

C:\Users\admin\Principe Engineering Dropbox_Land Development\2024\LD-2024-5_151 State Street_Oliver School_Lou Cabral\Current Working Drawings and PDFs\LD-2024-5_151 STATE STREET_BRISTOL DPR_REV 090524.dwg, 9/5/2024 4:07:56 PM, DWG To PDF.pc3

DRAWING ISSUE:

- ☐ CONCEPT
- ☐ CUSTOMER APPROVAL
- ☒ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION
- SHALL BE USED FOR CONSTRUCTION

DEVELOPMENT PLAN REVIEW

FOR

151 STATE STREET

PLAT 18 LOT 42

IN

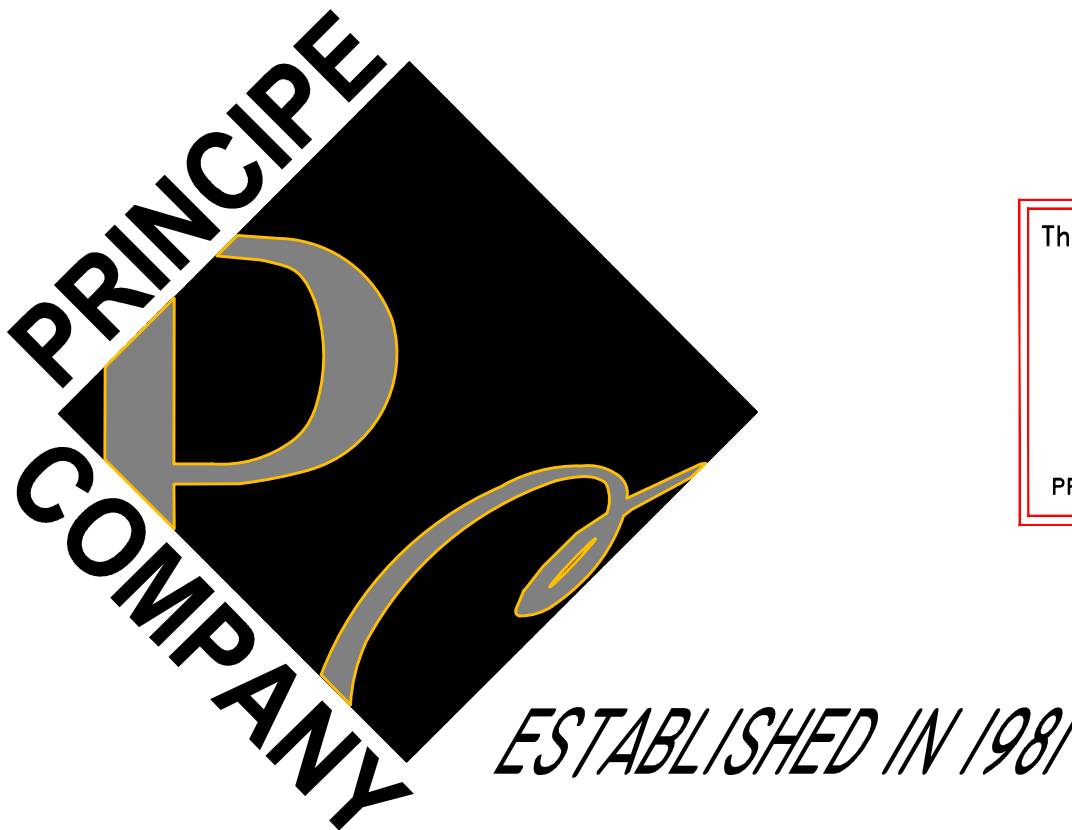
BRISTOL, RHODE ISLAND

OWNER / APPLICANT

LOUIS A. CABRAL

304 CHURCH POND ROAD

TIVERTON, RHODE ISLAND 02878



PREPARED BY:

PRINCIPE COMPANY, INC.

ENGINEERING DIVISION

27 SAKONNET RIDGE DRIVE

TIVERTON, RHODE ISLAND 02878

401.816.5385

INFO@PRINCIPEENGINEERING.COM

WWW.PRINCIPEENGINEERING.COM

APRIL 19, 2024

REVISED: AUGUST 7, 2024

REVISED: AUGUST 22, 2024

REVISED: SEPTEMBER 05, 2024

PROJECT DATA:

PLAT: 18 LOT: 42

EXISTING:

LOT AREA : 13,668 SF, 0.31 ACRES

EXISTING BUILDING: 5,533 SF

EXISTING IMPERVIOUS SURFACE: 7,176 SF

EXISTING PERVIOUS SURFACE: 959 SF

EXISTING BUILDING COVERAGE: 40.48%

TOTAL EXISTING IMPERVIOUS COVERAGE: 92.98%

(BUILDING + IMPERVIOUS SURFACE AREA)

PROPOSED:

EXISTING BUILDING (TO REMAIN): 5,533 SF

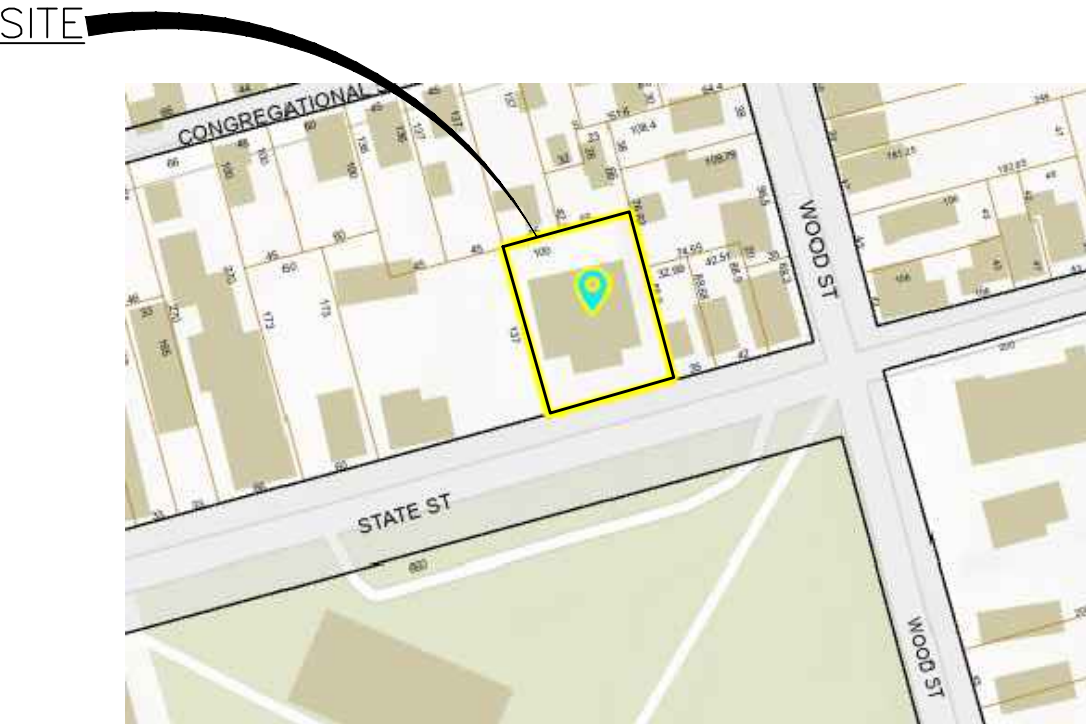
PROPOSED IMPERVIOUS SURFACE (EXISTING TO REMAIN + PROPOSED): 5,889 SF

PROPOSED PERVIOUS SURFACE (EXISTING TO REMAIN + PROPOSED): 2,204 SF

PROPOSED BUILDING COVERAGE: 40.48% (UNCHANGED)

TOTAL PROPOSED IMPERVIOUS COVERAGE: 83.57% (1,287 SF DECREASE FROM EXISTING)

(BUILDING + IMPERVIOUS SURFACE AREA)



LOCUS MAP
SCALE: NOT TO SCALE

LIST OF DRAWINGS

- 1) TITLE SHEET
- 2) EXISTING CONDITIONS PLAN (PRINCIPE COMPANY SURVEY)
- 3) EXISTING PARKING LAYOUT
- 4) SITE LAYOUT PLAN
- 5) DRAINAGE & GRADING PLAN
- 6) EROSION & SEDIMENT CONTROL PLAN
- 7) LANDSCAPE PLAN
- 8) CONSTRUCTION DETAILS
- 9) CONSTRUCTION DETAILS

PLAN REFERENCE

1.) EXISTING CONDITIONS TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS PLAN FOR ASSESSOR'S PLAT 18 LOT 42 151 STATE STREET IN BRISTOL, RHODE ISLAND"
PREPARED BY: PRINCIPE COMPANY, SURVEYING DIVISION

PLAN NOTES

- 1) PER GIS DATA, THERE ARE NO WETLANDS OR WETLAND BUFFERS ON THE SUBJECT PROPERTY
- 2) THERE ARE NO HISTORIC CEMETERIES LOCATED ON OR IMMEDIATELY ADJACENT TO THE SUBJECT PROPERTY

FEMA FLOOD NOTE:

ZONE X – AREA OF MINIMAL FLOOD HAZARD
FLOOD MAP: 44001C0014H
EFFECTIVE DATE: 7/7/2014

SOIL NOTE:

NP – NEWPORT-URBAN LAND COMPLEX
UD – UDORTHENTS – URBAN LAND COMPLEX
FROM NRCS WEB SOIL SURVEY

REQUIRED PARKING

BASED ON RI ADAPTIVE REUSE HOUSING BILL (EFFECTIVE DATE JANUARY 1, 2024), ONE PARKING SPACE PER DWELLING UNIT IS REQUIRED

FOR 11 DWELLING UNITS:
11 PARKING SPACES REQUIRED

11 PARKING SPACES PROVIDED (±1,880 SF TOTAL PARKING AREA) (INCLUDING 1 VAN ACCESSIBLE PARKING SPACE)

VARIANCE NOTE

- 1.) PER BRISTOL CODE OF ORDINANCES SEC 28-251(2):
FOR STANDARD PARKING SPACES, MIN. WIDTH IS 10' AND MIN. LENGTH IS 18' WITH A MIN. AISLE WIDTH OF 24' FOR 90° PARKING SPACES – 16' LENGTH PROVIDED AT REAR PROPERTY LINE TO ALLOW 24' AISLE FOR 6 SPACES. <24' AISLE PROVIDED FOR 3 SPACES WHERE IMPACTED BY THE EXISTING PROTRUDING BASEMENT BULKHEAD
- 2.) PER BRISTOL CODE OF ORDINANCES SEC 28-251(3):
NO PARKING SPACE SHALL BE LESS THAN 10' FROM ANY FRONT LOT LINE – 2 PARKING SPACES ARE PROPOSED WITHIN 10' OF THE FRONT LOT LINE, WHICH IS A REDUCTION FROM THE 4 EXISTING PARKING SPACES LOCATED WITHIN THE FRONT SETBACK.

STREET INDEX:
STATE STREET
(PUBLIC)



1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
2. THE ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
3. THE HORIZONTAL LOCATIONS AS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN DATUM OF 1983 (NAD83).
4. THIS SITE LIES WITHIN ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON THE FIRM MAP FOR THE TOWN OF BRISTOL, RI, MAP NUMBER 44001C0014HJ WITH AN EFFECTIVE DATE OF JULY 7, 2014.

1. A PLAN ENTITLED "SURVEY OF SCHOOL LANDS LYING ON STATE, WOOD, AND BRADFORD STREETS" WHICH IS LOCATED IN THE BRISTOL LAND EVIDENCE RECORDS IN DEED BOOK 37 PAGE 460 AND PLAT BOOK 4 PAGE 28.

A.P.	ASSESSOR'S PLAT
N/F	NOW OR FORMERLY
□ GB/DH	GRANITE BOUND/DRILL HOLE
● IP	IRON PIN
⊙ DH	DRILL HOLE
⊙ S	SEWER MANHOLE
□	CATCH BASIN
⊕	DRAIN MANHOLE
⊕	UNKNOWN MANHOLE
⊕	HYDRANT
⊕	SIAMESE CONNECTION
⊕	FIRE DEPT. SHUT OFF
⊕	WATER GATE
⊕	GAS GATE
⊕	ELECTRIC METER
⊕	LIGHT POLE
⊕	UTILITY POLE
C.O.	CLEANOUT
FP	FLAG POLE

STEPHEN T. LONG

No. 1930

PROFESSIONAL
LAND SURVEYOR

[illegible]

DATE: 03/27/2024	PROJECT NO.: LD-2024-5
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*** FRONT YARD SETBACK IS THE AVERAGE SETBACK OF THE BLOCK OR 20', WHICHEVER IS LESS. SEE BRISTOL ZONING ORDINANCE ARTICLE IV, SECTION 28-111 TABLE B

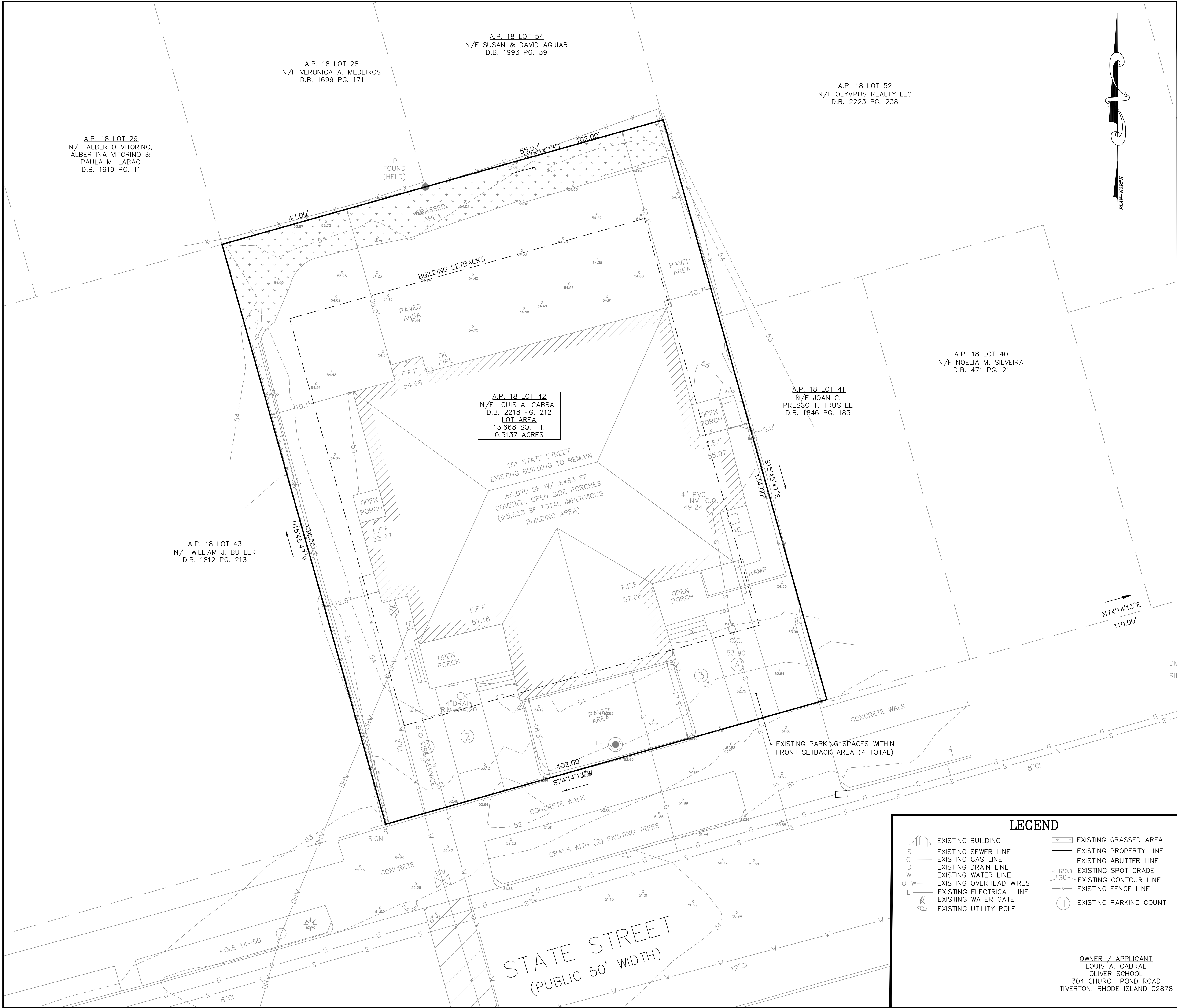
BY: Stephen T. Long
STEPHEN T. LONG, PLS NO. 1930

DATE: 4-22-24

(IN FEET)
1 inch = 20 ft.

