



**Town of Bristol, Rhode Island
Zoning Board of Review**

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2022-35

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Monday, November 14, 2022

at 7:00 P.M.

Bristol Town Hall

10 Court Street

APPLICANT: Edward N. and Donna M. Cabral

PROPERTY OWNER: Edward N. and Donna M. Cabral

LOCATION: 67 Mulberry Road

PLAT: 70 LOT: 56

ZONE: R-20

APPLICANT IS REQUESTING DIMENSIONAL VARIANCES: to construct an approximate 350 square foot single-story garage addition; and approximately 135 square feet of covered patio addition with less than the required front yards on a corner lot.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, November 10, 2022.



Town of Bristol, Rhode Island

Department of Community Development Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2022 OCT 19 AM 9:40

APPLICATION

File No: 2022-35

Accepted by ZEO: EMT
10/19/22

APPLICANT	Name: Edward N Cabral and Donna M Cabral
	Address: 104 Ferry Road
	City: Bristol State: RI Zip: 02809
	Telephone #: 401-226-1222 Home: 401-254-0462 Work/Cell:
PROPERTY OWNER	Name: Edward N Cabral and Donna M Cabral
	Address: 104 Ferry Road
	City: Bristol State: RI ZIP: 02809
	Telephone #: 401-226-1222 Home: 401-254-0462 Work/Cell:

1. Location of subject property: 67 Mulberry Road
Assessor's Plat(s) #: 70 Lot(s) #: 56
2. Zoning district in which property is located: R-20
3. Zoning Approval(s) required (check all that apply):
☒ Dimensional Variance(s) ☐ Special Use Permit ☐ Use Variance
4. Which particular provisions of the Zoning Ordinance is applicable to this application?:
Dimensional Variance Section(s): X
Special Use Permit Section(s):
Use Variance Section(s):
5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
6. How long have you owned the property?: 4 months
7. Present use of property: Vacant Home
8. Is there a building on the property at present?: Yes
9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):
Approximately 37' x 33" with an attached 22' x 16' garage. Height to Ridge = 18' 6.5"
House SF = 1,101 Garage SF = 352
10. Proposed use of property: Single Family, one level primary residence

opposed to the current one car garage. Impact to setback is 8'.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): Adding
176 SF to garage. Plans attached in packet.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback:	<u>30'</u>	Proposed Setback:	<u>30'</u>
Left side lot line:	Required Setback:	<u>35'</u>	Proposed Setback:	<u>28' 8"</u>
Right side lot line:	Required Setback:	<u>20'</u>	Proposed Setback:	<u>20'</u>
Rear lot line:	Required Setback:	<u>35'</u>	Proposed Setback:	<u>35'</u>
Building height:	Required:	<u>18' 6.5"</u>	Proposed:	<u>19' 6.5"</u>
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):				
Required: _____			Proposed: _____	

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? No - waiting on Variance first
If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Yes Sewer: Yes

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: Edward Cabral Edward N Cabral Date: 10/18/22

Print Name: Edward N Cabral

Property Owner's Signature: Donna Cabral Donna M Cabral Date: 10/18/22

Print Name: Donna M Cabral

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: Steve Ricci sricci@rsquaredplans.com Telephone #: 401-258-2532

Address: 5 Talon CT, Hope RI 02831 - for any questions related to the house design plans

Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review
October 18, 2022

Thank you in advance for considering our request for a zoning variance for our recently purchased property located at 67 Mulberry Road, Plat 70 / Lot 56. We have been life-long Bristol residents and purchased this home to be our final home for our upcoming retirement years.

The property is currently a single-family ranch, totaling 1,100 SQ of living space. The home and property are in very poor condition requiring a full rehab in order to fit appropriately in the neighborhood. Our intent is to refurbish the property to fit proudly in the neighborhood.

Our plan consists of some small enhancements to the footprint in order to create a small but efficient and pleasing home in the neighborhood. We currently plan to add a bump out to the foundation in the rear (North side) which does not impact the setback of 35'. We are also bumping out the front of the garage to match the South facing gable foundation offset that exists today which currently has a 30' offset from the boundary line – we are simply matching that offset to bring balance to the house from the south facing view.

