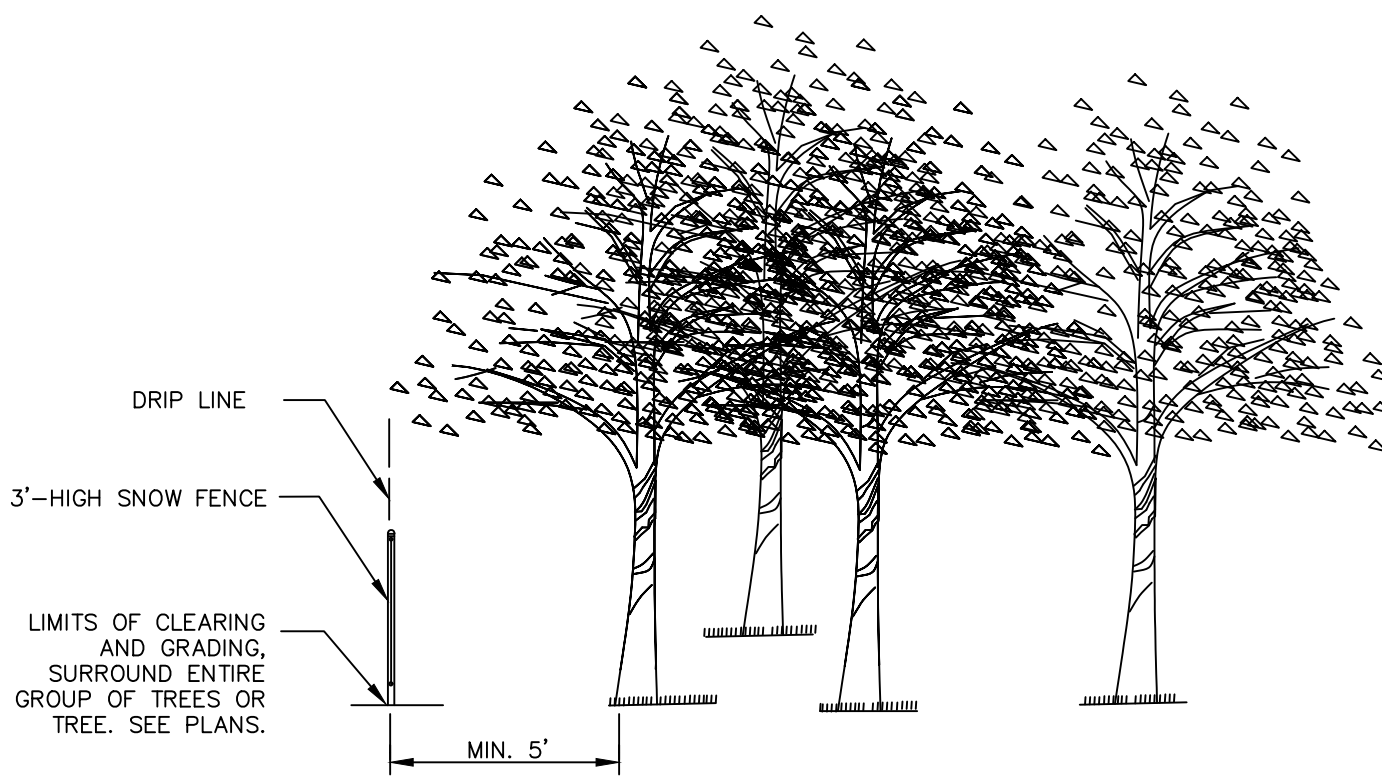
REFERENCE:
RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, ISSUED 1989 (REVISED 2014)

TEMPORARY CONCRETE WASHOUT FACILITY
NOT TO SCALE



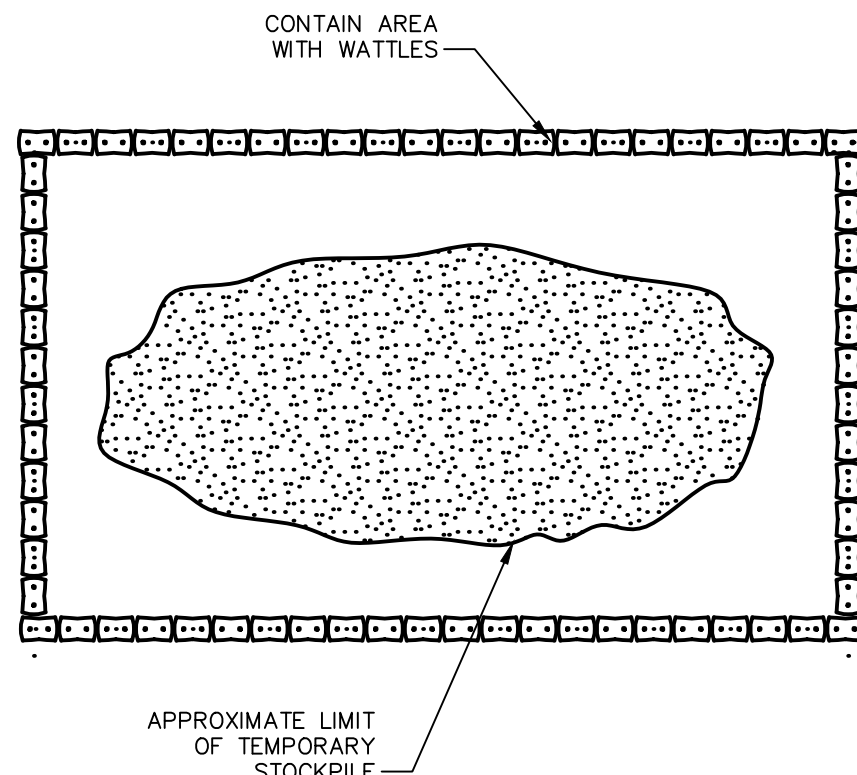
NOTE:
SHALL BE IN ACCORDANCE WITH SECTION L11 OF THE STANDARD SPECIFICATIONS.

INDIVIDUAL TREE



GROUPING OF TREES

TREE PROTECTION
NOT TO SCALE



TEMPORARY SOIL STOCKPILE
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

SCALE:

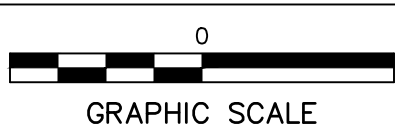
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DATUM:

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VERT.:



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PROVIDENCE, RI 02908
401.861.3070
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

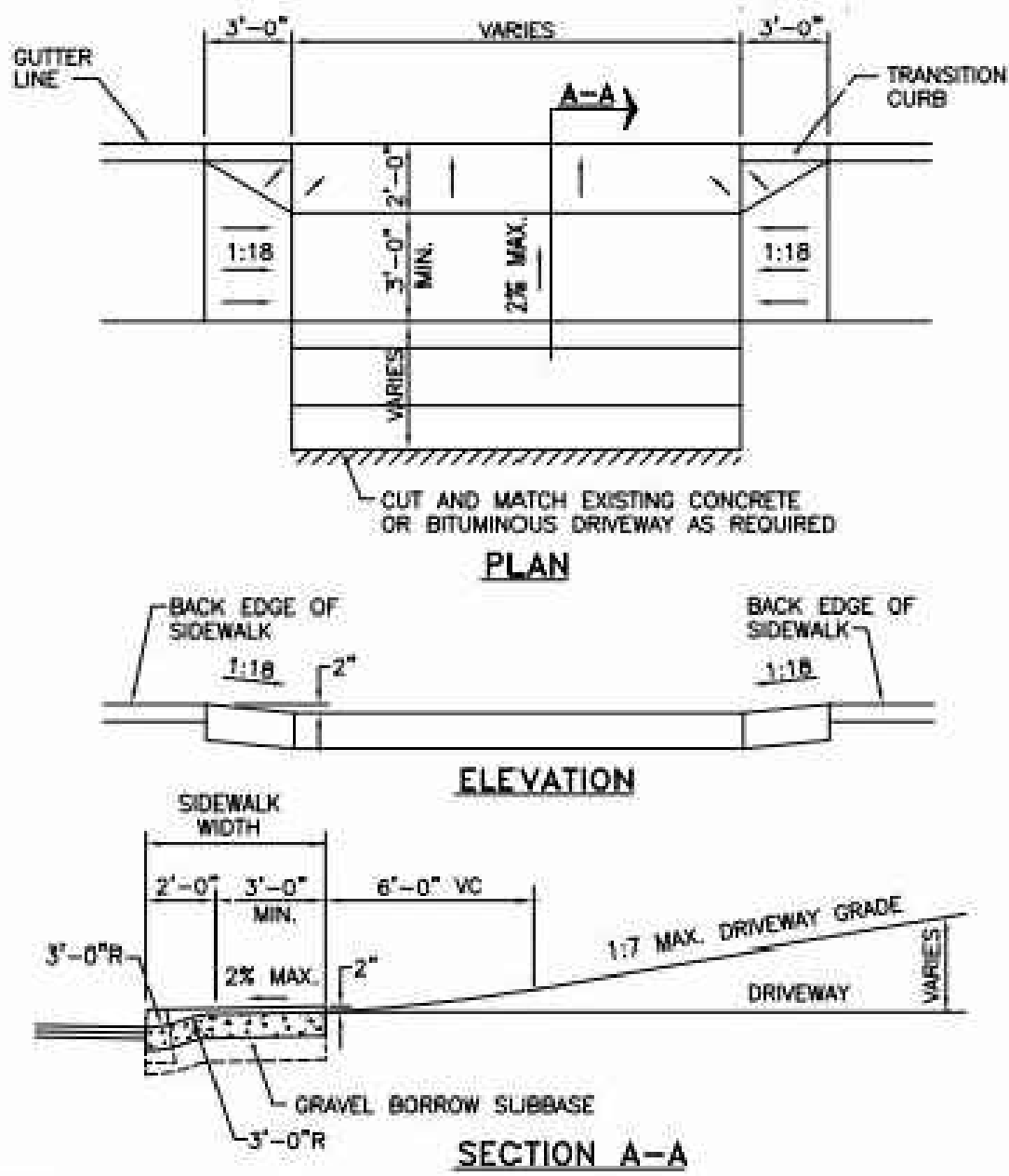
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CD-501

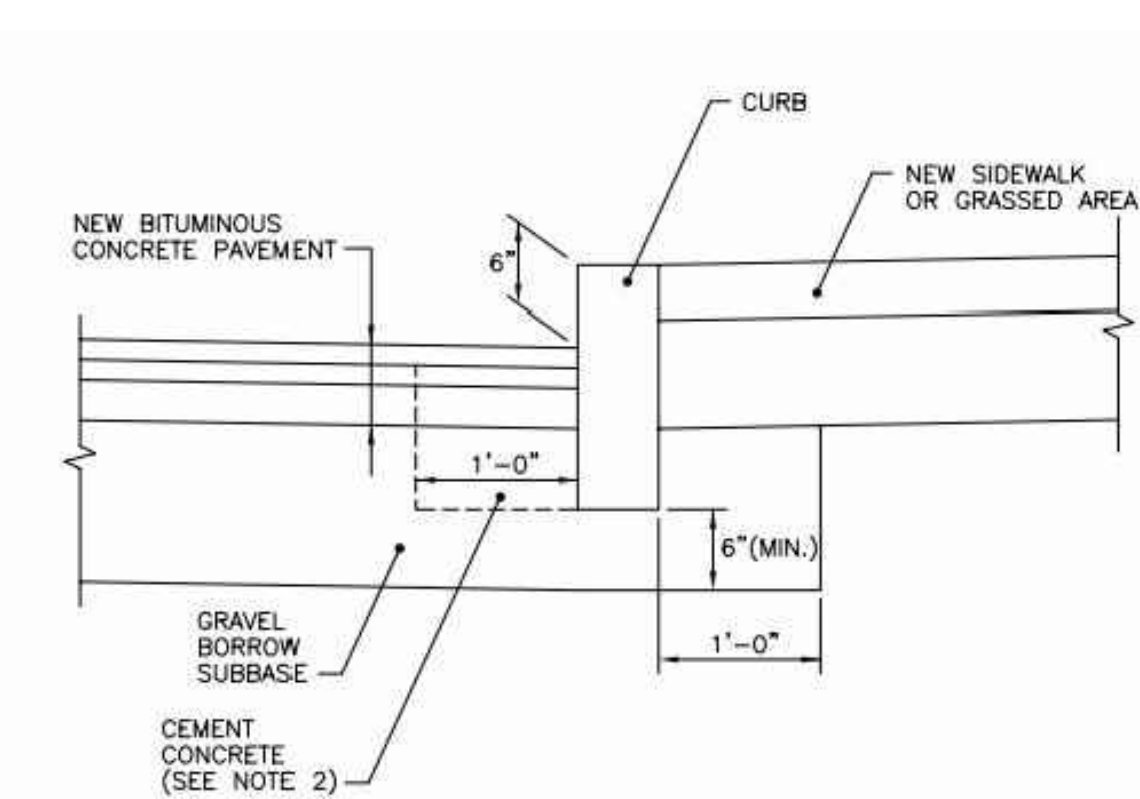
SHEET 16 OF 28

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NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. WHEN DRIVEWAY IS BELOW BACK EDGE OF SIDEWALK PROFILE, STD. 43.4.1 MUST BE USED.

DRIVEWAY DEVELOPMENT
NOT TO SCALE

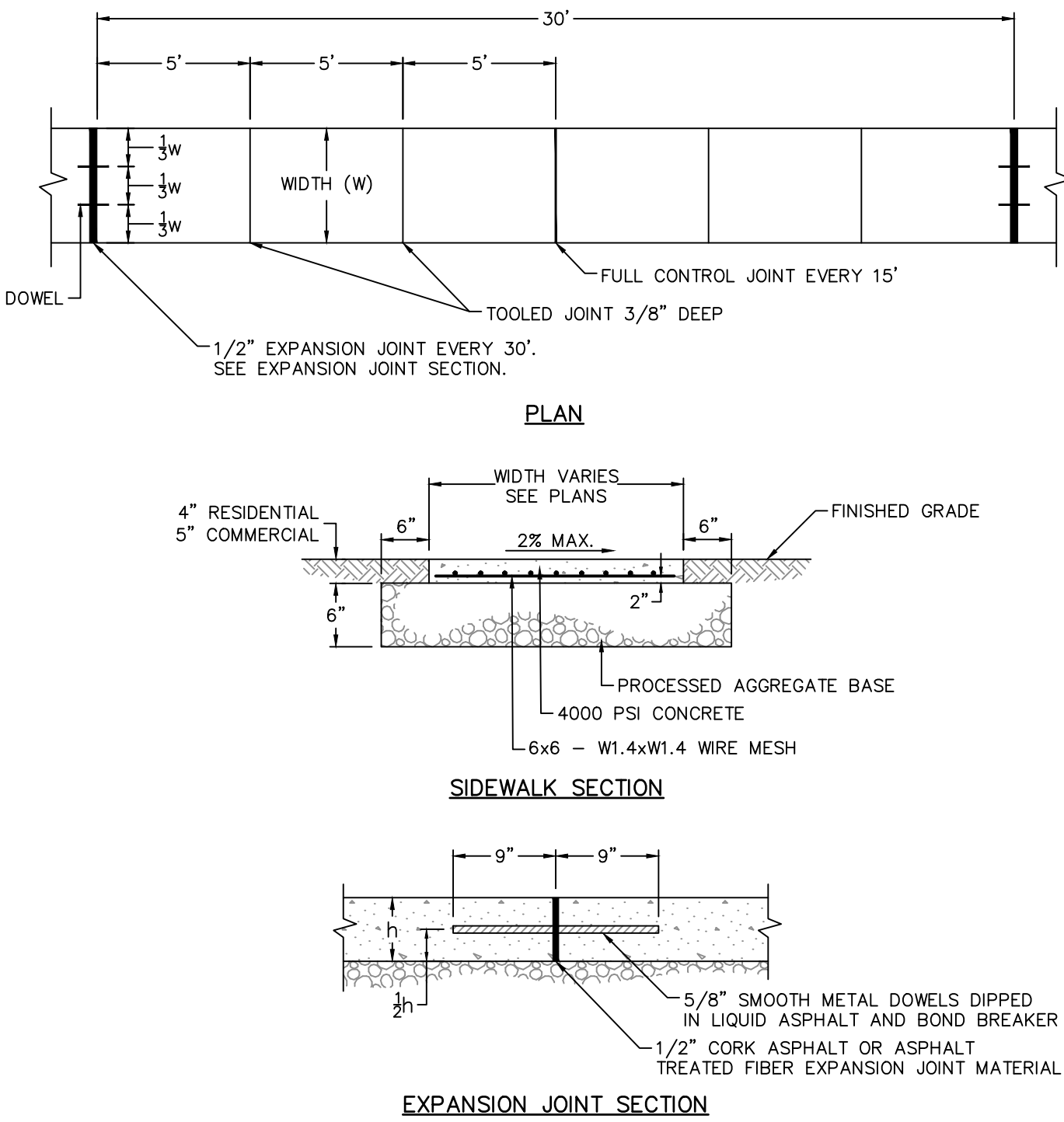


NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

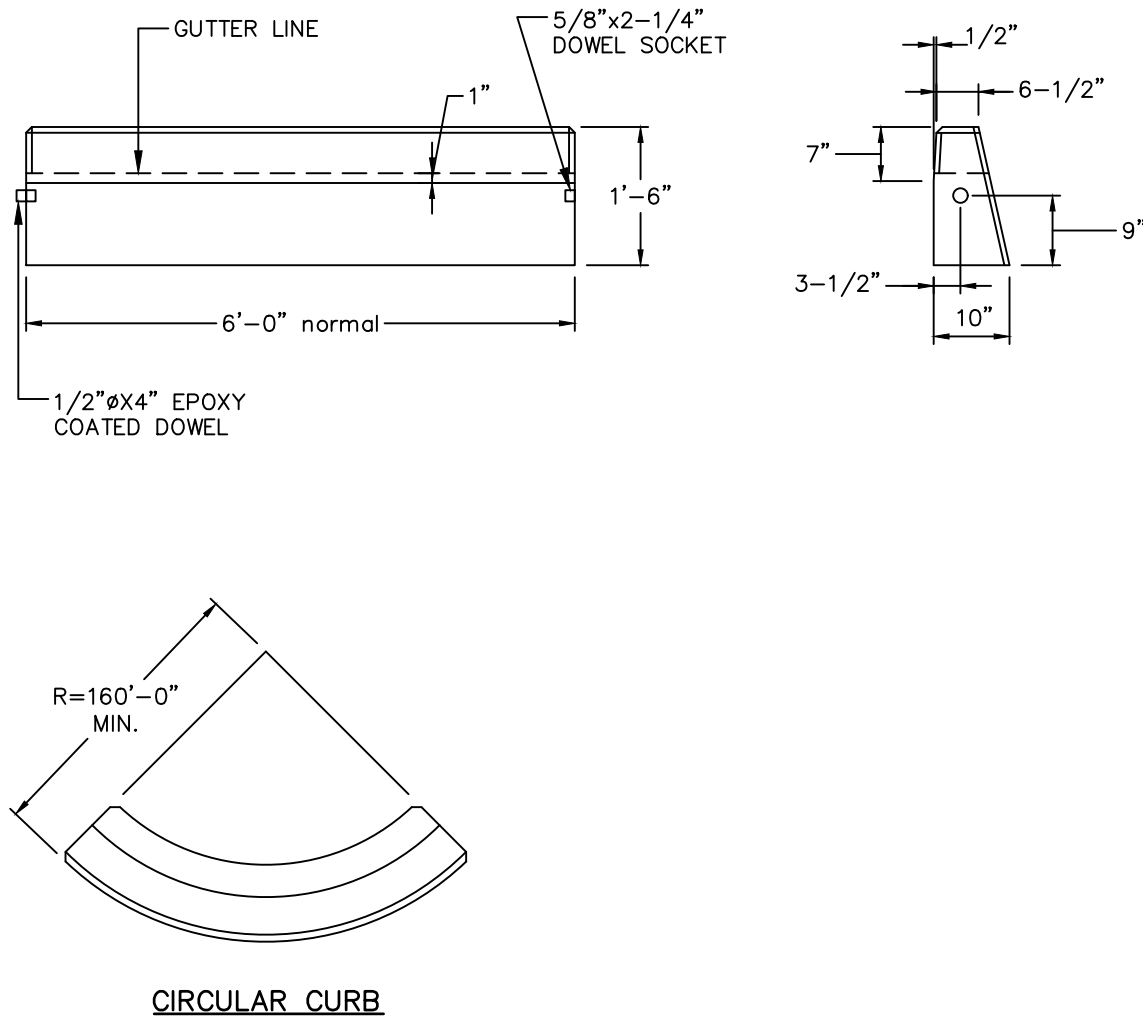
CURB SETTING
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

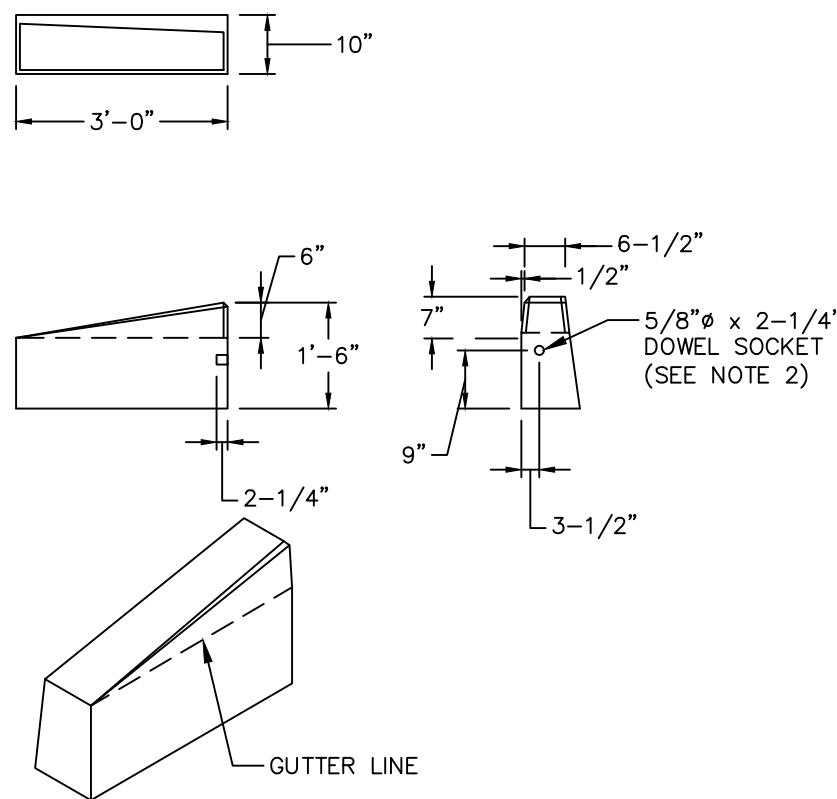


CONCRETE SIDEWALK
NOT TO SCALE



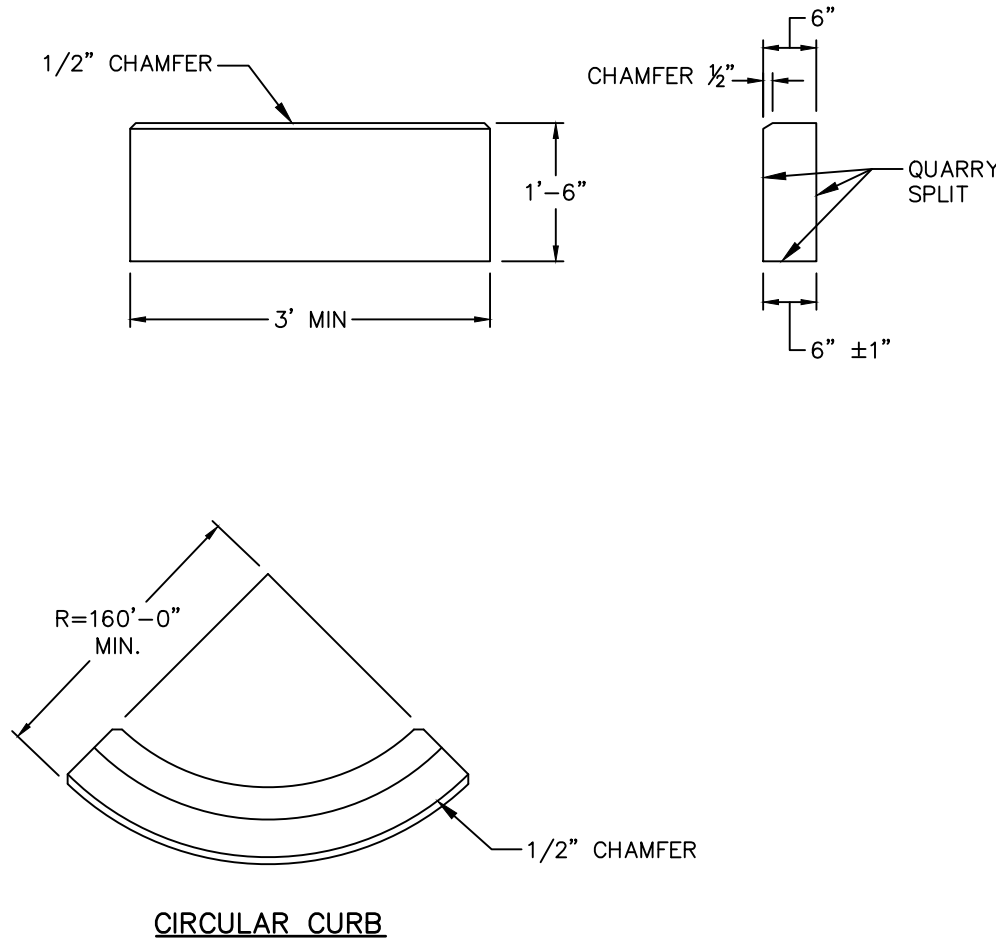
NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

CONCRETE CURB
NOT TO SCALE



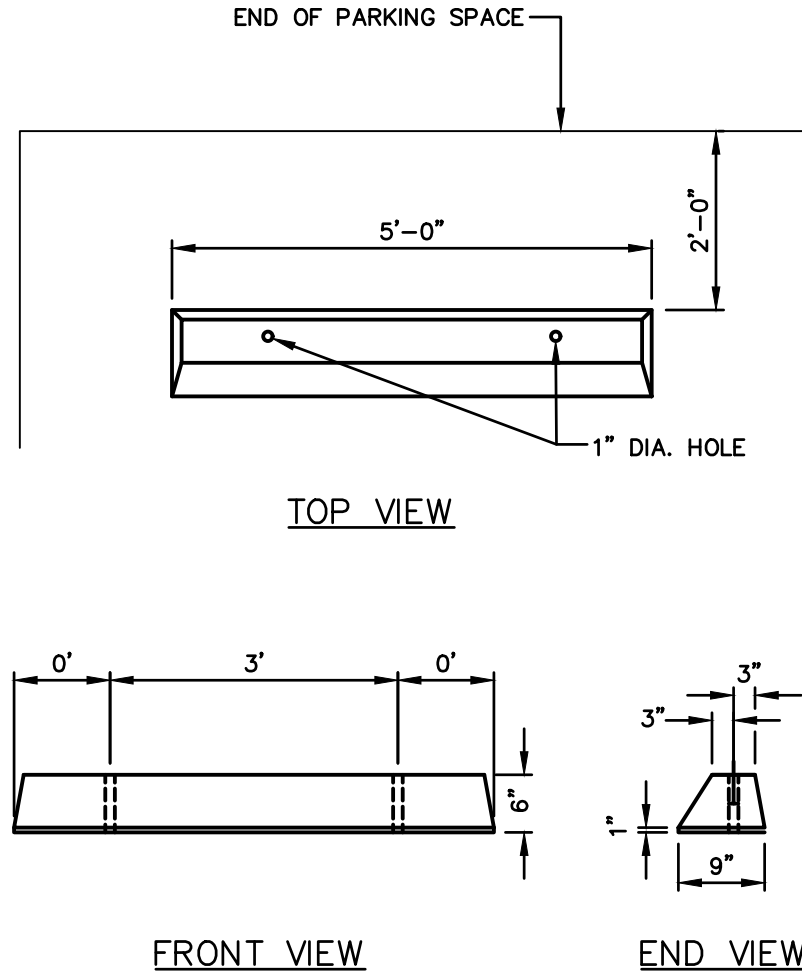
NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
5. LEFT AND RIGHT SECTIONS SHALL BE INSTALLED AS REQUIRED.

