

C:\Users\admin\Principe Engineering Dropbox\LAND\2021\LD7A2C\1\LD_2021-35_206 Bay View Avenue_Bristol_PRELIM AUGUST 2025 (Seth Lemoine's conflicted copy 2025-08-06).dwg, DWG To PDF.pc3

PRELIMINARY PLAN SUBMISSION

FOR A

COMPREHENSIVE PERMIT APPLICATION

OF

"FAIR WIND VILLAGE"

206 BAYVIEW AVENUE

A.P. 47 LOT 3

IN

BRISTOL, RHODE ISLAND

OWNER/APPLICANT:
FAIR WIND PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809



PREPARED BY:
PRINCIPE COMPANY, INC.
ENGINEERING DIVISION

27 SAKONNET RIDGE DRIVE
TIVERTON, RHODE ISLAND 02878
401.816.5385

MARCH 27, 2025
REVISED APRIL 21, 2025
REVISED AUGUST 8, 2025

LIST OF DRAWINGS

- 1) TITLE SHEET
- 2) AERIAL OVERLAY RADIUS MAP
- 3) EXISTING CONDITIONS PLAN (PLS 3 OF 10)
- 4) PROPOSED UTILITY PLAN
- 5) PROPOSED WATER MAIN EXTENSION PLAN & PROFILE
- 6) PROPOSED GRADING & DRAINAGE PLAN
- 7) PROPOSED LAYOUT PLAN
- 8) PROPOSED LANDSCAPE & SERSC PLAN
- 9) DETAILS-1
- 10) DETAILS-2
- 11) DETAILS-3
- 12) DETAILS-4
- 13) DETAILS-5
- 14) DETAILS-6
- SL-1) SITE LIGHTING (BY OTHERS)
- SL-2) SITE LIGHTING DETAILS (BY OTHERS)

STREET INDEX

BAY VIEW ROAD
(PUBLIC – TOWN)

ZONING DESIGNATION:

ZONING DISTRICT: R10

MINIMUM LOT AREA10,000 SQ. FT.

MINIMUM LOT WIDTH80' FOR 1 DWELLING UNIT,
120' FOR 2 DWELLING UNITS

MINIMUM LOT FRONTAGE80'

FRONT YARD SETBACK30'

MINIMUM SIDE YARD SETBACK15'

MINIMUM REAR YARD SETBACK30'

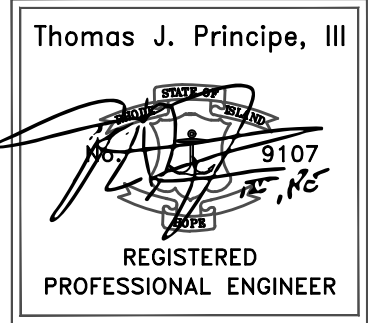
MAXIMUM BUILDING COVERAGE25%

MAXIMUM BUILDING HEIGHT35' (ACCESSORY 20')

PROJECT DATA:

EXISTING:
PLAT: 47 LOT: 3
LOT AREA : 92,656 SF, 2.127 ACRES
THREE–UNIT DWELLING = 1,753.77 SF
GARAGE/BARN = 1,859.03 SF
SHEDS/WELL HOUSE = 320.1 SF
TOTAL EXISTING BUILDING COVERAGE = 3,932.9 SF, 4.24%

PROPOSED:
ONE (1) NEW FIVEPLEX BUILDING=3,705 SF
TWO (2) NEW SIXPLEX BUILDING=4,446 SF EACH x 2=8,892 SF
EX. THREE–UNIT DWELLING = 1,753.77 SF
EX. GARAGE/BARN (PROPOSED PROPERTY MANAGEMENT BUILDING)
= 1,859.03 SF
TOTAL BUILDING COVERAGE (EXISTING + PROPOSED)
= 3,612.8 + 8,892 + 3,705 = 16,209.85 SF
16,209.8 / 92,656 = 17.49%
NEW 20' WIDE PRIVATE DRIVEWAY = 460.5 LINEAR FEET
DRIVEWAY & PARKING AREA = 20,282 SQUARE FEET



DRAWING ISSUE:

- ☐ CONCEPT
- ☐ CUSTOMER APPROVAL
- ☒ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS–BUILT
- ☐ OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION
SHALL BE USED FOR CONSTRUCTION

REQUESTED RELIEF

WAIVERS REQUESTED

A waiver is requested from Land Development Projects Section 28–282 (d) Standards for Multifamily Buildings:

- Sub–Section (2)
Distance between multifamily buildings on same lot: Minimum 25 feet between multifamily buildings in the same row. 10 feet provided.
- Sub–Section (8)
Not more than four contiguous townhouses shall be built in a row with the same or approximately the same front line. Special architectural design offsets utilized.
- Appendix F.2(F)(1)
Sidewalks shall be required to be installed on one side of new streets in subdivisions and in multifamily developments. No sidewalks are proposed. Variances are requested from the following Zoning Regulations:
 - A variance is requested from Zoning Ordinance Article IV Dimensional Regulations Sec. 28–111 Table B requiring 80' of lot frontage. 72.50' of existing frontage provided. 64 feet is permitted after application of the 20% reduction provided for under the Low– and Moderate–Income Housing Incentive Section 28–370 (d)(2).
 - A Variance is requested from Zoning Ordinance Section 28–363 (2)(a1) Municipal subsidies, Density Bonus. For projects providing at least 25 percent low– and moderate–income housing the density bonus shall be five units per acre. The yield map created by Principe Engineering showed that the project site can support 5 dwelling lots without the density bonus. The lot size is 2.1270 acres. Therefore the given lot size multiplied by the density bonus is equal to 10.635 additional units. The total allowed units per the density bonus is 15.635 rounded up to 16 units. 20 units are provided with 17 units to be newly constructed.
 - A variance is requested from Zoning Ordinance Section 28–363 (2)(a1)Municipal subsidies, Density Bonus. For projects providing at least 25 percent low– and moderate–income housing the density bonus shall be five units per acre. Per the calculations 15 units are permitted in total. 20 units are provided with 17 units to be newly constructed.
 - A variance is requested from Zoning Ordinance Permitted Uses, Section 28–3 and Section 28–82. This R–10 zone is intended for high density residential areas comprised of single household and two–household structures within a minimum density of 10,000 square feet per dwelling unit where public sewer and/or public water are provided. Multi–household dwelling units are not allowed. The site has public sewer and public water. Multi–household dwelling units are proposed.
 - Variances are requested from Zoning Ordinance Section 28–252

Article VIII. Nonconformance. The use of the Existing Garage/Barn will be used for property owner storage and for site maintenance equipment and supplies. A property management office will be added to the building above the garages and will be used for property management offices.

General Requirements for parking as follows: Parking spaces are required to be 10'x18'. The proposed spaces are 9'x18'. The required aisle width is 20 feet. The proposed aisle width is 20'.
Distance between multifamily buildings and property line: Minimum 50 feet from side and rear property lines.
32.1 feet min. provided. 40 feet is permitted after application of the 20% reduction provided for under the Low– and Moderate–Income Housing Incentive Section 28–370 (d)(2).



LOCUS MAP SCALE: 1"=100'

PLAN SET LEGEND

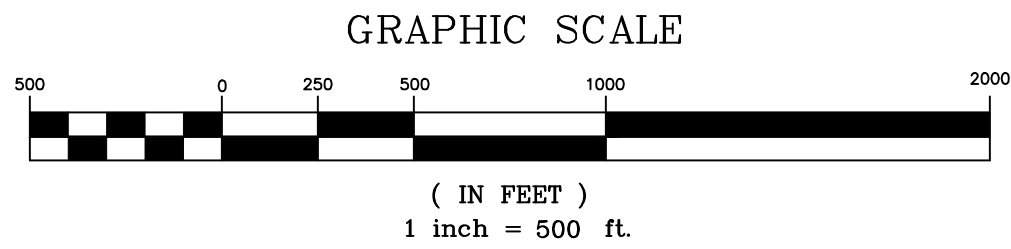
	EXISTING	PROPOSED
PERIMETER LINE	—————	—————
ABUTTER LINE	—————	—————
FENCE	—X—X—X—	—X—X—X—
CONTOUR	---122---	---122---
SURVEY BOUND	⊙ □ ⊙	⊙ □ ⊙
UTILITY POLE	⊙	⊙
SAWCUT	=====	=====
OVERHEAD WIRE	—OHW—	—OHW—
DRAINLINE	—D—D—	—D—D—
WATERLINE	—W—W—	—W—W—
WATER GATE VALVE	⊙	⊙
WELL	⊙	⊙
SEWERLINE	—S—S—	—S—S—
GAS LINE	—G—G—	—G—G—
SEWER MANHOLE	⊙	⊙
EROSION CONTROL	—————	—————
CATCH BASIN	□	□
EDGE OF PAVEMENT	—————	—————
RETAINING WALL	—————	—————
TREE	⊙	⊙
STONEWALL	=====	=====
SEWER FORCE MAIN	—————	—————
SOIL BOUNDARY LINE	—————	—————
STONE PILLAR	⊙	⊙
HYDRANT	⊙	⊙

PLANNING BOARD SIGNATURE

BY: _____ DATE: _____



HALF MILE RADIUS LOCUS MAP
SCALE: 1"=500'

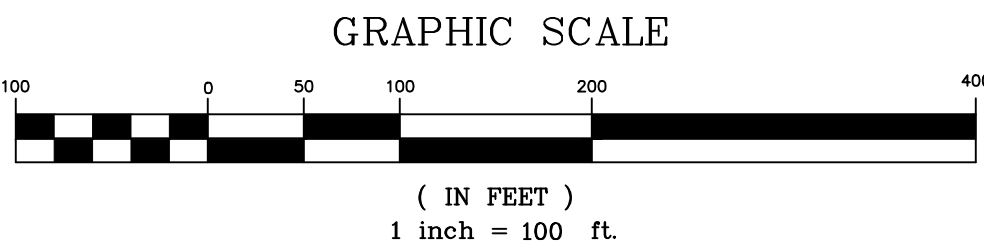


PLANNING BOARD SIGNATURE

BY: _____ DATE: _____



300 FOOT RADIUS MAP
SCALE: 1"=100'



OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

AERIAL OVERLAY RADIUS MAP

Thomas J. Principe, III
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
www.PrincipeEngineering.com

REVISIONS				
No.	DATE	DRWN	CHKD	
1.	04/21/25	KAB	TJP	
2.	8/8/25	KAB	TJP	

PRELIMINARY PLAN SUBMISSION
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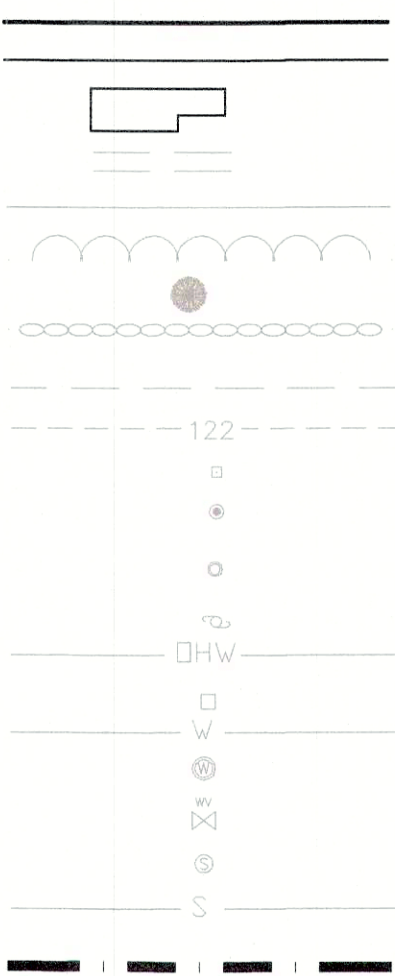
SCALE: AS NOTED		SHEET NO: 2 of 14	
DRAWN BY: KAB	DESIGN BY: KAB	CHECKED BY: TJP	
DATE: 03/27/2025		PROJECT NO.: LD-2021-35	



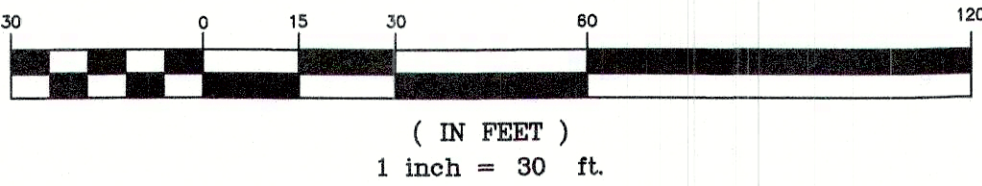
LEGEND

- PERIMETER LINE
- ABUTTER LINE
- BUILDING
- DIRT(GRAVEL) DRIVE(ROAD)
- EDGE OF ROAD PAVEMENT
- TREELINE
- TREE
- STONEWALL
- BUILDING SETBACK
- CONTOUR
- SURVEY BOUND
- SURVEY DRILL HOLE
- SURVEY IRON PIN
- UTILITY POLE
- OVERHEAD WIRE
- CATCH BASIN
- WATERLINE
- WELL
- WATER GATE VALVE
- SEWER MANHOLE
- SEWERLINE
- SOILS

EXISTING



GRAPHIC SCALE



A.P. 47 LOT 4
N/F TOWN OF BRISTOL
DB. 1568 PG. 231



GENERAL NOTES:

- DEED REFERENCE: BK 2147, PAGE 344.
- PLAN REFERENCE ENTITLED "DIVISION OF PROPERTY OWNED BY MR. JOHN SARDINHA, BRISTOL, R.I., SCALE 1" = 40', MAY 1960, J.A. MURGO, ENGINEER" WHICH IS LOCATED IN THE BRISTOL LAND EVIDENCE RECORDS IN DRAWER 3 FOLDER 5 ENVELOPE 171.
- A PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION, PLAT 47 LOTS 4 & 26, BAY VIEW & METACOM AVENUE, BRISTOL, RHODE ISLAND, SCALE 1" = 50', STEPHEN M. MURGO PLS, DECEMBER 26, 2012," WHICH IS LOCATED IN THE BRISTOL LAND EVIDENCE RECORDS IN ENVELOPE 615.
- PLAN REFERENCE ENTITLED "EXISTING CONDITIONS PLAN, FOR DANIEL FERREIRA, A.P. 47 LOT 3, 206 BAY VIEW AVENUE, BRISTOL, R.I., SCALE 1"=30', DATED: MARCH 10, 2022, PREPARED BY PRINCIPLE COMPANY."
- THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE.
- SOILS ON SITE ARE CLASSIFIED AS CANTON-UBRAN LAND COMPLEX, VERY ROCKY (CC) AND PITTSFORD SILT LOAM, 0 TO 3 PERCENT SLOPES (PmA) AS IDENTIFIED BY THE USDA RI SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
- THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE SUBJECT PROPERTY.
- THERE ARE NO WETLANDS ON OR IN THE VICINITY OF THE PROJECT.
- THERE ARE NO HISTORIC CEMETERIES PRESENT ON THE SUBJECT PARCEL. IT IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DEFINED BY THE TOWN OF BRISTOL WEB GIS MAPS.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CRMC.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OWTS CRITICAL RESOURCE AREA AS DEFINED BY RIDEM.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE ROUTE 136 OVERLAY PER BRISTOL GIS.
- THE SUBJECT PARCEL IS LOCATED WITHIN THE UPPER EAST PASSAGE WATERSHED.
- THE DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
- THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
- THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN AQUIFER RECHARGE AREA, WELLHEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
- THERE ARE NO COASTAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

ZONING CRITERIA

R10 ZONING	
ZONING DISTRICT	R10
MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH	80'
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

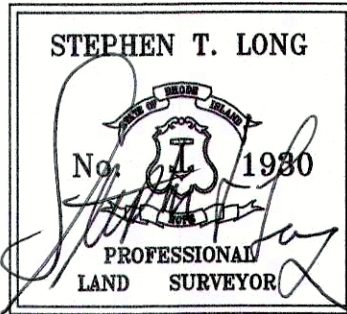
TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 1 STANDARD/CLASS 3 TOPD

PURPOSE OF SURVEY: EXISTING CONDITIONS

BY: Stephen T. Long DATE: 4-28-23
STEPHEN T. LONG, PLS NO. 1930

PLANNING BOARD SIGNATURE

BY: _____ DATE: _____



OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

EXISTING CONDITIONS PLAN

PRINCIPLE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
www.PrincipleEngineering.com

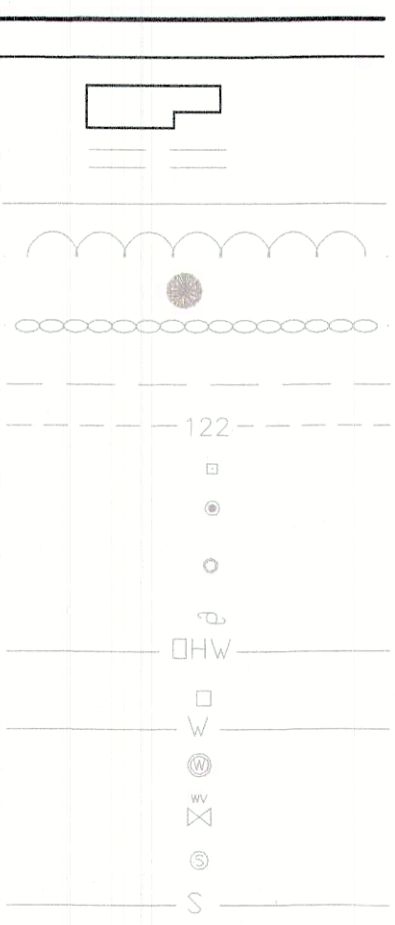
MASTER PLAN SUBMISSION
FOR A
COMPREHENSIVE PERMIT APPLICATION
OF
"FAIR WIND VILLAGE"
A.P. 47 LOT 3
206 BAY VIEW AVENUE
in
BRISTOL, RHODE ISLAND

SCALE: 1" = 30'		SHEET NO: 3 of 10	
DRAWN BY: NEC	DESIGN BY: NEC	CHECKED BY: TJP	
DATE: 04/05/2023		PROJECT NO.: LD-2021-35	

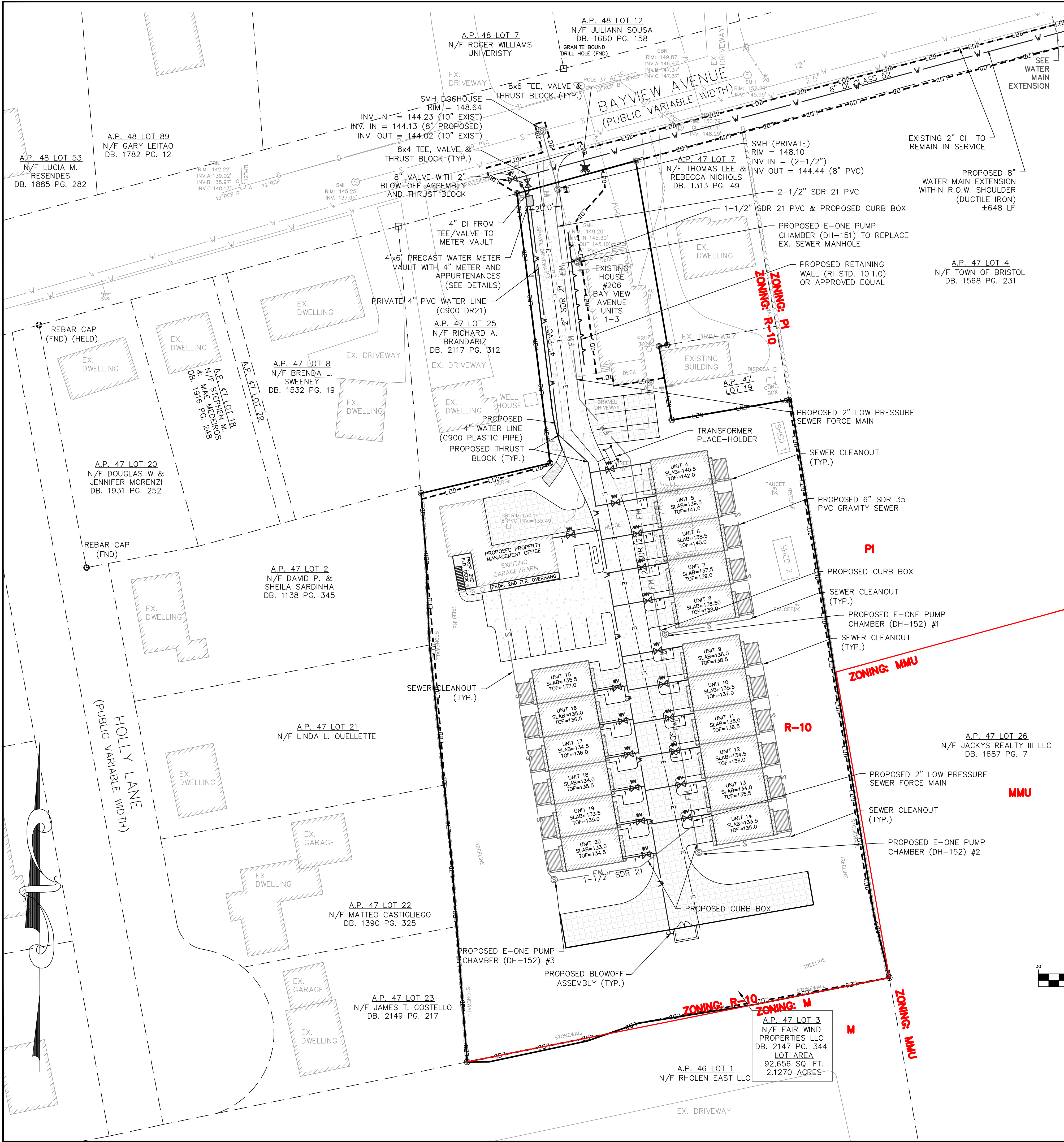
LEGEND

EXISTING

- PERIMETER LINE
- ABUTTER LINE
- BUILDING
- DIRT(GRAVEL) DRIVE(ROAD)
- EDGE OF ROAD PAVEMENT
- TREELINE
- TREE
- STONEWALL
- BUILDING SETBACK
- CONTOUR
- SURVEY BOUND
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- CATCH BASIN
- WATERLINE
- WELL
- WATER GATE VALVE
- SEWER MANHOLE
- SEWERLINE



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PROJECT DENSITY:

R-10:
THIS ZONE IS INTENDED FOR HIGH DENSITY RESIDENTIAL AREAS COMPRISED OF SINGLE HOUSEHOLD AND TWO-HOUSEHOLD STRUCTURES WITH A MINIMUM DENSITY OF 10,000 SF PER DWELLING UNIT WHERE PUBLIC SEWER AND/OR PUBLIC WATER ARE PROVIDED (SECTION 28-3)

TOTAL LOT AREA = 92,656 SF:
5 LOTS (PER YIELD PLAN)

25% LOW & MODERATE INCOME UNIT DENSITY BONUS
5 UNITS/ACRE= 96,656/43,560=2.22 x 5 = 10

UNITS ALLOWED: 5 + 10 = 15
UNITS PROVIDED: 20

UTILITY NOTES

1. ALL ON-SITE UTILITIES TO BE UNDERGROUND.
2. ALL UTILITY LOCATIONS, INCLUDING TRANSFORMER, SUBJECT TO REVIEW AND APPROVAL OF APPLICABLE UTILITY COMPANY.
3. WATER LINES SHALL HAVE 4' COVER MIN.
4. SEWER LINES SHALL HAVE 4' COVER MIN.
5. WHERE SEWER LPFM LINES CROSS WATER LINES, INSTALL 18" MIN. BELOW THE WATER LINE.

