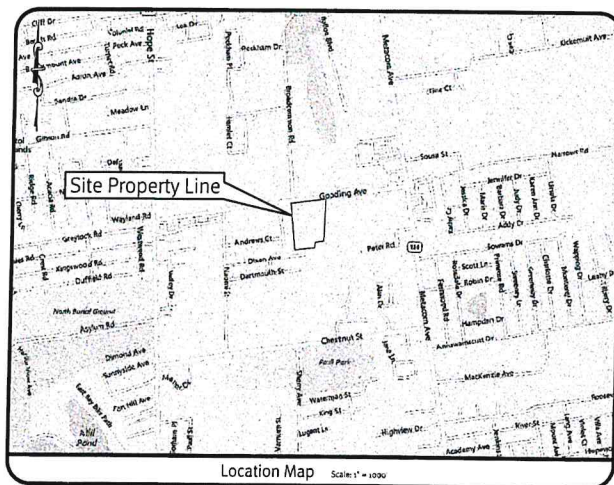


Permitting Submission

Mainstay/Sleep Inn Hotel

Located on Gooding Avenue
Bristol, Rhode Island

Assessor's Plat 111 Lot 1



Sheet Index

1. Cover Sheet
2. Aerial Half Mile Radius
3. General Notes and Legend
4. Erosion & Sediment Control Plan
5. Site Layout Plan
6. Grading Plan
7. Drainage and Utilities Plan
8. Underground Systems A & B Details
9. Sand Filter B and Details
10. Detail Sheet

Plans by Others

11. Property Line Survey (Sheet 1 of 1) by Barker Land Surveying

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: DEC 11, 2021 FILE # 23-0254
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

Signature of official

RI Environmental Management
NOV 6 8 2023
Office of Water Resources

SESC / O&M

The Soil Erosion and Sediment Control Plan (SESC) and Operations and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner onsite.

RIDOT

The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.

PLAN FOR NOTICE

Cover Sheet

Mainstay/Sleep Inn Hotel

D&M DEVELOPMENT, LLC
Kendall, LLC

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

SHEET 1 OF 11

DiPrete Engineering

100 Broadway, Newport, RI 02840
Tel: 401-846-1234 Fax: 401-846-1235 www.diprete-eng.com

Boston • Providence • Newport

KEVIN DOMERS
REGISTERED PROFESSIONAL ENGINEER
0000000000

This regulatory submission set shall not be used for construction purposes unless stamped and signed for responsibility by a Professional Engineer.

The regulatory set is the responsibility of the submitter. The submitter is responsible for the accuracy of the methods, safety precautions and representation of the data used in the design.

Design by: D.P.R.
Drawn by: D.P.R.
Checked by: D.P.R.
Reviewed by: D.P.R.

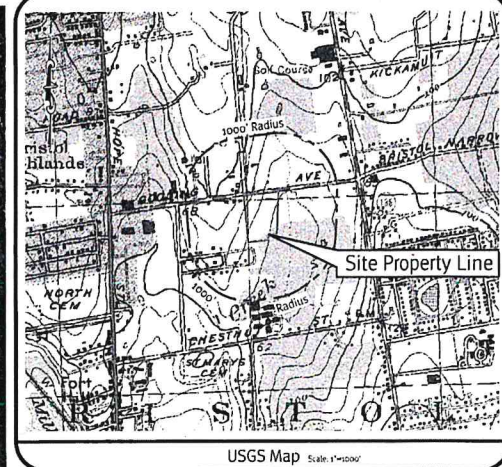
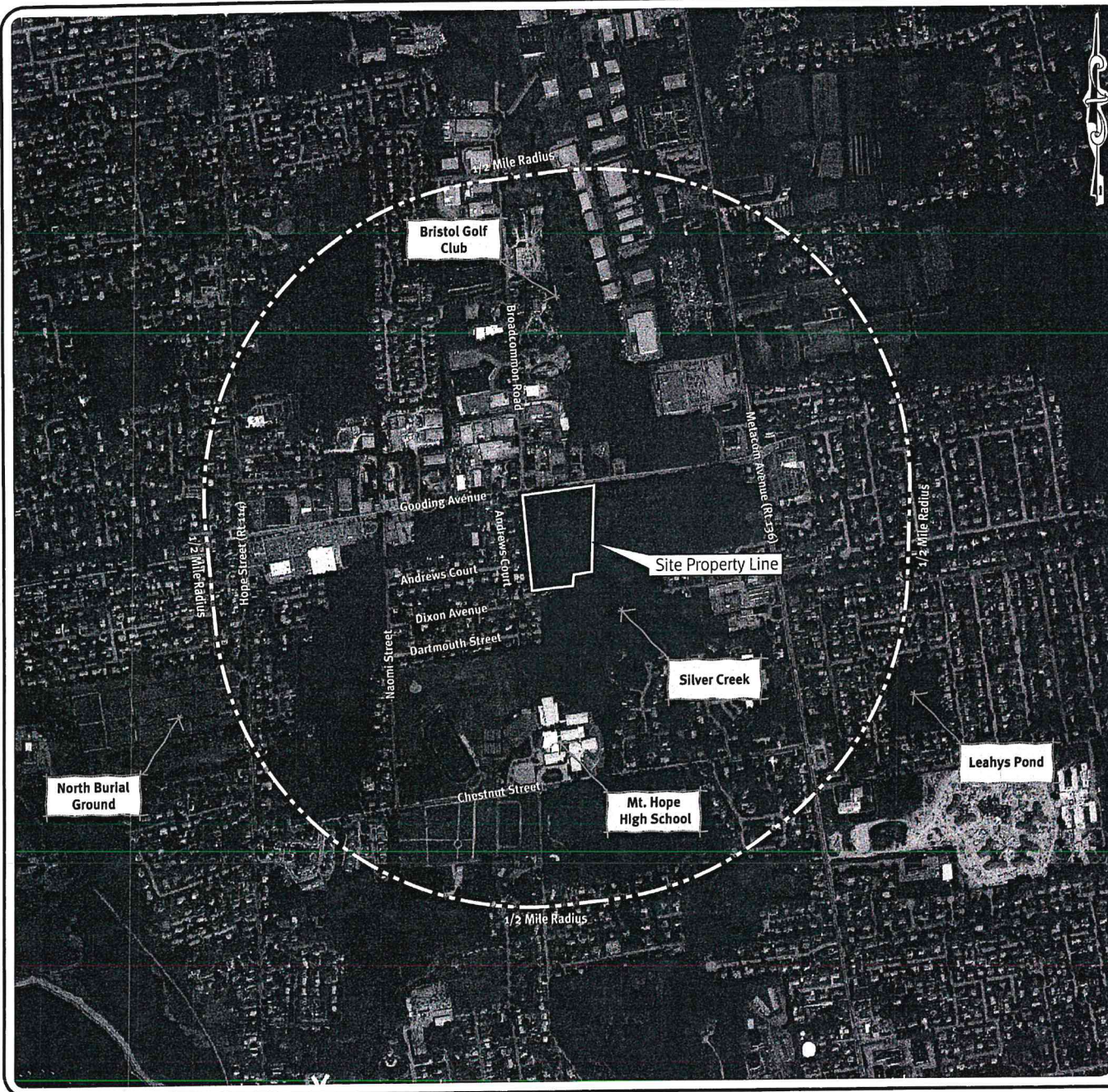


Photo Obtained from the ARCGIS 2008 Orthophotography.



Legend:

- PROPERTY LINE
- PROPERTY LINE (USGS MAP)
- HALF MILE RADIUS LINE

DESIGNATION OF ENVIRONMENTAL MANAGEMENT
OF THE SITE WITH RESOURCES
IN THE WATERSHED WITH LANDS PROGRAM
APPROVED BY THE CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED DEC 05 2024 FILE # 22-0344
NO VIOLATIONS ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE
Signature: D. Venev
NOV 0 8 2023

DiPete Engineering
100 Providence Avenue, Suite 100
Providence, Rhode Island 02903
Tel: 401-845-1234 Fax: 401-845-1235 www.dipete.com

KEVIN DIMERS
REGISTERED PROFESSIONAL ENGINEER
No. 12345
Civil

This regulatory submission shall not be used for any other purpose without the written consent of DiPete Engineering, Inc. The contractor is responsible for all of the means, methods, safety precautions and equipment, and for the proper installation and use of the materials in this plan and design.