(IN FEET)
1 inch = 20 ft.

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ZONING CRITERIA		
ZONING DISTRICT	R-6	EXISTING:
MIN. LOT AREA	6,000 S.F.	13,668 S.F.
MIN. LOT WIDTH	100'	102'
MIN. LOT FRONTAGE	60'	102'
MIN. FRONT BUILDING SETBACK	**	17.8'
MIN. SIDE BUILDING SETBACK	10'	5'
MIN. REAR BUILDING SETBACK	20'	36'
MAX. BUILDING COVERAGE	25%	40.4%
MAX. BUILDING HEIGHT	35'	UNK (TWO-STORY)

** FRONT YARD SETBACK IS THE AVERAGE SETBACK OF THE BLOCK OR 20', WHICHEVER IS LESS. SEE BRISTOL ZONING ORDINANCE ARTICLE IV, SECTION 28-111 TABLE B

SOIL NOTE:

NP - NEWPORT-URBAN LAND COMPLEX
UD - UDORTHERNTS - URBAN LAND COMPLEX
FROM NRCS WEB SOIL SURVEY

PLAN REFERENCE

1.) EXISTING CONDITIONS TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS PLAN FOR ASSESSOR'S PLAT 18 LOT 42 151 STATE STREET IN BRISTOL, RHODE ISLAND"
PREPARED BY: PRINCIPLE COMPANY, SURVEYING DIVISION

PLAN NOTES

- 1) PER GIS DATA, THERE ARE NO WETLANDS OR WETLAND BUFFERS ON THE SUBJECT PROPERTY
- 2) THERE ARE NO HISTORIC CEMETERIES LOCATED ON OR IMMEDIATELY ADJACENT TO THE SUBJECT PROPERTY

FEMA FLOOD NOTE

FIRM ZONE X
ZONE X - AREA OF MINIMAL FLOOD HAZARD
FLOOD MAP: 44001C0014H
EFFECTIVE DATE: 7/7/2014

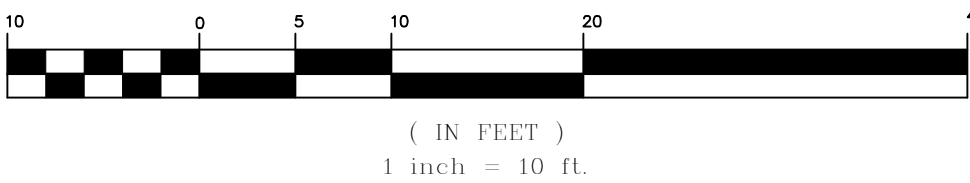
STREET INDEX:

STATE STREET
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GRAPHIC SCALE



LEGEND

EXISTING BUILDING
EXISTING SEWER LINE
EXISTING GAS LINE
EXISTING DRAIN LINE
EXISTING WATER LINE
EXISTING OVERHEAD WIRES
EXISTING ELECTRICAL LINE
EXISTING WATER GATE
EXISTING UTILITY POLE

EXISTING GRASSED AREA
EXISTING PROPERTY LINE
EXISTING ABUTTER LINE
EXISTING SPOT GRADE
EXISTING CONTOUR LINE
EXISTING FENCE LINE
EXISTING PARKING COUNT

OWNER / APPLICANT
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OLIVER SCHOOL
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Thomas J. Principe, III

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REVISIONS			
No.	DATE	DRWN	CHKD
1.	08/22/24	KAB	TJP
2.	09/05/24	KAB	TJP

DEVELOPMENT PLAN REVIEW
151 STATE STREET
PLAT 18 LOT 42
in
BRISTOL, RHODE ISLAND

EXISTING PARKING LAYOUT

SCALE: 1"=10'

SHEET NO: 3 OF 9

DRAWN BY: AMI

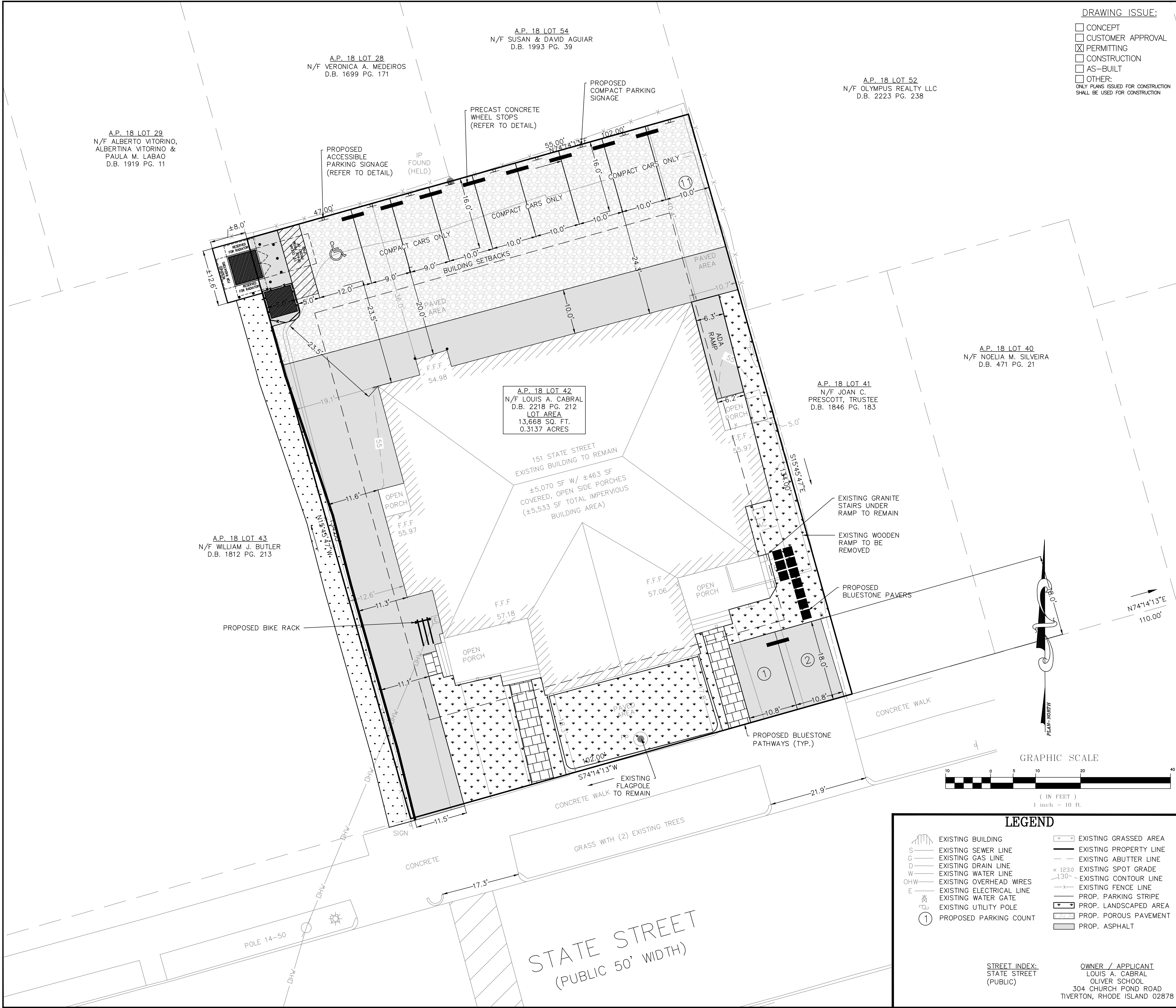
DESIGN BY: AMI

CHECKED BY: TJP

DATE: 04/19/24

PROJECT NO.: LD-2024-5

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ZONING CRITERIA

ZONING DISTRICT	R-6	EXISTING:	PROPOSED:
MIN. LOT AREA	6,000 S.F.	13,668 S.F.	REMAINS
MIN. LOT WIDTH	100'	102'	REMAINS
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MIN. SIDE BUILDING SETBACK	10'	5'	REMAINS
MIN. REAR BUILDING SETBACK	20'	36'	REMAINS
MAX. BUILDING COVERAGE	25%	40.4%	REMAINS
MAX. BUILDING HEIGHT	35'		REMAINS

** FRONT YARD SETBACK IS THE AVERAGE SETBACK OF THE BLOCK OR 20', WHICHEVER IS LESS. SEE BRISTOL ZONING ORDINANCE ARTICLE IV, SECTION 28-111 TABLE B

LOT COVERAGE:

EXISTING BUILDING COVERAGE

EXISTING BUILDING: 5,533 SF
TOTAL LOT AREA: 13,668 SF
5,533 / 13,668 = 40.48%

EXISTING IMPERVIOUS COVERAGE (BUILDING & PAVEMENT)

EXISTING BUILDING: 5,533 SF
EXISTING PAVEMENT: 6,967 SF
TOTAL EX. IMPERVIOUS AREA: 5,533 + 6,967 = 12,500 SF
TOTAL LOT AREA: 13,668 SF
12,500 / 13,668 = 91.46%

PROPOSED BUILDING COVERAGE

EXISTING BUILDING (TO REMAIN): 5,533 SF
TOTAL LOT AREA: 13,668 SF
5,533 / 13,668 = 40.48% (UNCHANGED)

PROPOSED IMPERVIOUS COVERAGE (BUILDING & PAVEMENT)

EXISTING BUILDING (TO REMAIN): 5,533 SF
TOTAL PROPOSED IMPERVIOUS PAVEMENT: 5,889 SF
TOTAL PROP. IMPERVIOUS AREA: 5,533 + 5,889 = 11,422 SF ON-SITE
±79 SF IMPERVIOUS OFF-SITE (TRANSFORMER AND PAD)
****1,287 SF REDUCTION IN ON-SITE IMPERVIOUS SURFACE AREA FROM EXISTING CONDITIONS****
TOTAL LOT AREA: 13,668 SF
11,422 / 13,668 = 83.57%

PLAN REFERENCE

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PREPARED BY: PRINCIPLE COMPANY, SURVEYING DIVISION

REQUIRED PARKING

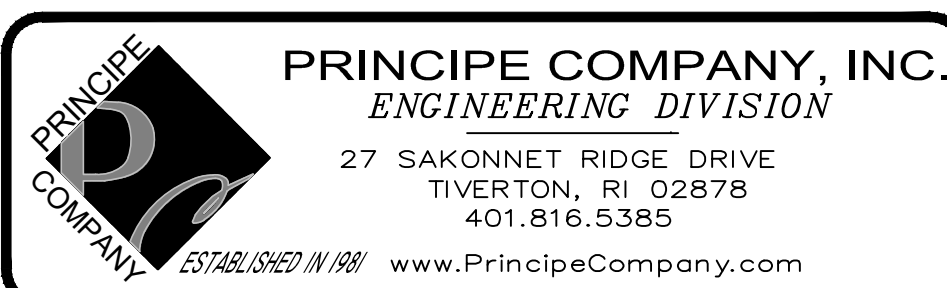
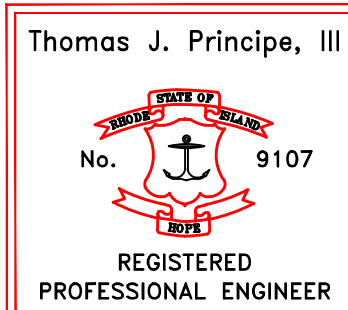
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REVISIONS

