



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2022-33

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, November 14, 2022
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Dianne Baird**
PROPERTY OWNER: **Dianne Baird**
LOCATION: **40 Everett Avenue**
PLAT: **122** LOTS: **63**
ZONE: **R-10**

APPLICANT IS REQUESTING A **DIMENSIONAL VARIANCE**: to construct a 15ft. x 20.5ft. single-story living area addition to an existing single-family dwelling with less than the required front yard.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, November 10, 2022.



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

BRISTOL
COMMUNITY DEV.

SEP 27 PM 2:23

APPLICATION

File No: 2022-33

Accepted by ZEO: 6/27/22

APPLICANT	Name: <u>Dianne Baird (Niles Gregory Blair.)</u>
	Address: <u>40 Everett Ave</u>
	City: <u>Bristol</u> State: <u>RI</u> Zip: <u>02809</u>
	Telephone #: <u>401-440-5944</u> Home: _____ Work/Cell: _____
PROPERTY OWNER	Name: <u>Dianne Baird</u>
	Address: <u>40 Everett Ave.</u>
	City: <u>Bristol</u> State: <u>RI</u> ZIP: <u>02809</u>
	Telephone #: <u>401-440-5944</u> Home: _____ Work/Cell: _____

1. Location of subject property: 40 Everett Ave

Assessor's Plat(s) #: 122

Lot(s) #: 63 lot 62 was added to this

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):

☒ Dimensional Variance(s)

☐ Special Use Permit

☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): frontline variance

Special Use Permit Section(s): _____

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 2

7. Present use of property: Residence (Primary)

8. Is there a building on the property at present?: yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):

30' x 949 sq ft - see attached

10. Proposed use of property: primary residence

11. Give extent of proposed alterations: 15' x 20' 6" addition to add a bedroom/closets/bath

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 15' x 20' 6" x 15' 7" h

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>30'</u>	Proposed Setback: <u>22' 2"</u>
Left side lot line:	Required Setback: <u>15</u>	Proposed Setback: <u>—</u>
Right side lot line:	Required Setback: <u>15</u>	Proposed Setback: <u>—</u>
Rear lot line:	Required Setback: <u>30</u>	Proposed Setback: <u>—</u>
Building height:	Required: <u>?</u>	Proposed: <u>15' 7"</u>

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):
Required: _____ Proposed: _____

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? NO
If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: NO (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: X Sewer: X

17. Is the property located in the Bristol Historic District or is it an individually listed property?: NO

18. Is the property located in a flood zone? yes If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: Dianne Baird

Date: 9/26/2022

Print Name: Dianne Baird

Property Owner's Signature: Dianne Baird

Date: 9/26/2022

Print Name: Dianne Baird

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Telephone #: _____

Address: _____

Dianne Baird
40 Everett Avenue
Bristol, RI 02809
401-440-5944

September 26, 2022

Town of Bristol

Zoning Board

RE: Permit # 54708

Dear Zoning Board,

I am asking for a variance on the Front Setback dimension to accommodate the proposed addition to my home.

This property has been in my late husband's family since 1924 with his grandfather, Fred Barney building it. The purpose at the time was a summer cottage and it had the basic comforts of a home. The house has since gone through two major hurricanes in '36 and '54 with thankfully only minimal damage.

In the early 50s my in-laws, Thomas and Norma Baird, purchased the home and put a bathroom in in the 60s. Since this time only general maintenance ^{was} ~~has been~~ done, new roofs, windows.

My husband and I purchased the property, from the family in 2009, planning to make this our retirement home. We had since made a kitchen and updated the bathroom. Unfortunately, my husband passed away in 2020. I am now trying to make this cottage into a home. Currently there is only one very small bedroom and it does not have a closet or any room to make one. Because this is now my primary residence, I need to have room for my family stay in when they visit. Plus, I just

want some creature comforts liked a room big enough to have a bed larger than a double, a bathroom with a tub, and most importantly a closet and some space to move around.

I hope you take this into consideration when you make your decision.

Thank you,

A handwritten signature in cursive script that reads "Dianne Baird". The signature is fluid and elegant, with the first name "Dianne" and the last name "Baird" clearly distinguishable. The signature is written in black ink on a white background.

Dianne Baird



Town of Bristol, Rhode Island

Property Record Card

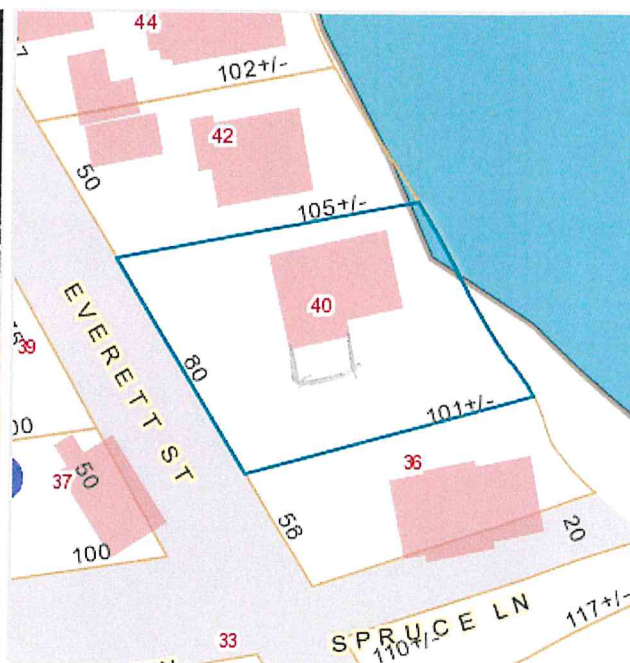
40 EVERETT AVE

ID: 122-63 Book / Page: 1483-90



Owner: BAIRD, THOMAS L.
 Co-Owner: DIANNE JT
 Mailing Address: 170 EUREKA RD
 SPRINGFIELD VT 05156

Assessment: Total: 519200
 Building: 97300, Land: 421900, Yard: 0



Sales History

Grantor	Legal Reference	Sale Date	Sale Price
BAIRD, THOMAS L	1483-90	4/29/2009	0
BAIRD, THOMAS L & COOKE, LINDA B.TRS	1483-77	4/29/2009	0



MainStreetGIS, LLC
www.mainstreetgis.com

Land Information

Land Area: 0.19 AC / 8323 SQ FT Zoning: R-10
 Land Use: 1 - Single Fam
 Neighborhood: B - B

Building Information

Units: 1
 Year Built: 1950
 Style: Cottage
 Rooms: 5
 Bedrooms: 2
 Baths: 1
 Half Baths: 0

Stories: 1 story

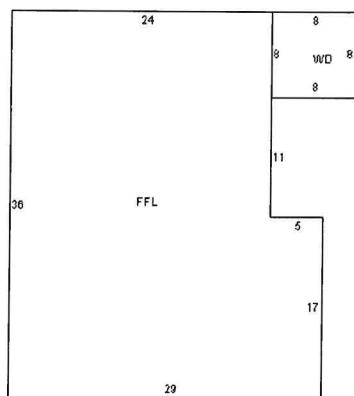
Heat Fuel: Oil
 Heat Type: No Heat
 Roof Structure: Gable
 Roof Covering: Asphalt
 Kitchens: 1
 Fireplaces: 1