NO.	DATE	DESCRIPTION	DESIGNED BY	CHECKED BY	DATE
1	11/05/2023	PRELIMINARY DESIGN	D. Venev		
2	11/05/2023	FINAL DESIGN	D. Venev		
3	11/05/2023	CONSTRUCTION	D. Venev		
4	11/05/2023	MAINTENANCE	D. Venev		
5	11/05/2023	REPAIRS	D. Venev		
6	11/05/2023	REPAIRS	D. Venev		
7	11/05/2023	REPAIRS	D. Venev		
8	11/05/2023	REPAIRS	D. Venev		
9	11/05/2023	REPAIRS	D. Venev		
10	11/05/2023	REPAIRS	D. Venev		

**Aerial Half Mile Radius
Mainstay/Sleep Inn Hotel**
DAM SOCA DEVELOPMENT, LLC
100 Providence Avenue, Suite 100
Providence, Rhode Island 02903
Tel: 401-845-1234 Fax: 401-845-1235 www.dipete.com

1. THE SITE IS LOCATED ON THE TOWN OF BRISTOL ASSESSOR'S PLAT 111 LOT 1.
2. THE SITE IS APPROXIMATELY 9.78 ACRES, IS ZONED GR, AND IS CURRENTLY WOODED.
3. THE OWNER OF AP 111 LOT 1 IS:

INDIAN, LLC
813 AQUINQUE AVENUE
MIDDLETOWN, NJ 02842

THE APPLICANT OF AP 111 LOT 1 IS:

DAN BOCA DEVELOPMENT, LLC
92 FAIRVIEW CORNER ROAD, SUITE 160
NORTH DARTMOUTH, MA 02747

4. THIS SITE IS LOCATED IN FEMA FLOOD ZONES X AND AE. REFERENCE FIRM FLOOD INSURANCE MAP MAP 44001C0003X MAP REVISED JULY 7, 2014.
5. THIS PLAN IS SUBMITTED IN ACCORDANCE WITH A CLASS IV STANDARD AS REQUIRED BY THE ARIZONA BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY AND MAY BE SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.
6. THE SITE IS WITHIN A:
GROUNDWATER PROTECTION AREA
NATURAL HERITAGE AREA
GROUNDWATER PROTECTION OVERLAY DISTRICT
7. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET.

- **SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC).** THE SESC CONTAINS THE FOLLOWING:
 - EROSION CONTROL MEASURES
 - SHORT TERM MAINTENANCE
 - ESTABLISHMENT OF VEGETATIVE COVER
 - CONSTRUCTION POLLUTION PREVENTION
 - SEQUENCE OF CONSTRUCTION
- **OPERATIONS AND MAINTENANCE PLAN (O&M).** THE O&M CONTAINS THE FOLLOWING:
 - LONG TERM MAINTENANCE
 - LONG TERM POLLUTION PREVENTION

8. THIS PLAN SET REFERENCE TO REOT STANDARD DETAILS (DESIGNATED AS REOT STD
K.K.R.) REOT STANDARD DETAILS ARE AVAILABLE FROM REOT AND ONLINE AT:
HTTP://WWW.DOTDOTS.CO.UK/BUSINESS/OTHER/INFORMATION/CONTACTUS/CONTACTUS.PHP.
9. THE SITE IS TO BE SERVED BY PUBLIC WATER AND PUBLIC SEWER.
10. THE SITE WILL FULLY COMPLY WITH ALL OF THE TOWN OF BRISTOL RULES AND
REGULATIONS INCLUDING THE SUBDIVISION AND DEVELOPMENT REVIEW REGULATIONS
AND THE ZONING ORDINANCE. THE SITE DOES NOT REQUIRE ANY VARIANCES.
SPECIAL USE PERMITS OR WAIVERS.
11. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE TOWN OF BRISTOL SUBDIVISION
AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS,
CULVERTS AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT
SYSTEM MEETS THE MOST BEST MANAGEMENT PRACTICES.
12. THE SITE IS PROPOSED TO BE BUILT IN 1 PHASE.
13. TEST PITS AND SOIL EVALUATIONS WERE COMPLETED BY SITEC, INC. ON
12/17/2014.

(REFERENCE: USDA NATURAL RESOURCES CONSERVATION SERVICE)	
<u>SOIL NAME</u>	<u>DESCRIPTION</u>
PmA	PITTSBURY SILT LOAM, 0 TO 3 PERCENT SLOPES
PmB	PITTSBURY SILT LOAM, 3 TO 8 PERCENT SLOPES
Se	STESSING SILT LOAM

PLAN ENTITLED "PROPERTY LINE SURVEY FOR KENDAM, LLC" BY BARKER LAND SURVEYING
INC. REVISED 8/30/14.

CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A 1-6 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RIDGE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RIDGE ISLAND BETWEEN APRIL 22 AND MAY 8, 2011 AS PART OF THE NORTHEAST LULU PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPIRE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHIPRATATIVE FIELD SURVEY MAY DISCLOSE.

[illegible]

1. DURING CONSTRUCTION TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE.
2. DURING CONSTRUCTION FLAGGERS SHALL BE EMPLOYED TO ENSURE SAFETY FROM INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
3. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ACTIVITIES SHALL MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND ANY SUBSEQUENT ADDENDA.
4. TEMPORARY CONSTRUCTION SIGNS SHALL BE MOUNTED ON RIGID APPROVED SUPPORTS AND SHALL BE REMOVED OR COVERED WHEN NOT APPLICABLE.
5. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES CURRENT EDITION.

1. ALL COMPONENTS OF THE DRAINAGE MUST BE ASBUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING SURVEY ASBUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

ALL WORK TO BE DONE WITHIN THE STATE RIGHT-OF-WAY (ROW) SHALL CONFORM TO STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION APPROVED BY ALL RELEVANT AGENCIES AND ADDRESS STANDARD DETAILS FOR THE WORK ARE IN STANDARD SPECIFICATIONS PER DISTRICTS WITH AN EXCEPTION.

ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, INCLUDING ALL REVISIONS.

NO LAKE OR SHOULDER CLOSURES SHALL BE PERFORMED WITHIN THE STATE'S R.O.W. DURING PEAK TRAFFIC HOURS.

SEWER AND WATER CONNECTIONS WITHIN THE STATE R.O.W. WILL REQUIRE A SEPARATE RPT UTILITY PLANET. CONTRACTION TO OBTAIN BEFORE CONSTRUCTION.

THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORM WATER RUNOFF AND SOIL EROSION. THEREFORE, ANY CHANGES TO THE EXISTING DRAINAGE RIGHT-OF-WAY FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT, THOSE WILL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.

DIMENSIONS ARE FROM THE FACE OF CURB. FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.

CURB RADIUS ARE 5 FEET UNLESS OTHERWISE NOTED.

CLADDING SHALL BE PRECAST CONCRETE OR AS Labeled ON THE PLANS.

SIDEWALK SHALL BE CONCRETE, STAMPED CONCRETE OR AS Labeled ON THE PLANS.

SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO SHOW ACTUAL DIMENSIONS OR LOCATION OF FEATURES. DIMENSIONS ARE TO BE SHOWN BY DIMENSION LINES AND DIMENSIONED WITH DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS. PROVIDE PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.

SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS AND DETAILS. CONTOURS TO THE BUILDINGS INDICATED.

SEE UTILITIES, UTILITY POLYLINEATIONS, CONCRETE ROAD PADS, COMPACTED GRAVEL, LODGING, AND OTHER FEATURES.

PROPOSED FEATURES AND ANY EXISTING PROPERTY LINE MONUMENTATION DESTROYED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.

CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNER, BUT SHALL OBTAIN A HARD COPY OF THE PLANS, SPECIFICATIONS, AND DATA FILES. THE DIMENSIONS OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE PROJECT SHALL BE USED FOR CONSTRUCTION.

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL, GEOTECHNICAL AND SEWAGE CONTROL INSURITE. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTION OF THE TOWN ENGINEER AND THE STATE ENGINEER OF ANY CHANGES TO THE ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONSTRUCTION TO COMMENCE SPRING 2021 ON OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
4. ALL WORK PERFORMED HEREIN SHALL BE COVERED BY THE BRIDGE ISSUED STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND TOWNS OF BRIDGE DESIGN SPECIFICATIONS.
5. RECORDING OF CONSTRUCTION PROGRESS IN DESIG W/AS BE COMPLETED AS FIELD CONSTRUCTION WARRANT WITH FORM APPROVAL FROM THE OWNER OR OWNER'S REPRESENTATIVE.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO DISRUPT THE PROPOSED BUILDINGS. THEY SHALL BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DRIPLET REGARDING THE UTILITY LOCATIONS AND DEPTHS.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADINGS AND DRAINAGE. AROUND THE BUILDING TO DRAINAGE SURFACE WATER AND/OR GROUND WATER TO THE EXISTING DRAINAGE SYSTEM.
8. PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVED/PAVED ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING ELEVATIONS OF THE EXISTING DRAINAGE SYSTEM TO AVOID FLOODING AND/OR TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
9. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH APPLICANT, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
10. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
11. ALL RETAINING WALLS AND STEEP SLOPES ARE SHOWN SCHEMATICALLY ONLY AND ENGINEER DISCLOSED IS NOT PROVIDING THE DESIGN OF THESE ITEMS. THE ACTUAL DESIGN AND CONSTRUCTION ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR IS LIMITED PRIOR TO CONSTRUCTION OF THESE ITEMS.
12. ALL OUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE OWNER. THE DESIGN AND CONSTRUCTION OF THESE ITEMS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE PROJECT ENGINEER AND PROJECT ENGINEER'S ASSOCIATES, INC. IS NOT PROVIDING THE DESIGN AND CONSTRUCTION OF THESE ITEMS. THE CONTRACTOR IS LIMITED PRIOR TO CONSTRUCTION OF THESE ITEMS. THE CONTRACTOR IS LIMITED PRIOR TO CONSTRUCTION OF THESE ITEMS.

4. NO STOCKPILING OF MATERIAL, TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERSIGHT.
5. ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE.
6. ALL EXCESS SOIL, TREES, ROCKS, Boulders, and OTHER REFUSE, SHALL BE REMOVED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. TRUMPS SHALL BE GRASS COVERED OR REMOVED.
7. NO STRIP DUMPS ARE PROPOSED OR SITE.
8. IF CONCRETE TRUCKS ARE WASHED OUT OR SITE, ALL WASHOUT MUST BE COMPLETELY AND THOROUGHLY WASHED OFF THE TRUCKS.

ALL IMPROVEMENTS SHALL COMPLY WITH THE "STANDARDS WITH DISCREET ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE.

MAXIMUM RUNNING SLOPE SHALL EXCEED ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 4.5% ON GLOS /5', AND MAXIMUM CROSS SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE 0.5% ON 1'.

MAXIMUM SLOPE IN ALL DIRECTIONS FOR ALL ACCESSIBLE PARKING SPACES AND LOADING AREAS SHALL BE 0.05%.

4.5% SLOPE WITH A MAXIMUM SLOPE OF 1.5% ON 0.05% /1', IN ALL DIRECTIONS SHALL BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EXITENCES.

STANDARD CURB RAUPS SHALL COMPLY WITH 4.3.1.2, 4.3.1.3, AND 4.3.1.4 AS SHOWN ON THE PLAN.

PLEASE NOTE THAT THE GRADING AND PAVL AS WELL AS THE STANDARD DETAILS MAY NOT SHOW THE DETAILS NECESSARY TO CONSTRUCT PARKWAYS AND SIDEWALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE NECESSARY LEVELS OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PROJECT MEETS THE REQUIREMENTS OF THE ADA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE DESIGNER BEFORE CONSTRUCTION FOR ADVISE IN PHASE A.

ALL EROSION CONTROL, TEMPORARY SLOPE, TEMPORARY SEDIMENTATION TRAPS, ETC. SHALL BE INSTALLED PER THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL LATEST EDITION AND THE SOIL EROSION PREVENTION CONTROL PLAN (SEPC).

TEMPORARY SLOPES SHALL BE USED TO CONTROL RUNOFF DURING CONSTRUCTION. TEMPORARY SLOPES SHALL BE CONSTRUCTED TO PREVENT EROSION OF THE WATERS SHALL BE INSTALLED IF NECESSARY TO PREVENT EROSION AND SUPPORT THE CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SMALLER TRIBUTARY SHALL BE STABILIZED. THE TEMPORARY SLOPE SHALL BE THE DESIGN DRAIN, INCLUDING INSTALLATION OF THE GRASS STRIP SHALL BE PER THE DESIGN DRAIN.

ONCE THE SEDIMENTATION TRAP IS NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENTATION TRAP SHALL BE CLEANED AND THE TRIBUTARY SHALL BE RESTORED TO ITS ORIGINAL CONDITION.

INLET PROTECTION SHALL BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED. SEE SECTION 2 OF THE SEPC FOR SCHEDULE OF CONSTRUCTION ACTIVITY.

CONTRACTOR SHALL SUBMIT A SEPC FOR PROJECT PHASING.

CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER.

FOR CONSTRUCTION PHASING SEE SECTION 2 OF SOIL EROSION AND SEDIMENTATION CONTROL PLAN.

