# MT. HOPE HIGH SCHOOL

## 199 Chestnut Street

Assessor's Plat 117, Lots 3, 4, 5, 6, & 7 Bristol, Rhode Island

## OWNER/ APPLICANT:

BRISTOL WARREN REGIONAL SCHOOL DISTRICT 235 HIGH STREET BRISTOL PL02809

**CIVIL ENGINEER:** 



PARE CORPORATION
ENGINEERS - SCIENTISTS - PLANNERS
8 BLACKSTONE VALLEY PLACE
LINCOLN, RI 02865
401-334-4100

**ARCHITECT:** 



**SURVEYOR:** 



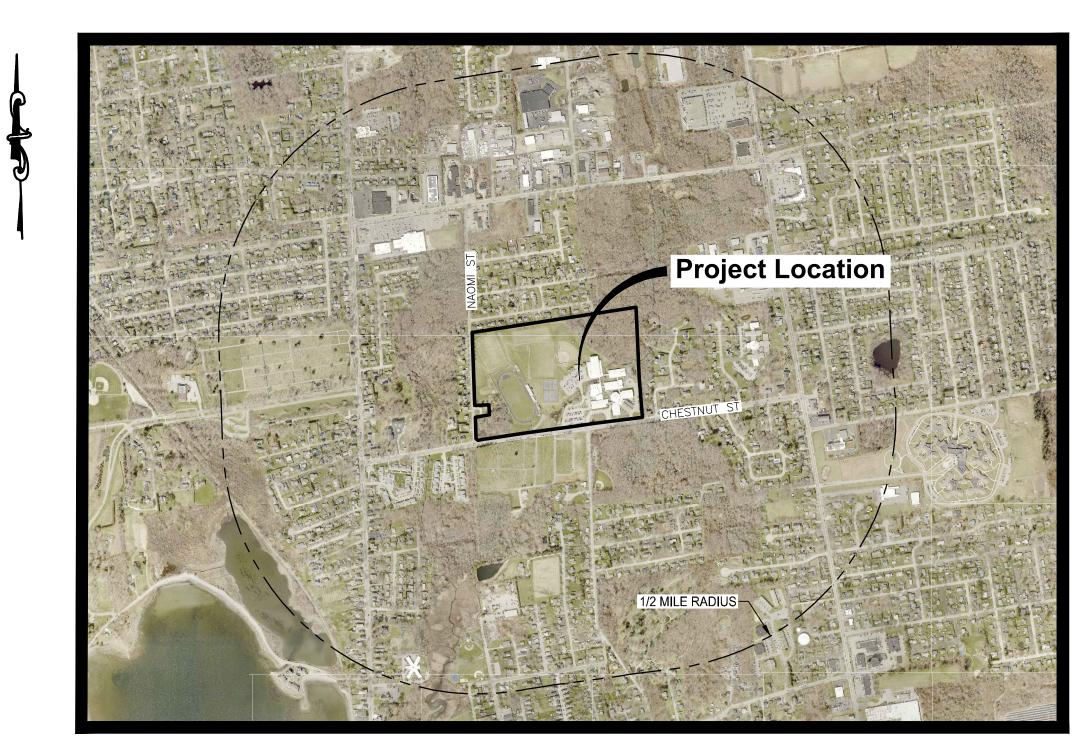
1084 CROMWELL AVE ROCKY HILL, CT 06067

LANDSCAPE ARCHITECT:



**WETLAND CONSULTANT:** 





Scale : N.T.S.

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MASTER PLAN SUBMISSION AUGUST 2, 2024 REVISED SEPTEMBER 4, 2024

#### REFERENCE

- PROJECT LOCATION: MT. HOPE HIGH SCHOOL, 199 CHESTNUT ST, BRISTOL, RI 02809. ASSESSOR'S MAP 117, LOTS 3, 4, 5, 6, AND 7.
- EXISTING CONDITIONS MAPPING TAKEN FROM PLAN ENTITLED "MT. HOPE HIGH SCHOOL" PREPARED BY MARTINEZ. COUCH AND ASSOCIATES LLC. DATED 07/10/2024.
- WETLAND FLAGS IDENTIFYING WETLAND RESOURCE AREAS WERE PLACED BY LEC ENVIRONMENTAL CONSULTANTS ON FEBRUARY 12 AND 28, 2024 AND LOCATED BY MARTINEZ,

#### **GENERAL NOTES**

- PER AVAILABLE RIDEM MAPPING, THE PROJECT SITE IS LOCATED WITHIN A NATURAL HERITAGE AREA. THE PROJECT IS ALSO LOCATED WITHIN THE SILVER CREEK WATERSHED
- THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. AMENDED AUGUST 2024 WITH ALL REVISIONS AND ADDENDA. AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL MEET OR EXCEED THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WITH LATEST REVISIONS. THE LATEST REVISION OF THE STANDARD SPECIFICATIONS MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS. PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH THE ENGINEER AND OWNER'S REPRESENTATIVE AS REQUIRED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ALL OPEN EXCAVATED AREAS IN ACCORDANCE WITH OSHA FEDERAL, STATE, AND LOCAL REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS DO NOT CONFLICT WITH ANY KNOWN EXISTING OR OTHER PROPOSED IMPROVEMENTS. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEER'S
- IF ANY DEVIATION OR ALTERATION OF THE WORK PROPOSED ON THESE DRAWINGS IS REQUIRED, THE CONTRACTOR SHALL IMMEDIATELY CONTACT AND COORDINATE ANY DEVIATIONS WITH THE ENGINEER AND OWNER.
- ANY AREA OUTSIDE OF THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATIONS PREPARED FOR THIS PROJECT.
- 9. ALL SIGNS SHALL BE REFLECTORIZED TYPE III SHEETING AND CONFORM WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST REVISION.
- ALL UTILITIES (LOCATION AND ELEVATION) DEPICTED SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES, ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES AND THE COST TO REPAIR THE DAMAGES TO INITIAL CONDITIONS, AS DEPICTED ON THE PLANS, SHALL BE THE CONTRACTOR'S RESPONSIBILITY
- NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED IN ADVANCE. NOTE THAT NOT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL RESPECTIVE UTILITY COMPANIES TO VERIFY AND LOCATE EXISTING UTILITIES.

#### LAYOUT NOTES

#### ALL LINES ARE PERPENDICULAR OR PARALLEL TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.

- ACCESSIBLE RAMPS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY STANDARDS.
- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL PERFORM BENCHMARK FIELD LEVEL VERIFICATION AND COORDINATE LAYOUT CHECK. THE CONTRACTOR SHALL CONTACT PARE CORPORATION IF ANY DISCREPANCIES ARE FOUND.
- DIMENSIONS OF PARKING SPACES AND DRIVEWAYS ARE FROM FACE OF CURB TO FACE OF CURB. DIMENSIONS FROM BUILDING ARE FROM FACE OF BUILDING TO FACE OF CURB.
- ALIGN WALKWAYS ON DOORWAYS THEY SERVE TO PROVIDE MINIMUM REQUIRED MANEUVERING CLEARANCE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES.

#### DEMOLITION NOTES

- THE CONTRACTOR SHALL COORDINATE ALL DEMOLITION OF STRUCTURES, PAVEMENT AND CONCRETE MATERIALS, AND UTILITIES WITH APPROPRIATE PROPOSED SITE GENERAL, GRADING, UTILITY, AND LANDSCAPING DRAWINGS.
- ALL NOTED UTILITIES TO BE REMOVED AND DISPOSED OF, RELOCATED OR CAPPED REPRESENT ALL KNOWN SITE CONDITIONS TO BE DEMOLISHED. THE CONTRACTOR SHALL COORDINATE ALL UNFORESEEN CONDITIONS WITH THE PROJECT ENGINEER, OWNER AND/OR RESPECTIVE UTILITY COMPANIES PRIOR TO PROCEEDING WITH WORK.
- WATER, SEWER, DRAINAGE, GAS, AND OTHER SITE UTILITIES SERVICING THE EXISTING FACILITIES ARE TO REMAIN ACTIVE THROUGHOUT CONSTRUCTION, THERE SHALL BE NO INTERRUPTION OF UTILITY SERVICES DURING THE CONSTRUCTION OPERATION WITHOUT APPROVAL FROM THE OWNER.

#### **GRADING AND UTILITY NOTES**

- UNDERGROUND UTILITIES DEPICTED WERE COMPILED FROM AVAILABLE RECORD PLANS AND SHALL BE CONSIDERED APPROXIMATE ONLY. BEFORE COMMENCING SITE WORK IN ANY AREA, CONTACT "DIG SAFE" AT 1-888-DIG-SAFE (1-888-344-7233) TO ACCURATELY LOCATE UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES OR STRUCTURES DEPICTED OR NOT DEPICTED ON THE PLANS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. COSTS TO REPAIR SUCH DAMAGES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE DONE UNTIL UTILITY COMPANIES ARE PROPERLY NOTIFIED.
- ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINES AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAWCUT TO A CLEAN,
- SMOOTH EDGE, BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS. ALL UTILITY COVERS, GRATES, ETC. SHALL BE ADJUSTED TO BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH GRADE. RIM ELEVATIONS OF STRUCTURES AND
- MANHOLES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH THE GRADING PLANS. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION SHALL BE PROVIDED ON A SKETCH TO SCALE OF THE EXISTING UTILITY WITH TIES TO KNOWN POINTS, PHOTOS AND FURNISHED TO THE ENGINEER FOR RESOLUTION
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS SHALL BE RESTORED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- 8. GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY APPROPRIATE UTILITY COMPANIES.
- DURING CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES BY PROVIDING TEMPORARY SUPPORTS OR SHEETING AS REQUIRED AT NO
- ADDITIONAL COST TO THE OWNER. 10. ALL GRAVITY SANITARY PIPING SHALL BE SDR-35 PVC. ALL SEWER CONSTRUCTION SHALL CONFORM TO THE TOWN OF BRISTOL SEWER AND SEWAGE DISPOSAL ORDNANCE.
- ALL WATER LINE BENDS AND TEES SHALL BE REINFORCED WITH THRUST BLOCKS. ALL WATER DISTRIBUTION PIPING AND FITTINGS MUST ADHERE TO THE BRISTOL COUNTY
- WATER AUTHORITY SPECIFICATIONS AND SHALL BE INSPECTED BEFORE, DURING, AND AFTER CONSTRUCTION PRIOR TO TAPPING THE SERVICE MAIN. THE CONTRACTOR SHALL COORDINATE AND CONFIRM ALL WATER DISTRIBUTION MATERIAL PRODUCTS WITH THE BRISTOL COUNTY WATER AUTHORITY PRIOR TO ORDERING OR PURCHASING PRODUCTS.
- 12. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- 13. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MIN. OF 1/8" PER FOOT UNLESS SPECIFIED OTHERWISE.
- 14. THE PROPOSED WALKWAYS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5% AS SHOWN ON CONSTRUCTION DETAILS AND GRADING

## STORMWATER MANAGEMENT SYSTEM INSPECTION AND MAINTENANCE NOTES

## DURING CONSTRUCTION (CONTRACTOR'S RESPONSIBILITY)

- THE CONTRACTOR SHALL REMOVE SEDIMENT AND DEBRIS FROM ALL CATCH BASINS, MANHOLES, AND THE DRAINAGE SYSTEM ON A ROUTINE BASIS, IMMEDIATELY FOLLOWING SITE STABILIZATION, AND PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
- THE CLOSED DRAINAGE SYSTEM AND ASSOCIATED STRUCTURES SHALL BE CLEANED AND FLUSHED BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION, AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM UNTIL ACCEPTANCE OF THE SYSTEM BY THE ENGINEER AND THE TOWN OF BRISTOL. FOLLOWING ACCEPTANCE OF THE PROPOSED DRAINAGE SYSTEM. THE OWNER OF THE SITE SHALL BE RESPONSIBLE FOR THE LONG-TERM INSPECTION AND MAINTENANCE OF THE DRAINAGE SYSTEM.
- ANY ACCUMULATION OF PONDING WATER IN AREAS WITHIN THE LIMITS OF DISTURBANCE, OTHER THAN DESIGNATED AREAS, SHALL BE REMOVED ACCORDINGLY AND PREVENTED IN THE FUTURE.

## POST CONSTRUCTION (OWNER'S RESPONSIBILITY)

- TRASH, LITTER, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED FROM ANY STORMWATER MANAGEMENT SYSTEM FACILITY (INCLUDING BUT NOT LIMITED TO CATCH BASINS, MANHOLES, INLET, OUTLET AND DIVERSION STRUCTURES, AND STORMWATER BEST MANAGEMENT PRACTICES (BMPs)) A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN THE SPRING AND FALL.
- THE PARKING LOT AND ENTRY DRIVE SHALL BE SWEPT BY THE OWNER AS EARLY AS POSSIBLE EVERY SPRING AND ONCE IN THE FALL TO REMOVE SEDIMENTS.
- 3. ALL CLEANING AND MAINTENANCE OF STORMWATER MANAGEMENT SYSTEMS POST-CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE OWNER.

## CATCH BASINS WITH SUMPS INSPECTION, MAINTENANCE, AND REPAIR NOTES

- INSPECTIONS SHALL BE PERFORMED A MINIMUM OF TWO TIMES PER YEAR (SPRING/FALL). UNITS SHALL BE CLEANED ANNUALLY AND WHENEVER THE DEPTH OF SEDIMENT IS GREATER THAN OR EQUAL TO HALF THE SUMP DEPTH.
- 2. THE INLET GRATE SHALL NOT BE WELDED TO THE FRAME OR PAVED OVER SO THAT THE SUMP CAN BE EASILY INSPECTED AND MAINTAINED.
- CARE SHALL BE TAKEN TO AVOID DAMAGING AND DISPLACING HOODS PLACED ON HOODED OUTLETS DURING CLEANING

#### EROSION AND SEDIMENTATION CONTROL NOTES - RHODE ISLAND

- THE CONTRACTOR AND RELEVANT SUBCONTRACTORS SHALL READ AND UNDERSTAND THE RIPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY (GENERAL PERMIT) AND THE SITE SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) PREPARED FOR THE PROJECT. ALL EROSION ONTROLS SHALL BE IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONDITIONS ISSUED FOR THE PROJECT BY RIDEM AND BE RESPONSIBLE FOR CONFORMANCE WITH ALL PERMIT REQUIREMENTS AND CONSTRUCTION DOCUMENTS.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING OR INSTALLING ALL TEMPORARY SEDIMENT AND EROSION CONTROLS AS SHOWN ON THESE PLANS AND SHALL MAINTAIN ALL EROSION CONTROL MEASURES AS NECESSARY DURING THE ENTIRE CONSTRUCTION PERIOD.
- ANTI-TRACKING PADS (R.I. STD. DETAIL 9.9.0) SHALL BE PROVIDED AT ALL POINTS OF VEHICULAR INGRESS AND EGRESS ON THE CONSTRUCTION SITE AND SHALL BE MAINTAINED TO LIMIT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS.
- 5. EROSION CONTROL BARRIERS SHALL BE INSTALLED AS SHOWN ON THE EROSION CONTROL PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- 6. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT OF 0.25 INCH OR GREATER DURING CONSTRUCTION TO ENSURE THAT CHANNELS, DITCHES AND PIPES ARE CLEAR OF DEBRIS AND THAT THE EROSION CONTROL BARRIERS ARE INTACT. IDENTIFIED DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY.
- 7. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL CLEAN AND MAINTAIN EROSION CONTROL BARRIER WHEN SEDIMENT ACCUMULATES TO ONE HALF THE HEIGHT OF THE BARRIER. MATERIAL COLLECTED FROM THE SEDIMENTATION BARRIERS SHALL BE REMOVED AS NECESSARY AND DISPOSED IN AN UPLAND AREA.
- THE CONTRACTOR SHALL SCHEDULE HIS WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT PONDING. SPECIFICALLY, ALLOW WATER TO ESCAPE WHERE PROPOSED CURB MAY RETAIN RUNOFF PRIOR TO APPLICATION OF SURFACE PAVING. PROVIDE TEMPORARY POSITIVE DRAINAGE, AS REQUIRED, TO STABILIZED
- 10. INSTALLATION OF THE EROSION CONTROL BARRIERS AS ILLUSTRATED IS INTENDED TO REPRESENT THE MINIMUM SEDIMENTATION CONTROL FACILITIES NECESSARY TO MEET ANTICIPATED SITE CONDITIONS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AS CONDITIONS WARRANT OR AS DIRECTED BY THE OWNER OR OWNER'S
- REQUIRED SEDIMENTATION CONTROL FACILITIES MUST BE PROPERLY ESTABLISHED, CLEARLY VISIBLE AND IN OPERATION PRIOR TO INITIATING ANY LAND CLEARING ACTIVITY AND/OR OTHER CONSTRUCTION RELATED WORK. SUCH FACILITIES SHALL REPRESENT THE LIMIT OF WORK. WORKERS SHALL BE INFORMED THAT NO CONSTRUCTION ACTIVITY IS TO OCCUR BEYOND THE LIMIT OF WORK AT ANY TIME THROUGHOUT THE CONSTRUCTION PERIOD.
- 12. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT RESERVE OF VARIOUS EROSION CONTROL MATERIALS ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES OR ROUTINE MAINTENANCE.
- 13. EXISTING AND NEWLY INSTALLED CATCH BASINS AND STORM DRAIN INLETS SHALL BE PROTECTED WITH APPROPRIATE TEMPORARY INLET PROTECTION IN ACCORDANCE WITH THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.
- 14. DEWATERING WASTE WATERS PUMPED FROM EXCAVATIONS SHALL BE CONVEYED BY HOSE TO AN UPLAND AREA AND DISCHARGED INTO STRAW BALE CORRALS OR
- SEDIMENTATION BAGS. ALL DEWATERING OPERATIONS SHALL BE IN ACCORDANCE WITH STATE REGULATIONS.
- 15. THE CONTRACTOR SHALL NOT REMOVE ANY TEMPORARY SEDIMENT CONTROL BARRIERS UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN PERMANENTLY STABILIZED.
- 16. CONSTRUCTION SITE WASTE MATERIALS SHALL BE PROPERLY CONTAINED ONSITE AND DISPOSED OFF SITE AT A LOCATION IN ACCORDANCE WITH THE LOCAL AND STATE
- 17. RIP-RAP OR OTHER ENERGY DISSIPATERS SHALL BE USED WHERE NECESSARY TO PREVENT SCOUR.
- 18. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS UPON COMPLETION OF WORK IN THAT AREA.
- 19. ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO ACCEPTANCE OF FINAL PROJECT.
- 20. NEWLY VEGETATED AREAS SHALL BE MAINTAINED REGULARLY TO ENSURE STABLE VEGETATED SURFACES.
- 21. EROSION AND SEDIMENTATION CONTROLS SHALL BE UTILIZED AS SHOWN ON THE PLANS, POTENTIAL EROSION AND SEDIMENTATION PROBLEMS ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT SHALL BE AVOIDED THROUGH THE PROJECT SCHEDULING AND THE USE OF APPROPRIATE STANDARD CONTROLS (RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL HANDBOOK) AS ILLUSTRATED ON THE PROJECT PLANS.
- 22. WHERE EROSION CONTROLS ARE NEEDED ON IMPERVIOUS SURFACES, THE CONTRACTOR SHALL PROVIDE SAND BAG EROSION CONTROL BARRIER.
- 23. TEMPORARY DIVERSION (TD) MAY CONSIST OF A DITCH OR SWALE, OR MAY BE ACHIEVED USING WOOD CHIPS, COIR LOGS, OR SIMILAR MATERIALS.
- 24. TEMPORARY SEDIMENT TRAPS (TST) AND TEMPORARY SWALES (TSW) SHALL BE SIZED BY THE CONTRACTOR USING THE PARAMETERS CONTAINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.

#### SEDIMENT FOREBAY INSPECTION. MAINTENANCE. AND REPAIR NOTES FOLLOWING CONSTRUCTION, THE COMPLETION OF THE INSPECTION AND MAINTENANCE REQUIREMENTS BELOW SHALL BE THE RESPONSIBILITY OF THE OWNER.

- SEDIMENT FOREBAY SHALL BE INSPECTED A MINIMUM OF TWO TIMES PER YEAR AND AFTER EVERY STORM OF 2.8" INCH OR GREATER FOR TRASH, DEBRIS, SEDIMENT, EROSION, STANDING WATER, AND OVERALL PERFORMANCE. DEFECTS SHALL BE REPAIRED BY THE OWNER.
- 2. SEDIMENT FOREBAYS SHALL BE CLEANED IF SEDIMENT REACHES HALF THE DESIGN DEPTH.
- 3. SEDIMENT FOREBAY CHECK DAMS SHALL BE REPLACED IF DRAWDOWN TIMES WITHIN THE SEDIMENT FOREBAY EXCEED 48 HOURS FOLLOWING THE STORM
- 4. ALL SEDIMENTS REMOVED SHALL BE DISPOSED OF AT AN APPROVED AND PERMITTED LOCATION.
- 5. VEGETATION SHALL NOT EXCEED 18" IN HEIGHT IN THE SEDIMENT FOREBAYS.

## SAND FILTER NOTES INSPECTION, MAINTENANCE, AND REPAIR NOTES

- 1 FOLLOWING FIRST 6 MONTHS AFTER CONSTRUCTION • INSPECT SAND FILTER AFTER FIRST TWO RAINFALL EVENTS OF 1" OR MORE.
- 2. FOLLOWING STORM EVENTS WITH RAINFALL EXCEEDING 2.8"
- INSPECT SAND FILTER FOR TRASH, DEBRIS, SEDIMENT, EROSION, STANDING WATER, AND OVERALL PERFORMANCE. DEFECTS SHALL BE REPAIRED BY OWNER.
- INSPECT SAND FILTER A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN APRIL AND OCTOBER. SEDIMENT SHALL BE REMOVED FROM SAND FILTER IF THE
- MOW SIDESLOPES AND BOTTOM OF SAND FILTER A MINIMUM OF TWO TIMES PER YEAR.
- INSPECT SAND FILTER OUTLET CONTROL STRUCTURE AND ALL OVERFLOW CHANNELS. THE OWNER SHALL STABILIZE ERODED BANKS AND REPAIR ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES AS NECESSARY
- 5. IF SEDIMENT BUILD-UP HAS LIMITED THE FILTERING CAPABILITIES TO BELOW THE DESIGN RATE OR PONDING HAS EXCEEDED 72 HOURS THE FOLLOWING
- THE TOP 6" OF SOIL SHALL BE REMOVED AND DISPOSED AT A PERMITTED LOCATION.
- THE EXPOSED SURFACE SHALL BE SCARIFIED.
- THE TOP 6" SHALL BE RESTORED TO THE ORIGINAL DESIGN SPECIFICATIONS WITH A SANDY LOAM TOPSOIL. TRASH AND DEBRIS SHALL BE REMOVED FROM SAND FILTER AS NECESSARY

## BIORETENTION AREA INSPECTION, MAINTENANCE, AND REPAIR NOTES

MOW SIDE SLOPES AND BOTTOM OF BIORETENTION AREA A MINIMUM OF TWO TIMES PER YEAR.