No.	DATE	DRWN	CHKD
1	08/7/24	AMI	TJP
2	08/22/24	KAB	TJP
3	09/05/24	KAB	TJP

DEVELOPMENT PLAN REVIEW
151 STATE STREET
PLAT 18 LOT 42
in
BRISTOL, RHODE ISLAND

SITE LAYOUT PLAN

SCALE: 1"=10'		SHEET NO: 4 OF 9	
DRAWN BY: AMI	DESIGN BY: AMI	CHECKED BY: TJ	
DATE: 04/19/24		PROJECT NO.: LD-2024-5	

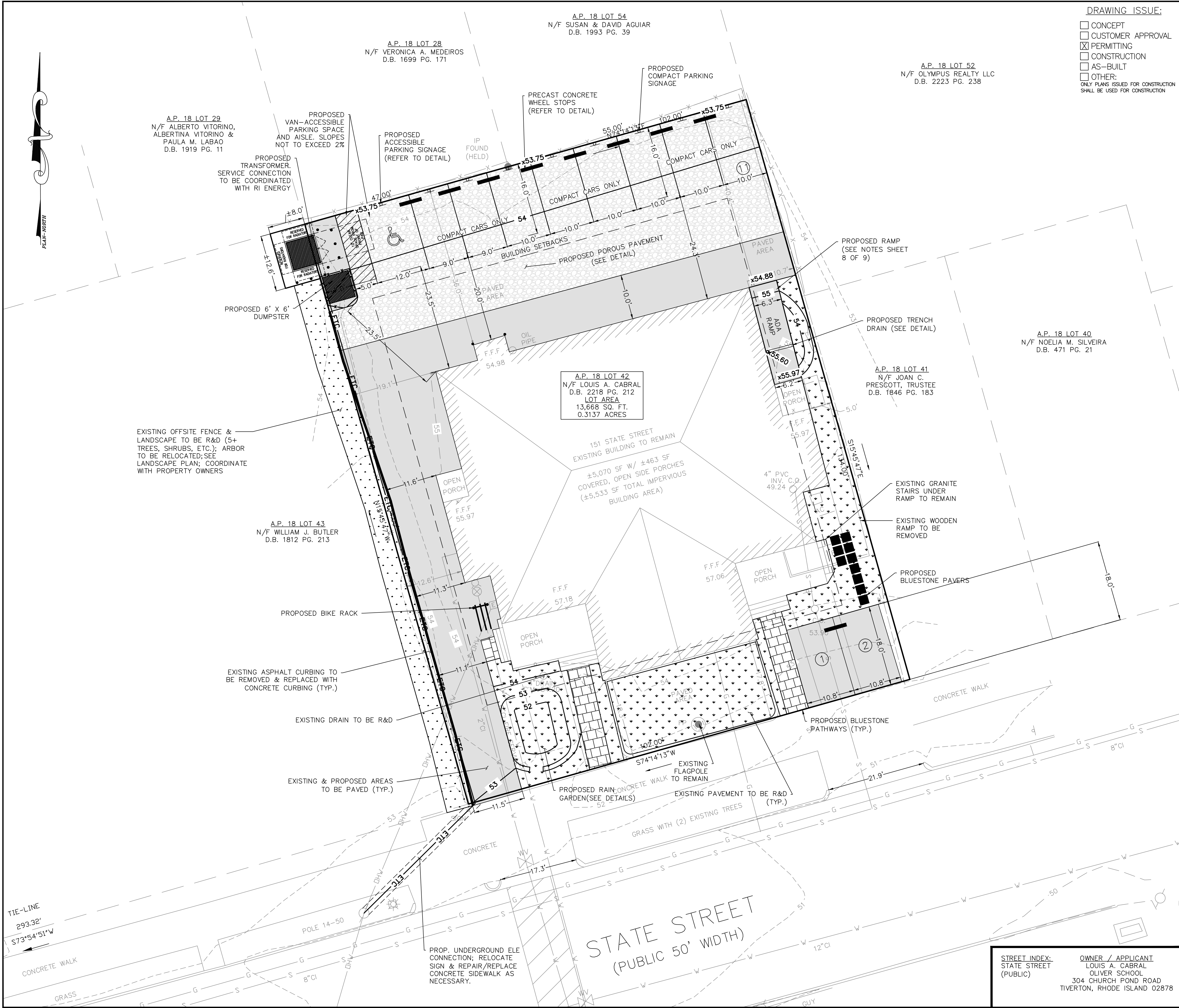
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- PROPOSED PARKING COUNT
- EXISTING GRASSED AREA
- EXISTING PROPERTY LINE
- EXISTING ABUTTER LINE
- EXISTING SPOT GRADE
- EXISTING CONTOUR LINE
- EXISTING FENCE LINE
- PROP. PARKING STRIPE
- PROP. LANDSCAPED AREA
- PROP. POROUS PAVEMENT
- PROP. ASPHALT

STREET INDEX:
STATE STREET
(PUBLIC)

OWNER / APPLICANT
LOUIS A. CABRAL
OLIVER SCHOOL
304 CHURCH POND ROAD
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BRISTOL, RHODE ISLAND"

PREPARED BY: PRINCIPLE COMPANY, SURVEYING DIVISION

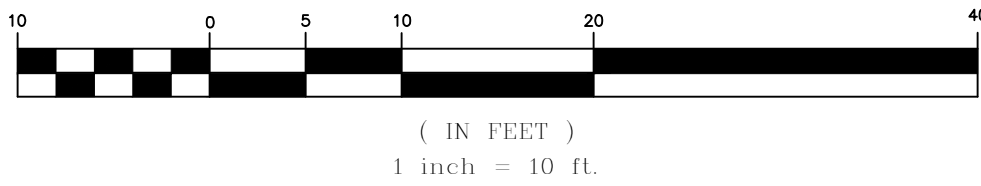
PLAN NOTES:

1. PER THE BRISTOL RI SEWER DEPARTMENT, THE CAPACITY OF THE EXISTING SYSTEM AND SEWER MAIN IN THE STATE STREET RIGHT OF WAY WILL BE SUITABLE FOR THE PROPOSED DEVELOPMENT. PER DEPARTMENT DIRECTOR, OWNER SHALL CONDUCT A CAMERA INSPECTION OF EXISTING SEWER LATERAL TO ASSESS FUNCTION DUE TO AGE.
2. EXISTING WATER, SEWER, GAS, AND ELECTRIC SERVICES ARE PROPOSED TO REMAIN AS PART OF THIS DEVELOPMENT PROPOSAL.
3. SNOW IS TO BE REMOVED & DISPOSED OF IN ITS ENTIRETY. THERE ARE NO STOCKPILE LOCATIONS PRESENT/AVAILABLE ON-SITE.

LEGEND

	EXISTING BUILDING		EXISTING GRASSED AREA
	EXISTING SEWER LINE		EXISTING PROPERTY LINE
	EXISTING GAS LINE		EXISTING ABUTTER LINE
	EXISTING DRAIN LINE		EXISTING SPOT GRADE
	EXISTING WATER LINE		EXISTING CONTOUR LINE
	EXISTING OVERHEAD WIRES		EXISTING FENCE LINE
	EXISTING ELECTRICAL LINE		PROP. PARKING STRIPE
	EXISTING WATER GATE		PROP. LANDSCAPED AREA
	EXISTING UTILITY POLE		PROP. POROUS PAVEMENT
			PROP. ASPHALT

GRAPHIC SCALE



Thomas J. Principe, III
No. 9107
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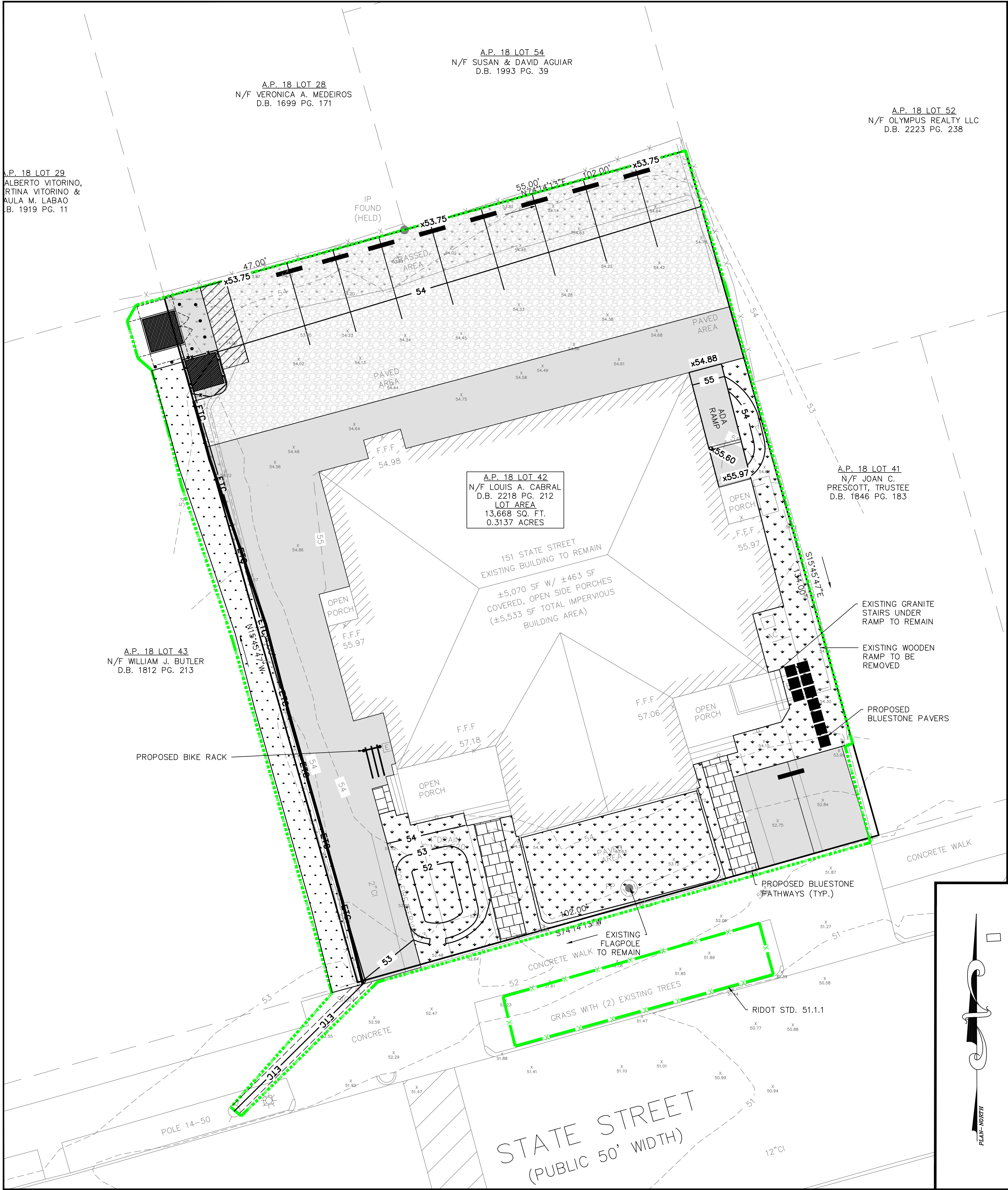
DRAINAGE & UTILITY PLAN

SCALE: 1"=10'		SHEET NO: 5 OF 9	
DRAWN BY: AMI	DESIGN BY: AMI		CHECKED BY: TJP
DATE: 04/19/24		PROJECT NO.: LD-2024-5	

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EROSION CONTROL AND SEDIMENT CONTROL PLAN:

1. PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING, DEMOLITION OR EARTHWORK ACTIVITY, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE PLANS ARE TO BE INSTALLED BY THE CONTRACTOR.
2. CONSTRUCTION ACCESS STABILIZATION ENTRANCE PADS ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE GRUBBING OR EARTHWORK ACTIVITY.
3. EXISTING CATCH BASINS ARE TO BE PROTECTED WITH STRAW BALES AND/OR SILT SACS PRIOR TO THE START OF SITE GRUBBING, EARTHWORK OR UNDERGROUND UTILITY AND DRAINAGE INFRASTRUCTURE INSTALLATION TO SERVE THE DEVELOPMENT SITE.
4. THE PROJECT CONSTRUCTION SEQUENCE, TO THE EXTENT PRACTICAL, SHOULD REQUIRE THE INSTALLATION OF DOWN GRADE AND OFF SITE STORM DRAINAGE SYSTEM IMPROVEMENTS BEFORE THE START OF SITE GRUBBING AND EARTHWORK ACTIVITY.
5. TEMPORARY SITE SLOPE TREATMENTS FOR SOIL STABILIZATION SHALL CONSIST OF STRAW, FIBER MULCH, RIP RAP OR PROTECTIVE COVERS SUCH AS MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, AND EXCELSIOR OR EQUAL PRODUCTS). THESE AND OTHER ACCEPTABLE MEASURES SHALL BE INCORPORATED INTO THE SITE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
6. CONSTRUCTION SITES ARE DYNAMIC, THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND OR MOVEMENT AND MAINTENANCE OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL MEASURES AS NEEDED TO MAXIMIZE THE INTENT OF THE PLAN FOR ALL SITE CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION, MAINTENANCE, REPAIR, AND REPLACEMENT OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL DEVICES UNTIL AN ACCEPTABLE PERMANENT VEGETATIVE GROWTH IS ESTABLISHED. THE CONTRACTOR SHALL MAINTAIN A DETAILED LOG OF ALL EROSION CONTROL INSPECTIONS, COMPLAINTS RELATED TO EROSION OR SEDIMENT, AND CORRECTIVE REMEDIAL MEASURES TAKEN THROUGHOUT THE COURSE OF THE PROJECT CONSTRUCTION.
8. SOIL EROSION AND SEDIMENT CONTROL IS NOT LIMITED TO DAMAGES CAUSED BY WATER BUT ALSO INCLUDES EROSION AND SEDIMENT RESULTING FROM WINDS. MEASURES, SUCH AS TEMPORARY GROUND COVERS, WATER AND CALCIUM APPLICATIONS ARE TO BE UNDERTAKEN AS NEEDED TO MINIMIZE WIND RELATED SOIL AND DUST CONTROL.
9. STOCK PILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. STOCK PILES SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%). STOCK PILES SHALL BE SURROUNDED ON THE DOWN GRADIENT OF THE EXISTING GROUND SURFACE BY STRAW BALES OR SILT FENCE. THE STOCK PILES SHALL ALSO BE SEEDING OR STABILIZED IN SOME MANNER TO PREVENT SOIL EROSION.
10. THE SMALLEST POSSIBLE SITE AREAS SHALL BE DISTURBED OR EXPOSED AT ONE TIME AND DENuded SLOPES OR WORK AREAS SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS INACTIVE PERIODS OR SITE WORK SHUT DOWNS.
11. TO THE EXTENT POSSIBLE, ALL DISTURBED AREAS MUST BE SEEDING OR STABILIZED WITHIN THE CONSTRUCTION SEASON. STABILIZATION OF ONE FORM OR ANOTHER SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. EXPOSED STEEP OR LONG SLOPES SHOULD BE TREATED WITH "CRIMPING" OR "TRACKING" TO REDUCE EROSION AND SEDIMENT AND TO TACK DOWN SEEDING OR MULCH APPLICATIONS.
13. IF CONCRETE IS TO BE USED ON SITE, THE CONTRACTOR MUST ESTABLISH AND MAINTAIN SPECIFIC WASHOUT AREAS FOR THE CONCRETE TRUCKS WITH APPROPRIATE PROTECTION CONTROLS.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON-SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THIS MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.
15. EXISTING TREES AND VEGETATION WILL BE RETAINED WHENEVER FEASIBLE.
16. SITE SOIL EROSION AND SOIL STABILIZATION AND SEDIMENT CONTROLS MUST CONFORM TO ALL REQUIREMENTS OF THE APPLICABLE LOCAL COMMUNITY ORDINANCES AND STATE REGULATIONS.

PLAN REFERENCE

- 1.) EXISTING CONDITIONS TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS PLAN FOR ASSESSOR'S PLAT 18 LOT 42 151 STATE STREET IN BRISTOL, RHODE ISLAND" PREPARED BY: PRINCIPLE COMPANY, SURVEYING DIVISION
 - 2.) PROPOSED LANDSCAPING PLANS PREPARED BY: SUNFLOWER DESIGNS
- 7 BARBARA DRIVE
BRISTOL, RI
401-525-0634

LEGEND

- | | |
|--------------------------|------------------------|
| EXISTING BUILDING | EXISTING GRASSED AREA |
| EXISTING SEWER LINE | EXISTING PROPERTY LINE |
| EXISTING GAS LINE | EXISTING ABUTTER LINE |
| EXISTING DRAIN LINE | EXISTING SPOT GRADE |
| EXISTING WATER LINE | EXISTING CONTOUR LINE |
| EXISTING OVERHEAD WIRES | EXISTING FENCE LINE |
| EXISTING ELECTRICAL LINE | PROP. PARKING STRIPE |
| EXISTING WATER GATE | PROP. LANDSCAPED AREA |
| EXISTING UTILITY POLE | PROP. POROUS PAVEMENT |
| | PROP. ASPHALT |
| | LIMIT OF DISTURBANCE |

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

STREET INDEX:
STATE STREET
(PUBLIC)

OWNER / APPLICANT
LOUIS A. CABRAL
OLIVER SCHOOL
304 CHURCH POND ROAD
TIVERTON, RHODE ISLAND 02878

ORDER OF PROCEDURE:

1. PRIOR TO ANY CLEARING AND GRUBBING OR ANY ROUGH GRADING, TEMPORARY STRAW BALES AND SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION AS PER THE PLANS (I.E. ALONG ROADWAYS, STREAM BANKS, CRITICAL AREAS, ETC.).
2. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS FOR TEMPORARY CONTROL.
3. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROL.
4. TEMPORARY STRAW BALES AND SANDBAGS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
5. STRAW BALES LOCATED AT DRAINAGE OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

SOIL STABILIZATION PROGRAM

1. DENuded SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDING OR PROTECTED BY THAT DATE, FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STD SPECIFICATION M 18.
4. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
5. THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING PERMANENT SEEDING MIXTURES:

- A. MOWED AREA (ALL FLATS OR SLOPES LESS THAN 3:1)

MIXTURE:	% BY WEIGHT:
RED FESCUE	75
KENTUCKY BLUEGRASS	15
COLONIAL BENTGRASS	5
PERENNIAL RYEGRASS	5
TOTAL:	100 lbs/Ac.