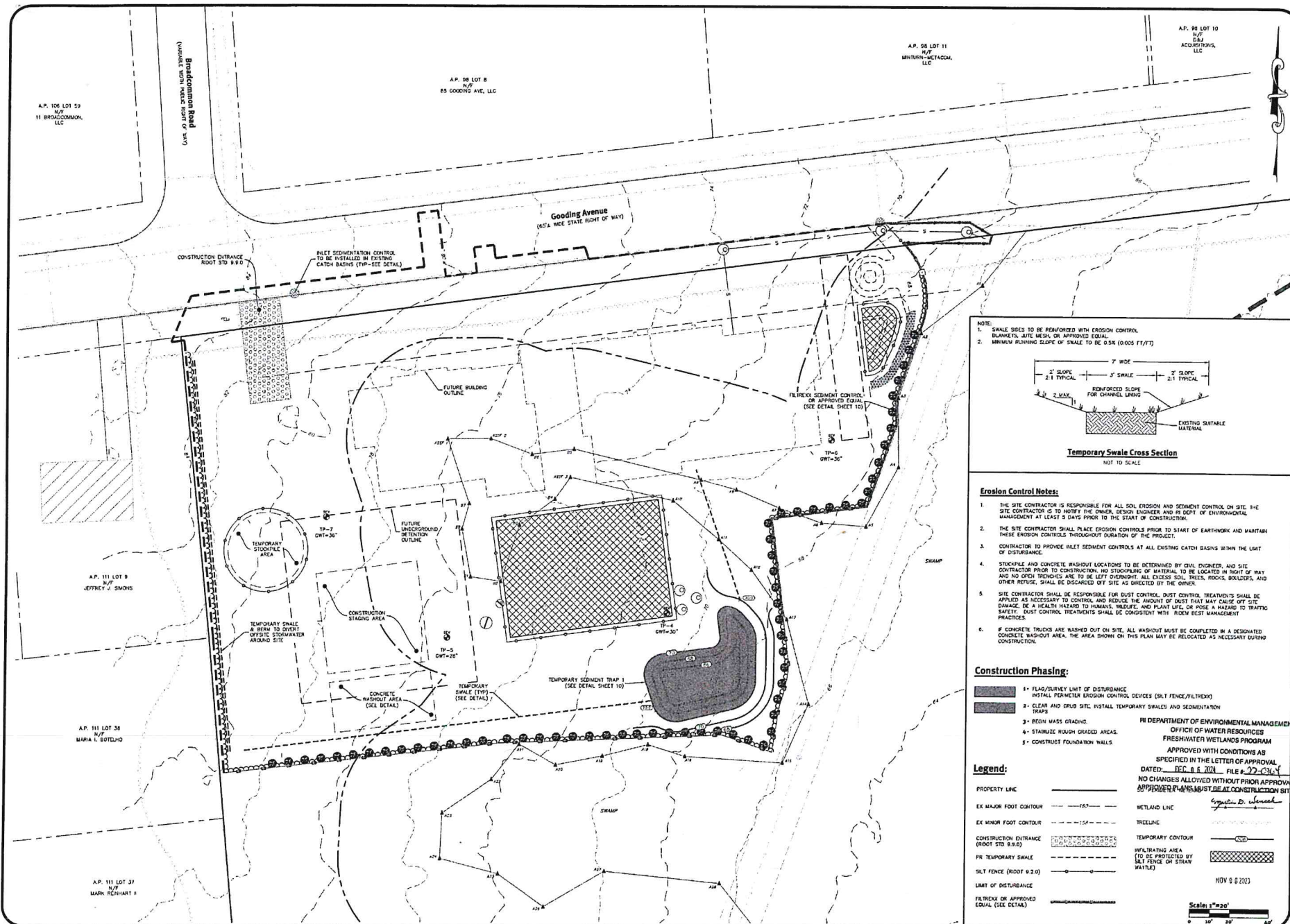
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EXISTING LEGEND (SEE SYMBOL OF PROPOSED PLANS)		
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS		
	PROPERTY LINE	Δ/A
	ASSESSORS LINE	B/B
	BUILDING	O/A
	BRUSHLINE	W
	TRENCHLINE	●
	FENCE	●
	RETAINING WALL	●
	STONE WALL	●
	MINOR CONTOUR LINE	○
	MAJOR CONTOUR LINE	○
	WATER LINE	○
	SEWER LINE	○
	SEWER FORCE MAIN	○
	GAS LINE	○
	ELECTRIC LINE	○
	OVERHEAD WIRES	○
	DRAINAGE LINE	○
	SOILS LINE	○
	50' PERIMETER WETLAND	○
	200' RIVERBANK WETLAND	○
	WETLAND HERITAGE AREA	○
	FEMA BOUNDARY	○
	STREAM	○
	WETLAND LINE & FLAG	○
	WETLAND HERITAGE AREA	○
	NAL FOUND/SCI	○
	DRILL HOLE FOUND/SCI	○
	SIGN	○
	SOLID FOUND/SCI	○
	SOIL EVALUATION	○
	CATION PATCH	○
	DOUBLE CATCH BASIN	○
	DRAINAGE WASTEWAY	○
	FLARED INLET SECTION	○
	GUY POLE	○
	ELECTRIC MANHOLE	○
	UTILITY/POTABLE POLE	○
	SEWER/SEPARATE MANHOLE	○
	SEWER VALVE	○
	CLEANOUT	○
	HYDRANT	○
	IRRIGATION VALVE	○
	WATER VALVE	○
	WELL	○
	MONITORING WELL	○
	UNKNOWN MANHOLE	○
	GAS VALVE	○
	STORM MANHOLE	○
	STREAM FLOW DIRECTION	○

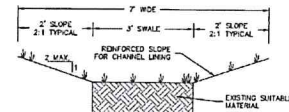
	PROPERTY LINE		ROOF LEADER
	BUILDING SETBACKS		GAS LINE
	TRENCHLINE		WATER LINE
	CHALKMARK		HYDRANT ASSEMBLY
	STANDARD (ROAD STD)		WATER VALVE
	APPROVED EQUAL		THRUST BLOCK
	RETAINING WALL		SEWER LINE
	MINOR CONTOUR LINE		OVERHEAD WIRE
	MAJOR CONTOUR LINE		ELECTRIC, TELEPHONE, CABLE LINE
	EDGE OF PAVEMENT		LIMIT OF DISTURBANCE
	CONCRETE CLUB		NO EROSION CONTROL
	ROAD (ROAD STD 7.1.0)		STREAM WATER SHUTOFF
	BUILDING FOOTPRINT		ROAD (ROAD STD 7.1.0)
	BUILDING OVERHANG		APPROVED CURB, A or of DISTURBANCE
	ASPHALT PAVEMENT		2:1 SLOPES
	STAMPED CONCRETE		LANDSCAPING SYSTEM OUTLINE
	CONCRETE CURBWALK		POND ACCESS
	SANDLOT LINE		RSP RAP
	SIGN (ROAD STD 2.6.2 at APPLICABLES)		SAND FILTER
	SINGLE LIGHT		CATCH BASIN
	DOUBLE LIGHT		DOUBLE CATCH BASIN
	OVERHANGING LIGHT		MANHOLE
	ACCESSIBLE PARKING SPACE SYMBOLS		FLARED END SECTION
	TRANSFORMER PAD WITH DOLLARS (PER NATIONAL GRID STANDARD)		HEAD WALL
			SHRUB
			TREE

OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED: DEC 06 2024 FILE # 22-064
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

[illegible]



- NOTE:
1. SHALE SEEDS TO BE REINFORCED WITH EROSION CONTROL BLANKETS, JUTE MESH, OR APPROVED EQUIV.
 2. MINIMUM RUNNING SLOPE OF SHALE TO BE 0.5% (0.005 FT/FT)



Erosion Control Notes:

1. THE SITE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE. THE SITE CONTRACTOR IS TO NOTIFY THE OWNER, DESIGN ENGINEER AND PERMIT OF ENVIRONMENTAL MANAGEMENT AT LEAST 5 DAYS PRIOR TO THE START OF CONSTRUCTION.
2. THE SITE CONTRACTOR SHALL PLACE EROSION CONTROLS PRIOR TO START OF EARTHWORK AND MAINTAIN THESE EROSION CONTROLS THROUGHOUT DURATION OF THE PROJECT.
3. CONTRACTOR TO PROVIDE RILEY SEDIMENT CONTROLS AT ALL EXISTING CATCH BASINS WITHIN THE LIMIT OF DISTURBANCE.
4. STOCKPILE AND CONCRETE WASHOUT LOCATIONS TO BE DETERMINED BY CIVIL ENGINEER, AND SITE CONTRACTOR PRIOR TO CONSTRUCTION. NO STOCKPILING OF MATERIAL TO BE LOCATED IN RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT UNPROTECTED. ALL EXCESS SOIL, TREES, ROCKS, Boulders, AND OTHER DEBRIS, SHALL BE DISCARDED OFF SITE AS DIRECTED BY THE OWNER.
5. SITE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL. DUST CONTROL TREATMENTS SHALL BE APPLIED AS NECESSARY TO CONTROL, AND REDUCE THE AMOUNT OF DUST THAT MAY CAUSE OFF SITE DAMAGE, BE A HEALTH HAZARD TO HUMANS, INDIAN, AND PLANT LIFE, OR POSE A HAZARD TO TRAFFIC SAFETY. DUST CONTROL TREATMENTS SHALL BE CONSISTENT WITH RICHMOND BEST MANAGEMENT PRACTICES.
6. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN A DESIGNATED CONCRETE WASHOUT AREA. THE AREA SHOWN ON THIS PLAN MAY BE RELOCATED AS NECESSARY DURING CONSTRUCTION.

Construction Phasing:

1. FLAG/SURVEY LIMIT OF DISTURBANCE. INSTALL PERIMETER EROSION CONTROL DEVICES (SILT FENCE/TRELLIS).
2. CLEAR AND GRUB SITE. INSTALL TEMPORARY SWALES AND SEDIMENTATION TRAPS.
3. BEGIN MASS GRADING.
4. STABILIZE ROUGH GRADED AREAS.
5. CONSTRUCT FOUNDATION WALLS.