- 1 FOLLOWING FIRST 6 MONTHS AFTER CONSTRUCTION INSPECT BIORETENTION AREA AFTER FIRST TWO RAINFALL EVENTS OF 1" OR MORE.
- 2. FOLLOWING STORM EVENTS WITH RAINFALL EXCEEDING 2.8" • INSPECT BIORETENTION AREA FOR TRASH, DEBRIS, SEDIMENT, EROSION, STANDING WATER, AND OVERALL PERFORMANCE. DEFECTS SHALL BE REPAIRED BY OWNER.
- INSPECT BIORETENTION AREA A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY IN APRIL AND OCTOBER. SEDIMENT SHALL BE REMOVED FROM BIORETENTION AREA IF THE SEDIMENT EXCEEDS 1".
- INSPECT BIORETENTION AREA OUTLET CONTROL STRUCTURE AND ALL OVERFLOW CHANNELS. THE OWNER SHALL STABILIZE ERODED BANKS AND REPAIR ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES AS NECESSARY
- 5. IF SEDIMENT BUILD-UP HAS LIMITED THE FILTERING CAPABILITIES TO BELOW THE DESIGN RATE OR PONDING HAS EXCEEDED 48 HOURS THE FOLLOWING THE TOP 6" OF SOIL SHALL BE REMOVED AND DISPOSED AT A PERMITTED LOCATION.
- THE EXPOSED SURFACE SHALL BE SCARIFIED. THE TOP 6" SHALL BE RESTORED TO THE ORIGINAL DESIGN SPECIFICATIONS WITH A SANDY LOAM TOPSOIL.
- 6. TRASH AND DEBRIS SHALL BE REMOVED FROM BIORETENTION AREA AS NECESSARY.

## DETENTION BASIN INSPECTION, MAINTENANCE, AND REPAIR NOTES

- SEDIMENT SHALL BE REMOVED FROM THE DETENTION BASIN WHEN THE SEDIMENT VOLUME EXCEEDS 10 PERCENT OF THE TOTAL BASIN VOLUME. THE REMOVED SEDIMENT SHALL BE DISPOSED OF AT AN APPROVED AND PERMITTED LOCATION.
- 2. FOLLOWING FIRST 6 MONTHS AFTER CONSTRUCTION
- INSPECT INFILTRATION PRACTICES AFTER FIRST TWO RAINFALL EVENTS OF 1" OR MORE.
- INSPECT DETENTION BASIN A MINIMUM OF TWO TIMES PER YEAR, PREFERABLY ONCE IN APRIL AND ONCE IN OCTOBER.
- THE DETENTION BASIN OUTLET STRUCTURES AND ALL OUTFLOW CHANNELS SHOULD BE INSPECTED QUARTERLY BY THE OWNER.

• MOW SIDE SLOPES AND BOTTOM OF DETENTION BASIN A MINIMUM OF TWO TIMES PER YEAR. THE VEGETATION SHALL NOT EXCEED 18" IN HEIGHT.

#### QUALIFYING PERVIOUS AREA INSPECTION, MAINTENANCE, AND REPAIR NOTES

- FOLLOWING CONSTRUCTION, THE COMPLETION OF THE INSPECTION AND MAINTENANCE REQUIREMENTS BELOW SHALL BE THE RESPONSIBILITY OF THE OWNER.
- 1. THE QUALIFYING PERVIOUS AREAS (QPA'S) MUST BE INSPECTED A MINIMUM OF TWO TIMES PER YEAR FOR SEDIMENT, PONDING, EROSION, AND VEGETATION.
- 2. REMOVE ACCUMULATED SEDIMENT FROM THE QPA'S IF SEDIMENT EXCEEDS 1".
- 3. OWNER SHALL REPAIR ANY SLOPES THAT HAVE BEEN DAMAGED DUE TO EROSION OR OTHER MEANS. OWNER SHALL REPLACE ANY VEGETATION THAT HAS DIED OR BEEN DAMAGED.
- 4. OWNER SHALL MOW GRASS WITHIN THE QPA A MINIMUM OF TWO TIMES ANNUALLY TO MAINTAIN A MINIMUM GRASS HEIGHT OF 6"
- TRASH AND DEBRIS SHALL BE REMOVED FROM THE QPA'S AS NECESSARY

#### WET VEGETATED TREATMENT SYSTEM (WVTS) INSPECTION, MAINTENANCE, AND REPAIR NOTES

REMOVE ACCUMULATED SEDIMENT FROM THE WVTS TWICE ANNUALLY, IN LATE SPRING OR EARLY FALL, IF SEDIMENT EXCEEDS 1°

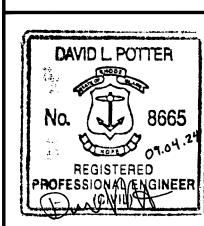
- DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, FILTER PRACTICES SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, INSPECTIONS SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL 2.7" FOR TRASH, DEBRIS, SEDIMENT, EROSION, STANDING WATER, AND OVERALL PERFORMANCE.
- TRASH AND DEBRIS SHALL BE REMOVED FROM THE FOREBAY AND WVTS SYSTEM AS NECESSARY.
- 3. SEDIMENT REMOVAL IN THE FOREBAY SHALL OCCUR EVERY 5 YEARS OR AFTER 50% OF TOTAL FOREBAY CAPACITY HAS BEEN LOST, WHICHEVER OCCURS FIRST.
- MINIMUM VEGETATIVE COVERAGE OF 50% IS NOT ACHIEVED IN THE PLANTED AREAS AFTER THE SECOND GROWING SEASON, A REINFORCEMENT PLANTING IS REQUIRED.
- SEDIMENT AND ORGANIC BUILD-UP SHALL BE REMOVED FROM A GRAVEL WVTS EVERY 2 YEARS, AS NEEDED. SILT/SEDIMENT SHALL BE REMOVED FROM THE SYSTEM BOTTOM WHEN THE ACCUMULATION EXCEEDS ONE INCH. WHEN THE FILTERING CAPACITY OF THE AREA DIMINISHES SUBSTANTIALLY (I.E., WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 48 HOURS), THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REMOVED AND SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER AT AN APPROVED AND PERMITTED LOCATION.
- OWNER SHALL MOW GRASS ALONG/WITHIN WVTS A MINIMUM OF 3 TIMES ANNUALLY TO MAINTAIN A MAXIMUM GRASS HEIGHT OF 12". VEGETATION IN THE SEDIMENT FOREBAY



DWNER/APPLICANT: **BRISTOL WARREN REGIONAL** SCHOOL DISTRICT 235 HIGH STREET **BRISTOL RI 02809** 401-253-4000

> SCALE ADJUSTMENT GUIDE BAR IS ONE INCH ON ORIGINAL DRAWING

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REVISIONS:

9-04-2024 MASTER PLAN RE

PROJECT NO.: 23099.01 AUGUST 2, 2024 SCALE: NOT TO SCALE **DESIGNED BY:** 

CHECKED BY: DRAWN BY: APPROVED BY:

DRAWING NO.:

DRAWING TITLE:

ABBREVI	ATIONS	F&C	FRAME AND COVER	REM	REMOVE	EXISTING	<u>LEGEND</u>	PROPOSED
<u>GENERAL</u>		F&G FDC	FRAME AND GRATE FIRE DEPARTMENT CONNECTION	RET RET WALL	RETAIN RETAINING WALL	EXISTING		PROPOSED
	ANNUAL AVERAGE DAILY TRAFFIC	FDN	FOUNDATION	RRLS	RIPRAP LEVEL SPREADER		PROPERTY LINE	
AADT ABAN	ABANDON	FES	FLARED END SECTION	ROW	RIGHT OF WAY	<del></del>	EASEMENT LINE	
ADA	AMERICANS WITH DISABILITIES ACT	FFE FLDSTN	FINISH FLOOR ELEVATION FIELDSTONE	RR RRS	RAILROAD RIPRAP SLOPE		CONTOUR	
ADJ	ADDROVIMATE	FLDSTN	FOUND	RS	RIPRAP SPILLWAY	X 407.5	SPOT ELEVATION	
APPROX AC	APPROXIMATE ASPHALT CONCRETE	FT	FOOT	RT	RIGHT			
ACCM PIPE	ASPHALT COATED CORRUGATED METAL PIPE	GAR	GARAGE	RTAD	REFER TO ARCHITECTURAL DRAWINGS	DD	DRAINAGE LINE	DD
ASSF	AREA SUBJECT TO STORM FLOWAGE	GD GG	GROUND GAS GATE	RTED RTFPD	REFER TO ELECTRICAL DRAWINGS REFER TO FIRE PROTECTION DRAWINGS	——————————————————————————————————————	WATER LINE	ww
ATD	ASPHALT TURNDOWN ADJUST TO GRADE	Gl	GUTTER INLET	RTLD	REFER TO LANDSCAPE DRAWINGS		FIRE WATER LINE	FWFW
ATG BB	BITUMINOUS BERM	GIP	GALVANIZED IRON PIPE	RTMD	REFER TO MECHANICAL DRAWINGS		CANITARY CEMED LINE	—_s — <del>s</del> —s —_
ВС	BOTTOM OF CURB (FINISHED GRADE ON LOW SIDE OF CURB)	GRAN	GRANITE GRAVE	RTPD	REFER TO PLUMBING DRAWINGS	sss	SANITARY SEWER LINE	
BD	BOUND	GRAV GRD	GRAVEL GUARD	RTSD S=	REFER TO STRUCTURAL DRAWINGS SLOPE	G	GAS LINE	GG
BIT	BITUMINOUS BASELINE	GTD	GRADE TO DRAIN	SB	SAND BAG EROSION CONTROL BARRIER	——Е ———Е ———Е	ELECTRIC	——Е ———Е ———
BLDG	BUILDING	GV	GATE VALVE	SDR	STANDARD DIMENSIONAL RATIO	T T T	TELEPHONE LINE	— T —— T —— T —
ВМ	BENCHMARK	HCPS HDBC	HANDICAP ACCESSIBLE PARKING SIGN HEAVY DUTY BITUMINOUS CONCRETE	SED SESC	SEDIMENT SOIL EROSION AND SEDIMENT CONTROL		I ELEPHONE LINE	· · · · · · · · · · · · · · · · · · ·
BMP	BEST MANAGEMENT PRACTICE	HDPE	HIGH DENSITY POLYETHYLENE PIPE	SFL	STATE FREEWAY LINE	——————————————————————————————————————	OVERHEAD ELECTRIC LINE	
BO BOL	BY OTHERS BOLLARD	HDPS	HANDICAP ACCESSIBLE PARKING SIGN	SFCD	SEDIMENT FOREBAY CHECK DAM		LIMIT OF DISTURBANCE	——————————————————————————————————————
BOS	BOTTOM OF SLOPE	HDW	HEADWALL	SG	SWING GATE			
ВОТ	воттом	HMA HMAW	HOT MIX ASPHALT HOT MIXED ASPHALT WALKWAY	SHL SHLD	STATE HIGHWAY LINE SHOULDER			<u>_</u>
BPM	BLACKOUT PAVEMENT MARKING	HOR	HORIZONTAL	SHLO	STATE HIGHWAY LAYOUT		CATCH BASIN	•
BR BS	BRIDGE BOTTOM OF STAIR (FINISHED GRADE AT BOTTOM STAIR)	HPR	HEADWALL PROTECTION RACK	SHP	HANDICAP PARKING PAVEMENT MARKING		HYDRANT	
BW	BOTTOM OF WALL (FINISHED GRADE ON LOW SIDE OF WALL)	HYD	HYDRANT	SM	SEDIMENT MARKER	$\bigcirc$	DRAINAGE MANHOLE	•
BWL	BROKEN WHITE LINE	ID INV	INSIDE DIAMETER INVERT	SMH SSD	SEWER MANHOLE STOPPING SIGHT DISTANCE		OFINED MANUALE	
BYL	BROKEN YELLOW LINE	JCT	JUNCTION	ST	STREET		SEWER MANHOLE	•
C= CB	CURVE LENGTH CATCH BASIN	L=	LENGTH OF CURVE	STA	STATION		UTILITY POLE	
CBCI	CATCH BASIN WITH CURB INLET	LB	LEACH BASIN	SW	SIDEWALK	$\mathbb{W} \vee \textcircled{\tiny \bigcirc} \qquad \overset{\mathbb{W} \vee}{\bigvee}$	WATER VALVE	H
CC	CEMENT CONCRETE	LOD LP	LIMIT OF DISTURBANCE LOW POINT	SWL SWR	SINGLE SOLID WHITE LINE SEWER	GG 🔘	GAS GATE	
CCM	CEMENT CONCRETE MASONRY CEMENT CONCRETE WALK	LPR	LICENSE PLATE READER	SYL	SINGLE SOLID YELLOW LINE			
CCW CD	CHECK DAM	LS	LOAM AND SEED	T=	TANGENT DISTANCE OF CURVE/TRUCK %		LIGHT POLE	
CE	CONSTRUCTION ENTRANCE	LSOD LT	LOAM AND SOD LEFT	TAN TD	TANGENT TEMPORARY DIVERSION		ELECTRICAL PULLBOX	E
CEM	CEMENT	LTP	LIGHT POLE	TEMP	TEMPORARY		TREE LINE	
CFS CG	COMPOST FILTER SOCK CLEAR AND GRUB VEGETATION	MAX	MAXIMUM	TC	TOP OF CURB		STONE WALL	
СН	CHORD LENGTH	MB	MAILBOX	TDS	TEMPORARY DIVERSION SWALE			
Cl	CURB INLET	MCW MH	MONOLITHIC CONCRETE WALK MANHOLE	TGP TIP	TREE GROUP PROTECTION TEMPORARY INLET PROTECTION	XXX	CHAIN LINK FENCE	
CIP	CAST IRON PIPE	MIN	MINIMUM	TMH	TELEPHONE MANHOLE		CURBING	
CL CLDI	CENTERLINE CEMENT-LINED DUCTILE IRON	MON	MONITORING	TOS	TOP OF SLOPE		EDGE OF PAVEMENT	
CLF	CHAIN LINK FENCE	MUTCD	MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION	TP	TEST PIT		SAWCUT LINE	411111111111111111111111111111111111111
CLSM	CONTROLLED LOW STRENGTH MATERIAL	NIC NO	NOT IN CONTRACT NUMBER	TRAN TRM	TRANSITION TURF REINFORCEMENT MAT			
CLR CLS	CLEAR CLASS	NTS	NOT TO SCALE	TS	TOP OF STAIR (FINISHED GRADE OF TOP STAIR)	A15 A16	SIGN	
CM	SAWCUT AND MATCH	ocs	OUTLET CONTROL STRUCTURE	TST	TEMPORARY SEDIMENT TRAP		WETLAND EDGE	
CMP	CORRUGATED METAL PIPE	OD OSHA	OUTSIDE DIAMETER OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION	TSW TW	TEMPORARY SWALE TOP OF WALL			
CO	CLEANOUT	OWS	OIL WATER SEPARATOR	TYP	TYPICAL			
CONC CONT	CONCRETE CONTINUOUS	PC	POINT OF CURVATURE	UP	UTILITY POLE			
CONST	CONSTRUCTION	PCC	POINT OF COMPOUND CURVATURE	VAR	VARIES			
СР	CONCRETE PAD	PCFES PCTC	PRECAST CONCRETE FLARED END SECTION PRECAST CONCRETE TRANSITION CURB	VERT VC	VERTICAL VERTICAL CURVE			
CR GR	CROWN GRADE	PCR	PEDESTRIAN CURB RAMP	VCC	VERTICAL CONCRETE CURB			
CSP CSTR	CORRUGATED STEEL PIPE CONCRETE STAIRS	PE	POLYETHYLENE	VCP	VEHICULAR CONCRETE PAVEMENT			
CTE	CONNECT TO EXISTING	PERF	PERFORATED	VFC	VITRIFIED CLAY			
CW	CROSSWALK	PGL PHMA	PROFILE GRADE LINE POROUS HOT MIXED ASPHALT PAVEMENT	VEG VEH	VEGETATION VEHICULAR			
DEMO DET	DEMOLITION DETECTABLE	Pl	POINT OF INTERSECTION	VFS	VEGETATED FILTER STRIP			
DHV	DESIGN HOURLY VOLUME	PIV	POST INDICATOR VALVE	VGC	VERTICAL GRANITE CURB			
DI	DROP INLET	POC POT	POINT ON CURVE POINT ON TANGENT	VGTC VLF	VERTICAL GRANITE TRANSITION CURB VINYL FENCE			
DIA	DIAMETER	PM	PAVEMENT MARKING	vLr w/	WITH			
DIP DIV	DUCTILE IRON PIPE DIVERSION	PRC	POINT OF REVERSE CURVATURE	WG	WATER GATE			
DMH	DRAIN MANHOLE	PROJ	PROJECT	WIP	WROUGHT IRON PIPE			
DTP	DRIPLINE TREE PROTECTION	PROP PSB	PROPOSED PLANTABLE SOIL BORROW	WM WMH	WATER METER/WATER MAIN WATER MANHOLE			
DWL Ex	DOTTED WHITE LINE DOTTED WHITE LINE EXTENSION	PT	POINT OF TANGENCY	WPM	WATER PAINT MARK			
DWLEx DBWL	DOUBLE WHITE LINE	PVC	POINT OF VERTICAL CURVATURE	X-SECT	CROSS SECTION			
DWP	DETECTABLE WARNING PAVER	PVCH	POLYVINYL CHLORIDE  BOINT OF VERTICAL INTERSECTION	YD 4DV	YARD DRAIN			
DYL	DOTTED YELLOW LINE	PVI PVT	POINT OF VERTICAL INTERSECTION POINT OF VERTICAL TANGENCY	4DY 4W	4" DOUBLE YELLOW EPOXY RESIN PAVEMENT MARKING 4" SOLID WHITE EPOXY RESIN PAVEMENT MARKING			
DYLEx DBYL	DOTTED YELLOW LINE EXTENSION  DOUBLE YELLOW LINE	PVMT	PAVEMENT	12W	12" SOLID WHITE EPOXY RESIN PAVEMENT MARKING			
DBTL	STEADY DON'T WALK - PORTLAND ORANGE	PWW	PAVED WATER WAY					
DWY	DRIVEWAY	QPA R&D	QUALIFYING PERVIOUS AREA REMOVE AND DISPOSE					
ELEV (or EL)	ELEVATION	R&R	REMOVE AND RESET	RHODE I	SLAND ABBREVIATIONS			
EMB EMH	EMBANKMENT ELECTRIC MANHOLE	R&S	REMOVE AND STACK					
EOP	EDGE OF PAVEMENT	R=	RADIUS	GENERAL	DUODE IOLAND DEDARTMENT OF ENVIRONMENT OF THE			
ETR	EXISTING TO REMAIN. PROTECT DURING CONSTRUCTION.	RA	RAILING	RIDEM	RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT			

RHODE ISLAND HIGHWAY PLAT

RHODE ISLAND STANDARD

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

RHODE ISLAND POLLUTION DISCHARGE ELIMINATION SYSTEM

RIDOT

RIPDES R.I. STD.

ROADWAY

REINFORCED CONCRETE PIPE

EXISTING TO REMAIN. PROTECT DURING CONSTRUCTION.

EXIST (or EX) EXISTING

**EXCAVATION** 

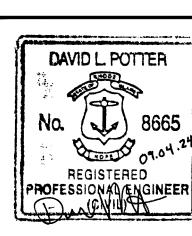


OWNER/APPLICANT: BRISTOL WARREN REGIONAL SCHOOL DISTRICT 235 HIGH STREET BRISTOL, RI 02809 401-253-4000

SCALE ADJUSTMENT GUIDE

BAR IS ONE INCH ON ORIGINAL DRAWING

SCH00L Chestnut Street
'S PLAT 117, LOTS 3, 4, 5, 6, & 7
Bristol, Rhode Island HIGH HOPE 199



PROFESSIONAL ENGINEER					
RE	VISIONS:				
1	9-04-2024	MASTER PLAN R			
PF	ROJECT NO.	: 23099.0			
DΑ	ATE:	AUGUST 2, 202			
SC	CALE:	NOT TO SCALE			
DE	SIGNED BY	: ACI			
CH	ECKED BY:	1			