The variance need we are bringing before the board is specific to increasing a small one-car garage to a two-car garage, so as not to have vehicles parked on the street or driveway unnecessarily. Additionally we are adding a basement stairwell in the garage, as we are eliminating the basement bulkhead entry in the rear of the house. We need to bump out the garage to accommodate that basement entrance as well as an additional vehicle. The current side setback from the West facing Ridge Road is 37' we have designed the smallest possible addition for the creation of a two-car garage which would impact the West side setback by 8'. Our planner designed a ten-foot addition for the garage, however after reviewing the plan with the Bristol planning Team (Ed and Diane), we modified the plan to reflect 8' instead. This leaves the West-facing setback at 28' 8". Our overall footprint change

will serve to fit nicely into the neighborhood. The build out is only adding 900 SF of additional space to the property.

We appreciate the Board's time and effort in evaluating our variance need. Thank you.

Kind Regards,

Edward N Cabral

Donna M Cabral

Handwritten signatures of Edward N Cabral and Donna M Cabral in cursive script.

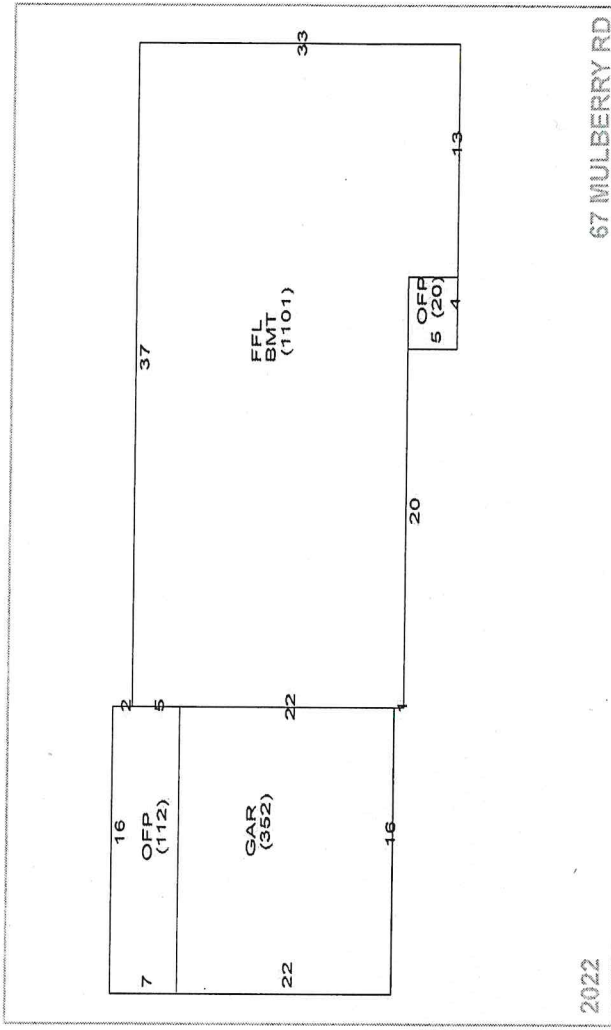
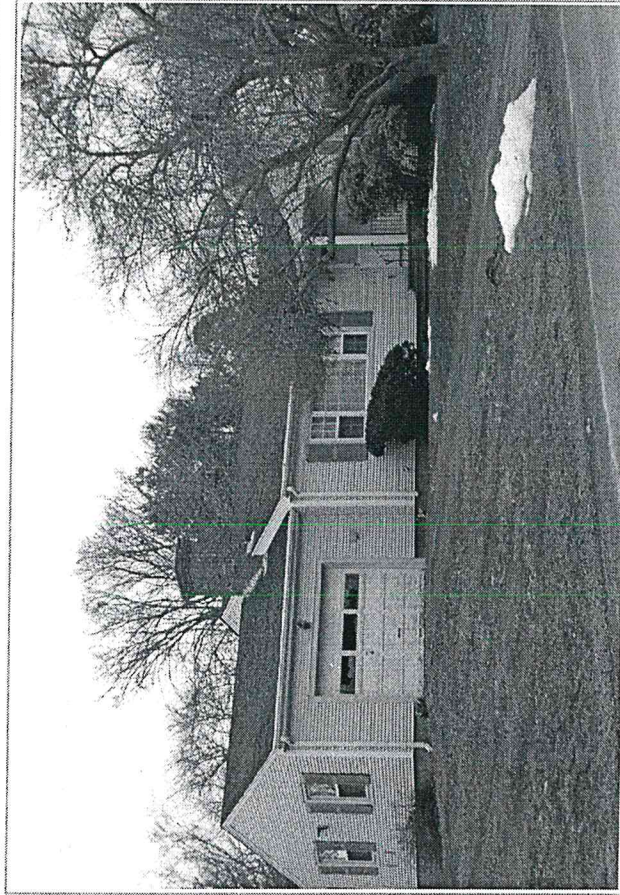
104 Ferry Road
Bristol, RI 02809