GRANITE TRANSITION CURB
NOT TO SCALE



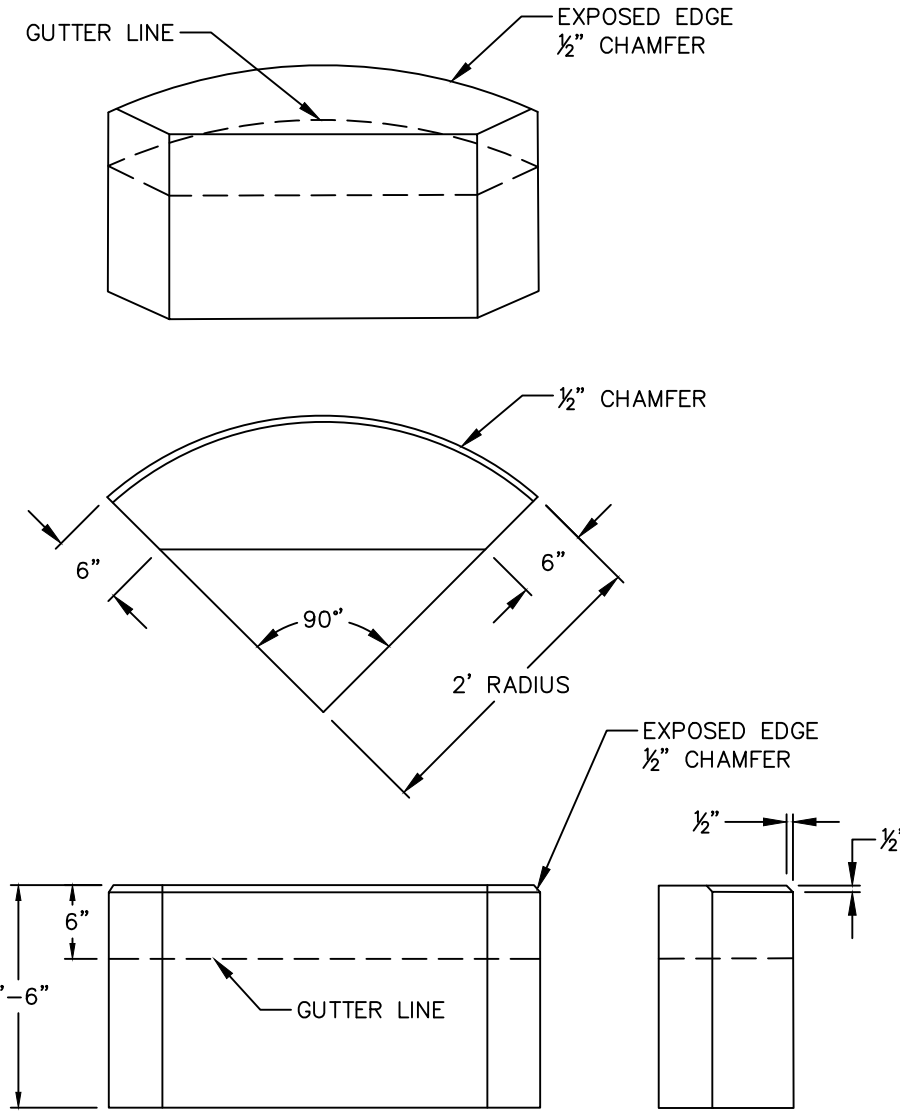
NOTE:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.
3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.

GRANITE CURB
NOT TO SCALE



NOTES:
1. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.
2. EACH PRECAST CONCRETE CAR STOP SHALL BE FURNISHED WITH TWO 3/4" x 18" STEEL RODS.
3. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

PRECAST CONCRETE WHEEL STOPS
NOT TO SCALE



NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

GRANITE RADIUS CURB
NOT TO SCALE

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4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

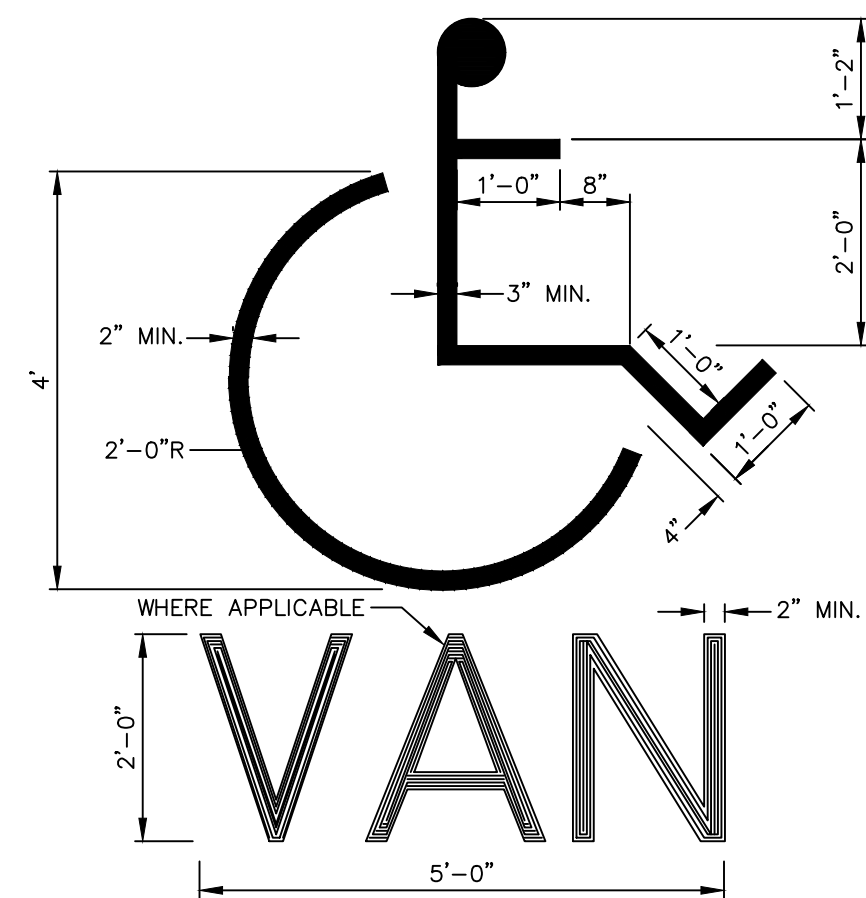
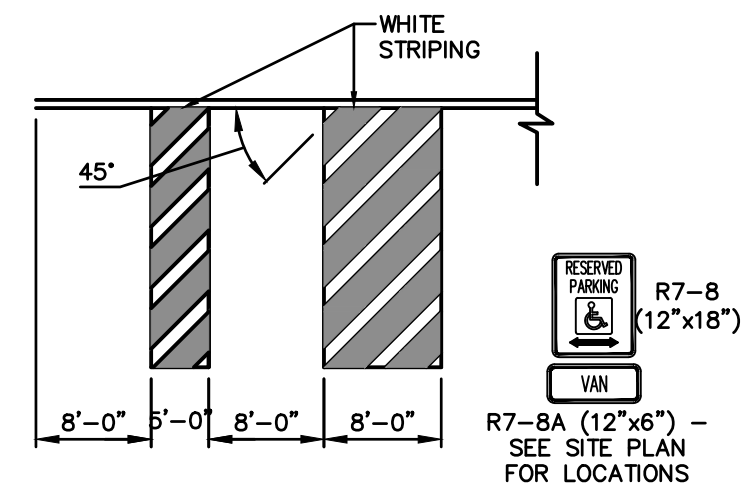
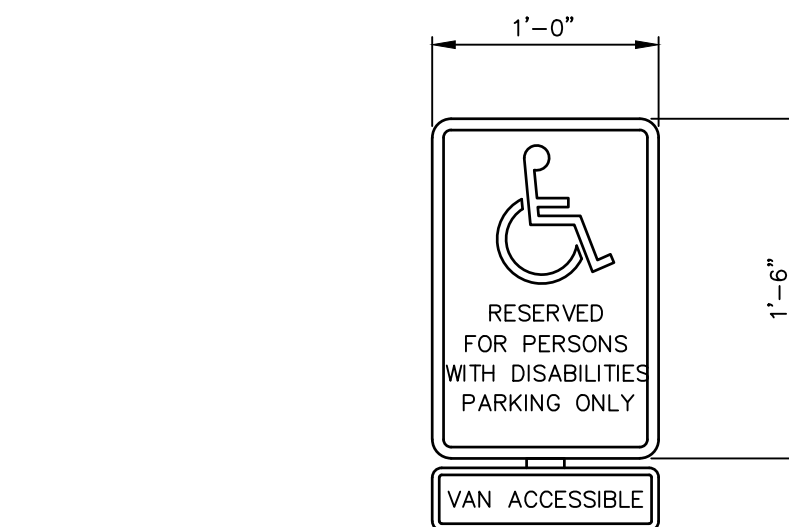
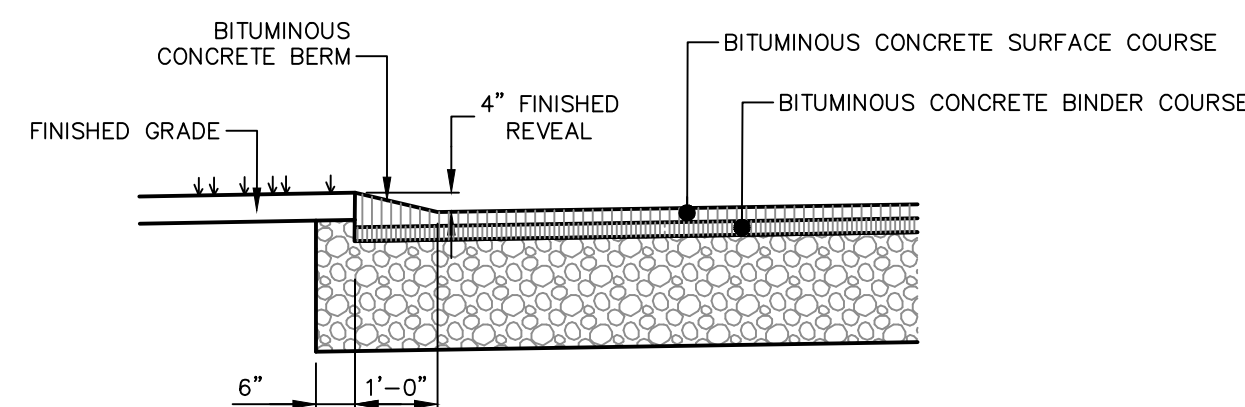
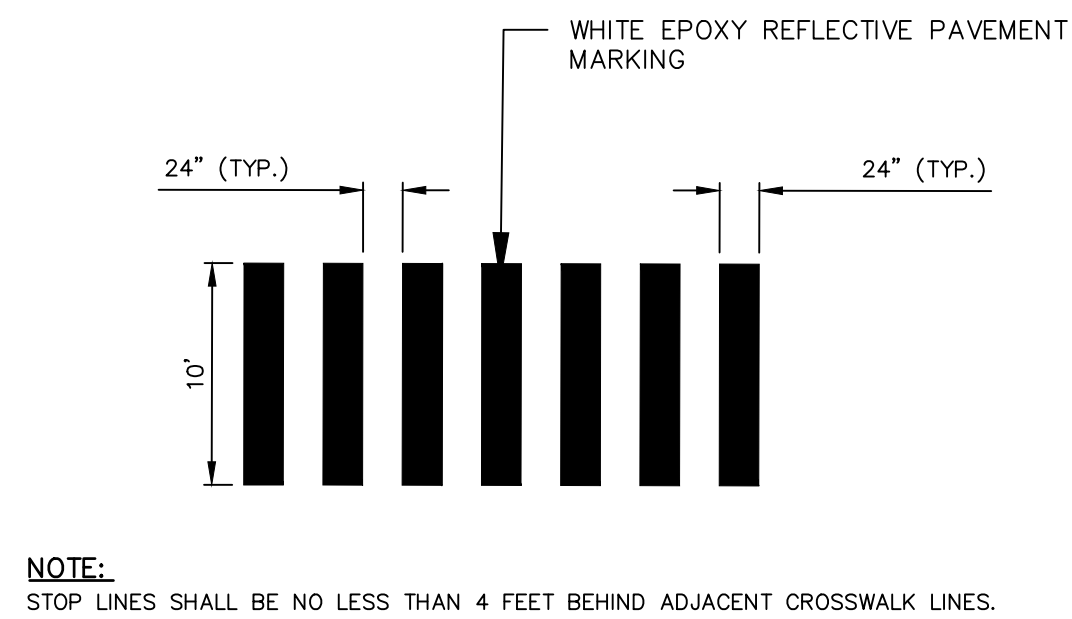
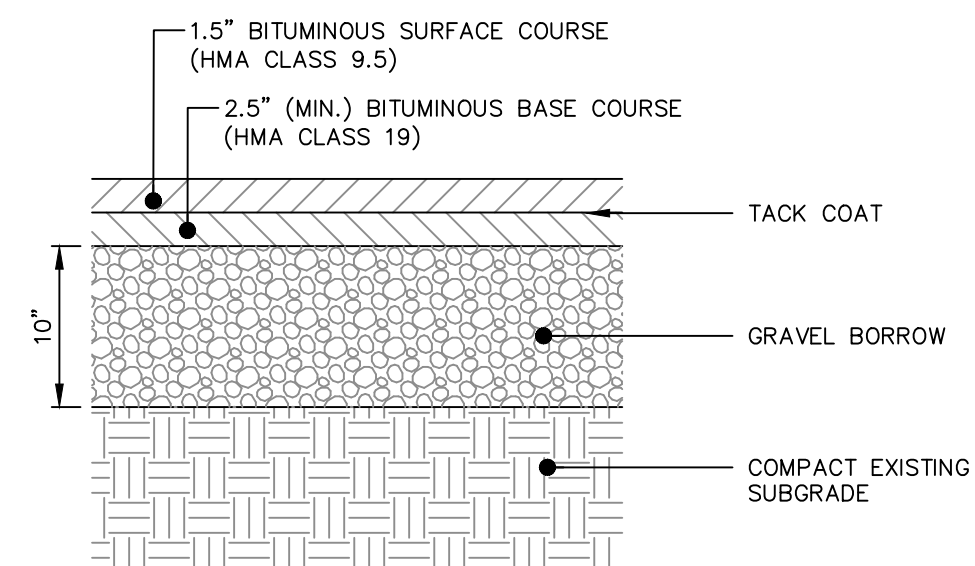
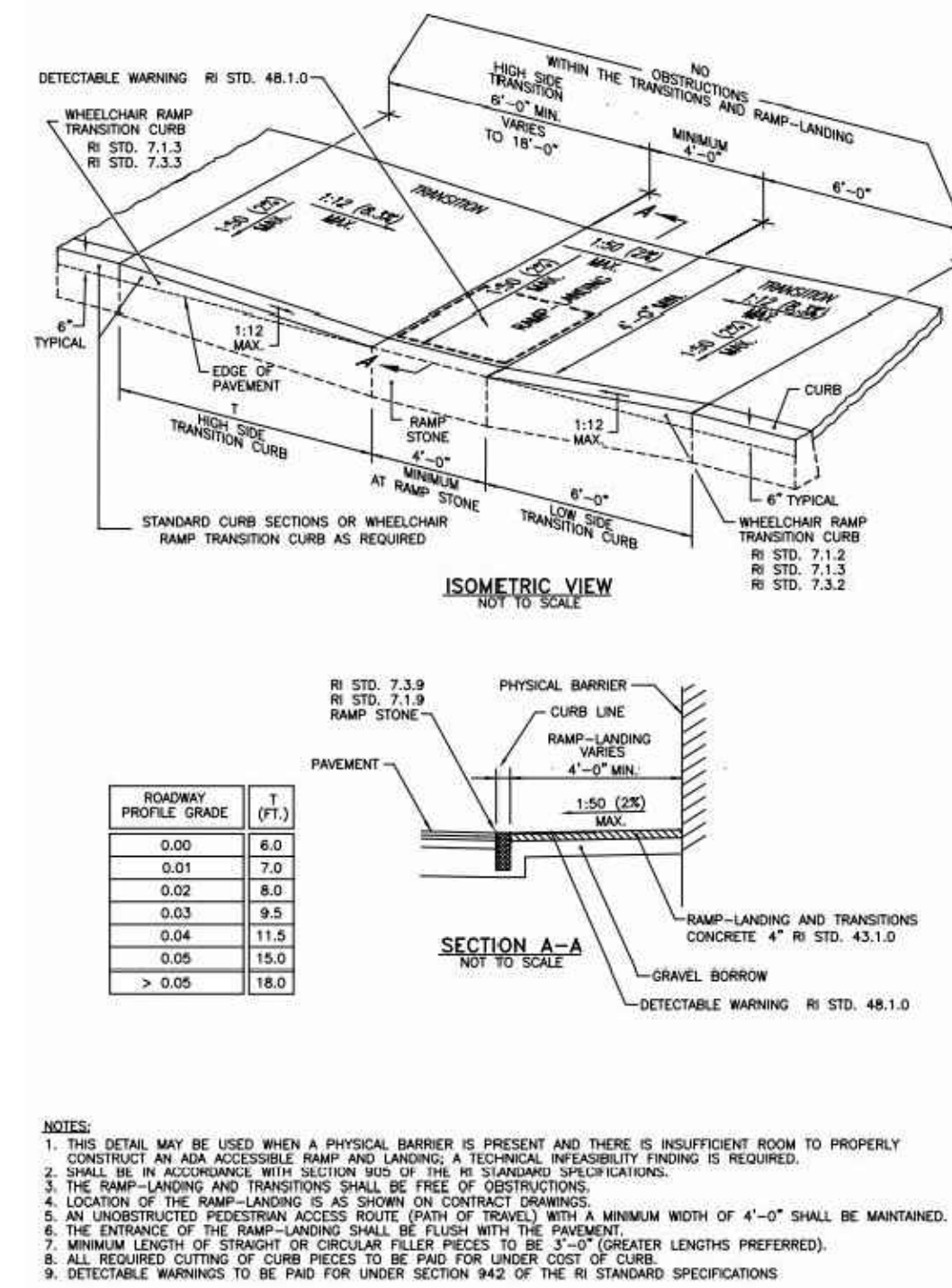
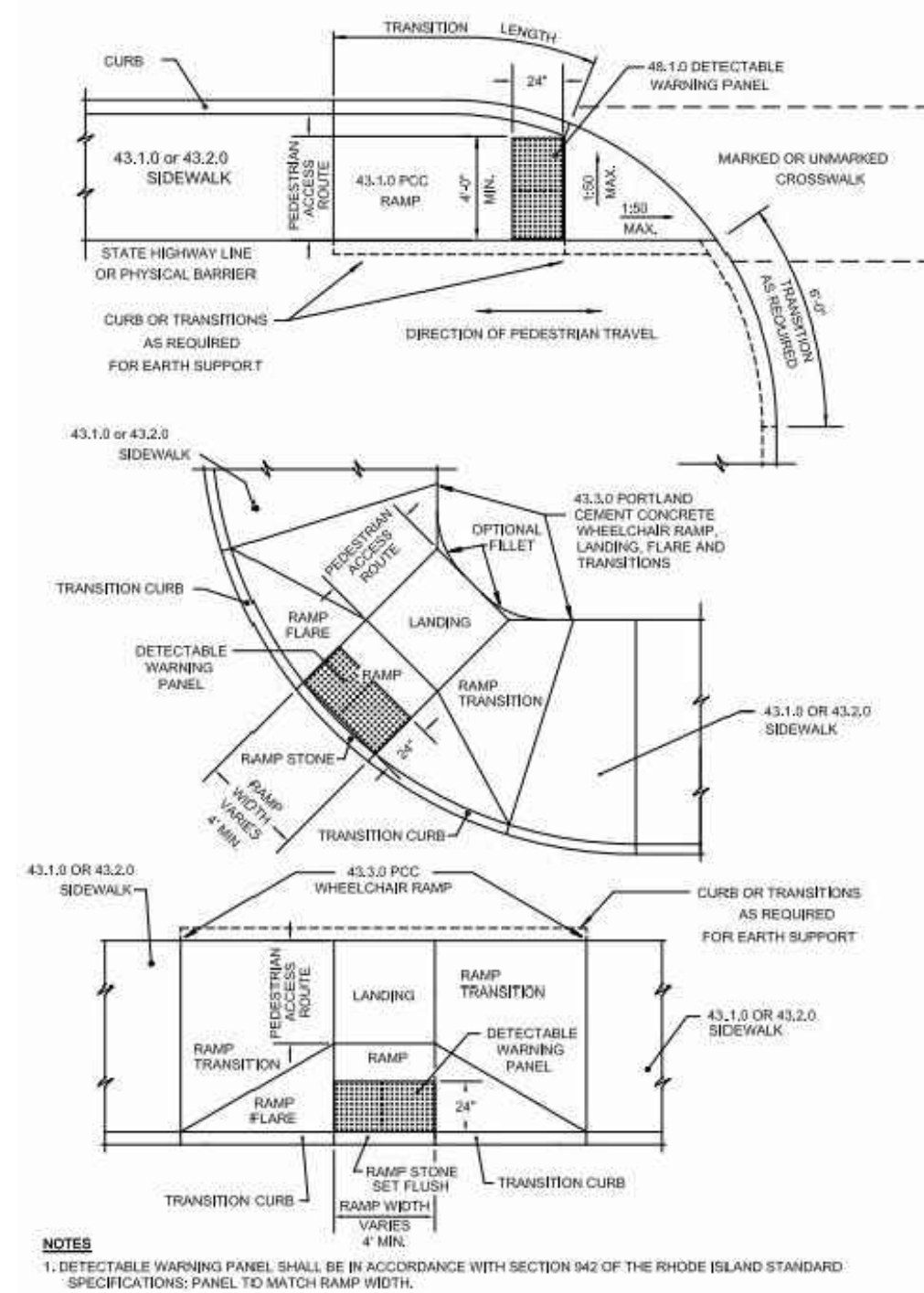
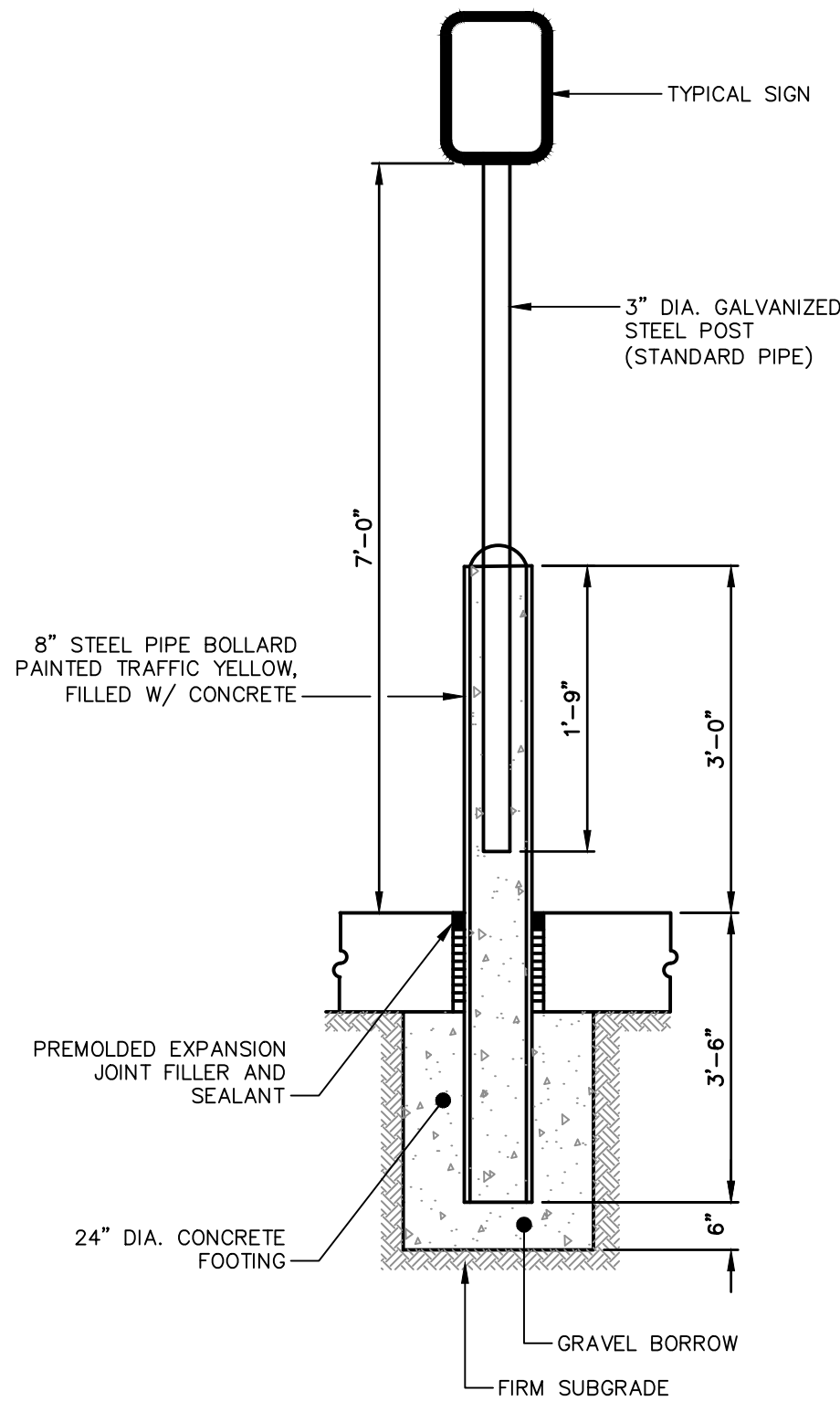
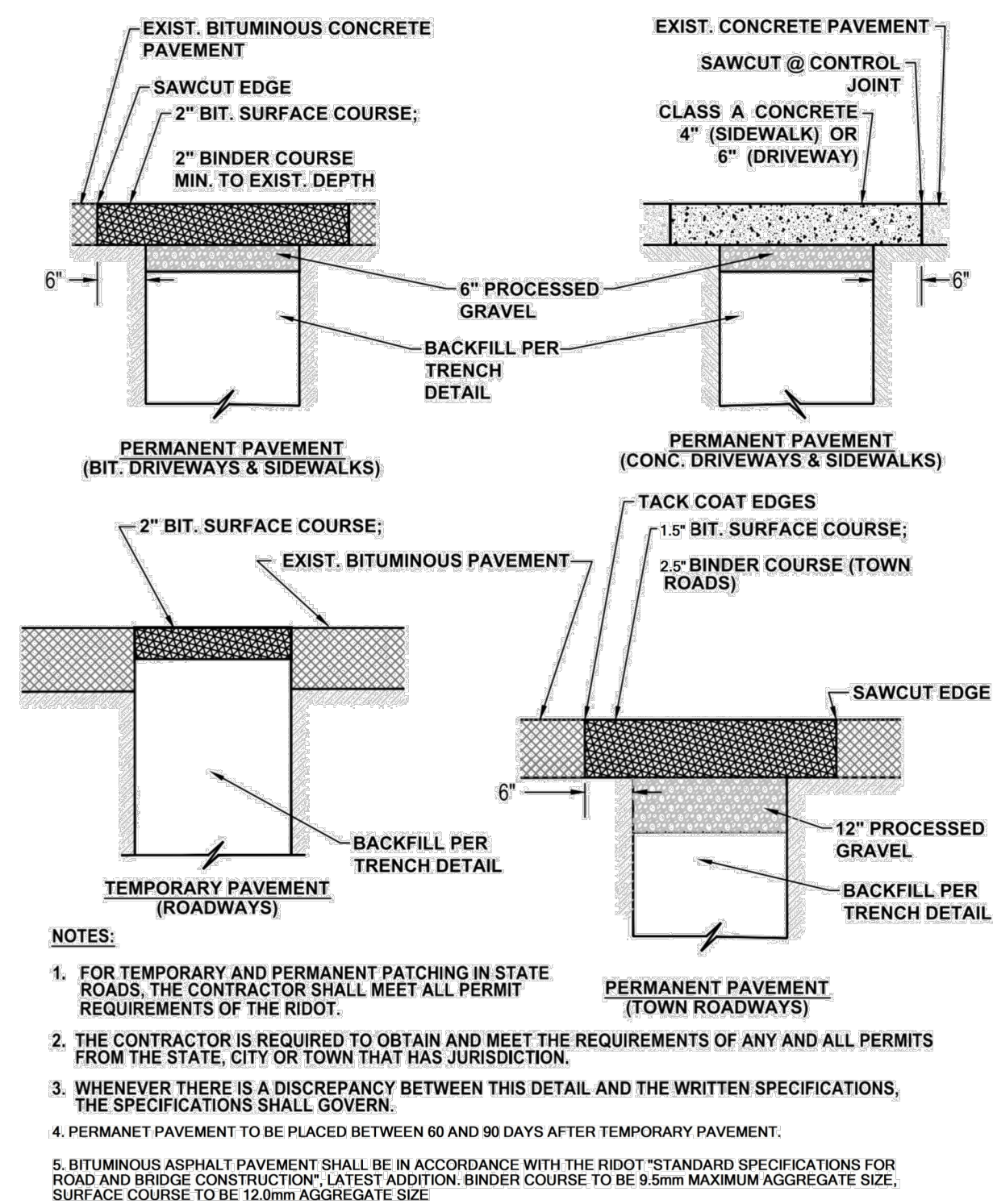
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DATUM:	HORIZ.:
	VERT.:
	GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC
DETAILS
BRISTOL YARN MILL
125 THAMES STREET
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023
CD-502
SHEET 17 OF 28