- B. UNMOWED AREA OR INFREQUENTLY MOWED (ALL SLOPES GREATER THAN 3:1)

MIXTURE:	% BY WEIGHT:
RED FESCUE	75
COLONIAL BENTGRASS	5
PERENNIAL RYEGRASS	5
BIRDFOOT TREFOIL	15
TOTAL:	100 lbs/Ac.

6. TEMPORARY TREATMENTS SHALL CONSIST OF A STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.

7. STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000 - 4,000 lbs/Ac.

8. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP MINIMIZE THE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

MIXTURE:	lbs./1,000 S.F.
ANNUAL RYEGRASS	1.0 - 1.5
PERENNIAL RYEGRASS	1.0 - 1.5
SUDAN GRASS	0.7 - 1.0
MILLET	0.7 - 1.0
WINTER RYE	3.0
OATS	0.5 - 5.0
WEEDING COVER GRASS	0.5 - 5.0

9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE YEAR AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.

10. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE R.I.D.P.W. STD SPECIFICATIONS SECTION 202.

11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.

12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS, THEY SHALL HAVE SIDE SLOPES NO GREATER THAN 30% AND STOCKPILES SHALL ALSO BE SEEDING AND/OR STABILIZED.

13. ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHALL BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

14. REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION

15. THE DRAINAGE SYSTEM SHALL RECEIVE ONE FINAL CLEANING PRIOR TO ACCEPTANCE TO THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.

ZONING CRITERIA

ZONING DISTRICT	R-6	EXISTING:	PROPOSED:
MIN. LOT AREA	6,000 S.F.	13,668 S.F.	REMAINS
MIN. LOT WIDTH	100'	102'	REMAINS
MIN. LOT FRONTAGE	60'	102'	REMAINS
MIN. FRONT BUILDING SETBACK	**	17.8'	REMAINS
MIN. SIDE BUILDING SETBACK	10'	5'	REMAINS
MIN. REAR BUILDING SETBACK	20'	36'	REMAINS
MAX. BUILDING COVERAGE	25%	40.4%	REMAINS
MAX. BUILDING HEIGHT	35'		REMAINS

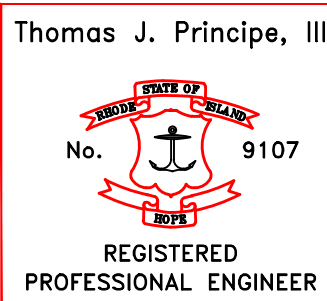
** FRONT YARD SETBACK IS THE AVERAGE SETBACK OF THE BLOCK OR 20', WHICHEVER IS LESS. SEE BRISTOL ZONING ORDINANCE ARTICLE IV, SECTION 28-111 TABLE B

GRAPHIC SCALE



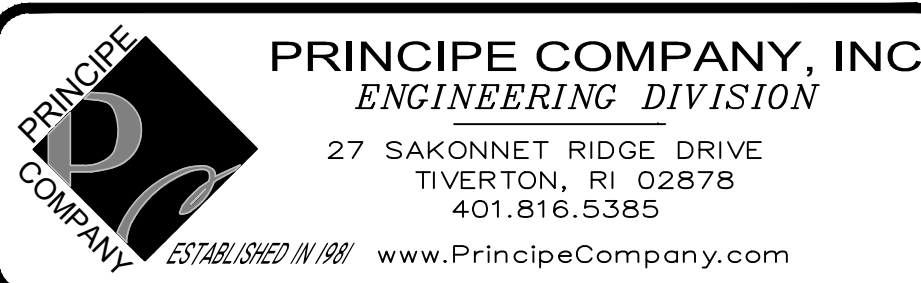
(IN FEET)

1 inch = 10 ft.



REVISIONS

No.	DATE	DRWN	CHKD
1	08/7/24	AMI	TJP
2	08/22/24	KAB	TJP
3	08/22/24	KAB	TJP



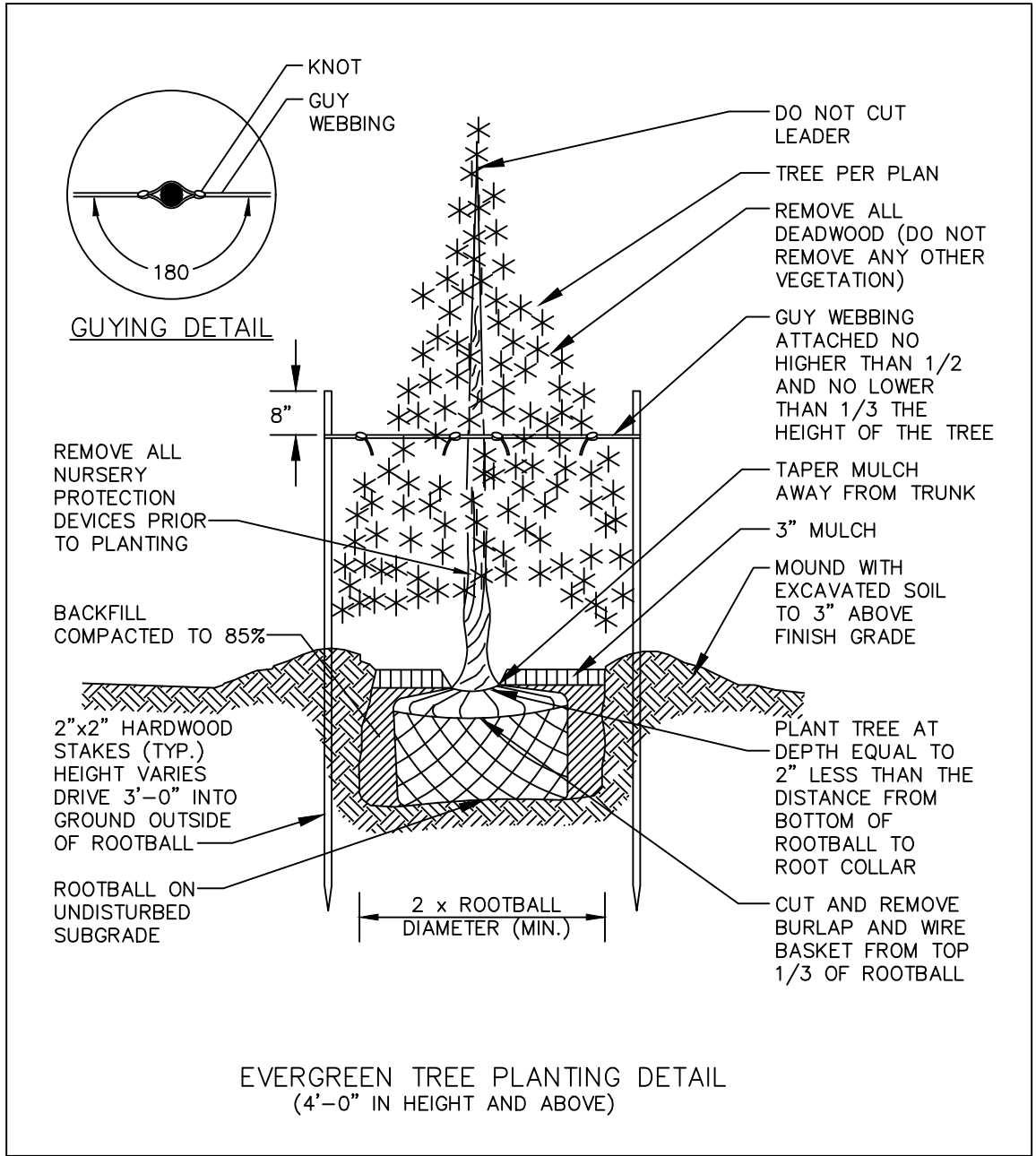
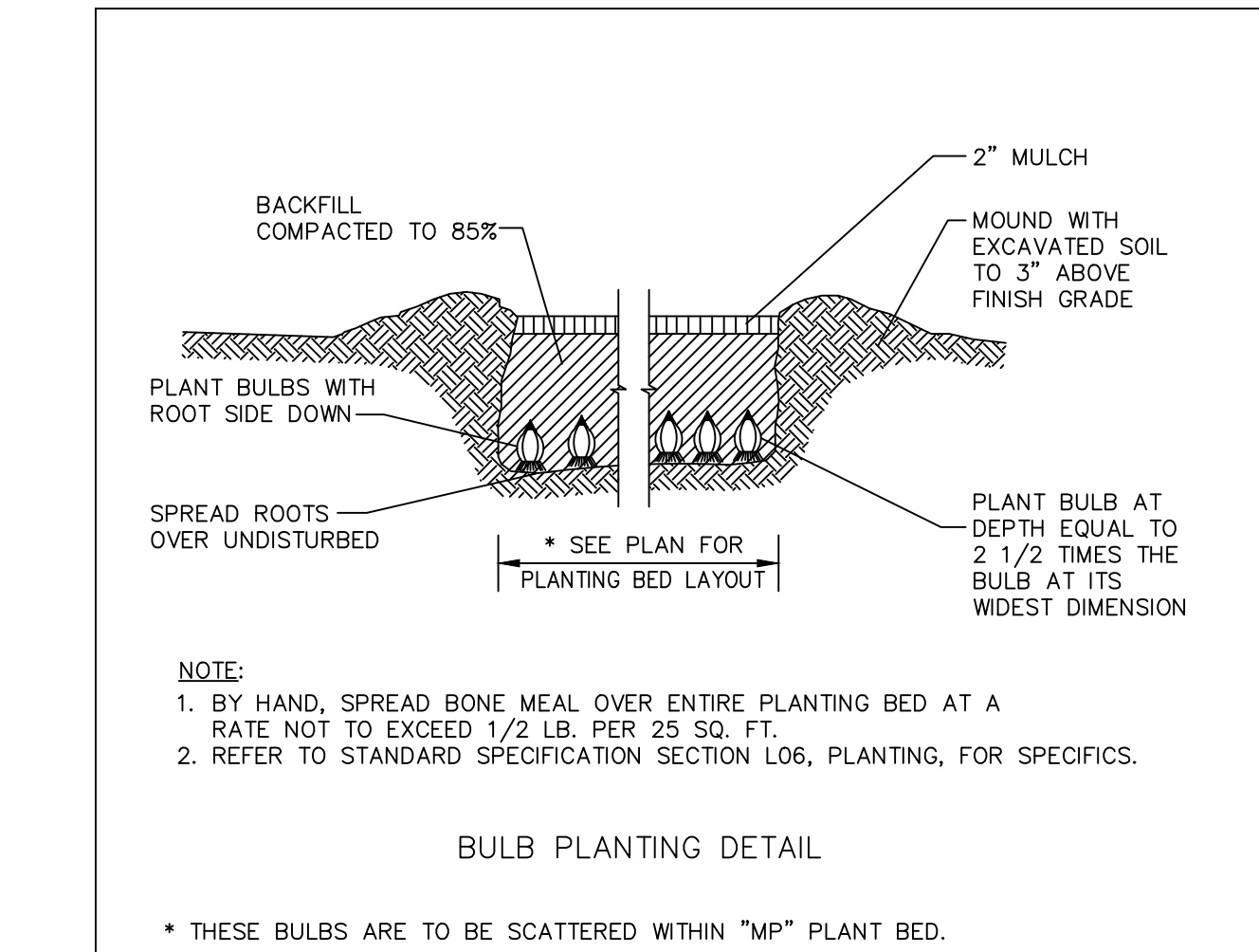
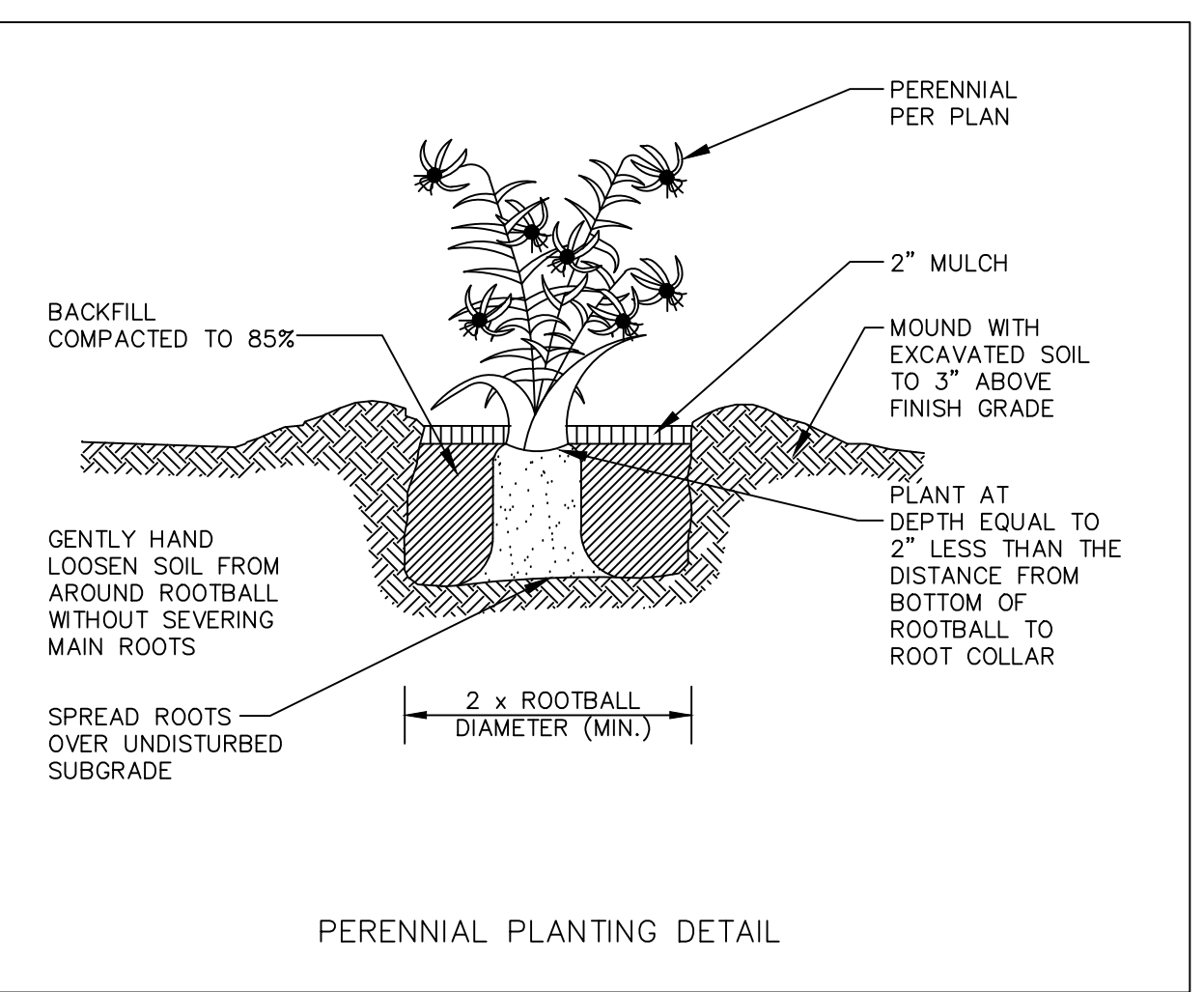
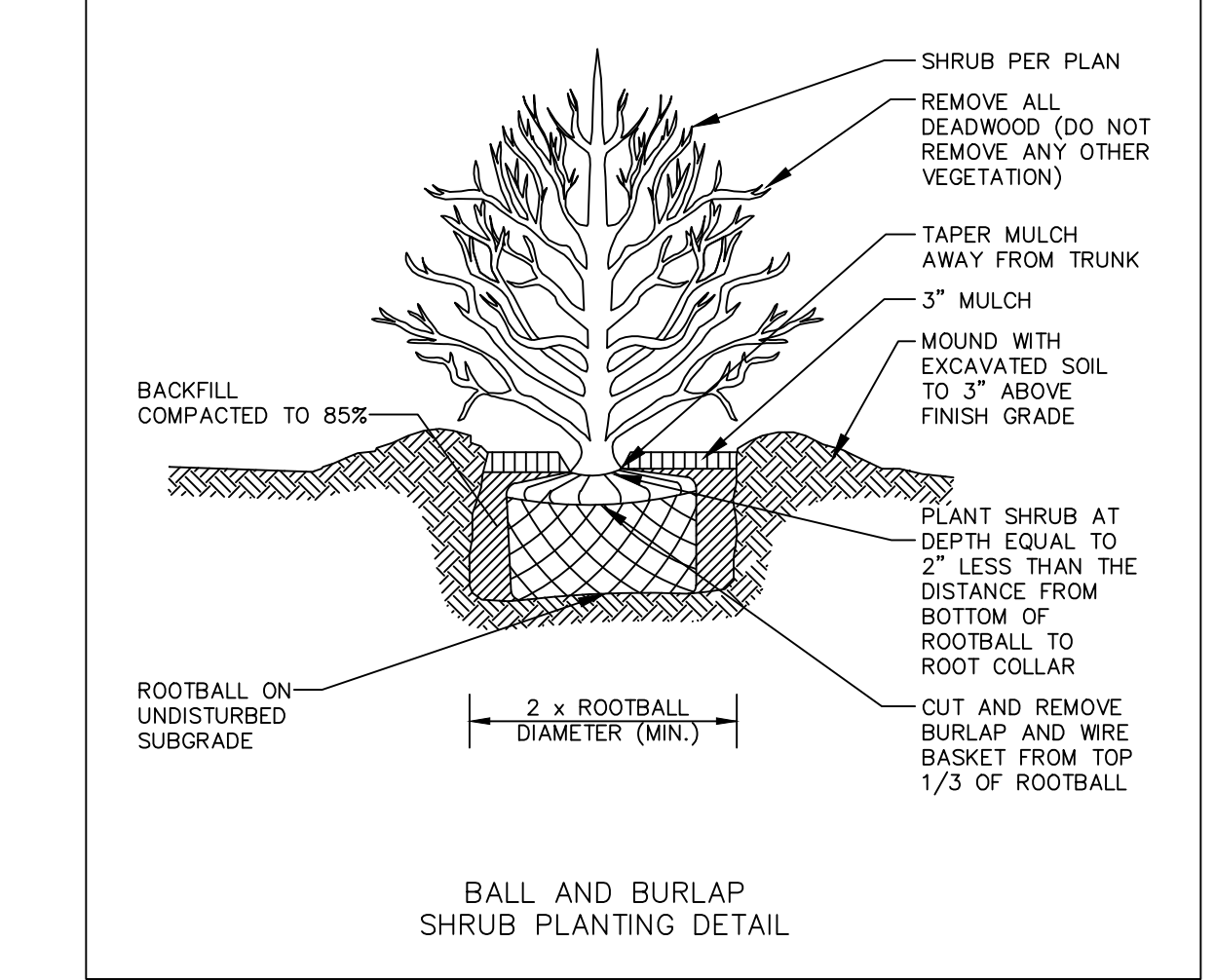
DEVELOPMENT PLAN REVIEW
151 STATE STREET
PLAT 18 LOT 42
in
BRISTOL, RHODE ISLAND