LEGEND

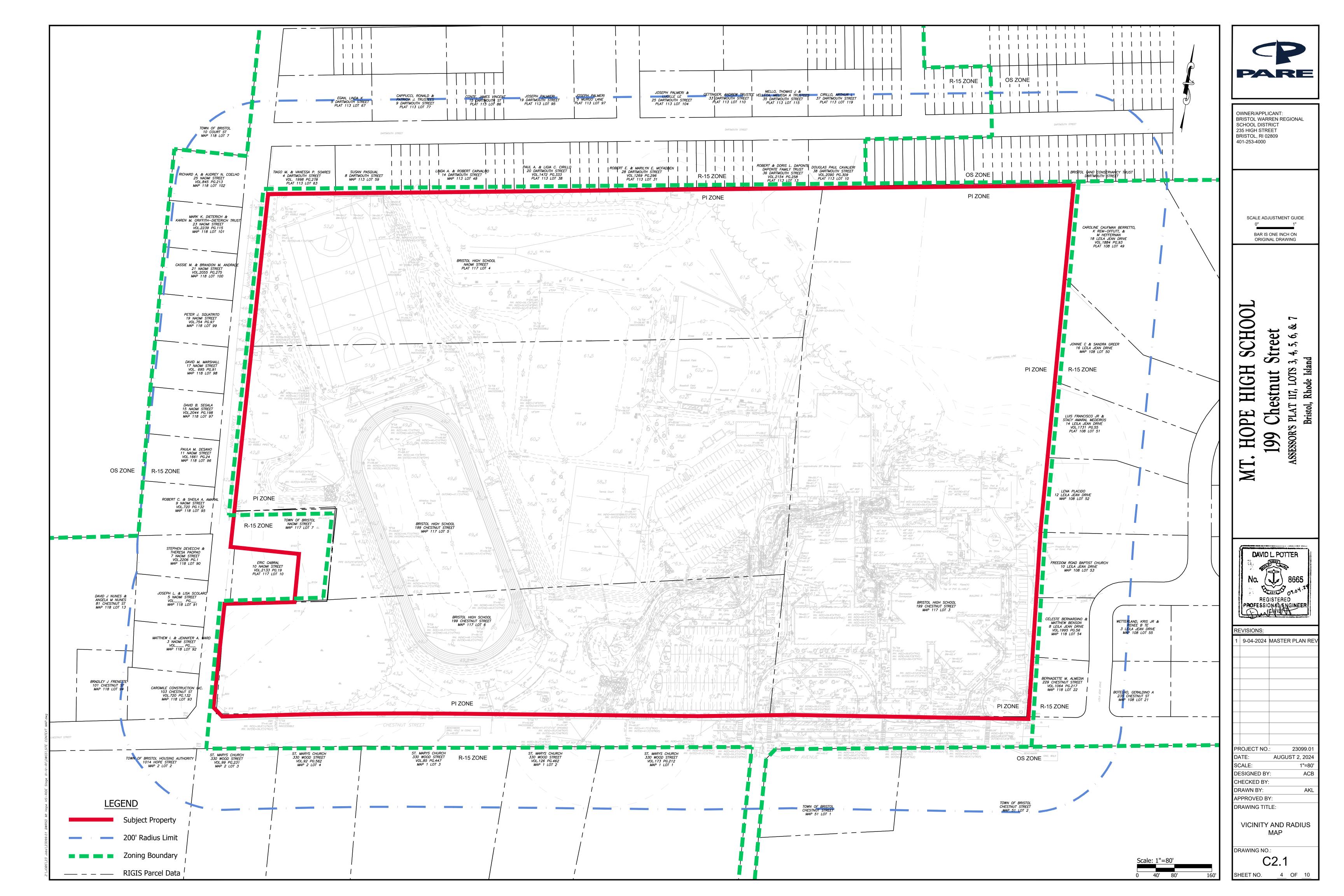
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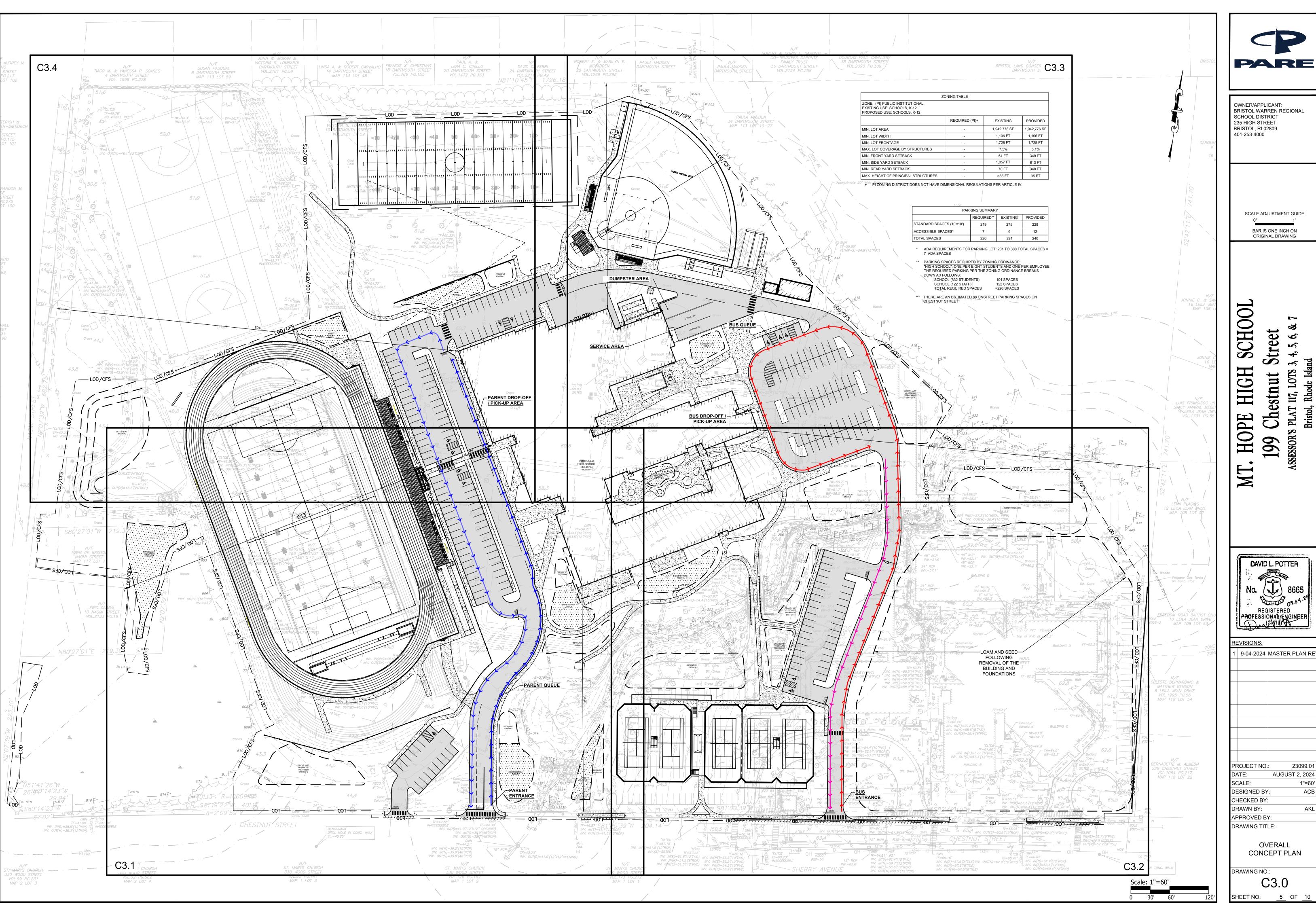
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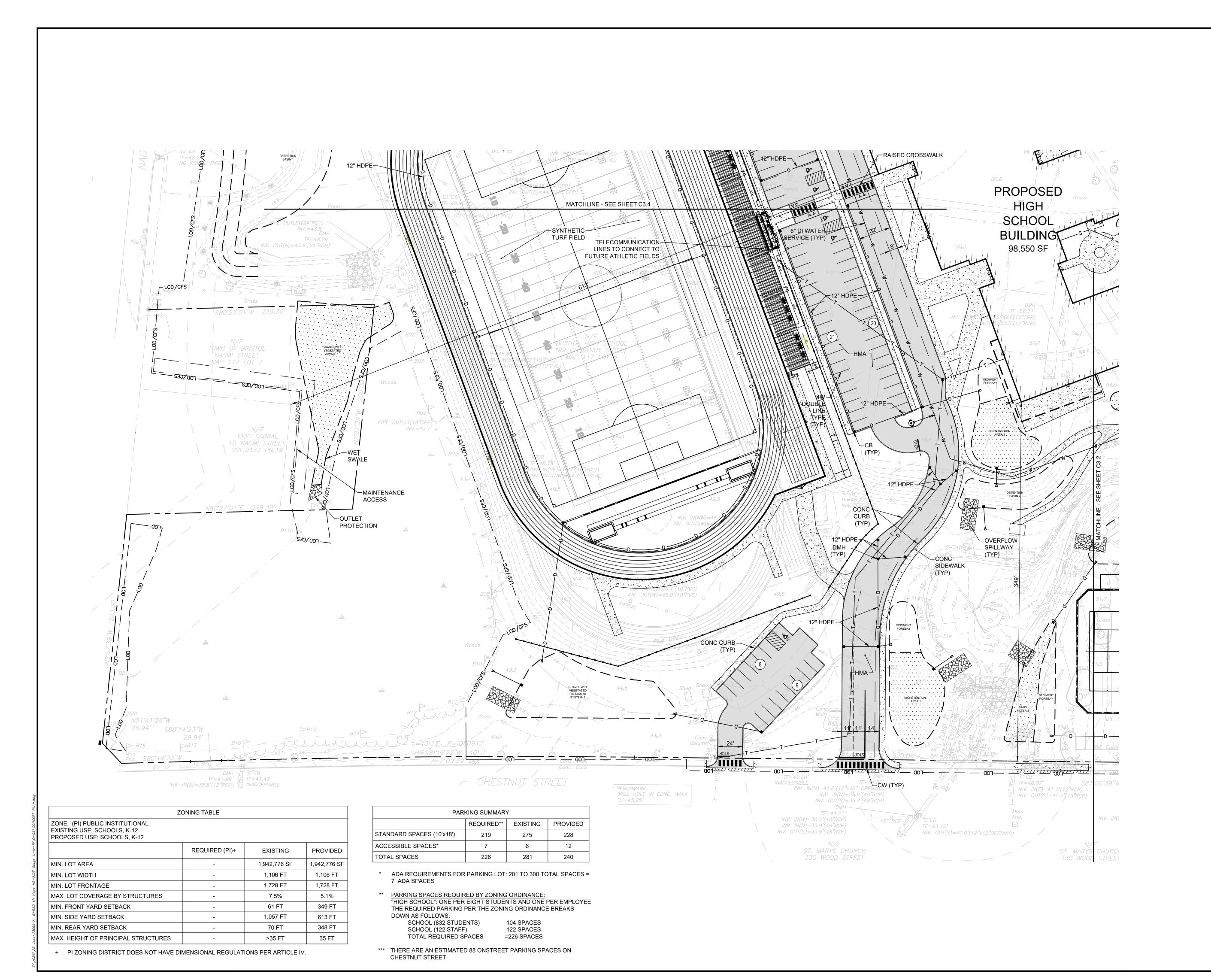
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SHEET NO. 2 OF 10







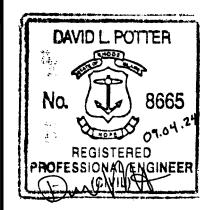




SCALE ADJUSTMENT GUIDE

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SCHOOL PLAT 117, LOTS : Bristol, Rhode Islan Chestnut HOPE 199



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PROJECT NO.: 23099.01 AUGUST 2, 2024

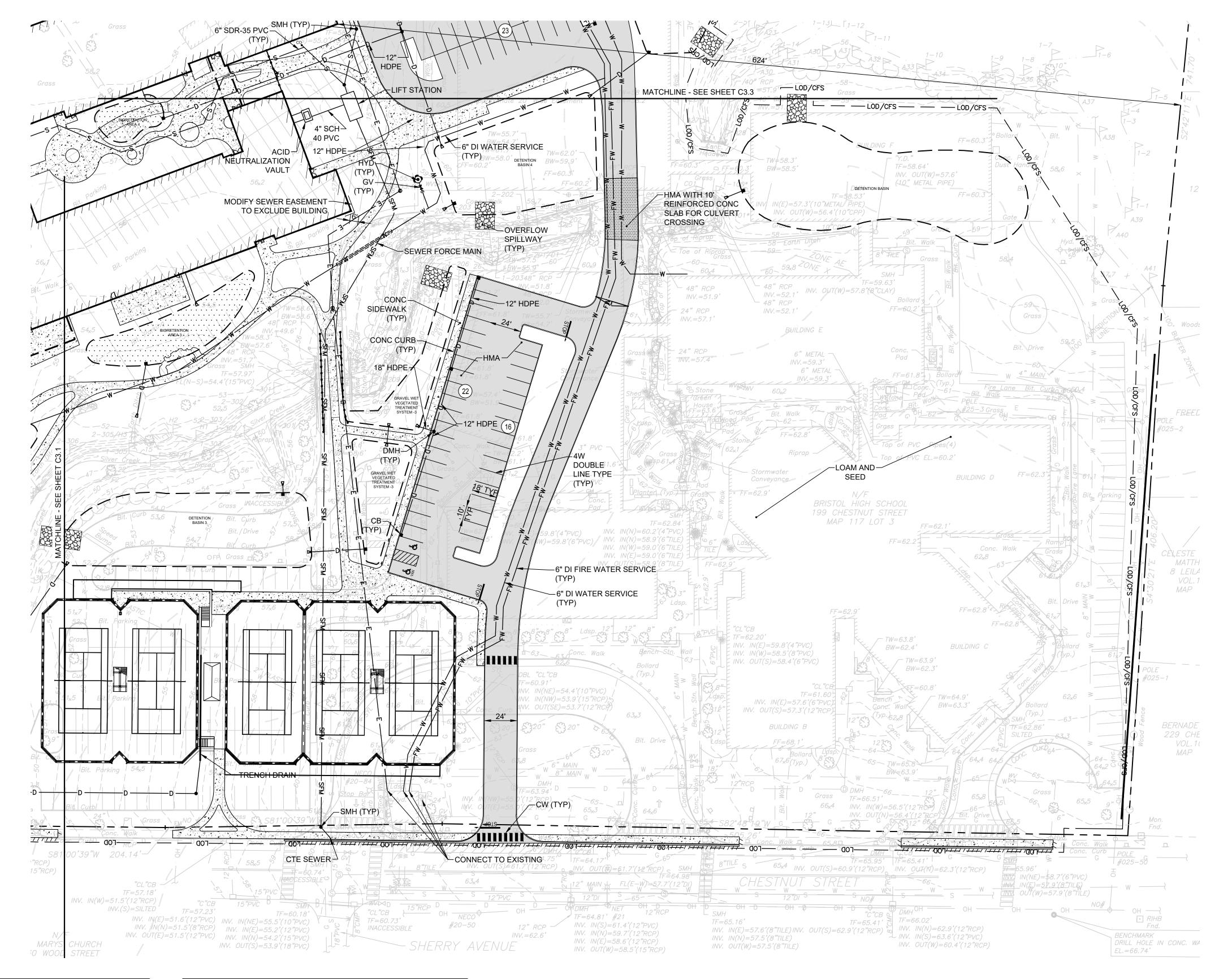
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DRAWN BY: APPROVED BY: DRAWING TITLE:

**CONCEPT PLAN 1.1** 

DRAWING NO.:

SHEET NO. 6 OF 10



ZONING TABLE					
ZONE: (PI) PUBLIC INSTITUTIONAL EXISTING USE: SCHOOLS, K-12 PROPOSED USE: SCHOOLS, K-12					
	REQUIRED (PI)+	EXISTING	PROVIDED		
MIN. LOT AREA	-	1,942,776 SF	1,942,776 SF		
MIN. LOT WIDTH	-	1,106 FT	1,106 FT		
MIN. LOT FRONTAGE	-	1,728 FT	1,728 FT		
MAX. LOT COVERAGE BY STRUCTURES	-	7.5%	5.1%		
MIN. FRONT YARD SETBACK	-	61 FT	349 FT		
MIN. SIDE YARD SETBACK	-	1,057 FT	613 FT		
MIN. REAR YARD SETBACK	-	70 FT	348 FT		
MAX. HEIGHT OF PRINCIPAL STRUCTURES	-	>35 FT	35 FT		

+ PI ZONING DISTRICT DOES NOT HAVE DIMENSIONAL REGULATIONS PER ARTICLE IV.

TOTA	AL SPACES	226	281	240	
*	ADA REQUIREMENTS FOR 7 ADA SPACES	PARKING LOT:	201 TO 300 TO	)TAL SPACES =	

STANDARD SPACES (10'x18')

ACCESSIBLE SPACES\*

PARKING SUMMARY

219

REQUIRED\*\* EXISTING PROVIDED

275

6

122 SPACES

228

12

\*\* PARKING SPACES REQUIRED BY ZONING ORDINANCE: "HIGH SCHOOL": ONE PER EIGHT STUDENTS AND ONE PER EMPLOYEE THE REQUIRED PARKING PER THE ZONING ORDINANCE BREAKS DOWN AS FOLLOWS: SCHOOL (832 STUDENTS) 104 SPACES

TOTAL REQUIRED SPACES =226 SPACES

SCHOOL (122 STAFF)

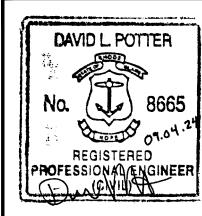


OWNER/APPLICANT: **BRISTOL WARREN REGIONAL** SCHOOL DISTRICT 235 HIGH STREET BRISTOL, RI 02809 401-253-4000

SCALE ADJUSTMENT GUIDE

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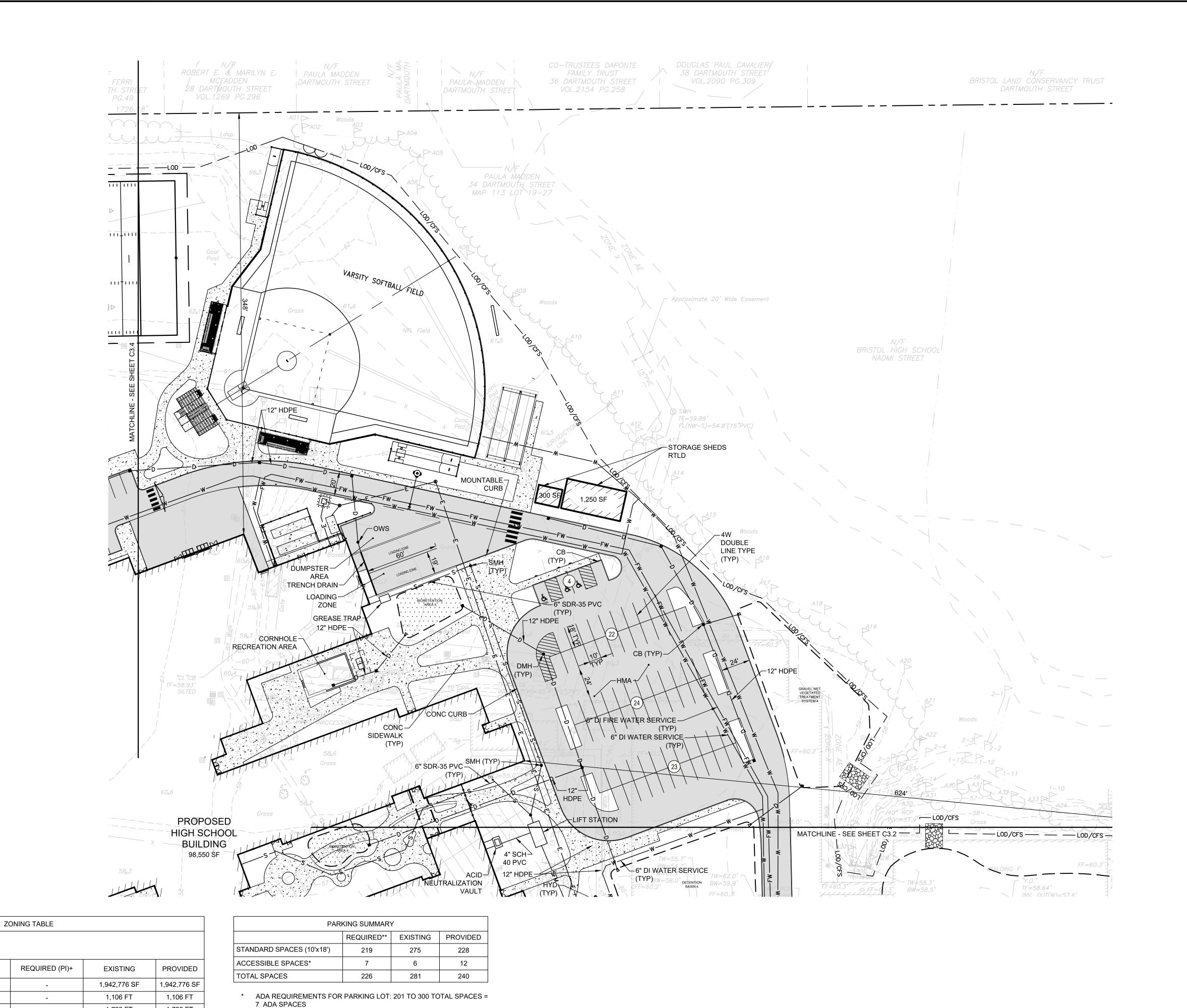
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CONCEPT PLAN 1.2

DRAWING NO.:

SHEET NO. 7 OF 10

<sup>\*\*\*</sup> THERE ARE AN ESTIMATED 88 ONSTREET PARKING SPACES ON CHESTNUT STREET



ZONE: (PI) PUBLIC INSTITUTIONAL

PROPOSED USE: SCHOOLS, K-12

MAX. LOT COVERAGE BY STRUCTURES

MAX. HEIGHT OF PRINCIPAL STRUCTURES

1,728 FT

7.5%

61 FT

1,057 FT

70 FT

>35 FT

-

+ PI ZONING DISTRICT DOES NOT HAVE DIMENSIONAL REGULATIONS PER ARTICLE IV.