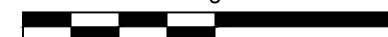


PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE	DATE
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4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM	
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM	
2.	2/2/23	RIDEM AND CRWC PERMITTING APPLICATION	KLM	SMM	
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM	
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER	

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	DATUM:
	HORIZ.:
	VERT.:
	
GRAPHIC SCALE	



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BRADY SULLIVAN PROPERTIES, LLC

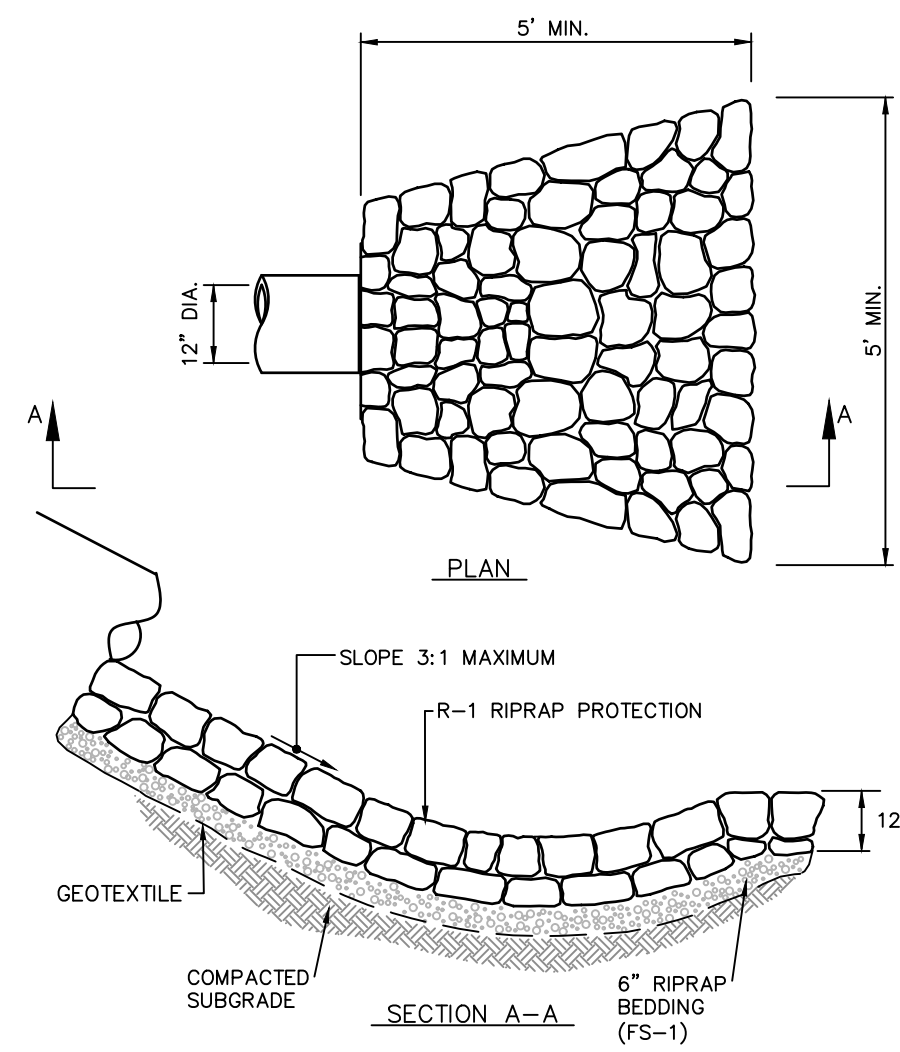
DETAILS

BRISTOL YARN MILL

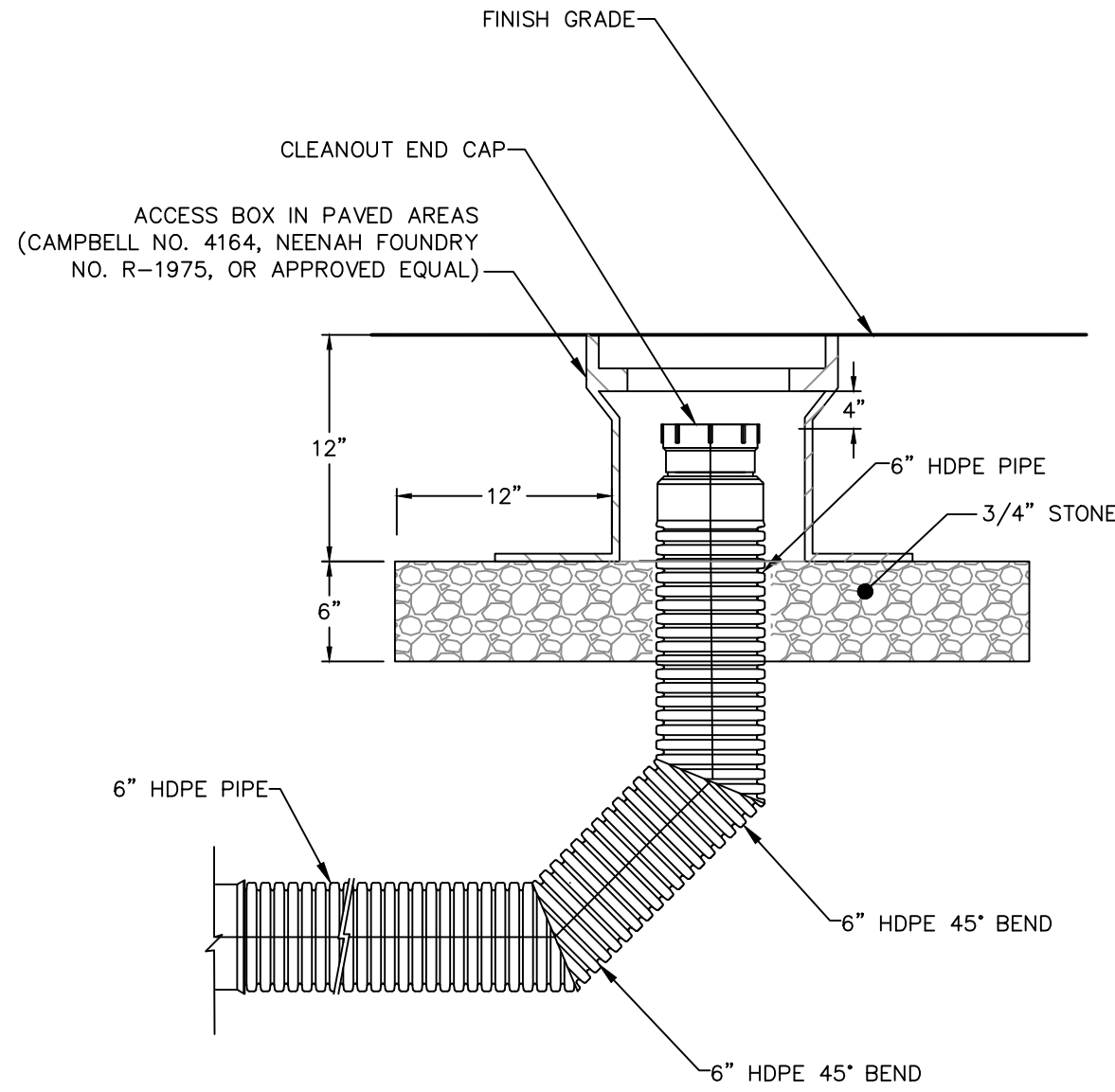
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BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023
CD-503
SHEET 18 OF 28

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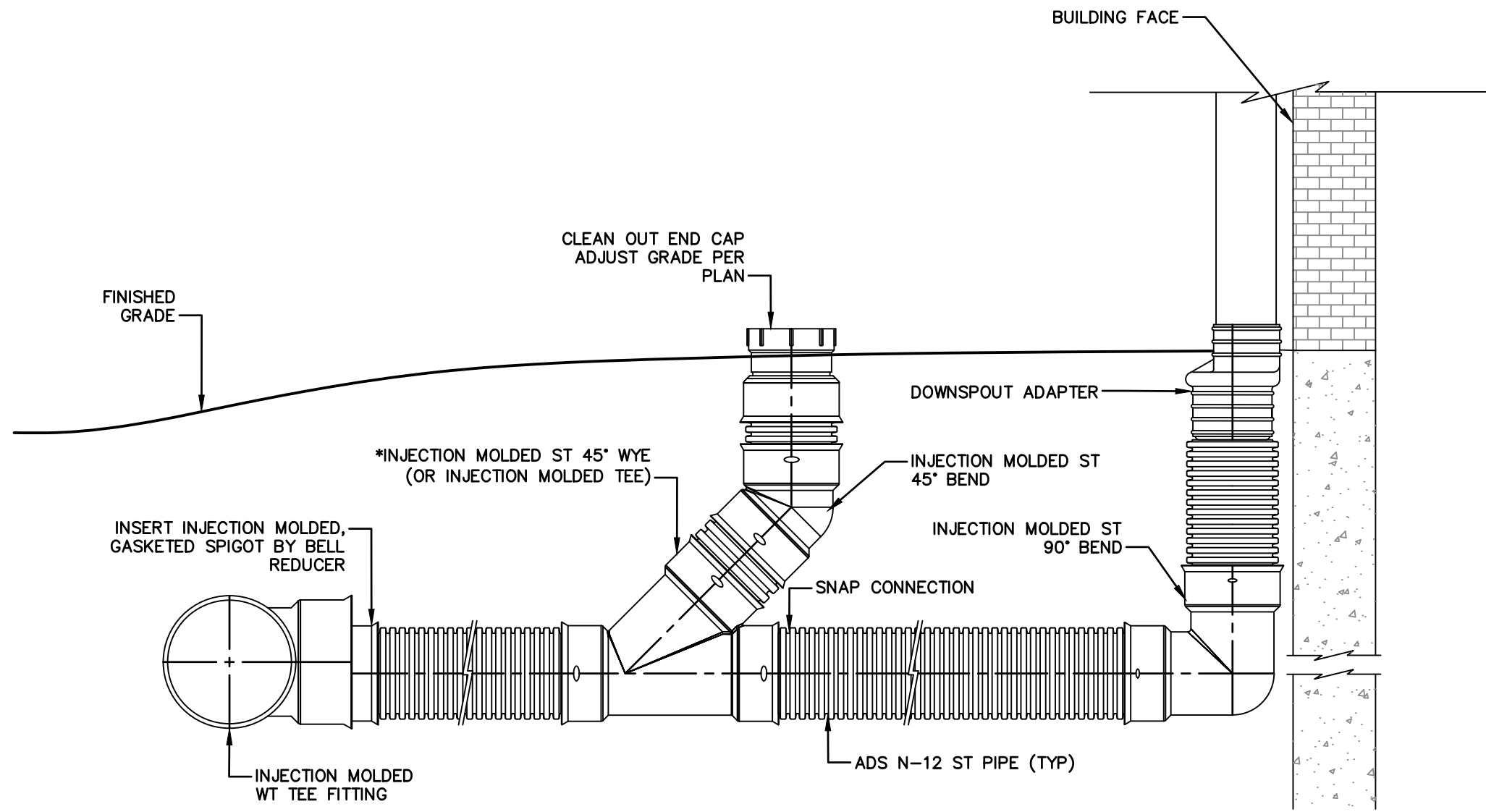


RIPRAP SPLASH PAD
NOT TO SCALE

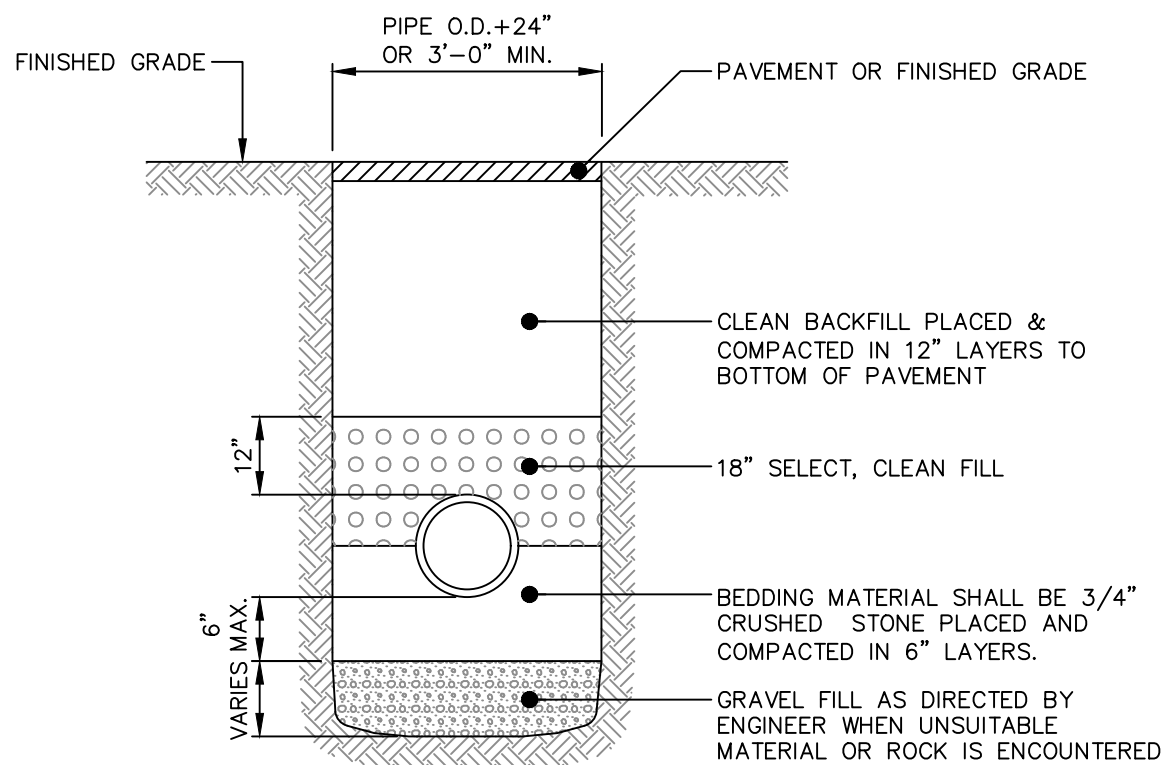


- NOTE:
1. IN UNPAVED AREAS, CLEANOUT CAP SHALL BE BURIED 3 INCHES.
 2. ACCESS BOX IN PAVED AREAS SHALL HAVE 9.5" SOLID COVER WITH LETTERING "CLEANOUT".
 3. IN-LINE CLEANOUTS SHALL HAVE TEE WYE IN LIEU OF TWO 45 DEGREE BENDS.

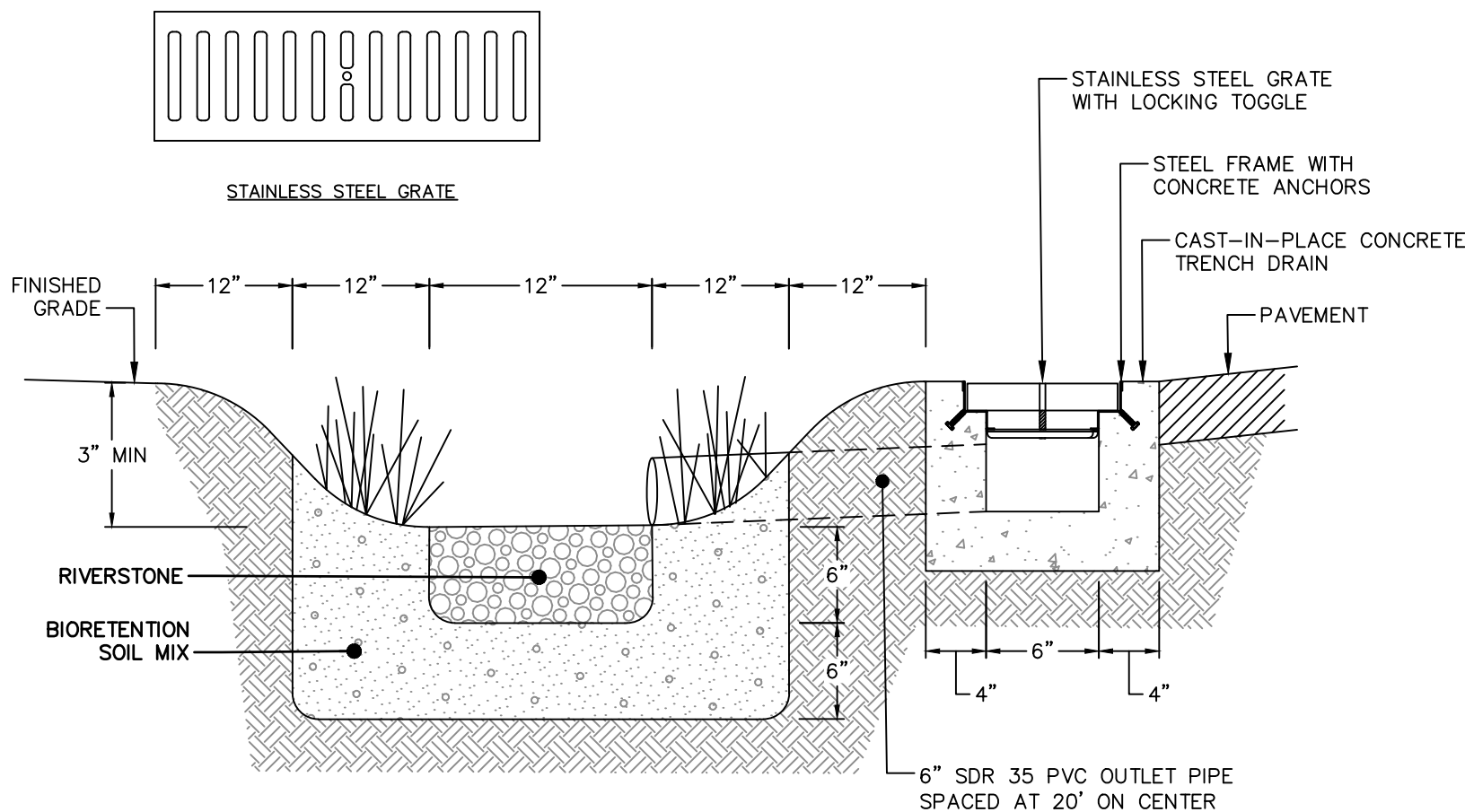
STORM DRAIN CLEANOUT
NOT TO SCALE



DOWNSPOUT CONNECTION
NOT TO SCALE

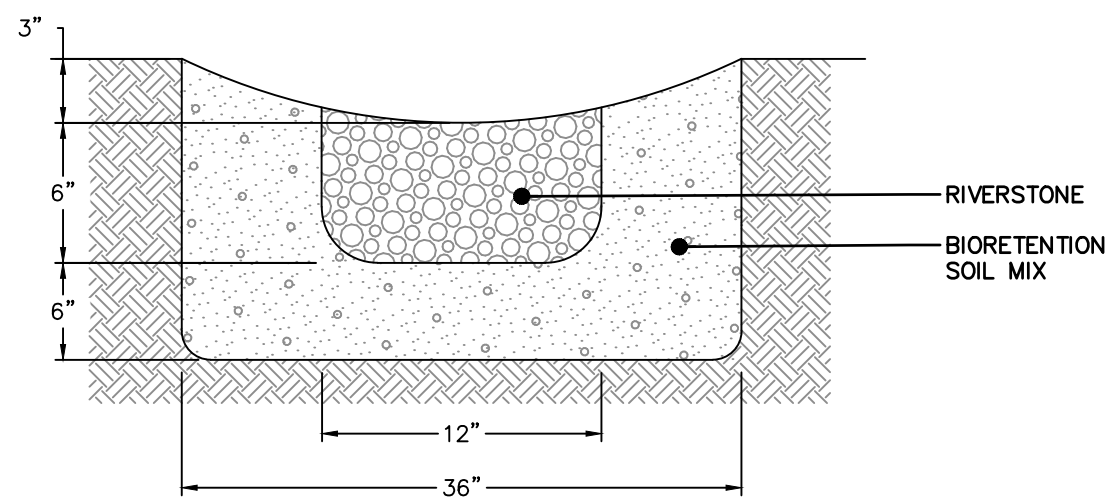


STORM DRAIN TRENCH
NOT TO SCALE



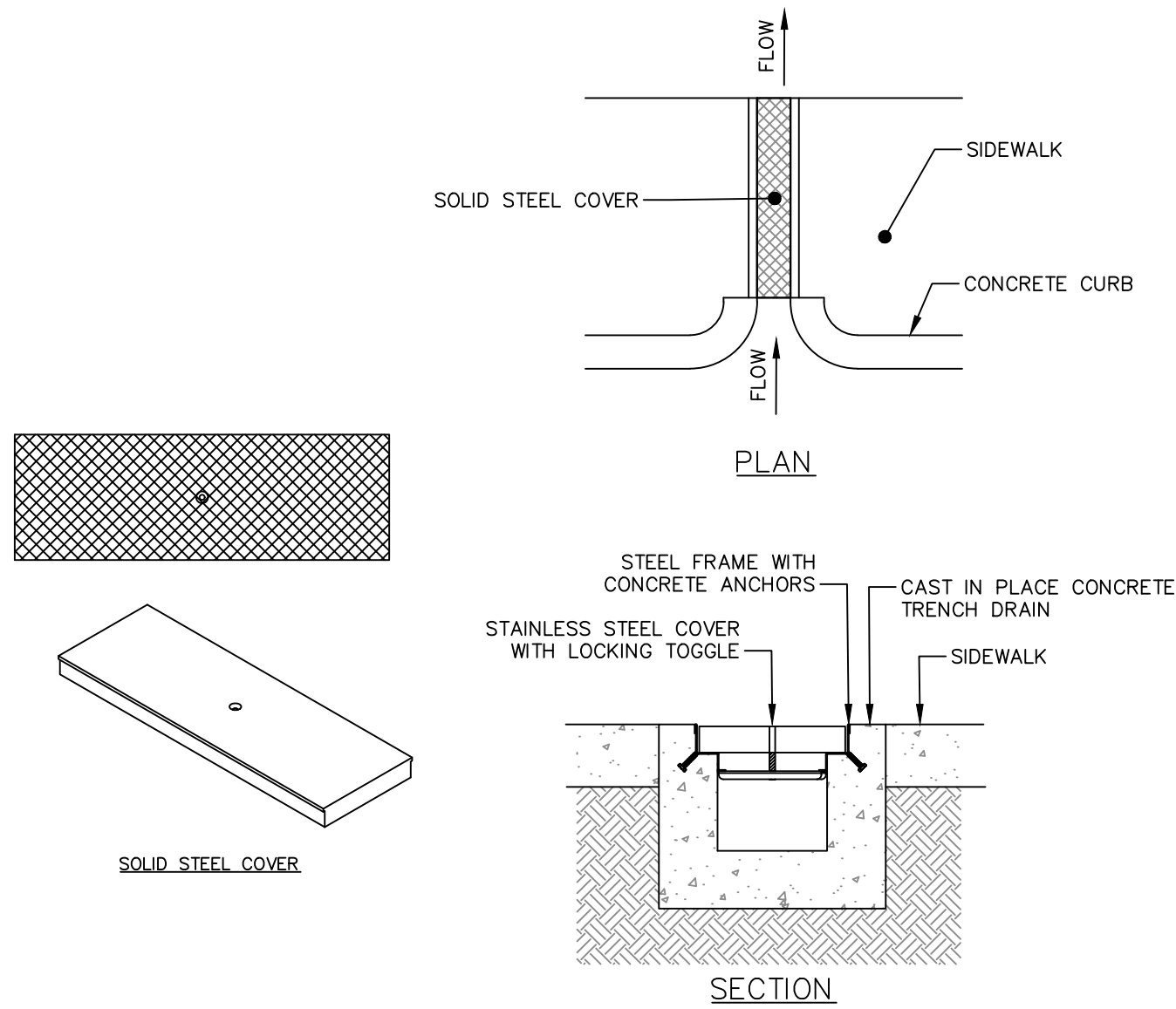
- NOTE:
1. SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'. BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 1
NOT TO SCALE



- NOTE:
1. SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'. BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 2
NOT TO SCALE



TRENCH DRAIN (SOLID COVER)
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

SCALE:

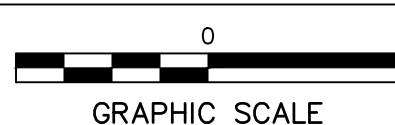
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VERT.:

DATUM:

HORZ.:

VERT.:



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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

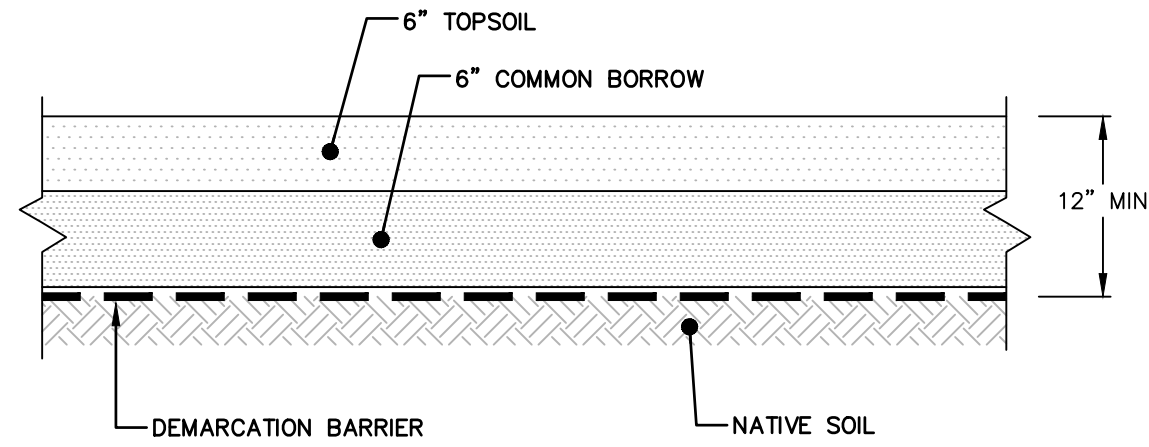
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CD-505

SHEET 20 OF 28

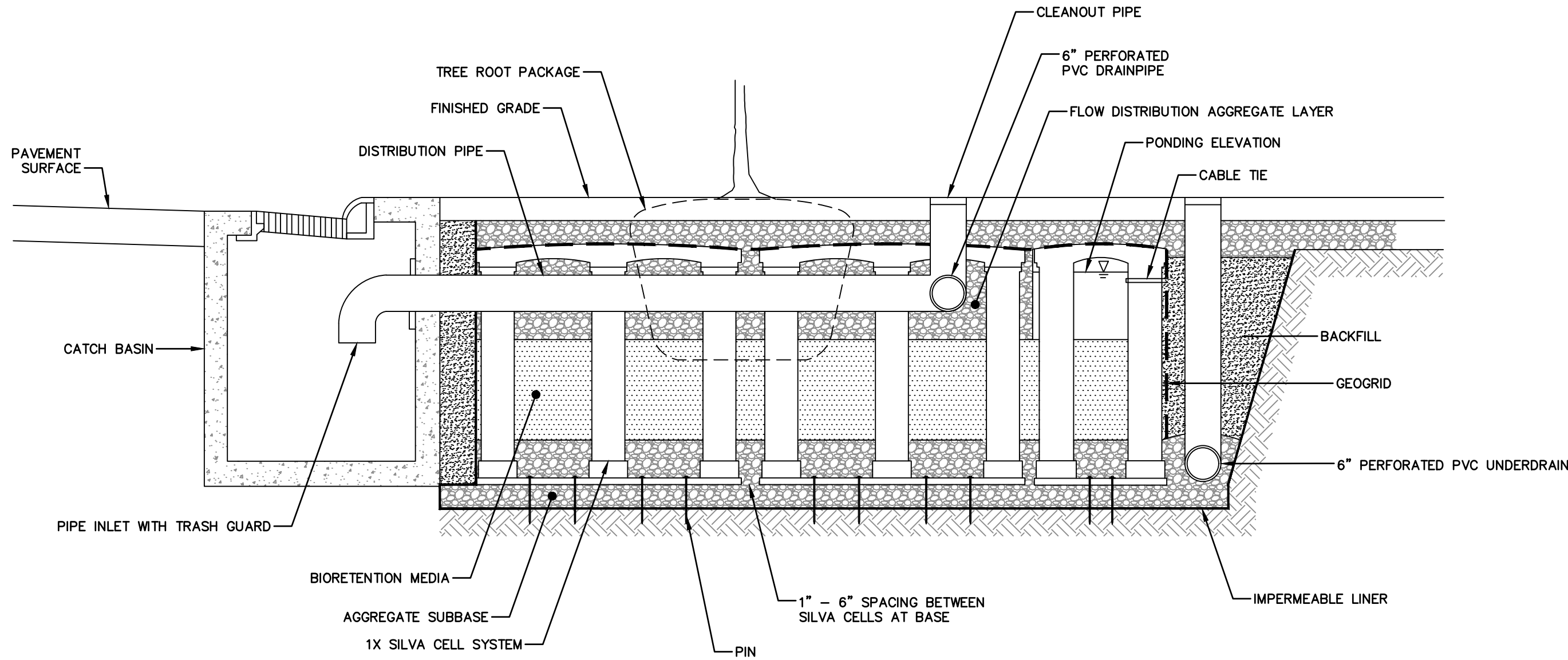
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MS VIEW: LAYER STATE: Plotter: NONE CTB File: FQ.STB



NOTES:

- IMPORTED CLEAN SOIL MUST BE LABORATORY TESTED TO DEMONSTRATE COMPLIANCE WITH THE REMEDIAL ACTION WORK PLAN.
- REUSE TOPSOIL ON-SITE. VERIFY SUITABILITY OF STOCKPILED TOPSOIL TO PRODUCE LOAM. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- SUPPLEMENT WITH IMPORTED OR MANUFACTURED LOAM FROM OFF-SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT, OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED CONSTRUCTION OR MINING SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP.
- LOAM OR RESPREAD TOPSOIL SHALL CONFORM TO ASTM D5268, WITH PH BETWEEN 5.5 AND 7, A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER AND FREE OF OTHER EXTRANEOUS MATERIALS. SHALL NOT BE OBTAINED FROM AGRICULTURAL LAND, BOGS, OR MARSHES.
- ALL SURFACED AREAS OR DISTURBED AREAS NOT SPECIFIED ON THE PLANS SHALL RECEIVE 4 INCHES OF LOAM OR RESPREAD TOPSOIL, SEED, MULCH, AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CLEAN SOIL SHALL ONLY BE IMPORTED WHERE CURRENT CAP MATERIAL DOES NOT MEET CAP REQUIREMENT OF 24-INCHES.
- SEE LANDSCAPE PLANS FOR FINISH SURFACE TREATMENTS.
- SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.