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ZONING DISTRICT	R10
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MINIMUM LOT WIDTH	80'
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

PLAN SET LEGEND

PERIMETER LINE

ABUTTER LINE

FENCE

CONTOUR

SURVEY BOUND

UTILITY POLE

SAWCUT

OVERHEAD WIRE

DRAINLINE

WATERLINE

WATER GATE VALVE

WELL

SEWERLINE

GAS LINE

SEWER MANHOLE

EROSION CONTROL

CATCH BASIN

EDGE OF PAVEMENT

RETAINING WALL

TREE

STONEWALL

SEWER FORCE MAIN

SOIL BOUNDARY LINE

STONE PILLAR

HYDRANT

DRAWING ISSUE:

- ☐ CONCEPT
 - ☐ CUSTOMER APPROVAL
 - ☒ PERMITTING
 - ☐ CONSTRUCTION
 - ☐ AS-BUILT
 - ☐ OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

OWNER/APPLICANT

FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

PROPOSED UTILITY PLAN

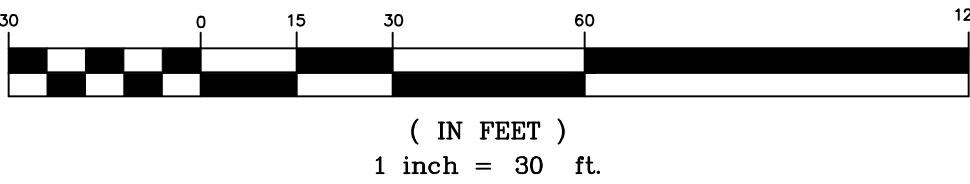
Thomas J. Principe, III
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PRELIMINARY PLAN SUBMISSION
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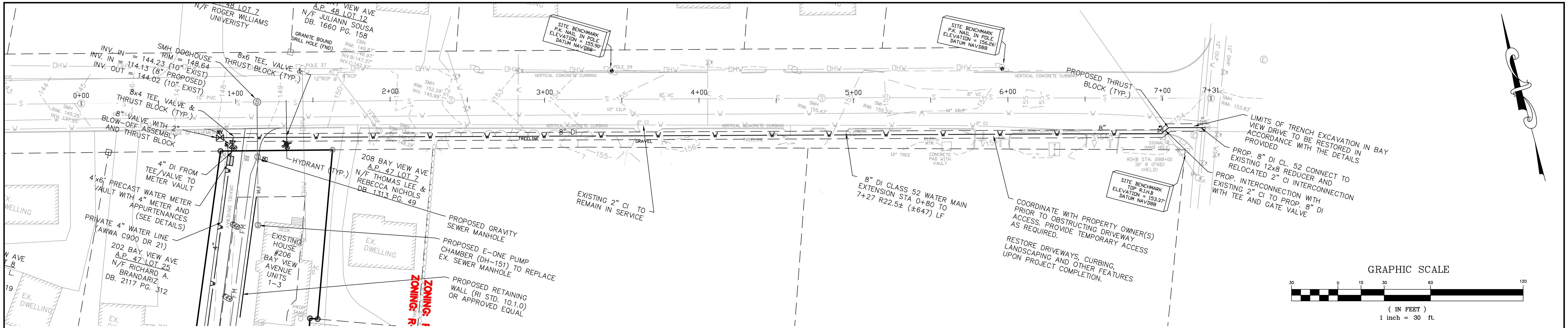
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DRAWN BY: KAB
DATE: 03/27/2025
SHEET NO: 4 of 14
DESIGN BY: KAB
CHECKED BY: TJP
PROJECT NO.: LD-2021-35

GRAPHIC SCALE

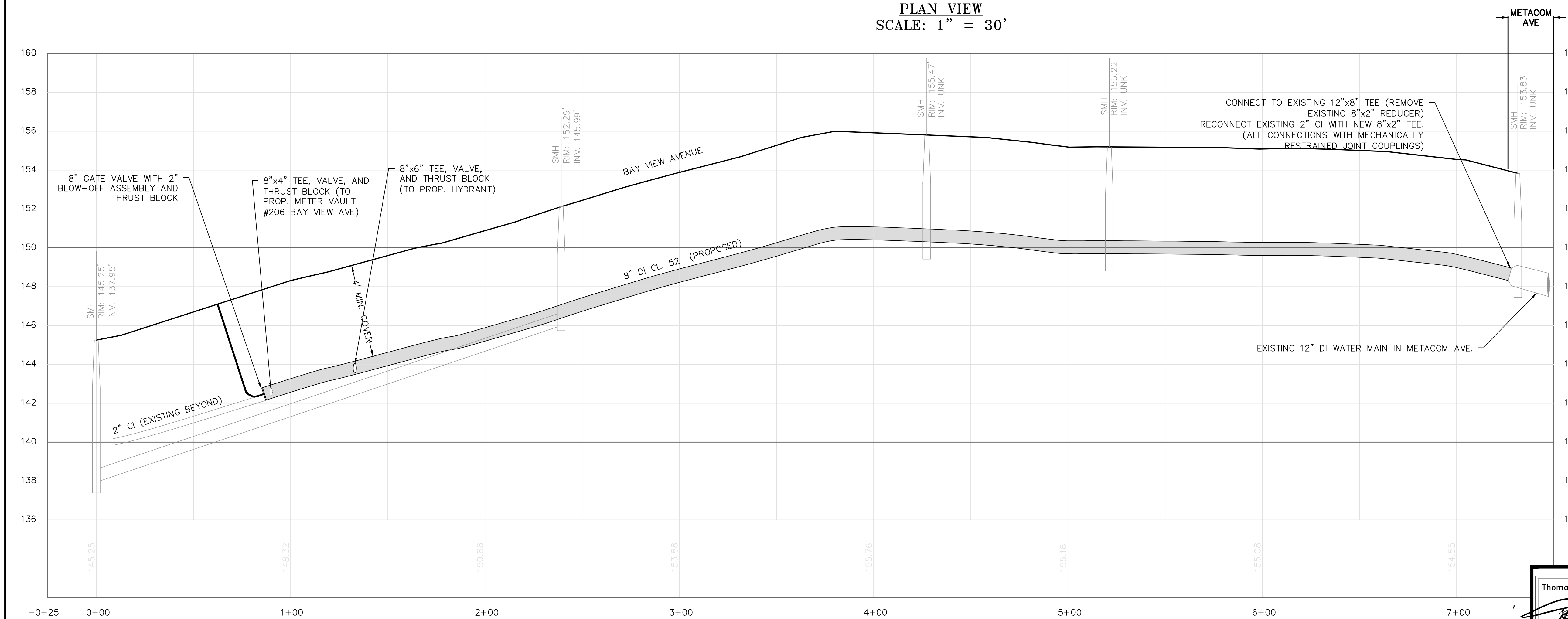


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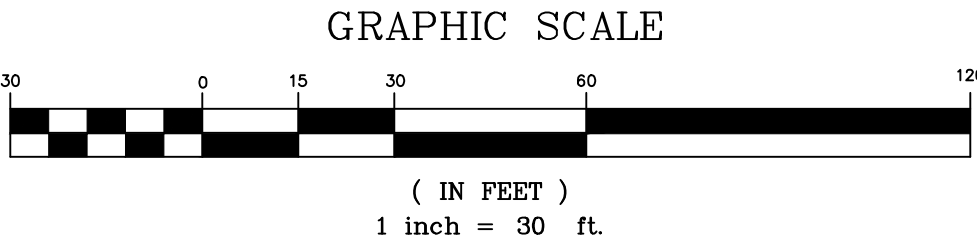
1. PLAN ENTITLED "EXISTING CONDITIONS PLAN" FOR FAIR WIND PROPERTIES LLC
AP 47 LOT 3
206 BAY VIEW AVENUE BRISTOL, RI
BY PRINCIPLE COMPANY
JOB NUMBER: LD-2021-35
04/05/23
SCALE 1"=30'



PLAN VIEW
SCALE: 1" = 30'



PROFILE VIEW
HORIZONTAL SCALE: 1" = 30'
VERTICAL SCALE: 1" = 3'



OWNER/APPLICANT
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PO BOX 333
BRISTOL, RI 02809

PLAN & PROFILE -
WATER MAIN EXTENSION

Thomas J. Principe, III
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PROFESSIONAL ENGINEER

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SCALE: 1" = 30' SHEET NO: 5 of 14
DRAWN BY: SJL DESIGN BY: SJL CHECKED BY: TJP
DATE: 08/08/25 PROJECT NO.: LD-2021-35

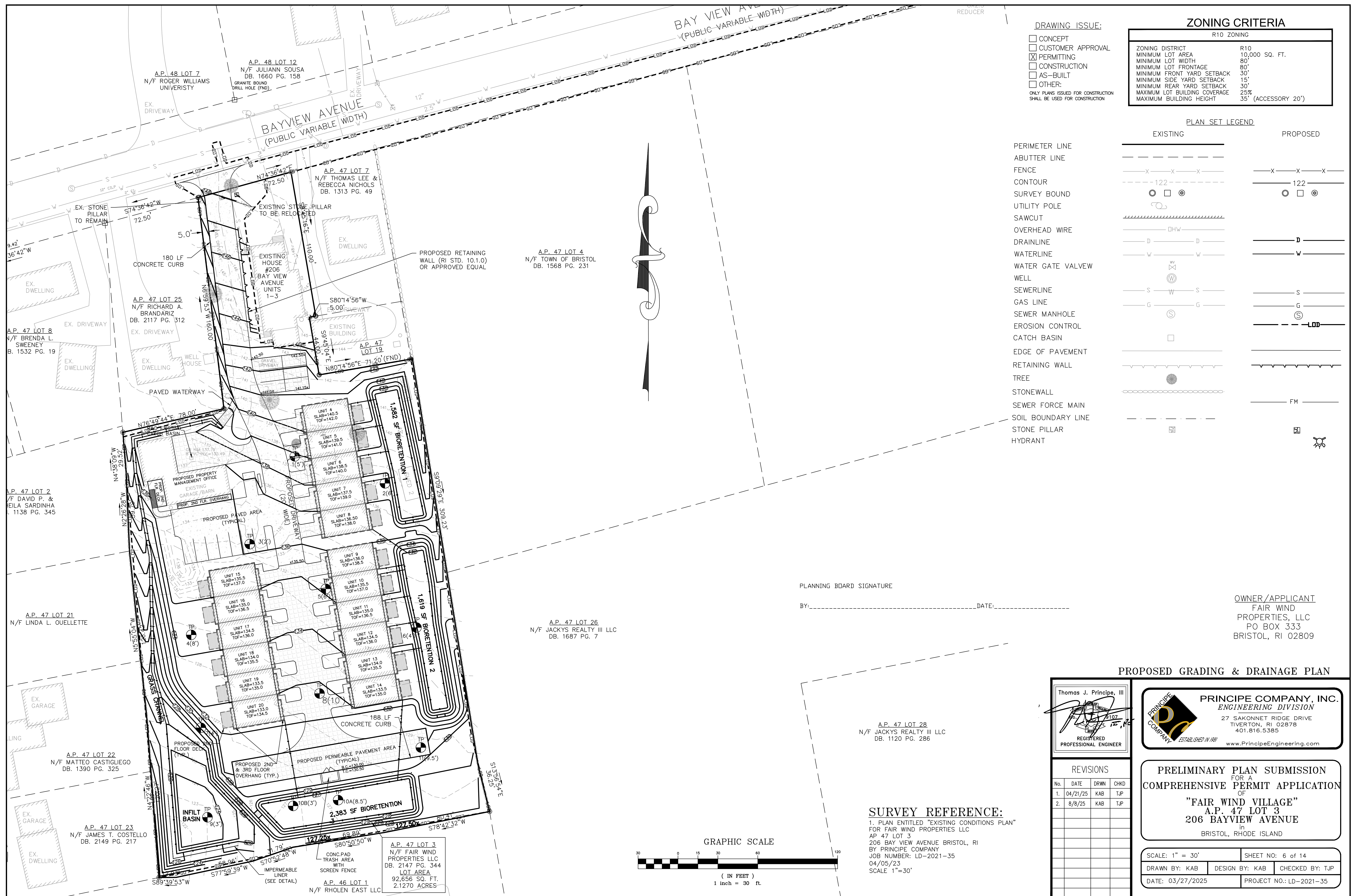
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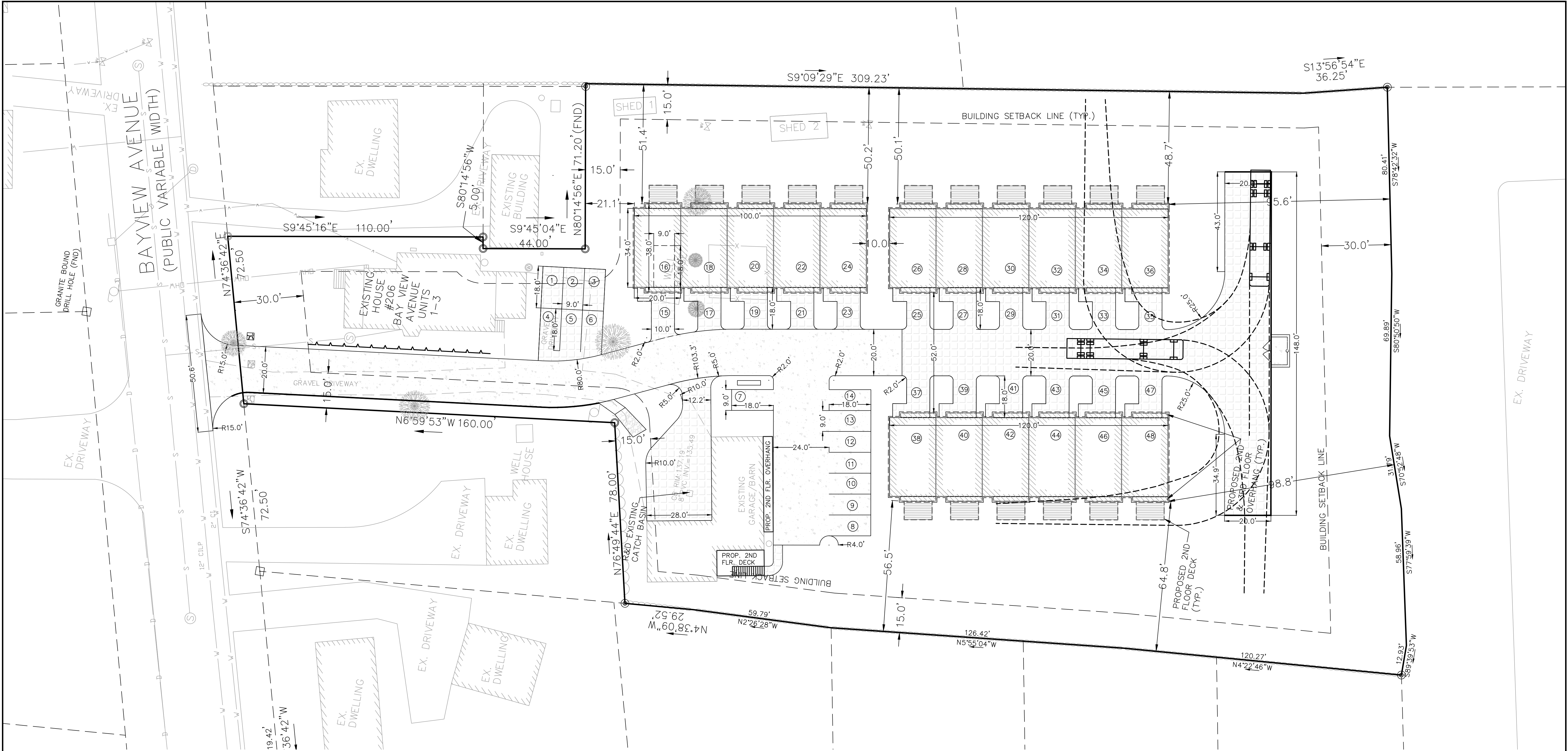
- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION
SHALL BE USED FOR CONSTRUCTION

PLANNING BOARD SIGNATURE

BY: _____ DATE: _____



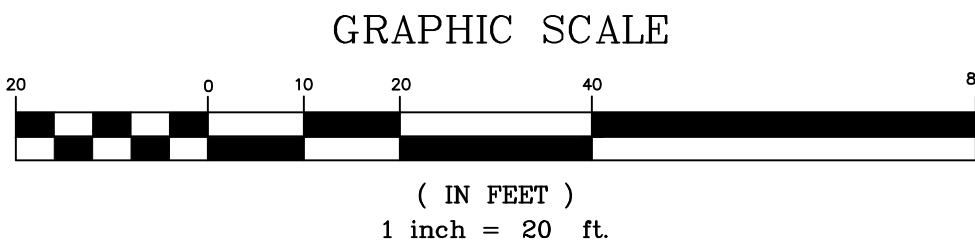
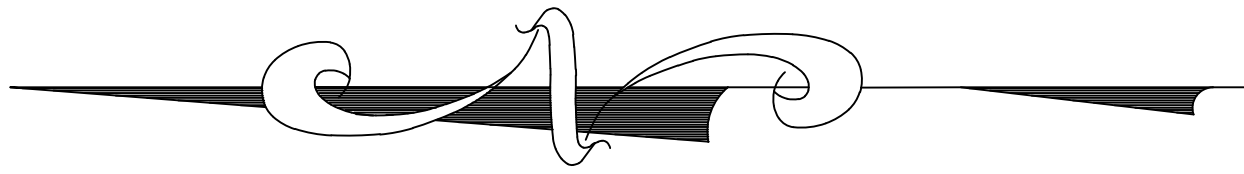


OPEN SPACE NOTES:
REQUIRED=440 SF/UNIT=20X440=8,000 SF
PROVIDED=1,376+640+640+2,960+425+435+1,600=8,076 SF

TRASH PICKUP & SNOW REMOVAL SHALL BE PRIVATE

PLANNING BOARD SIGNATURE

BY: _____ DATE: _____



SURVEY REFERENCE:
1. PLAN ENTITLED "EXISTING CONDITIONS PLAN"
FOR FAIR WIND PROPERTIES LLC
AP 47 LOT 3
206 BAY VIEW AVENUE BRISTOL, RI
BY PRINCIPLE COMPANY
JOB NUMBER: LD-2021-35
04/05/23
SCALE 1"=30'