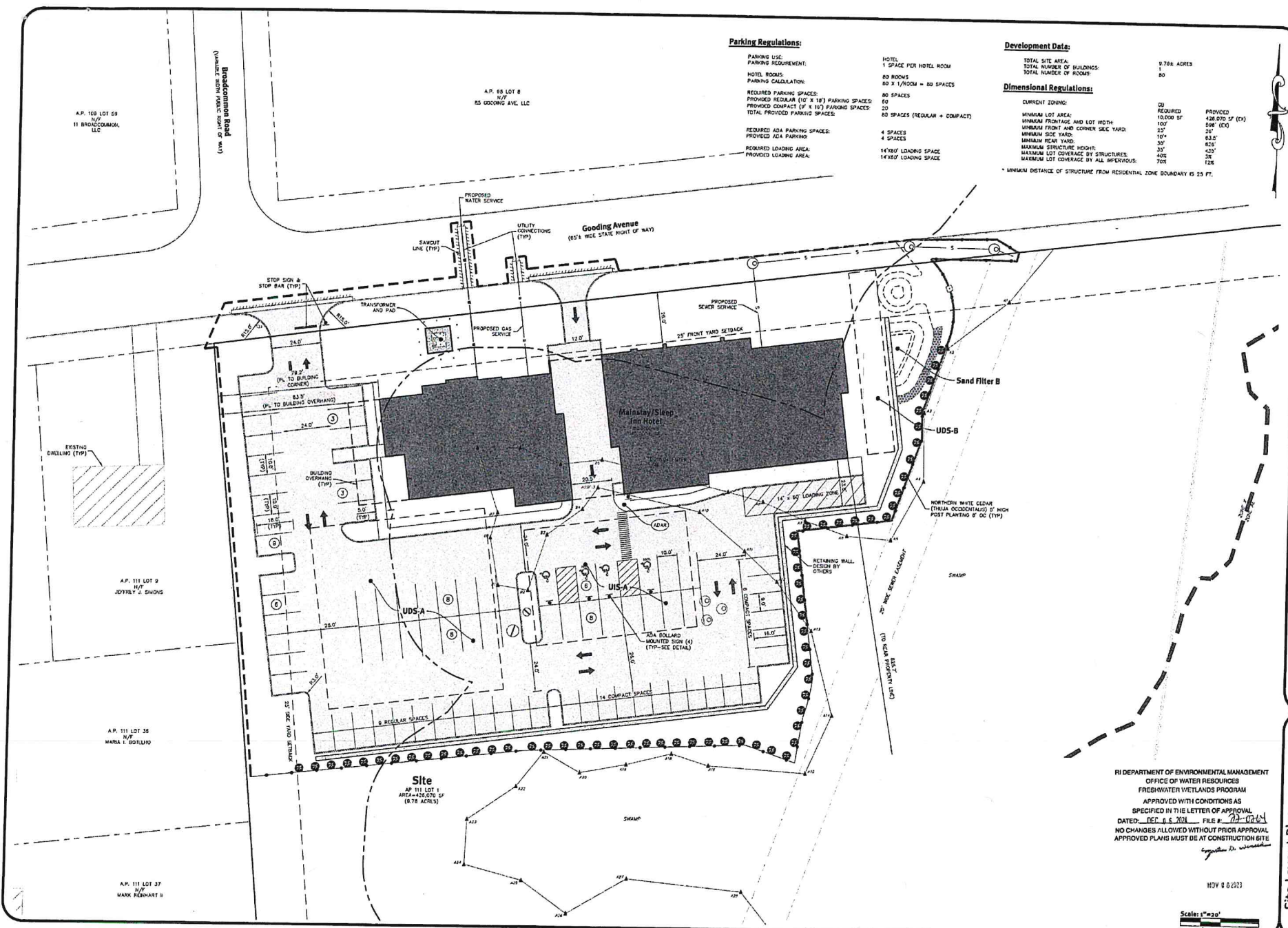
Legend:

PROPERTY LINE	---
EX MAJOR FOOT CONTOUR	---150---
EX MINOR FOOT CONTOUR	---154---
CONSTRUCTION ENTRANCE (ROOT STD 8.0)	---
PR TEMPORARY SWALE	---
SILT FENCE (ROOT 8.0)	---
LIMIT OF DISTURBANCE	---
FILTRIX OR APPROVED EQUIV. (SEE DETAIL)	---
METLAND LINE	---
TRAILLINE	---
TEMPORARY CONTOUR	---
INFILTRATING AREA (TO BE PROTECTED BY SILT FENCE OR STRAW BATTLES)	---

NOV 6 2023

Scale: 1"=50'

0 10' 20' 40'



Parking Regulations:

PARKING USE:
HOTEL ROOMS
PARKING CALCULATION:
REQUIRED PARKING SPACES:
PROVIDED REGULAR (10' X 18') PARKING SPACES:
PROVIDED COMPACT (8' X 16') PARKING SPACES:
TOTAL PROVIDED PARKING SPACES:
REQUIRED ADA PARKING SPACES:
PROVIDED ADA PARKING SPACES:
REQUIRED LOADING AREA:
PROVIDED LOADING AREA:

HOTEL
1 SPACE PER HOTEL ROOM
80 ROOMS
80 X 1/ROOM = 80 SPACES
80 SPACES
60
20
80 SPACES (REGULAR + COMPACT)
4 SPACES
4 SPACES
14'X8' LOADING SPACE
14'X8' LOADING SPACE

Development Data:

TOTAL SITE AREA: 9.784 ACRES
TOTAL NUMBER OF BUILDINGS: 1
TOTAL NUMBER OF ROOMS: 80

Dimensional Regulations:

CURRENT ZONING: SU
MINIMUM LOT AREA: 10,000 SF
MINIMUM FRONTAGE AND LOT WIDTH: 100' (100')
MINIMUM FRONT AND CORNER SETBACK: 25'
MINIMUM SIDE YARD: 10'
MINIMUM REAR YARD: 30'
MAXIMUM STRUCTURE HEIGHT: 35'
MAXIMUM LOT COVERAGE BY STRUCTURES: 40%
MAXIMUM LOT COVERAGE BY ALL IMPROVEMENTS: 70%
MINIMUM DISTANCE OF STRUCTURE FROM RESIDENTIAL ZONE BOUNDARY IS 25 FT.

REQUIRED: 10,000 SF
PROVIDED: 426,070 SF (EX)
25' (100')
25'
10'
30'
35'
40%
70%

Diprete Engineering
395 Broadway, Newport, RI 02840
Tel: 401-739-7474 Fax: 401-739-7406 www.diprete-eng.com

KEVIN DIMERS
REGISTERED PROFESSIONAL ENGINEER
Civil

This site layout submission is submitted in accordance with the requirements of the Rhode Island Department of Environmental Management. The contractor is responsible for all of the plans, specifications, and details conforming to the requirements of the Department of Environmental Management.