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=10'		SHEET NO: 6 OF 9	
DRAWN BY: AMI	DESIGN BY: AMI	CHECKED BY: TJP	
DATE: 04/19/24		PROJECT NO.: LD-2024-5	

LANDSCAPE NOTES:

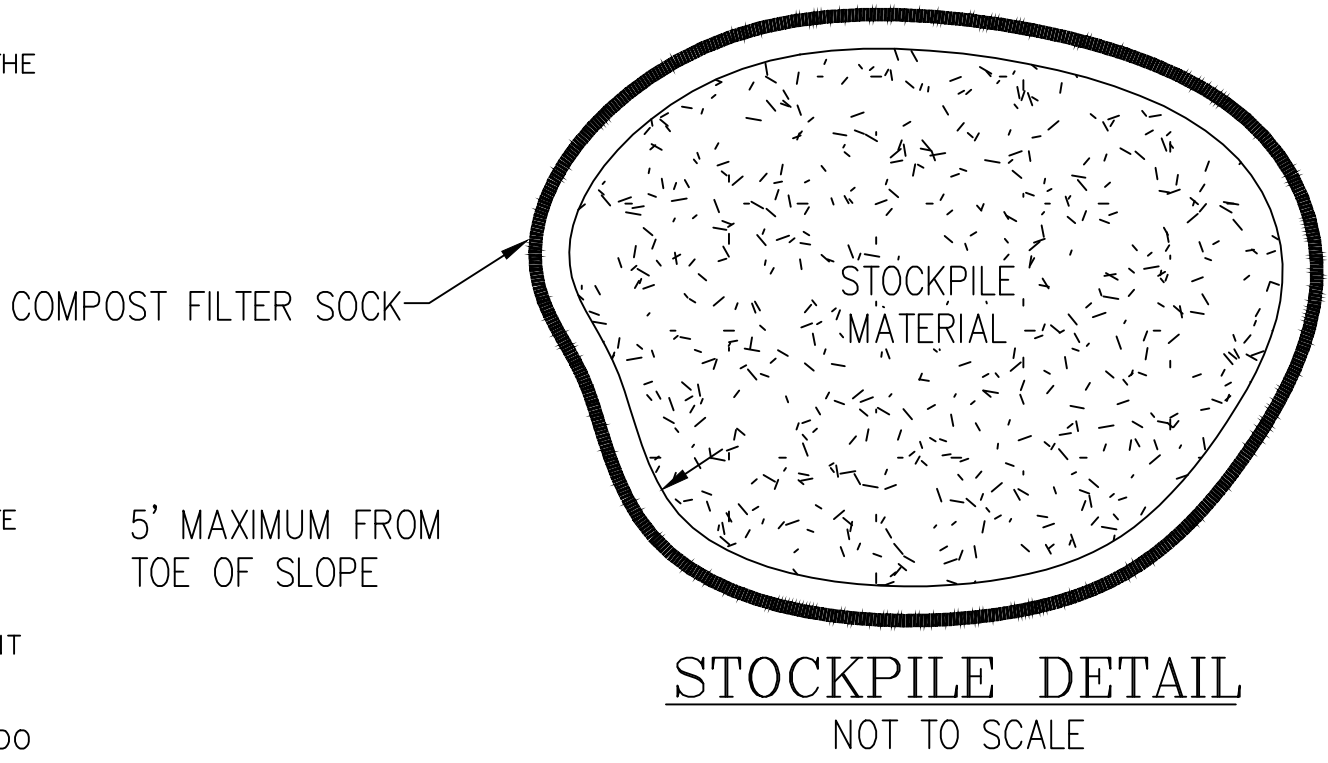
- 1) ALL PLANT MATERIAL TO CONFORM TO AAN STANDARDS.
- 2) ALL PLANT MATERIAL TO RECEIVE THREE INCHES OF SHREDDED PINE BARK MULCH, EXCEPT FOR THOSE PLANT MATERIALS WITHIN THE AREAS TO BE GRAVEL MULCHED.
- 3) GRAVEL MULCH AREAS TO RECEIVE THREE INCHES OF 3/8" INCH CRUSHED STONE, TIE IN COLOR. COLOR SAMPLE TO BE APPROVED BY LANDSCAPE ARCHITECT.
- 4) ALL PLANT MATERIAL TO BE GUARANTEED TO SURVIVE AT LEAST ONE GROWING SEASON, OR THEY SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
- 5) ALL PLANT MATERIAL SUBJECT TO VERIFICATION AS TO LOCATION AND SPECIES.
- 6) THERE WILL BE NO PLANT MATERIAL SUBSTITUTIONS WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT.
- 7) PLANTS LISTED WITHIN THE "MP" CATEGORY SHALL BE INSTALLED IN CLUMPS OF 5 PLANTS OF LIKE SPECIES SCATTERED THROUGHOUT THE INDICATED PLANT BED, EXCEPT FOR DAFFODILS, WHICH SHALL BE INDIVIDUALLY SCATTERED RANDOMLY.



	<p>PRINCE COMPANY, INC.</p> <p><i>ENGINEERING DIVISION</i></p> <p>27 SAKONNET RIDGE DRIVE TIVERTON, RI 02878 401.816.5385</p> <p><i>ESTABLISHED IN 1949</i> www.PrincipeCompany.com</p>																																																														
<h2 style="text-align: center;">DEVELOPMENT PLAN REVIEW</h2> <h1 style="text-align: center;">151 STATE STREET</h1> <h1 style="text-align: center;">PLAT 18 LOT 42</h1> <p style="text-align: center;">in</p> <h2 style="text-align: center;">BRISTOL, RHODE ISLAND</h2> <hr style="width: 30%; margin: 20px auto;"/> <h2 style="text-align: center;">PRELIM. LANDSCAPING PLAN</h2>																																																															
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>No.</th> <th>DATE</th> <th>DRWN</th> <th>CHKD</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>08/7/24</td> <td>AMI</td> <td>TJP</td> </tr> <tr> <td>2</td> <td>08/22/24</td> <td>KAB</td> <td>TJP</td> </tr> <tr> <td>3</td> <td>09/05/24</td> <td>KAB</td> <td>TJP</td> </tr> <!-- Empty rows as per image --> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	DATE	DRWN	CHKD	1	08/7/24	AMI	TJP	2	08/22/24	KAB	TJP	3	09/05/24	KAB	TJP																																									<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">SCALE: 1"=10'</td> <td>SHEET NO.: 7 OF 9</td> </tr> <tr> <td>DRAWN BY: KAB</td> <td>CHECKED BY: TJP</td> </tr> <tr> <td>DATE: 04/19/24</td> <td>PROJECT NO.: LD-2024-5</td> </tr> </table>	SCALE: 1"=10'	SHEET NO.: 7 OF 9	DRAWN BY: KAB	CHECKED BY: TJP	DATE: 04/19/24	PROJECT NO.: LD-2024-5
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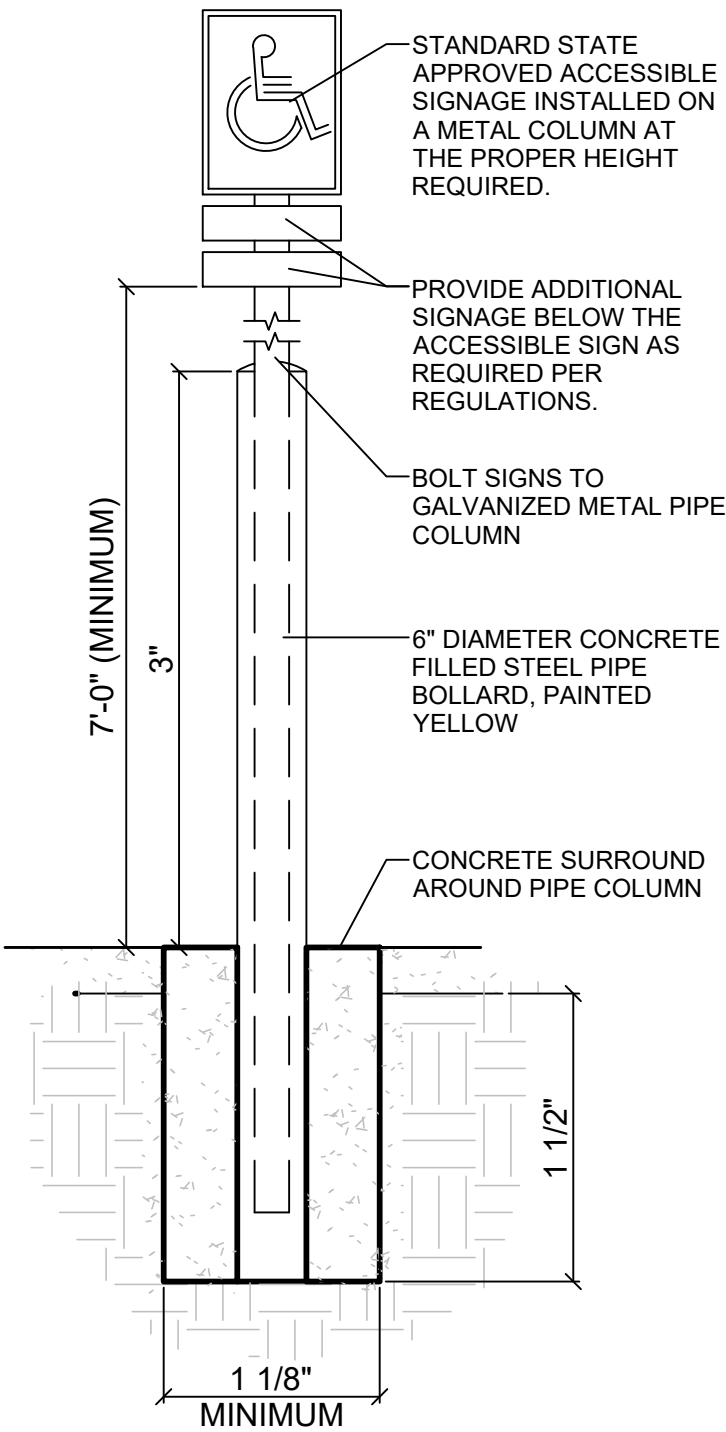
VEGETATIVE COVER AND PLANTING

1. THE NORMAL ACCEPTABLE SEASONABLE SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
2. TOP SOIL FOR PERMANENT OR LONG TERM TEMPORARY SEEDING SHOULD HAVE A SANDY LOAM TEXTURE, RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS. TOP SOIL SHALL CONFORM WITH RHODE ISLAND SPECIFICATIONS M18.01.
3. THE DESIGN SEED MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDDED SHALL BE COMPRISED OF THE FOLLOWING:
- | TYPE | % BY WEIGHT | SEEDING DATE |
|---------------------|-------------|-------------------|
| CREEPING RED FESCUE | 70 | |
| ASTORIA BENTGRASS | 5 | APRIL 1 – JUNE 15 |
| BIRDFOOT TREFOIL | 15 | AUG. 15 – OCT. 15 |
| PERENNIAL RYE GRASS | 10 | |
- APPLICATION RATE – 100 LBS PER ACRE
- SEED MIX SHALL BE INOCULATED WITHIN 24 – HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULATION FOR EACH SEED VARIETY. ALTERNATE SEED TYPES DUE TO SITE SPECIFIC CONDITIONS AND SOILS ARE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.
4. IN TOPSOIL SEEDING AREAS, THE CONTRACTOR WILL LIME AND FERTILIZE AS REQUIRED TO COMPLIMENT OR UPGRADE SOIL CONDITIONS.
5. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY PERMANENT VEGETATIVE COVER AREAS THAT DO NOT DEVELOP OR WHICH ERODE WITHIN A ONE (1) YEAR PERIOD.