SOIL CAP
NOT TO SCALE



TREE FILTER 1 & 2
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

SCALE:

HORZ.: AS NOTED

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

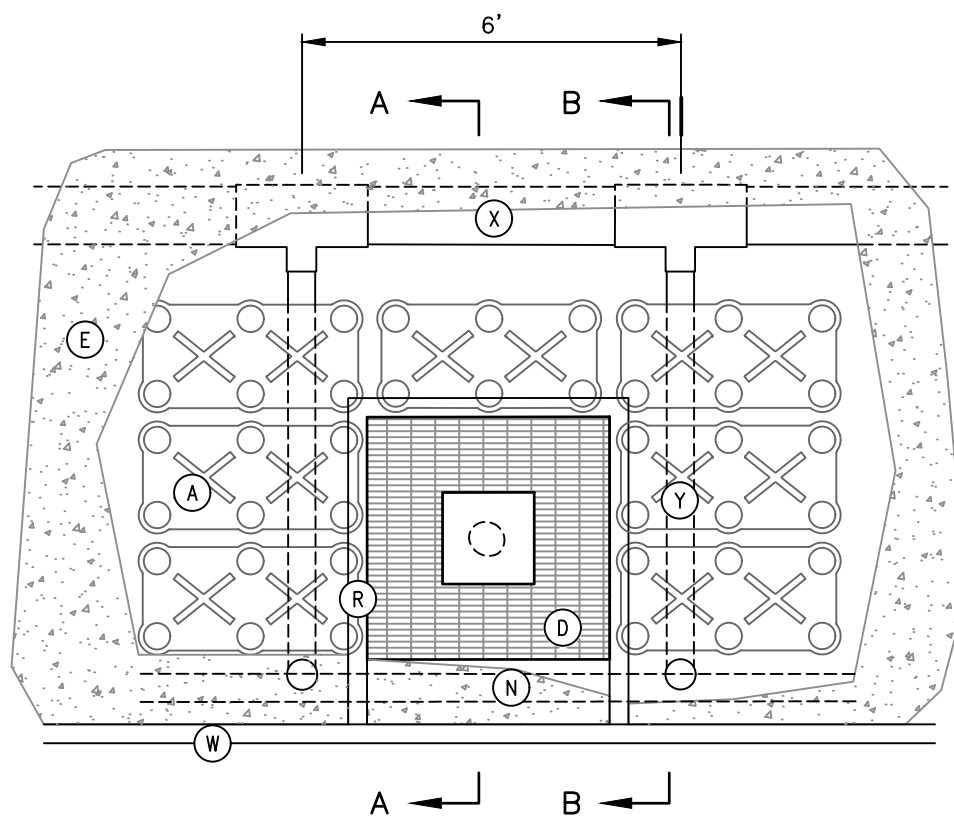
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CD-506

SHEET 21 OF 28

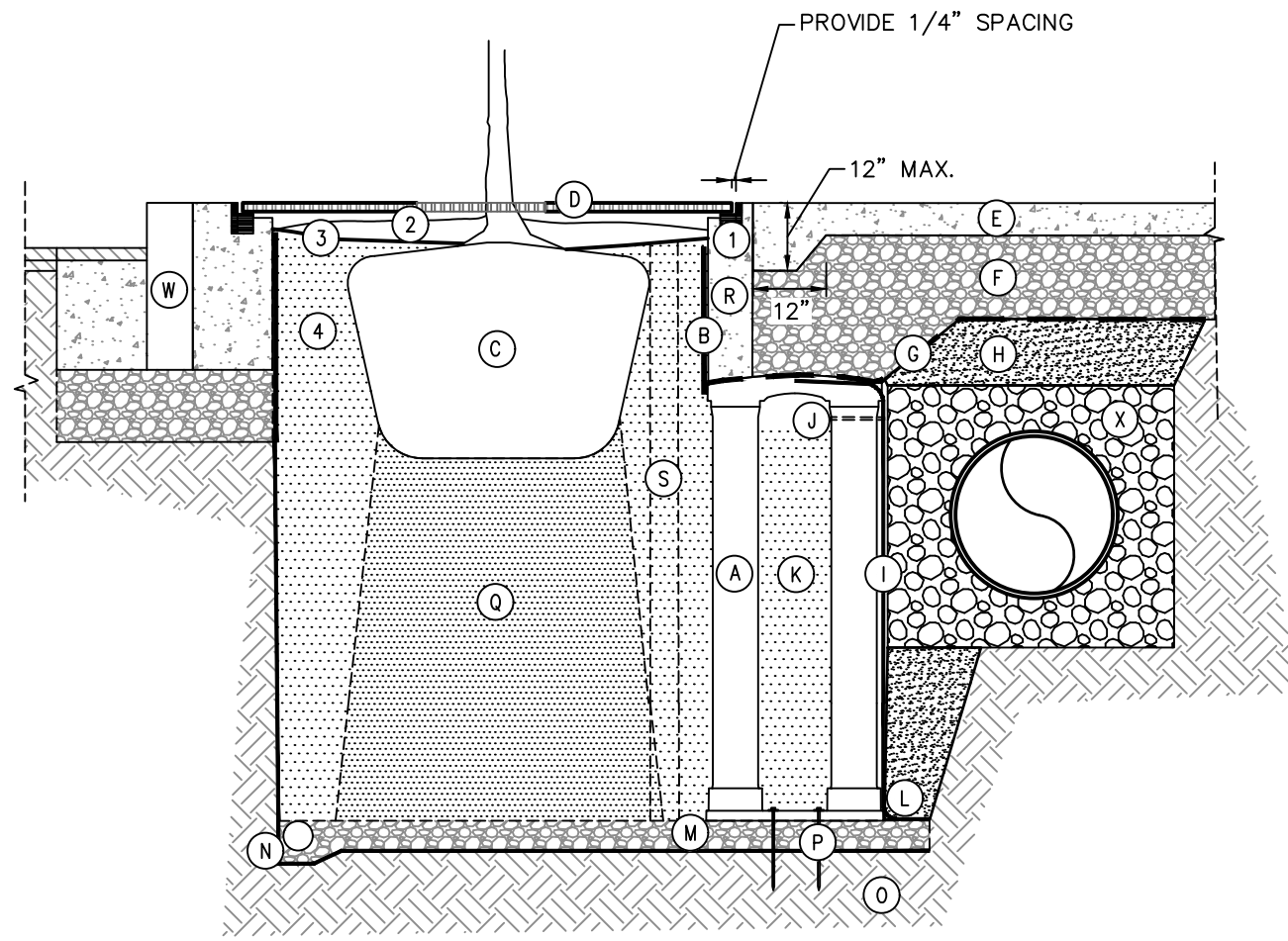


KEY PLAN

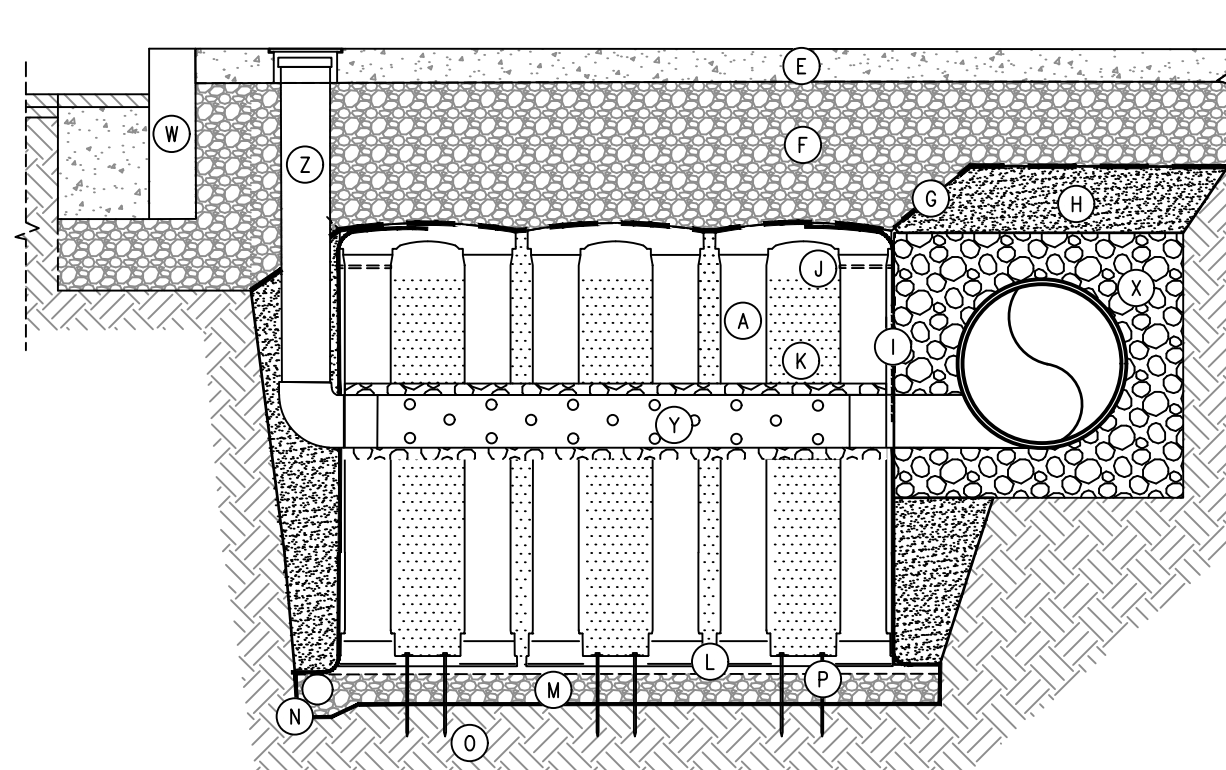
- SILVA CELL 2 SYSTEM (DECK, BASE, AND POSTS).
- DEEPROOT ROOT BARRIER DEEPROOT ROOT BARRIER INSTALLED TO A DEPTH 18 INCHES BELOW TOP OF TREE PIT.
- TREE ROOT PACKAGE, SIZE VARIES. REMOVE ALL TWINE & STRAPS. CUT AND REMOVE BURLAP AND WIRE CAGE FROM TOP 1/2 OF BALL. REMOVE ALL SYNTHETIC MATERIALS.
- TREE GRATE ASSEMBLY WITH CONCRETE ANCHOR.
- EXPOSED AGGREGATE CONCRETE SIDEWALK WITH HAUNCHED EDGE
- GRAVEL BORROW COURSE. GRAVEL BORROW, 18-INCH DEPTH ABOVE SILVA CELLS. TRANSITION TO STANDARD GRAVEL BORROW DEPTH PER CONCRETE SIDEWALK DETAIL.
- GEOTEXTILE TO EDGE OF EXCAVATION.
- BACKFILL, TO WITHIN 4-6" BELOW TOP OF SILVA CELL DECKS. INSTALL IN 8" LIFTS, EACH COMPACTED TO 95% MODIFIED PROCTOR.
- IMPERMEABLE LINER.
- CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
- PLANTING SOIL TO 7" BELOW DECK, MANUALLY COMPACTED TO APPROXIMATE 70% MODIFIED PROTOR.
- 1" - 6" SPACING BETWEEN SILVA CELLS AT BASE.
- 4" MIN. GRAVEL BORROW, COMPACTED TO 95% MODIFIER MODIFIED PROCTOR.
- 6" PERFORATED PVC UNDERDRAIN PIPE, 0.0 FT/FT SLOPE.
- SUBGRADE, COMPACTED TO 95% MODIFIED PROCTOR.
- PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
- PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% MODIFIED PROCTOR.
- 18-INCH CAST-IN-PLACE CONCRETE CURB TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.
- 4" PERFORATED PVC INSPECTION RISER TO PROVIDE FOR MONITORING OF SOIL MOISTURE.
- SILVA CELL DECK
- SILVA CELL POST
- SILVA CELL BASE
- 18-INCH GRANITE CURB IN EXISTING PAVEMENT
- 18" X 6" HDPE MANIFOLD, 0.0 FT/FT SLOPE, INSTALL PER STORM DRAIN TRENCH DETAIL.
- 6" PERFORATED PVC PIPE, 0.0 FT/FT SLOPE, ENCASED IN 3" OF CLEAN, WASHED, 1" DIAMETER CRUSHED STONE. PERFORATIONS MUST FACE DOWN.
- 6" SOLID PVC CLEANOUT, CAPPED, WITH ROUND, HEAVY-DUTY CAST IRON FRAME AND COVER.
- SQUARE FRAME FRAME SET IN CONTINUOUS 4"X6" CONCRETE RING. INSURE PROPER EQUAL SLOPES ON ALL SIDES TO PROVIDE CONSISTENT SEAT FOR TREE GRATES. VARIATIONS OR WOBBLING GRATES WILL NOT BE PERMITTED
- ORGANIC MULCH
- WEED BARRIER
- BACKFILL WITH PLANTING SOIL MIXTURE IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. DO NOT TAMP. (SEE TREE PLANTING DETAILS)

SILVA CELL COMPONENTS

PLAN



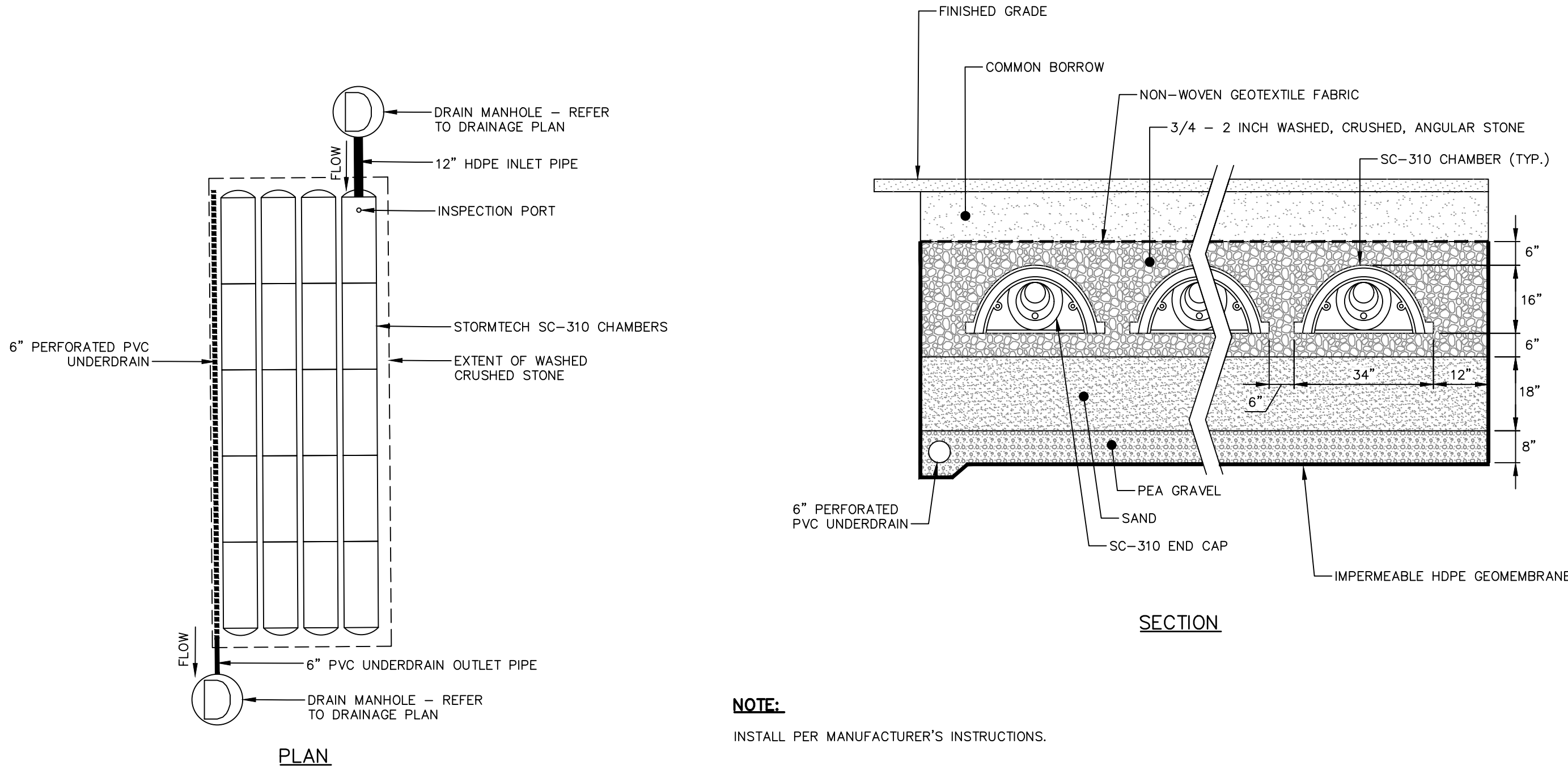
SECTION A-A



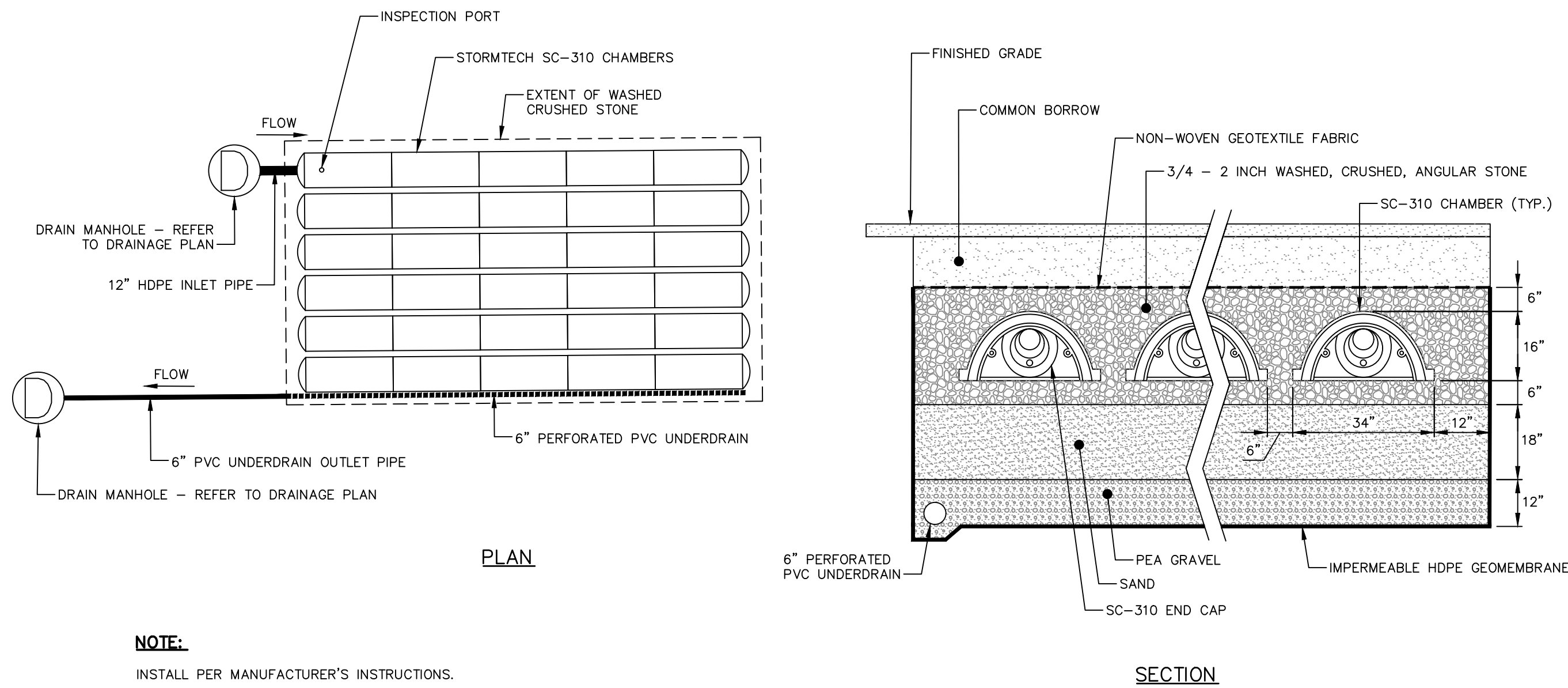
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TREE FILTER 3
NOT TO SCALE

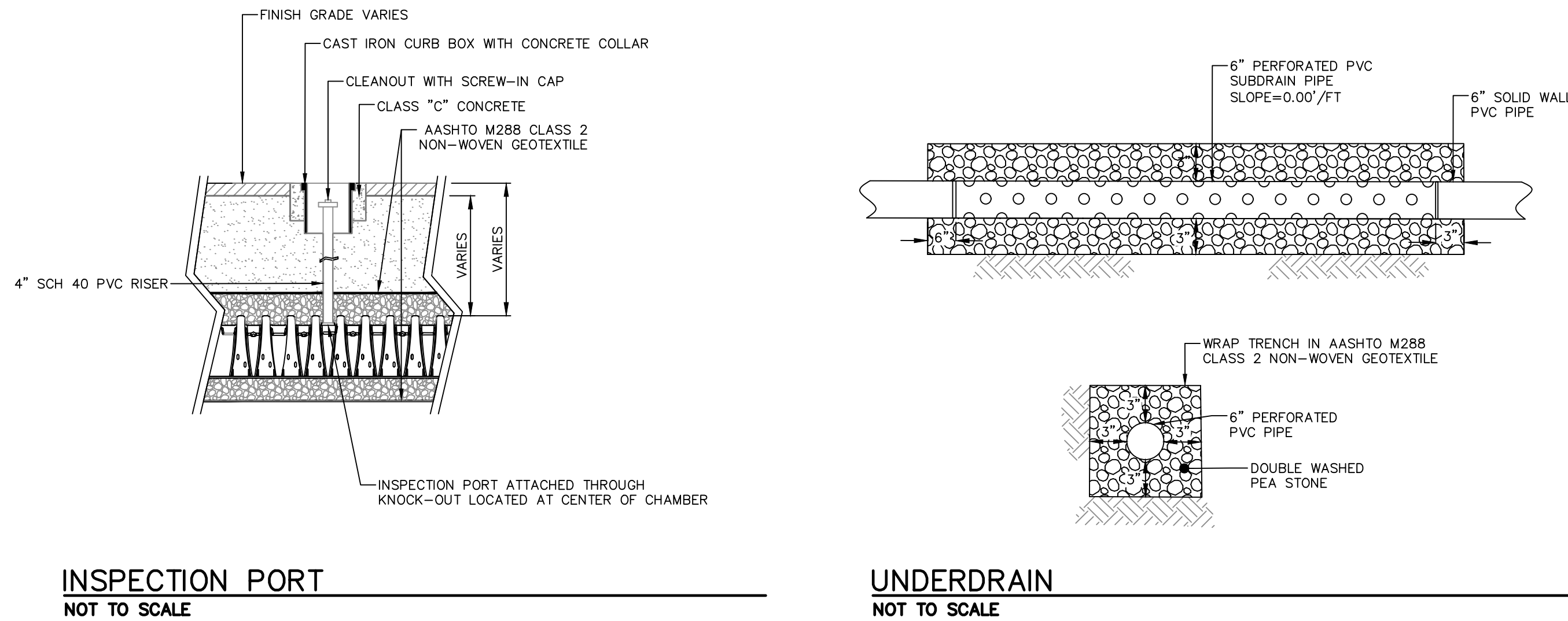
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MS VIEW: LAYER STATE: Plotter: NONE CTB File: FQ.STB



SUBSURFACE FILTRATION SYSTEM 1
NOT TO SCALE



SUBSURFACE FILTRATION SYSTEM 2
NOT TO SCALE



NOTES:

- BIORETENTION SOIL MIX SHALL HAVE A LOAMY SAND TEXTURE PER USDA TEXTURAL TRIANGLE WITH A MAXIMUM CLAY CONTENT OF LESS THAN 2%. SOIL MIXTURE SHALL BE 85-88% SAND, 8-12% SOIL FINES, AND 3-5% ORGANIC MATTER.
- THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUGWORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE, TEARHUB, OR OTHER NOXIOUS WEEDS.
- PRIOR TO INSTALLATION, SOIL SHALL BE TESTED AND CONFORM TO THE FOLLOWING CRITERIA:
PH RANGE: 5.7 - 7.0
MAGNESIUM: 32 PPM MIN.
PHOSPHORUS P205: NOT TO EXCEED 69 PPM
POTASSIUM K20: 78 PPM MIN.
SOLUBLE SALTS: NOT TO EXCEED 500 PPM

RAIN GARDEN
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

SCALE:

HORZ.: AS NOTED

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DATUM:

HORZ.:

VERT.:



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www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