1,728 FT

5.1%

349 FT

613 FT

348 FT

35 FT

\*\* PARKING SPACES REQUIRED BY ZONING ORDINANCE:

SCHOOL (832 STUDENTS)

TOTAL REQUIRED SPACES

SCHOOL (122 STAFF)

DOWN AS FOLLOWS:

CHESTNUT STREET

"HIGH SCHOOL": ONE PER EIGHT STUDENTS AND ONE PER EMPLOYEE

104 SPACES

122 SPACES

=226 SPACES

THE REQUIRED PARKING PER THE ZONING ORDINANCE BREAKS

\*\*\* THERE ARE AN ESTIMATED 88 ONSTREET PARKING SPACES ON

EXISTING USE: SCHOOLS, K-12

MIN. LOT AREA

MIN. LOT WIDTH

MIN. LOT FRONTAGE

MIN. FRONT YARD SETBACK

MIN. SIDE YARD SETBACK

MIN. REAR YARD SETBACK

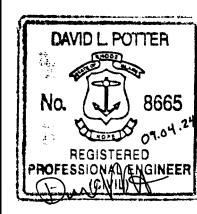


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SCALE ADJUSTMENT GUIDE

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SCH00L hestnut HOPE 66



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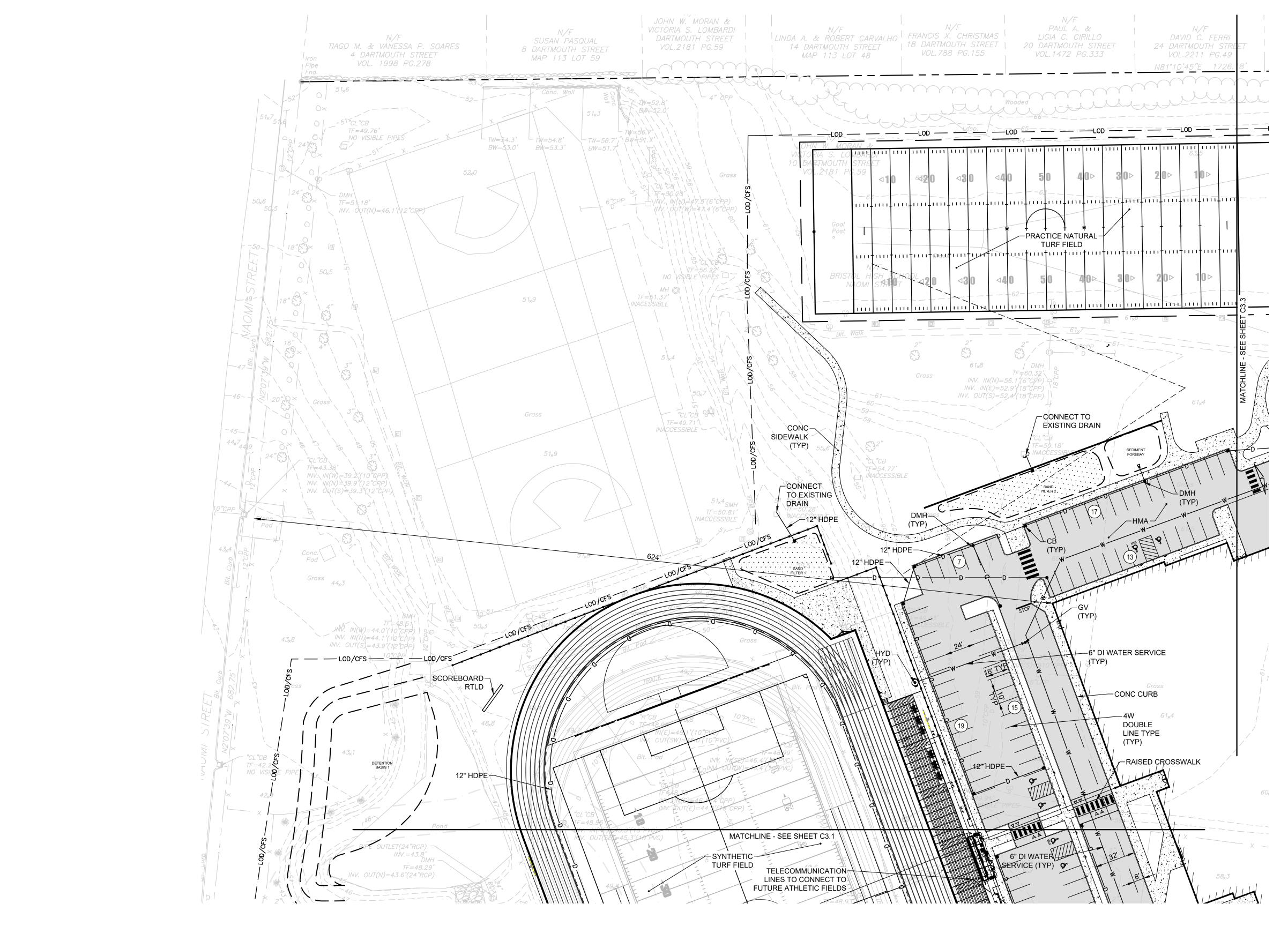
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CONCEPT PLAN 1.3

SHEET NO. 8 OF 10

DRAWING NO.:



ZONING TABLE					
ZONE: (PI) PUBLIC INSTITUTIONAL EXISTING USE: SCHOOLS, K-12 PROPOSED USE: SCHOOLS, K-12					
	REQUIRED (PI)+	EXISTING	PROVIDED		
MIN. LOT AREA	-	1,942,776 SF	1,942,776 SF		
MIN. LOT WIDTH	-	1,106 FT	1,106 FT		
MIN. LOT FRONTAGE	-	1,728 FT	1,728 FT		
MAX. LOT COVERAGE BY STRUCTURES	-	7.5%	5.1%		
MIN. FRONT YARD SETBACK	-	61 FT	349 FT		
MIN. SIDE YARD SETBACK	-	1,057 FT	613 FT		
MIN. REAR YARD SETBACK	-	70 FT	348 FT		
MAX. HEIGHT OF PRINCIPAL STRUCTURES	-	>35 FT	35 FT		

PARKING SUMMARY					
REQUIRED** EXISTING PROVIDED					
STANDARD SPACES (10'x18')	219	275	228		
ACCESSIBLE SPACES*	7	6	12		
TOTAL SPACES	226	281	240		

- \* ADA REQUIREMENTS FOR PARKING LOT: 201 TO 300 TOTAL SPACES = 7 ADA SPACES
- \*\* PARKING SPACES REQUIRED BY ZONING ORDINANCE "HIGH SCHOOL": ONE PER EIGHT STUDENTS AND ONE PER EMPLOYEE THE REQUIRED PARKING PER THE ZONING ORDINANCE BREAKS DOWN AS FOLLOWS:

SCHOOL (832 STUDENTS) 104 SPACES SCHOOL (122 STAFF) 122 SPACES TOTAL REQUIRED SPACES =226 SPACES

\*\*\* THERE ARE AN ESTIMATED 88 ONSTREET PARKING SPACES ON

CHESTNUT STREET

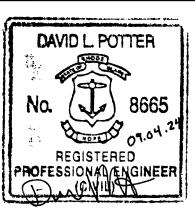


OWNER/APPLICANT: **BRISTOL WARREN REGIONAL** SCHOOL DISTRICT 235 HIGH STREET BRISTOL, RI 02809 401-253-4000

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SCHOOL HIGH Chestnut HOPE 199 (ASSESSOR'S



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PROJECT NO.: 23099.01

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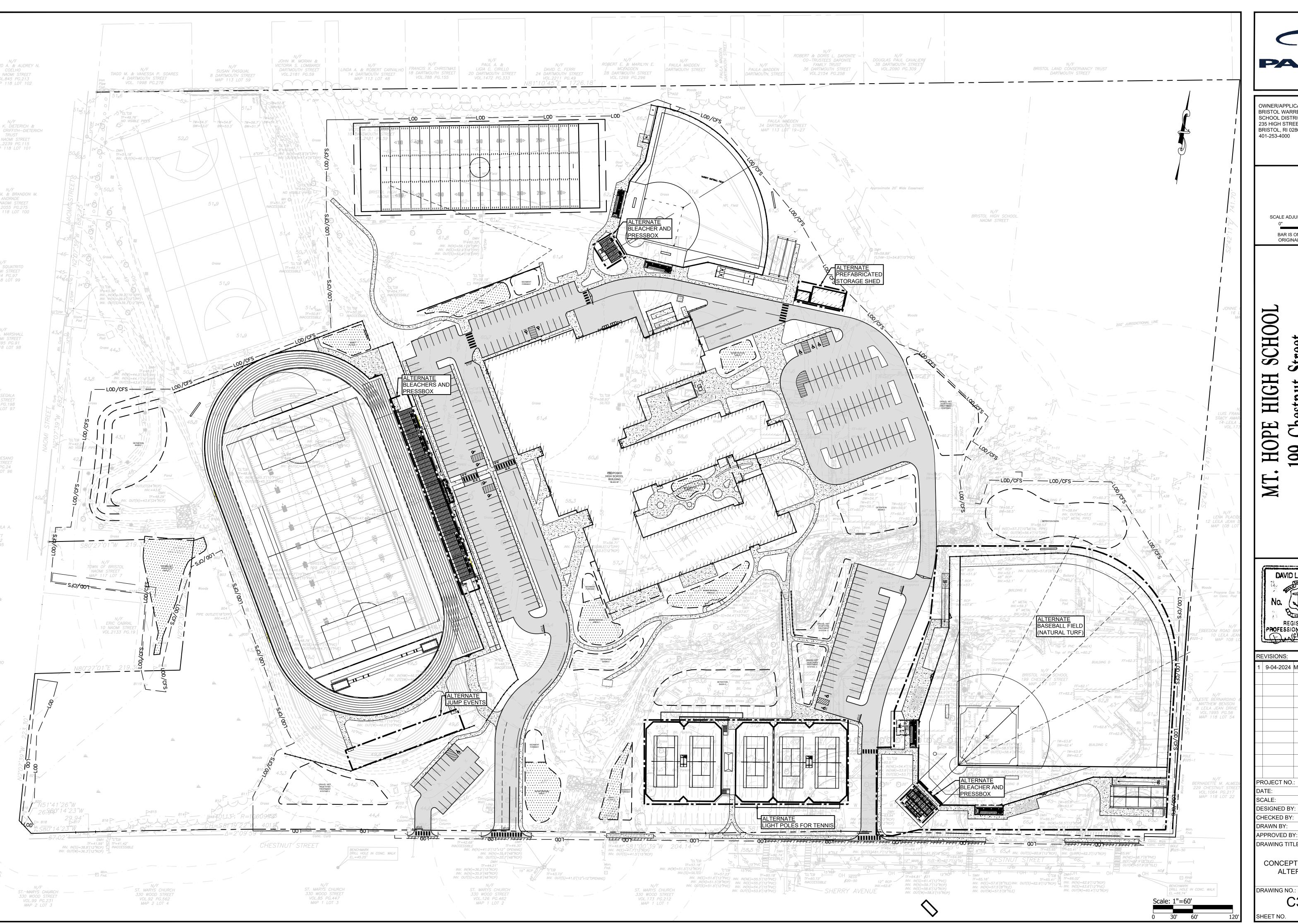
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CONCEPT PLAN 1.4

DRAWING NO.:

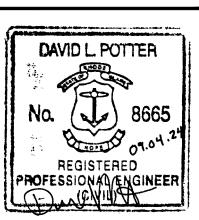
SHEET NO. 9 OF 10





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PROJECT NO.: 23099.01 AUGUST 2, 2024

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CONCEPT PLAN WITH ALTERNATES

DRAWING NO.:

SHEET NO. 10 OF 10





- A DO NOT SCALE FROM MECHANICAL AND ELECTRICAL DRAWINGS. FIELD VERIFY REQUIRED DIMENSIONS AND COORDINATE WITH CIVIL
- B REFER ALSO TO ALL OTHER PLANS AND THE SPECIFICATION, BUT ESPECIALLY TO: THE SITE SURVEY, THE ARCHITECTURAL SITE PLAN, THE SITE GRADING PLAN, THE PLANTING PLAN (WHERE AVAILABLE). FOUNDATION PLAN(S), APPROPRIATE MECHANICAL & ELECTRICAL FLOOR PLANS FOR SERVICE CONTINUATIONS, THE SITE UTILITY PLAN - MECHANICAL & ELECTRICAL. WHERE THERE ARE CONFLICTS AMONG THESE PLANS AND/OR RELATED SPECIFICATIONS, ADVISE THESE ENGINEERS AT LEAST TEN DAYS PRIOR TO SUBMISSION OF
- C ALL FEES AND ANY OTHER COSTS TO UTILITY COMPANIES, MUNICIPALITIES, INSPECTORS, REVIEWING AGENCIES, ETC. ARE TO
- D FEDERAL, STATE, LOCAL, MUNICIPALITY AND UTILITY COMPANY CODES, RULES, REGULATIONS AND REQUIREMENTS APPLY UNLESS
- E WHEN INTERRUPTION OF AN EXISTING UTILITY OR SERVICE IS PLANNED OR OCCURS ACCIDENTALLY, THE CONTRACTOR(S) SHALL WORK CONTINUOUSLY AS NEEDED TO RESTORE SAME PROVIDING PREMIUM TIME AS NEEDED AT NO INCREASE IN THE CONTRACT
- F LOCATIONS, DEPTHS, MATERIAL TYPES, ELEVATIONS, ETC. OF ALL APPURTENANCES, LINES, BUILDINGS, ETC. INDICATED ON THESE DRAWINGS WERE TAKEN FROM VARIOUS SOURCES, ARE DIAGRAMMATIC ONLY AND ARE SUBJECT TO SUBSTANTIAL VARIATION FROM EXISTING CONDITIONS, EXISTING UTILITIES LOCATIONS MAY VARY. CONSEQUENTLY ALL CONTRACTORS SHALL EXERCISE EXTREME CARE IN THE COURSE OF THEIR WORK SO AS TO ENSURE THAT THEY DO NOT INTERRUPT ANY EXISTING SERVICE. FOR SAFETY PURPOSES, PAY PARTICULAR ATTENTION TO THIS PRECAUTION RELATIVE TO NATURAL GAS AND ELECTRICAL LINES. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND/OR LOCAL RULES, REGULATIONS, STANDARDS AND SAFETY
- G PROVIDE LONG RADIUS ELBOWS FOR UNDERGROUND CONDUIT BENDS. WHERE SERVING A UTILITY OWNED TRANSFORMER, THE UTILTY STANDARDS SHALL TAKE PRECEDENCE.
- H UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE MUNICIPALITY OR UTILITY COMPANY STANDARDS. IN ALL CASES, THE MOST STRINGENT REQUIREMENT SHALL APPLY. IF ANY VARIATION OCCURS, CONSULT THE ENGINEER. CONTRACTOR SHALL VISIT THE SITE AND FIELD VERIFY THE ROUTING OF ALL UTILITIES NEW AND EXISTING PRIOR TO SUBMISSION OF BIDS. SUBMISSION OF A BID PROPOSAL INDICATES THAT THE CONTRACTOR IS FULLY AWARE OF ALL OBSTRUCTIONS AND WILL INSTALL ALL OF THE NEW UTILITIES WITHOUT REQUESTS FOR ANY ADDITIONAL CHANGES.
- I PROVIDE GALVANIZED RIGID CONDUIT FOR EXTERIOR UNDERGROUND TRANSITIONS TO ABOVE GRADE; EXTEND CONDUIT A MINIMUM OF 6"
- J CONTRACTOR SHALL PERFORM A SMOKE TEST ON ALL CONDUITS INSTALLED ON SITE AND SHALL TAKE ALL NECESSARY CORRECTIVE
- K CONTRACTOR SHALL CONTACT ENGINEER FOR INSPECTION OF TRENCHES PRIOR TO INSTALLATION OF CONDUITS OR RACEWAYS. PROVIDE PHOTOS UPON REQUEST.
- L CONTRACTOR SHALL CUT AND PATCH ALL PAVEMENT, CURBING, ETC. AS REQUIRED FOR WORK, CONTRACTOR SHALL REPAIR ALL LANDSCAPING THAT IS DAMAGED FOR WORK, FINISH GRADE, SEED AND STRAW ALL DISTURBED GREEN SPACES. ALL PATCH AND REPAIR WORK SHALL BE IN ACCORDANCE WITH BOTH CIVIL AND LANDSCAPE DRAWINGS AND SPECIFICATIONS.
- M COORDINATE UNDERGROUND ELECTRICAL WITH ALL LANDSCAPING AND FENCING, ADJUST ELECTRICAL LINES TO AVOID CONFLICTS. REFER TO LANDSCAPING PLANS FOR FURTHER INFORMATION. AVOID ROUTING UNDERGROUND CONDUITS UNDER ROADWAYS OR PARKING LOTS, CROSS ROADWAYS WITH UNDERGROUND CONDUITS AT 90
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1 LITHONIA EXTERIOR FIXTURE CAT. #DSX1 LED P6 40K 80CRI T5W



OWNER/APPLICANT: **BRISTOL WARREN REGIONAL** SCHOOL DISTRICT 235 HIGH STREET BRISTOL, RI 02809 401-253-4000

**KEY PLAN** SCALE ADJUSTMENT GUIDE

BAR IS ONE INCH ON

ORIGINAL DRAWING

 $\bigcirc$ +4, +

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REVISIONS:

PROJECT NO.: 23099.01 AUGUST 2024

SCALE: DESIGNED BY: ACB CHECKED BY:

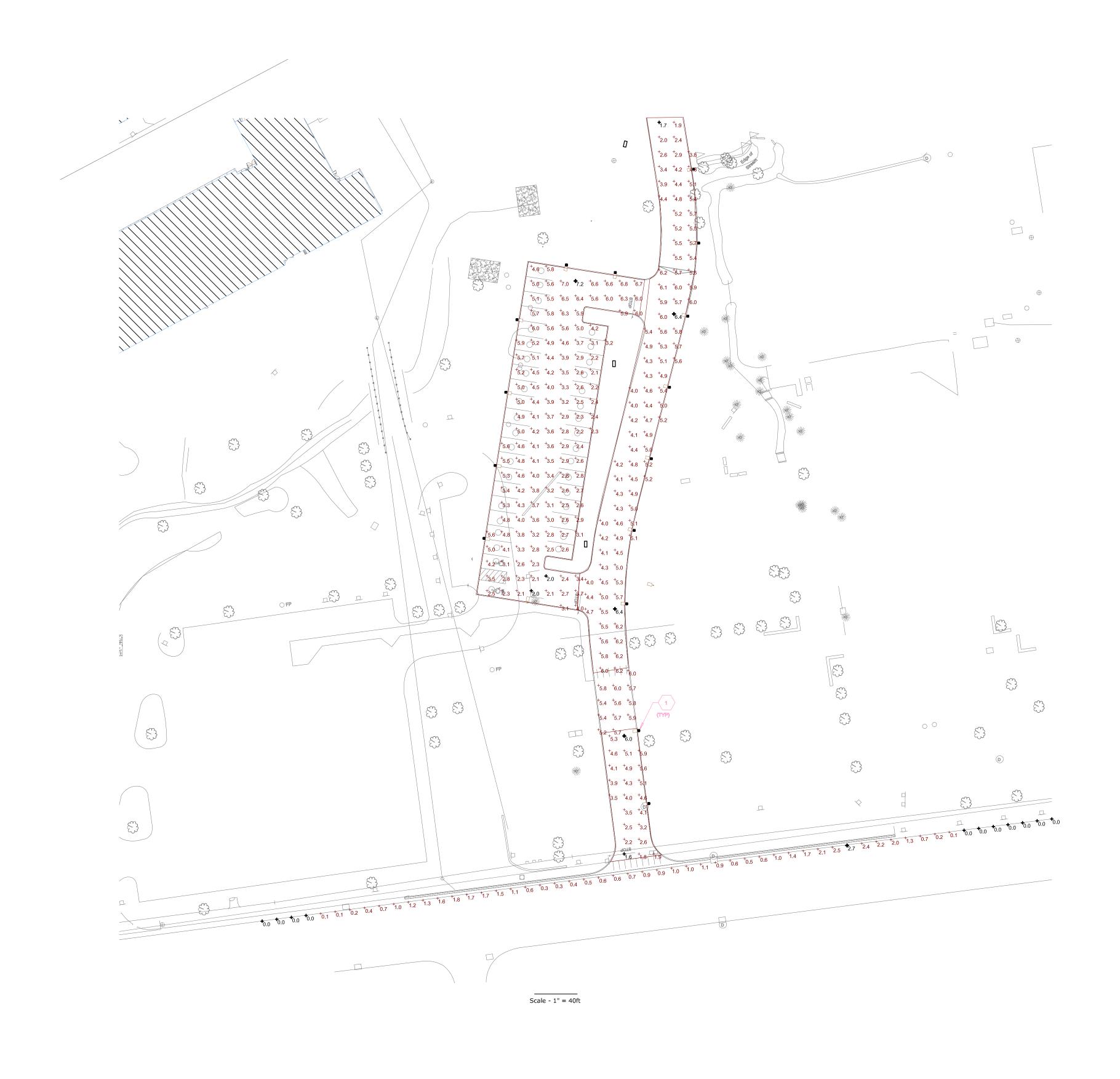
APPROVED BY: DRAWING TITLE: ELECTRICAL SITE

PLAN - LIGHTING - A

DRAWING NO.: E-101A

DRAWN BY:

SHEET NO.



Property Line	+	0.9 fc	2.7 fc	0.0 fc	N/A	N/A
Road		4.6 fc	6.9 fc	1.4 fc	4.9:1	3.3:1
Parking Lot	+	4.0 fc	7.2 fc	2.0 fc	3.6:1	2.0:1

## **ELECTRICAL SITE NOTES**

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## TAGGED NOTES

1 LITHONIA EXTERIOR FIXTURE CAT. #DSX1 LED P6 40K 80CRI T5W OR APPROVED EQUAL.



OWNER/APPLICANT: BRISTOL WARREN REGIONAL SCHOOL DISTRICT 235 HIGH STREET BRISTOL, RI 02809 401-253-4000

KEY PLAN SCALE ADJUSTMENT GUIDE

> BAR IS ONE INCH ON ORIGINAL DRAWING

 $\bigcirc$ +4, + $\bigcirc$ 

₹E	REVISIONS:					

PROJECT NO.: 23099.01 AUGUST 2024 SCALE: DESIGNED BY: ACB

CHECKED BY: DRAWN BY: APPROVED BY: DRAWING TITLE:

ELECTRICAL SITE PLAN - LIGHTING - B

DRAWING NO.:

E-101B

SHEET NO.



Statistics		/				
Description	Symbol	Avg	Max	Min	Max/MinAv	g/Min
PROPERTY LINE	+	1.0 fc	7.6 fc	0.0 fc	N/A	N/A
ROAD		6.3 fc	8.9 fc	3.5 fc	2.5:1	1.8:1
PARKING	+	4.3 fc	10.2 fc	0.4 fc	25.5:1	10.8:1

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OWNER/APPLICANT:
BRISTOL WARREN REGIONAL
SCHOOL DISTRICT
235 HIGH STREET
BRISTOL, RI 02809
401-253-4000

D	C			
A	В			

KEY PLAN
CALE ADJUSTMENT

SCALE ADJUSTMENT GUIDE

0" 1"

BAR IS ONE INCH ON ORIGINAL DRAWING

OPE HIGH SCHOOL Chestnut Street Splat 117, Lots 3, 4, 5, 6, & 7

 $\bigcirc$ 

REVISIONS:	
DO IFOT NO	00000

PROJECT NO.: 23099.01

DATE: AUGUST 2024

SCALE:

DESIGNED BY: ACB

CHECKED BY:

DRAWN BY:

AKL

APPROVED BY:

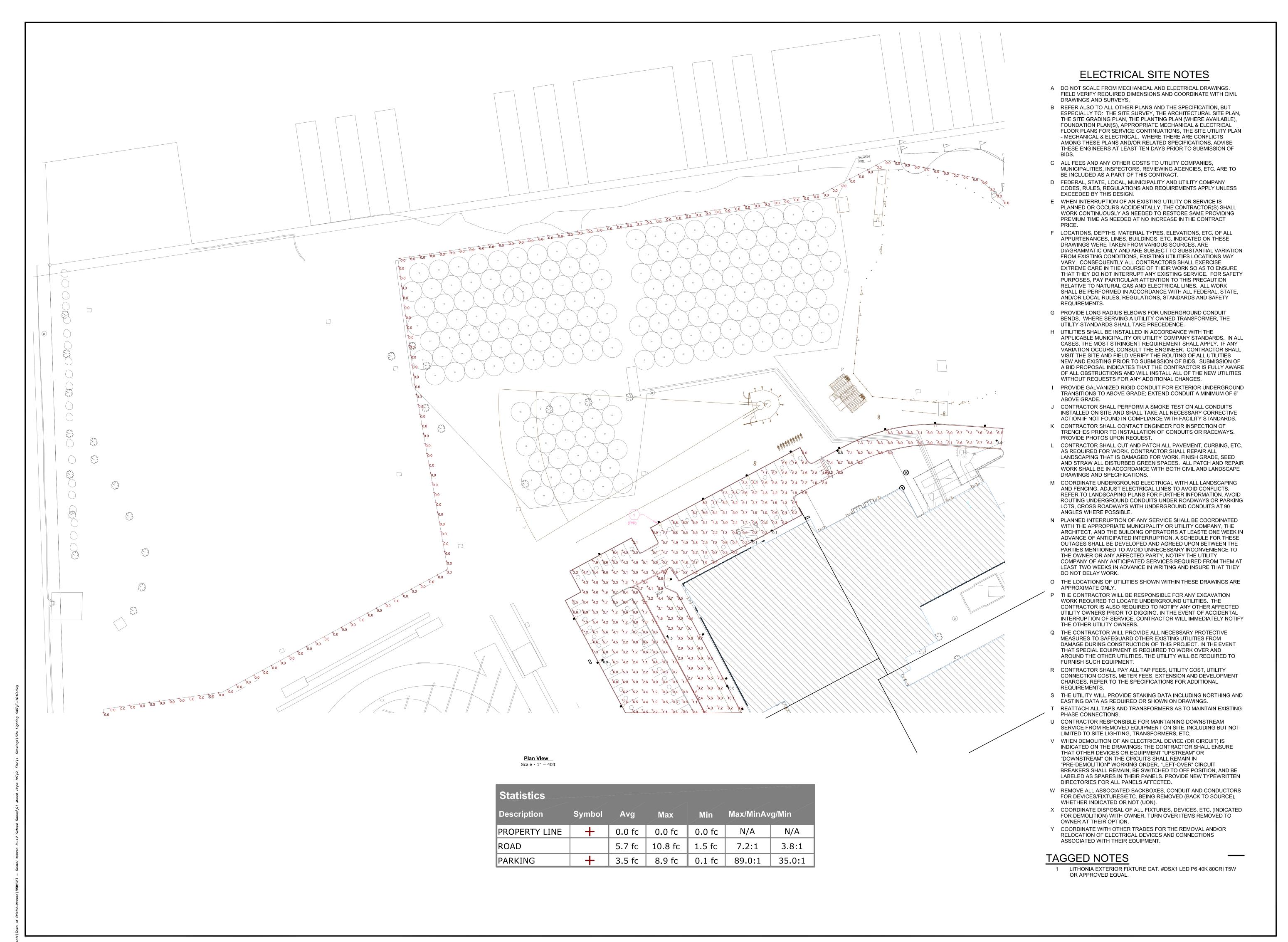
ELECTRICAL SITE PLAN - LIGHTING - C

DRAWING NO.:

SHEET NO.