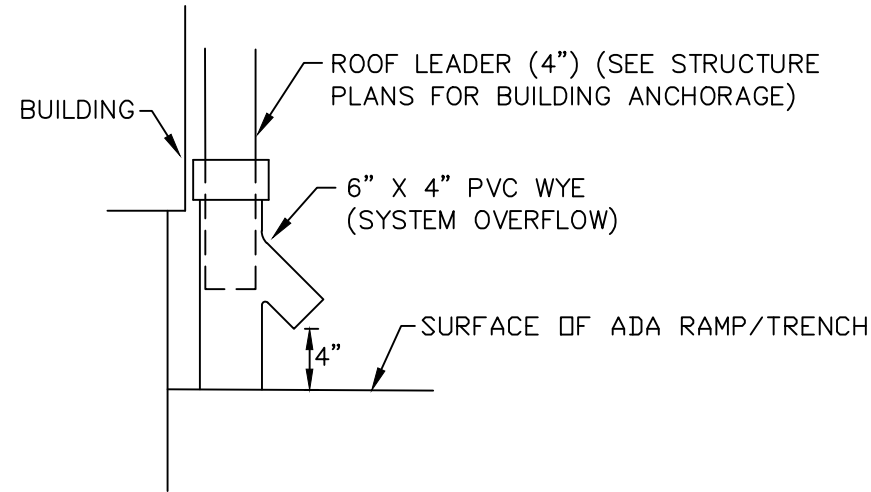
SEDIMENTATION CONTROL PROGRAM:

1. RIP RAP SPLASH PADS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS DISCHARGING INTO A WATERWAY.
2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL ENTERING THE WETLANDS.
3. ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL BE SEEDDED AND PROTECTED WITH A FIBER MULCH.
4. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
5. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
6. CARE SHOULD BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
7. ADDITIONAL STRAW BALES OF COMPOST FILTER SOCK SHALL BE LOCATED AS CONDITIONS WARRANT.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE AND INFILTRATION FACILITIES AS SCHEDULED FOR EACH FACILITY (SEE INFILTRATION BASIN MAINTENANCE, THIS SHEET).
9. REFERENCE THE "RI SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, AS A GUIDE.

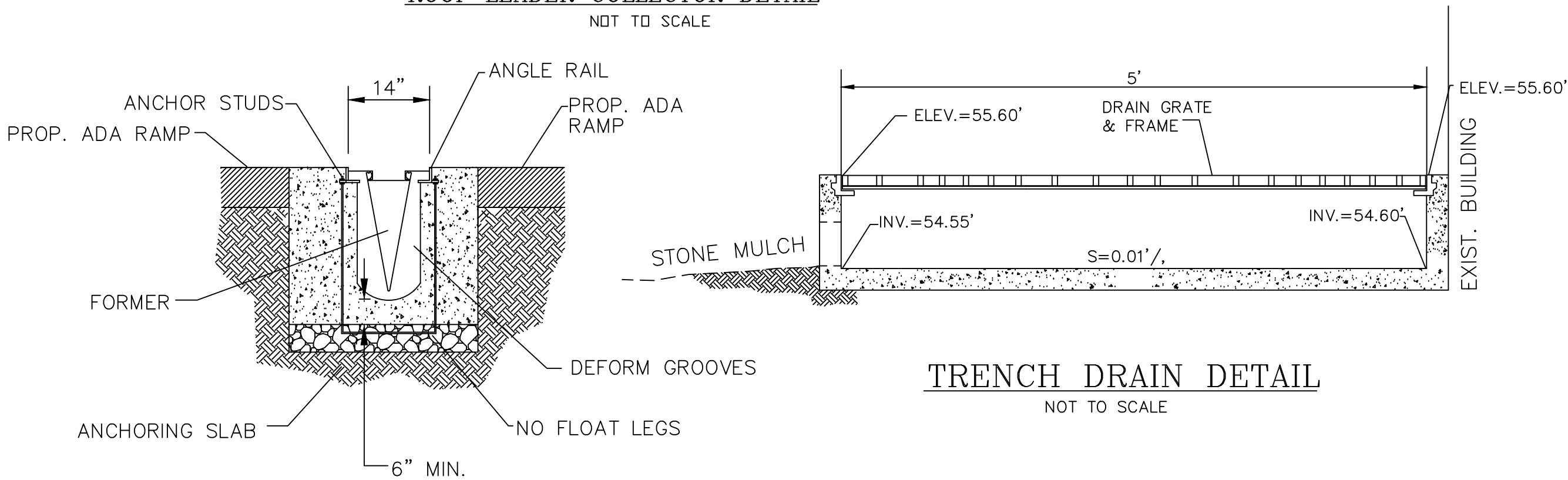


RAMP NOTES:

1. RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT TO EXCEED 1:12
2. CROSS SLOPE OF RAMP RUNS AND LANDINGS NOT EXCEED 1:48.
3. THE CLEAR WIDTH OF A RAMP RUN SHALL BE 36 INCHES MINIMUM.
4. THE RISE FOR ANY RAMP SHALL BE A MAXIMUM OF 30 INCHES.
5. RAMPS SHALL HAVE LANDING AT THE BOTTOM AND TOP OF EACH RUN.
6. CLEAR WIDTH OF LANDING SHALL BE AT LEAST AS WIDE AS THE WIDEST RAMP RUN LEADING TOE THE LANDING.
7. LANDING LENGTH SHALL BE 60 INCHES MINIMUM CLEAR.
8. RAMPS THAT CHANGE DIRECTIONAT LANDING SHALL HAVE A 60 INCH MINIMUM BY 60 INCHES MINIMUM LANDING.



ROOF LEADER COLLECTOR DETAIL



TRENCH DRAIN: CROSS SECTION VIEW

Figure F-2 Typical Parking Area Cross-Section for Pervious Pavement System

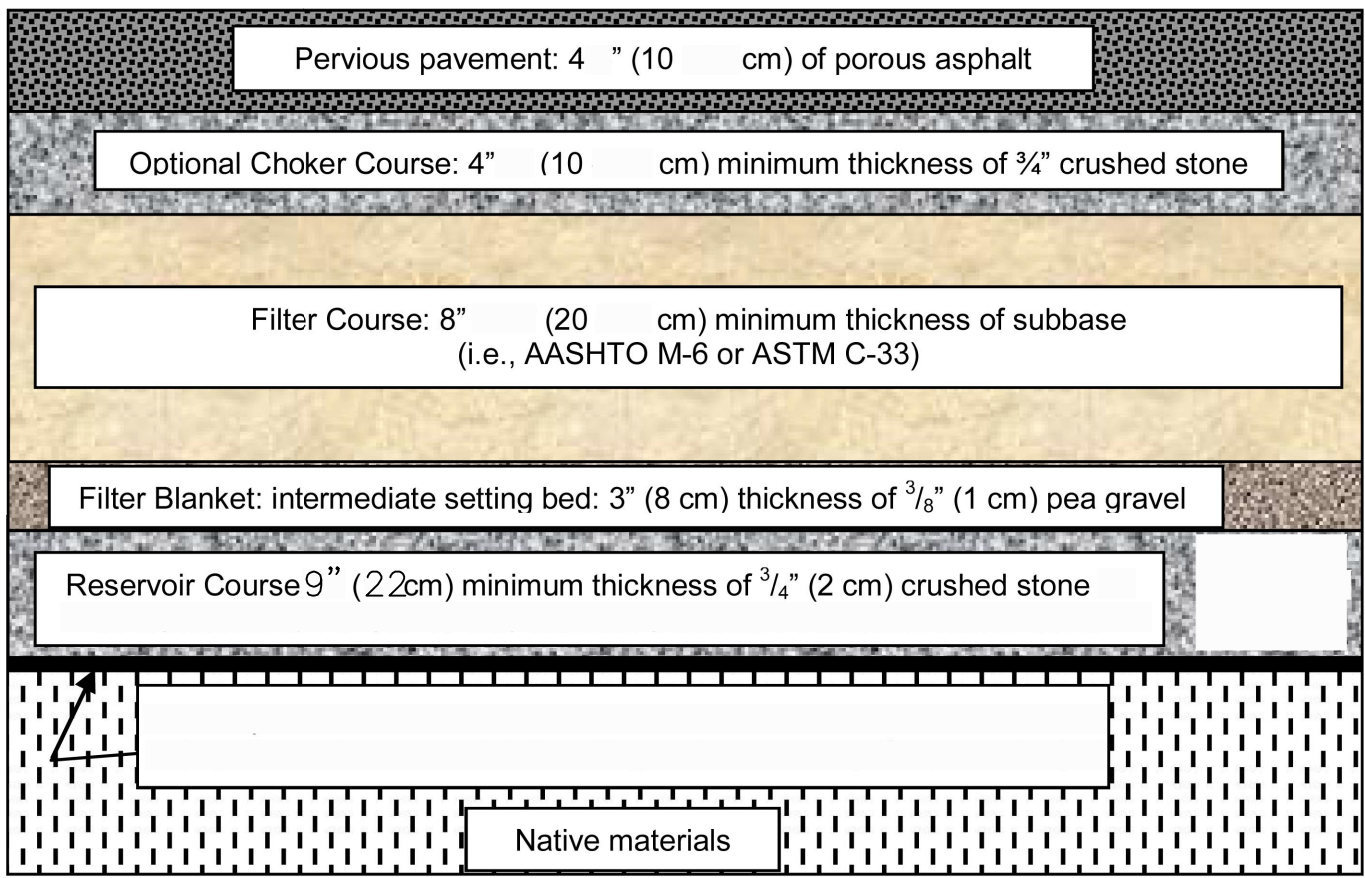


Table F-7 Gradations and compaction of choker, filter, and reservoir course materials.

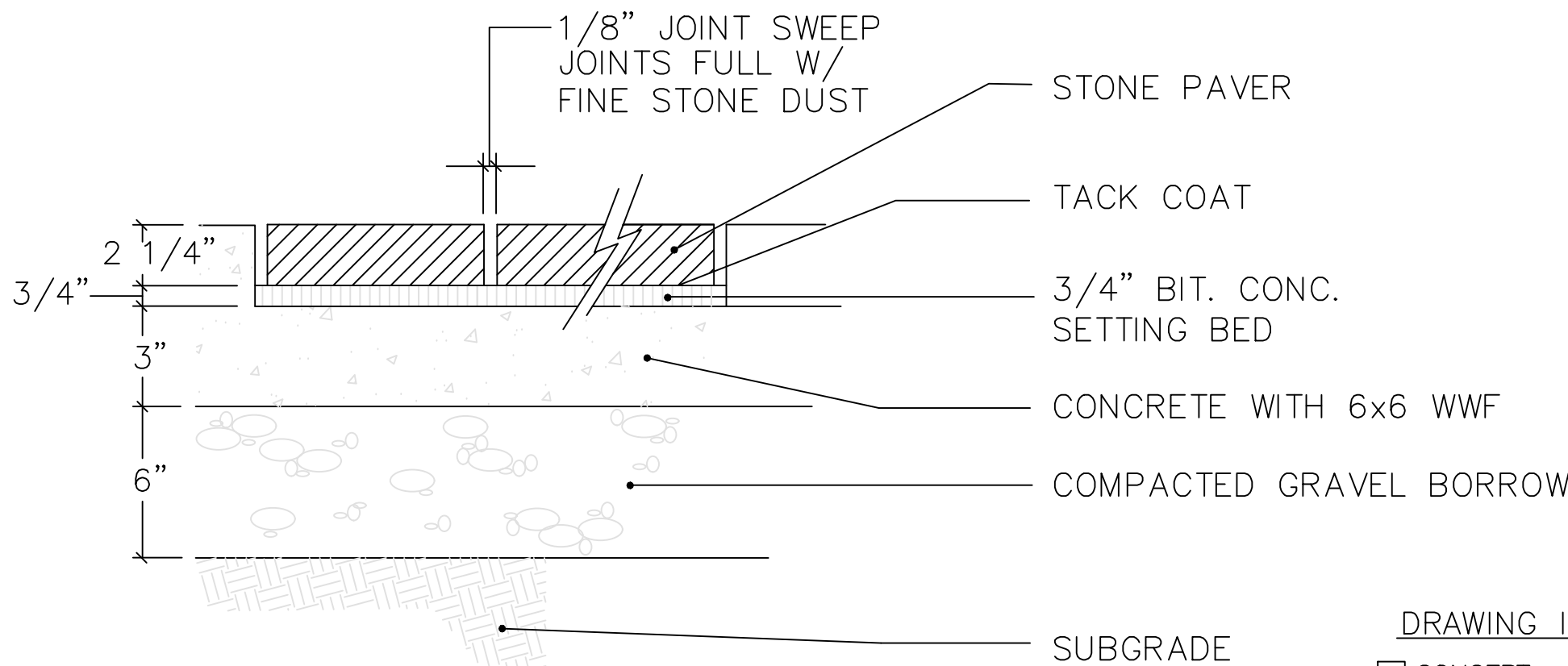
US Standard Sieve Size (inches/mm)	Percent Passing (%)			
	Choker Course (AASHTO No. 57)	Filter Course (AASHTO No. M-6)	Reservoir Course (AASHTO No.3)	Reservoir Course Alternative* (AASHTO No.5)
6/150	-		-	
2 1/2/63	-		100	-
2 /50	-		90 – 100	-
1 1/2/37.5	100		35 – 70	100
1/25	95 - 100		0 – 15	90 – 100
3/4/19	-		-	20 - 55
1/2/12.5	25 - 60		0 - 5	0 - 10
3/8/9.5	-	100	-	0 - 5
#4/4.75	0 - 10	70-100	-	
#8/2.36	0 - 5		-	
#200/0.075		0 – 6**		
% Compaction ASTM D698 / AASHTO T99	95	95	95	95