Extra Feat. / Yard Items

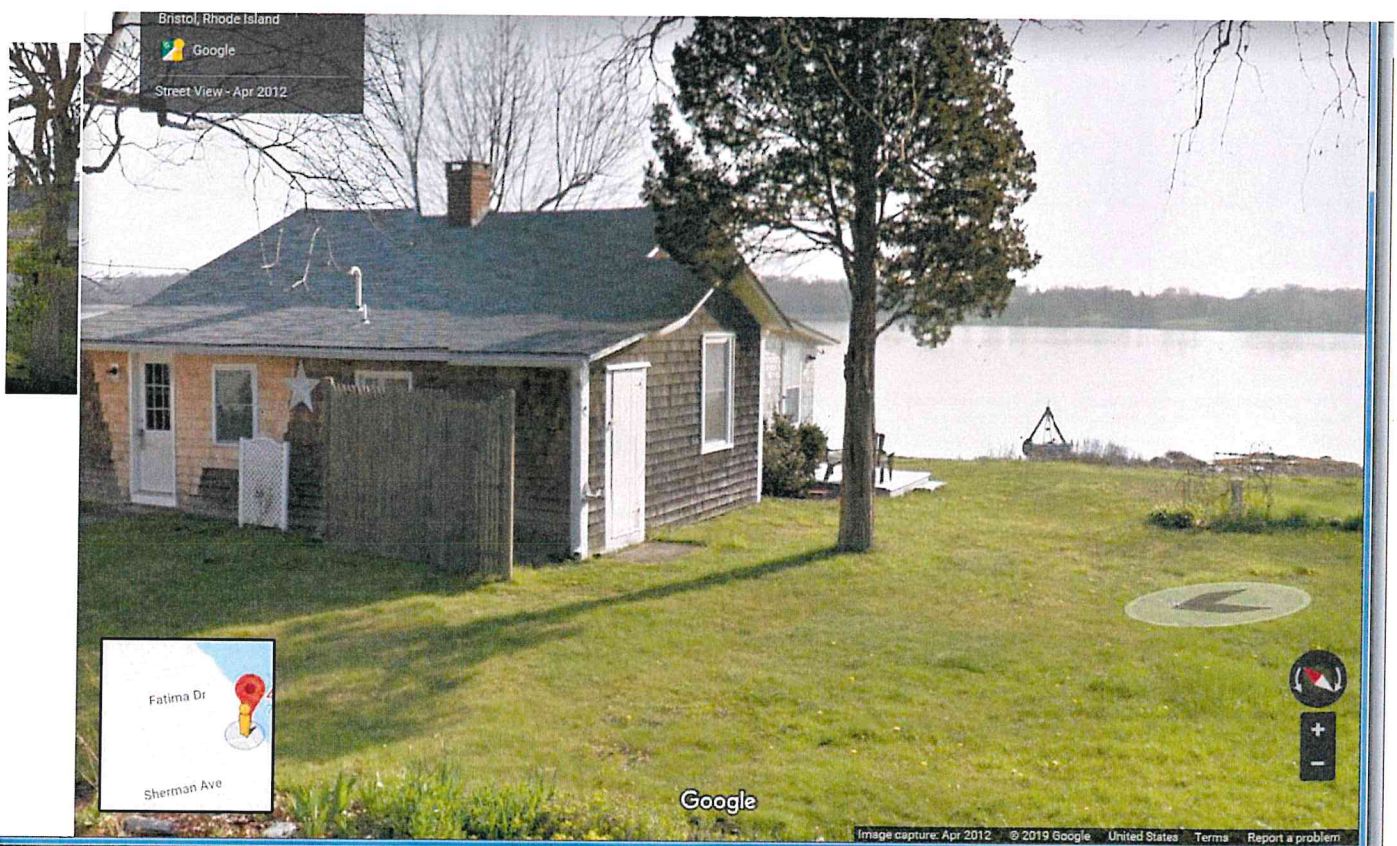
Type	Area	Assessment
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Sub Areas

Type	Area	Assessment
1st FLOOR	949	123920
WOOD DECK	64	1404



Printed from: <http://www.mainstreetmaps.com/ri/bristol/>



reet	Viswanathan, Nina & Baxter, Jan- See Note	11			
reet	Costa, John & Maia	6			
reet	Lel Corporation	4			
reet	Buckley, Mary	1			
reet	Costa, Michael & Lauren	16			

LEGEND

- S.P. STEEL PIN
- I.R. IRON ROD
- R.W. RETAINING WALL
- G- GAS LINE
- L.E. LAND EVIDENCE
- UP UTILITY POLE
- D.H. DRILL HOLE

ZONING

R-10 MIN. LOT AREA: 10,000 S.F.
MINIMUM LOT FRONTAGE : 80'
BUILDING SETBACKS
FRONT : 30'
REAR : 30'
SIDE : 15'

PLAT REFERENCE

BEING LOT 36 & A PORTION OF LOT 37 ON PLAN ENTITLED "POTION OF WILLIAM HENRY CHURCH ESTATE METACOM AVENUE BRISTOL R.I. 1906-1922 BY: W.W. PERRY IN PLAN BOOK B PAGE 5.