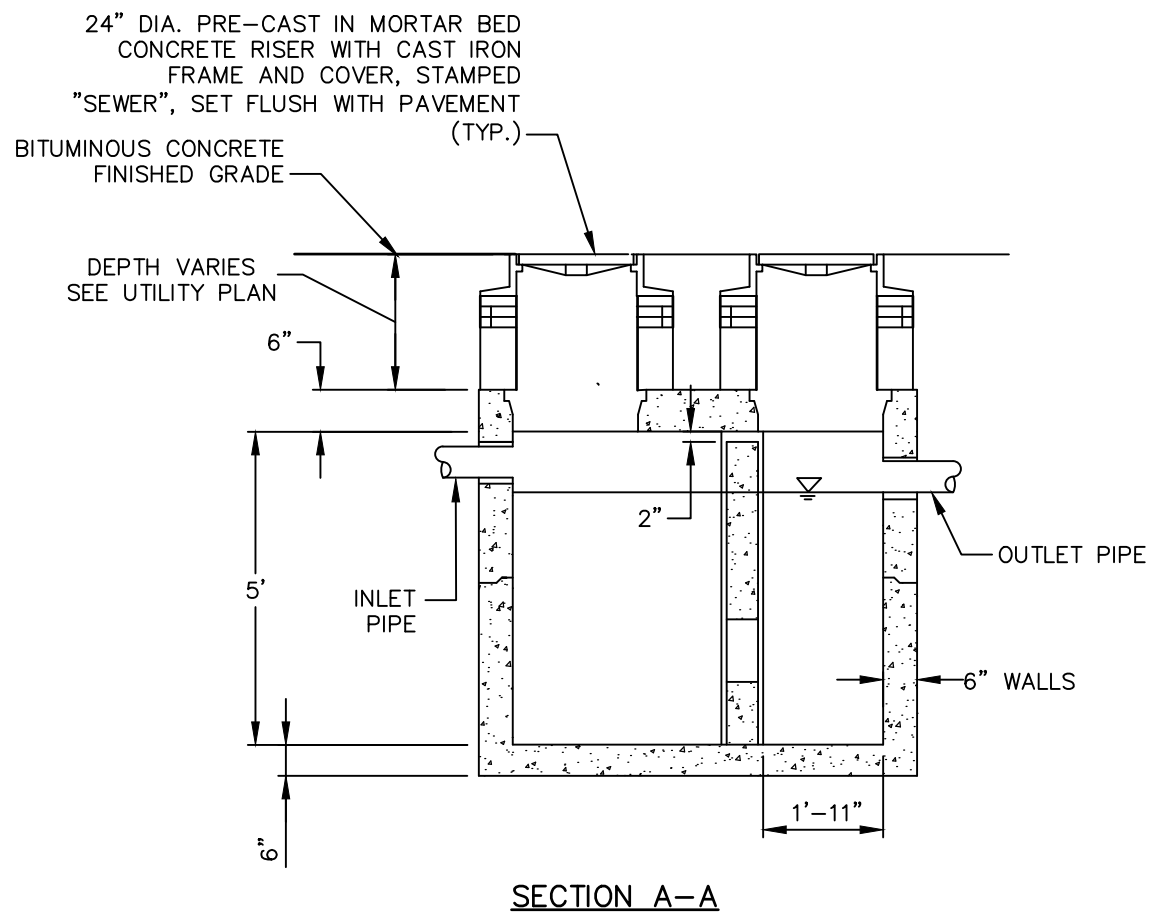
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CD-507

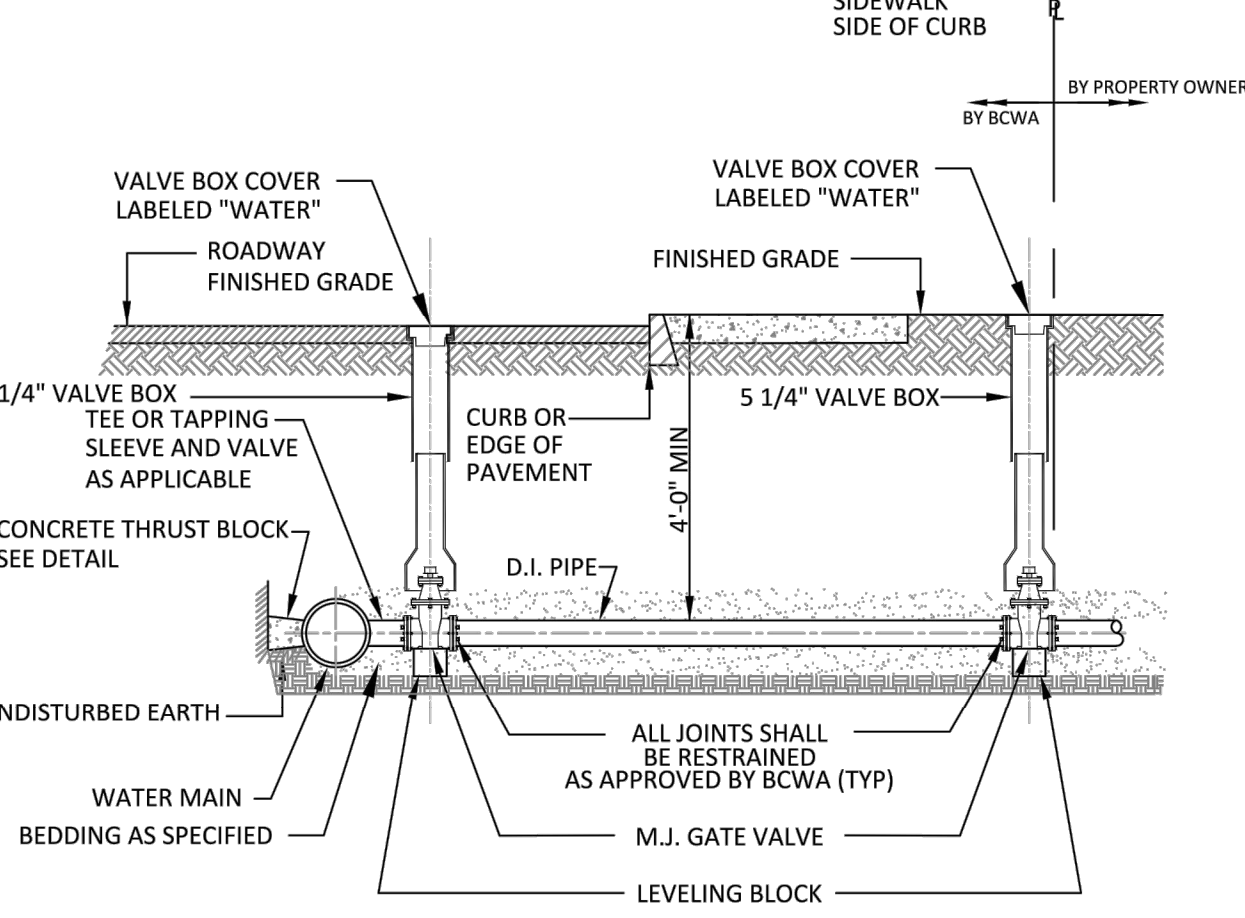
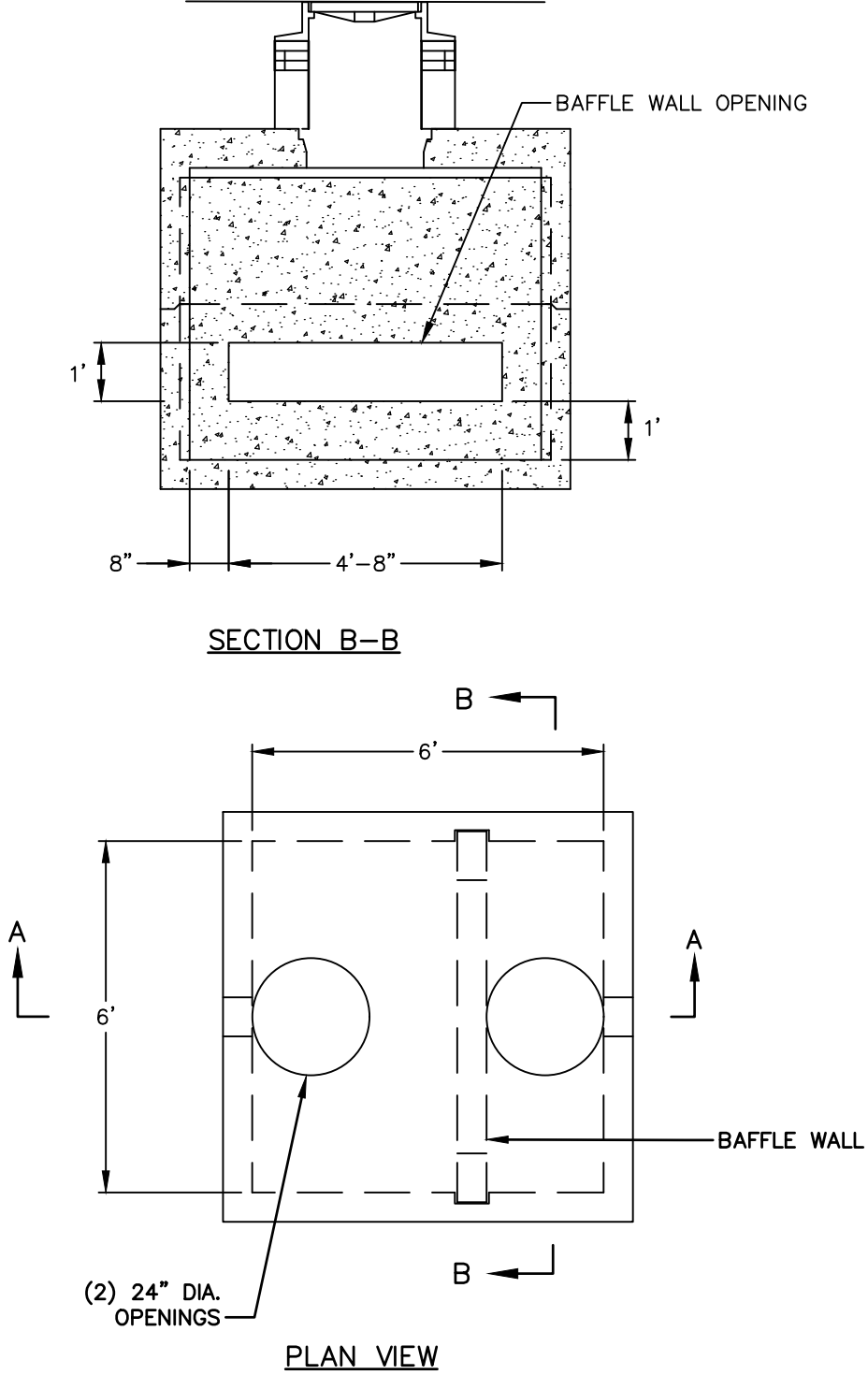
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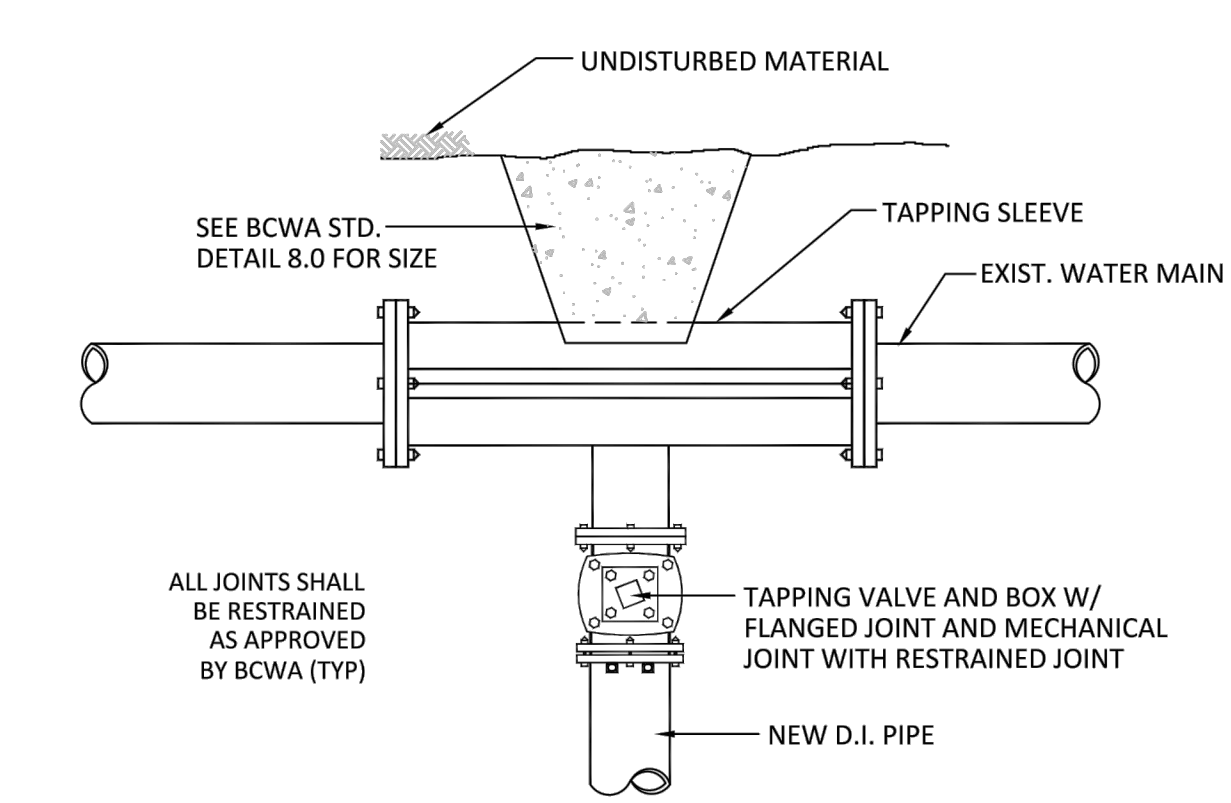
- NOTES:
- VOLUME SHALL BE 1,000 GALLONS.
 - CONCRETE : 5,000 P.S.I. MINIMUM STRENGTH @ 28 DAYS
 - STEEL REINFORCING ASTM A-615, GRADE 60
 - COVER TO STEEL 1" MINIMUM
 - TANKS SHALL MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING
 - EARTH COVER 0 MIN. TO 5 FEET MAX
 - EARTH COVER 0 MIN. TO 5 FEET MAX

OIL/WATER SEPARATOR
NOT TO SCALE



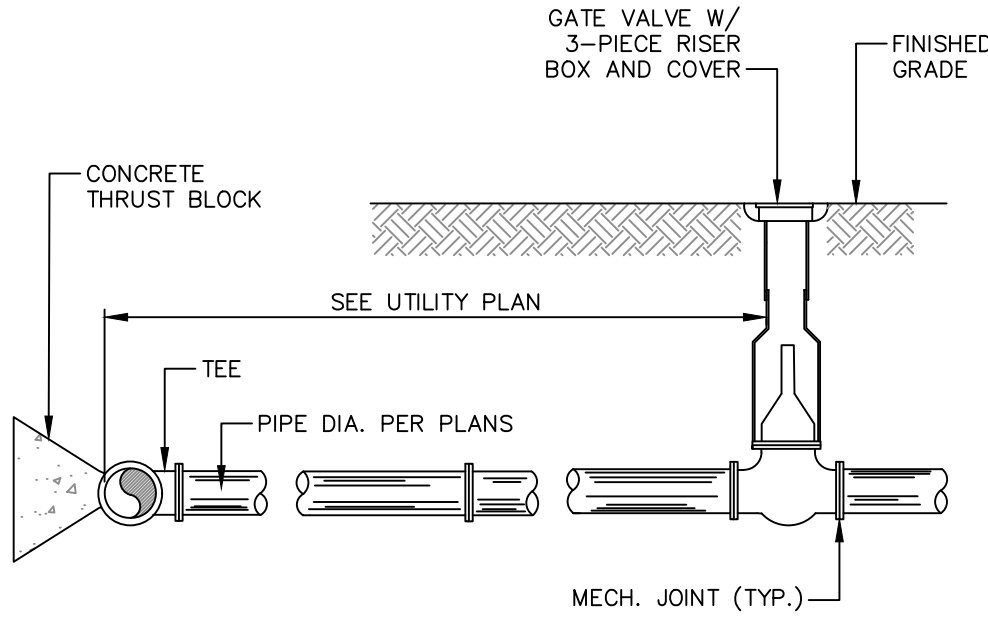
- NOTE:
- ALL SERVICE MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - SERVICE LINE FROM GATE BOX TO BUILDING SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - TAPPING SLEEVE TO BE PRESSURE TESTED PRIOR TO INSTALLATION.
 - STREET SIDE OF SERVICE TO BE INSTALLED FIRST, LOCATION TO BE DETERMINED BY BCWA.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

**SERVICE CONNECTION 4 INCHES & GREATER (BCWA
DETAIL 10C)**
NOT TO SCALE



- NOTE:
- TAPPING SLEEVE, VALVE AND PIPE TO BE DISINFECTED WITH CHLORINE SOLUTION PRIOR TO INSTALL.
 - TAPPING SLEEVE TO BE PRESSURE TESTED USING AIR PRIOR TO TAPPING PIPE.
 - ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - THRUST BLOCK PER BCWA SPECIFICATIONS. SEE BCWA STD. DETAIL 8.0.
 - ALL WORK AND MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

TAPPING SLEEVE AND VALVE (BCWA DETAIL 3)
NOT TO SCALE



FIRE PROTECTION SERVICE CONNECTION
NOT TO SCALE

TABLE OF DIMENSIONS									
BENDS	B	C	D	E	F	BENDS	B	C	D
6" 111/4"	8"	15"	12"	24"	12"	6" 45"	8"	30"	12"
6" 221/2"	"	19"	"	13"	6" 90"	" 30"	"	30"	"
8" 111/4"	"	20"	"	12"	8" 45"	" 30"	"	"	24"
8" 221/2"	"	22"	"	17"	8" 90"	" 38"	"	"	36"
12" 111/4"	"	30"	"	15"	12" 45"	" 40"	"	"	40"
12" 221/2"	"	35"	"	25"	12" 90"	" 60"	"	"	52"

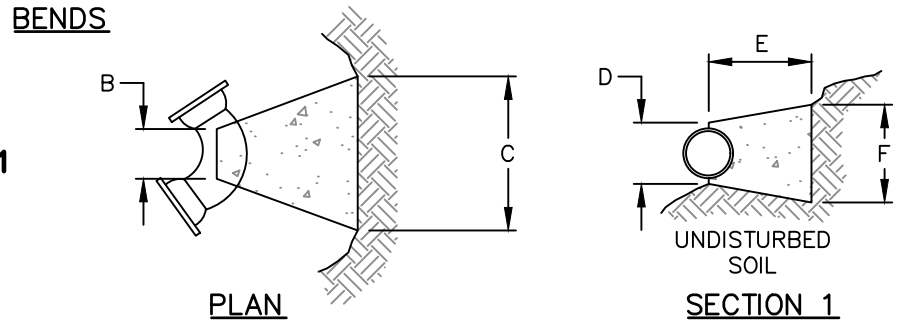
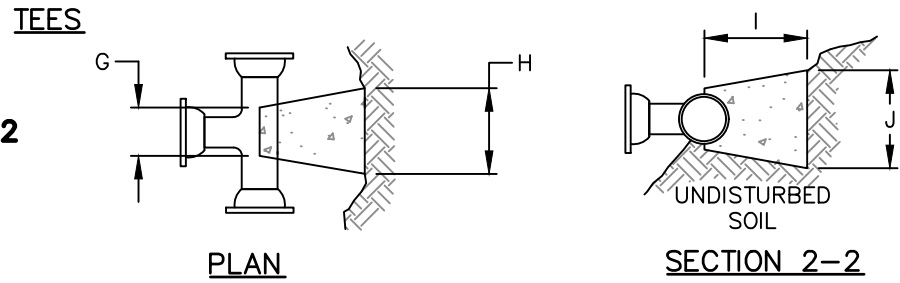
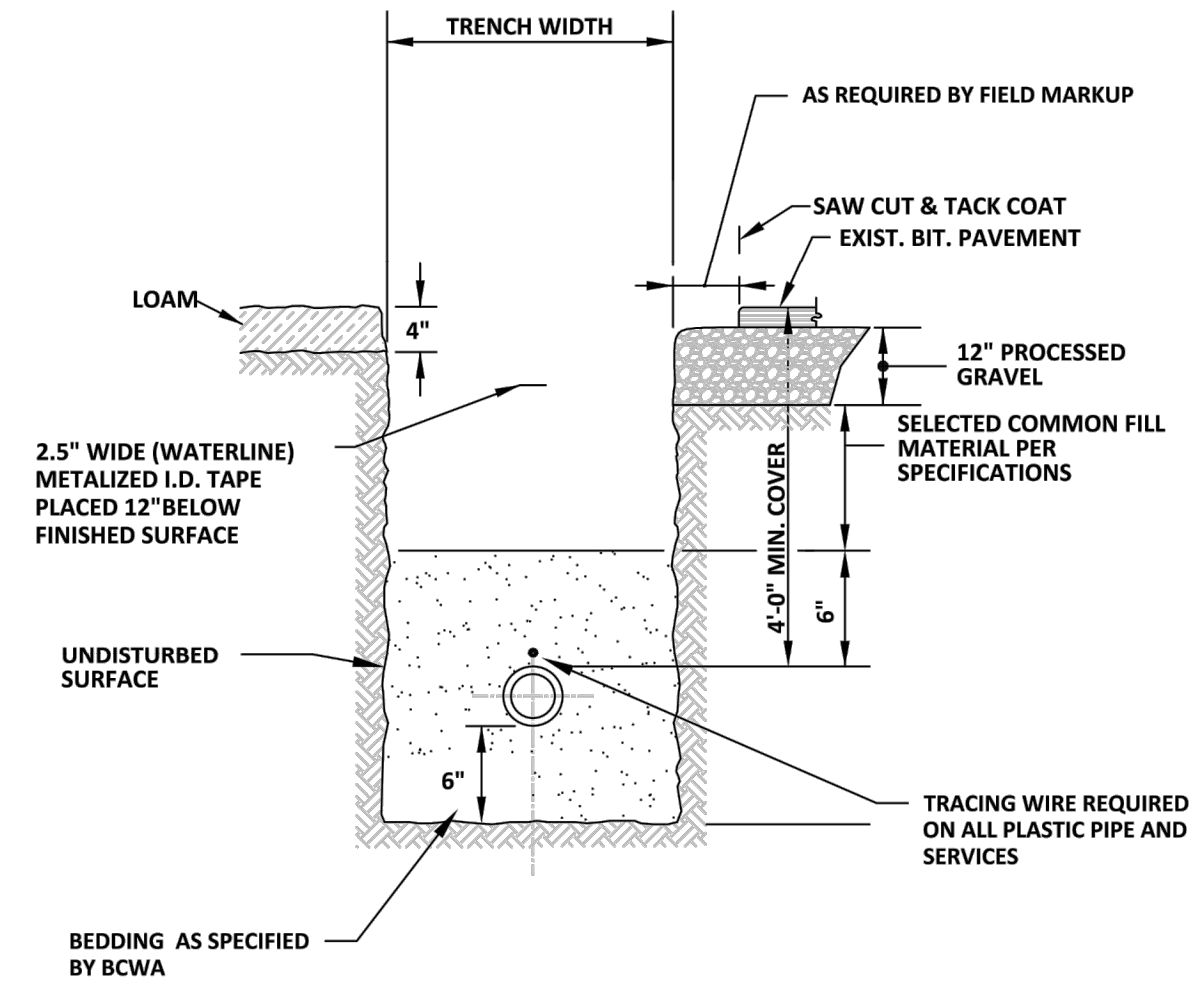


TABLE OF DIMENSIONS									
TEES	G	H	I	J	TEES	G	H	I	J
6"x 6"x 6"	12"	24"	24"	18"	12"x 12"x 6"	12"	24"	24"	18"
8"x 8"x 6"	"	"	"	"	12"x 12"x 8"	"	"	"	24"
8"x 8"x 8"	"	"	"	24"	12"x 12"x 12"	"	36"	"	36"



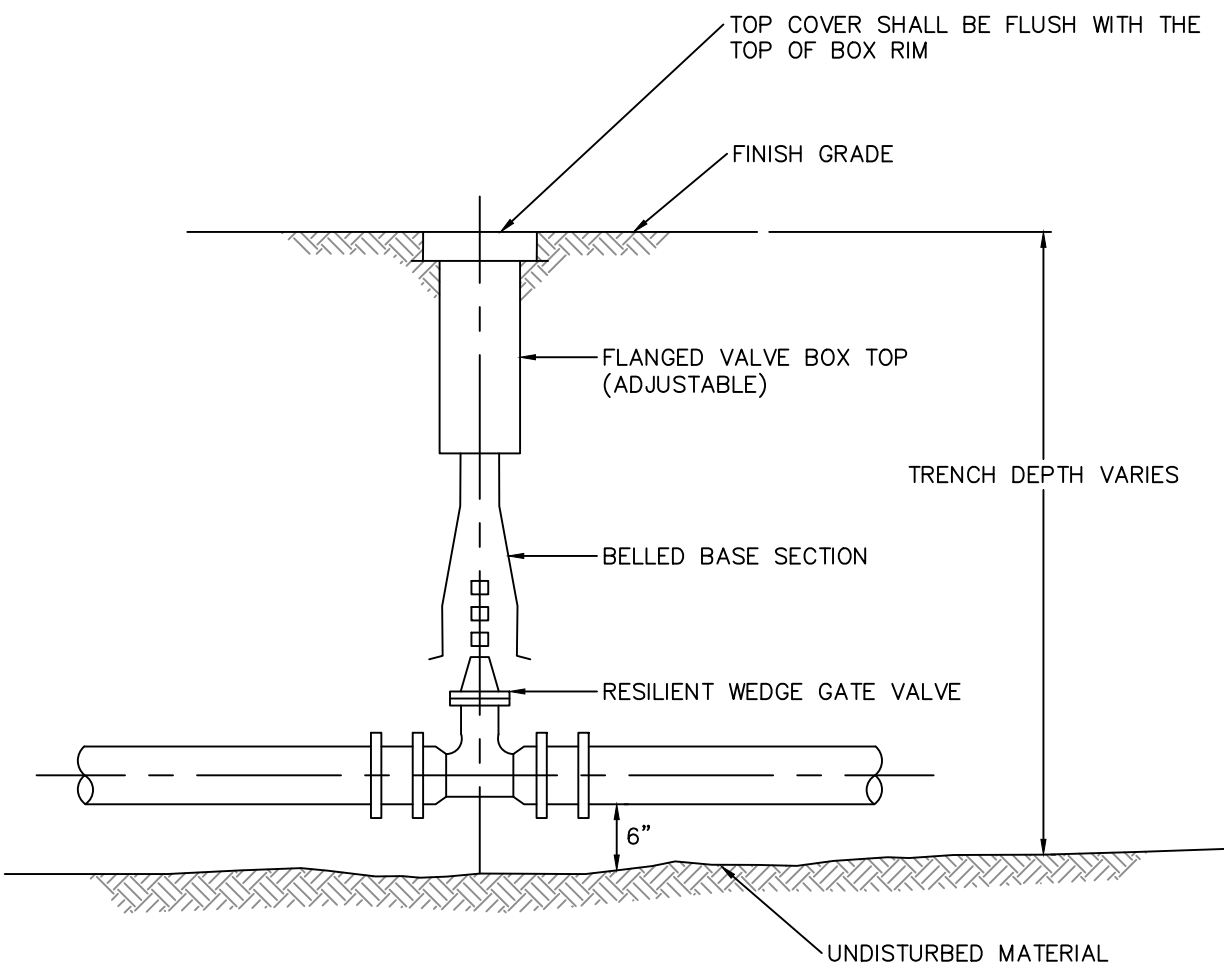
- NOTES:
- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 - CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 - CONCRETE SHALL HAVE 3,000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.

CONCRETE THRUST BLOCK
NOT TO SCALE



- NOTES:
- ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS AND SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - ROADWAY AND SIDEWALK RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH ALL MUNICIPAL OR RIDOT PERMIT REQUIREMENTS.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

WATER TRENCH (BCWA DETAIL 1)
NOT TO SCALE



NOTE: FURNISH TWO OPERATING WRENCHES TO OWNER.