* Alternate gradations (e.g. AASHTO No. 5) may be accepted upon Engineer's approval.
** Preferably less than 4% fines

APPENDIX F: GUIDANCE ON BMP CONSTRUCTION SPECIFICATIONS

F-42

INFORMATION OBTAINED FROM 2015 RI STORMWATER DESIGN & INSTALLATION STANDARDS MANUAL

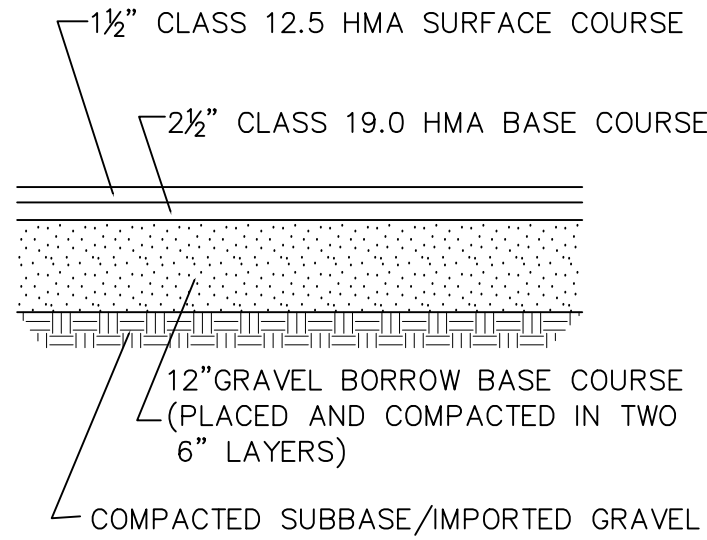


STONE PAVER ON RIGID BASE

SCALE: NTS

DRAWING ISSUE:

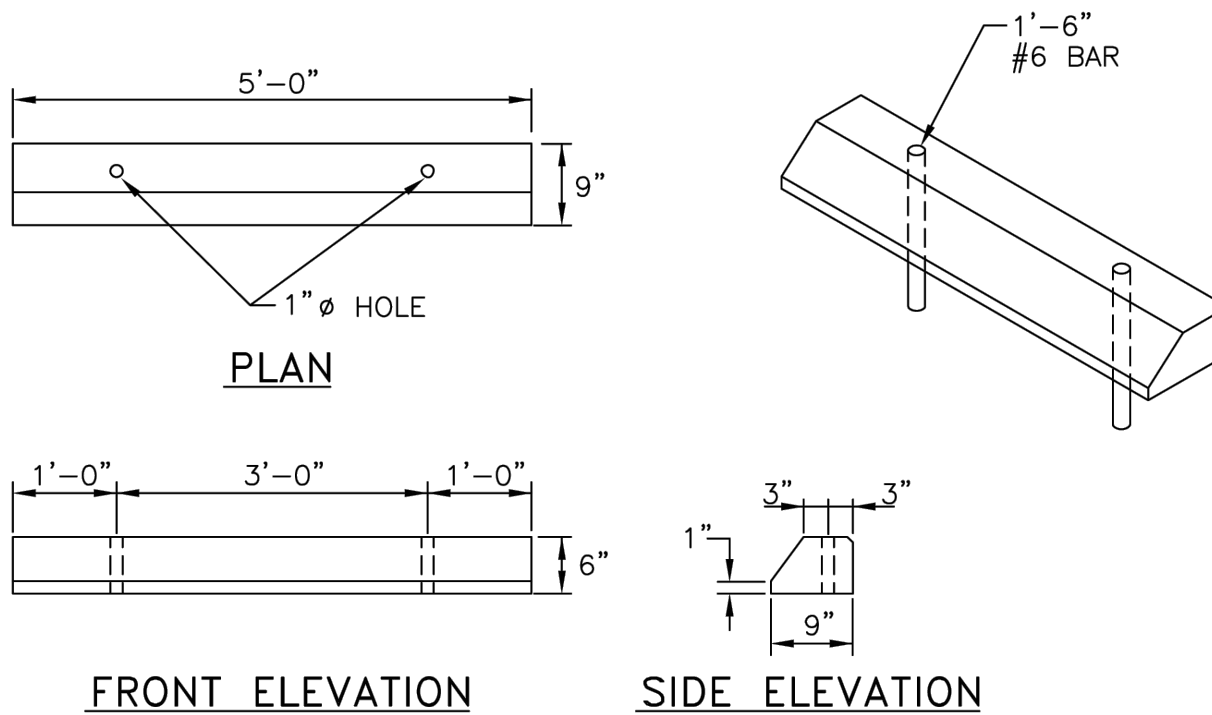
- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



SITE PAVEMENT TYPICAL CROSS SECTION

GENERAL NOTES:

1. ALL REQUIRED SITE IMPROVEMENTS SHALL BE INSPECTED BY THE TOWN ENGINEER TO ENSURE SATISFACTORY COMPLETION. IN NO CASE SHALL THE INSTALLATION OF ANY IMPROVEMENTS BE STARTED UNTIL PRIOR NOTIFICATION IS GIVEN TO THE TOWN ENGINEER. AT LEAST A 48-HOUR NOTICE SHALL BE GIVEN TO THE TOWN ENGINEER PRIOR TO ANY SUCH START OF CONSTRUCTION. A FINAL INSPECTION OF ALL SITE IMPROVEMENTS, UTILITIES AND GRADING WILL BE MADE TO DETERMINE WHETHER THE WORK IS SATISFACTORY AND IN SUBSTANTIAL AGREEMENT WITH THE APPROVED FINAL CONSTRUCTION DRAWING AND THE TOWN SPECIFICATIONS.
2. LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL CHECK AND VERIFY LOCATIONS OF ALL EXISTING UTILITIES BOTH UNDERGROUND AND OVERHEAD. ANY DAMAGE TO EXISTING UTILITIES AS SHOWN OR NOT SHOWN ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS OF SUCH DAMAGE SHALL BE BORNE BY THE CONTRACTOR. NO EXCAVATION SHALL BE DONE UNTIL ALL INVOLVED UTILITY COMPANIES ARE NOTIFIED 48-HOURS IN ADVANCE. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY DIG-SAFE (1-800-344-7233) A MINIMUM OF 48 WORKING HOURS, EXCLUDING WEEKENDS AND HOLIDAYS, PRIOR TO THE START OF ANY EXCAVATION AND/OR BLASTING WORK. THE NAME OF THE COMPANY PERFORMING THE EXCAVATION AND/OR BLASTING WORK MUST BE SUPPLIED TO DIG-SAFE, IF IT IS DIFFERENT FROM THE CALLER.
4. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY, BUT NOT LIMITED TO, THE STATE OF RHODE ISLAND, THE FEDERAL GOVERNMENT, THE TOWN OF WARREN AND ALL INDIVIDUAL UTILITY COMPANIES PRIOR TO COMMENCING ANY WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
7. ALL MATERIAL FOR FILL SHALL BE CLEAN AND FREE OF MATTER WHICH COULD POLLUTE ANY DOWN STREAM WATERCOURSE.
9. FILL MATERIAL SHALL BE COMPACTED IN ONE FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557 (MODIFIED PROCTOR TEST).

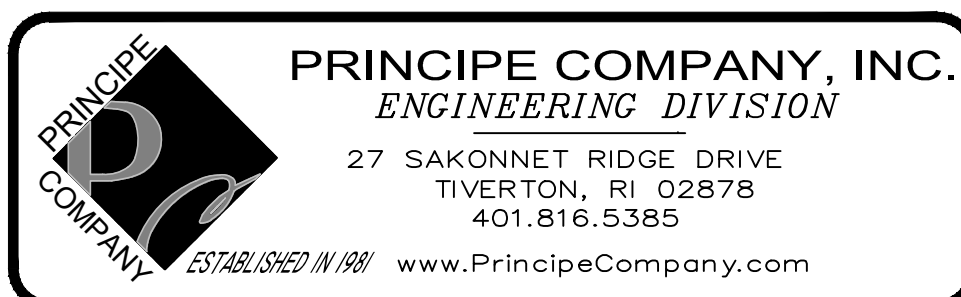
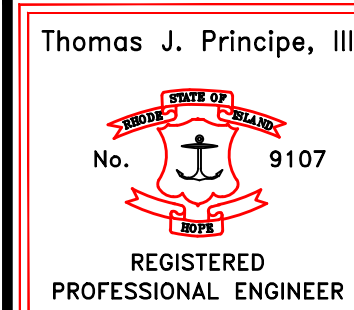


FRONT ELEVATION

SIDE ELEVATION

- ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER
-ALL SURFACES TO HAVE A SPONGE FLOAT FINISH

PRECAST CONCRETE WHEEL STOP DETAIL



REVISIONS

No.	DATE	DRWN	CHKD
1	08/7/24	AMI	TJP
2	08/22/24	KAB	TJP
3	09/05/24	KAB	TJP

DEVELOPMENT PLAN REVIEW
151 STATE STREET
PLAT 18 LOT 42
in
BRISTOL, RHODE ISLAND

CONSTRUCTION DETAILS

SCALE: AS NOTED		SHEET NO: 8 OF 9	
DRAWN BY: AMI	DESIGN BY: AMI		CHECKED BY: TJP
DATE: 04/19/24		PROJECT NO.: LD-2024-5	

C:\Users\admin\Principe Engineering Dropbox\Land Development\2024\5-151 State Street_Oliver School_Bristol_Lou Cabral\Current Working Drawings and PDFs\LD-2024-5-151 STATE STREET_BRISTOL_DPR_REV 090524.dwg, 9/5/2024 4:22:26 PM, DWG To PDF.pc3

PAVEMENT OR OTHER SURFACE

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION
SHALL BE USED FOR CONSTRUCTION

PLANT SPECIES TO BE USED

BOTANICAL NAME	COMMON NAME
ASTER DIVARICATUS	WHITE WOOD ASTER
IRIS VERSICOLOR	BLUE FLAG IRIS
LOBELIA CARDINALIS	CARDINAL FLOWER
OSMUNDA CINNAMOMEA	CINNAMON FERN

*PLANT SPECIES IN ONE GALLON CONTAINERS TO BE
INSTALLED AT 2' O.C. IN GROUPS OF THREE WITHIN THE
BIORETENTION AREA.

BMP REQUIRED MAINTENANCE:

MONTHLY:

INSPECT AND REMOVE ANY TRASH
REMOVE ANY INVASIVE SPECIES PLANTS

ANNUALLY:

MULCH- SPRING, AS NEEDED
REPLACE ANY DEAD VEGETATION-SPRING
REMOVE DEAD VEGETATION-FALL OR SPRING
PRUNE-SPRING

AS NEEDED:

REPLACE SOIL MEDIA AND PLANTS WHEN PONDING DOES
NOT SUBSIDE WITHIN 72 HRS
(CAREFUL MAINTENANCE SHOULD PROLONG THIS
REQUIREMENT)

*ALL PLANT MATERIAL SHALL BE WATERED AND MAINTAINED
BY THE OWNER TO ASSURE THAT SUITABLE GROWTH HAS
BEEN ESTABLISHED.

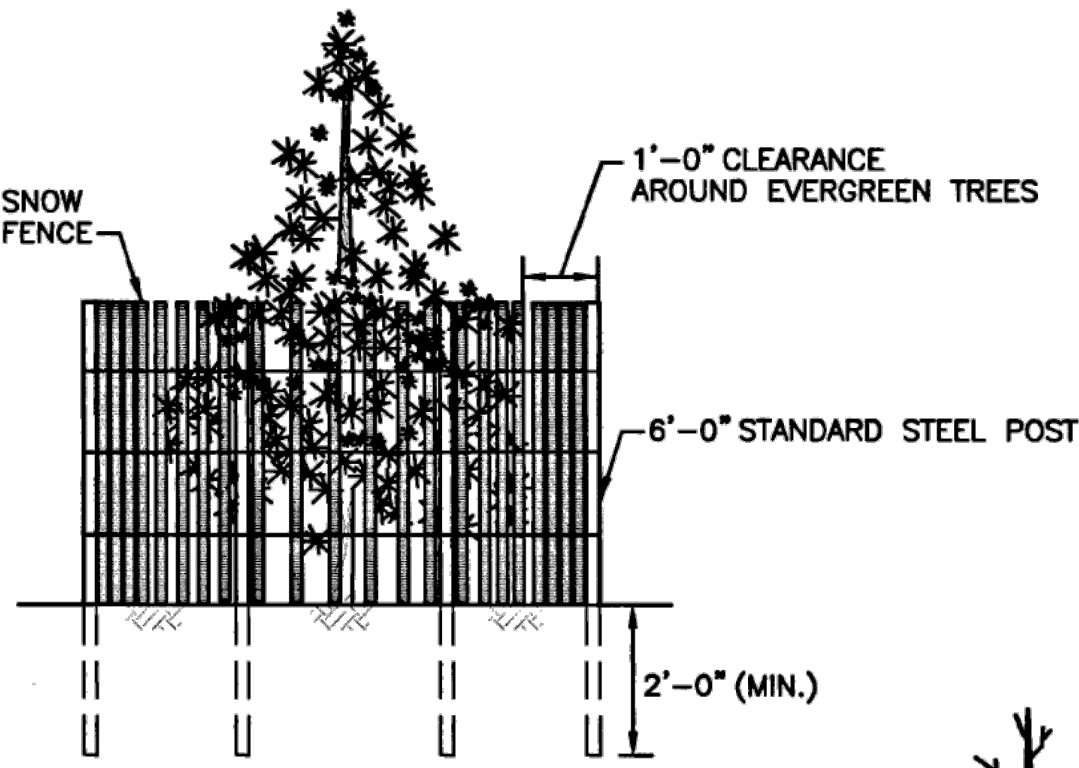
ESTIMATED SEASONAL HIGH GROUNDWATER TABLE

RAIN GARDEN/BIORETENTION AREA DETAIL

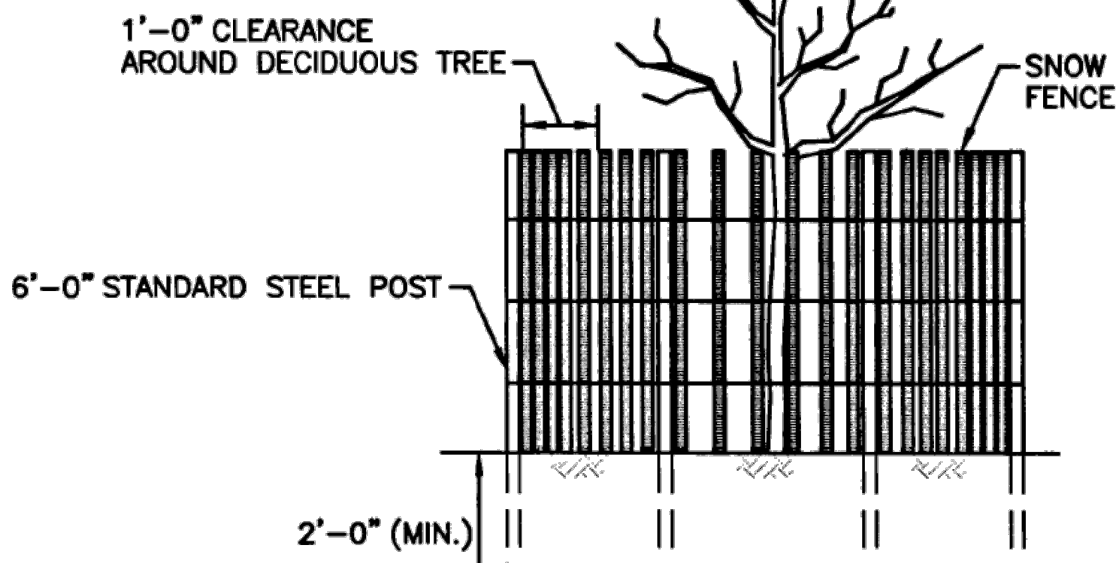
NOT TO SCALE

NOTES:

- BIORETENTION AREA TO BE PROTECTED FROM CONSTRUCTION TO PREVENT COMPACTION AND SURROUNDED BY
COMPOST FILTER SOCK UNTIL UPSLOPE AREAS ARE STABILIZED.
- BIORETENTION DESIGN AND INSTALLATION SHALL CONFORM TO THE STATE OF RHODE ISLAND STORMWATER DESIGN AND
INSTALLATION STANDARDS MANUAL (LATEST REVISION).