- DRAWING ISSUE:**
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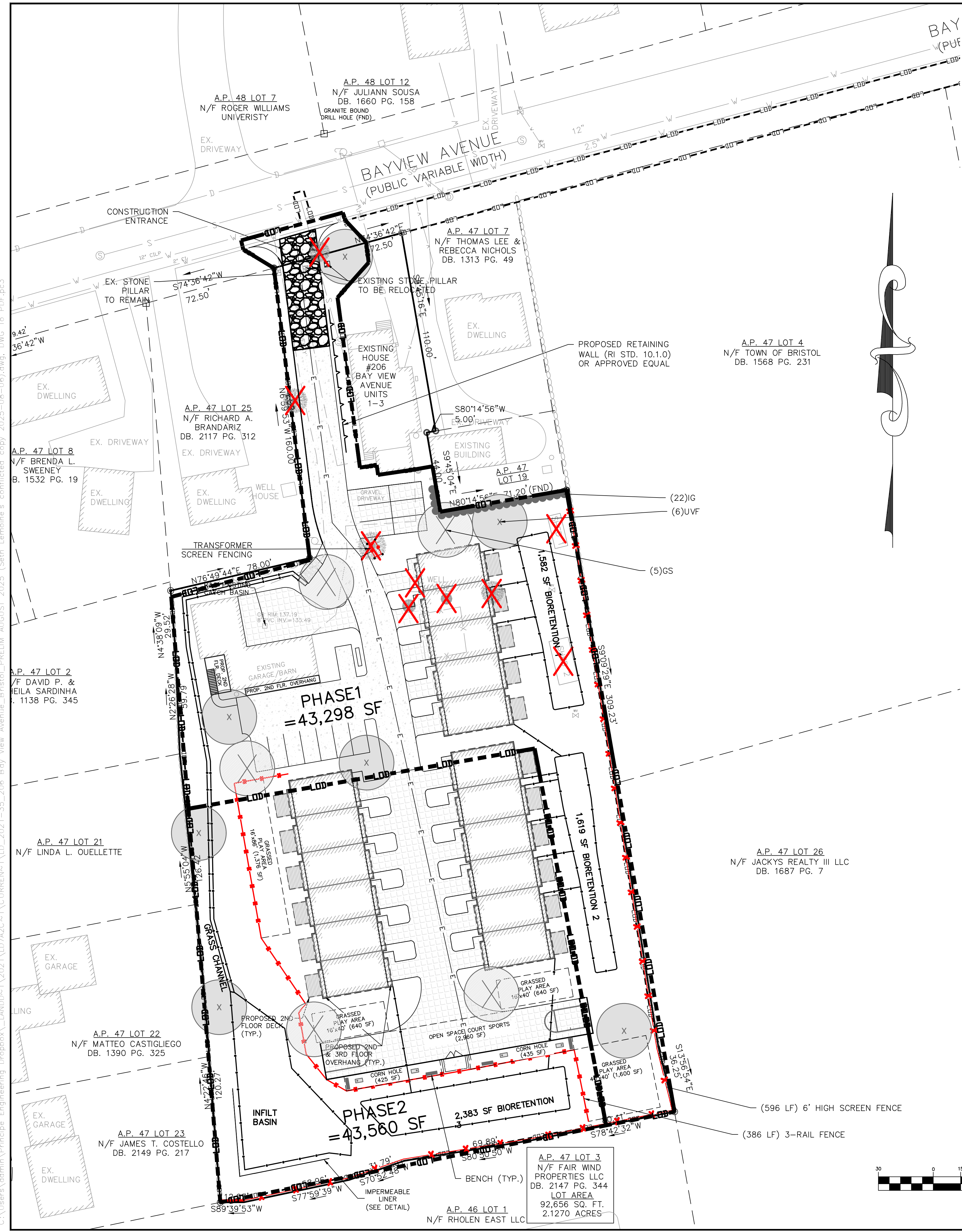
REVISIONS				
No.	DATE	DRWN	CHKD	
1.	04/21/25	KAB	TJP	
2.	8/8/25	KAB	TJP	

PROPOSED LAYOUT PLAN

PRINCIPLE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
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www.PrincipleEngineering.com

PRELIMINARY PLAN SUBMISSION
FOR A
COMPREHENSIVE PERMIT APPLICATION
OF
"FAIR WIND VILLAGE"
A.P. 47 LOT 3
206 BAYVIEW AVENUE
in
BRISTOL, RHODE ISLAND

SCALE: 1" = 20' SHEET NO: 7 of 14
DRAWN BY: KAB DESIGN BY: KAB CHECKED BY: TJP
DATE: 03/27/2025 PROJECT NO.: LD-2021-35



DRAWING ISSUE:

- ☐ CONCEPT
- ☐ CUSTOMER APPROVAL
- ☒ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

MASTER PLANT SCHEDULE						
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
GS	5	Gleditsia triacanthos inermis Shademaster	Shademaster honeylocust	2-2.5" cal.	B&B	5' STD.
UVF	6	Ulmus americana Valley Forge	Valley Forge American elm	2-2.5" cal.	B&B	5' STD.
IG	22	Ilex glabra Shamrock	Shamrock inkberry	2.5'-3'	B&B	4' o.c.
RG-1	179	Aster divaricatus	White wood aster	#1	CAN	2' o.c.
RG-2	179	Iris versicolor	Blue flag iris	#1	CAN	2' o.c.
RG-3	179	Labelia cardinalis	Cardinal flower	#1	CAN	2' o.c.
	179	Osmunda cinnamomea	Cinnamon fern	#1	CAN	2' o.c.

- LANDSCAPE NOTES:
- 1) ALL PLANT MATERIAL TO CONFORM TO ANSI STANDARDS.
 - 2) ALL PLANT MATERIAL TO RECEIVE THREE INCHES OF SHREDDED PINE BARK MULCH, EXCEPT WITHIN RAIN GARDENS, WHICH SHALL RECEIVE SHREDDED HARDWOOD MULCH.
 - 3) ALL PLANT MATERIAL TO BE GUARANTEED TO SURVIVE AT LEAST ONE GROWING SEASON, OR THEY SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
 - 4) ALL PLANT MATERIAL SUBJECT TO VERIFICATION AS TO LOCATION AND SPECIES.
 - 5) THERE WILL BE NO PLANT MATERIAL SUBSTITUTIONS WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
 - 6) DISTURBED SOILS WITHIN THE PROJECT LIMITS ARE TO BE LOAMED AND SEEDDED.

PLAN SET LEGEND		
	EXISTING	PROPOSED
PERIMETER LINE	---	---
ABUTTER LINE	---	---
FENCE	-x-x-x-	-x-x-x-
CONTOUR	-122-	-122-
SURVEY BOUND	○ □ ●	○ □ ●
UTILITY POLE	⊕	⊕
SAWCUT		
OVERHEAD WIRE	— OHW —	— OHW —
DRAINLINE	— D —	— D —
WATERLINE	— W —	— W —
WATER GATE VALVE	⊗	⊗
WELL	⊙	⊙
SEWERLINE	— S —	— S —
GAS LINE	— G —	— G —
SEWER MANHOLE	⊙	⊙
EROSION CONTROL	---	---
CATCH BASIN	□	□
EDGE OF PAVEMENT	---	---
RETAINING WALL	---	---
TREE	⊙	⊙
STONEWALL	---	---
SEWER FORCE MAIN	---	---
SOIL BOUNDARY LINE	---	---
STONE PILLAR	⊕	⊕
HYDRANT	⊕	⊕

OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

OPEN SPACE NOTES:
REQUIRED=440 SF/UNIT=20X440=8,000 SF
PROVIDED=1,376+640+640+2,960+425+435+1,600=8,076 SF

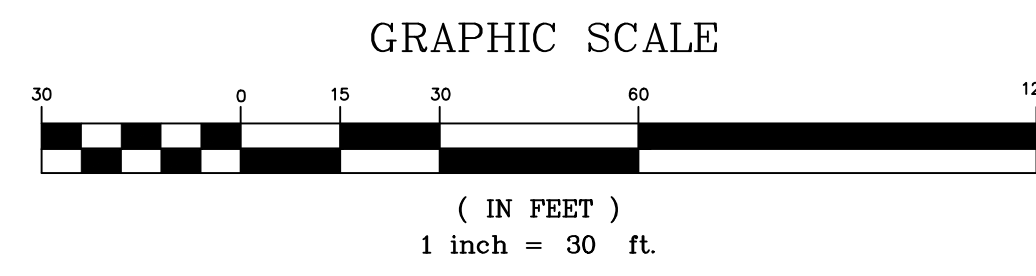
TRASH PICKUP & SNOW REMOVAL SHALL BE PRIVATE

PLANNING BOARD SIGNATURE

BY: _____ DATE: _____

SURVEY REFERENCE:

1. PLAN ENTITLED "EXISTING CONDITIONS PLAN" FOR FAIR WIND PROPERTIES LLC AP 47 LOT 3 206 BAY VIEW AVENUE BRISTOL, RI BY PRINCIPLE COMPANY JOB NUMBER: LD-2021-35 04/05/23 SCALE 1"=30'



PROPOSED LANDSCAPE PLAN & SERSC PLAN

PRINCIPLE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
www.PrincipleEngineering.com

REVISIONS

No.	DATE	DRWN	CHKD
1.	04/21/25	KAB	TJP
2.	8/8/25	KAB	TJP

PRELIMINARY PLAN SUBMISSION
FOR A
COMPREHENSIVE PERMIT APPLICATION
OF
"FAIR WIND VILLAGE"
A.P. 47 LOT 3
206 BAYVIEW AVENUE
in
BRISTOL, RHODE ISLAND

SCALE: 1" = 30'	SHEET NO: 8 of 14	
DRAWN BY: KAB	DESIGN BY: KAB	CHECKED BY: TJP
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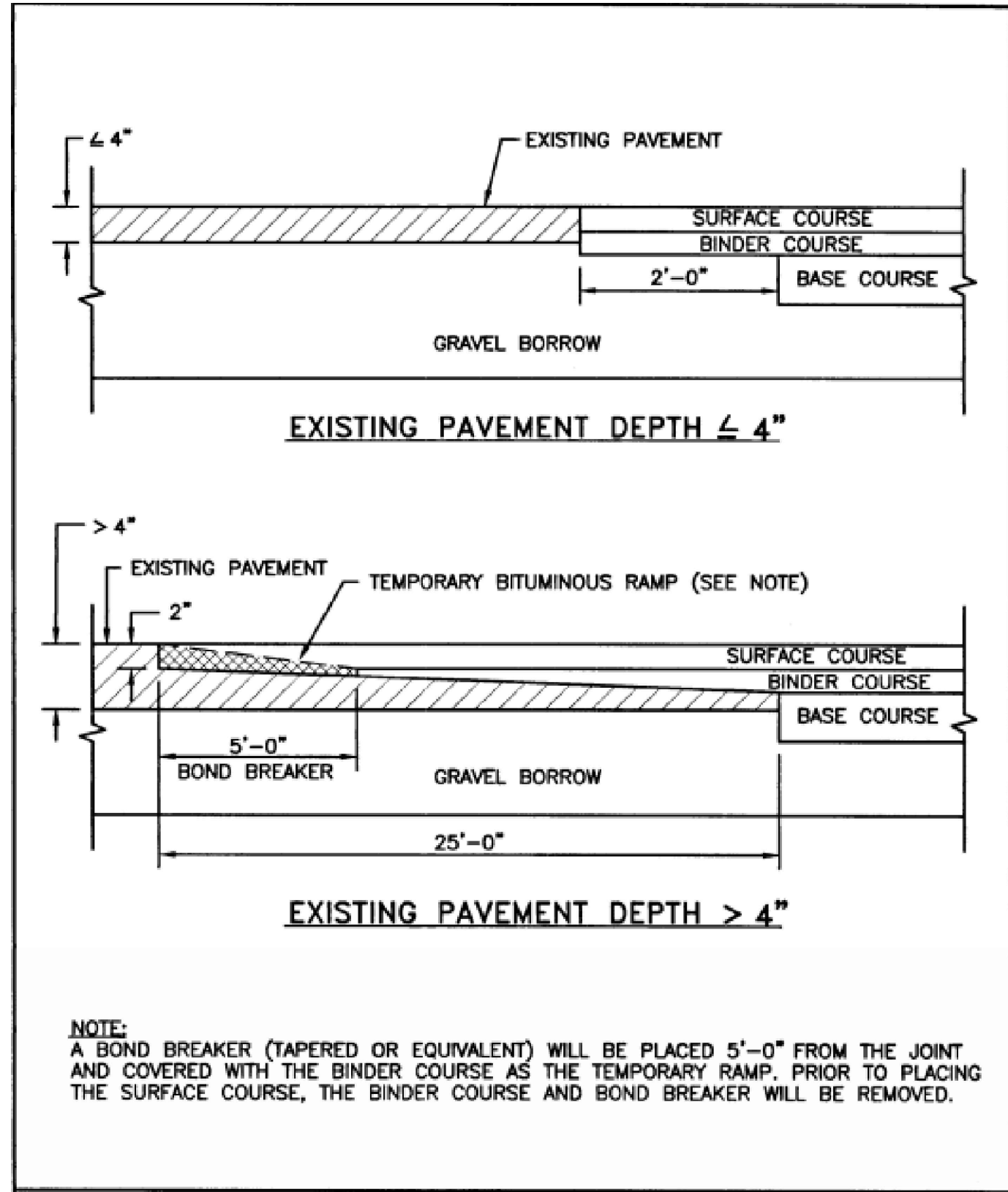
C:\Users\admin\Principe Engineering Droptex\LAND-1\2021\LD742C-1\CURRENT-1\LD_2021-35_206 Bay View Avenue_Bristol_PRELIM_AUGUST 2025 (Seth Lemoine's conflicted copy 2025-08-06).dwg, DWG To PDF.pc3

VEGETATIVE COVER AND PLANTING

1. THE NORMAL ACCEPTABLE SEASONABLE SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.		
2. TOP SOIL FOR PERMANENT OR LONG TERM TEMPORARY SEEDING SHOULD HAVE A SANDY LOAM TEXTURE, RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS. TOP SOIL SHALL CONFORM WITH RHODE ISLAND SPECIFICATIONS.		
3. THE DESIGN SEED MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDDED SHALL BE COMPRISED OF THE FOLLOWING:		
TYPE	% BY WEIGHT	SEEDING DATE
CREEPING RED FESCUE	70	
ASTORIA BENTGRASS	5	APRIL 1 – JUNE 15
BIRDFOOT TREFOIL	15	AUGUST 15 – OCTOBER 15
PERENNIAL RYE GRASS	10	
APPLICATION RATE – 100 LBS PER ACRE		
SEED MIX SHALL BE INOCULATED WITHIN 24 – HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULATION FOR EACH SEED VARIETY. ALTERNATE SEED TYPES DUE TO SITE SPECIFIC CONDITIONS AND SOILS ARE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.		
4. IN TOPSOIL SEEDING AREAS, THE CONTRACTOR WILL LIME AND FERTILIZE AS REQUIRED TO COMPLIMENT OR UPGRADE SOIL CONDITIONS.		
5. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY PERMANENT VEGETATIVE COVER AREAS THAT DO NOT DEVELOP OR WHICH ERODE WITHIN A ONE (1) YEAR PERIOD.		

EROSION CONTROL, SOIL STABILIZATION AND SEDIMENT CONTROL PLAN

- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING, DEMOLITION OR EARTHWORK ACTIVITY, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE PLANS ARE TO BE INSTALLED BY THE CONTRACTOR.
- CONSTRUCTION ACCESS STABILIZATION ENTRANCE PADS ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE GRUBBING OR EARTHWORK ACTIVITY.
- EXISTING CATCH BASINS ARE TO BE PROTECTED WITH STRAW BALES AND/OR SILT SACS PRIOR TO THE START OF SITE GRUBBING, EARTHWORK OR UNDERGROUND UTILITY AND DRAINAGE INFRASTRUCTURE INSTALLATION TO SERVE THE DEVELOPMENT SITE.
- THE PROJECT CONSTRUCTION SEQUENCE, TO THE EXTENT PRACTICAL, SHOULD REQUIRE THE INSTALLATION OF DOWN GRADE AND OFF SITE STORM DRAINAGE SYSTEM IMPROVEMENTS BEFORE THE START OF SITE GRUBBING AND EARTHWORK ACTIVITY.
- TEMPORARY SITE SLOPE TREATMENTS FOR SOIL STABILIZATION SHALL CONSIST OF STRAW, FIBER MULCH, RIP RAP OR PROTECTIVE COVERS SUCH AS MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, AND EXCELSIOR OR EQUAL PRODUCTS). THESE AND OTHER ACCEPTABLE MEASURES SHALL BE INCORPORATED INTO THE SITE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- CONSTRUCTION SITES ARE DYNAMIC, THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND OR MOVEMENT AND MAINTENANCE OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL MEASURES AS NEEDED TO MAXIMIZE THE INTENT OF THE PLAN FOR ALL SITE CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION, MAINTENANCE, REPAIR, AND REPLACEMENT OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL DEVICES UNTIL AN ACCEPTABLE PERMANENT VEGETATIVE GROWTH IS ESTABLISHED. THE CONTRACTOR SHALL MAINTAIN A DETAIL LOG OF ALL EROSION CONTROL INSPECTIONS, COMPLAINTS RELATED TO EROSION OR SEDIMENT, AND CORRECTIVE REMEDIAL MEASURES TAKEN THROUGHOUT THE COURSE OF THE PROJECT CONSTRUCTION.
- SOIL EROSION AND SEDIMENT CONTROL IS NOT LIMITED TO DAMAGES CAUSED BY WATER BUT ALSO INCLUDES EROSION AND SEDIMENT RESULTING FROM WINDS. MEASURES, SUCH AS TEMPORARY GROUND COVERS, WATER AND CALCIUM APPLICATIONS ARE TO BE UNDERTAKEN AS NEEDED TO MINIMIZE WIND RELATED SOIL AND DUST CONTROL.
- STOCK PILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. STOCK PILES SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%). STOCK PILES SHALL BE SURROUNDED ON THE DOWN GRADIENT OF THE EXISTING GROUND SURFACE BY HAY BALES OR SILT FENCE. THE STOCK PILES SHALL ALSO BE SEEDDED OR STABILIZED IN SOME MANOR TO PREVENT SOIL EROSION.
- THE SMALLEST POSSIBLE SITE AREAS SHALL BE DISTURBED OR EXPOSED AT ONE TIME AND DENUDED SLOPES OR WORK AREAS SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS INACTIVE PERIODS OR SITE WORK SHUT DOWNS.
- TO THE EXTENT POSSIBLE, ALL DISTURBED AREAS MUST BE SEEDDED OR STABILIZED WITHIN THE CONSTRUCTION SEASON. STABILIZATION OF ONE FORM OR ANOTHER SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- EXPOSED STEEP OR LONG SLOPES SHOULD BE TREATED WITH "CRIMPING" OR "TRACKING" TO REDUCE EROSION AND SEDIMENT AND TO TACK DOWN SEEDING OR MULCH APPLICATIONS.
- IF CONCRETE IS TO BE USED ON SITE, THE CONTRACTOR MUST ESTABLISH AND MAINTAIN SPECIFIC WASHOUT AREAS FOR THE CONCRETE TRUCKS WITH APPROPRIATE PROTECTION CONTROLS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON-SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THIS MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.
- EXISTING TREES AND VEGETATION WILL BE RETAINED WHENEVER FEASIBLE.
- SITE SOIL EROSION AND SOIL STABILIZATION AND SEDIMENT CONTROLS MUST CONFORM TO ALL REQUIREMENTS OF THE APPLICABLE LOCAL COMMUNITY ORDINANCES AND STATE REGULATIONS.