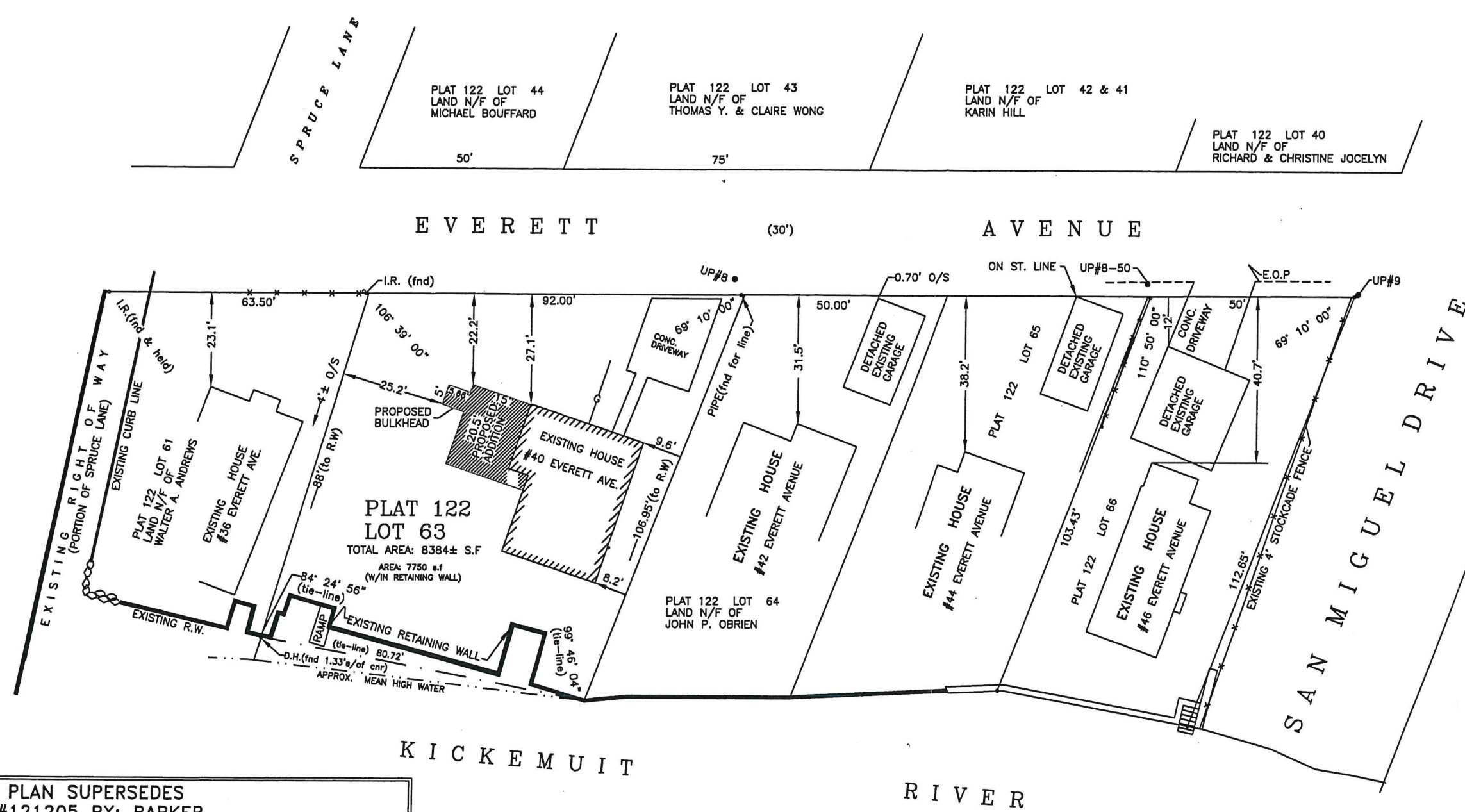
S I T E P L A N

for

Thomas L. & Dianne Baird

PLAT 122 LOT 63 #40 EVERETT AVENUE BRISTOL R.I. 02809
SCALE 1"=30' DATE: 9/13/2022 DWN BY: JJB DWG # 121205

NORTH

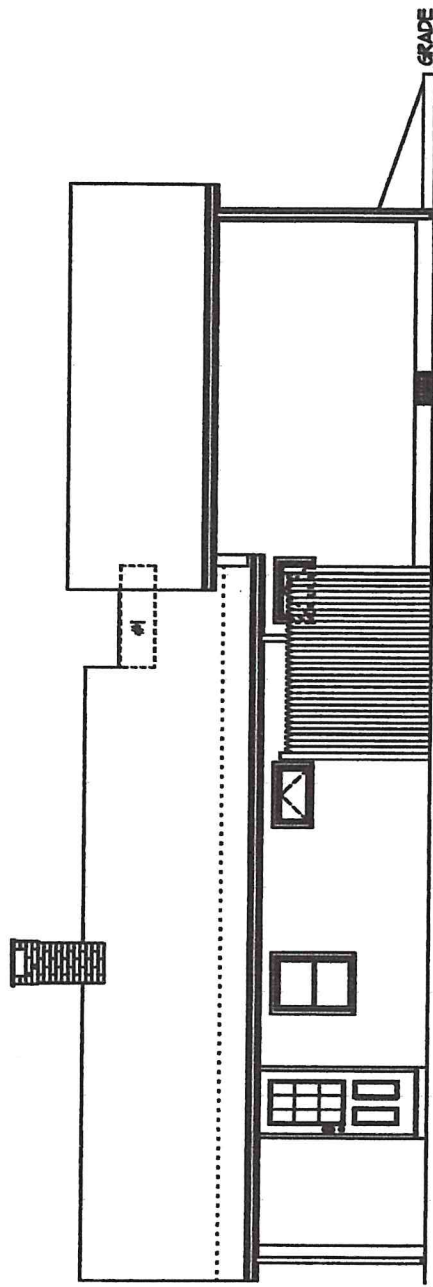


THIS PLAN SUPERSEDES
DWG#121205 BY: BARKER
LAND SURVEYING FOR THOMAS & DIANE BAIRD
DATED 1/19/13

JOHN J. BARKER, JR.
No. 1885
REGISTERED PROFESSIONAL LAND SURVEYOR

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOV. 25, 2015 AS FOLLOWS:
TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY CLASS 1 STANDARD
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO SHOW THE EXISTING AND PROPOSED CONDITIONS OF THE PROPERTY WITH NEIGHBORHOOD BUILDING OFFSETS TO P/L.

JOHN J. BARKER, JR. PLS #1885 C.O.A # LS-A302



EXISTING DWELLING | PROPOSED 15' x 20'-6" ADDITION

TYPICAL EXTERIOR SPECIFICATIONS
 ARCHITECTURAL ROOF SHINGLES, EDGE VENT,
 WHITE CEDAR SHINGLES, 1" x 6" CORNER BOARDS,
 1" x 6" FASCIA BOARDS, 1" x 12" SOFFIT BOARDS,
 SOFFIT VENTS, ROUTED 1" x 2" TRIM ON 1" x 4"
 FREEZE BOARDS, 12" GABLE OVERHANGS, 4" x 6"
 ALUMINUM GUTTERS + DOWNSPOUTS, 1" x 2" TRIM
 ON 1" x 6" RAKE BOARDS, #406 WINDOW MOLDING
 W/ 1" WINDOW SILL (FRONT) & ROUTED 1" x 2"
 TRIM ON 1" x 3" WINDOW + DOOR CASING W/ 2"
 WINDOW SILL'S (RIGHT + REAR ELEVATIONS)

NOTE:

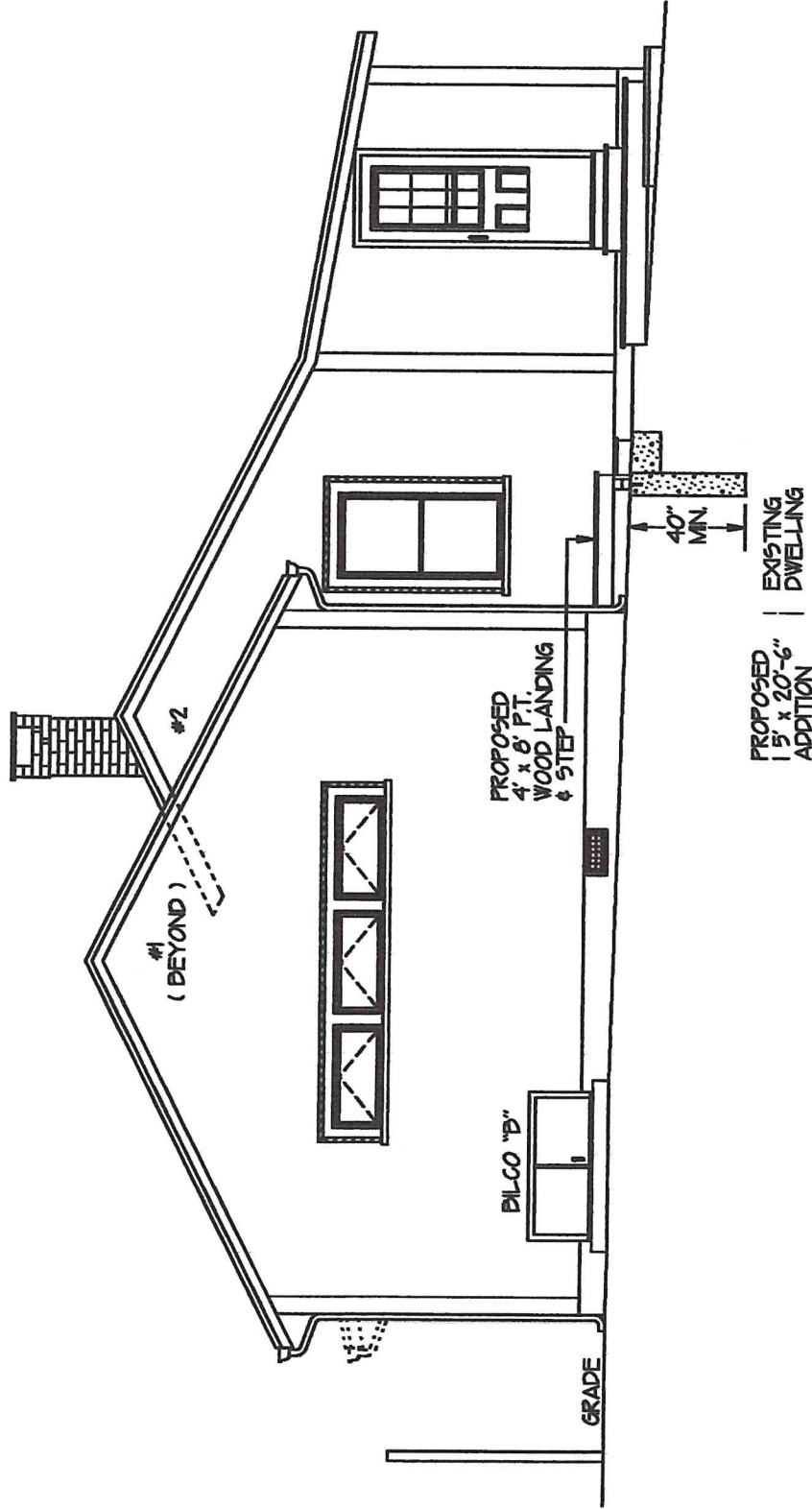
1. INSTALL NEW PITCHED ROOF. MATCH EXISTING ROOF PITCH

PROPOSED 15' x 20'-6" ADDITION

MR. & MRS. BAIRD

FRONT ELEVATION

DATE 8-9-22 SCALE 1/8"=1'-0" PAGE 1 OF 8



NOTES:

1. INSTALL NEW PITCHED ROOF. MATCH EXISTING ROOF PITCH.
2. REMOVE EXISTING GABLE WINDOW. INSTALL NEW 2' x 4' WALL.

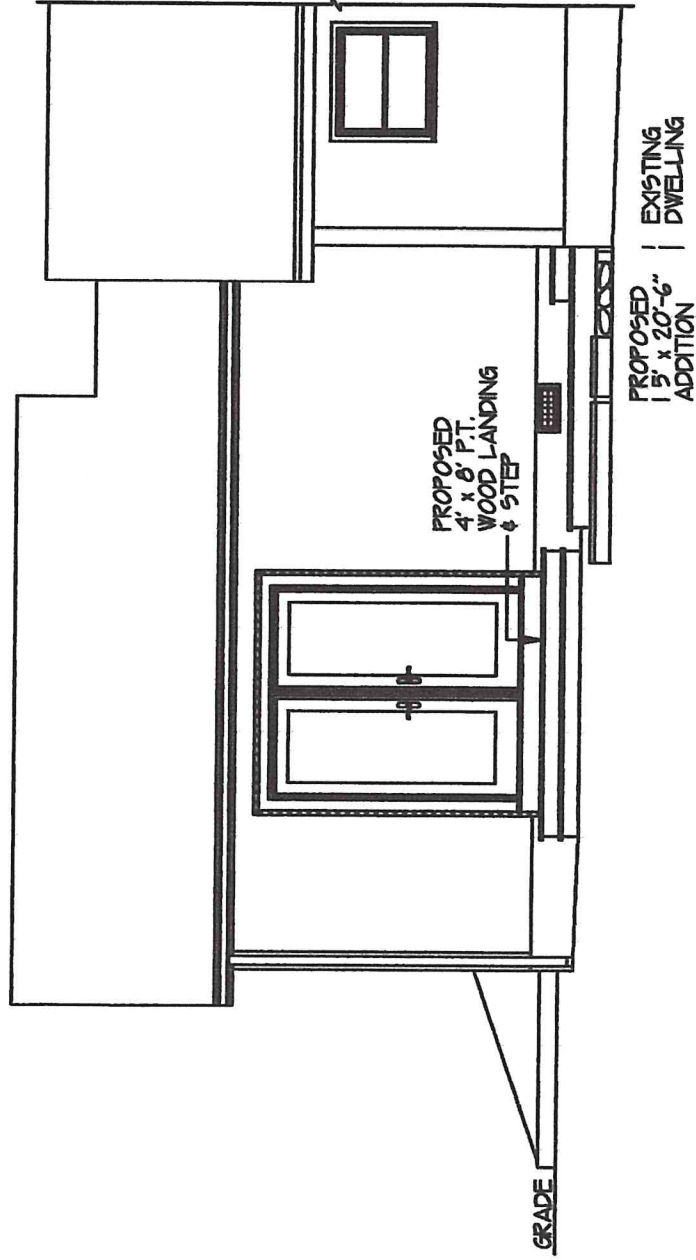
TYPICAL EXTERIOR SPECIFICATIONS
 ARCHITECTURAL ROOF SHINGLES, RIDGE VENT,
 WHITE CEDAR SHINGLES, 1" x 6" CORNER BOARDS,
 1" x 6" FASCIA BOARDS, 1" x 2" SOFFIT BOARDS,
 SOFFIT VENTS, ROUTERED 1" x 2" TRIM ON 1" x 4"
 FRIEZE BOARDS, 1 2" GABLE OVERHANGS, 4" x 5"
 ALUMINUM GUTTERS + DOWNSPOUTS, 1" x 2" TRIM
 ON 1" x 6" RAKE BOARDS, #908 WINDOW MOLDING
 W/ 1" WINDOW SILL (FRONT) & ROUTERED 1" x 2"
 TRIM ON 1" x 5" WINDOW + DOOR CASING W/ 2"
 WINDOW SILLS (RIGHT + REAR ELEVATIONS)

PROPOSED 15' x 20'-6" ADDITION

MR. & MRS. DAIRD

RIGHT ELEVATION

DATE 8-9-22 SCALE 3/16"=1'-0" PAGE 2 OF 8



TYPICAL EXTERIOR SPECIFICATIONS
 ARCHITECTURAL ROOF SHINGLES, RIDGE VENT,
 WHITE CEDAR SHINGLES, 1" x 6" CORNER BOARDS,
 1" x 6" FASCIA BOARDS, 1" x 12" SOFFIT BOARDS,
 SOFFIT VENTS, ROUTERED 1" x 2" TRIM ON 1" x 4"
 FRIEZE BOARDS, 12" GABLE OVERHANGS, 4" x 5"
 ALUMINUM GUTTERS + DOWNSPOUTS, 1" x 2" TRIM
 ON 1" x 6" RAKE BOARDS, #908 WINDOW Moulding
 W/ 1" WINDOW SILL (FRONT) & ROUTERED 1" x 2"
 TRIM ON 1" x 5" WINDOW + DOOR CASING W/ 2"
 WINDOW SILL'S (RIGHT + REAR ELEVATIONS)

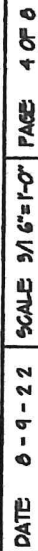
PROPOSED 15' x 20'-6" ADDITION

MR. & MRS. DAIRD

REAR ELEVATION

DATE 0-9-22 SCALE 3/16"=1'-0" PAGE 3 OF 6

TYPICAL MEASUREMENTS FOR CONSTRUCTION FIELD VERIFY ALL MEASUREMENTS, ADDITION FINISH FLOOR HEIGHT TO MATCH EXISTING FLOOR HEIGHT. VERIFY & MATCH EXISTING ROOF PITCH, WINDOW SIZES, TRIMS, CASINGS & SILL