EVERGREEN TREE



DECIDUOUS TREE

NOTE:
SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE R.I. STANDARD SPECIFICATIONS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

DRIP LINE TREE PROTECTION DEVICE
FOR EXISTING TREES

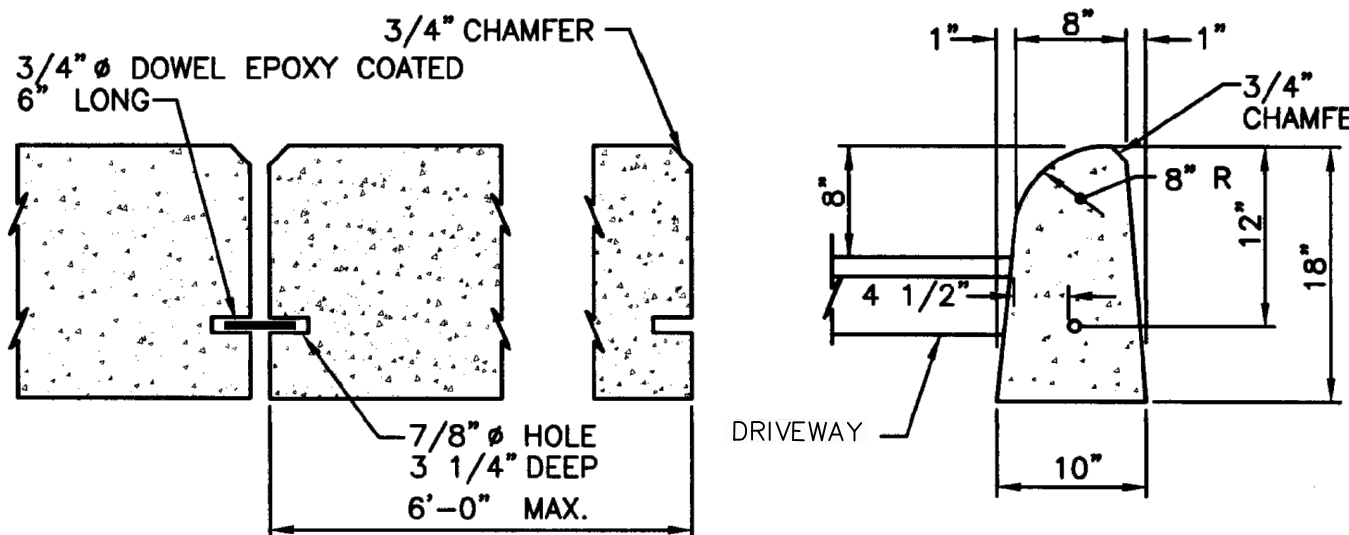
REVISIONS
NO.
BY
DATE

James H. Capaldi
CHIEF ENGINEER
TRANSPORTATION

James H. Capaldi
CHIEF DESIGN ENGINEER
TRANSPORTATION

JUNE 15, 1998
ISSUE DATE

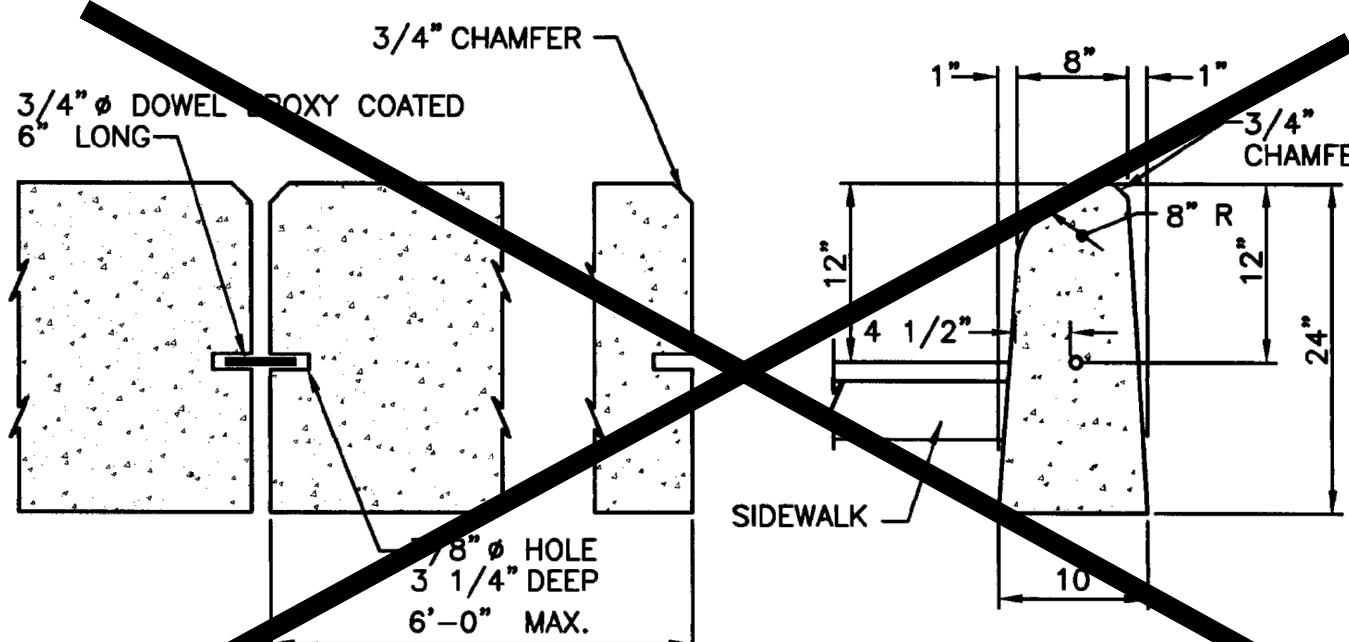
R.I.
STANDARD
51.1.1



LONGITUDINAL SECTION @ JOINT

END SECTION

1'-6" LOT CURB



LONGITUDINAL SECTION @ JOINT

END SECTION

2'-0" LOT CURB

NOTES:

- SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
- 1/8" JOINTS DOWELED WITH A 3/4" DOWEL 6" LONG.
- TOP AND EXPOSED SURFACES TO H+2" TO HAVE A SPONGE FLOAT FINISH.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

PRECAST CONCRETE LOT CURB

REVISIONS
NO.
BY
DATE

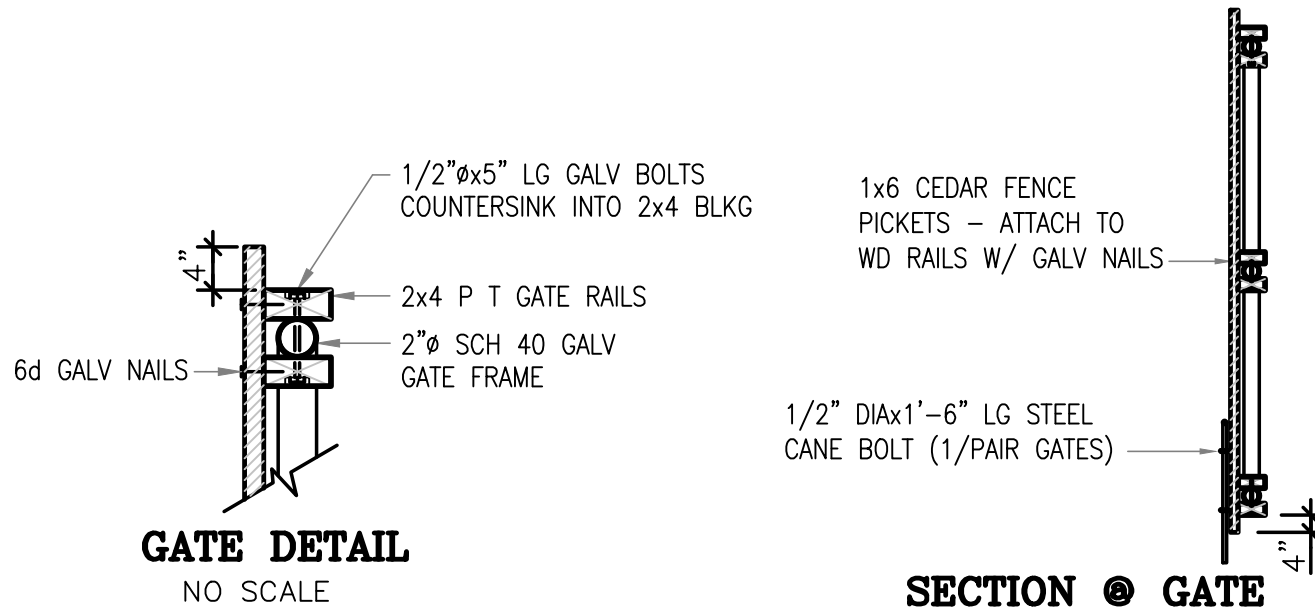
James H. Capaldi
CHIEF ENGINEER
TRANSPORTATION

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JUNE 15, 1998
ISSUE DATE

R.I.
STANDARD
7.2.3

F.5.2.2 Bioretention Soil
The soil should be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances should be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The bioretention soil should be free of noxious weeds.
The bioretention system shall utilize planting soil having a composition as follows:
Sand: 85-88%
Soil fines: 8 to 12% (no more than 2% clay)
Organic Matter*: 3 to 5%
*Note: For bioretention applications with a soil depth of less than 4 feet, add 20% (by volume) of well aged (3 months), well aerated, leaf compost (or approved equivalent) to the above planting soil mixture. Where soil fines content is less than 12%, add a corresponding % of leaf compost.
A textural analysis is required to ensure the bioretention soil meets the specification listed above. The bioretention soil should also be tested for the following criteria:
pH range 5.2 - 7.0
magnesium not to exceed 32 ppm
phosphorus P205 not to exceed 69 ppm
potassium K20 not to exceed 78 ppm
soluble salts not to exceed 500 ppm

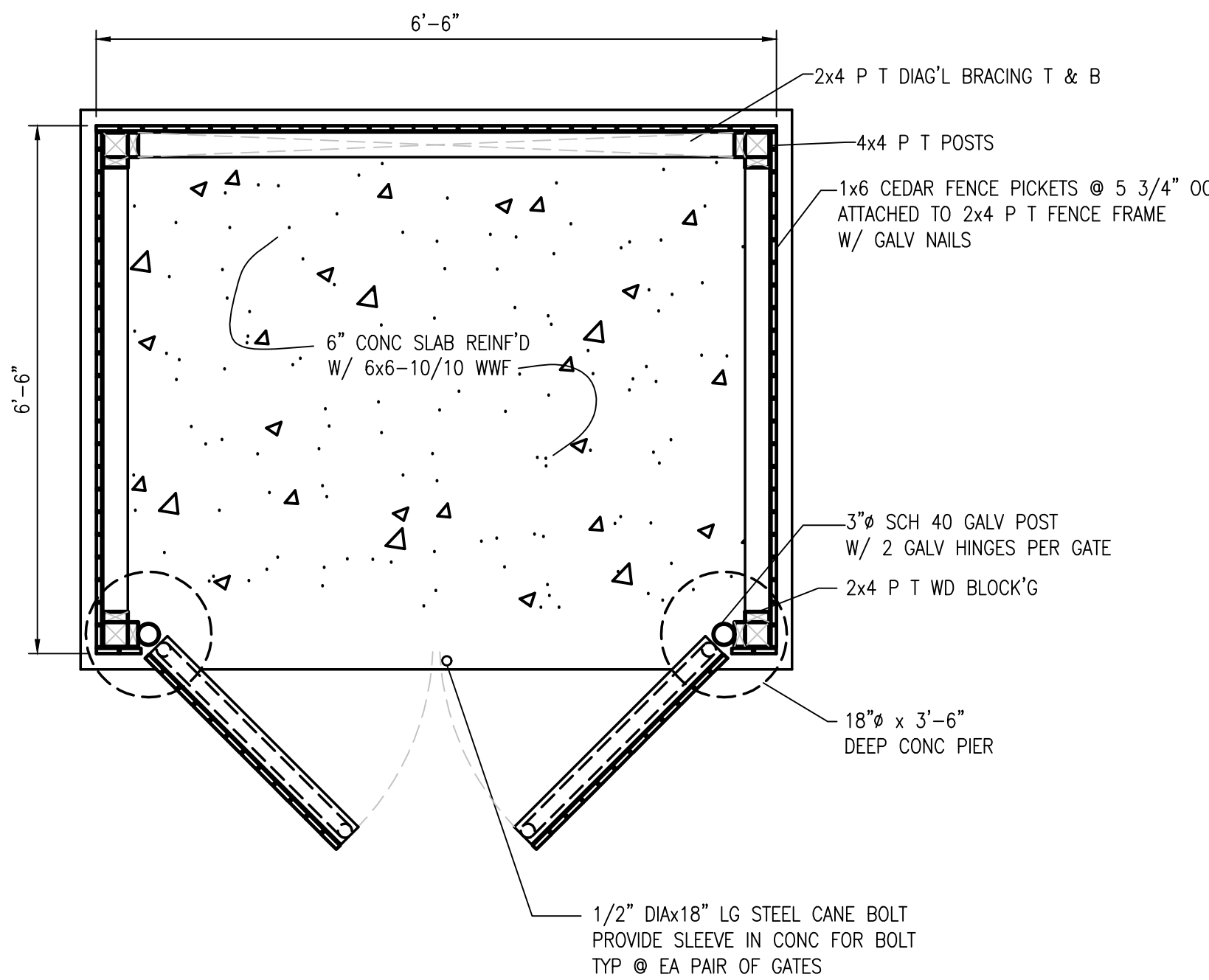


GATE DETAIL

NO SCALE

SECTION @ GATE

NO SCALE



TRASH ENCLOSURE PLAN

NO SCALE

Thomas J. Principe, III
No. 9107
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
www.PrincipeCompany.com

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