TRANSVERSE PAVEMENT CUT AND MATCH
DETAIL PER RIDEM 47.1.1

ORDER OF PROCEDURE:

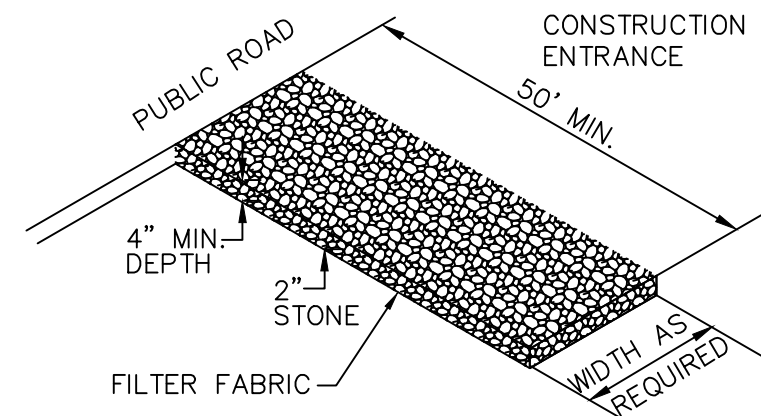
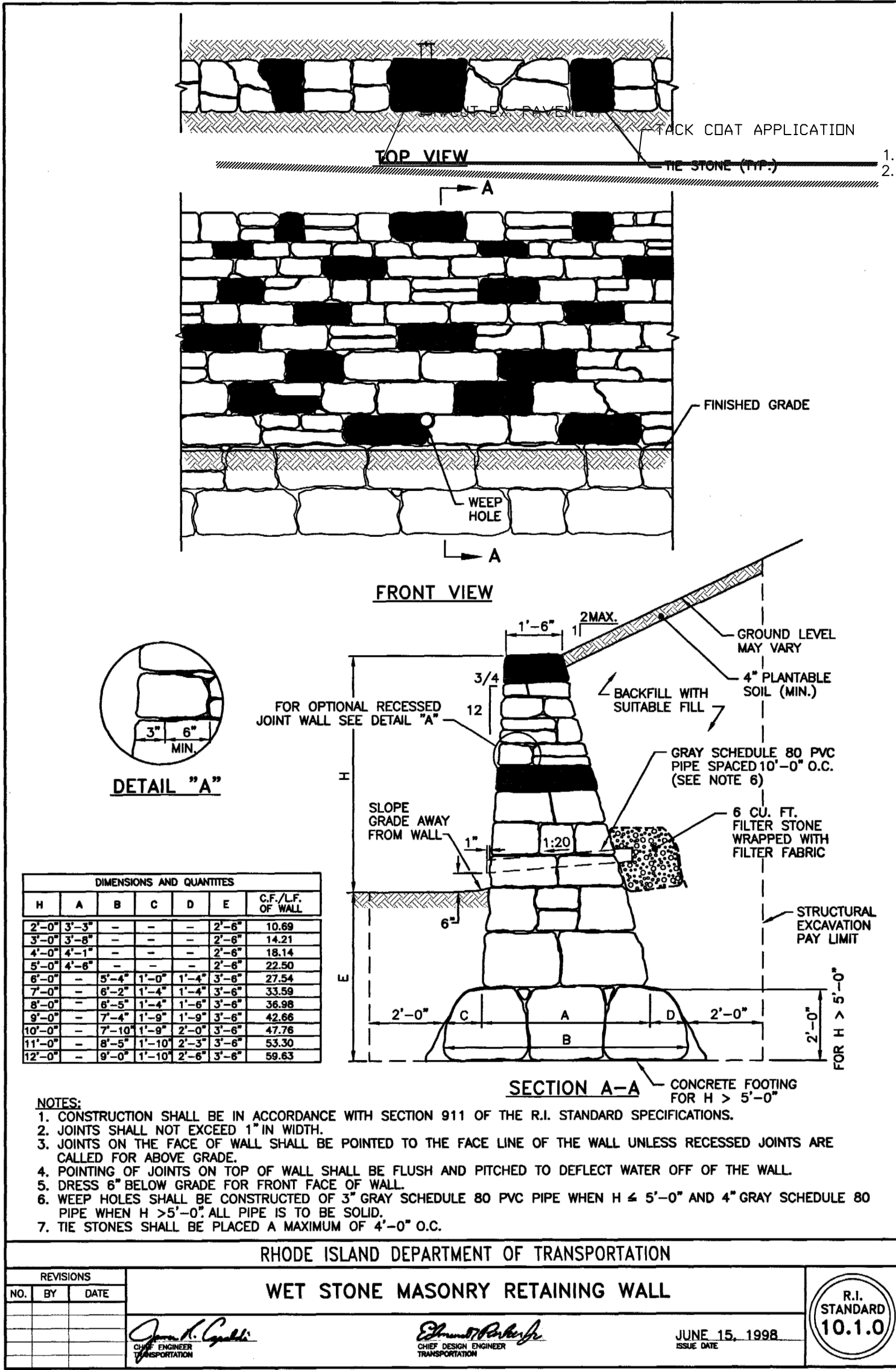
PRIOR TO ANY CLEARING AND GRUBBING OR ANY ROUGH GRADING, TEMPORARY STRAW BALES AND SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION AS PER THE PLANS (I.E. ALONG ROADWAYS, STREAM BANKS, CRITICAL AREAS, ETC.). ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL. TEMPORARY STRAW BALES AND SANDBAGS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED. STRAW BALES LOCATED AT DRAINAGE OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

SEDIMENTATION CONTROL PROGRAM:

RIP RAP SPLASH PADS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS DISCHARGING INTO A WATERWAY. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL ENTERING THE WETLANDS. ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL BE SEEDDED AND PROTECTED WITH A FIBER MULCH. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL. CARE SHOULD BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW. ADDITIONAL STRAW BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE AND DETENTION FACILITIES AS SCHEDULED FOR EACH FACILITY (SEE DETENTION BASIN MAINTENANCE, THIS SHEET).

GENERAL NOTES:

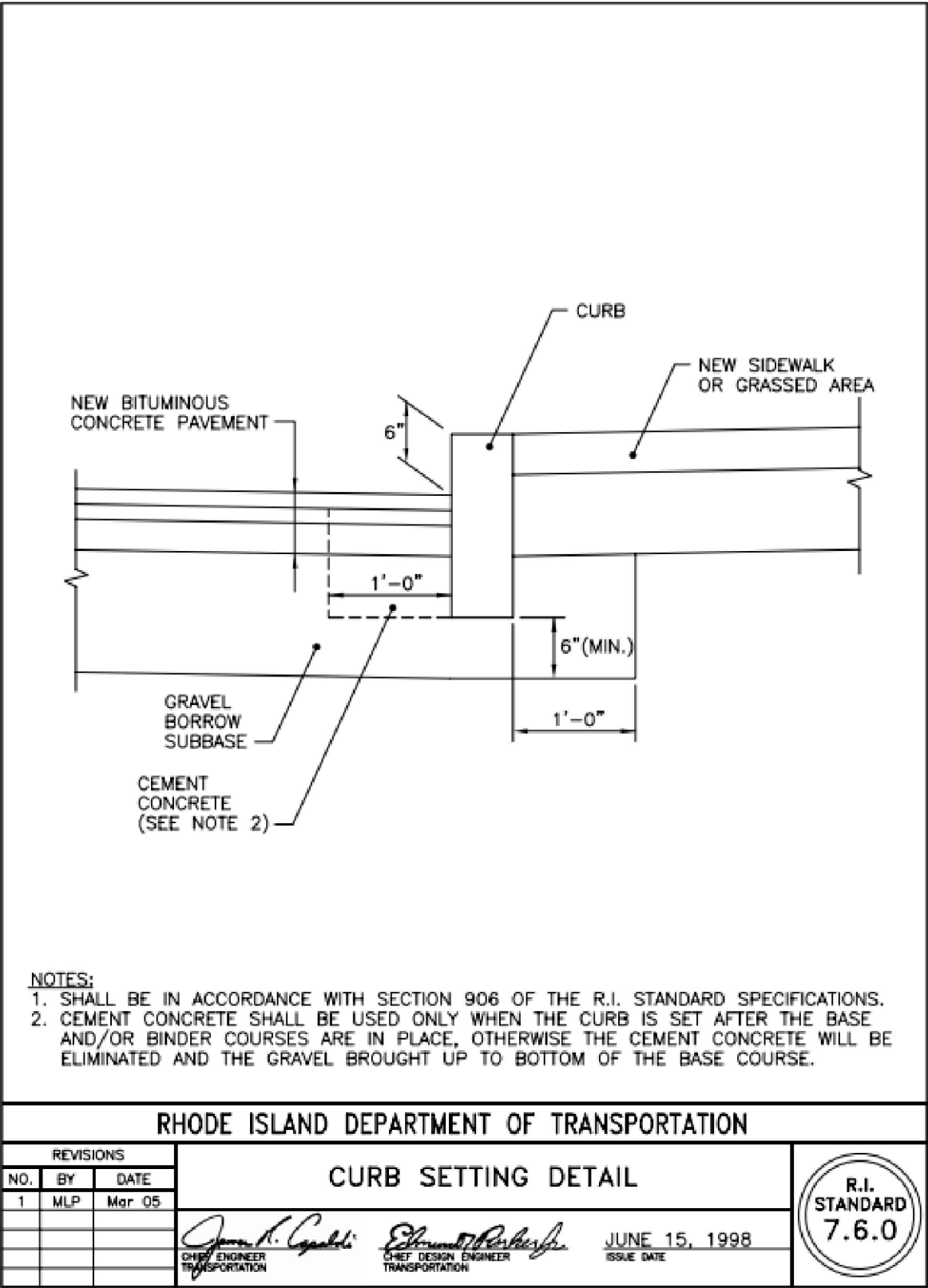
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH ANY APPLICABLE LOCAL, STATE AND FEDERAL LAWS GOVERNING HIS INTENDED ACTIVITIES. OSHA REGULATIONS ARE APPLICABLE OF PROJECT-SITE CONSTRUCTION ACTIVITIES.
- ALL CONSTRUCTION WILL BE UNDERTAKEN IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE TOWN OF BRISTOL.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.
- IF THE MUNICIPALITY REQUIRES A PROJECT PRE-CONSTRUCTION CONFERENCE, THE PROJECT DEVELOPER AND THE PROJECT CONTRACTOR WILL ATTEND AND WILL PROVIDE ALL REQUESTED MATERIALS PRIOR TO COMMENCING ANY WORK.
- IF CEMENT CONCRETE MIX TRUCKS ARE TO BE WASHED OUT ON SITE, THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING A WASH OUT AREA WITH APPROPRIATE PROTECTION CONTROLS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON-SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THIS MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.



MATERIALS SIZE			
SQUARE MESH SIEVES	2\"/>	ASTM C-33 NO. 2	ASTM C-33 NO. 3
	% FINER	% FINER	% FINER
2-1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1-1/2 INCHES	30-55	0-15	35-70
1-1/4 INCHES	0-25	-	-
1 INCH	0-5	-	0-15
3/4 INCH	-	0-5	-
1/2 INCH	-	-	0-5
3/8 INCH	-	-	-

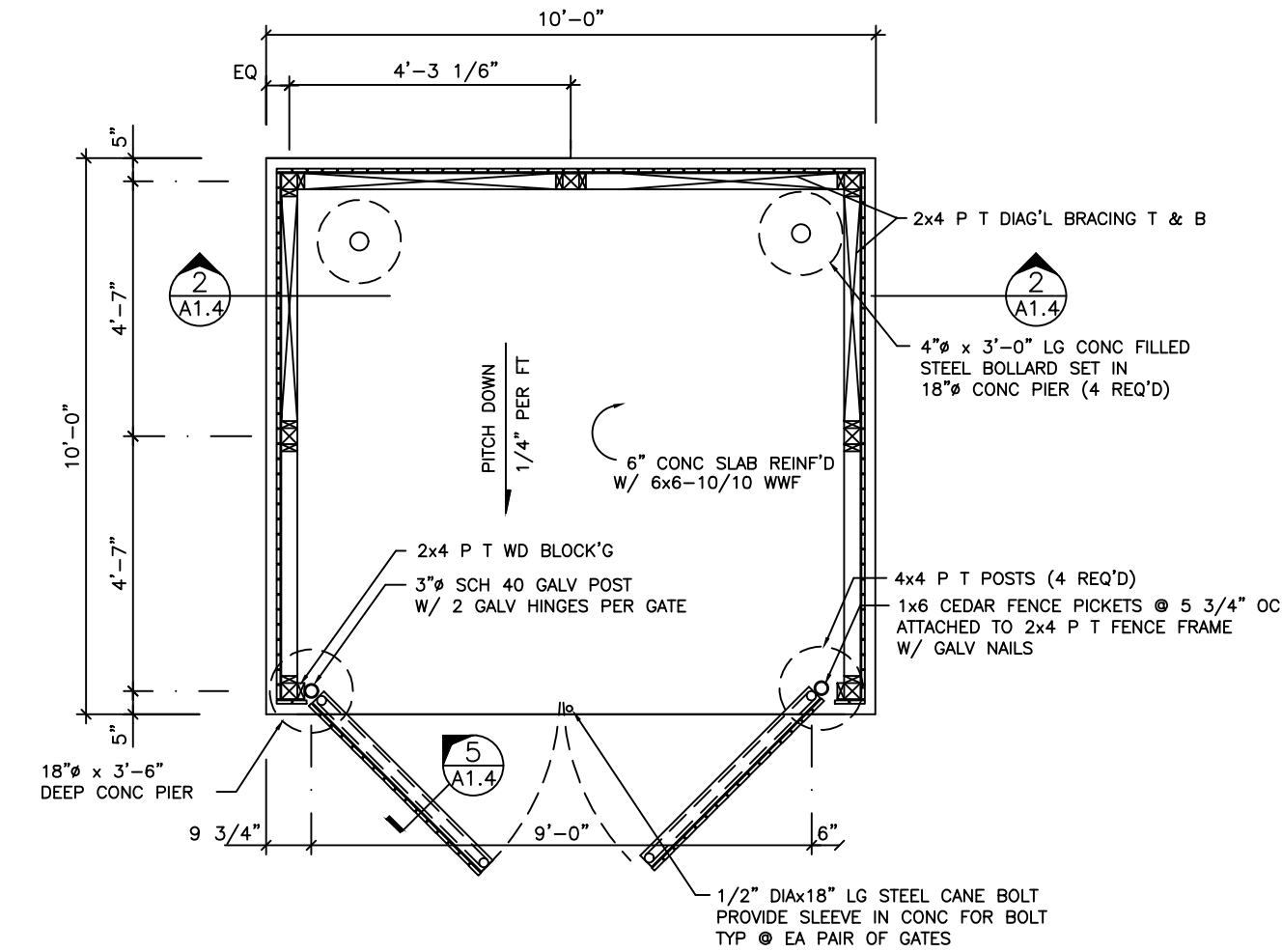
NOTE: STABILIZATION PAD TO BE IN CONFORMANCE WITH STANDARDS SET FORTH IN THE "RHODE ISLAND" GUIDELINES FOR SOIL & SEDIMENT CONTROL".

RIP-RAP STABILIZATION PAD @
CONSTRUCTION ENTRANCE
NOT TO SCALE

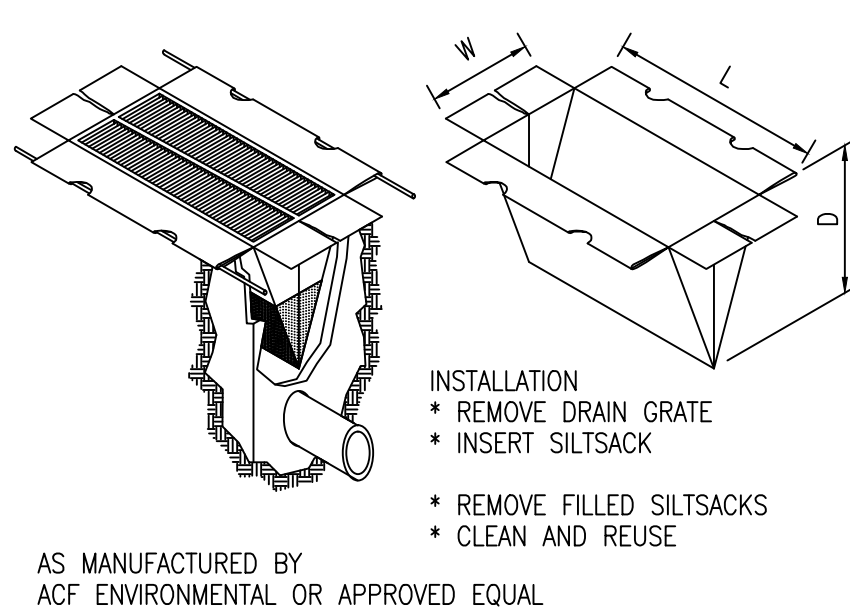


PLANNING BOARD SIGNATURE

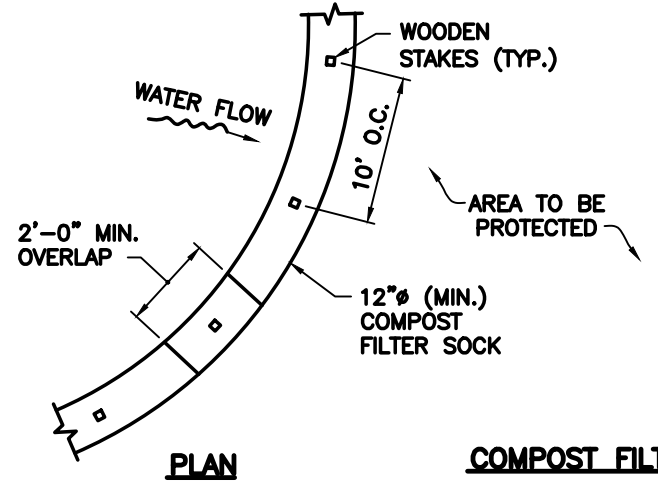
BY: _____ DATE: _____



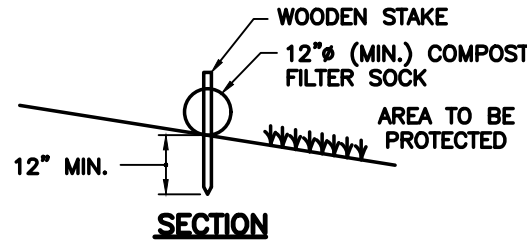
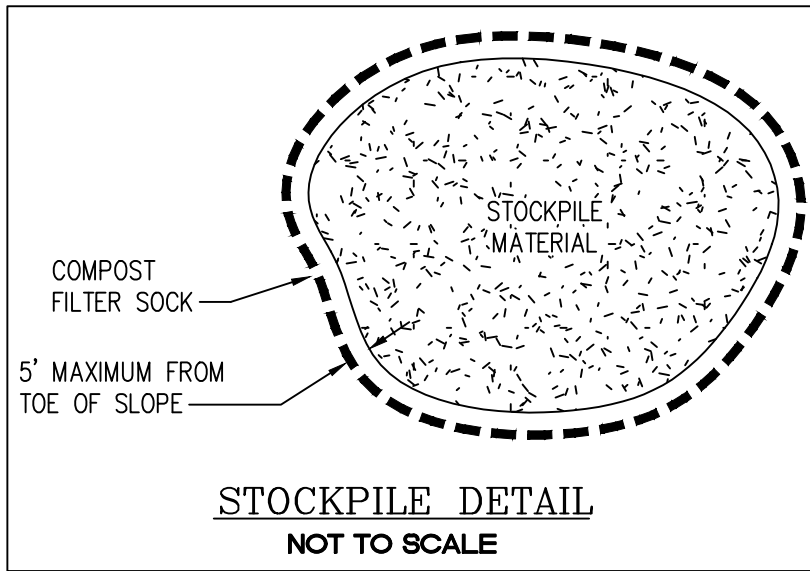
1 TRASH ENCLOSURE PLAN
A1.2



SILTSACK DETAIL
NOT TO SCALE



COMPOST FILTER SOCK
PERIMETER EROSION CONTROLS
NOT TO SCALE



- NOTES:
- ALL MATERIAL TO MEET REQUIREMENTS OF SECTION 206 OF RI STANDARD SPECIFICATIONS.
 - COMPOST MATERIAL MUST BE ACCEPTED BY THE ENGINEER PRIOR TO PLACEMENT.

DRAWING ISSUE:

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 - ☐ CONSTRUCTION
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 - ☐ OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

DETAILS-1

Thomas J. Principe, III

REGISTERED
PROFESSIONAL ENGINEER

REVISIONS

No.	DATE	DRWN	CHKD
1.	04/21/25	KAB	TJP
2.	8/8/25	KAB	TJP

PRINCIPLE COMPANY, INC.
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SCALE: AS NOTED	SHEET NO: 9 of 14	
DRAWN BY: KAB	DESIGN BY: KAB	CHECKED BY: TJP
DATE: 03/27/2025	PROJECT NO.: LD-2021-35	

INFILTRATION BASIN NOTES:

- 1) DURING CONSTRUCTION HEAVY EQUIPMENT SHALL NOT TRAVERSE THE INFILTRATION AREA IN ORDER TO PREVENT DETRIMENTAL COMPACTION.
- 2) SHOP DRAWING SUBMITTAL AND APPROVAL BY DESIGN ENGINEER REQUIRED FOR INFILTRATION BASIN PRIOR TO CONSTRUCTION.

BASIN TO BE LINED WITH A 6" BOTTOM LAYER AND 6" SIDE LAYERS OF LOAM & SEED AROUND ENTIRE BASIN LIMIT.

INFILTRATION BASIN CROSS SECTION DETAIL

GRASS IN INFILTRATION BASIN TO BE MAINTAINED A MINIMUM OF 4" MOWED HEIGHT

BOTTOM BASIN ELE=124.00'

SHGWT ELE=120.00'

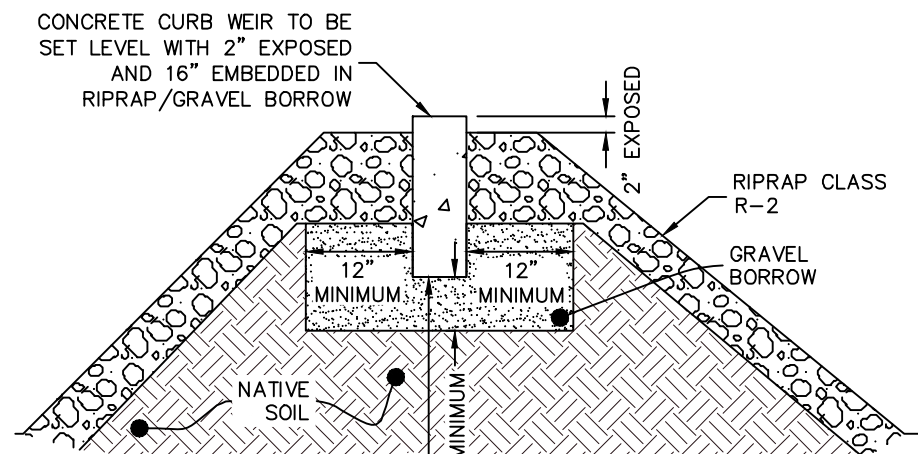
SPILLWAY ELEVATION=125.53

RIP-RAP TABLE

BASIN INLET SWALES
BASIN SPILLWAYS

STONE	BEDDING
STONE / DEPTH	SIZE / DEPTH
M02.02.4 / 12"	1"STONE / 4"
M02.02.4 / 12"	1"STONE / 4"

M02.02.4 = 8" - 95 / 100%,
4" - 0 / 25%,
2 1/2" - 0 / 5%



CONCRETE CURB TO BE SET ON GRAVEL BORROW SUBBASE IN ACCORDANCE WITH RHODE ISLAND STATE STANDARD SPECIFICATIONS. GRAVEL BORROW TO EXTEND MINIMUM 6" BELOW EXISTING TOP/SUBSOIL. ALL BACKFILL SHALL BE FREE FROM ORGANIC MATERIALS. ALL MATERIAL PLACED BELOW CURBING SHALL BE COMPACTED TO 95% DENSITY.