GATE VALVE
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

SCALE:

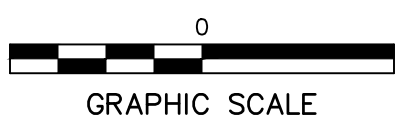
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

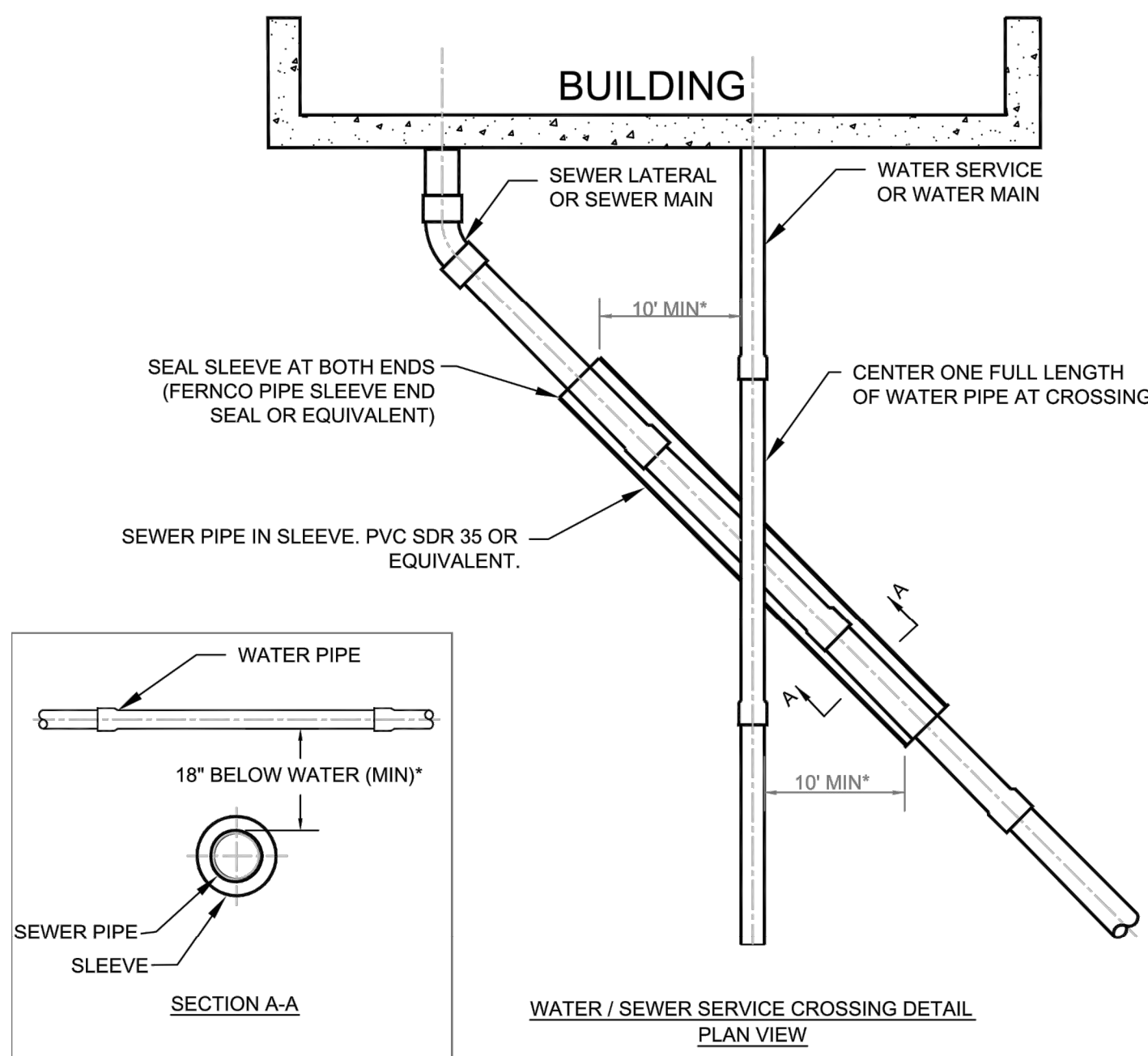
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

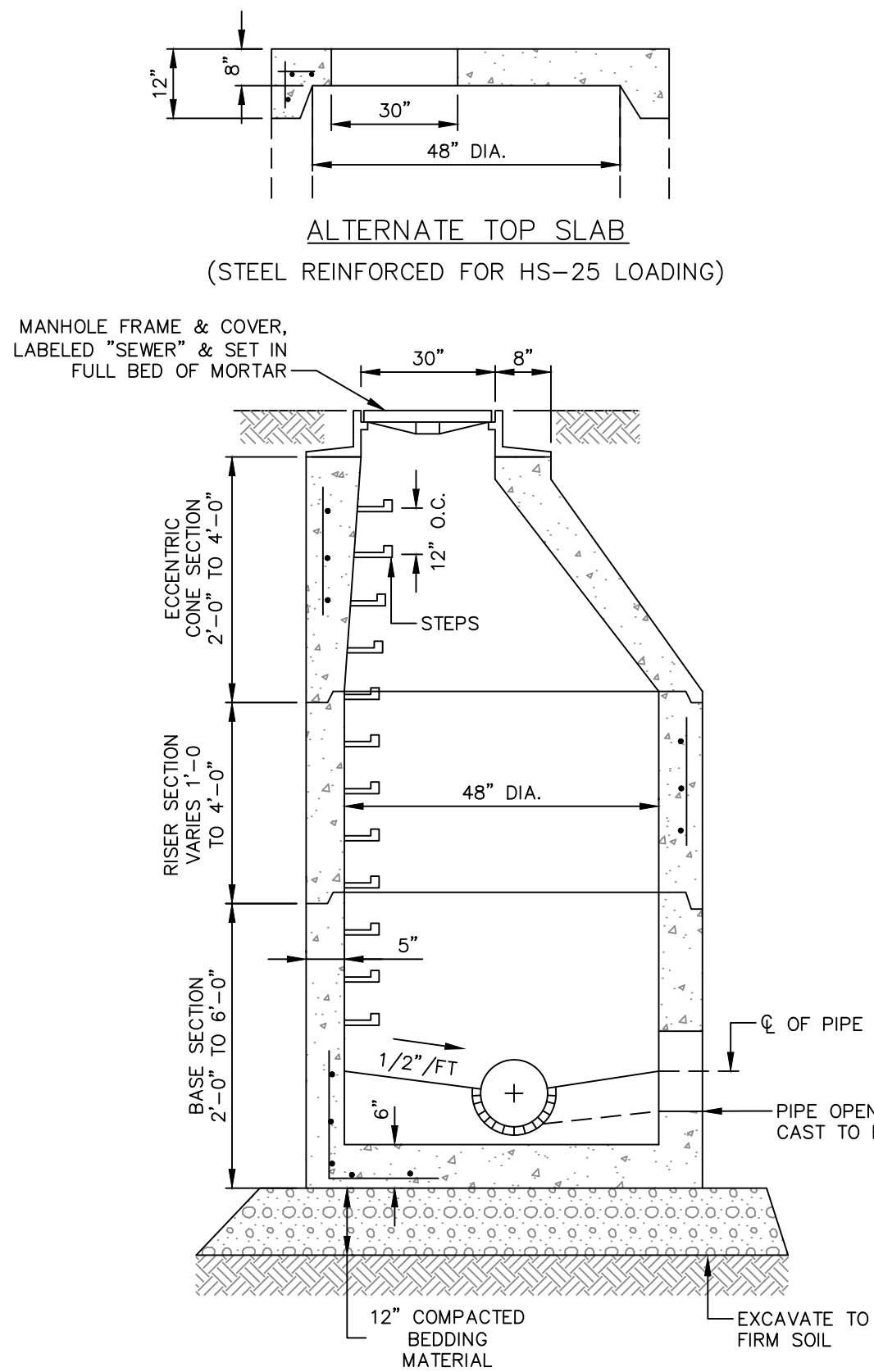
CD-508

SHEET 23 OF 28

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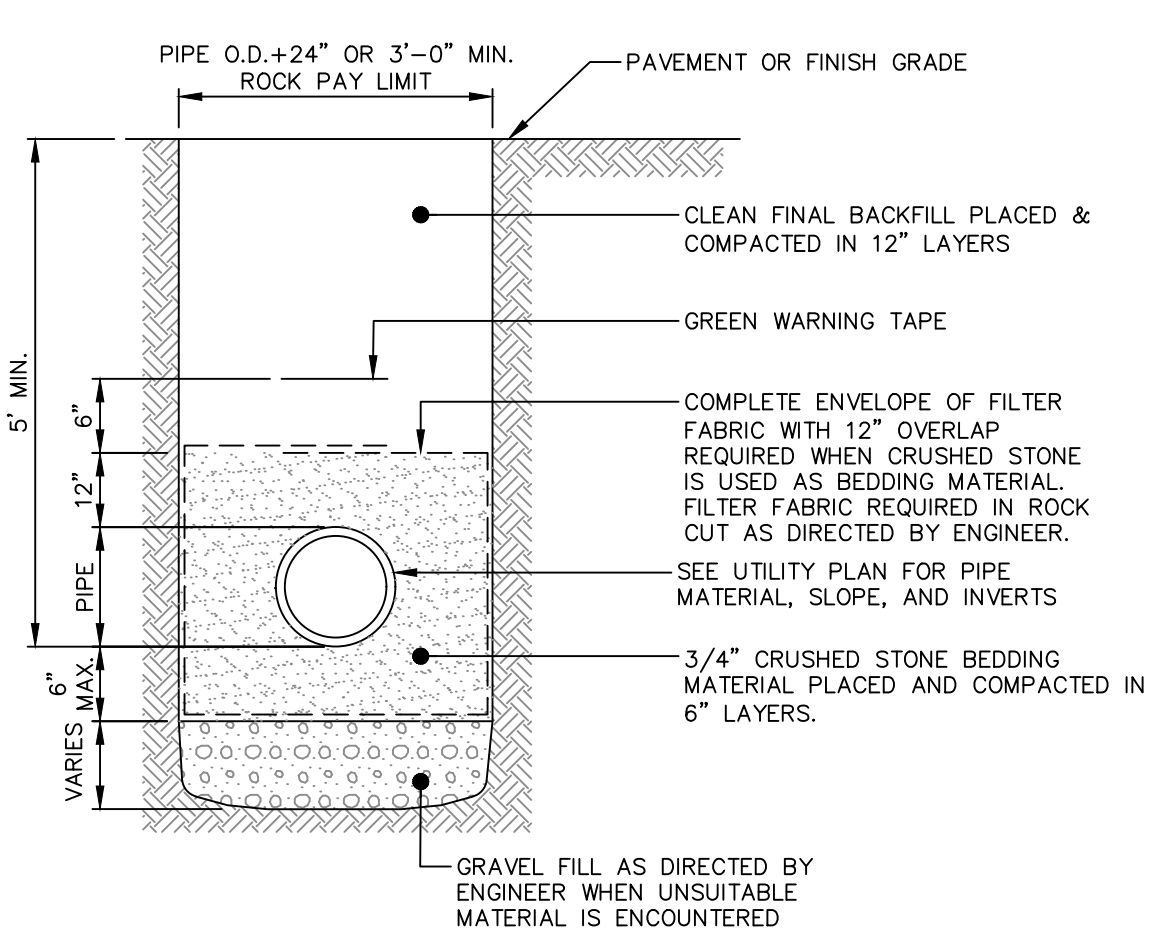


WATER & SEWER SERVICE CROSSING (BCWA DETAIL 9A)
NOT TO SCALE



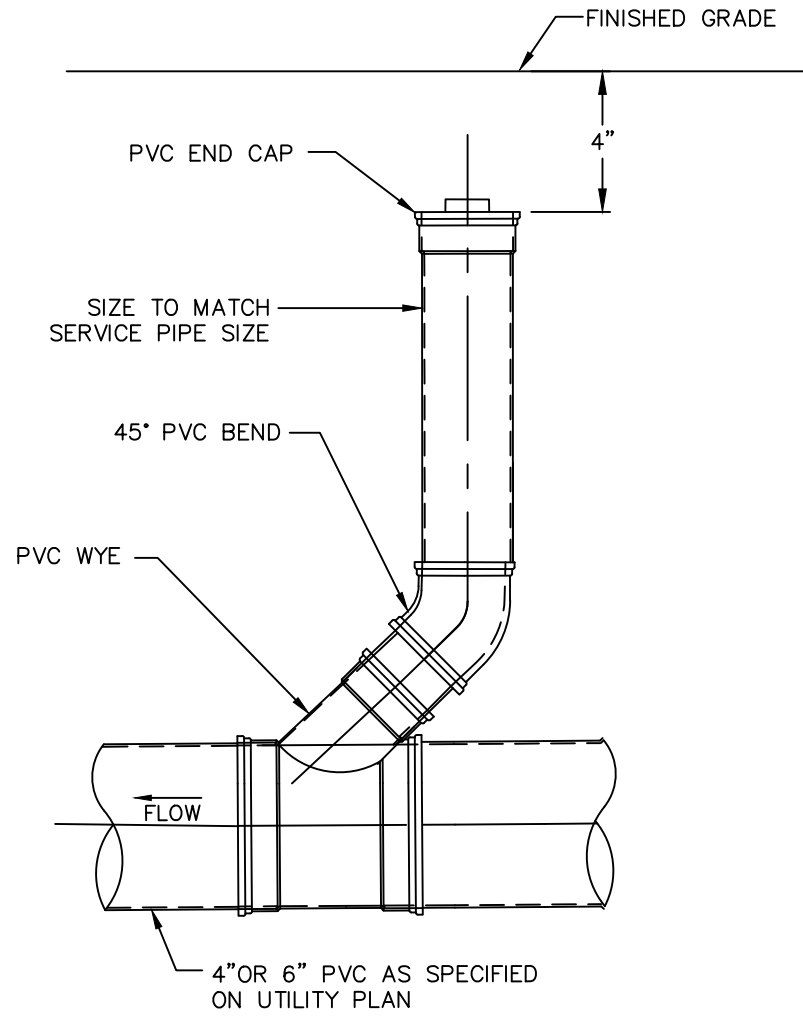
SEWER MANHOLE
NOT TO SCALE

- NOTES:**
1. FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "SEWER"
 2. FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 3. REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 4. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 5. ONE POUR MONOLITHIC BASE SECTION.
 6. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 7. JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 8. MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 9. MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 10. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 11. INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.



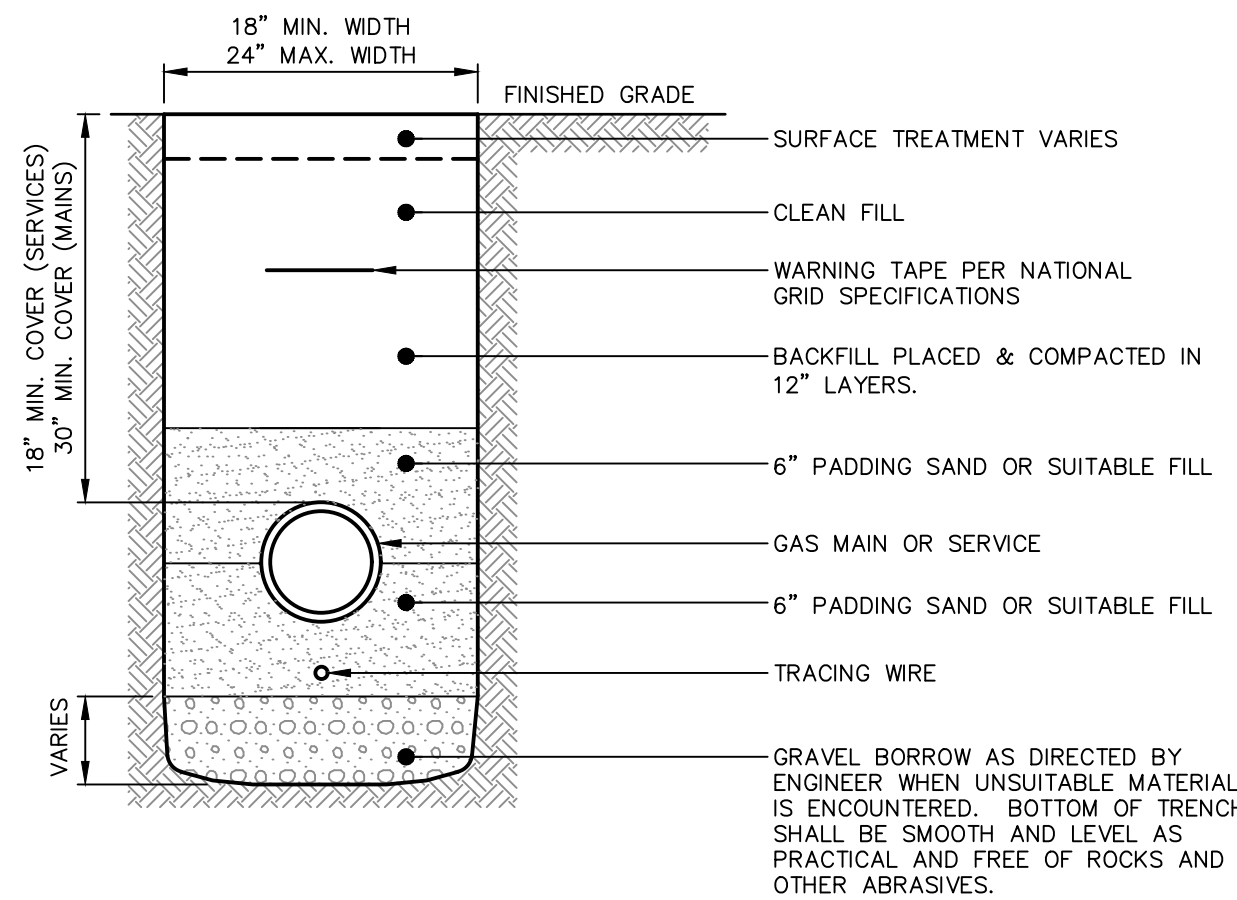
- NOTES:**
1. SEWER TO BE INSULATED WITH 2" RIGID FOAM WHEN LESS THAN 4' COVER IS PROVIDED.

SEWER TRENCH
NOT TO SCALE



- NOTE:**
- IN PAVED AREAS, TURN ADJUSTABLE CLEAN-OUT WITH CAST IRON FRAME AND COVER SHALL BE USED IN LIEU OF PVC END CAP.

SEWER CLEANOUT
NOT TO SCALE



- NOTES:**
1. BEDDING MATERIAL AND INITIAL BACKFILL SHALL BE CLEAN, FREE OF DEBRIS AND RUBBLE, AND FREE OF MATERIALS WHICH MAY CAUSE POLLUTION OF GROUNDWATER.
 2. SPOIL SHOULD BE SET BACK A MINIMUM OF TWO (2) FEET IN ACCORDANCE WITH OSHA REGULATIONS.
 3. GAS SERVICE MUST HAVE A MINIMUM HORIZONTAL SEPARATION OF THREE (3) FEET FROM PARALLEL UTILITIES. A ONE FOOT SEPARATION MUST BE MAINTAINED WHEN CROSSING OTHER UTILITIES.
 4. THE MAXIMUM TRENCH DEPTH FOR GAS MAINS IS 48-INCHES WHILE THE MAXIMUM TRENCH DEPTH FOR SERVICES IS 36-INCHES.

GAS TRENCH
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION	KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

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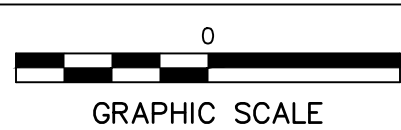
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

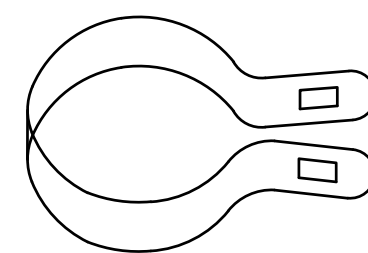
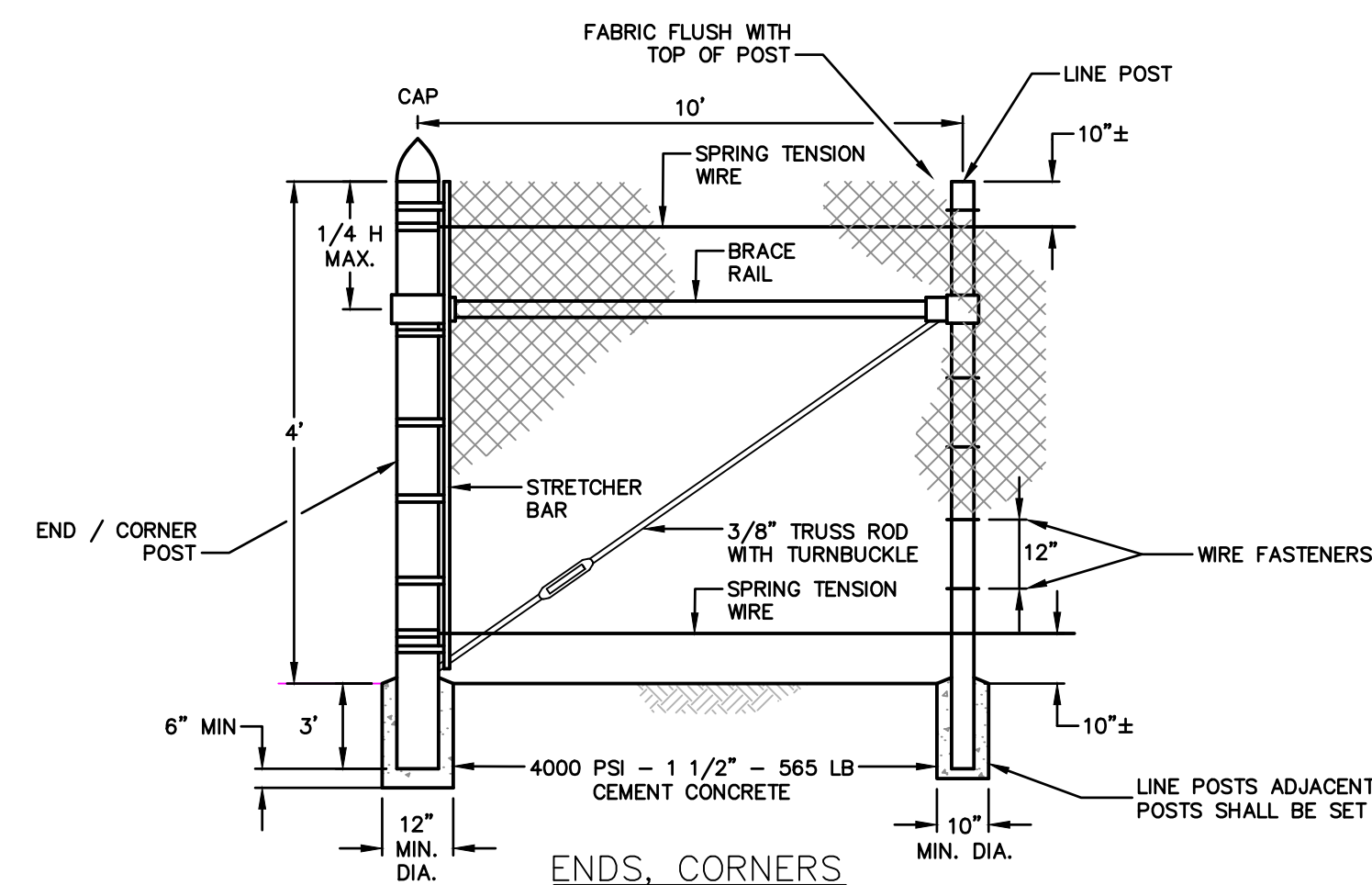
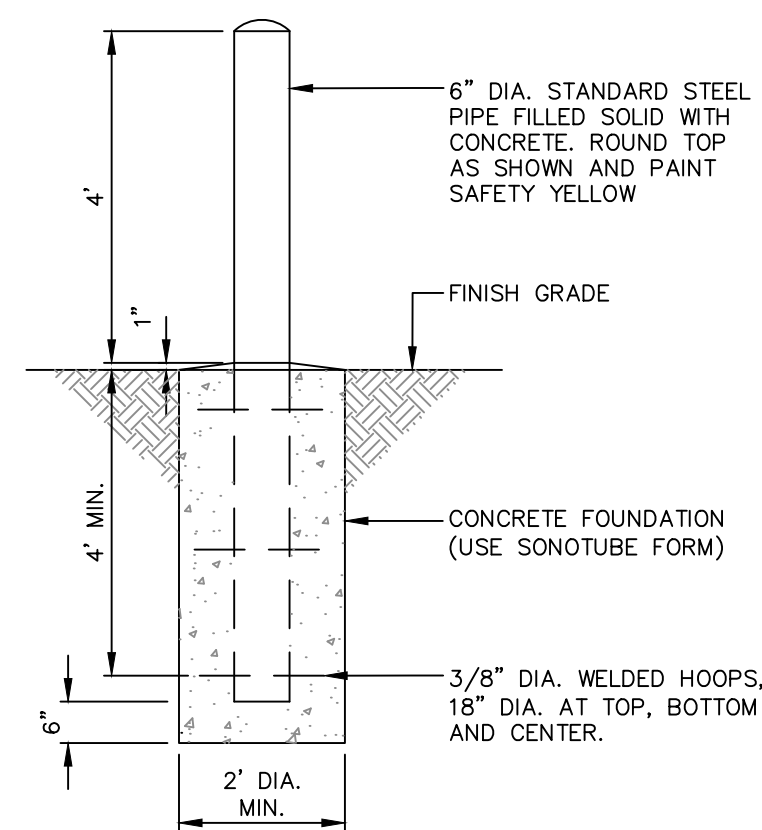
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

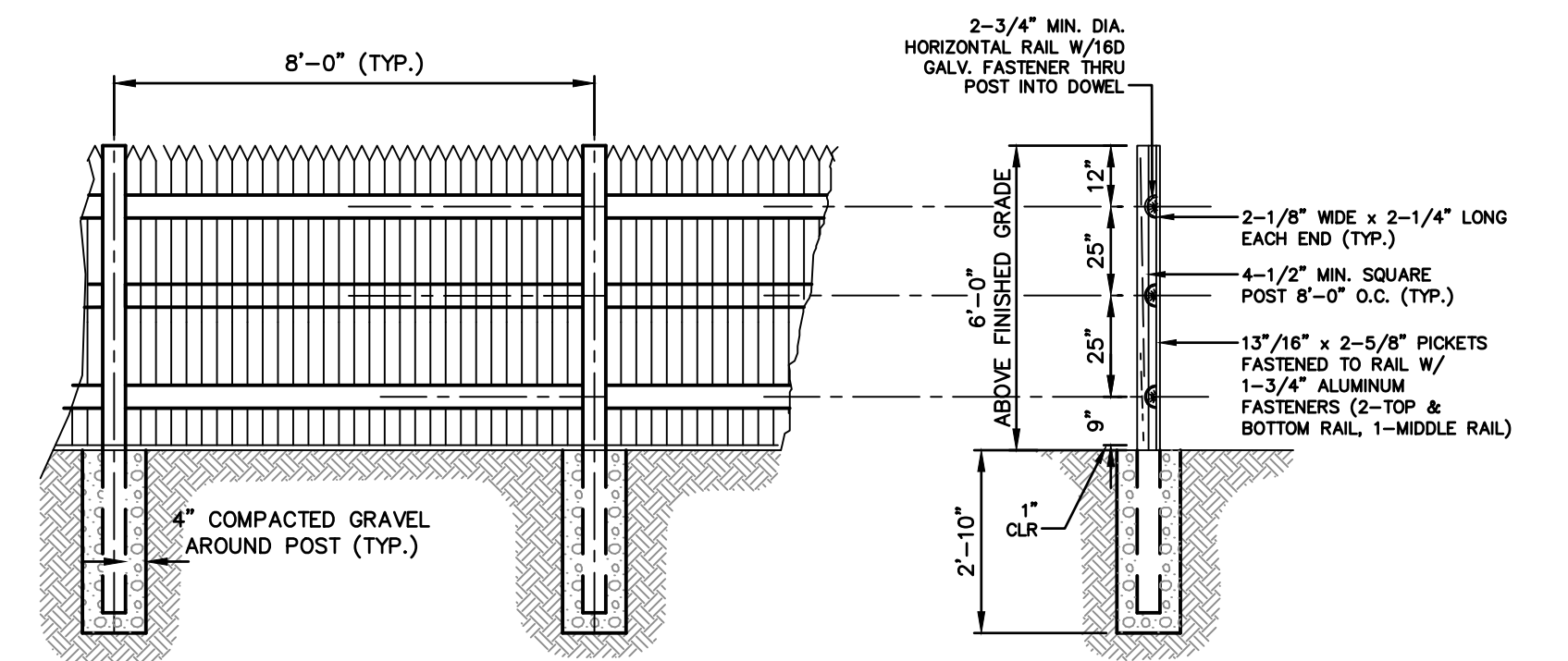
CD-509

SHEET 24 OF 28



SPRING TENSION WIRE
MINIMUM OF (5) TURNS AROUND
THE SPRING TENSION WIRE TO END
INSTALLATION. ALL BANDS SHALL
BE ROUNDED ON ROUND POSTS.