TYP. NEW PITCHED ROOF CROSS-SECTION CONSTRUCTION
ALL ADDITION CROSS-SECTION NOTES APPLY EXCEPT:

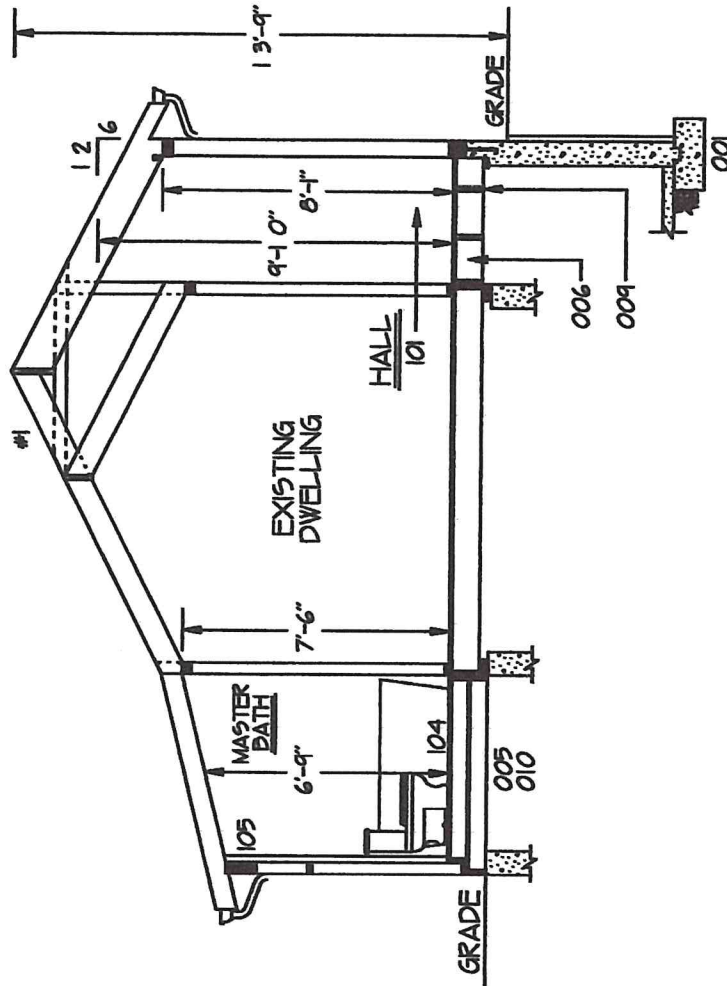
TYPICAL ROOF RAFTER CONSTRUCTION
1-3/4" x 1 1/4" "LVL" RIDGE BOARD, RIDGE VENT,
2" x 8" x 2" x 12" @ 16" O.C. RAFTERS W/
SIMPSON H25 HURRICANE TIE (EACH RAFTER),
2" x 4" x 6'-0" @ 16" O.C. COLLAR TIES, 5/8"
T-6 "ADVANTECH" OSB ROOF SHEATHING,
ICE / WATER SHIELD BARRIER ALONG THE
EAVES, ARCHITECTURAL ROOF SHINGLES,
RAFTER VENTS, R-38C "EGGTOUGH" INSUL-
ATION, 1" x 3" @ 16" O.C. FLOORING @ 1/2"
IMPERIAL BOARD + PLASTER (SEE
APPENDIX "AA" FOR CODE DETAILS)

TYP. EXIST. MASTER BATH CATHEDRAL CEILING CONST.
2" x 6" @ 16" O.C. RAFTERS, UNKNOWN SHEATHING,
ARCHITECTURAL ROOF SHINGLES, INSTALL NEW
ICYNENE SPRAY FORM R-38 INSULATION, 1" x 3" @
16" O.C. FLOORING @ IMPERIAL BOARD + PLASTER

TYPICAL MASTER BATH FLOOR CONSTRUCTION
INSTALL NEW 2" x 6" @ 16" O.C. FLOOR JOISTS
(ON EXISTING FLOOR - MATCH EXISTING
HOUSE SUB-FLOORING), 3/4" T-6 "ADVANTECH"
OSB SHEATHING SUB-FLOORING (GLUED + NAILLED)
& R-30 INSULATION BENEATH FLOOR JOISTS

KEY NOTES:

- 001 8" CONCRETE FOUNDATION WALL WITH
1 1/2" x 24" CONTINUOUS CONCRETE FOOTING,
5 1/2" WIDE TOP OF FOUNDATION W/ 2 1/2"
WIDE x 8" HIGH (FOUNDATION / FLOOR
JOIST SHELF) & 2" x 4" P.T. PLATE (TYP).
- 005 REMOVE EXISTING FOUNDATION
- 006 2" x 10 LEDGER, 1/2" @ 4" x 4" @ 16" O.C.
LAG BOLTS INTO EXISTING RM BOARD &
SIMPSON JOIST HANGERS (ABOVE).
- 009 DIRECTION OF 2" x 10" @ 16" O.C. FLOOR
JOISTS (ABOVE).
- 010 EXISTING FLOOR JOISTS (ABOVE - TO
REMAIN).
- 101 REMOVE EXISTING 2" x 4" WALL. INSTALL
NEW (2) - 2" x 12" HEADER (ABOVE),
FINISH 3'-6" OPENING W/ 1/2" IMPERIAL
BOARD + PLASTER. INSTALL NEW 3'-6" x
5'-3" HALL.
- 104 REMOVE EXISTING 2062 DOOR & 2" x 4"
WALL. INSTALL NEW 2" x 6" @ 16" O.C.
FLOOR JOISTS (ON EXISTING FLOOR -
MATCH EXISTING HOUSE SUB-FLOORING)
& 3/4" T-6 "ADVANTECH" OSB SHEATHING
SUB-FLOORING (GLUED + NAILLED).
INSTALL NEW 3'-6" x 8'-6" MASTER BATH
EXISTING 2" x 4" x 6'-2" WALL TO REMAIN.
PAD WALL 2" FOR R-21 INSULATION.



PROPOSED 15' x 20'-6" ADDITION

MR. & MRS. BAIRD

"B" CROSS-SECTION PLAN

DATE 8-4-22 SCALE 3/16"=1'-0" PAGE 5 OF 8

NOTES:

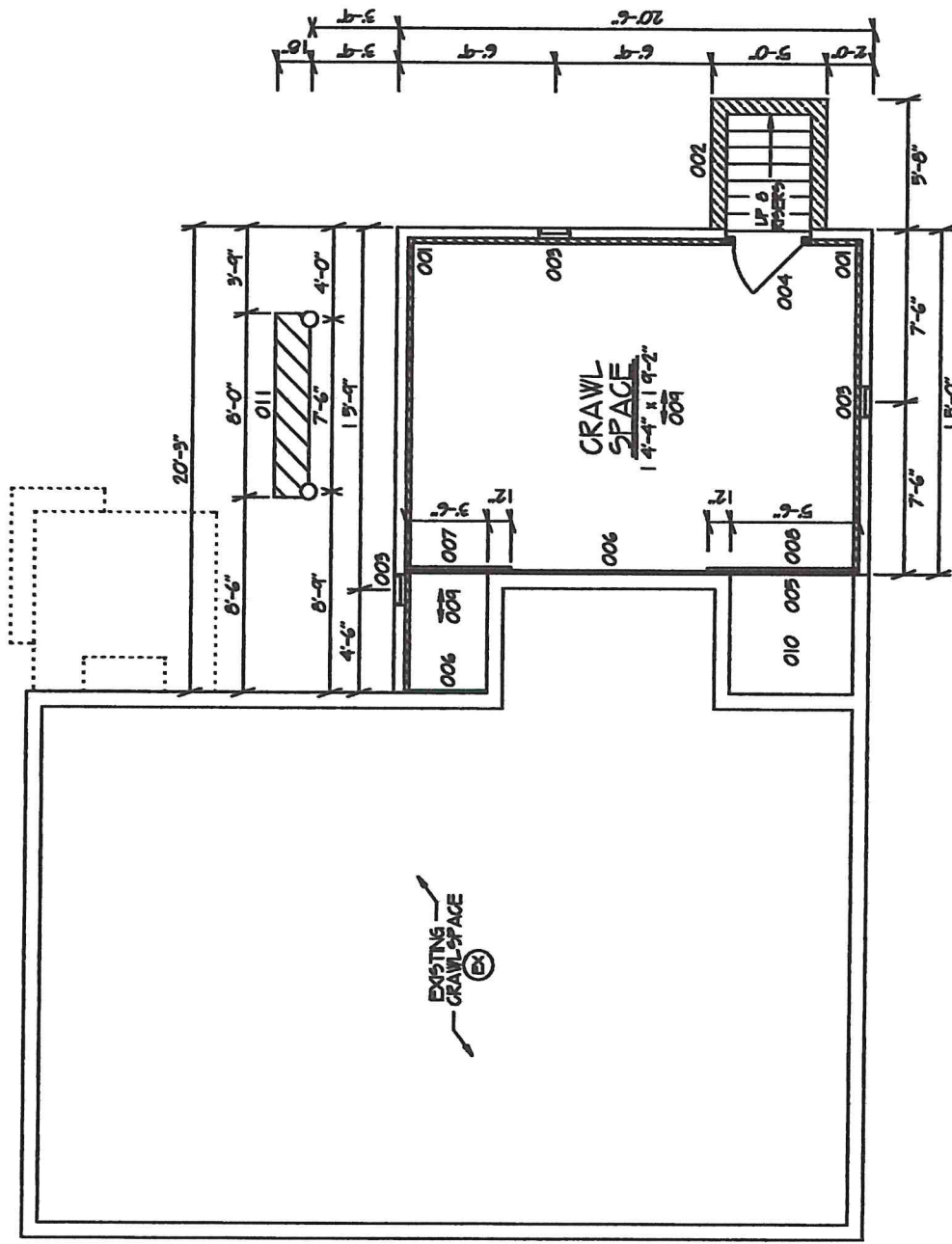
1. INSTALL NEW PITCHED ROOF. MATCH
EXISTING ROOF PITCH.

KEY NOTES:

- 001 8" CONCRETE FOUNDATION WALL WITH 1'0" x 24" CONTINUOUS CONCRETE FOOTING, 5 1/2" WIDE TOP OF FOUNDATION / FLOOR JOIST SHELF 1' x 2" x 4" P.T. PLATE (TYP.),
- 002 8" CONCRETE FOUNDATION WALL @ 1'0" x 24" CONTINUOUS CONCRETE FOOTING
- 003 FOUNDATION VENT.
- 004 INSTALL MODIFIED 3050 INSULATED FIBER-GLASS DOOR W/ 2" x 4" P.T. STUDS,
- 005 REMOVE EXISTING FOUNDATION
- 006 2" x 1'0" LEDGER, 1/2" @ 4" x 4" @ 1'6" O.C. LAG BOLTS INTO EXISTING RM BOARD & SIMPSON JOIST HANGERS (ABOVE),
- 007 FASTEN 2" x 1'0" x 4" x 4" LEDGER TO #006 LEDGER & SIMPSON JOIST HANGERS (ABOVE),
- 008 FASTEN 2" x 1'0" x 6" x 6" LEDGER TO #006 LEDGER & SIMPSON JOIST HANGERS (ABOVE),
- 009 DIRECTION OF 2" x 1'0" @ 1'6" O.C. FLOOR JOISTS (ABOVE),
- 010 EXISTING FLOOR JOISTS (ABOVE - TO REMAIN),
- 011 INSTALL 1'0" x 1'6" W x 8'-0" L CONCRETE FOOTING AT BASE OF STRINGERS, ENVELOPE 3/4" LEVEL LANDING AREA AT BASE OF STEP.

(EX) EXISTING (TO REMAIN)

EXISTING DWELLING
PROPOSED 1'5" x 2'0"-6" ADDITION



NOTES:

1. ADDITION CONCRETE FOUNDATION WALLS TO BE 8" (SEE KEY NOTES #001 & #002).
2. ADDITION CONCRETE FOOTINGS TO BE 1'0" x 24" CONTINUOUS.
3. ADDITION CONCRETE SLAB TO BE 4".
4. FIN FOUNDATION WALLS W/ #4 REBAR.
5. ALL SOND TUBES TO BE 8" x 40" & FILLED W/ CONCRETE (40" MINIMUM BELOW GRADE).