DRAWING TITLE:

E-101C





D	С
A	В

KEY PLAN
SCALE ADJUSTMENT GUIDE

1"

BAR IS ONE INCH ON ORIGINAL DRAWING

> 99 Chestnut Street ssor's plat 117, lots 3, 4, 5, 6, & 7

EVISIONS:	
ROJECT NO.	23099.01
ATE:	AUGUST 2024

DESIGNED BY: ACB
CHECKED BY:
DRAWN BY: AKL
APPROVED BY:
DRAWING TITLE:

ELECTRICAL SITE PLAN - LIGHTING - D

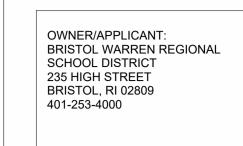
DRAWING NO.:
E-101D

SCALE:

SHEET NO. O





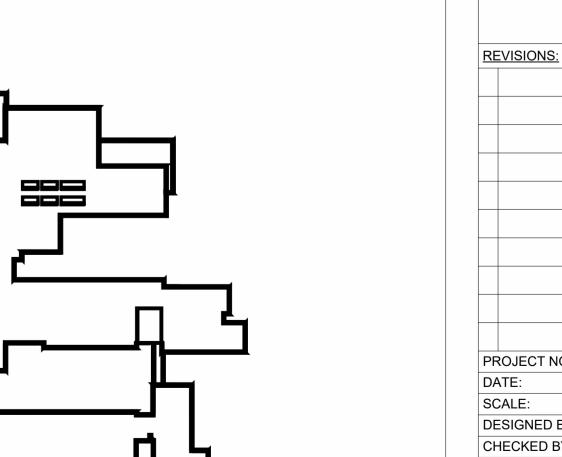


SCALE ADJUSTMENT GUIDE

BAR IS ONE INCH ON ORIGINAL DRAWING

199 Chestnut Street
ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7
Bristol, Rhode Island HOPE HIGH SCHOOL

M M



PROJECT NO.: SCALE: DESIGNED BY: CHECKED BY: DRAWN BY:

AUGUST 2024

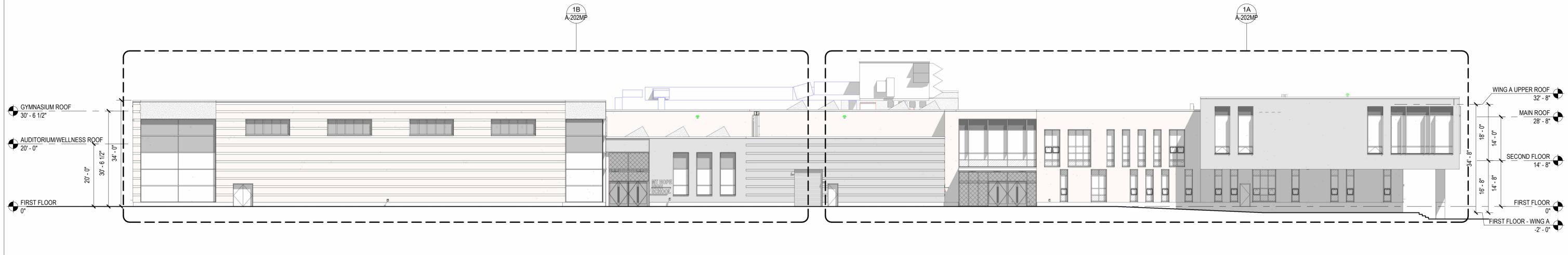
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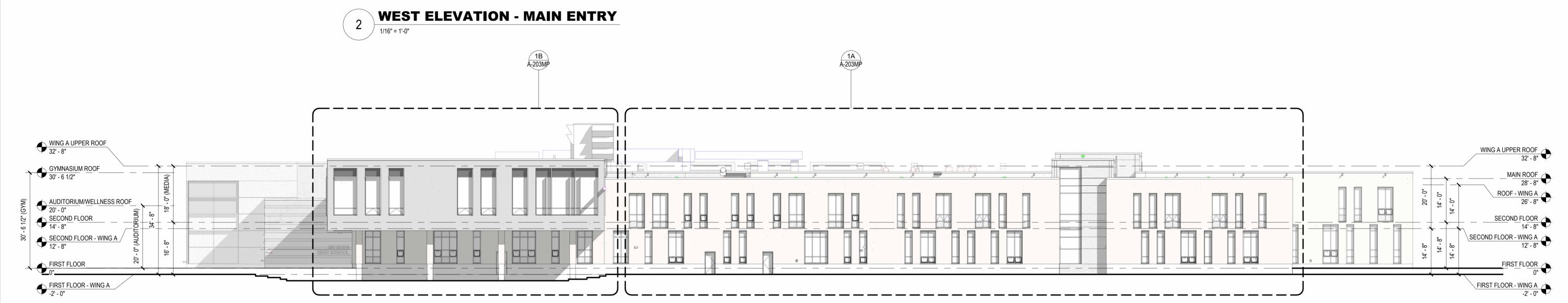
APPROVED BY: DRAWING TITLE:
BUILDING ELEVATIONS OVERALL WEST AND SOUTH
ELEVATIONS

23099.01

DRAWING NO.:

A-200MP SHEET NO. OF



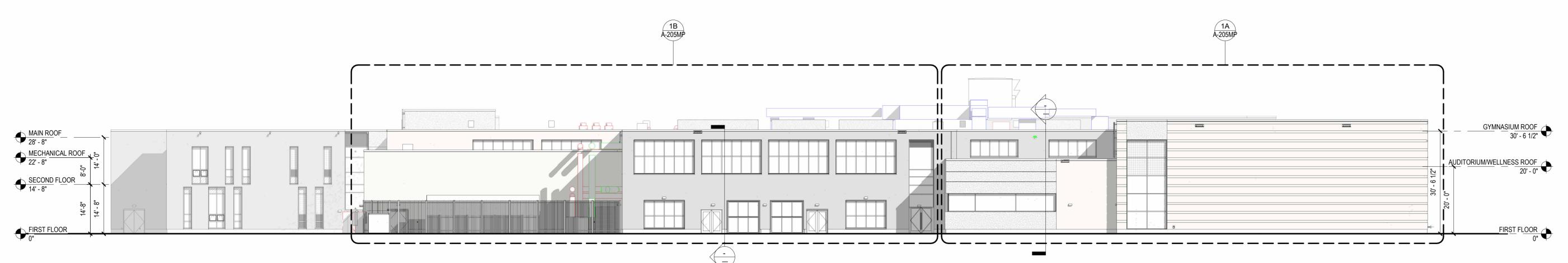


## **SOUTH ELEVATION**

SYSTEMS	LEGEND					GLAZING TYPES
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	VISION GLASS: MID REFLECTANCE/LOW E COATED IGU BOD: 1-5/16" TH.
EWS-1A.6 EWS-1A.10 EWS-2A.8	MASONRY BRICK ON STRUCTURAL STUD CAVITY WALL  NORMAN BRICK, RUNNING BOND INSTALLED - FACE BRICK TYPE 1 (GREY) AIRSPACE  UNFACED SEMI RIGID MINERAL WOOL INSULATION ON LIQUID APPLIED CONTINUOUS AIR/VAPOR BARRIER  SHEATHING  COLD FORMED STRUCTURAL STUD BACKUP WALL  GYPSUM WALL BOARD FINISH	EWS-3C.6 (EWS-1C.8 (EWS-1C.10)	GLASS FIBER REINFORCED CONC. PANEL ON STRUCTURAL STUD CAVITY WALL  GFRC WALL PANEL WITH CONCEALED ANCHORS AND FRAMING SYSTEM.  SEMI RIGID MINERAL WOOL INSULATION ON LIQUID APPLIED CONTINUOUS AIR/VAPOR BARRIER  SHEATHING  COLD FORMED STRUCTURAL STUD BACKUP WALL  GYPSUM WALL BOARD FINISH	W-# CW-6.#	WINDOWS  • LOW E COATED, DOUBLE PANE GLAZING, THERMALY BROKEN, ALUM. WINDOWS. 2 COAT MICA FINISH.  ALUM AND GLASS CURTAIN WALL:  • 6" TH, 4 WAY CAPTURED W/ LOW E COATED, DOUBLE PANE GLAZING, BLACK SEALS AND BLACK ALUM SPACERS AT IGU GLAZING, THERMALY BROKEN, ALUM CURTAIN WALL SYSTEM. 2 COAT MICA FINISH.	SPANDREL GLASS: MID REFLECTANCE/LOW E COATED IGU BOD: 1-5/16" TH.  PENTRATION RESISTANT GLASS: MID REFLECTANCE, LOW-E COATED IGU. BOD: SCHOOL GUARD GLASS. SG5. BOD: 1-5/16" TH.  FRITTED GLASS: MID REFLECTANCE/LOW E COATED IGU, STANDARD FRIT PATTERN.
EWS-1B.6 EWS-1B.8 EWS-1B.10 EWS-2B.6	MASONRY BRICK ON STRUCTURAL STUD CAVITY WALL  NORMAN BRICK, RUNNING BOND INSTALLED - FACE BRICK TYPE 2 (SANDY); 60%, 40% BRICK BLEND.  UNFACED SEMI RIGID MINERAL WOOL INSULATION ON LIQUID APPLIED CONTINUOUS AIR/VAPOR BARRIER  SHEATHING  COLD FORMED STRUCTURAL STUD BACKUP WALL, VARIOUS SIZES, SEEE BELOW. REF. PLANS	EWS-5G.6 EWS-5G.8 (EWS-5G.10) EWS-6G.6 (EWS-6G.10)	CMU GROUND FACE MASONRY BASE ON STEEL STUD BACKUP  GROUTED OR SOLID CMU GROUND FACE BLOCK (BOD: )  AIRSPACE  RIGID INSULATION ON LIQUID APPLIED CONTINUOUS AIR/VAPOR BARRIER  SHEATHING  COLD FORMED STRUCTURAL STEEL STUD  GYPSUM WALL BOARD	CW-6A.#	ALUM AND GLASS CURTAIN WALL WITH EXTERIOR SUN SHADES:  CW-6 W/ EXTERIOR ALUM SUN SHADES, FRAME MOUNTED/PROVIDED BY CURTAIN WALL MFR.  ALUM AND GLASS CURTAIN WALL:  10-1/2" TH, 4 WAY CAPTURED W/ LOW E COATED, DOUBLE PANE GLAZING, BLACK SEALS AND BLACK ALUM SPACERS AT IGU GLAZING, THERMALY BROKEN, ALUM CURTAIN WALL SYSTEM. 2 COAT MICA FINISH.	STANDARD FRIT PATTERN.  BOD: 1-5/16" TH.  BOD: VITRO STARPHIRE CLEAR LITE W/ PPG SOLARBAN 72. ALL IGUS ARE ARGON FILLED.  "BLACK" PRIMARY AND SECONDARY SEALS AND "BLACK" ANODIZED ALUMINUM SPACERS  INTERIOR: PROVIDE TEMPERED GLAZING UP TO 18" A.F.F.  PROVIDE HURRICANE RESISTANT GLASS AT WINDOWS AND GLASS DOORS, INCLUDE THICKER THAN 1" IGU AS REQUIRED
ŒWS-2B.10	GYPSUM WALL BOARD FINISH	CN-1	CANOPY/SOFFIT METAL COMPOSITE MATERIAL (MCM) PANELS	CW-10A.#	ALUM AND GLASS CURTAIN WALL WITH EXTERIOR SUN SHADES     CW-10 W/ EXTERIOR ALUM SUN SHADES, FRAME MOUNTED/PROVIDED BY CURTAIN WALL MFR.	PROVIDE PENETRATION RESISTANT FILM AT ALL FIRST FLOOR GLAZING, NOT RECEIVING SG5. BOD: 3M
		MC-1	METAL COPING  • HEAVY GUAGE METAL COPING.		NOTES  CURTAIN WALL THERMAL DOORS INSTALLED BY CW MED AS INDICATED.	PROVIDE 1HR FIRE RATED INTERIOR GLAZING AT ALL STAIRWELLS AND AS REQUIRED BY CODE
		CS-1	PRECAST CONCRETE WINDOW SILLS  • 2 1/4" THICK, 11 5/8" DEEP SILL WITH DRIP EDGE. PROVIDE PC SILL AT ALL WINDOWS.		<ul> <li>CURTAIN WALL THERMAL DOORS INSTALLED BY CW MFR AS INDICATED:</li> <li>PROJECT OUT ZERO SIGHTLINE WINDOW INSTALLED BY CW MFR AS INDICATED:</li> <li>ALL ALUM SURFACES TO BE 2 COAT MICA PVDF/AAMA 2605 SYSTEM</li> </ul>	BOD: TGP FIRE RATED NARROW PROFILE STEEL DOORS AND FRAMES; 60 MIN.



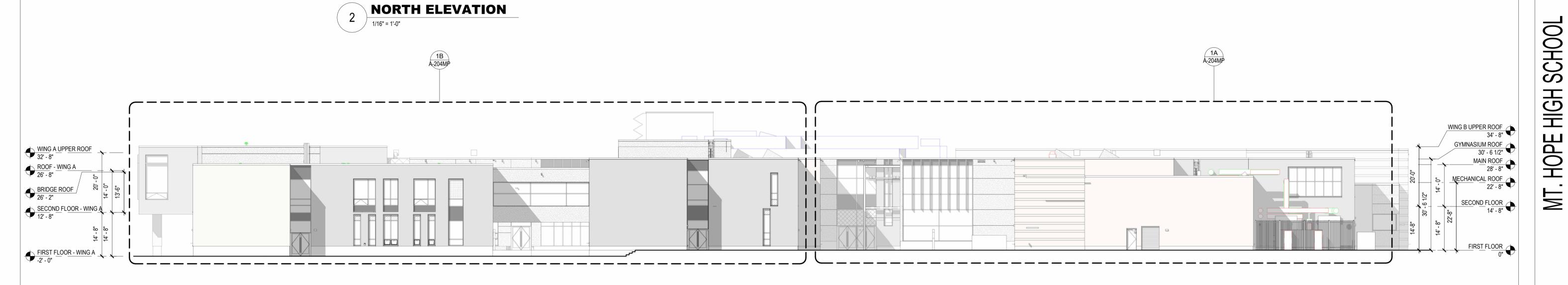




SCALE ADJUSTMENT GUIDE

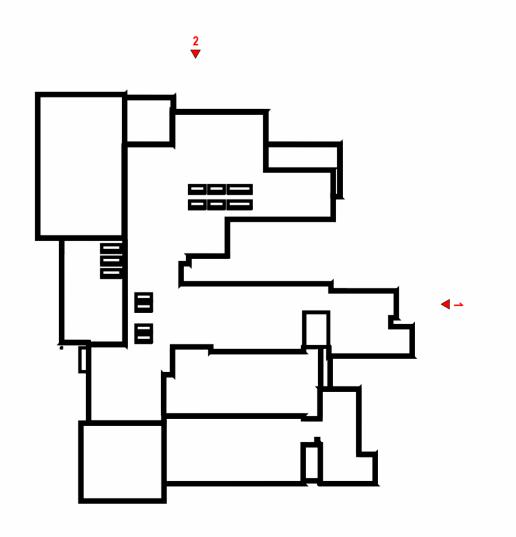
BAR IS ONE INCH ON ORIGINAL DRAWING

HOPE HIGH SCHOOL 199 Chestnut Street
ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7
Bristol, Rhode Island



# EAST ELEVATION 1/16" = 1'-0"

SYSTEM	S LEGEND					GLAZING TYPES
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	VISION GLASS: MID REFLECTANCE/LOW E COATED IGU BOD: 1-5/16" TH.
EWS-1A.6	MASONRY BRICK ON STRUCTURAL STUD CAVITY WALL  NORMAN BRICK, RUNNING BOND INSTALLED - FACE BRICK TYPE 1 (GREY) AIRSPACE  UNFACED SEMI RIGID MINERAL WOOL INSULATION ON LIQUID APPLIED	EWS-1C.8	GLASS FIBER REINFORCED CONC. PANEL ON STRUCTURAL STUD CAVITY WALL  GFRC WALL PANEL WITH CONCEALED ANCHORS AND FRAMING SYSTEM.  SEMI RIGID MINERAL WOOL INSULATION ON LIQUID APPLIED CONTINUOUS	W-#	<ul> <li>WINDOWS</li> <li>LOW E COATED, DOUBLE PANE GLAZING, THERMALY BROKEN, ALUM. WINDOWS. 2 COAT MICA FINISH.</li> </ul>	SPANDREL GLASS: MID REFLECTANCE/LOW E COATED IGU BOD: 1-5/16" TH.
EWS-1A.10 EWS-2A.8		ŒWS-1C.10	SEMI RIGID MINERAL WOOL INSULATION ON LIQUID APPLIED CONTINUOUS AIR/VAPOR BARRIER     SHEATHING     COLD FORMED STRUCTURAL STUD BACKUP WALL     GYPSUM WALL BOARD FINISH	CW-6.#	ALUM AND GLASS CURTAIN WALL:  • 6" TH, 4 WAY CAPTURED W/ LOW E COATED, DOUBLE PANE GLAZING, BLACK SEALS AND BLACK ALUM SPACERS AT IGU GLAZING, THERMALY BROKEN, ALUM CURTAIN WALL SYSTEM. 2 COAT MICA	PENTRATION RESISTANT GLASS: MID REFLECTANCE, LOW-E COATED IGU. BOD: SCHOOL GUARD GLASS. SG5. BOD: 1-5/16" TH.  FRITTED GLASS: MID REFLECTANCE/LOW E COATED IGU.
		EWS-5G.8	CMU GROUND FACE MASONRY BASE ON STEEL STUD BACKUP  GROUTED OR SOLID CMU GROUND FACE BLOCK (BOD: )  AIRSPACE  RIGID INSULATION ON LIQUID APPLIED CONTINUOUS AIR/VAPOR BARRIER	CW-6A.#	FINISH.  ALUM AND GLASS CURTAIN WALL WITH EXTERIOR SUN SHADES:  • CW-6 W/ EXTERIOR ALUM SUN SHADES, FRAME MOUNTED/PROVIDED BY CURTAIN WALL MFR.	STANDARD FRIT PATTERN. BOD: 1-5/16" TH.  BOD: VITRO STARPHIRE CLEAR LITE W/ PPG SOLARBAN 72. ALL IGUS ARE ARGON FILLED.
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EWS-1B.10 EWS-2B.6	CONTINUOUS AIR/VAPOR BARRIER  • SHEATHING  • COLD FORMED STRUCTURAL STUD BACKUP WALL, VARIOUS SIZES, SEEE BELOW, REF. PLANS	(EWS-6G.10)			THERMALY BROKEN, ALUM CURTAIN WALL SYSTEM. 2 COAT MICA FINISH.	PROVIDE HURRICANE RESISTANT GLASS AT WINDOWS AND GLASS DOORS, INCLUDE THICKER THAN 1" IGU AS REQUIRED
€WS-2B.10	GYPSUM WALL BOARD FINISH	CN-1	CANOPY/SOFFIT METAL COMPOSITE MATERIAL (MCM) PANELS	CW-10A.#	ALUM AND GLASS CURTAIN WALL WITH EXTERIOR SUN SHADES  CW-10 W/ EXTERIOR ALUM SUN SHADES, FRAME MOUNTED/PROVIDED BY CURTAIN WALL MFR.	PROVIDE PENETRATION RESISTANT FILM AT ALL FIRST FLOOR GLAZING, NOT RECEIVING SG5. BOD: 3M
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		CS-1	PRECAST CONCRETE WINDOW SILLS  • 2 1/4" THICK, 11 5/8" DEEP SILL WITH DRIP EDGE. PROVIDE PC SILL AT ALL WINDOWS.		<ul> <li>CURTAIN WALL THERMAL DOORS INSTALLED BY CW MFR AS INDICATED:</li> <li>PROJECT OUT ZERO SIGHTLINE WINDOW INSTALLED BY CW MFR AS INDICATED:</li> <li>ALL ALUM SURFACES TO BE 2 COAT MICA PVDF/AAMA 2605 SYSTEM</li> </ul>	BOD: TGP FIRE RATED NARROW PROFILE STEEL DOORS AND FRAMES; 60 MIN.