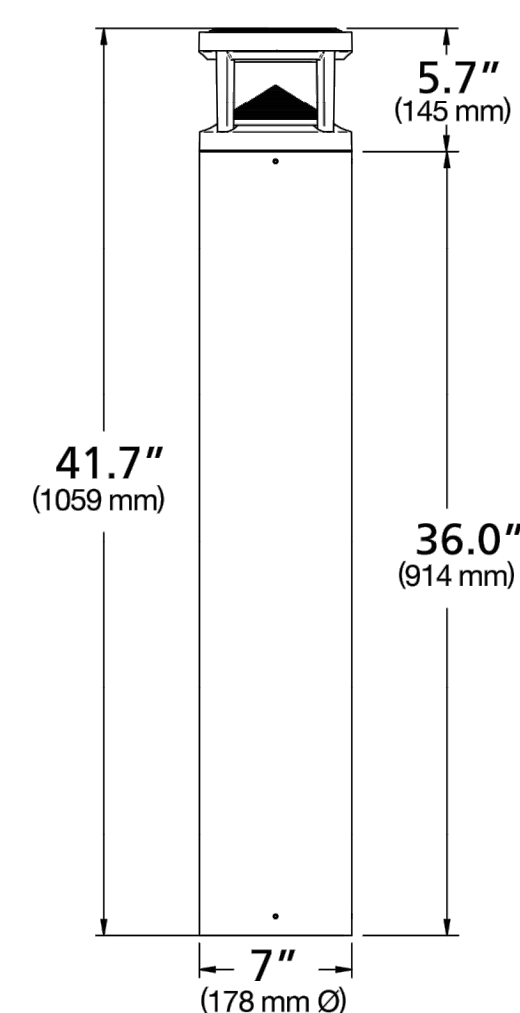
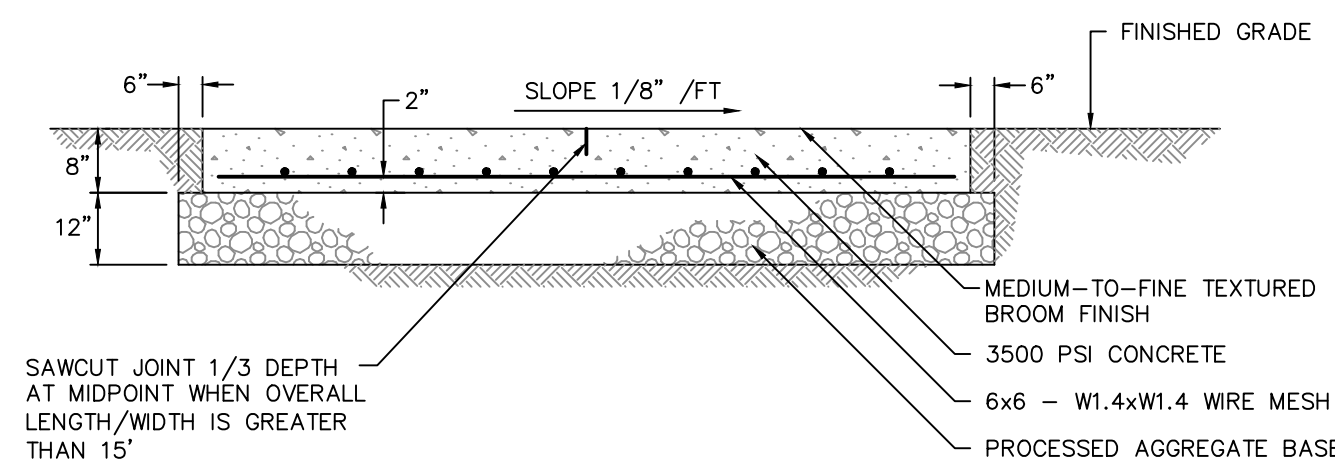
- NOTES:
1. FABRIC FOR FENCE: TOP SELVAGE TO HAVE KNUCKLED FINISH, BOTTOM SELVAGE TO HAVE TWISTED AND BARBED FINISH UNLESS OTHERWISE NOTED.
 2. GRADE OF FENCE TO BE PARALLEL WITH THE GRADE OF GROUND.
 3. FOR DESCRIPTION, MATERIAL AND CONSTRUCTION METHODS, SEE SPECIFICATIONS.
 4. SPRING TENSION WIRE TO BE FASTENED TO FABRIC WITH 11 GAUGE HOOK RINGS AT 1' INTERVALS.
 5. SPRING TENSION WIRE TO BE FASTENED TO LINE POSTS WITH CLIPS.
 6. LINE POST TO BE DRIVEN EXCEPT WHERE NOTED ABOVE.



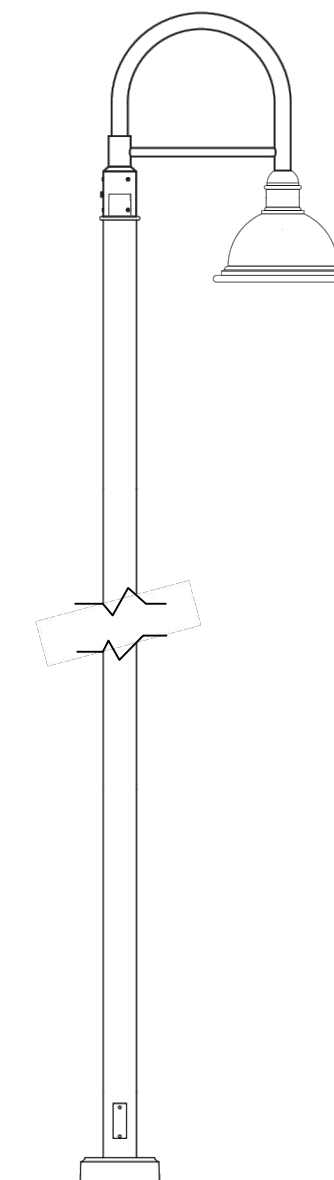
- NOTES:**
1. ALL FENCING MATERIAL SHALL BE PVC TO THE DIMENSIONS SHOWN ON THE DRAWING.
 2. POSTS SHALL MAINTAIN A DEPTH OF 2'-10" IN GROUND AND SHALL BE RACKED TO ACCOMMODATE ANY CHANGES IN GRADE.
 3. LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. ALL POSTS AND FACING BOARDS OR SLATS SHALL BE INSTALLED PARALLEL AND PLUMB. ALL RAILS SHALL BE INSTALLED PARALLEL AND TRUE.
 4. ALL GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED.
 5. FENCE SHALL TAPER FROM 6' TO 4' HEIGHT IN SINGLE 8' PANEL, WHERE INDICATED ON PLANS.

STOCKADE FENCE

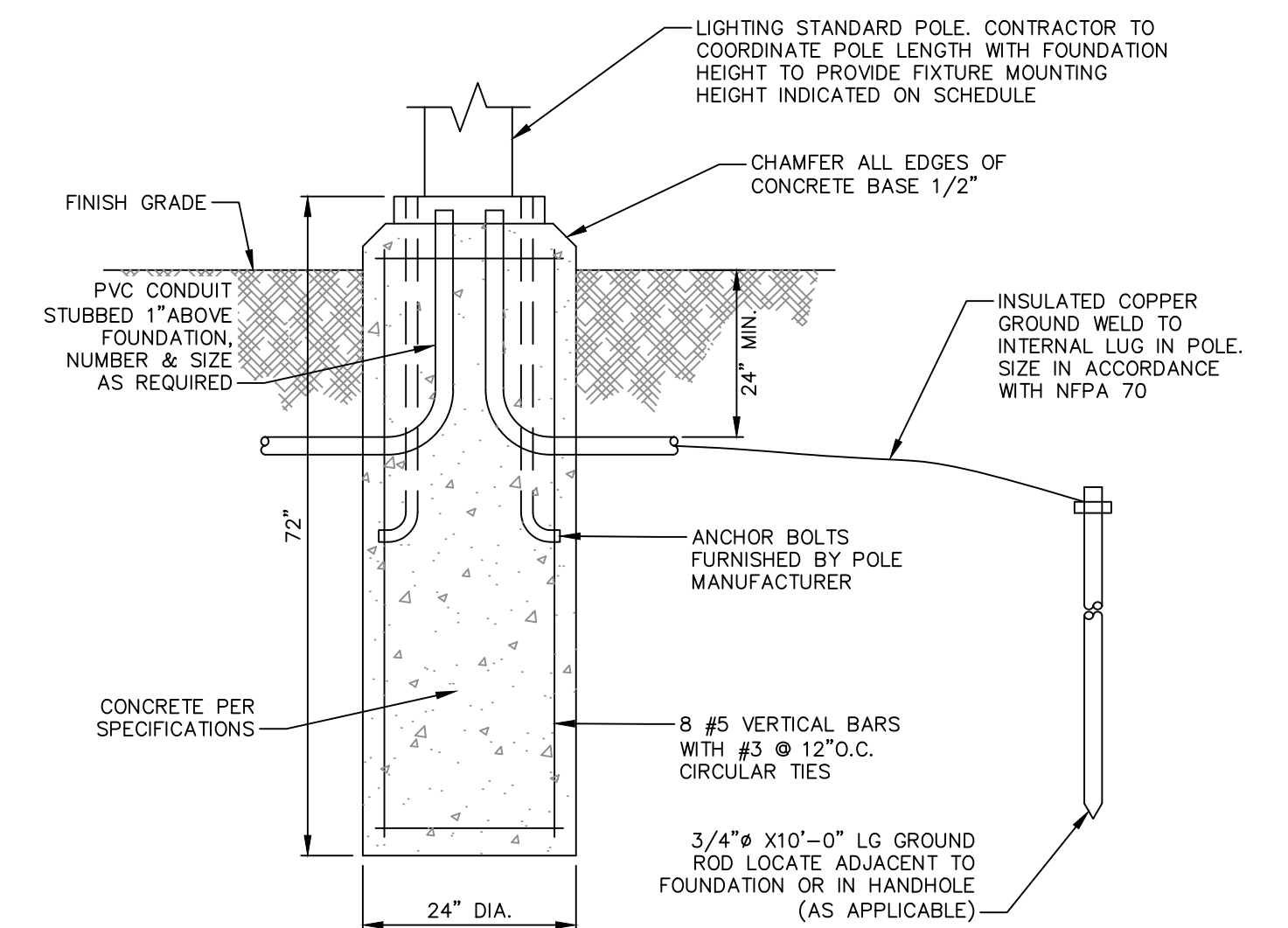
NOT TO SCALE



- NOTES:
1. LIGHT BOLLARD SHALL BE PAVILION BOLLARD PA7R MANUFACTURED BY KIM LIGHTING.
 2. BOLLARD SHALL HAVE A FLAT TOP WITH NO UPLIGHT. A LIGHT ENGINE WITH THE SPECIFICATIONS OF 22W, 4000K, 70CRI, AND A VOLTAGE OF 120-277V.
 3. FINISH SHALL BE APPROVED BY OWNER.



- NOTES:**
1. LIGHT FIXTURE SHALL BE 1521LED-R OMEGA MANUFACTURED BY STERNBERG LIGHTING.
 2. FIXTURE SHALL HAVE A FLAT LENS, 16L LED RATING, 40K COLOR TEMPERATURE, DISTRIBUTION TYPE TA, A LISTED FIXTURE SPECIFICATION OF 120-277V/80W (MDL018), AND A BACK LIGHT OPTICAL CONTROL.
 3. LIGHT POLE SHALL BE 550 CONCORD MANUFACTURED BY STERNBERG LIGHTING.
 4. POLE SHALL BE STRAIGHT SMOOTH.
 5. LIGHT POLE ARM SHALL BE OES/1--OESPT MANUFACTURED BY STERNBERG LIGHTING.
 6. FINISH SHALL BE APPROVED BY OWNER.
 7. MOUNTING HEIGHT SHALL BE 12 FEET.




PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE	DATE
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4.	5/19/23	RESPONSE TO TRC AND PARE COMMENTS		KLM/JH	SMM
3.	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS		KLM	SMM
2.	2/2/23	RIDEM AND CRMC PERMITTING APPLICATION		KLM	SMM
1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS		KLM	SMM
No.	DATE	DESCRIPTION		DESIGNER	REVIEWER

SEAL	SEAL	
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

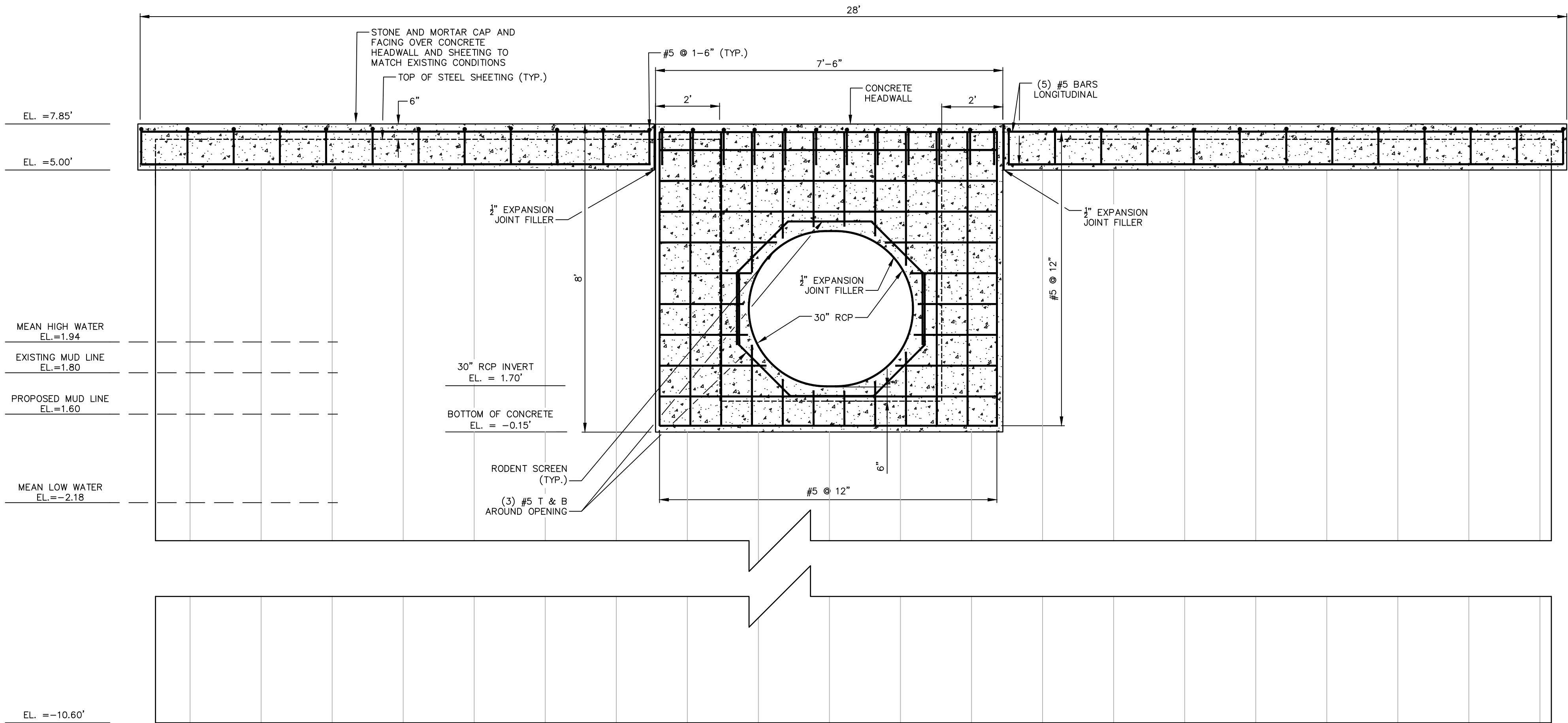
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CD-510

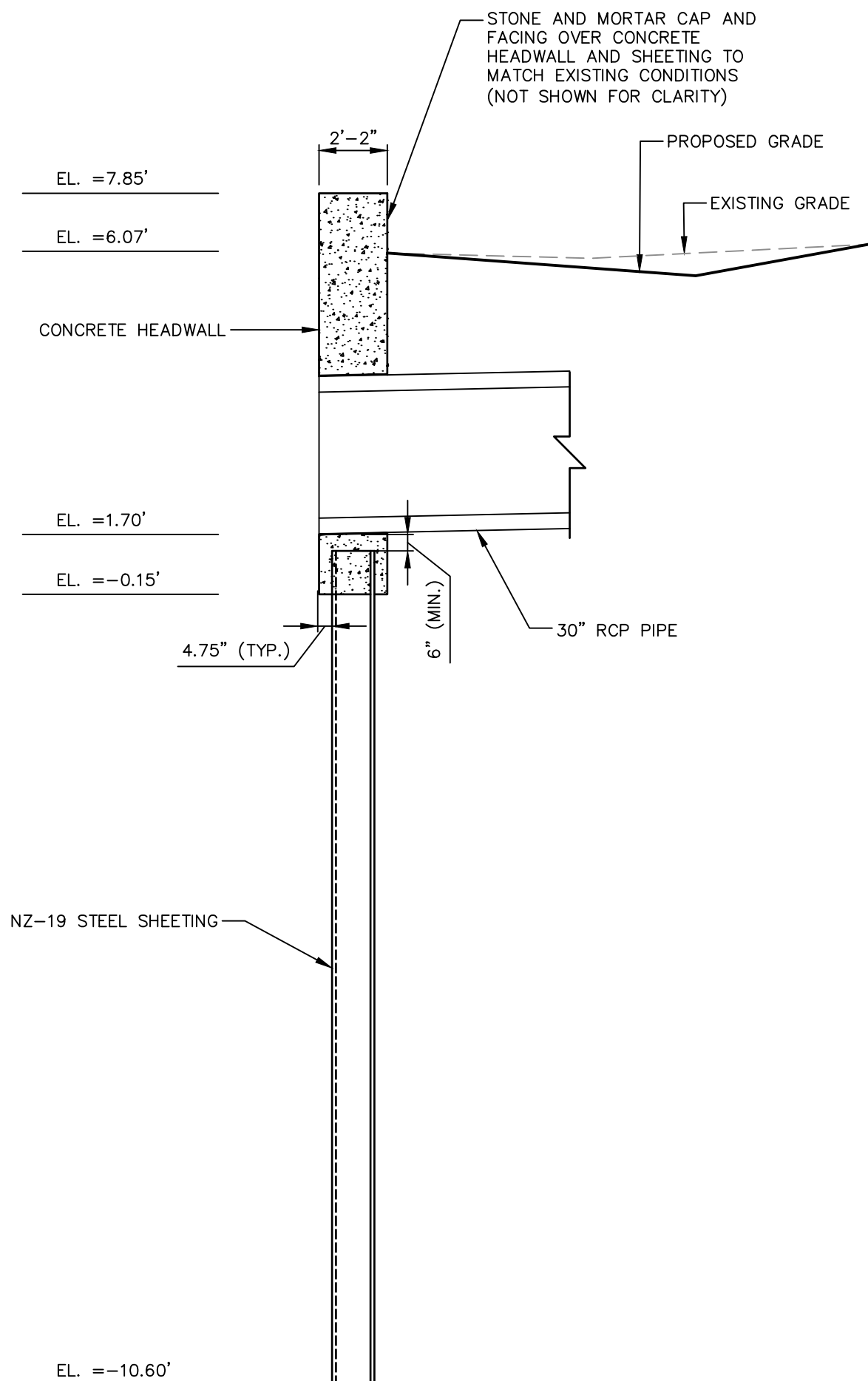
HEET 25 OF 28

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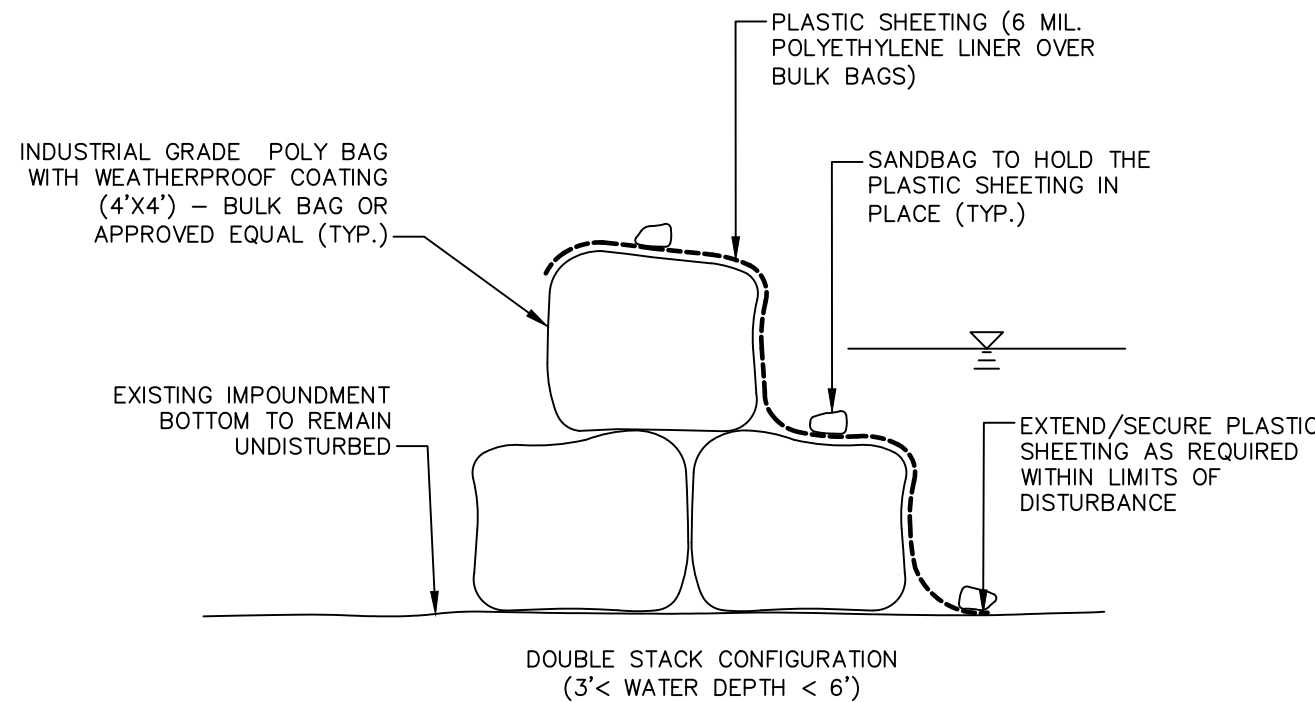


- NOTES:**
- BACKFILL SHALL BE LESS 10 PERCENT SILT CONTENT.
 - CEMENT SHALL BE TYPE 2 OR TYPE 5 AIR ENTRAINING PORTLAND CEMENT OR AN EQUIVALENT

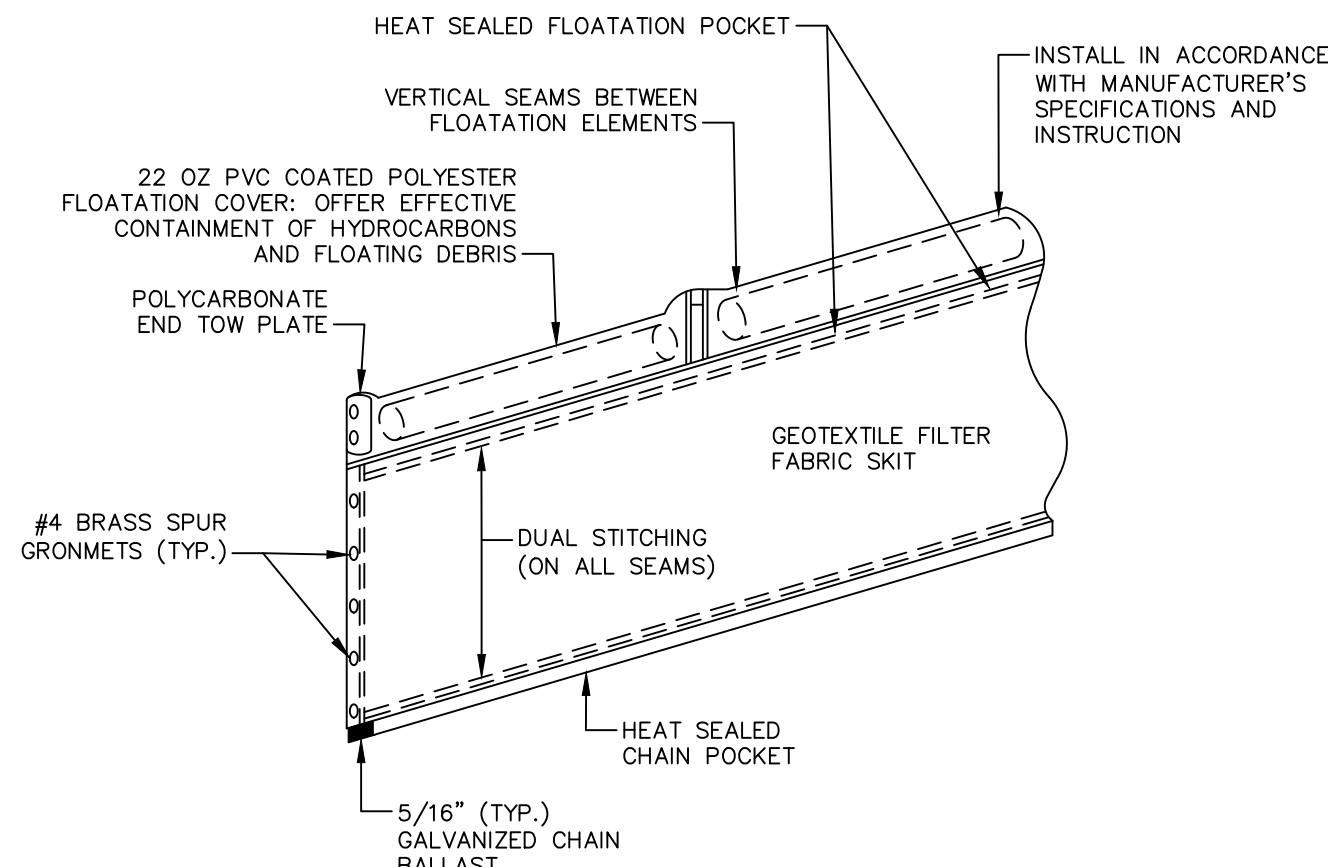
HEADWALL PROFILE
NOT TO SCALE



HEADWALL SECTION
NOT TO SCALE



TEMPORARY COFFERDAM
NOT TO SCALE



- NOTES:**
- FLOATATION SIZE (6", 8" OR 12" DIA.) DETERMINED BY SKIRT DEPTH/SITE VARIABLES.
 - OTHER END TYPES AVAILABLE SUCH AS ALUMINUM UNIVERSAL SLIDE OR SLOTTED TUBE.
 - OPTIONAL TOP TENSION CABLE (5/16" TYP.) AVAILABLE FOR INCREASED STRENGTH.