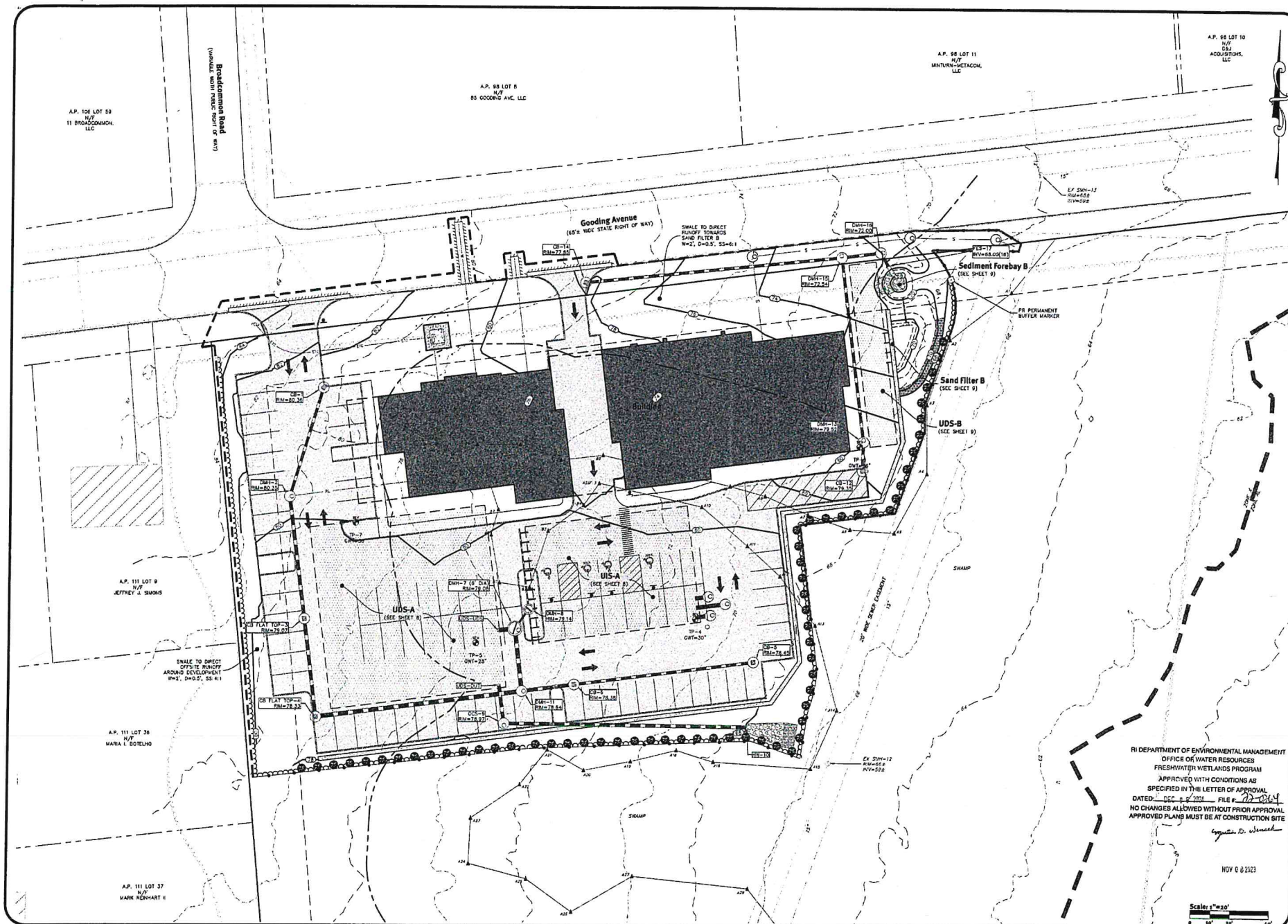
NO.	DATE	DESCRIPTION	BY	CHKD
1	12/15/2021	ISSUED FOR PERMIT	MD	MD
2	12/15/2021	ISSUED FOR PERMIT	MD	MD
3	12/15/2021	ISSUED FOR PERMIT	MD	MD
4	12/15/2021	ISSUED FOR PERMIT	MD	MD
5	12/15/2021	ISSUED FOR PERMIT	MD	MD

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATED DEC. 8 & 2021 FILE # 22-0714
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

NOV 8 2023

Scale: 1"=200'
0' 10' 20' 40'

Site Layout Plan
Mainstay/Sleep Inn Hotel
APR 11, 2023
DIPRETE ENGINEERING, LLC
395 Broadway, Newport, RI 02840
Tel: 401-739-7474 Fax: 401-739-7406 www.diprete-eng.com



DiPrete Engineering
 90 Broadcommon Road, Suite 100
 Providence, RI 02903
 Tel: 401-845-1111 Fax: 401-845-1112
 www.diprete.com

KEVIN DEMERS
 REGISTERED PROFESSIONAL ENGINEER
 No. 10000

This regulatory submission shall not be used for any purpose other than that for which it was prepared. The user assumes all responsibility for the accuracy, completeness, and appropriateness of the information provided. The user shall be responsible for all of the information, including but not limited to, the information provided by the user, the information provided by the user's representatives, and the information provided by the user's consultants.

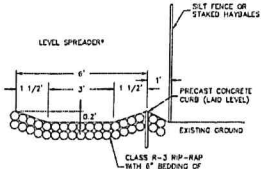
DATE	DESCRIPTION	DESIGNED BY	CHECKED BY	APPROVED BY
12/2/2024	Grading Plan	Kevin Demers	Kevin Demers	Kevin Demers

Grading Plan
Mainstay/Sleep Inn Hotel
 SHEET 6 OF 11

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
 DATED: DEC 2, 2024 FILE # 24-004
 NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

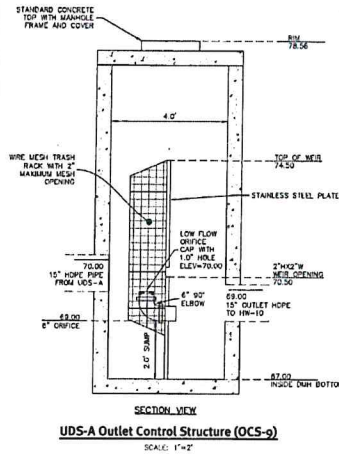
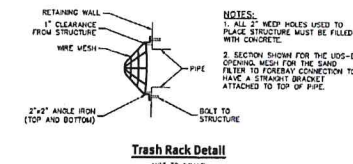
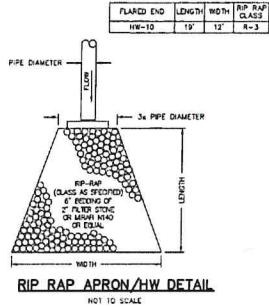
Signature: D. Wines
 NOW 6 @ 2023

Scale: 1"=20'

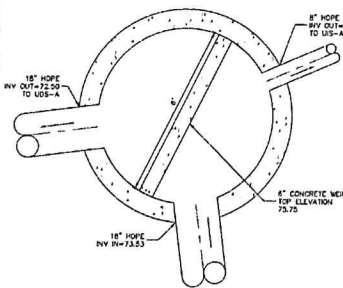


NOTE:
* LENGTHS AS SPECIFIED ON SITE PLANS

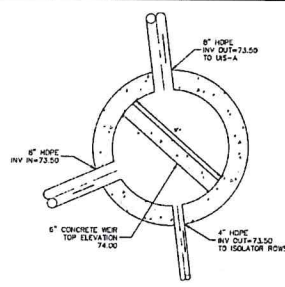
Level Spreader
NOT TO SCALE



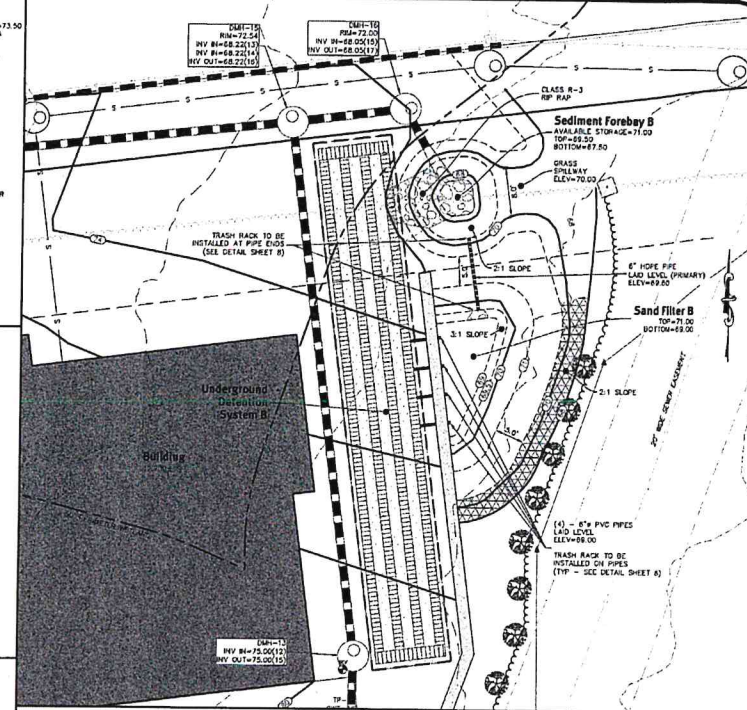
UDS-A Outlet Control Structure (OCS-9)
SCALE: 1"=2'