Curb Outlet Weir Cross Section

Rhode Island Stormwater Design and Installation Standards Manual

Amended March 2015

Figure F-2 Typical Parking Area Cross-Section for Pervious Pavement System

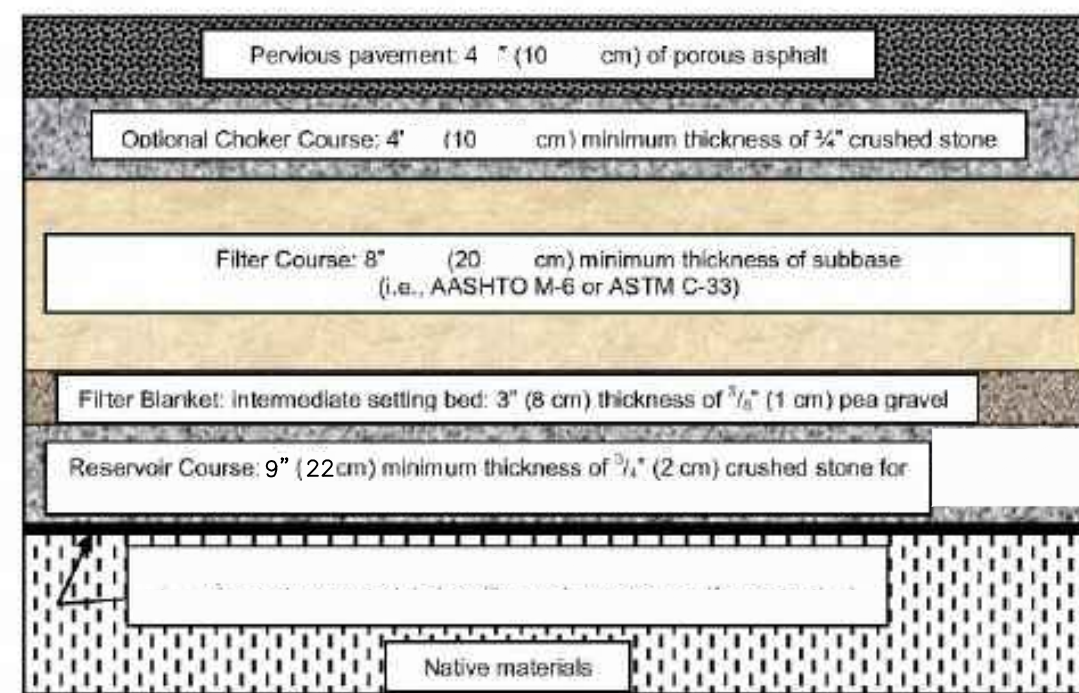


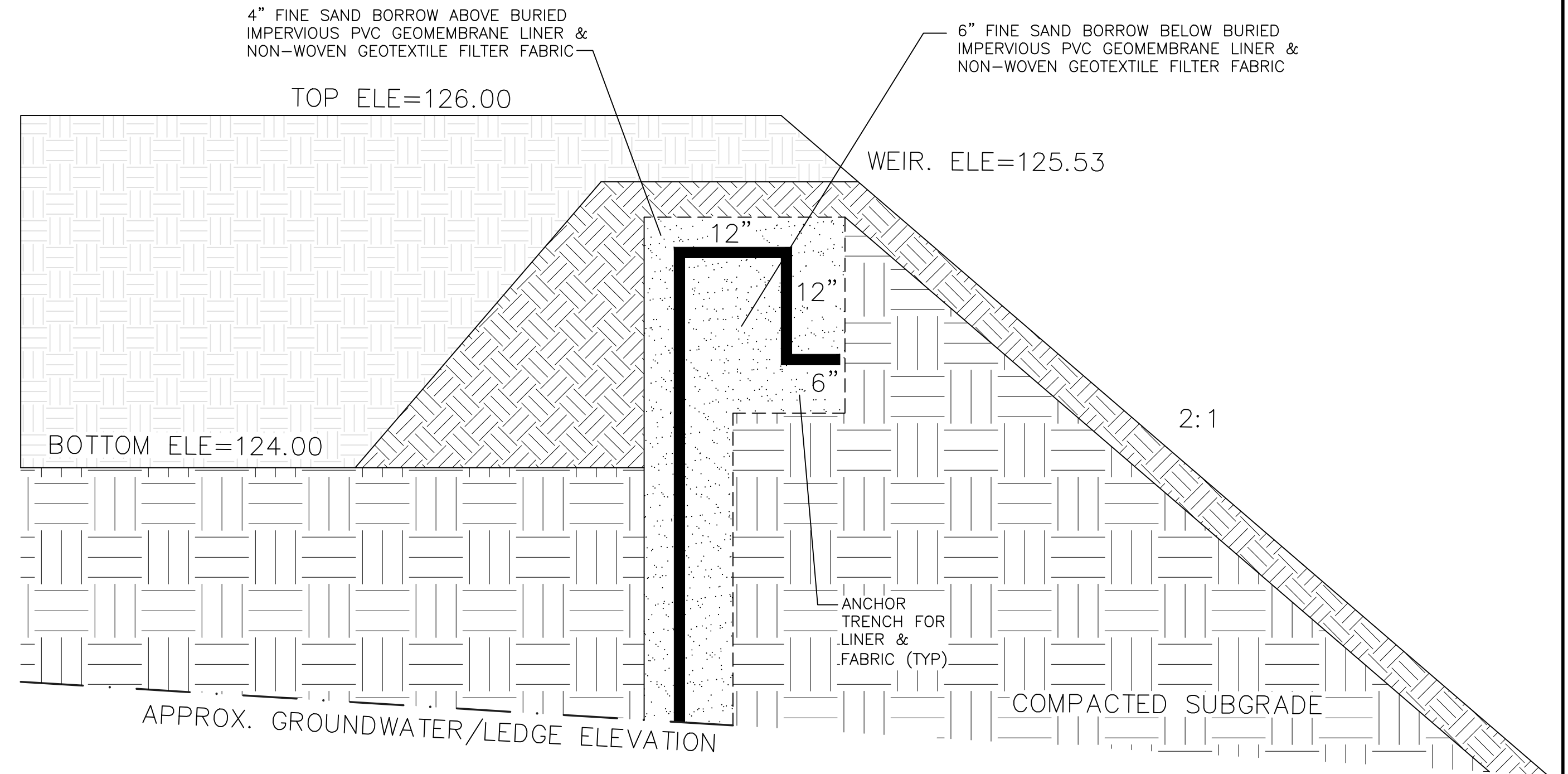
Table F-7 Gradations and compaction of choker, filter, and reservoir course materials.

US Standard Sieve Size (inches/mm)	Percent Passing (%)			
	Choker Course (AASHTO No. 57)	Filter Course (AASHTO No. M-6)	Reservoir Course (AASHTO No. 3)	Reservoir Course Alternative* (AASHTO No. 5)
6/150	-	-	-	-
2 1/2/63	-	-	100	-
2/50	-	-	90 - 100	-
1 1/2/37.5	100	-	35 - 70	100
1/25	95 - 100	-	0 - 15	90 - 100
3/4/19	-	-	-	20 - 55
1/2/12.5	25 - 60	-	0 - 5	0 - 10
3/8/9.5	-	100	-	0 - 5
#4/4.75	0 - 10	70-100	-	-
#8/2.36	0 - 5	-	-	-
#200/0.075	-	0 - 6**	-	-
% Compaction ASTM D698 / AASHTO T99	95	95	95	95

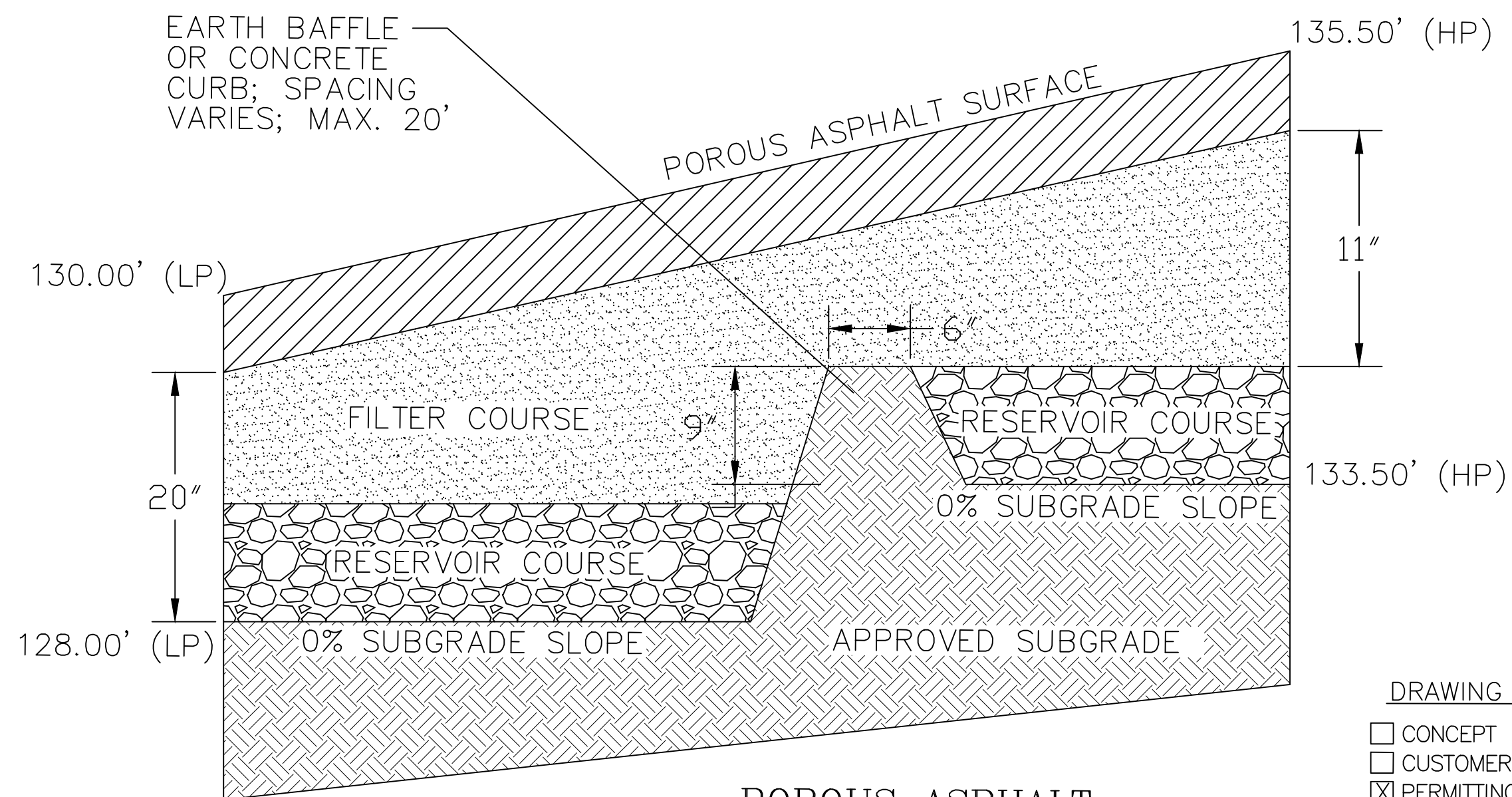
* Alternate gradations (e.g. AASHTO No. 5) may be accepted upon Engineer's approval.
** Preferably less than 4% fines

APPENDIX F: GUIDANCE ON BMP CONSTRUCTION SPECIFICATIONS

F-42



IMPERVIOUS LINER DETAIL
(DOWNSLOPE OF INFILTRATION BASIN ONLY)



POROUS ASPHALT
STEPPED RESERVOIR DETAIL

DRAWING ISSUE:

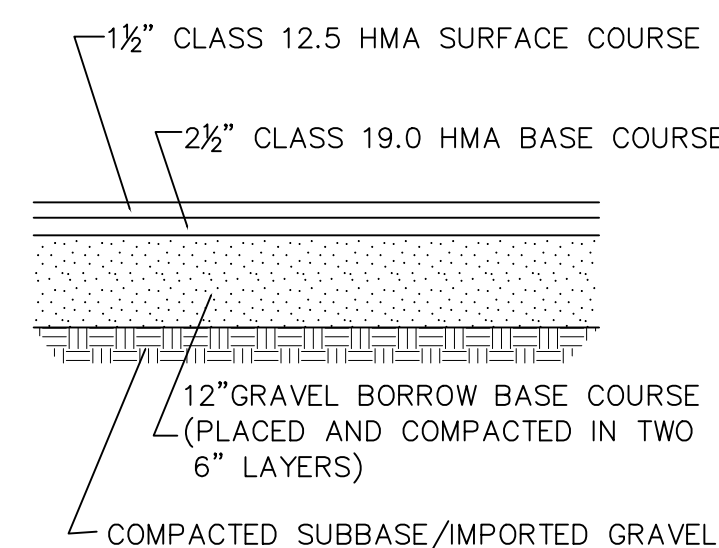
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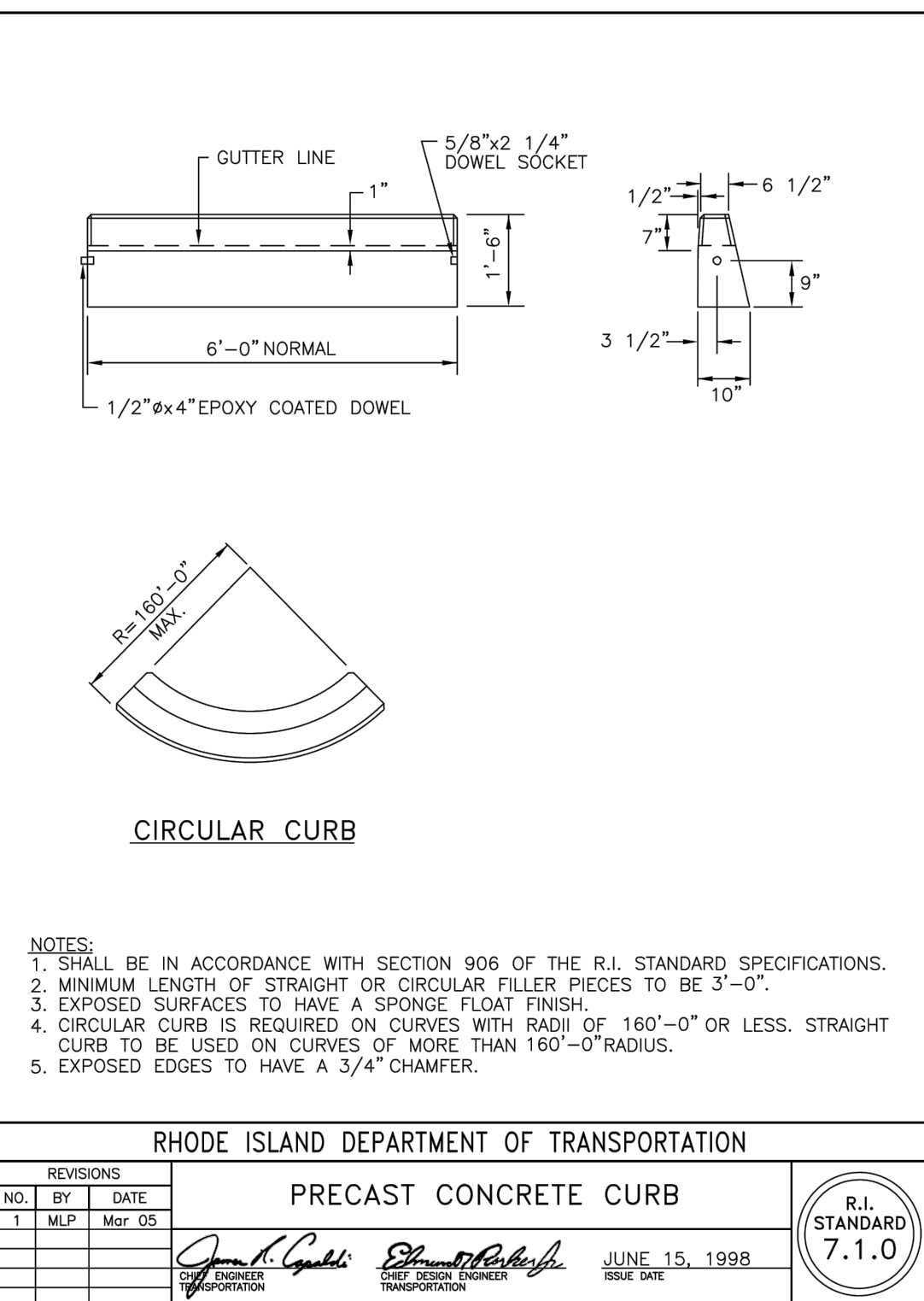
DETAILS-2