TEMPORARY TURBIDITY CURTAIN
NOT TO SCALE

PLANNING BOARD APPROVAL

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1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

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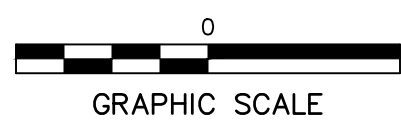
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BRADY SULLIVAN PROPERTIES, LLC

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BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

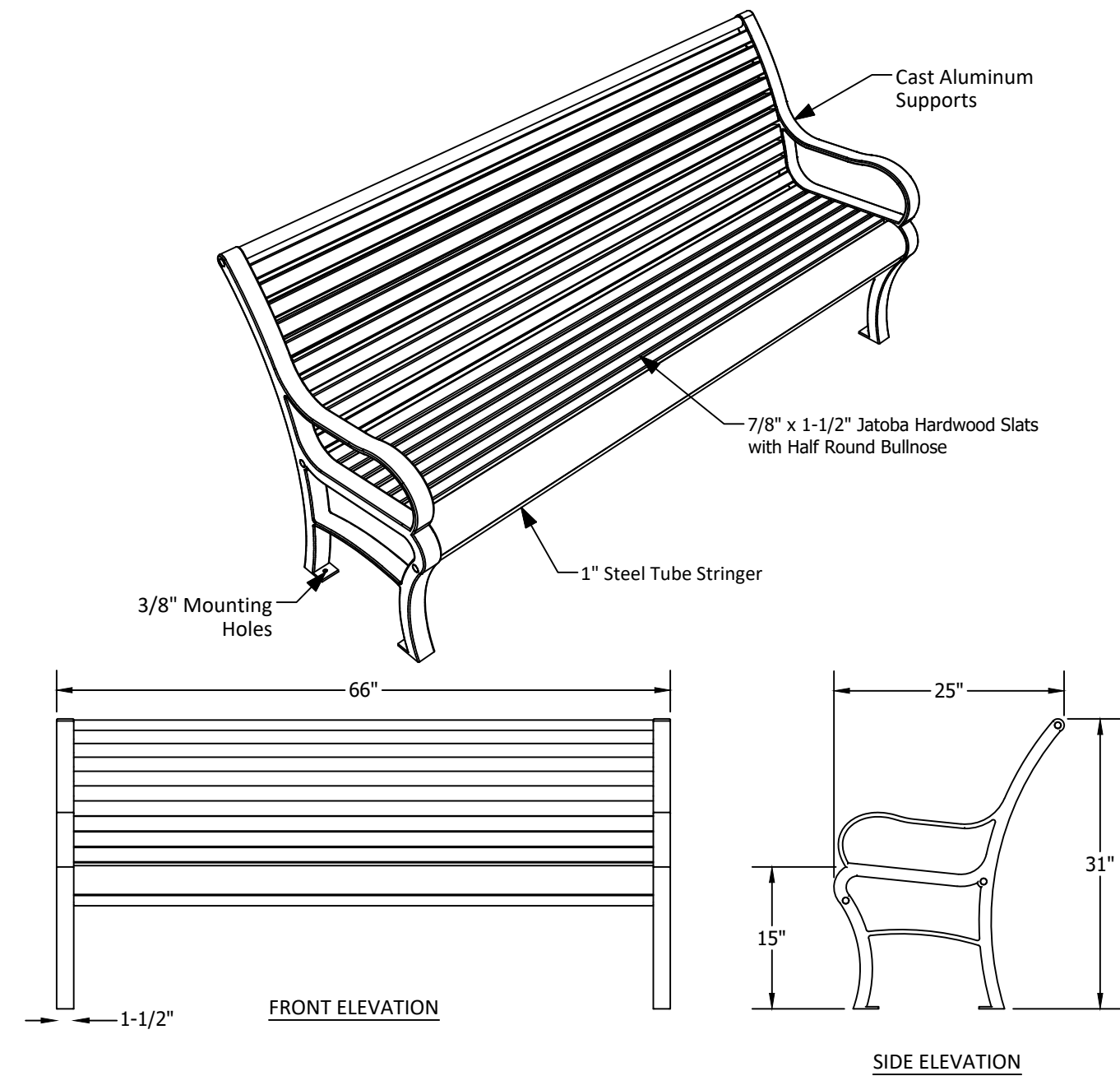
PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CD-511

SHEET 26 OF 28

Brentwood Bench
BNBR-6-BR-W

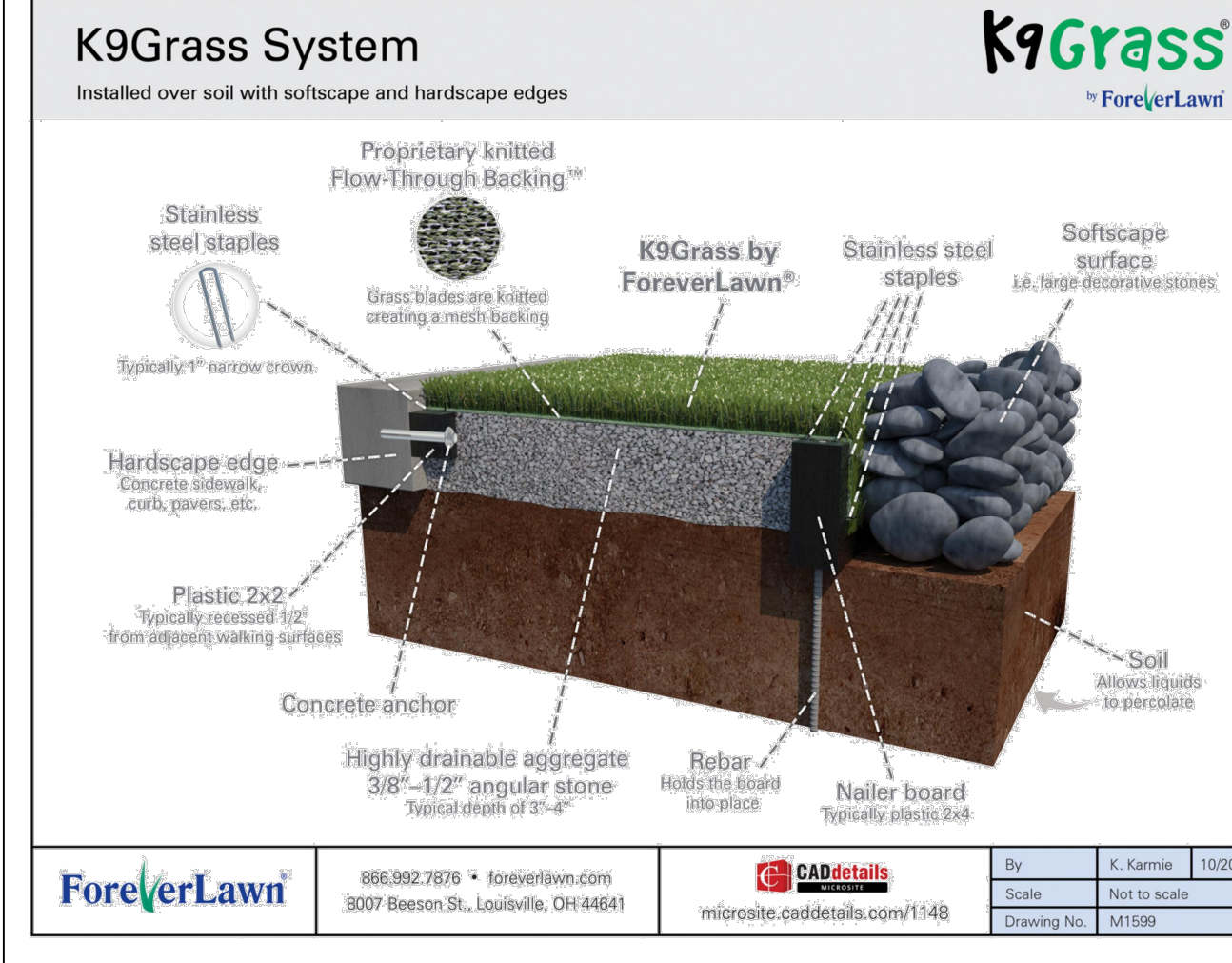
CANTERBURY DESIGNS
5632 W. Washington Blvd. | Los Angeles, CA 90016 | 323.936.7111
Website: www.canterbury-designs.com | Email: info@canterbury-designs.com



- NOTES:
- All metal components are sandblasted, cleaned, and finished with zinc epoxy primer and polyester powder coat.
 - Mounting holes are 3/8" diameter; we do not recommend pre-drilling bolt hole locations (anchor bolts not provided).
 - Other lengths and hardwood seating options (e.g., Ipe, Purpleheart) available upon request.
 - Support castings available in aluminum or iron.

BENCH

NOT TO SCALE

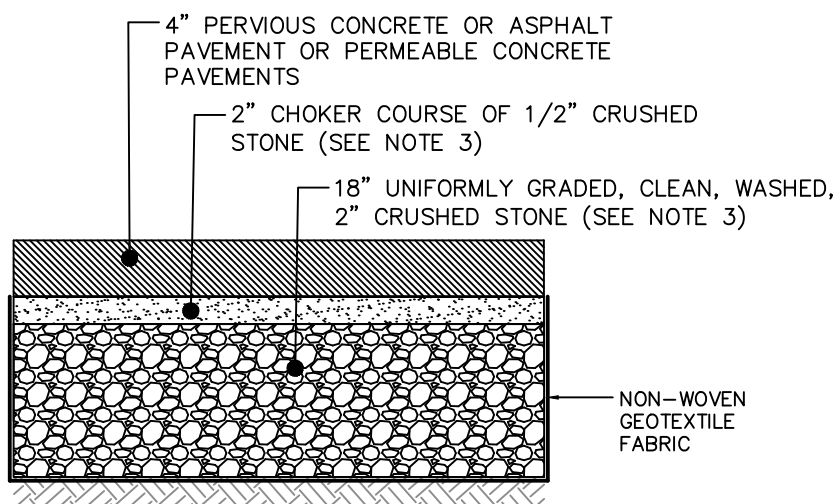


SYNTHETIC TURF

NOT TO SCALE

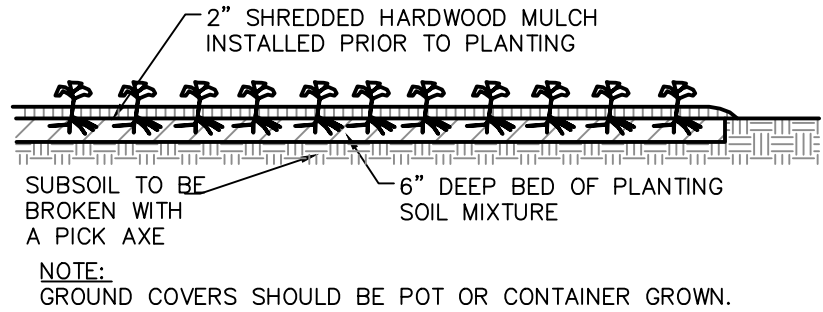
NOTE:

- PERVIOUS CONCRETE SHALL COMPLY WITH ACI 522.
- POROUS ASPHALT PAVEMENT SHALL COMPLY WITH NAPA ASPHALT PAVEMENTS FOR STORMWATER MANAGEMENT: DESIGN, CONSTRUCTION, AND MAINTENANCE GUIDE.
- PERMEABLE CONCRETE PAVERS SHALL BE INSTALLED ACCORDING TO MANUFACTURER SPECIFICATIONS. AGGREGATE COURSE REQUIREMENTS MAY DIFFER.
- PROTECT POROUS PAVEMENTS AND AGGREGATES FROM CONSTRUCTION VEHICLE TRAFFIC, RUNOFF FROM ADJACENT AREAS, AND SEDIMENTATION.



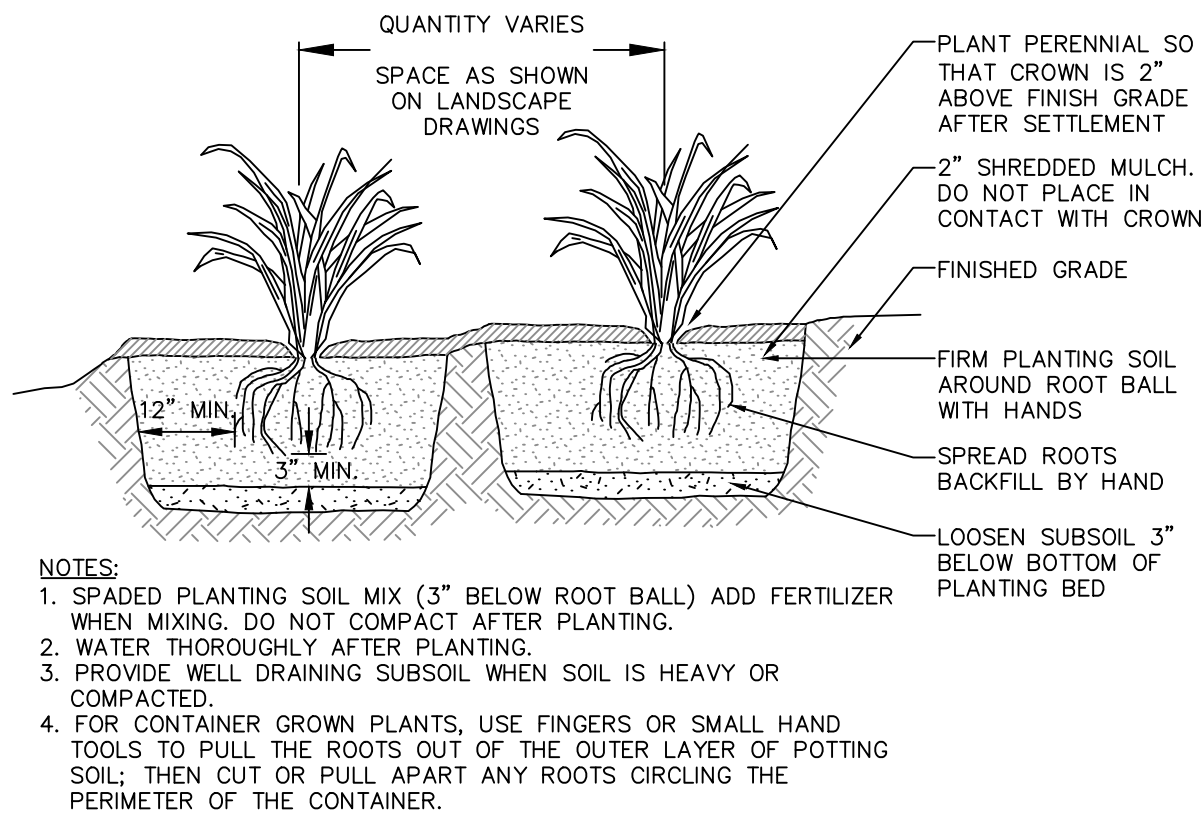
PERMEABLE PAVERS

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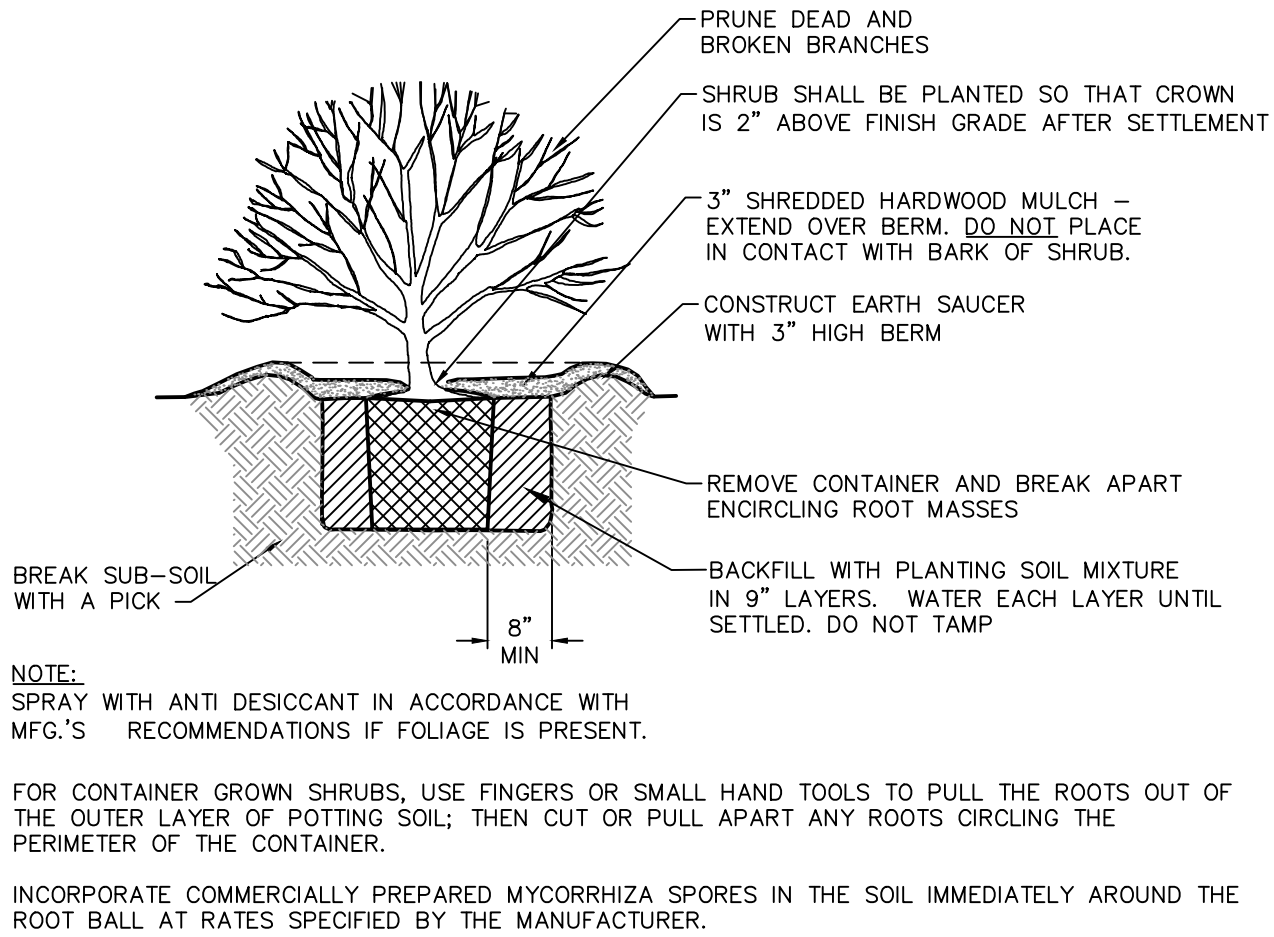
GROUNDCOVER/ANNUAL PLUG PLANTING

NOT TO SCALE



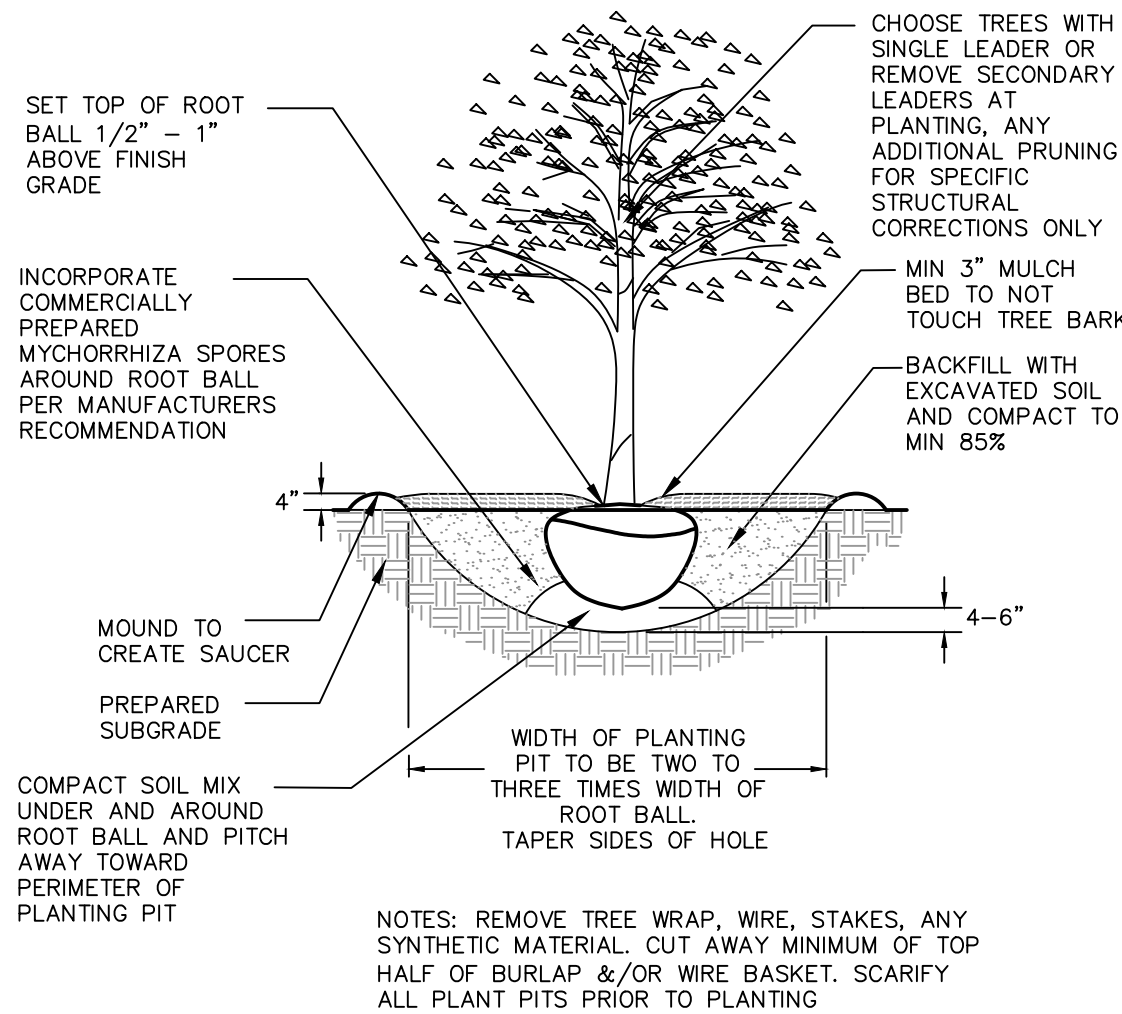
ORNAMENTAL PERENNIALS

NOT TO SCALE



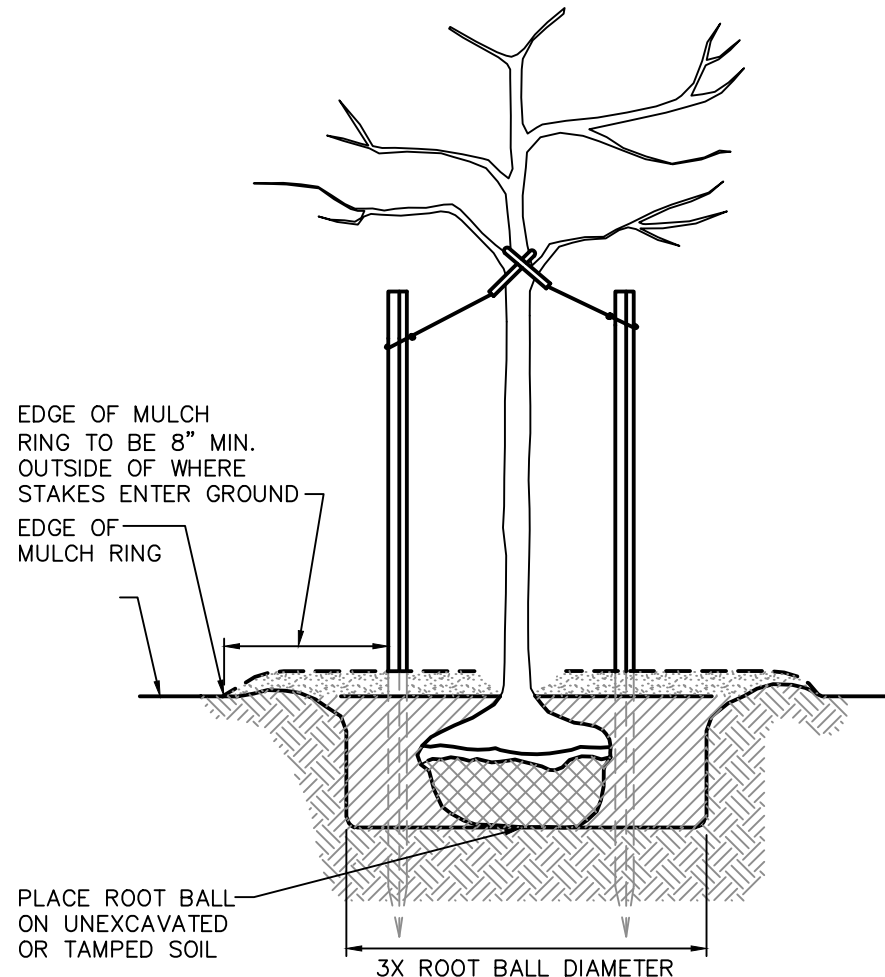
SHRUB PLANTING

NOT TO SCALE



TREE PLANTING

NOT TO SCALE



STAKE DETAIL

NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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1.	1/25/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL

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BRADY SULLIVAN PROPERTIES, LLC

LANDSCAPING DETAILS

BRISTOL YARN MILL

125 THAMES STREET

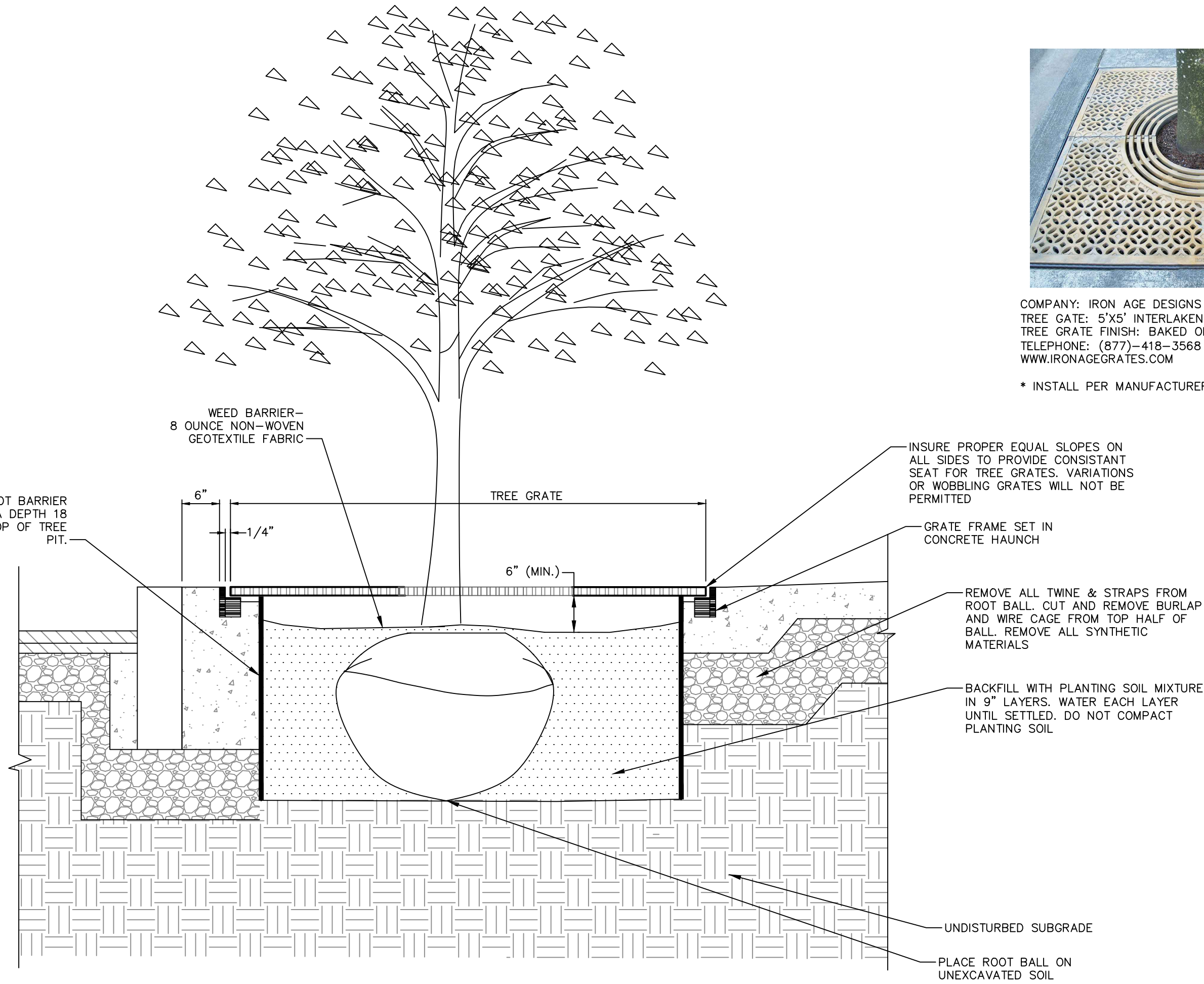
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2023

CD-512

SHEET 27 OF 28

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COMPANY: IRON AGE DESIGNS OR APPROVED EQUAL.
TREE GRATE: 5'X5' INTERLAKEN
TREE GRATE FINISH: BAKED OIL
TELEPHONE: (877)-418-3568
WWW.IRONAGEGRATES.COM

* INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

PLANTING SOIL NOTES

1. SOIL MATERIAL:
 - 1.1. PLANTING SOIL SHALL HAVE A SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE PER USDA TEXTURAL TRIANGLE. MAXIMUM CLAY CONTENT IS <15%, SOIL MIXTURE SHALL BE 50-60% SAND; 20-30% PINE BARK MULCH; AND 20-30% TOPSOIL.
 - 1.2. THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUGWORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE, TEARTHUB, OR OTHER NOXIOUS WEEDS.
 - 1.3. SOIL MIXTURE SHALL HAVE 3-5% ORGANIC MATTER BY VOLUME.
2. LABORATORY TESTING:
 - 2.1. SOIL MUST BE TESTED AND APPROVED AS CLEAN FILL IN ACCORDANCE WITH THE REMEDIAL ACTION WORK PLAN (RAWP) PRIOR TO IMPORTATION TO THE SITE.
 - 2.2. A TEXTURAL ANALYSIS IS REQUIRED TO ENSURE THE SOIL MEETS THE FOLLOWING SPECIFICATIONS.
 - 2.3. THE SOIL SHALL ALSO BE TESTED FOR THE FOLLOWING CRITERIA:
 - A. PH RANGE 5.2 - 7.0
 - B. MAGNESIUM NOT TO EXCEED 32 PPM
 - C. PHOSPHORUS P205 NOT TO EXCEED 89 PPM
 - D. POTASSIUM K2O NOT TO EXCEED 78 PPM
 - E. SOLUBLE SALTS NOT TO EXCEED 500 PPM
3. SOIL MAY BE MODIFIED TO ADJUST PH (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.

TREE PIT
NOT TO SCALE

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SEAL

SEAL

SCALE:

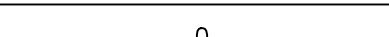
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LANDSCAPING DETAILS

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125 THAMES STREET

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SHEET 27 OF 28