WQ Bypass DMH-7 (6"Ø Manhole)
SCALE: 1"=2'

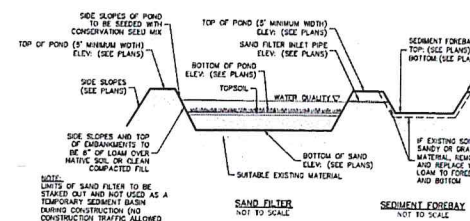
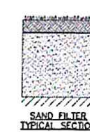


Isolator Row Bypass DMH-8 (4"Ø Manhole)
SCALE: 1"=2'



Sand Filter B
Scale: 1"=10'

DESCRIPTION	SP-8
TOP OF POND ELEVATION	71.00
100 YEAR STORM ELEVATION	70.14
10 YEAR STORM ELEVATION	70.14
1 YEAR STORM ELEVATION	70.02
NO. 100M ELEVATION	69.36
BOTTOM OF POND ELEVATION	69.00
TOP SOIL DEPTH	6"
SAND DEPTH	18"
BOTTOM OF SAND ELEVATION	67.00
SEASONAL HIGH CNT ELEVATION	66.00
SOIL EVALUATION	TH-6



Sand Filter BMP System
NOT TO SCALE

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
APPROVED WITH CONDITIONS AS
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DATED: DEC 4, 2011 FILE # 2011-0101
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
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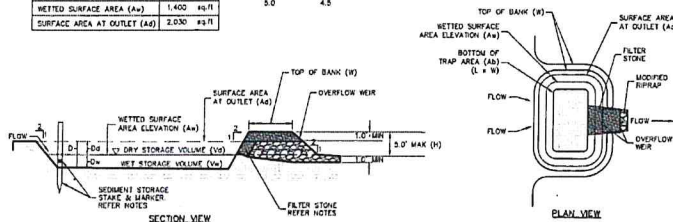
NOV 9 2012

Sand Filter B and Details
Mainstay/Sleep Inn Hotel

DESIGNED BY: **Kendall, LLC**
PROJECT NO: **2011-0101**
DATE: **DEC 4, 2011**
FILE #: **2011-0101**
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED PLANS MUST BE AT CONSTRUCTION SITE

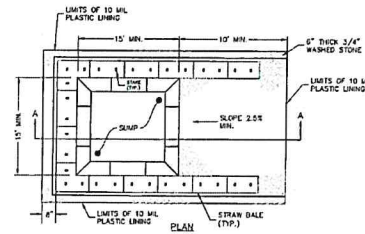
1. THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS SET FORTH IN THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, MAINTENANCE (LATEST REVISION) SECTION 505. SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. THE TEMPORARY SEDIMENT TRAP SHALL HAVE AN INITIAL STORAGE VOLUME OF 150 CUBIC FEET.
3. THE TRAP SHALL BE CONSTRUCTED OF 18" GALVANIZED STEEL OR EQUIVALENT.
4. ALL GUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET SLOPE AREA WHERE SLOPES SHALL NOT EXCEED 1:2:1.
5. THE OUTLET SHALL BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE TRAP.
6. THE TRAP CONSISTS OF A PERVIOUS STONE BOX WITH A CORE OF MODIFIED RYDOLITE AND FACED ON THE UPRIVER SIDE WITH SLOPE.
7. TEMPORARY SEDIMENT TRAPS SHALL OUTLET INTO STABILIZED GROWING.
8. MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP ENCUMBRANCE IS LIMITED TO 5 FEET.
9. SIDE SLOPES OF THE ENCUMBRANCE SHALL BE 2:1 OR FLATTER.
10. MODIFIED RYDOLITE: SHALL MEET THE REQUIREMENTS OF RHO STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION 600.02 TABLE 10.00.02.2.
11. FILTER SAND: SHALL MEET THE REQUIREMENTS OF RHO STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION 600.03 TABLE 1. COLUMN V.

SEDIMENT TRAP DIMENSIONS	TRAP	TOP WIDTH VS HEIGHT	
		HEIGHT OF EMBANKMENT W-TOP WIDTH OF EMBANKMENT	
TERRITORY DRAINAGE AREA	1.15 ac	4:1	5:1
WET STORAGE DEPTH (Dw)	2.00 ft	1.5	2.0
DRY STORAGE DEPTH (Dd)	2.00 ft	2.0	2.5
TOTAL DEPTH (D)	4.00 ft	2.5	3.0
BOTTOM OF TRAP AREA (Ab)	850 sq ft	3.5	4.5
WETTED SURFACE AREA (Aw)	1,400 sq ft	4.0	5.0
SURFACE AREA AT OUTLET (Ao)	2,030 sq ft		

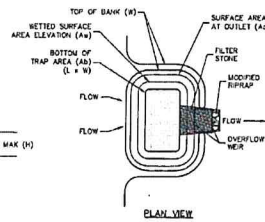


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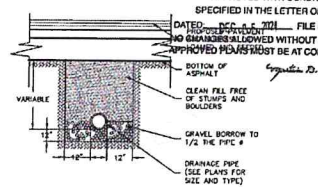
1. INSTALL "SEDIMENT STORAGE" STAKE WITH A MARKER AT ONE HALF OF THE NET STORAGE VOLUME.
2. INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCHES OR MORE.
3. CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
4. CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
5. WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE NET STORAGE, DRAINER THE STAKE AS NEEDED, REMOVE EXCESS SEDIMENT, RESTORE THE STAKE TO ORIGINAL VOLUME.
6. DISPOSE OF THE SEDIMENT REMOVED FROM THE BASIN IN A SATURABLE AREA.
7. THE TEMPORARY SEDIMENT TRAP MAY BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.



1. CLEAR GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
2. REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
3. EXCAVATE NET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
4. USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE GRASSES, DEBRIS, LARGE ROCKS (OVER SIX (6) INCHES) OR OTHER MATERIALS THAT COULD CAUSE DAMAGE TO THE EMBANKMENT BY 9-INCH LAYERS BY TRAVELING WITH EQUIPMENT THAT IT IS BEING CONSTRUCTED.
5. STABILIZE THE CARBON EMBANKMENT USING ANY OF THE FOLLOWING MEASURES, REEDING FOR TEMPORARY VEGETATION COVER: SEEDING FOR PERMANENT VEGETATIVE COVER, OR SLOPE PROTECTION, IMMEDIATELY AFTER INSTALLATION.



NOT TO SCALE

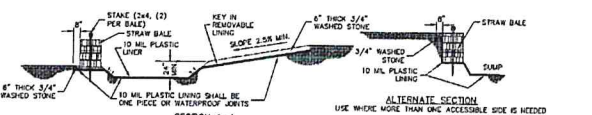
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NOT TO SCALE

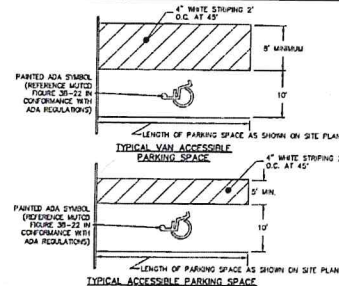
NOTES:

1. ALL MATERIAL TO MEET FILTREXX(R) SPECIFICATIONS
2. FILTER MEDIA(TM) FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPENSED ON SITE, AS DETERMINED BY ENGINEER
4. STAKES ARE NOT TO BE USED IN PAVEMENT AREAS.
5. SELF WEIGHT OF FILTREXX SYSTEM IS ADEQUATE TO PREVENT SYSTEM MOVEMENT ONCE POSITIONED ALONG AREA SHOWN ON THE PLANS.
6. CONTRACTOR TO PLACE FILTREXX SEDIMENT CONTROL ON APPROVED EQUAL AROUND ALL CURB INLET LOCATIONS AS SPECIFIED ON PLANS.