PLANNING BOARD SIGNATURE

BY: _____ DATE: _____



SITE PAVEMENT TYPICAL CROSS SECTION

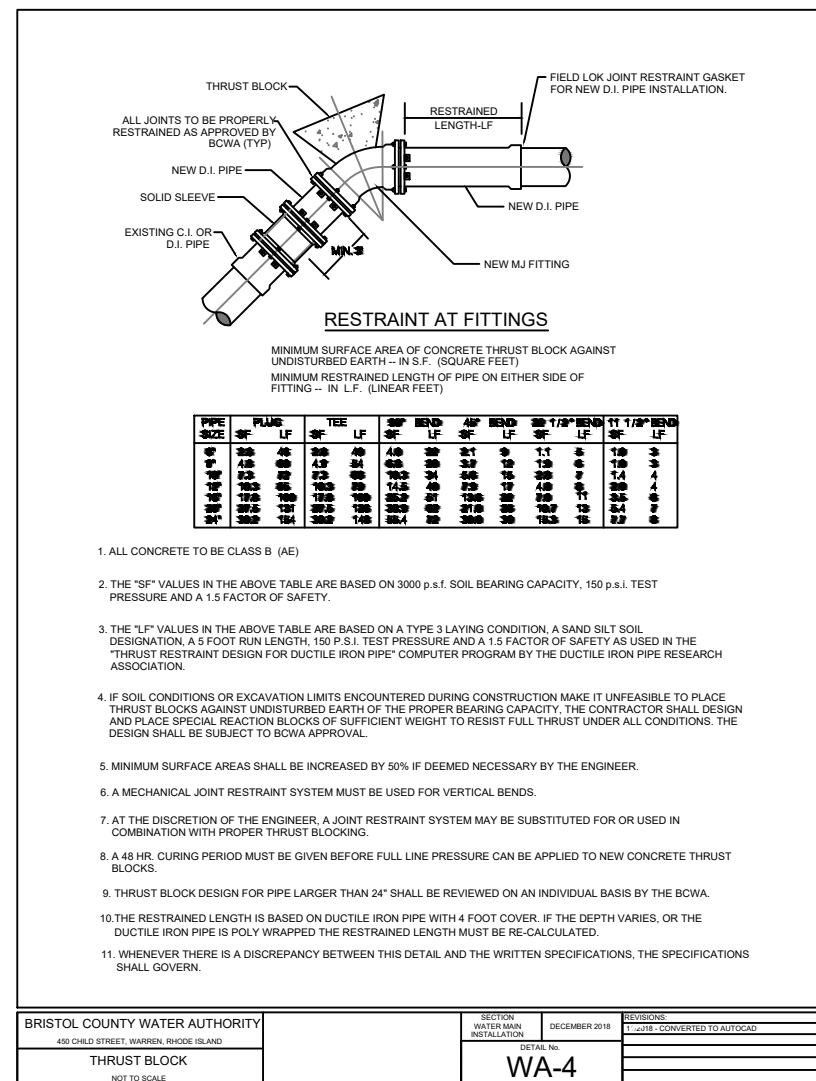
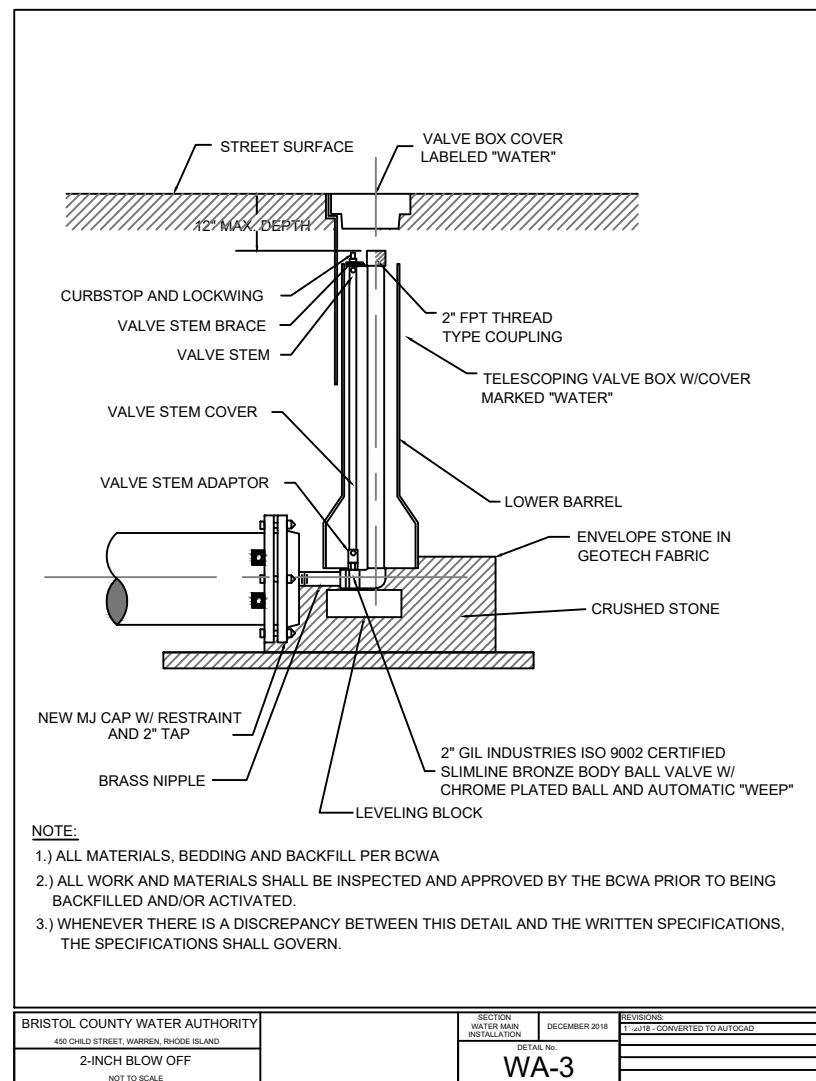
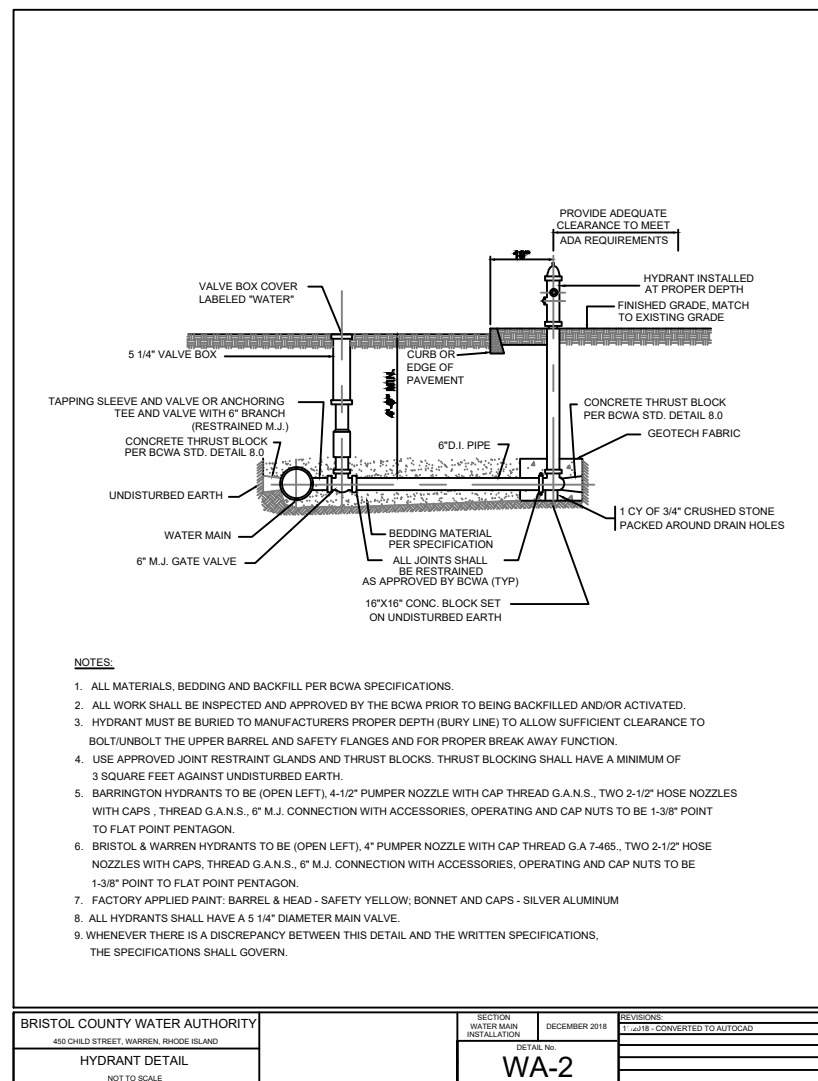
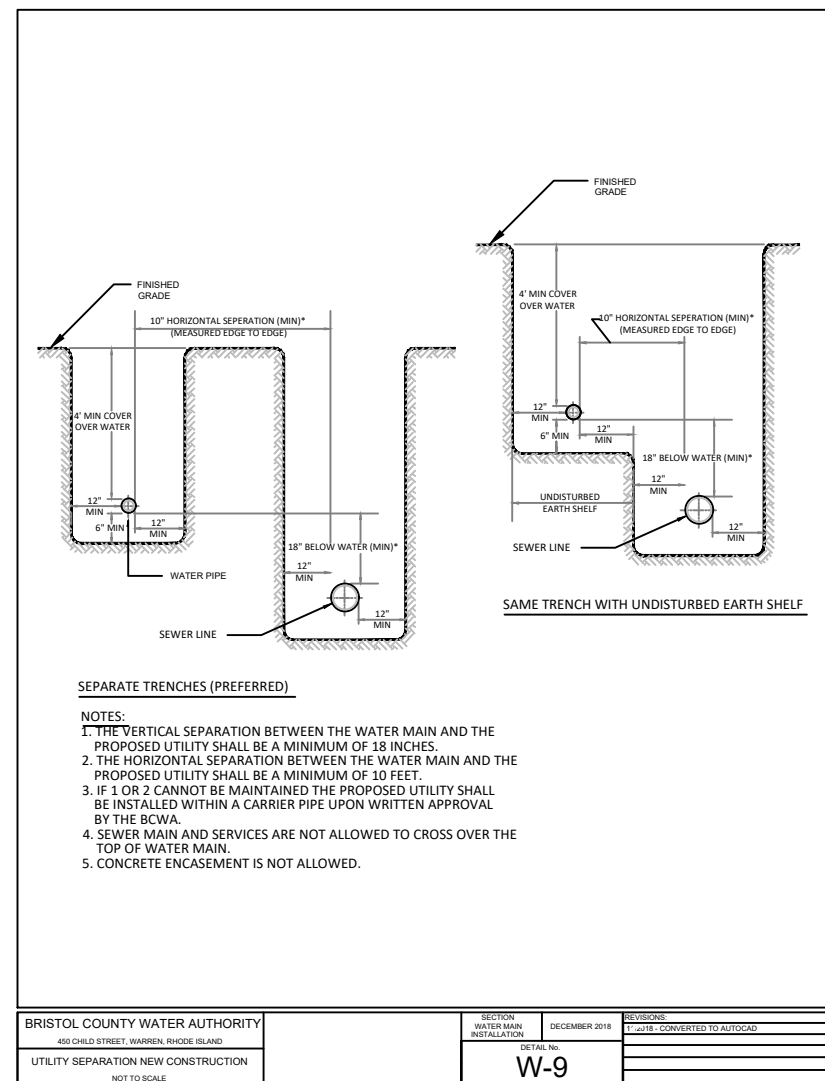
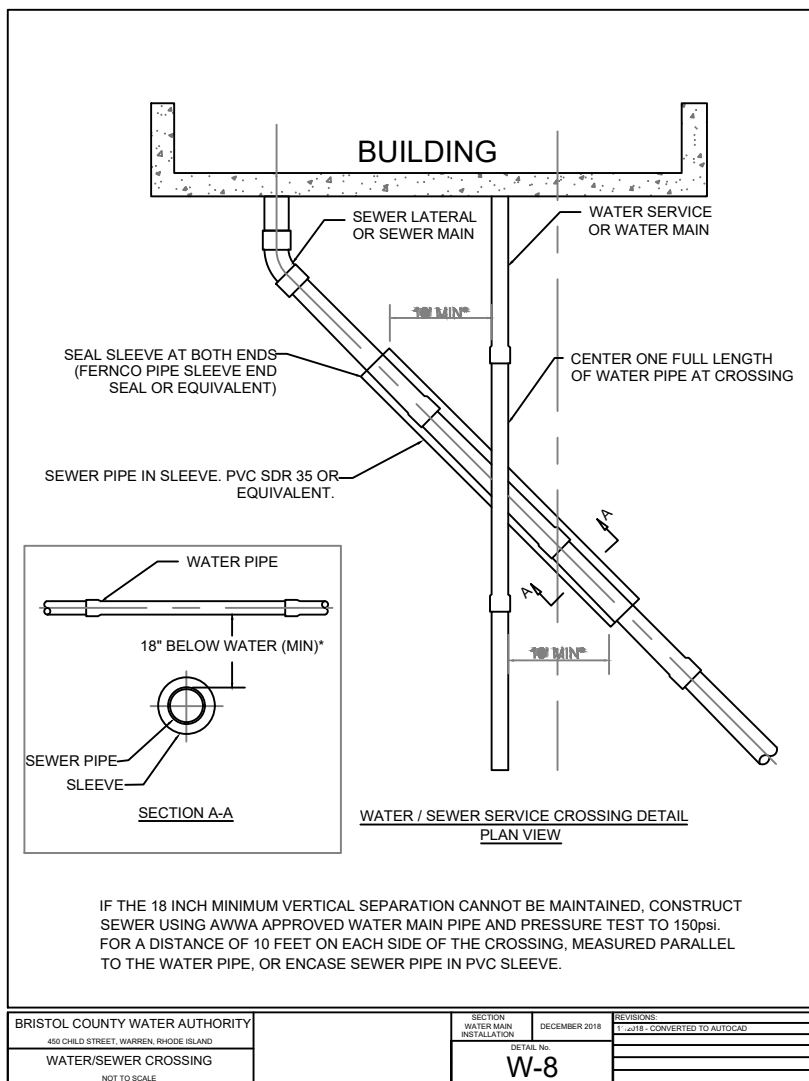
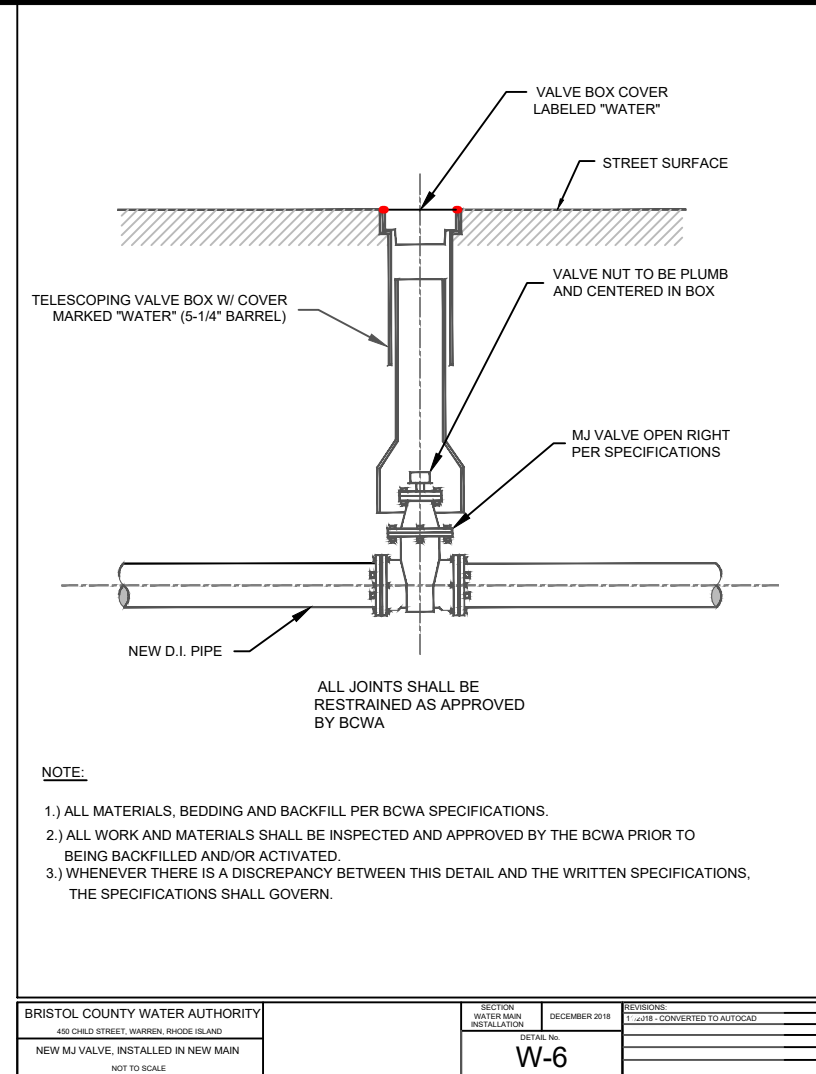
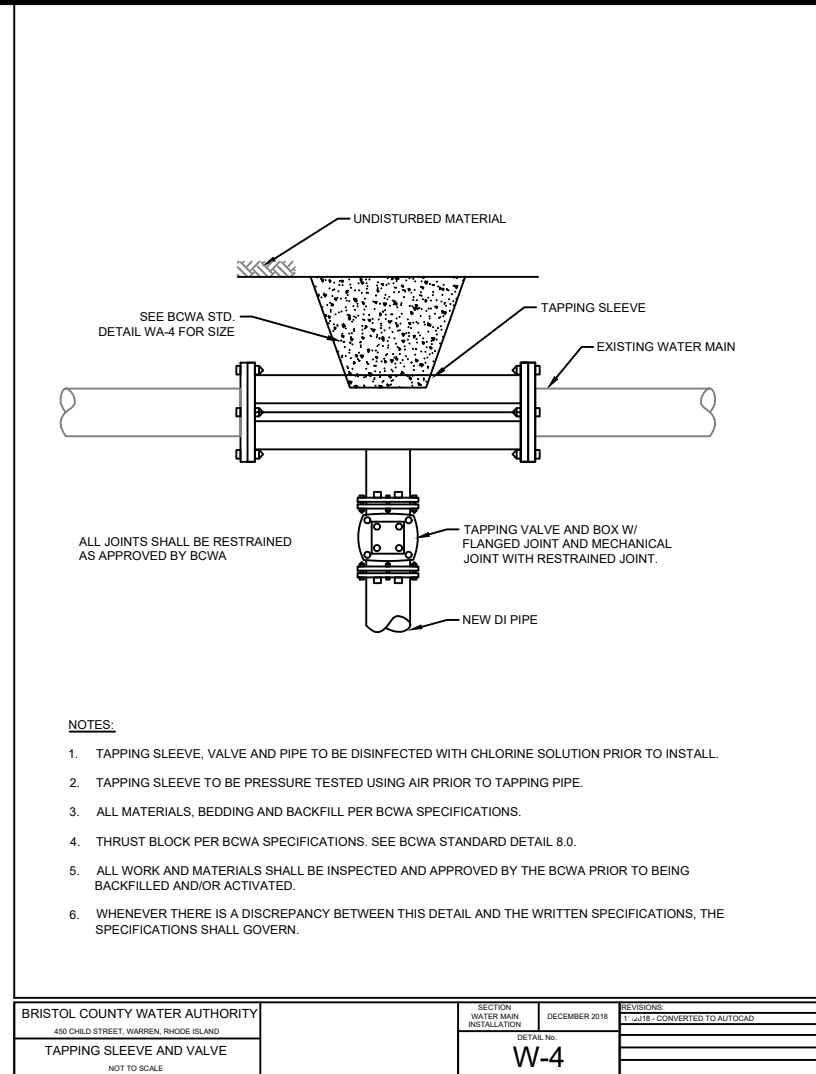
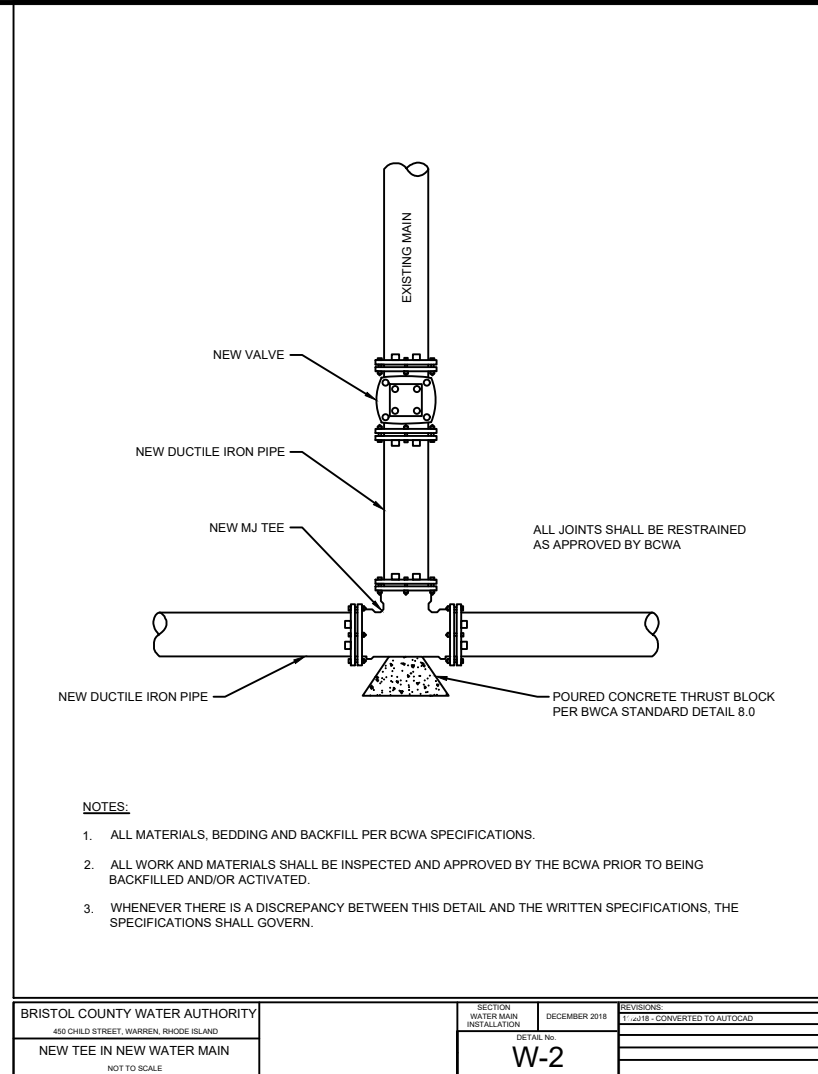
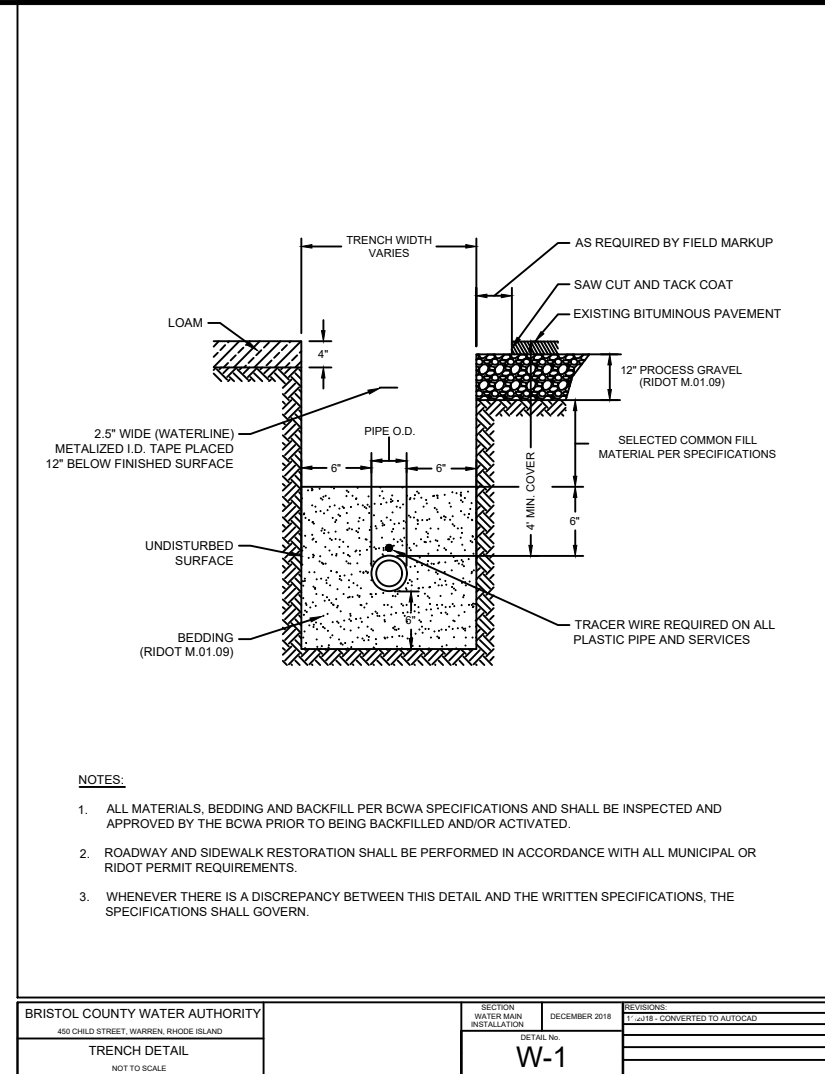
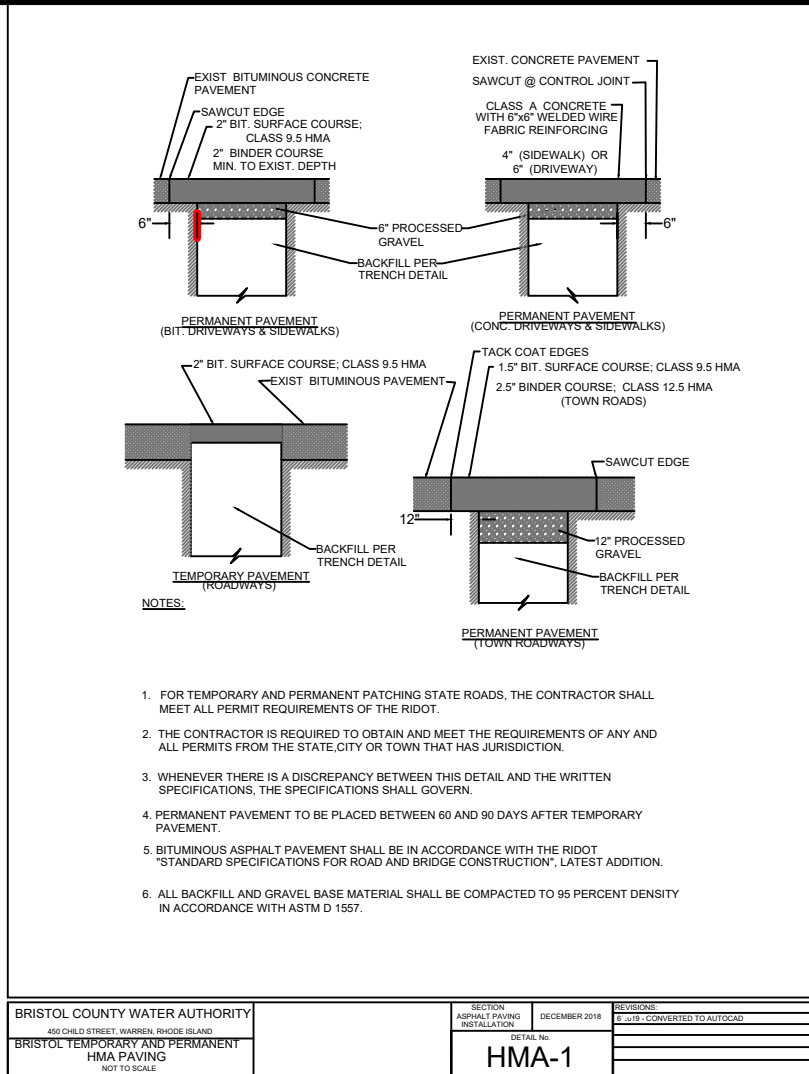


- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CURVILINEAR PIECES TO BE 3'-0".
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION	
PRECAST CONCRETE CURB	
REVISIONS	R.I. STANDARD 7.1.0
NO.	DATE
1	MLP Mar 05
JUNE 15, 1998	

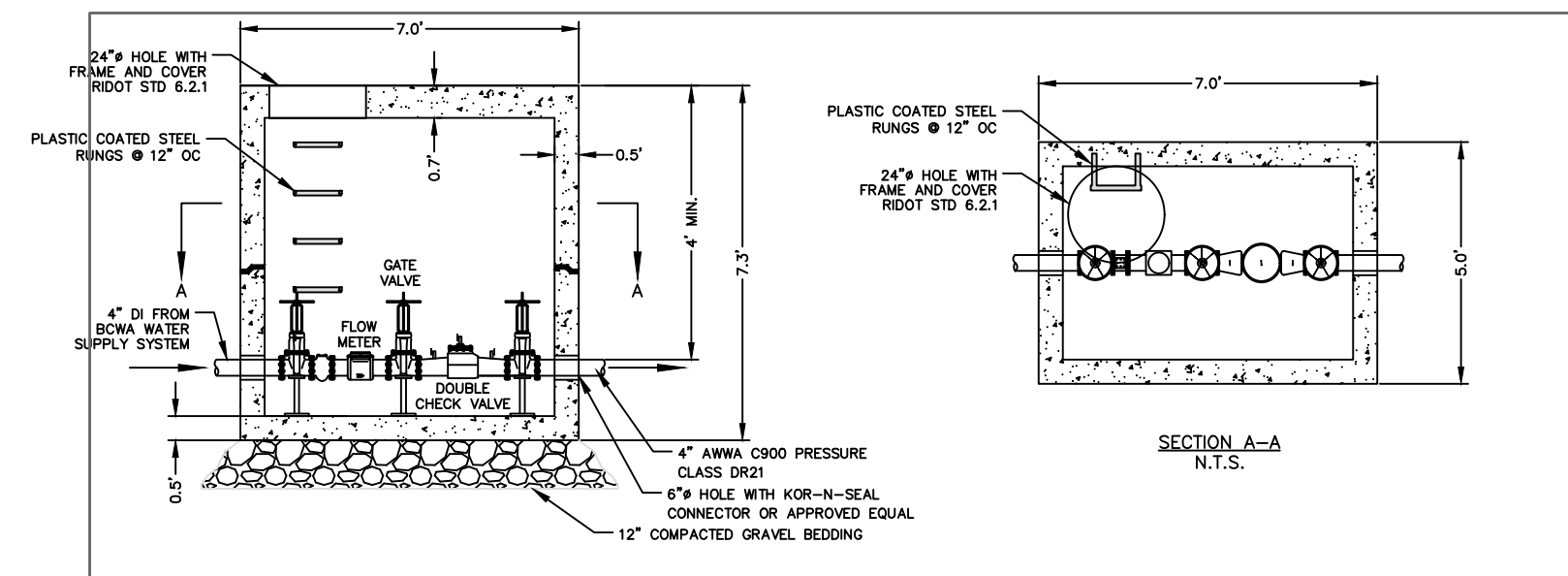
GENERAL NOTES – WATER:

- 1) CONTRACTOR SHALL OBTAIN A ROAD OPENING PERMIT FROM THE TOWN OF BRISTOL PRIOR TO THE START OF WORK WITHIN THE RIGHT OF WAY.
- 2) CONTRACTOR SHALL PROVIDE PRODUCT SUBMITTALS TO THE BCWA.
- 3) CONTRACTOR MUST MAINTAIN INSURANCE COVERAGE AS REQUIRED BY THE BCW FOR THE LIFE OF THE PROJECT AND PROVIDE THE BCWA WITH THE CERTIFICATE OF INSURANCE.
- 4) CONTRACTOR SHALL FURNISH THE BCWA WITH A SITE IMPROVEMENT BOND IN THE AMOUNT EQUAL TO THE COST OF THE WORK.
- 5) AT ALL POINTS OF CONNECTION OF NEW WATER MAINS TO EXISTING MAINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATING AND VERIFYING LOCATION OF THE EXISTING LINES PRIOR TO ANY CONSTRUCTION.
- 6) A TEMPORARY BYPASS SYSTEM SHALL BE INSTALLED AND THE PROPERTIES CURRENTLY SERVICED BY THE EXISTING 2" WATER MAIN SHALL BE CONNECTED UNTIL THE NEW 8" WATER SYSTEM IS RELAYED.
- 7) EXCEPT IN CASE OF AN EMERGENCY, VALVES ON THE BRISTOL COUNTY WATER AUTHORITY (BCWA) WATER SYSTEM SHALL BE OPERATED BY OR UNDER THE DIRECTION OF THE APPROPRIATE PERSONNEL. THE CONTRACTOR SHALL GIVE THE BCWA STAFF 48 HOURS NOTICE TO ARRANGE FOR OPERATING VALVES. BOTH THE CONTRACTOR AND THE APPROPRIATE BCWA PERSONNEL SHALL BE PRESENT WHEN THE VALVES ARE OPERATED.
- 8) WATER AND SANITARY SEWER LINES SHALL HAVE A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET. WHEN A TEN (10) FOOT SEPARATION IS NOT PROVIDED OR WHEN SEWER LINES CROSS WATER LINES WITH LESS THAN 18 INCHES OF VERTICAL SEPARATION, SEWER LINE JOINTS SHALL BE CONCRETE ENCASED. FOR PERPENDICULAR CROSSINGS, ENCASED JOINTS SHALL EXTEND TEN (10) FEET, PERPENDICULAR TO THE WATER LINE IN BOTH DIRECTIONS.
- 9) ALL WATER LINES SHALL HAVE A MINIMUM OF FORTYEIGHT (48) INCHES OF COVER AND BE LOCATED A MINIMUM OF TEN (10) FEET FROM THE SANITARY SEWER.
- 10) CHANGES IN DIRECTION OF WATERLINE PIPE SHALL REQUIRE BENDS IN ALL INSTANCES. AXIAL DEFLECTION AT THE JOINTS SHALL NOT BE ALLOWED.
- 11) DISTANCES FOR WATER LINES ARE THE HORIZONTAL DISTANCE BETWEEN THE CENTERS OF THE FITTINGS. THEREFORE, DISTANCES SHOWN ON THE PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT AND FITTING DIMENSIONS.
- 12) ALL WATER LINE VALVES SHALL BE SET ADJACENT TO THE TEE, EXCEPT FOR POINTS THAT FALL IN THE FLOW LINE OF A CONCRETE CROSS PAN. IN WHICH CASE, THE VALVE SHALL BE LOCATED SO THAT SURFACE DRAINAGE DOES NOT INFILTRATE THE VALVE BOX. VALVE BOXES SHALL BE SET AT AN ELEVATION IN ACCORDANCE WITH TOWN PAVING REQUIREMENTS.
- 13) FIRE HYDRANT ASSEMBLY INCLUDES THE FIRE HYDRANT, SIX (6) INCH VALVE, AND SIX (6) INCH PIPE. INSTALLATION SHALL BE IN ACCORDANCE WITH THE BCWA STANDARDS AND SPECIFICATIONS.
- 14) ALL FITTINGS SHALL BE MADE FROM DUCTILE IRON, FURNISHED WITH MECHANICAL JOINT ENDS OR INTEGRAL RESTRAINED JOINTS, AND SHALL CONFORM TO BCWA APPROVED MATERIAL LIST.
- 15) MAGNETIC WARNING TAPE SHALL BE INSTALLED 12" MINIMUM AND 18" MAXIMUM ABOVE WATER PIPE.
- 16) BEDDING MATERIAL SHALL CONFORM TO BCWA STANDARDS AND SPECIFICATIONS.
- 17) VALVE BOXES IN NON-PAVED AREAS SHALL HAVE A CONCRETE COLLAR AROUND THE VALVE LID IN ACCORDANCE WITH THE DETAIL.
- 18) CONCRETE THRUST BLOCKS AND/OR "MEGA-LUG" MECHANICAL RESTRAINTS ARE REQUIRED AT ALL MECHANICAL FITTINGS. THRUST BLOCKS MAY NOT BE REQUIRED IF PIPE RESTRAINT IS PROVIDED IN ACCORDANCE WITH RESTRAINED PIPE DETAIL.
- 19) NO WORK SHALL BE BACKFILLED (INCLUDING BEDDING MATERIAL ABOVE THE SPRING LINE OF THE PIPE) UNTIL THE CONSTRUCTION HAS BEEN INSPECTED AND APPROVED FOR BACKFILLING BY BCWA ENGINEERING STAFF.
- 20) ONLY ONE CONNECTION TO THE EXISTING WATER DISTRIBUTION SYSTEM SHALL BE MADE UNTIL ALL HYDROSTATIC TESTING, CHLORINATION AND FLUSHING HAS BEEN COMPLETED.
- 21) DISINFECTION AND HYDROSTATIC TESTING SHALL BE DONE IN THE PRESENCE OF A BCWA ENGINEERING STAFF. CONTACT THE BCWA ENGINEERING DIVISION FORTY- EIGHT (48) HOURS PRIOR TO DISINFECTING AND/OR TESTING.
- 22) DISINFECTION AND FLUSHING SHALL BE DONE IN ACCORDANCE SET FORTH IN AWWA B300 AND C651, "STANDARD FOR DISINFECTING WATER MAINS", LATEST REVISION. DISINFECTION PRODUCT SHALL BE NSF-61 APPROVED FOR CONTACT WITH DRINKING WATER. A CERTIFICATE OF COMPLIANCE SHALL BE PROVIDED TO THE BCWA ANDNSF-61 LABEL SHALL BE AFFIXED TO THE CONTAINER OF CHLORINE. THE CHLORINATION OF THE WATER LINE SHALL BE PERFORMED PRIOR TO THE HYDROSTATIC TESTING. ALL VALVES, FIRE HYDRANTS AND OTHER APPURTANCES SHALL BE OPERATED WHILE PIPELINE IS FILLED WITH THE CHLORINATING AGENT TO ENSURE THAT HIGH CHLORINE CONTACT IS MADE WITH ALL INTERNAL SURFACES.
- 23) TWO TWENTY-FOUR (24) HOUR BACTERIOLOGICAL TESTS, FROM MULTIPLE POINTS TO BE DETERMINED BY THE BCWA ENGINEER, FOR TOTAL COLI-FORM BACTERIA SHALL BE PERFORMED A MINIMUM OF 24 HOURS APART. IF EITHER OF THESE TESTS FAIL, THE LINE SHALL BE RE-CHLORINATED, RE-FLUSHED AND THEN RETESTED. THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR REIMBURSING THE BCWA FOR ALL COSTS ASSOCIATED WITH THE WATER QUALITY TESTING.
- 24) ALL WATER LINES SHALL BE HYDROSTATIC TESTED. PRESSURE AND LEAKAGE TESTS SHALL BE CONDUCTED ACCORDING TO THE APPLICABLE SECTIONS OF AWWA C600/605 TO A MINIMUM PRESSURE OF ONE HUNDRED AND FIFTY (150) POUNDS PER SQUARE (PSI) INCH AT THE LOW POINT OF THE SECTION BEING TESTED FOR THE DURATION OF TWO (2) HOURS. THE MAXIMUM LENGTH OF LINE TO BE TESTED SHALL BE ONE THOUSAND (1,000) FEET. ALL JOINTS IN CONNECTIONS ARE TO BE WATERTIGHT WITHIN TOLERANCES ALLOWED BY THE SPECIFICATIONS IN AWWA C600/605. ANY LEAKAGE THAT IS DISCOVERED BY OBSERVATION OR TESTS SHALL BE LOCATED AND MADE WATERTIGHT BY THE CONTRACTOR. PRESSURE AND LEAKAGE TESTS SHALL NOT BE CONDUCTED UNTIL THE LINE HAS PASSED ALL REQUIRED DISINFECTION TESTS.
- 25) ALL WATER VAULTS SHALL BE WATERTIGHT. CONTRACTOR SHALL SEAL VAULTS TO ENSURE SURFACE WATER DOES NOT INFILTRATE INTO THE VAULTS. VAULT LIDS SHALL BE PLACED TO ENSURE THAT SURFACE WATER DOES NOT FLOW INTO THE VAULTS.



GENERAL NOTES:

1. ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE TOWN ENGINEER. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
2. LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 48 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY, BUT NOT LIMITED TO, THE STATE OF MASSACHUSETTS, THE FEDERAL GOVERNMENT, THE TOWN OF MARION AND ALL INDIVIDUAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
7. ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
9. FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).



PRECAST CONCRETE METER VAULT DETAIL N.T.S.

- NOTES:
1. PRECAST CONCRETE VAULT SHALL CONFORM TO OLD CASTLE PRECAST MP4X6X6 OR APPROVED EQUAL AND BE H-20 RATED.
 2. APPURTENANCES SHALL CONFORM TO BCWA APPROVED MATERIALS LIST.

PLANNING BOARD SIGNATURE

BY: _____ DATE: _____

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

DETAILS--3

Thomas J. Principe, III
REGISTERED
PROFESSIONAL ENGINEER

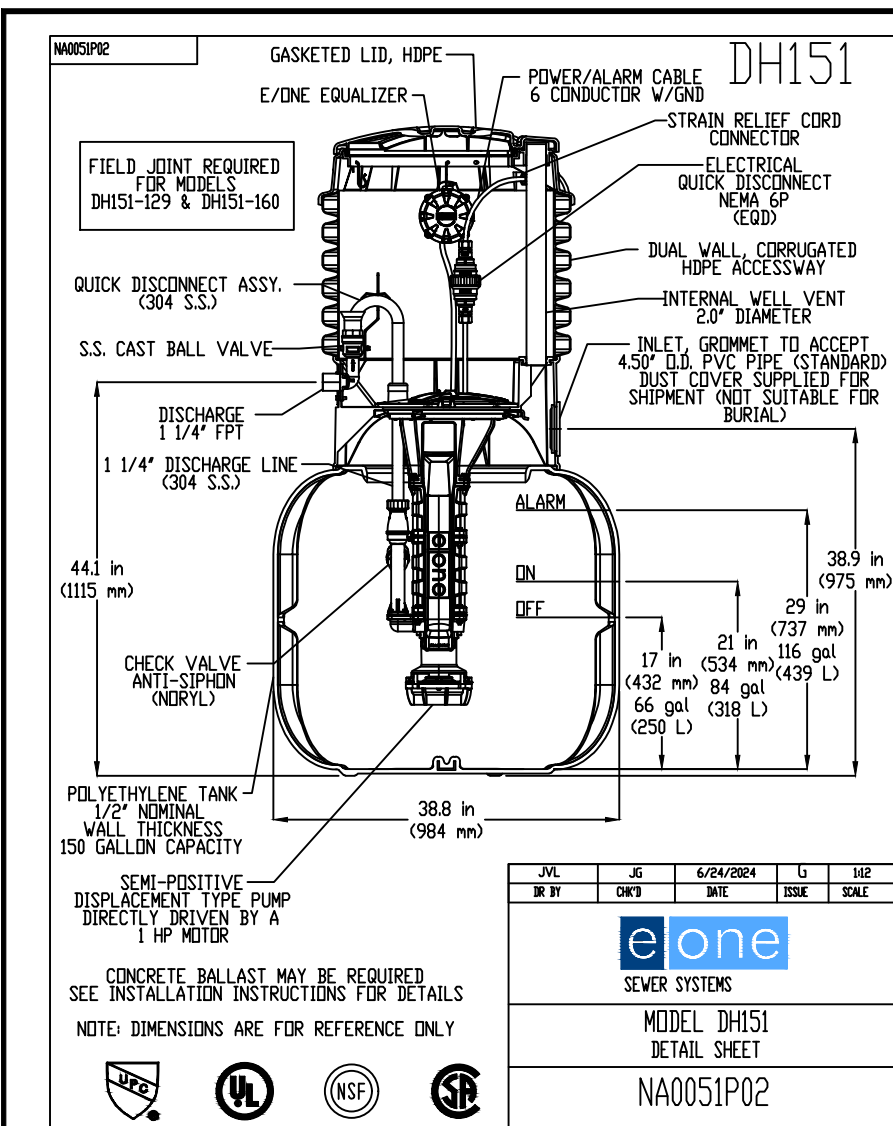
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No.	DATE	DRWN	CHKD

PRINCIPE
COMPANY
ESTABLISHED IN 1941
PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
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401.816.5385
www.PrincipeEngineering.com

PRELIMINARY PLAN SUBMISSION
FOR A
COMPREHENSIVE PERMIT APPLICATION
OF
"FAIR WIND VILLAGE"
A.P. 47 LOT 3
206 BAYVIEW AVENUE
in
BRISTOL, RHODE ISLAND

SCALE: AS NOTED	SHEET NO: 11 of 14
DRAWN BY: SJL	DESIGN BY: SJL
DATE: 08/08/2025	CHECKED BY: TJP
PROJECT NO.: LD-2021-35	

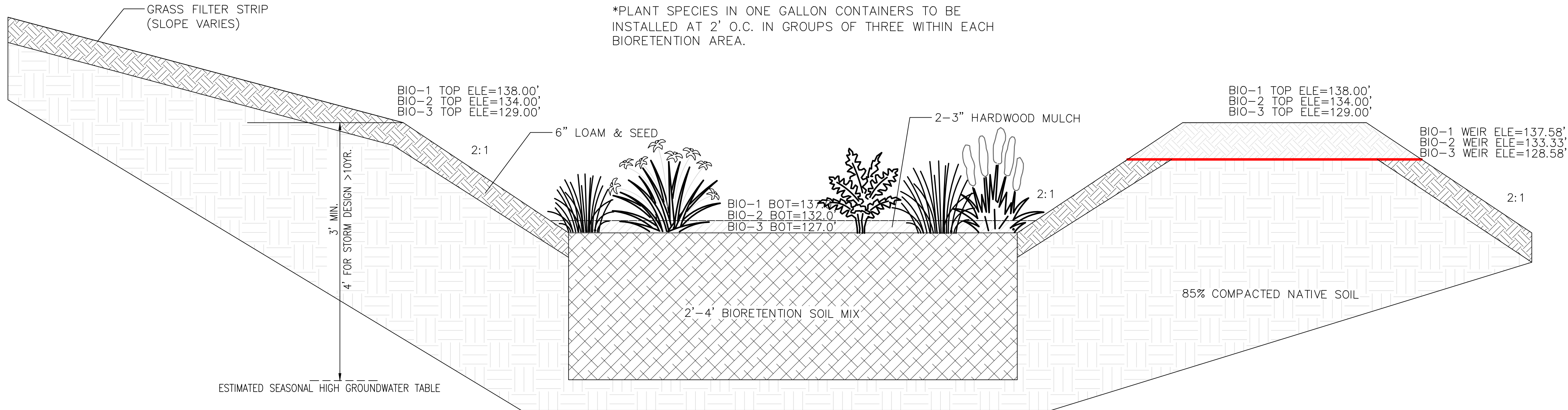
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PLANT SPECIES TO BE USED

BOTANICAL NAME	COMMON NAME
ASTER DIVARICATUS	WHITE WOOD ASTER
IRIS VERSICOLOR	BLUE FLAG IRIS
LOBELIA CARDINALIS	CARDINAL FLOWER
OSMUNDA CINNAMOMEA	CINNAMON FERN

*PLANT SPECIES IN ONE GALLON CONTAINERS TO BE INSTALLED AT 2' O.C. IN GROUPS OF THREE WITHIN EACH BIORETENTION AREA.