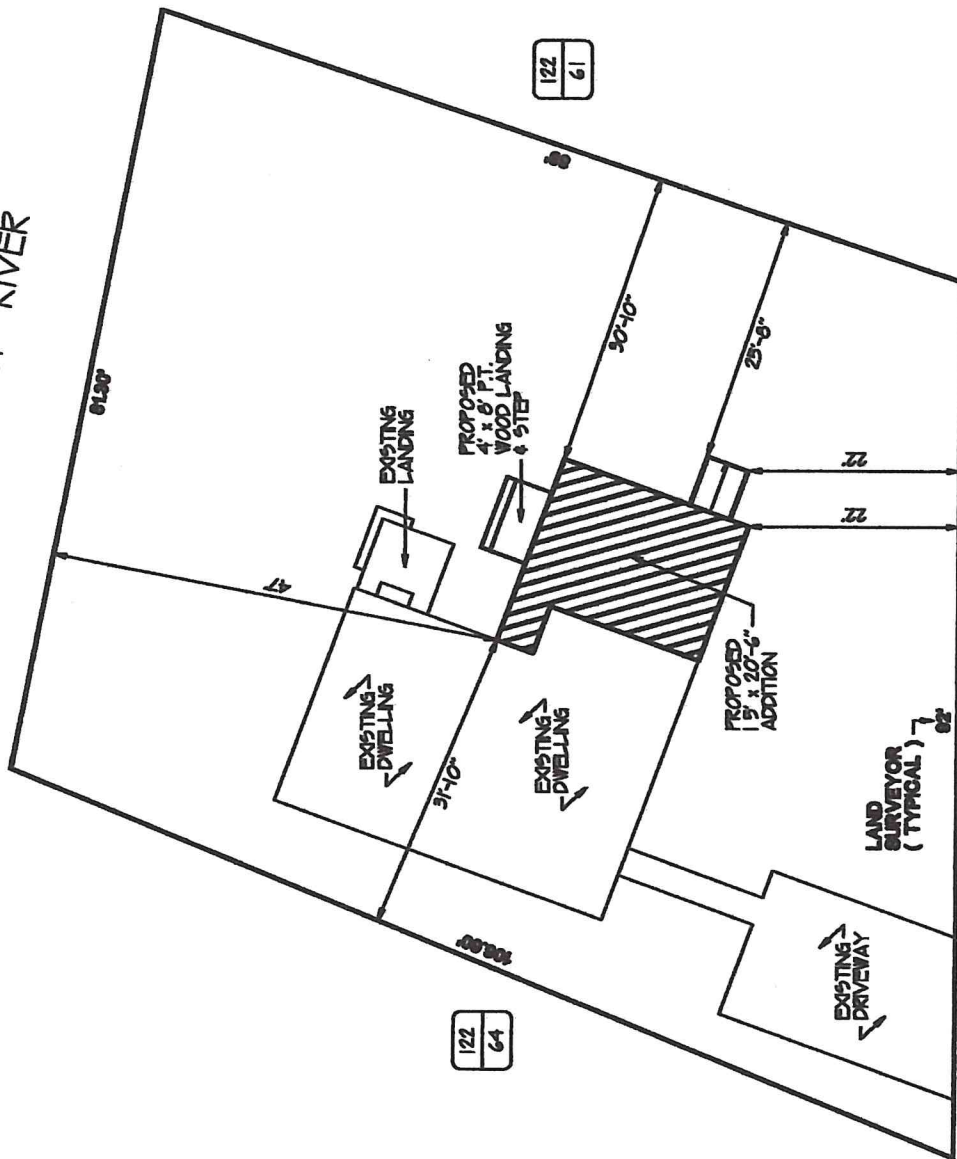
PROPOSED 15' x 20'-6" ADDITION

MR. & MRS. DAIRD

FOUNDATION PLAN

DATE 8-9-22 SCALE 1/8"=1'-0" PAGE 6 OF 8

KICKEMUIT RIVER



40 EVERETT AVENUE



PROPOSED 15' x 20'-6" ADDITION

MR. & MRS. BAIRD

SITE PLAN

DATE 8-9-22 SCALE 1" = 20'-0" PAGE 6 OF 6

40 EVERETT AVENUE

FLAT 122
LOT 63

8,384 SQ. FT.



► Building Information

Description		Description	
BLDG Type	Cottage	Story Height	1 Story
RES Units	1	COM Units	0
Foundation	Concrete	BMT Floor	
Frame 1	Wood	Frame 2	%
EXT Wall 1	Wood Shnkl	EXT Wall 2	%
Roof Type 1	Gable	Roof Type 2	%
Roof Cover 1	Asphalt Shnr	Roof Cover 2	%
INT Wall 1	Drywall	INT Wall 2	%
Floors 1	Hardwood	Floors 2	%
BMT Garages		Color	
Plumbing		Electrical	
Insulation		INT vs EXT	
Heat Fuel	Oil	Heat Type	No Heat
# Heat Sys		% Heated	100
% Solar HW		% A/C	
% COM Wall		% Vacuum	
Cell HIGHT		Ceiling Type	
Parking Type		% Sprinkled	

► Other Factors

Grade		Q4	Q4	Topography		PAVED
Year Built	1950	EFF	Year	Street	Traffic	
Alt LUC	Alt %	0.00				
► Depreciation						
Condition	AV	AV - Average	%	Size Adj	Bas \$/SQ	159,000
Functional		-	35.0	Constr Adj	1.01	1.31
Economic		-	0.0	Adj \$/SQ	209,70	1.01
Special		-	0.0	Other Feats	24,500	1.00
OV		-	0.0	Grade Fac	1.00	1.00
		-	0.0	Neigh Infl	1.00	1.00
		-	0.0	Land Factor	224,909	1.00
		-	0.0	Adj Total	78,718	1.00
		-	0.0	Depreciation	146,191	1.00
		-	0.0	Depr Total		
		-	0.0			

► Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep V
FFL	1st FLOOR	949	949	209.70	199,005
WD	WOOD DECK	64	0	21.94	1,404
Total		1,013	949		200,409

► Visit History

By	Date	Result
MM	7/23/2021	REVIEW
HS	6/28/2018	MEASURED
JH	4/13/2018	REVIEW
	7/28/2007	LISTED
MP	7/28/2007	CALL BACK
MP	7/27/2007	CALL BACK
	3/10/2007	MEASURE

► Notes

**LOT 0062 DROPPED INTO THIS LOT 05/08 BK 1439 PG 306 - EXTERIOR RENOVATIONS
12/09 EAS**

► Remodeling History

Complex	Location	Complex	Location	Complex	Location
0	FL Level	0	FL Level	0	FL Level
1	# Floors	1	# Floors	1	# Floors
	Bldg Seq		Bldg Seq		Bldg Seq

► Condo Data

Complex Location	Tot Units	FL Level	# Floors	Bldg Seq
			0	1

► Building Permits

	Issue Date	Permit #	Closed Date	BP Type	Est. Cost
1	06/27/2016	393-16-B	10/31/2016	BLDG	4,600
2	06/27/2016	B30746		BLDG	0
3	04/29/2009	B33445		BLDG	0
4	06/27/2008	E6373		ELEC	0
5					
6					
7					
8					
9					

Description/Directions

STRIP AND SHINGLE MAIN HOUSE REAR
RESHINGLE ROOF TO CODE APPROVED BY CRMC
REPLACE FRONT AND BACK DOORS, REPLACE FOUR (4) CRANK-OUT WIND
REPLACE DAMAGED ENTRANCE CABLE AND METER SOCKET

► Special Features & Yard Items

[illegible]

► Other Info.

PriorID	Afdu
PriorID1b	
PriorID1c	
PriorID2a	
PriorID2b	
PriorID2c	
PriorID3a	
PriorID3b	
PriorID3c	

► Room Counts by Floor

	Units	# Rooms	# Bedrooms	Floor Level
1	1	5	2	U
2				
3				
4				
Totals	1	5	2	



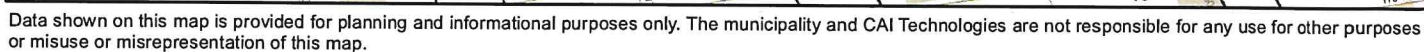
Bristol, RI



CAI Technologies
Precision Mapping. Geospatial Solutions.

October 20, 2022

www.cai-tech.com





300 foot Abutters List Report

Bristol, RI
October 20, 2022

Subject Property:

Parcel Number: 122-63
CAMA Number: 122-63
Property Address: 40 EVERETT AVE

Mailing Address: BAIRD, THOMAS L. DIANNE JT
40 EVERETT AVE
BRISTOL, RI 02809

Abutters:

Parcel Number: 122-30
CAMA Number: 122-30
Property Address: 16 ANAWAN AVE

Mailing Address: WALTON, GEORGE E. ET UX MARILYN
P. (TRUSTEES)
16 ANAWAN AVE
BRISTOL, RI 02809

Parcel Number: 122-31
CAMA Number: 122-31
Property Address: 14 ANAWAN AVE

Mailing Address: CASTRO, MICHAEL
14 ANAWAN AVE
BRISTOL, RI 02809

Parcel Number: 122-32
CAMA Number: 122-32
Property Address: 25 SPRUCE LN

Mailing Address: VICENZO, MARIA I
25 SPRUCE LANE
BRISTOL, RI 02809

Parcel Number: 122-33
CAMA Number: 122-33
Property Address: 33 SPRUCE LN

Mailing Address: CLARKE, RAYMOND TAYLOR & DAWN
TE
47 MIKAYLA ANN DR
REHOBOTH, MA 02769

Parcel Number: 122-34
CAMA Number: 122-34
Property Address: 24 SPRUCE LN

Mailing Address: HAZARD, SAMANTHA J & JACK K TE
24 SPRUCE LN
BRISTOL, RI 02809

Parcel Number: 122-36
CAMA Number: 122-36
Property Address: 20 SPRUCE LN

Mailing Address: HAZARD, JACK K & SAMANTHA TE
24 SPRUCE LN
BRISTOL, RI 02809

Parcel Number: 122-37
CAMA Number: 122-37
Property Address: 20 ANAWAN AVE

Mailing Address: MACNEIL, PHILIP W. ETUX TE &
MACNEIL, CHRISTINE S.
20 ANAWAN AVENUE
BRISTOL, RI 02809

Parcel Number: 122-39
CAMA Number: 122-39
Property Address: 22 ANAWAN AVE

Mailing Address: HUGHES, GREGORY A. & DEBORAH L
TE
19 CLIFTON RD
BRISTOL, RI 02809