NOT TO SCALE



(NOT TO SCALE)



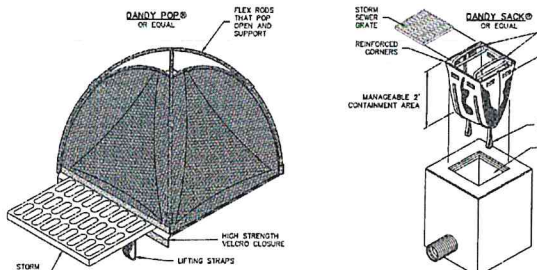
NOT TO SCALE

NOTES:

1. DETAIL BE IN ACCORDANCE WITH SECTION 905 OF THE B.L. STANDARD SPECIFICATIONS.
2. FOR CURB SETTING DETAIL REFERENCE STD. 743.0.
3. JOINTS OR EXPOSED EDGELINES OF PAVEMENT STANDING DETAIL 431.0.

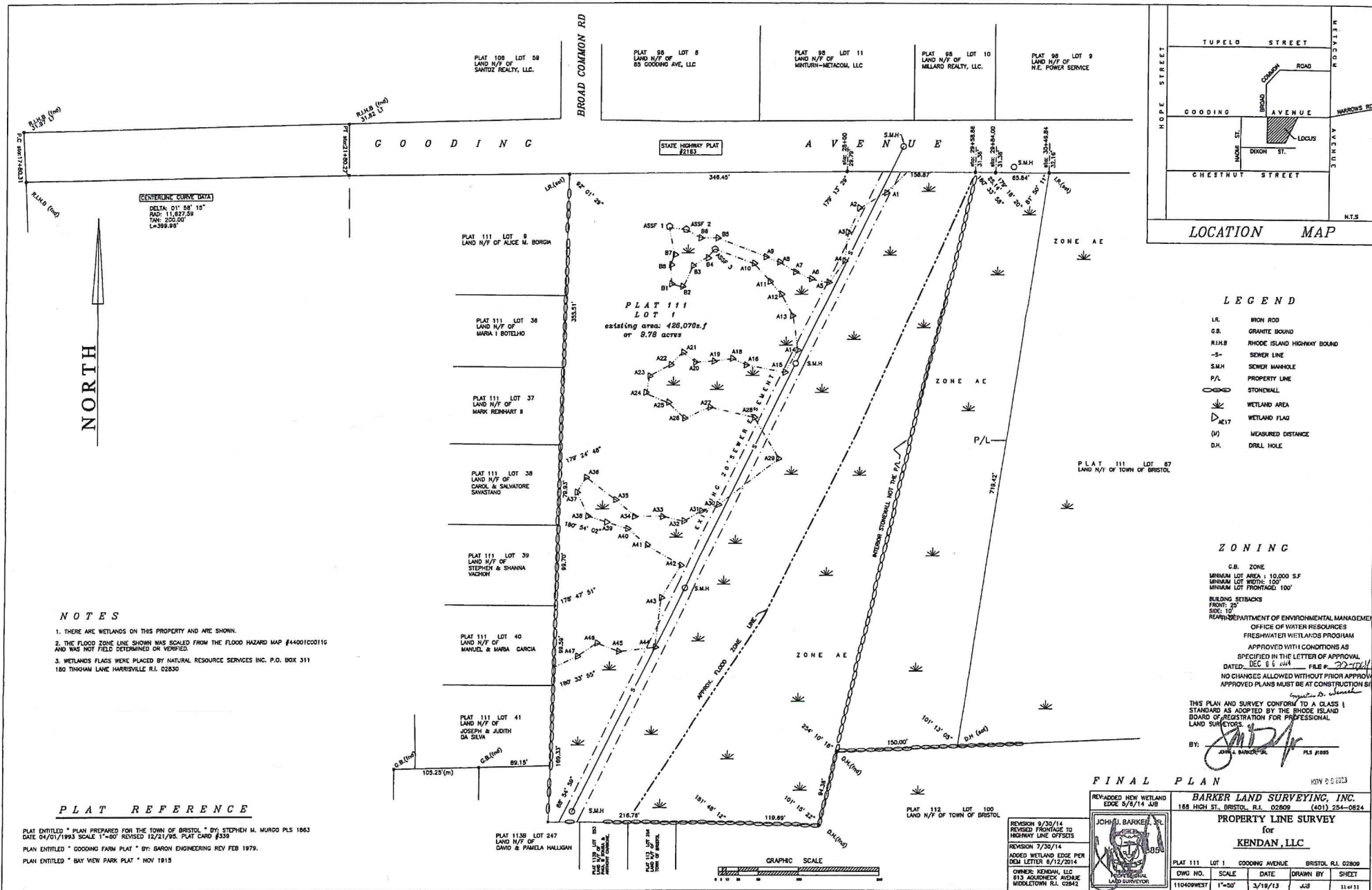
It Concrete

NOT TO SCALE



NOT TO SCALE

NOV 0 9 2021



CENTRIC CURVE DATA
 DELTA: 01° 58' 15"
 RADIUS: 11,627.58
 TANGENT: 200.00
 L=388.97

NOTES

1. THERE ARE WETLANDS ON THIS PROPERTY AND ARE SHOWN.
2. THE FLOOD ZONE LINE SHOWN WAS SCALED FROM THE FLOOD HAZARD MAP #44001C00110 AND WAS NOT FIELD DETERMINED OR VERIFIED.
3. WETLANDS FLAGS WERE PLACED BY NATURAL RESOURCE SERVICES INC. P.O. BOX 311 180 THINHAM LAKE HARRISVILLE RI 02830

PLAT REFERENCE

PLAT ENTITLED "PLAN PREPARED FOR THE TOWN OF BRISTOL" BY: STEPHEN M. MURDO PLS 1663
 DATE 04/01/1993 SCALE 1"=80' REVISED 12/21/95. PLAT CARD #339
 PLAN ENTITLED "COODING FARM PLAT" BY: BARN ENGINEERING REV FEB 1979.
 PLAN ENTITLED "BAY VIEW PARK PLAT" BY: NOV 1915

LOCATION MAP

LEGEND

- IR. IRON ROD
- G.B. GRANITE BOUND
- R.I.H.B. RHODE ISLAND HIGHWAY BOUND
- S- SEWER LINE
- S.M.H. SEWER MANHOLE
- P/L PROPERTY LINE
- STONEMAN WALL
- WETLAND AREA
- WETLAND FLAG
- (M) MEASURED DISTANCE
- D.H. DRILL HOLE

ZONING

G.B. ZONE
 MINIMUM LOT AREA: 10,000 S.F.
 MINIMUM LOT WIDTH: 100'
 MINIMUM LOT FRONTAGE: 100'
 BUILDING SETBACKS
 FRONT: 25'
 SIDE: 10'
 REAR: 10'
 DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 OFFICE OF WATER RESOURCES
 FRESHWATER WETLANDS PROGRAM
 APPROVED WITH CONDITIONS AS
 SPECIFIED IN THE LETTER OF APPROVAL
 DATED: DEC 8 2014 FILE # 22-1044
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 APPROVED PLANS MUST BE AT CONSTRUCTION SITE

THIS PLAN AND SURVEY CONFORM TO A CLASS 1
 STANDARD AS ADOPTED BY THE RHODE ISLAND
 BOARD OF REGISTRATION FOR PROFESSIONAL
 LAND SURVEYORS

BY: *[Signature]* PLS #1895

FINAL PLAN

REVISED NEW WETLAND EDGE 8/6/14 JUB		BARKER LAND SURVEYING, INC. 185 HIGH ST., BRISTOL, R.I. 02809 (401) 254-0824	
REVISION 9/30/14 REVISED FRONTAGE TO HIGHWAY LINE OFFSETS		PROPERTY LINE SURVEY for KENDAN, LLC	
REVISION 7/30/14 ADDED WETLAND EDGE PER DEM LETTER 8/12/2014		PLAT 111 LOT 1 COODING AVENUE BRISTOL RI 02809	
OWNER: KENDAN, LLC 813 ADECKEY AVENUE MIDDLETOWN RI 02842		DWG NO.	SCALE
		110409WEST	1"=50'
		DATE	3/19/13
		DRAWN BY	JUB
		SHEET	11 of 11