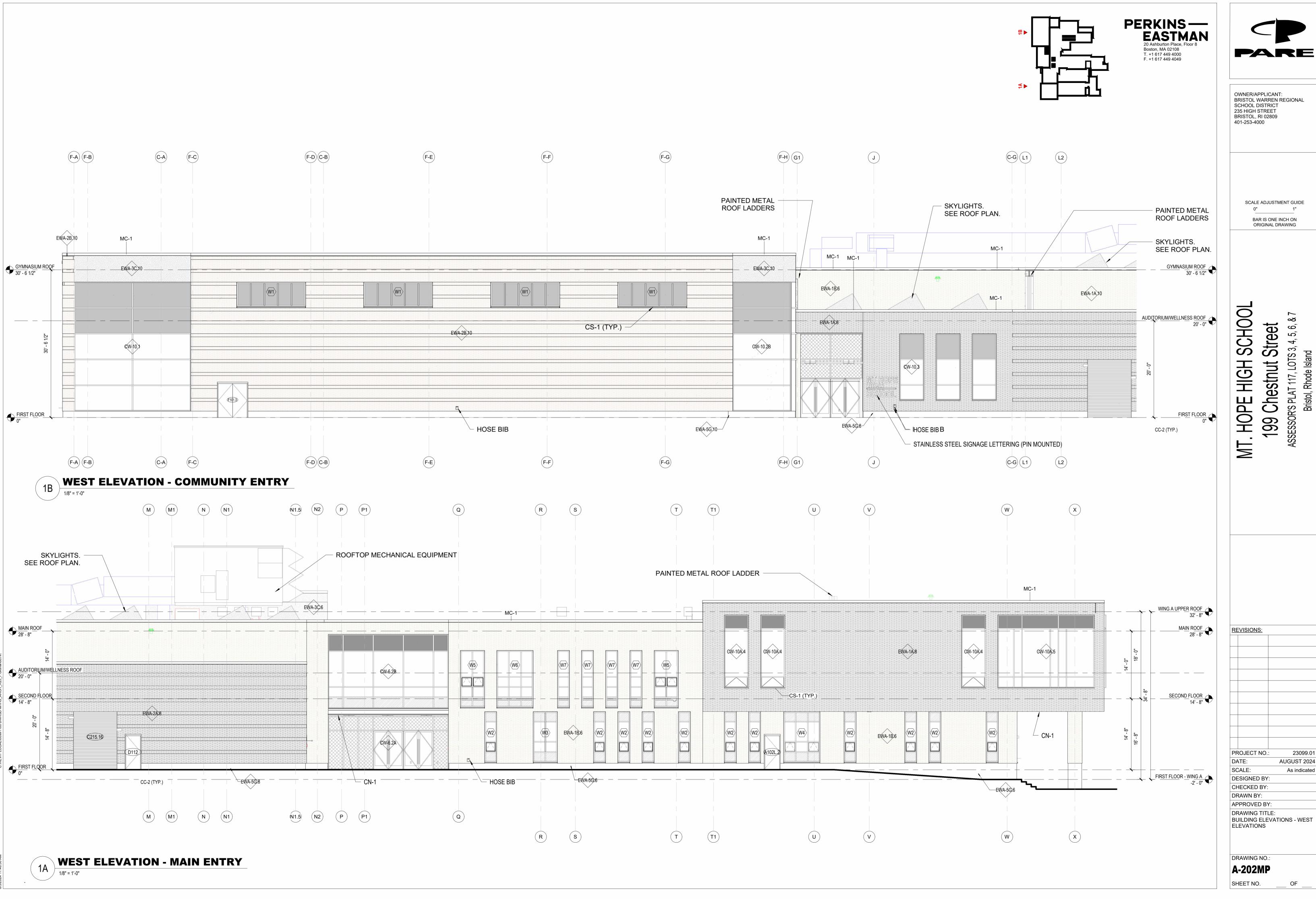
**REVISIONS**: PROJECT NO.: 23099.01 AUGUST 2024 SCALE: As indicated DESIGNED BY: CHECKED BY: DRAWN BY: APPROVED BY: DRAWING TITLE:
BUILDING ELEVATIONS OVERALL EAST AND NORTH
ELEVATIONS

A-201MP

OF

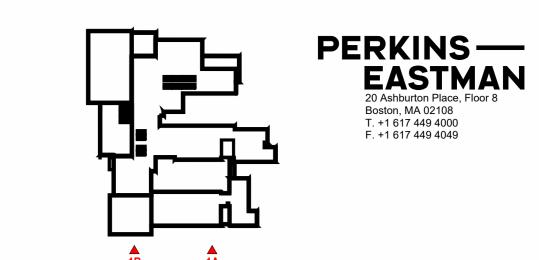
DRAWING NO.:

SHEET NO.





23099.01 AUGUST 2024 As indicated





SCALE ADJUSTMENT GUIDE

BAR IS ONE INCH ON ORIGINAL DRAWING

ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7 Bristol, Rhode Island

MT. HOPE HIGH SCHOOL 199 Chestnut Street

**REVISIONS**:

PROJECT NO.: 23099.01 AUGUST 2024 SCALE: As indicated

DESIGNED BY: CHECKED BY: DRAWN BY: APPROVED BY: DRAWING TITLE:
BUILDING ELEVATIONS -SOUTH
ELEVATIONS

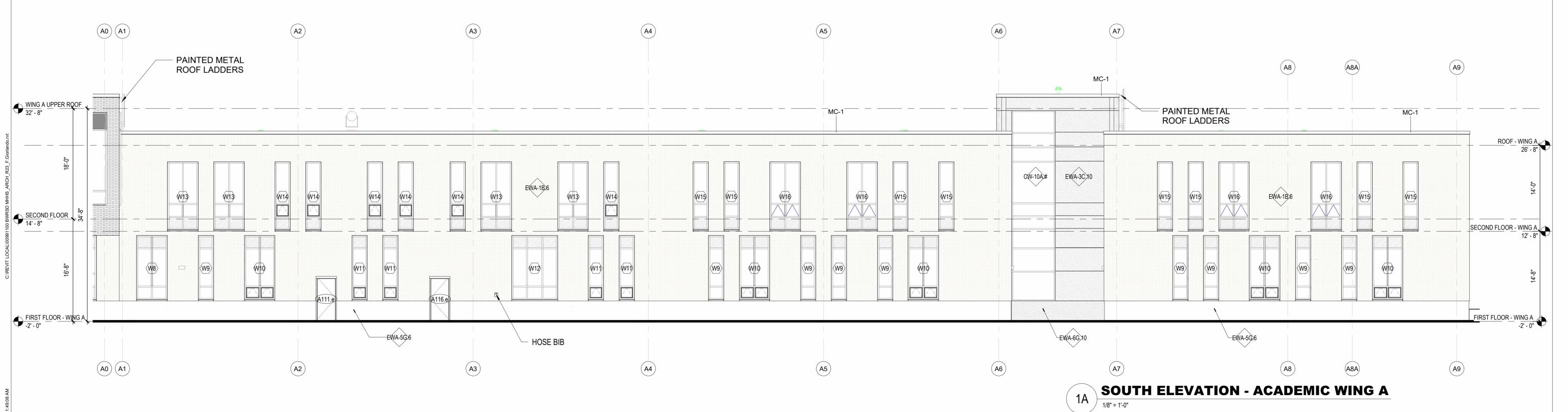
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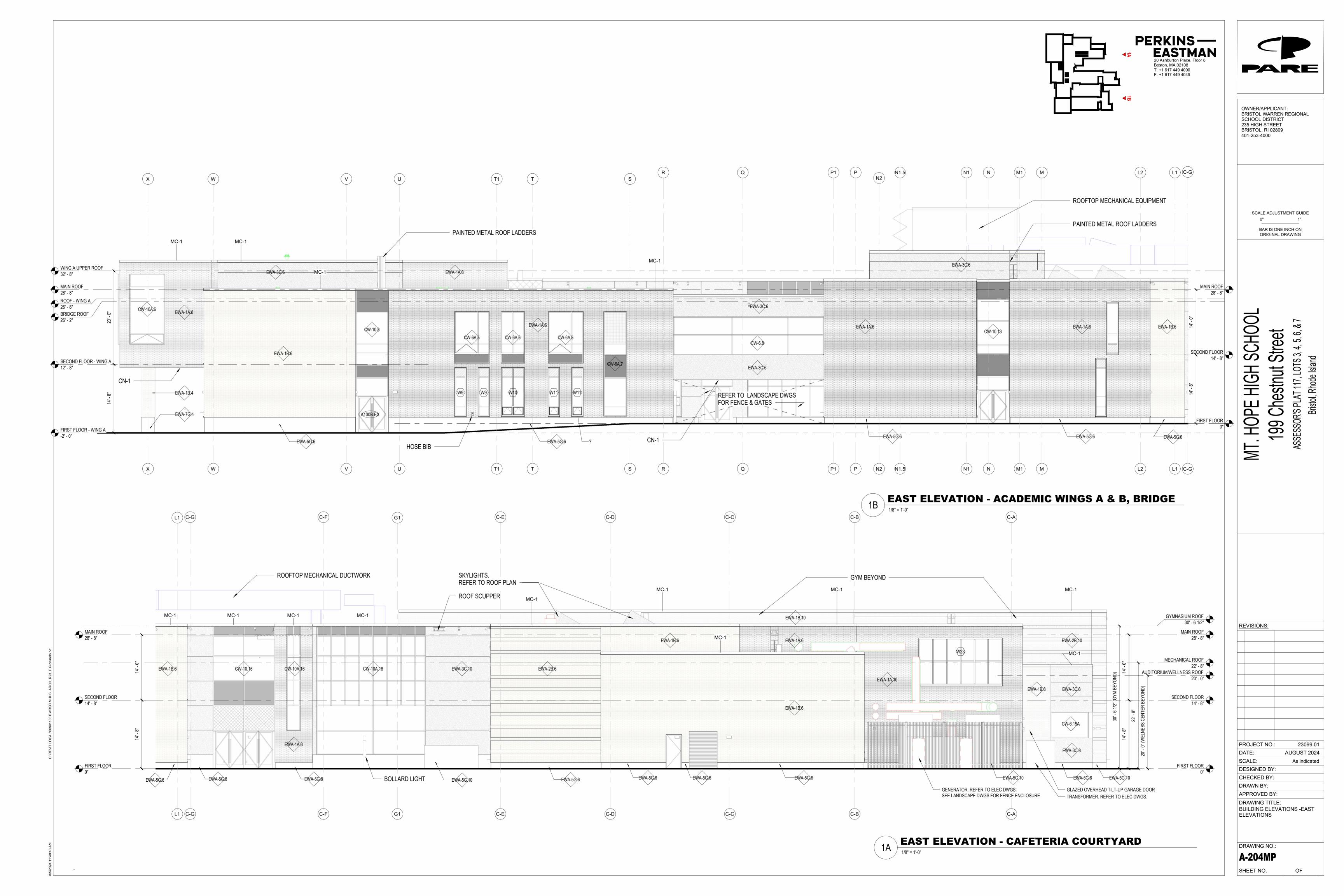
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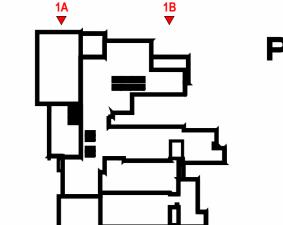
SHEET NO.



# 1B SOUTH ELEVATION - MEDIA COMMONS







PERKINS— EASTMAN 20 Ashburton Place, Floor 8 Boston, MA 02108 T. +1 617 449 4000 F. +1 617 449 4049



OWNER/APPLICANT: BRISTOL WARREN REGIONAL SCHOOL DISTRICT 235 HIGH STREET BRISTOL, RI 02809 401-253-4000

SCALE ADJUSTMENT GUIDE
0" 1"

BAR IS ONE INCH ON ORIGINAL DRAWING

MT. HOPE HIGH SCHOOL 199 Chestnut Street ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7 Bristol, Rhode Island

REVISIONS:

OJECT NO.: 23099.01
TE: AUGUST 2024

PROJECT NO.: 23099.01

DATE: AUGUST 2024

SCALE: As indicated

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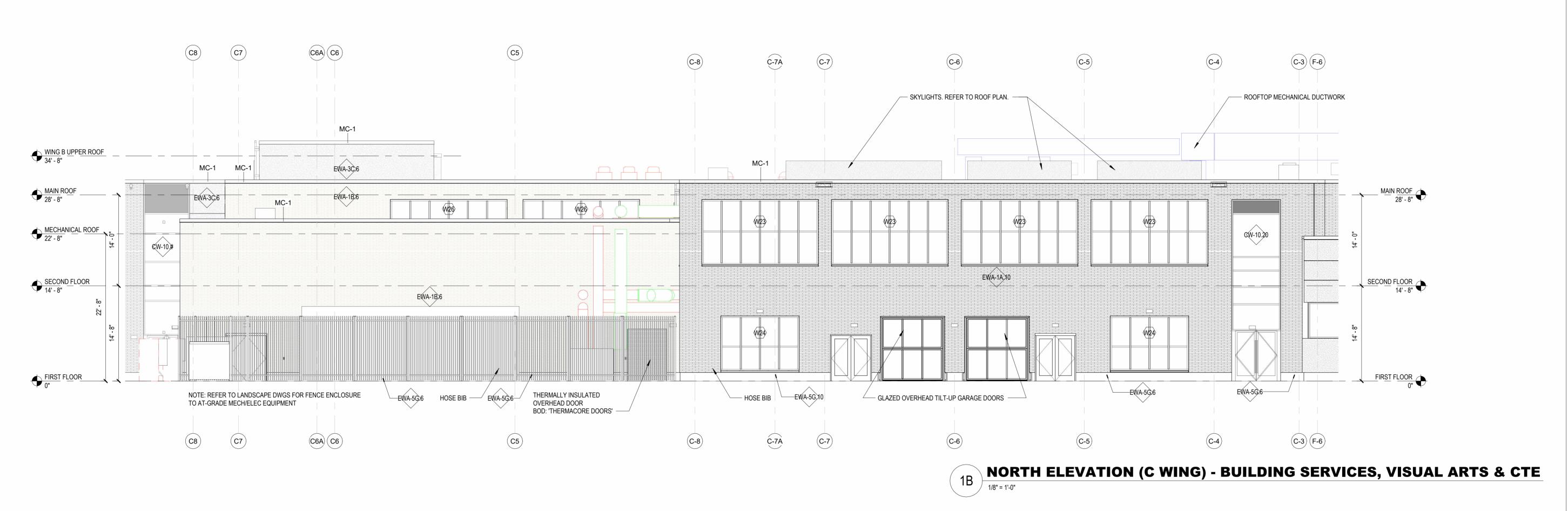
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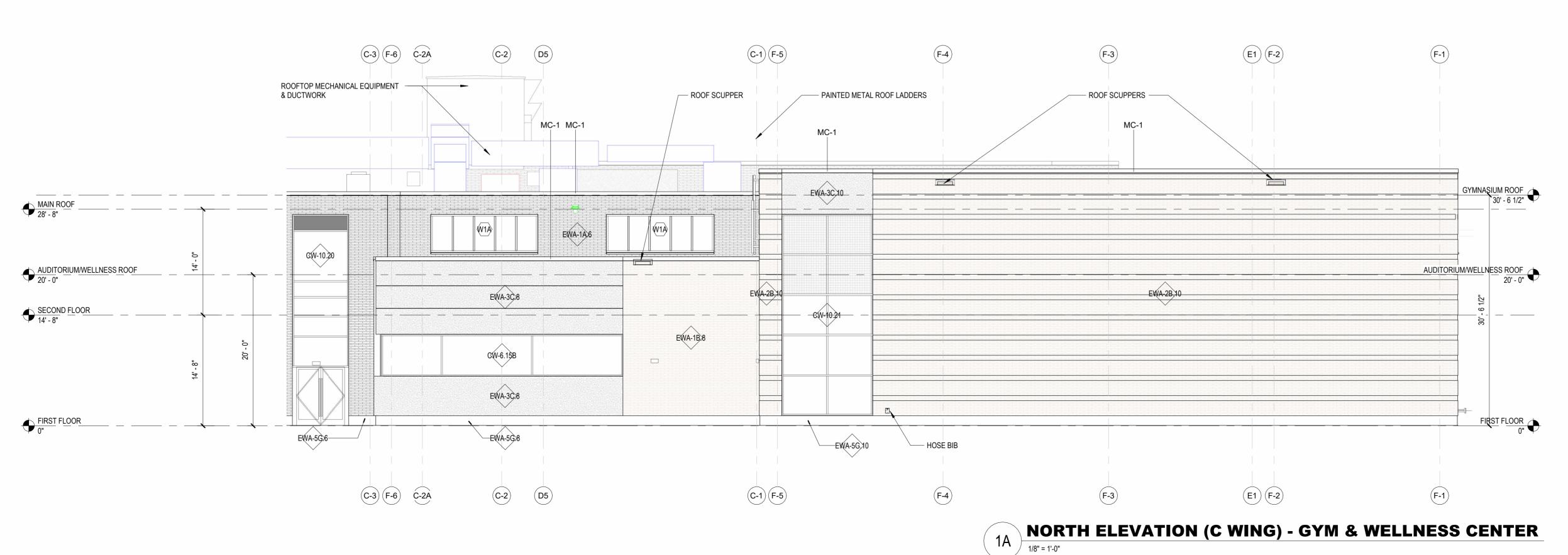
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DRAWING TITLE:
BUILDING ELEVATIONS - NORTH
ELEVATIONS

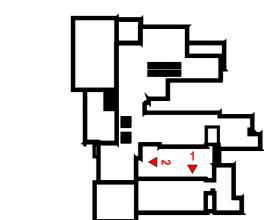
OF

DRAWING NO.:
A-205MP

SHEET NO.











SCALE ADJUSTMENT GUIDE

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ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7 Bristol, Rhode Island 199 Chestnut Street

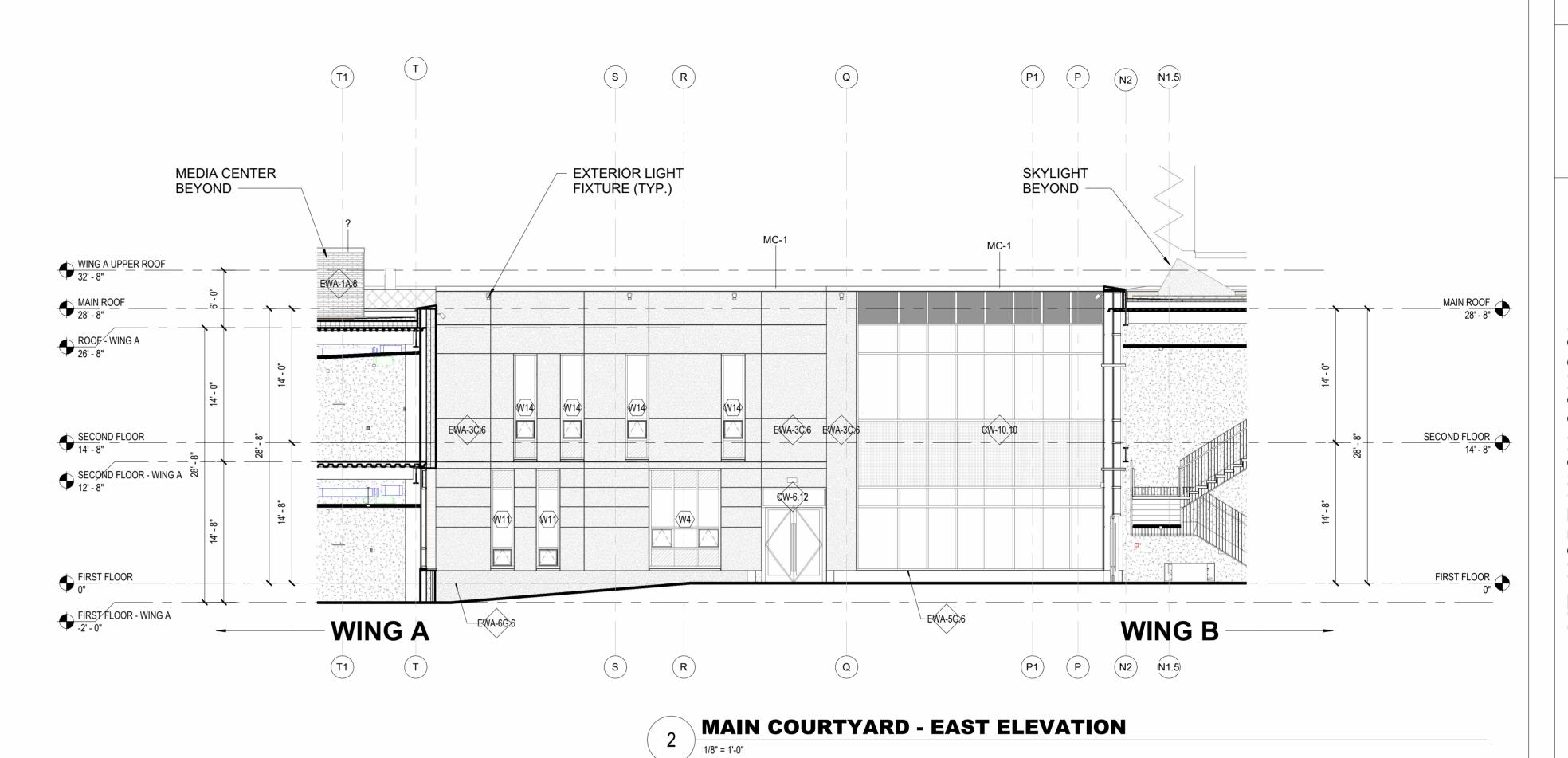
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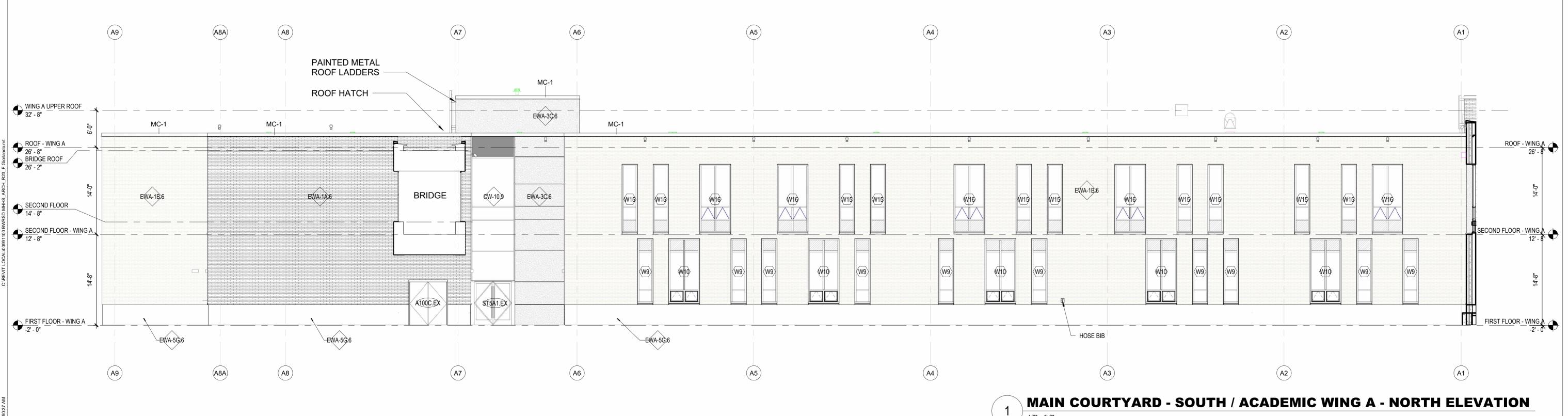
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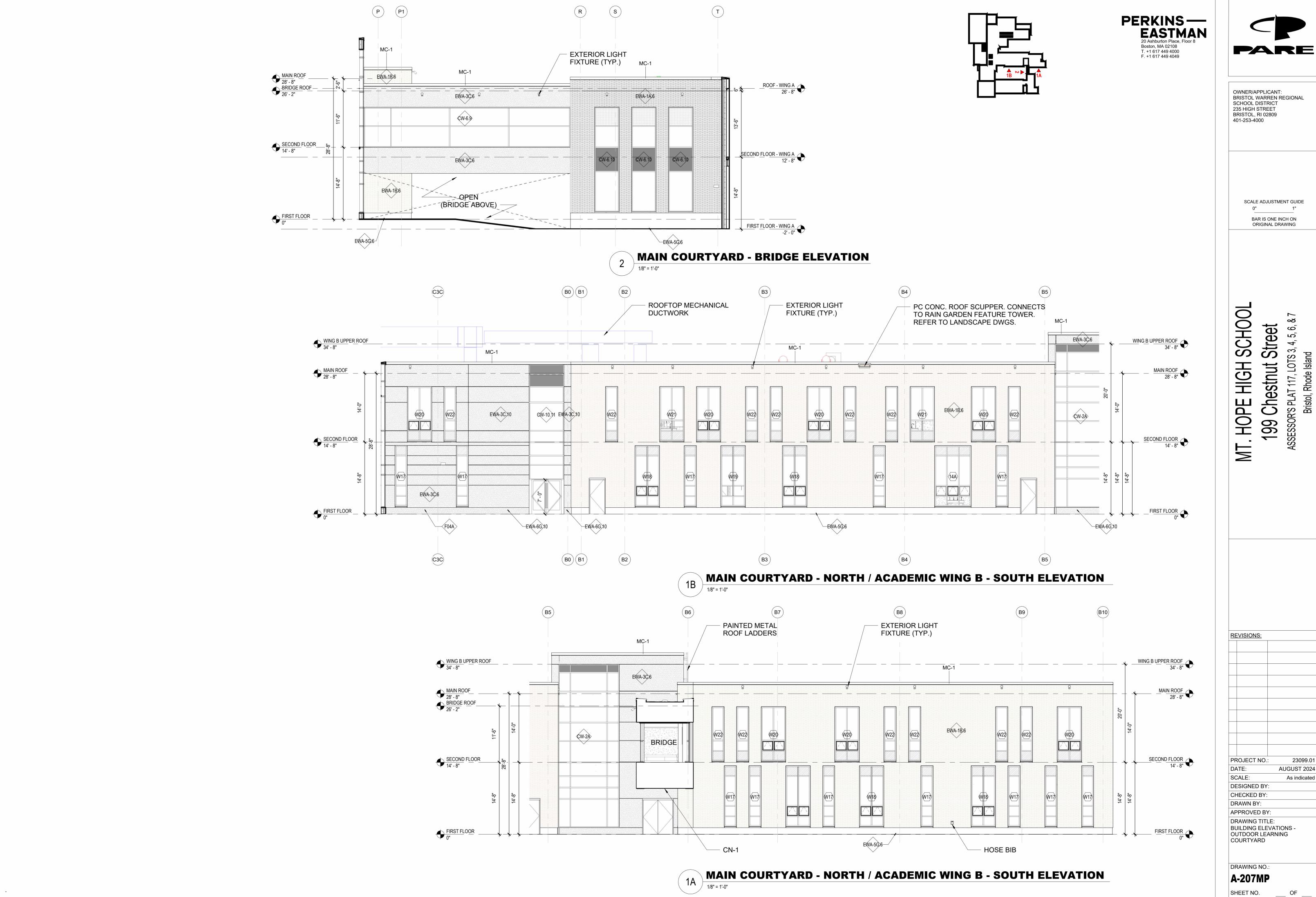
AUGUST 2024 SCALE: As indicated