BIORETENTION AREA DETAIL

NOT TO SCALE

BMP REQUIRED MAINTENANCE:

MONTHLY:

INSPECT AND REMOVE ANY TRASH
REMOVE ANY INVASIVE SPECIES PLANTS

ANNUALLY:

MULCH- SPRING, AS NEEDED
REPLACE ANY DEAD VEGETATION-SPRING
REMOVE DEAD VEGETATION-FALL OR SPRING
PRUNE-SPRING

AS NEEDED:

REPLACE SOIL MEDIA AND PLANTS WHEN PONDING DOES NOT SUBSIDE WITHIN 72 HRS
(CAREFUL MAINTENANCE SHOULD PROLONG THIS REQUIREMENT)

*ALL PLANT MATERIAL SHALL BE WATERED AND MAINTAINED BY THE OWNER TO ASSURE THAT SUITABLE GROWTH HAS BEEN ESTABLISHED.

F.5.2.3 Mulch Layer Specifications.

A finely shredded, well-aged organic hardwood mulch is the preferred accepted mulch; a finely shredded, well-aged organic dark pine mulch may be accepted on a case-by-case basis. Bark dust mulches and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6-12 months) for acceptance. Mix approximately 1/2 the specified mulch layer into the planting soil to a depth of approximately 4 inches to help foster a highly organic surface layer.

NOTES:

- (1) BIORETENTION AREA TO BE PROTECTED FROM CONSTRUCTION TO PREVENT COMPACTION AND SURROUNDED BY COMPOST FILTER SOCK UNTIL UPSLOPE AREAS ARE STABILIZED.
- (2) BIORETENTION DESIGN AND INSTALLATION SHALL CONFORM TO THE STATE OF RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL (LATEST REVISION).

F.5.2.2 Bioretention Soil

The soil should be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances should be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The bioretention soil should be free of noxious weeds.

The bioretention system shall utilize planting soil having a composition as follows:
Sand: 85-88%

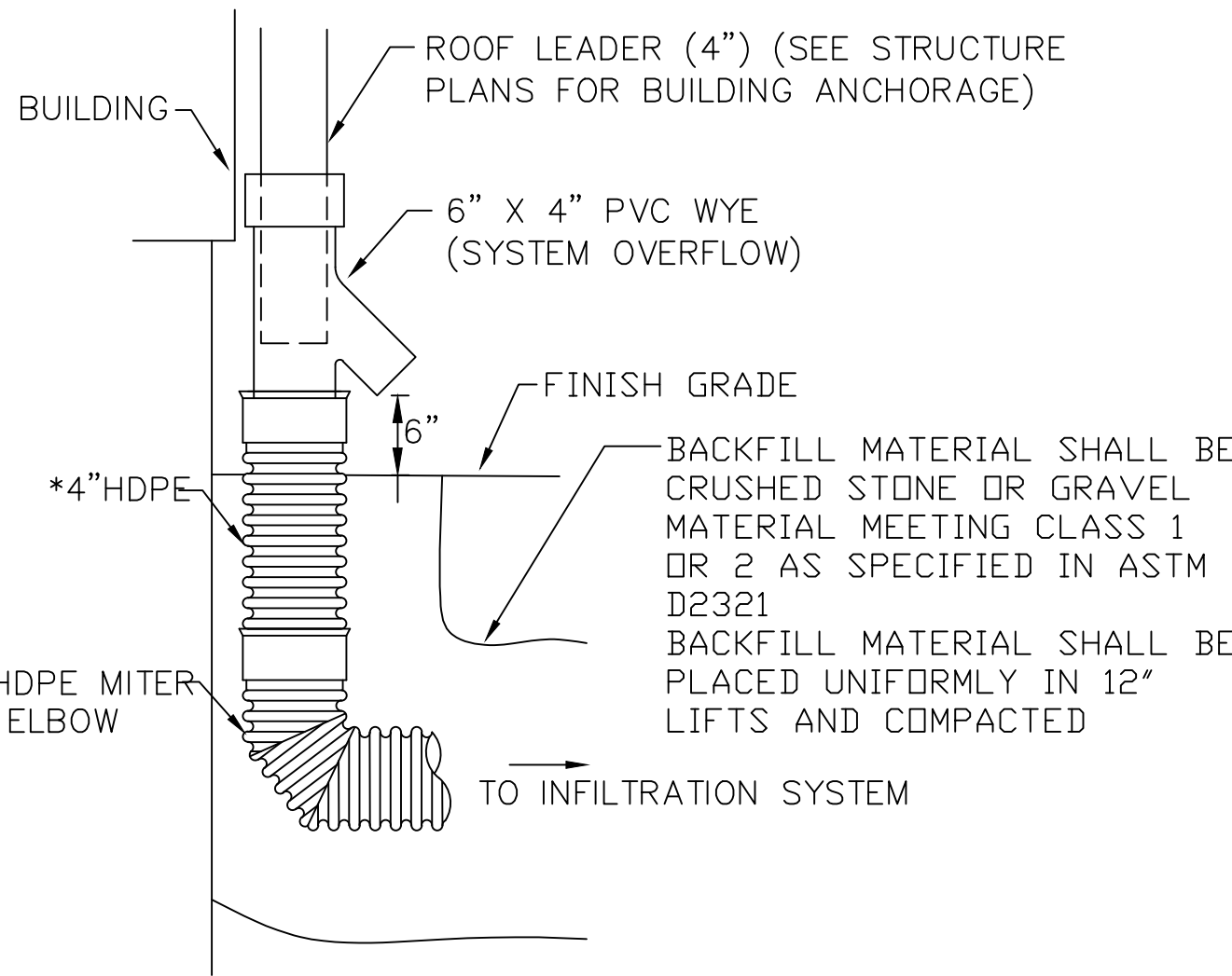
Soil fines: 8 to 12% (no more than 2% clay)

Organic Matter*: 3 to 5%

*Note: For bioretention applications with a soil depth of less than 4 feet, add 20% (by volume) of well aged (3 months), well aerated, leaf compost (or approved equivalent) to the above planting soil mixture. Where soil fines content is less than 12%, add a corresponding % of leaf compost.

A textural analysis is required to ensure the bioretention soil meets the specification listed above. The bioretention soil should also be tested for the following criteria:

pH range 5.2 - 7.0
magnesium not to exceed 32 ppm
phosphorus P205 not to exceed 69 ppm
potassium K20 not to exceed 78 ppm
soluble salts not to exceed 500 ppm



ROOF LEADER COLLECTOR DETAIL

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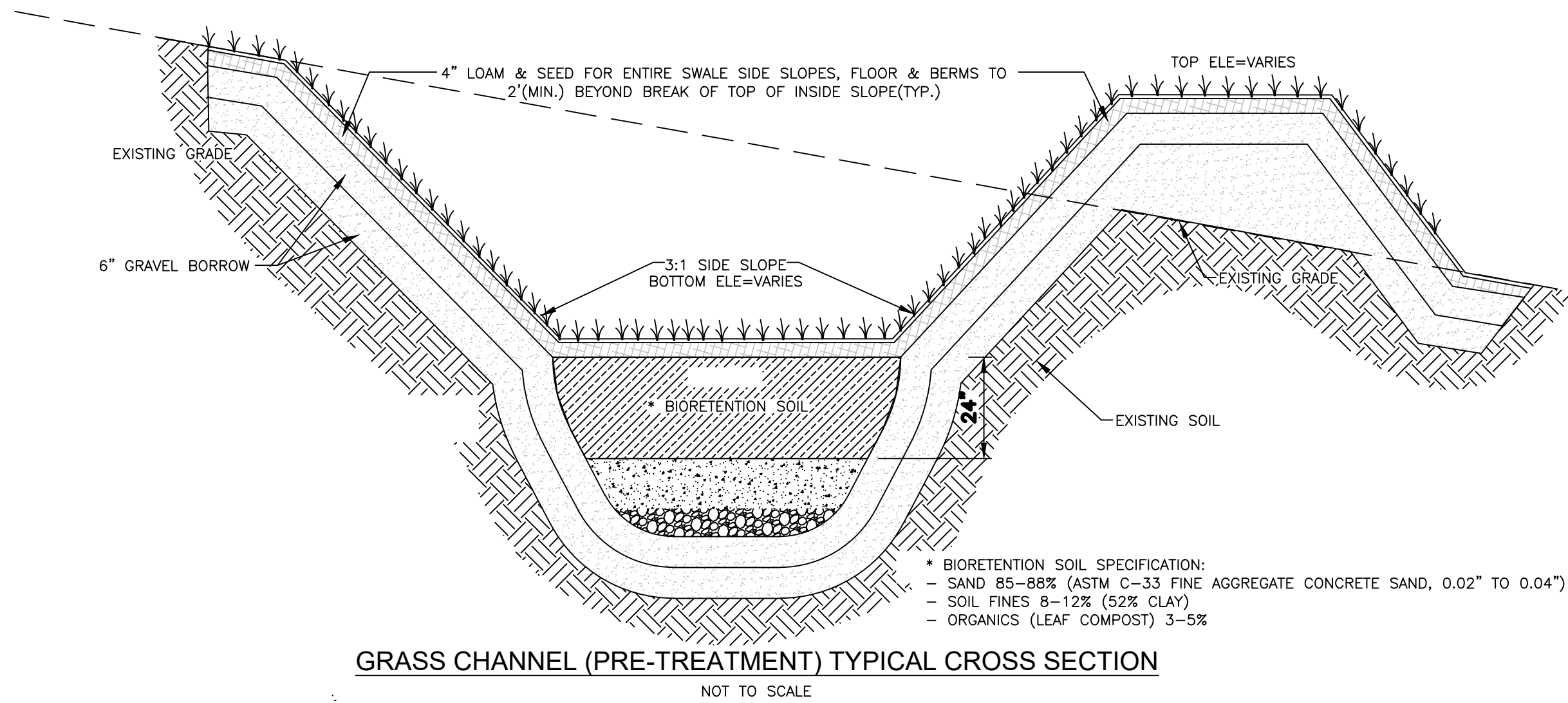
OWNER/APPLICANT

FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

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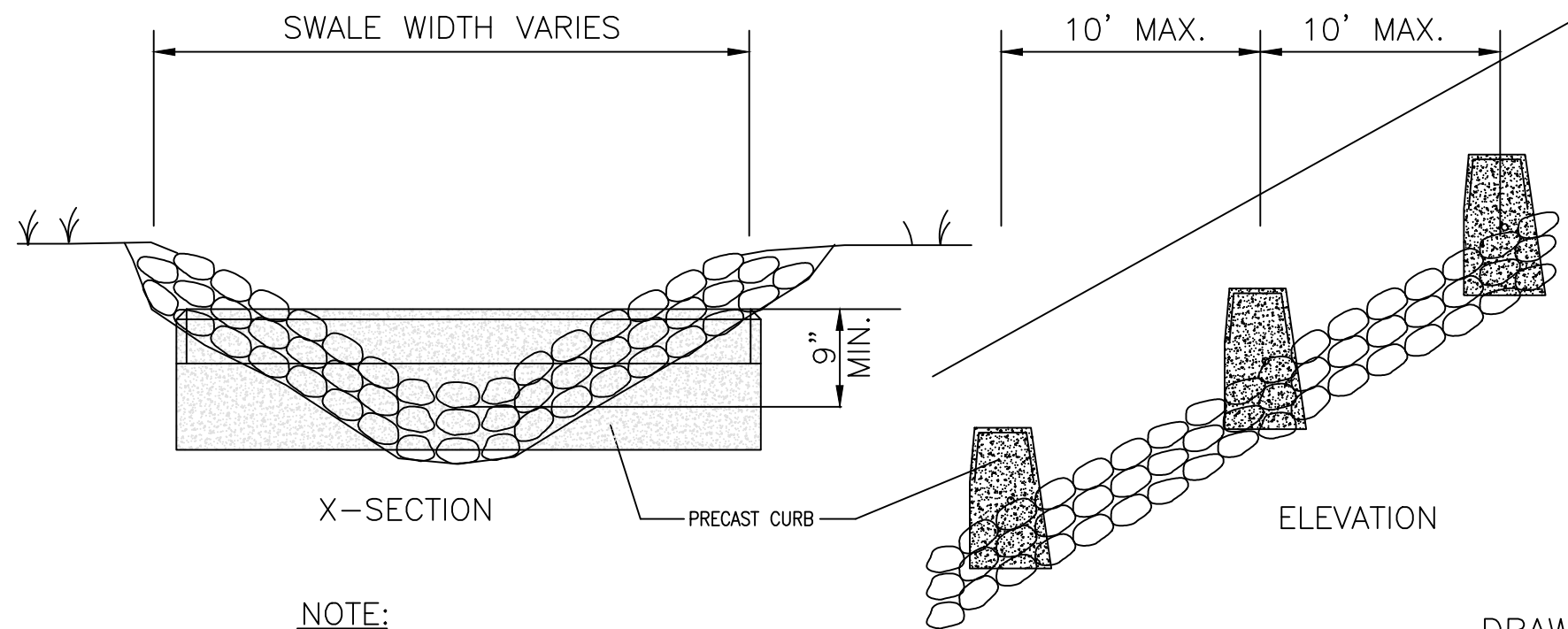
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DETAILS-5



GRASS CHANNEL (PRE-TREATMENT) TYPICAL CROSS SECTION

NOT TO SCALE



NOTE:

1. PRECAST CONCRETE CURB SHALL BE USED FOR CHECK DAMS WITHIN SWALES WITH SLOPES GREATER THAN 4%. MULTIPLE CURB SECTIONS MAY BE NECESSARY TO SPAN SWALE WIDTH.

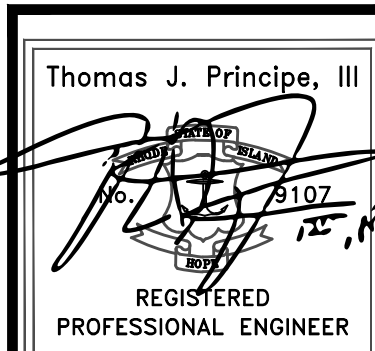
CHECK DAM DETAIL

NOT TO SCALE

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- ☐ CONCEPT
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- ☒ PERMITTING
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- ☐ AS-BUILT
- ☐ OTHER:

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1.	04/21/25	KAB	TJP
2.	8/8/25	KAB	TJP



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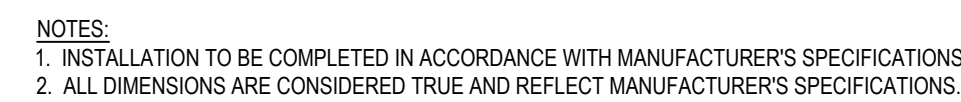
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SCALE: AS NOTED		SHEET NO: 13 of 14	
DRAWN BY: KAB	DESIGN BY: KAB	CHECKED BY: TJP	
DATE: 03/27/2025		PROJECT NO.: LD-2021-35	



















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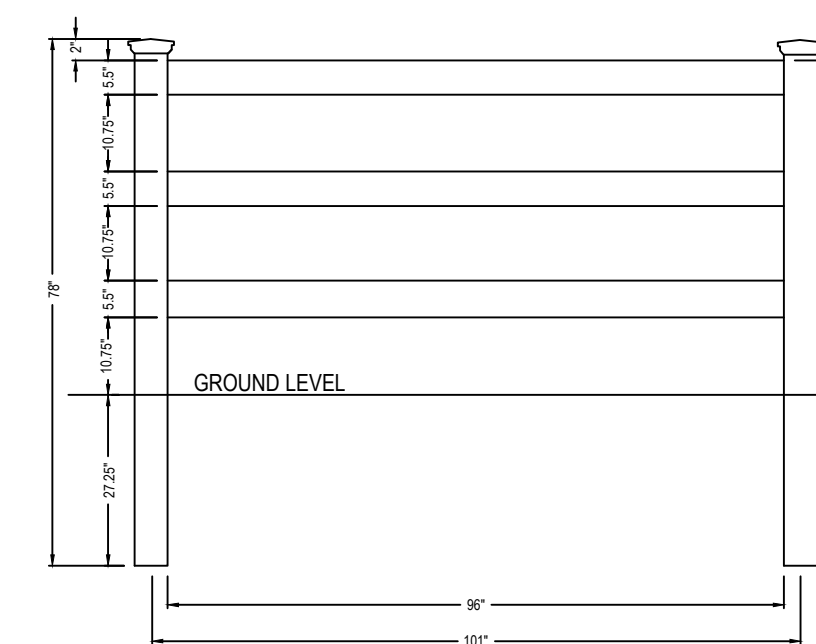


- ☒
- SELECT DESIRED POST CAP MODEL

- | | | | |
|--------------------------|---|---|-----------------------|
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| <input type="checkbox"/> |  |  | TEARDROP - V55TD |
| <input type="checkbox"/> |  |  | COACHMAN - V55CM |
| <input type="checkbox"/> |  |  | BALL - V55BC |
| <input type="checkbox"/> |  |  | SOLAR - V55P |
| <input type="checkbox"/> |  |  | SOLAR - V55O |
| <input type="checkbox"/> |  |  | NEW ENGLAND - V55NE |
| <input type="checkbox"/> |  |  | FLAT - V55FO |

- ☒
- SELECT DESIRED POST OPTIONS:

- ☐ 5" X 5" - .140 WALL
- ☐ 5" X 5" H.D. - .250 WALL
- ☐ MAJESTIC™ 8" X 8" - .250 WALL



FRONT ELEVATION

NOTES:
1. ALL ILLUSIONS VINYL FENCES ARE ASTM F964-09 COMPLIANT
2. AVAILABLE IN GRAND ILLUSIONS COLOR SPECTRUM (35 COLORS) AND GRAND ILLUSIONS VINYL WOODBOND (5 AUTHENTIC WOODGRAINS)



3708-200

SEE ACCOMPANYING SPECIFICATIONS FOR MORE INFORMATION

REVISION DATE 08/03/2012

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BRISTOL, RI 02809

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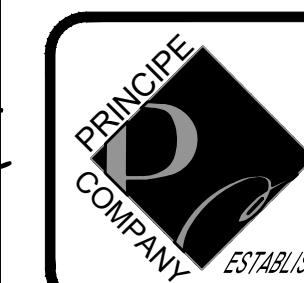
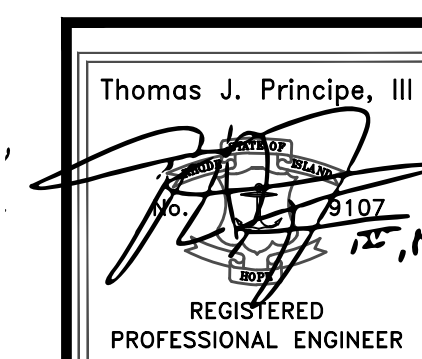
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DETAILS-6



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SCALE: AS NOTED		SHEET NO: 14 of 14	
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