Parcel Number: 122-40
CAMA Number: 122-40
Property Address: 45 EVERETT AVE

Mailing Address: JOCELYN, CHRISTINE - TRUSTEE
CHRISTINE JOCELYN REV TRUST
45 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 122-41
CAMA Number: 122-41
Property Address: 43 EVERETT AVE

Mailing Address: HILL, KARIN A & RULLI, ROBERT TE
43 EVERETT AVE
BRISTOL, RI 02809



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Parcel Number: 122-42
CAMA Number: 122-42
Property Address: EVERETT AVE

Mailing Address: HILL, KARIN A & RULLI, ROBERT TE
43 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 122-43
CAMA Number: 122-43
Property Address: 39 EVERETT AVE

Mailing Address: WONG, THOMAS Y. CLAIRE ETUX TE
988 GREENDALE AVE
NEEDHAM, MA 02492

Parcel Number: 122-44
CAMA Number: 122-44
Property Address: 37 EVERETT AVE

Mailing Address: BOUFFARD, MICHAEL & THAYER,
FREYJA TE
37 EVERETT ST
BRISTOL, RI 02809

Parcel Number: 122-46
CAMA Number: 122-46
Property Address: 4 SPRUCE LN

Mailing Address: NICHOLSON, HEATHER JOY
4 SPRUCE LN
BRISTOL, RI 02809

Parcel Number: 122-47
CAMA Number: 122-47
Property Address: 31 EVERETT AVE

Mailing Address: CORREIA, STEPHEN C
31 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 122-48
CAMA Number: 122-48
Property Address: 29 EVERETT AVE

Mailing Address: HARRISON, DOROTHY J, TRUSTEE
JANET R. HARRISON TRUST 8/17/
PO BOX 2285
PAWTUCKET, RI 02861

Parcel Number: 122-49
CAMA Number: 122-49
Property Address: 27 EVERETT AVE

Mailing Address: VICKERY, RALPH E. III
27 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 122-50
CAMA Number: 122-50
Property Address: 25 EVERETT AVE

Mailing Address: FRANCIS, EVERETT THERESA
115 TUPELO ST
BRISTOL, RI 02809

Parcel Number: 122-55
CAMA Number: 122-55
Property Address: 24 EVERETT AVE

Mailing Address: ANARUMO, BEVERLY JOY
2356 TAMARIND STREET
PORT CHARLOTTE, FL 33948

Parcel Number: 122-56
CAMA Number: 122-56
Property Address: 26 EVERETT AVE

Mailing Address: OHANA COTTAGE, LLC
21 HAWTHORNE DR
SEEKONK, MA 02771

Parcel Number: 122-57
CAMA Number: 122-57
Property Address: 28 EVERETT AVE

Mailing Address: HARRISON, DAVID R. JANE F. TRUSTEE
PO BOX 2285
PAWTUCKET, RI 02861-0285

Parcel Number: 122-58
CAMA Number: 122-58
Property Address: 30 EVERETT AVE

Mailing Address: PRAY, CHARLES E JR
30 EVERETT AVE
BRISTOL, RI 02809



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October 20, 2022

Parcel Number: 122-59
CAMA Number: 122-59
Property Address: EVERETT AVE

Mailing Address: PRAY, CHARLES E JR
30 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 122-60
CAMA Number: 122-60
Property Address: EVERETT AVE

Mailing Address: PRAY, CHARLES E JR
30 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 122-61
CAMA Number: 122-61
Property Address: 36 EVERETT AVE

Mailing Address: ANDREWS, WATER A, TRUSTEE-
WALTER A ANDREWS TRUST
36 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 122-64
CAMA Number: 122-64
Property Address: 42 EVERETT AVE

Mailing Address: O BRIEN JOHN P & MICHELE A TE
42 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 122-65
CAMA Number: 122-65
Property Address: 44 EVERETT AVE

Mailing Address: GARDNER, RUSSELL H. JR ETAL TC
GARDNER-BATEMAN, LAURIE A.
6345 DAWSON ST
HOLLYWOOD, FL 33023

Parcel Number: 122-66
CAMA Number: 122-66
Property Address: 46 EVERETT AVE

Mailing Address: BRAY, JAMES A & DOROTHY LE
KANOSH, DEBORAH
46 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 122-67
CAMA Number: 122-67
Property Address: SPRUCE LN

Mailing Address: CLARKE, RAYMOND TAYLOR & DAWN
TE
47 MIKAYLA ANN DR
REHOBOTH, MA 02769

Parcel Number: 122-68
CAMA Number: 122-68
Property Address: SPRUCE LN

Mailing Address: HAZARD, JACK K & SAMANTHA TE
24 SPRUCE LN
BRISTOL, RI 02809

Parcel Number: 122-70
CAMA Number: 122-70
Property Address: 33 EVERETT AVE

Mailing Address: CLEMENS, KATHY
33 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 123-2
CAMA Number: 123-2
Property Address: 50 EVERETT AVE

Mailing Address: MILLER KENNETH M & LEE D TE
50 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 123-366
CAMA Number: 123-366
Property Address: 6 THAYER ST

Mailing Address: NICKERSON, AMANDA
6 THAYER ST
BRISTOL, RI 02809

Parcel Number: 123-370
CAMA Number: 123-370
Property Address: 3 SPRUCE LN

Mailing Address: MCCAULEY, DOROTHY J
3 SPRUCE LN
BRISTOL, RI 02809



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Parcel Number: 123-4
CAMA Number: 123-4
Property Address: EVERETT AVE

Mailing Address: WEAVER, MICHAEL T
54 EVERETT AVE
BRISTOL, RI 02809

Parcel Number: 123-56
CAMA Number: 123-56
Property Address: 51 EVERETT AVE

Mailing Address: TAMULAITES, MICHAEL ZAGORSKI,
KAREN L TE
51 EVERETT ST
BRISTOL, RI 02809



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4 SPRUCE LN
BRISTOL, RI 02809

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JANET R. HARRISON TRUST 8
PO BOX 2285
PAWTUCKET, RI 02861

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6 THAYER ST
BRISTOL, RI 02809

BOUFFARD, MICHAEL & THAYE
37 EVERETT ST
BRISTOL, RI 02809

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ZAGORSKI, KAREN L TE
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BRISTOL, RI 02809

CLEMENS, KATHY
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BRISTOL, RI 02809

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CHRISTINE JOCELYN REV TRU
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BRISTOL, RI 02809

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BRISTOL, RI 02809

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& MACNEIL, CHRISTINE S.
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BRISTOL, RI 02809

FRANCIS, EVERETT
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BRISTOL, RI 02809

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54 EVERETT AVE
BRISTOL, RI 02809

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