DESIGNED BY: CHECKED BY: DRAWN BY: APPROVED BY: DRAWING TITLE:
BUILDING ELEVATIONS OUTDOOR LEARNING
COURTYARD

DRAWING NO.: **A-206MP** SHEET NO. OF







PARE

OWNER/APPLICANT: BRISTOL WARREN REGIONAL SCHOOL DISTRICT

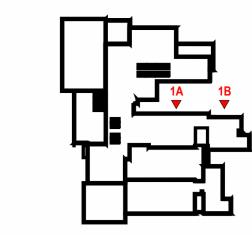
SCALE ADJUSTMENT GUIDE BAR IS ONE INCH ON ORIGINAL DRAWING

ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7 Bristol, Rhode Island

23099.01

As indicated

OF







SCALE ADJUSTMENT GUIDE

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MT. HOPE HIGH SCHOOL 199 Chestnut Street ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7 Bristol, Rhode Island

REVISIONS:

OJECT NO.: 23099.01 TE: AUGUST 2024

PROJECT NO.: 23099.01

DATE: AUGUST 2024

SCALE: As indicated

DESIGNED BY:

CHECKED BY:

DRAWN BY:

APPROVED BY:

DRAWING TITLE:

BUILDING ELEVATIONS - CAFE

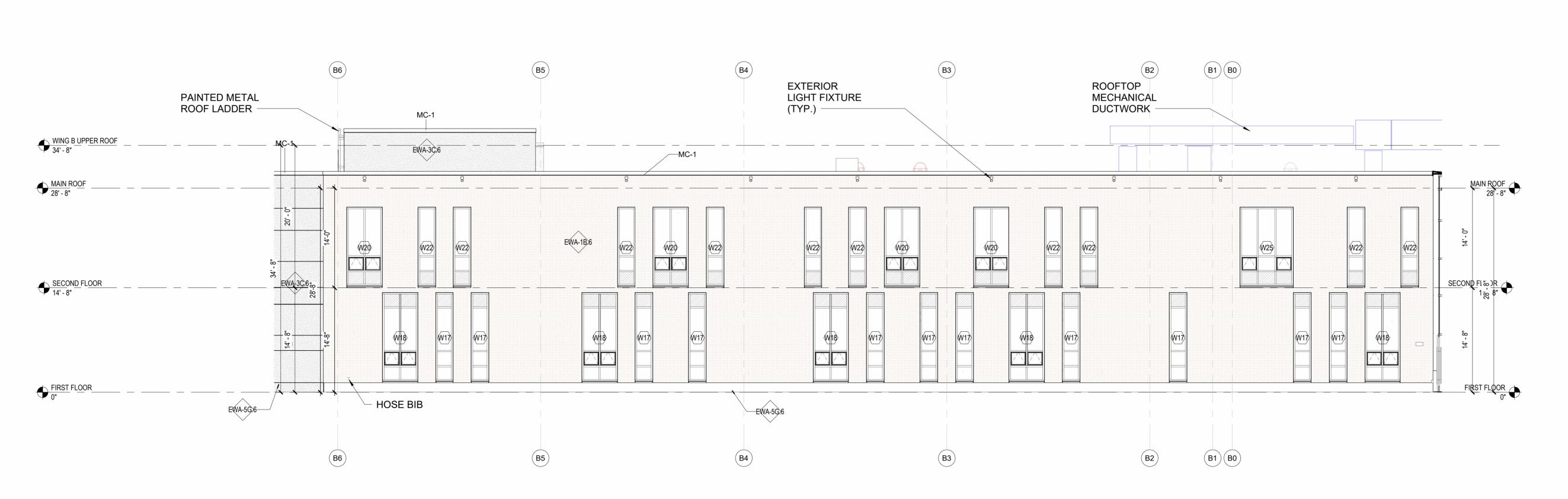
COURTYARD

OF

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A-208MP

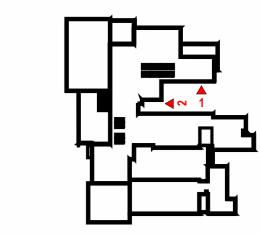
SHEET NO.

B10 **B9** (B7) **B6** (B8) PAINTED METAL ROOF LADDER MC-1 MAIN ROOF\_ 28' - 8" EWA-1A.6 EWA-1A-6 (W20) 5 EWA-3C/6 CW-10.14 SECOND FLOOR
14' - 8" EWA-5G.6 - HOSE BIB **B9** B8 **B7** B10 **B6** 



1B CAFE

CAFE COURTYARD - SOUTH ELEVATION / ACADEMIC WING B NORTH ELEVATION







SCALE ADJUSTMENT GUIDE

BAR IS ONE INCH ON ORIGINAL DRAWING

MT. HOPE HIGH SCHOOL ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7 Bristol, Rhode Island 199 Chestnut Street

**REVISIONS**: PROJECT NO.: 23099.01 AUGUST 2024

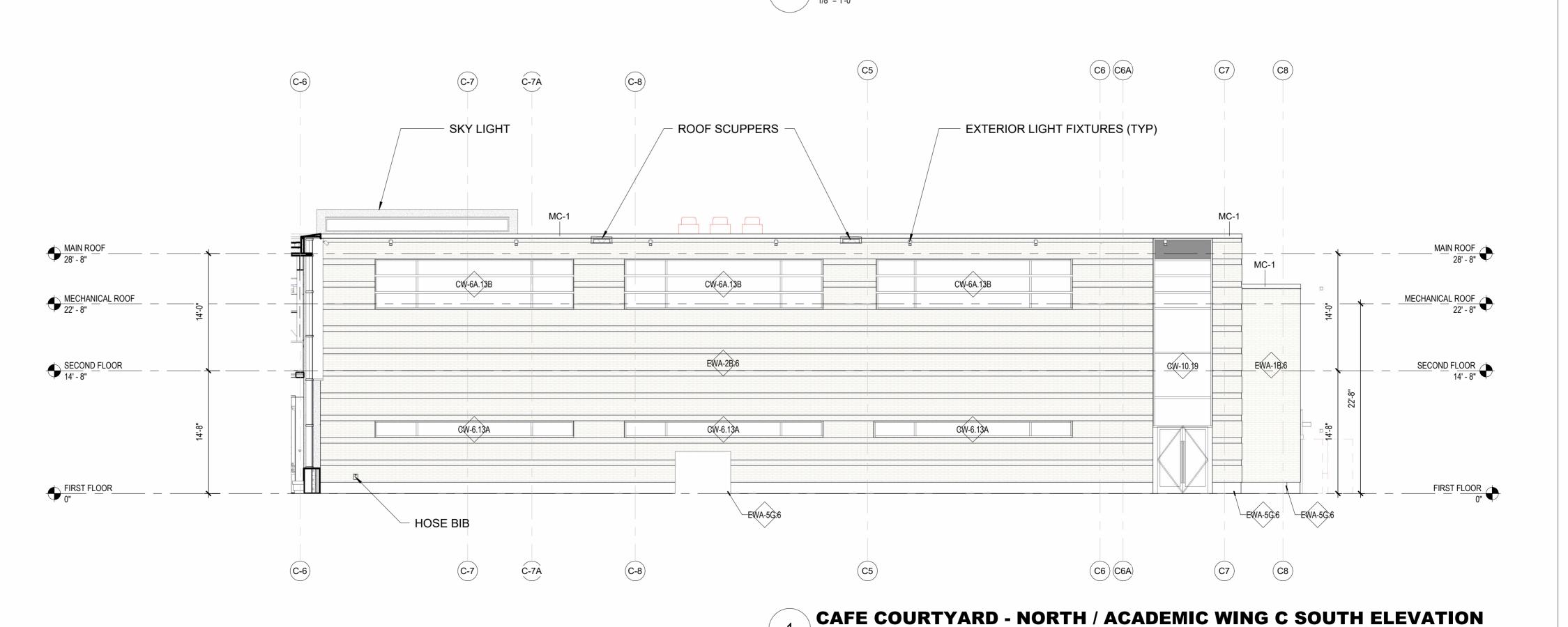
SCALE: As indicated DESIGNED BY: CHECKED BY: DRAWN BY: APPROVED BY: DRAWING TITLE: BUILDING ELEVATIONS - CAFE COURTYARD

OF

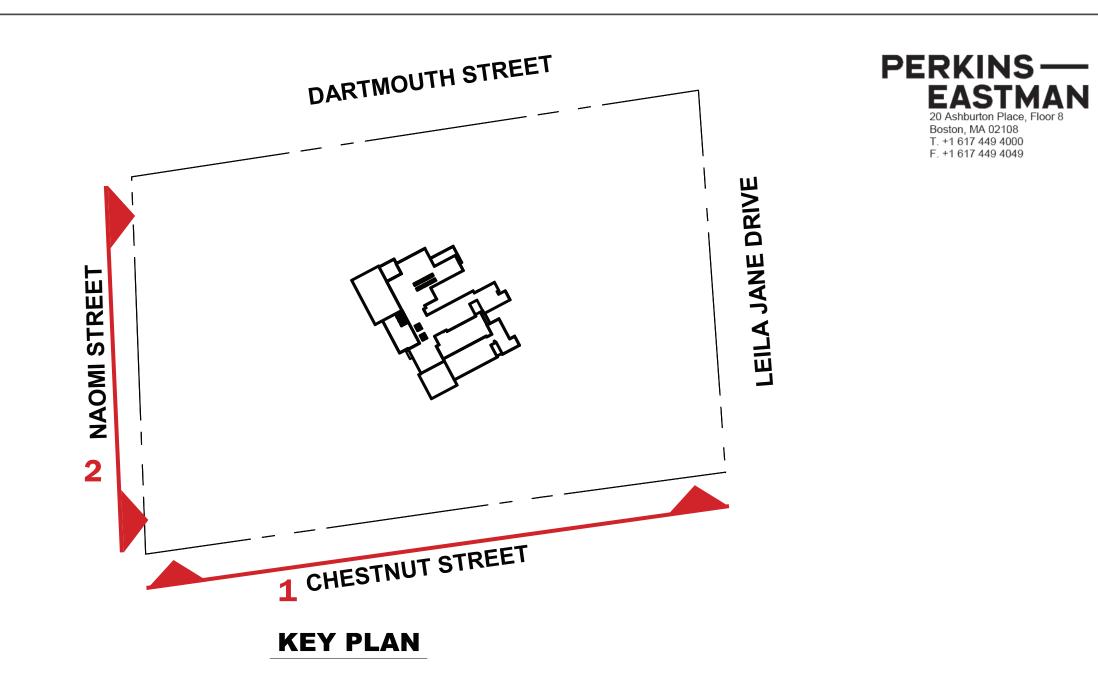
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SHEET NO.

C-G C-F G1 (F-H) ROOFTOP MECAHNICAL DUCTWORK GYMNASIUM BEYOND MC-1 ROOF SCUPPER GYMNASIUM ROOF 30' 6 1/2" MC-1 MAIN ROOF\_ 28' - 8" MAIN ROOF 28' - 8" CW-10.15 SECOND FLOOR
14' - 8" SECOND FLOOR
14' - 8" EWA-3C 10 CW-10A.18 EWA-3C.8 EWA-1A.8 G1 F-H **CAFE COURTYARD - EAST ELEVATION** 



1/8" = 1'-0"





SCALE ADJUSTMENT GUIDE

BAR IS ONE INCH ON ORIGINAL DRAWING

MT. HOPE HIGH SCHOOL 199 Chestnut Street
ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7
Bristol, Rhode Island

REVISIONS:

PROJECT NO.: 23099.01 SCALE:

DESIGNED BY:

CHECKED BY: DRAWN BY: APPROVED BY:

DRAWING TITLE: RENDERINGS - STREET ELEVATIONS

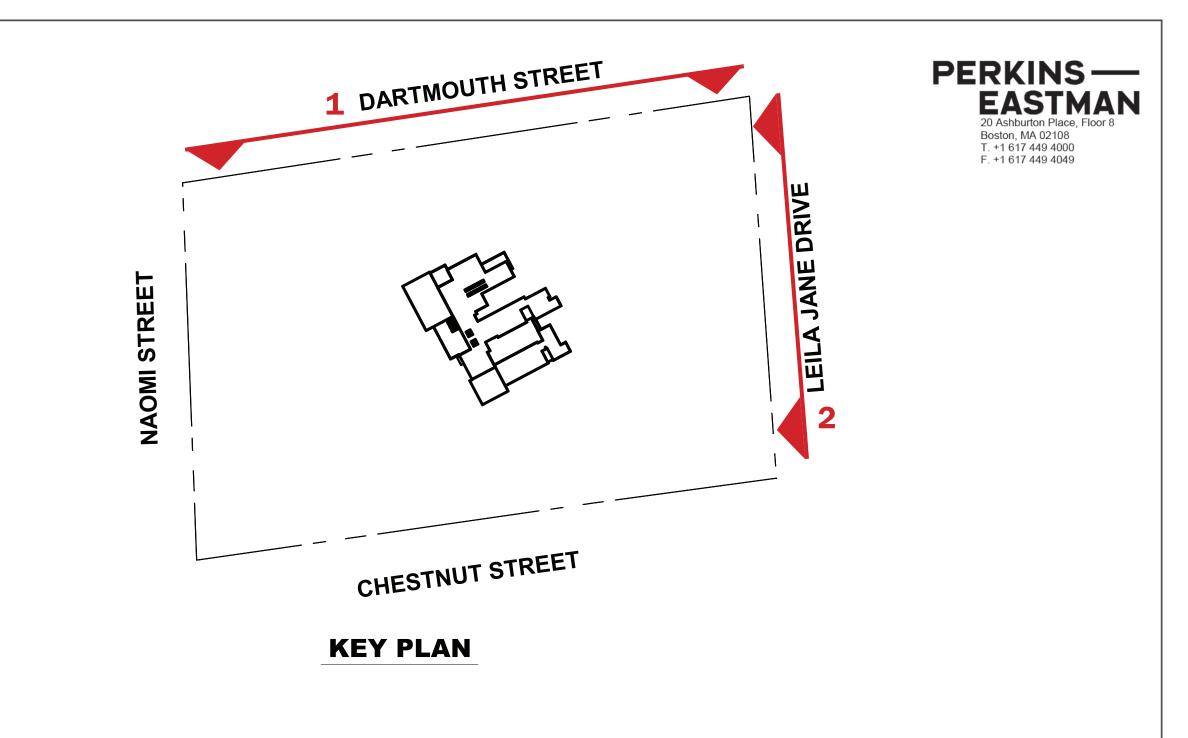
DRAWING NO.: A-210MP

SHEET NO.



2 NAOMI STREET ELEVATION (WEST)

CHESNUT STREET ELEVATION (SOUTH)





SCALE ADJUSTMENT GUIDE

BAR IS ONE INCH ON ORIGINAL DRAWING

MT. HOPE HIGH SCHOOL 199 Chestnut Street
ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7
Bristol, Rhode Island

Stamp

REVISIONS:

23099.01 AUGUST 2024

PROJECT NO.: SCALE: DESIGNED BY: CHECKED BY:

DRAWN BY: APPROVED BY: DRAWING TITLE: RENDERINGS - STREET ELEVATIONS

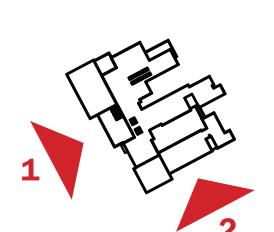
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SHEET NO.

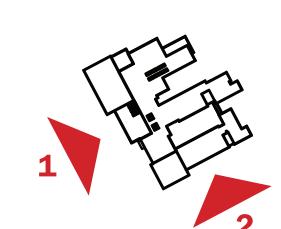
2 LEILA JANE DRIVE ELEVATION (EAST)

**DARTMOUTH STREET ELEVATION (NORTH)** 





**KEY PLAN** 



SOUTH ELEVATION



WEST ELEVATION



OWNER/APPLICANT: BRISTOL WARREN REGIONAL SCHOOL DISTRICT 235 HIGH STREET BRISTOL, RI 02809 401-253-4000

SCALE ADJUSTMENT GUIDE

0" 1"

BAR IS ONE INCH ON ORIGINAL DRAWING

MT. HOPE HIGH SCHOOL

199 Chestnut Street ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7 Bristol, Rhode Island

Stamp

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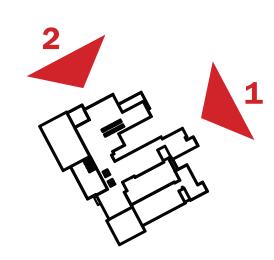
DRAWING TITLE: RENDERINGS - BUILDING ELEVATIONS

DRAWING NO.:

A-212MP

SHEET NO.





## **KEY PLAN**



## NORTH ELEVATION



**EAST ELEVATION** 



OWNER/APPLICANT: BRISTOL WARREN REGIONAL SCHOOL DISTRICT 235 HIGH STREET BRISTOL, RI 02809 401-253-4000

SCALE ADJUSTMENT GUIDE

0" 1"

BAR IS ONE INCH ON ORIGINAL DRAWING

199 Chestnut Street
ASSESSOR'S PLAT 117, LOTS 3, 4, 5, 6, & 7
Bristol, Rhode Island

Stamp

<u> </u>	
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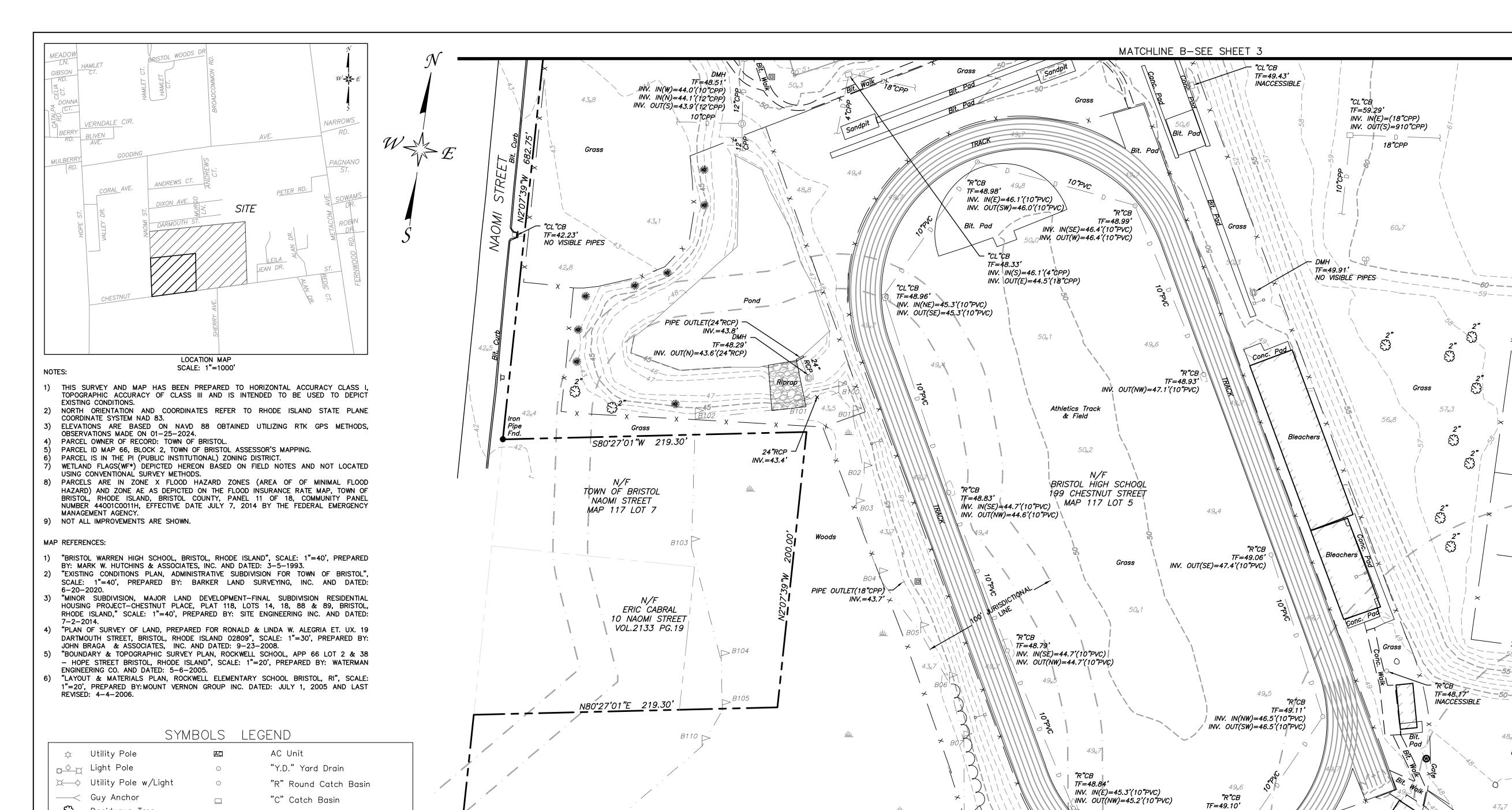
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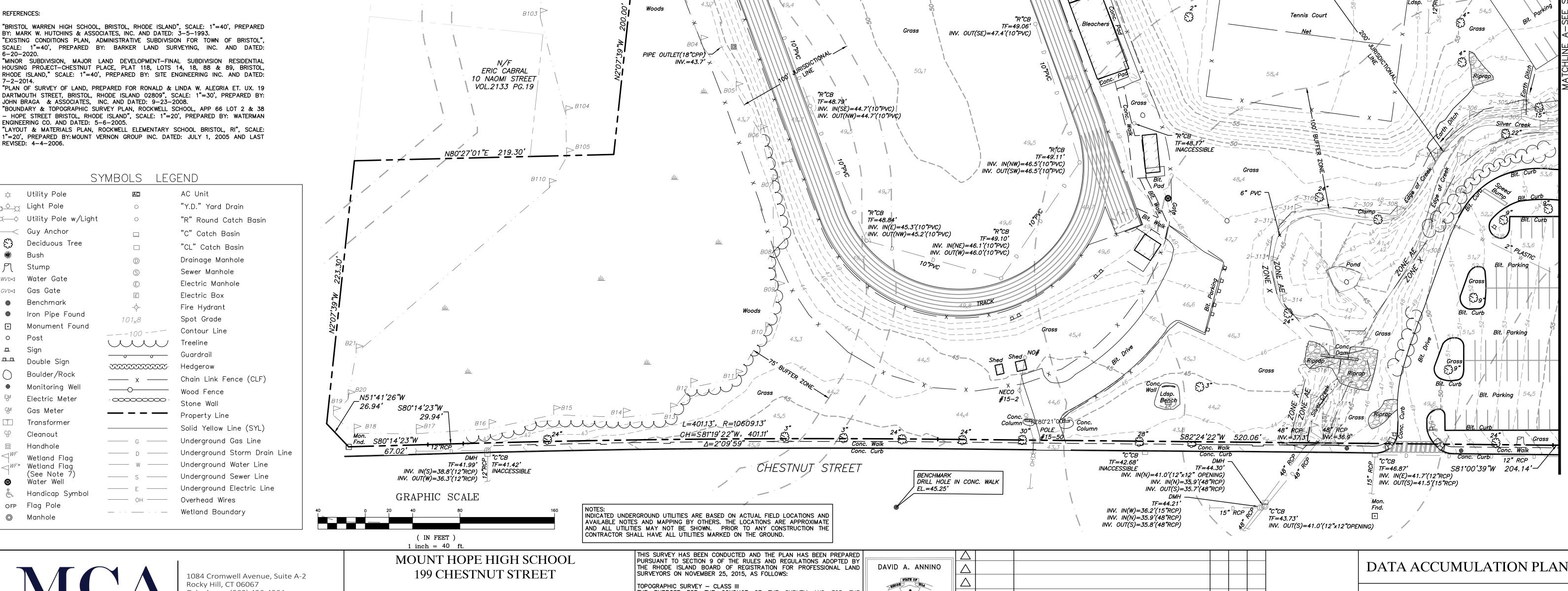
DRAWING TITLE: RENDERINGS - BUILDING ELEVATIONS

DRAWING NO.:

A-213MP SHEET NO.



Ÿ.	Utility Pole	IACI	AC Unit
n ¢ X	Light Pole	$\odot$	"Y.D." Yard Drain
<b>Ж</b>	Utility Pole w/Light	$\odot$	"R" Round Catch Basin
	Guy Anchor		"C" Catch Basin
₿	Deciduous Tree		"CL" Catch Basin
*	Bush	<b>(D)</b>	Drainage Manhole
M	Stump	<u>\$</u>	Sewer Manhole
WV⋈	Water Gate	Ē	Electric Manhole
GV⋈	Gas Gate	E	Electric Box
•	Benchmark	- <del>-</del> -	Fire Hydrant
<u> </u>	Iron Pipe Found	101 <sub>×</sub> 8	Spot Grade
•	Monument Found	100	Contour Line
0	Post	WWW.	Treeline
	Sign	<del></del> o	Guardrail
	Double Sign		Hedgerow
	Boulder/Rock	x	Chain Link Fence (CLF)
⊕	Monitoring Well	<del></del>	Wood Fence
EM	Electric Meter		Stone Wall
GM 	Gas Meter		Property Line
	Transformer		Solid Yellow Line (SYL)
co	Cleanout	——— G ———	Underground Gas Line
□ <1 <sup>WF</sup>	Handhole	D	Underground Storm Drain Line
WF*	Wetland Flag Wetland Flag	W	Underground Water Line
	(See Note 7)	—— s ——	Underground Sewer Line
<b>W</b>	Water Well	— Е —	Underground Electric Line
ě.	Handicap Symbol	—— ОН ——	Overhead Wires





Telephone: (860) 436-4364 Fax: (860) 436-4626

www.martinezcouch.com

BRISTOL, RHODE ISLAND

PREPARED FOR: PERKINS EASTMAN

TOPOGRAPHIC SURVEY — CLASS III
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO DEPICT EXISTING

DAVID A. ANNINO P.L.S. #1963, COA #LS-A711 DATE
THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEA

1963 NO. DATE REVISIONS BY CHK APPV **PROFESSIONAL** LAND SURVEYOR CHECKED BY: JPB SCALE: 1"=40' DATE: 01-24-2024 DRAWN BY: HS

**TOPOGRAPHIC SURVEY** 

JOB NO. DRAWING NUMBER SHEET 2023-194 MOUNT HOPE SCHOOL-RI.DWG 1 OF 4 2023-194

 $62_{x}5$ 

TF=60.32'

Emerg.<sub>□</sub>

PIPES INACCESSIBLE

ັ*TF=58.93*′

60<sub>x</sub>6

TF=56.71'

INV. IN(N)=INACCESSIBLE(12"CPP)

/INV. OUT(S)=53.5'(12"RCP)

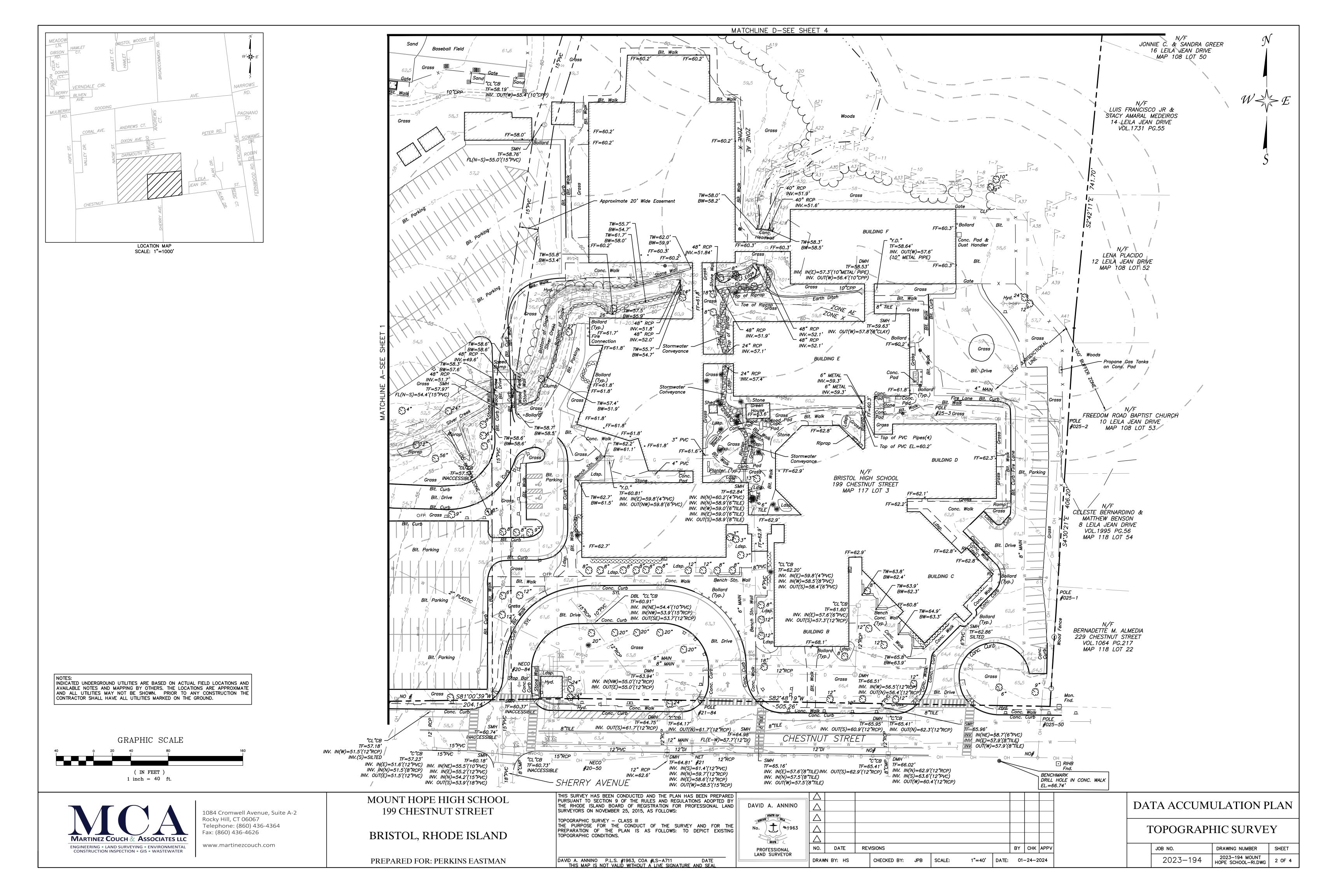
58<sub>x</sub>3

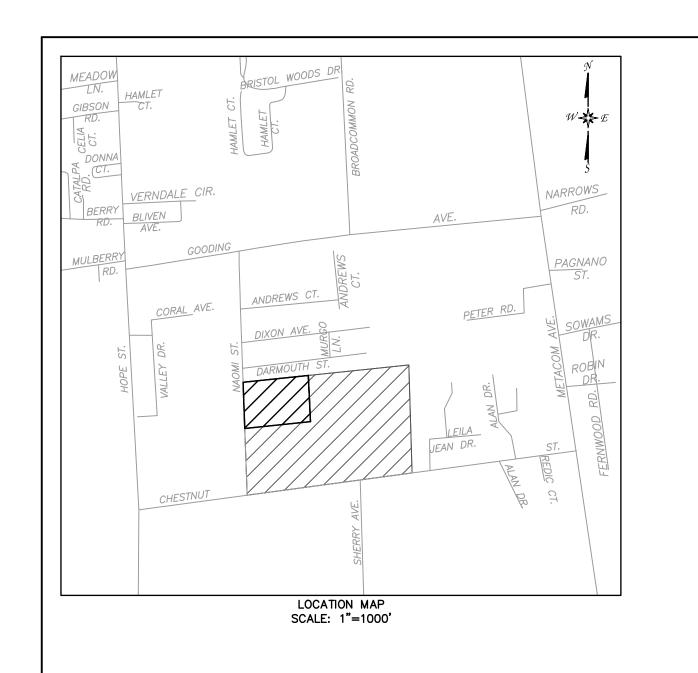
Tennis Court

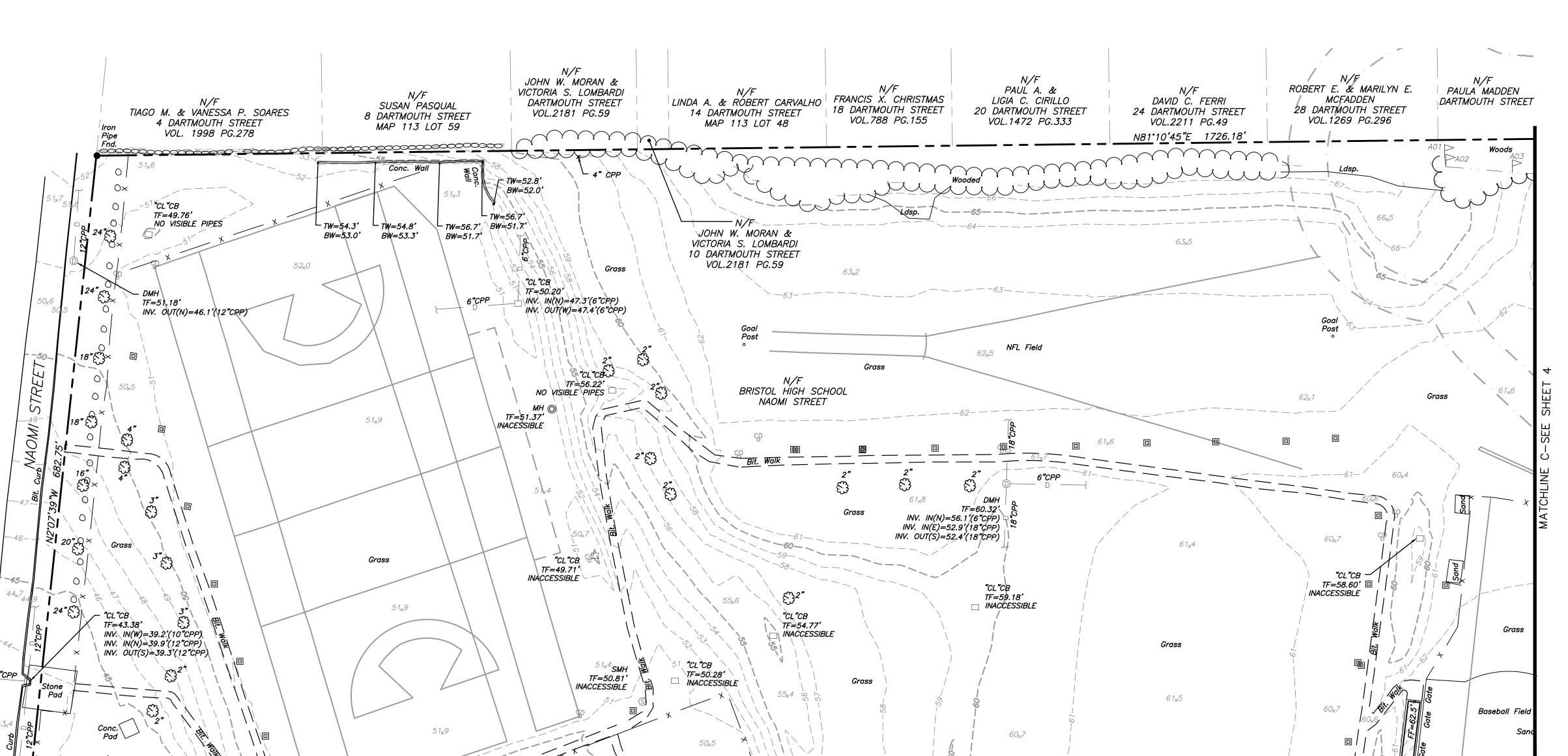
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MOUNT HOPE HIGH SCHOOL 199 CHESTNUT STREET

BRISTOL, RHODE ISLAND

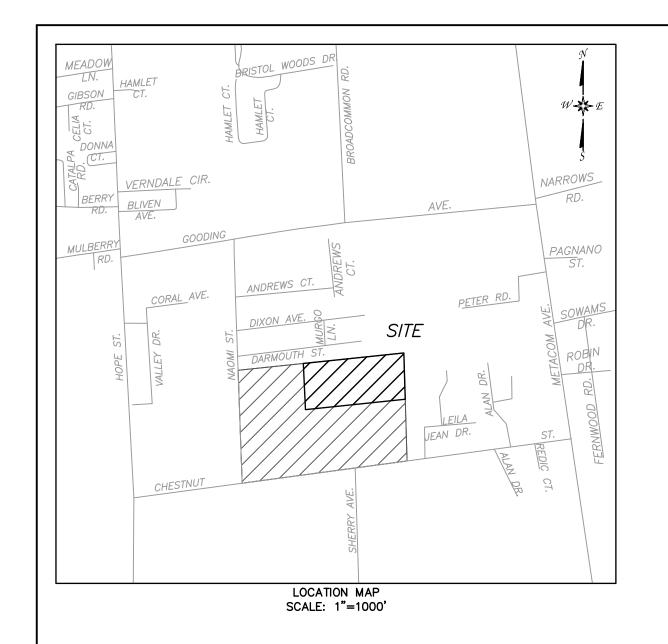
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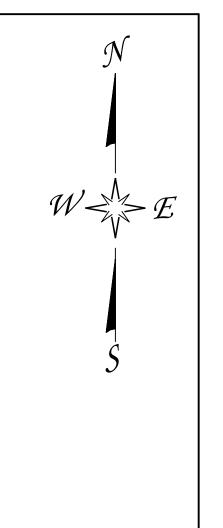
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS: TOPOGRAPHIC SURVEY — CLASS III
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO DEPICT EXISTING DAVID A. ANNINO P.L.S. #1963, COA #LS-A711 DATE THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

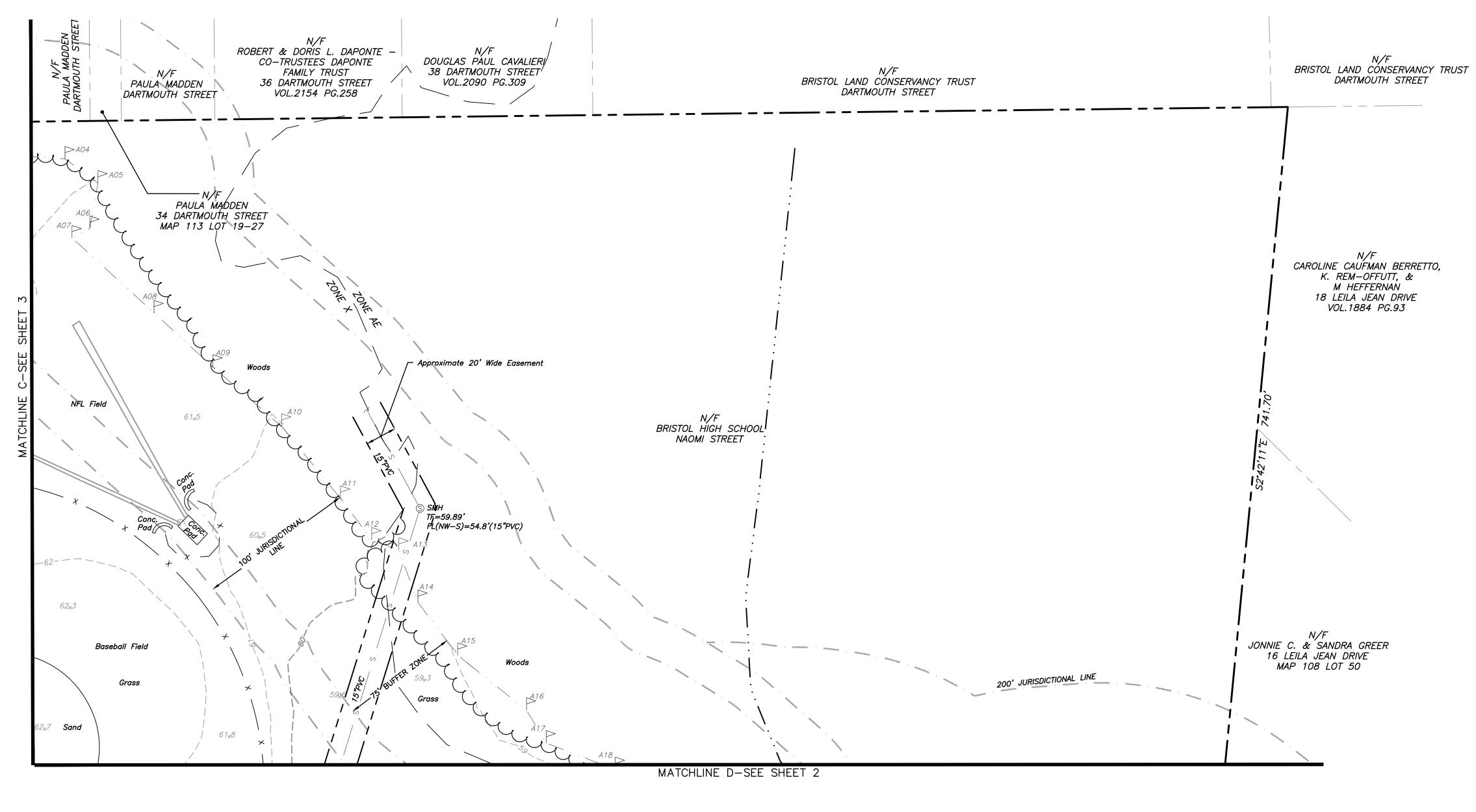
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DATA ACCUMULATION PLAN TOPOGRAPHIC SURVEY

JOB NO. DRAWING NUMBER SHEET 2023-194 MOUNT HOPE SCHOOL-RI.DWG 3 OF 4 2023-194







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BRISTOL, RHODE ISLAND

PREPARED FOR: PERKINS EASTMAN

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TOPOGRAPHIC SURVEY — CLASS III THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO DEPICT EXISTING TOPOGRAPHIC CONDITIONS.

DAVID A. ANNINO P.L.S. #1963, COA #LS—A711 DATE THIS MAP IS NOT VALID WITHOUT A LIVE SIGNATURE AND SEAL

DAVID A. ANNINO											
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DATA ACCUMULATION PLAN
TOPOGRAPHIC SURVEY

JOB NO. DRAWING NUMBER SHEET

2023—194 MOUNT
HOPE SCHOOL—RI.DWG 4 OF 4