Owner	Owner Account #:	% Owned
Owner 1	MCCAFFREY, JAMES	
Owner 2		
Owner 3		
Address	129 GILLAN AVE, WARWICK, RI 02886	

► Previous Owners & Sales Information						REVALUATION GROUP LLC	
Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type		
HASTE, ELAINE	03/17/2022	250,000	2163-293		W		
HASTE, ELAINE	02/28/2022	0	2160-132	T	R		

Assessment						
Use Code	Bldg Value	SF/Yr Value	Land Size	Land Value	AG Credit	Assessed Value
01	153,200	0	0.34	201,900	0	355,100
TOTAL	153,200	0	0.34	201,900	0	355,100
Source > Mkt Adj Cost		VAL per SQ Unit/Card >		132.20	VAL per SQ Unit/Parcel > 132.20	

► Previous Assessments								
Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	01	153,200	0	0	201,900	0	355,100	355,100
2021	01	120,400	0	0	200,700	0	321,100	321,100
2020	01	120,400	0	0	200,700	0	321,100	321,100
2019	01	120,400	0	0	200,700	0	321,100	321,100
2018	01	99,100	0	0	182,500	0	281,600	281,600
2017	01	99,100	0	0	182,500	0	281,600	281,600

[illegible]



NORTHEAST
REVALUATION GROUP LLC

► Building Information

Description	Story Height	1 Story	Description
BLDG Type	Ranch	COM Units	Concrete
RES Units	1	0	
Foundation	Concrete	BMT Floor	Concrete
Frame 1	Wood	Frame 2	%
EXT Wall 1	Vinyl Siding	EXT Wall 2	%
Roof Type 1	Gable	Roof Type 2	%
Roof Cover 1	Asphalt Shnr	Roof Cover 2	%
INT Wall 1	Drywall	INT Wall 2	%
Floors 1	Hardwood	Floors 2	%
BMT Garages		Color	White
Plumbing		Electrical	
Insulation		INT vs EXT	
Heat Fuel	Oil	Heat Type	BB Hot Water
# Heat Sys		% Heated	100
% Solar HW		% A/C	
% COM Wall		% Vacuum	
Ceiling Type		Ceiling Type	
Parking Type		% Sprinkled	
EXT View			

► Grade

Grade	Q4	Q4	Q4
Year Built	1956	EFF Year	
Alt LUC		Alt %	0.00

► Other Factors

Flood Hazard	Topography	Street	LEVEL
			PAVED

► Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep V
FFL	1st FLOOR	1,101	1,101	151.05	166,306
BMT	BASEMENT	1,101	0	22.66	24,949
GAR	GARAGE	352	0	41.36	14,559
OFF	OPEN PORCH	132	0	19.18	2,088
Total		2,686	1,101		207,902

► Visit History

Date	Result	By
7/7/2021	REVIEW	MM
9/7/2018	REVIEW	JH
8/30/2018	MEASURED	JN
5/15/2007	LISTED	
5/15/2007	CALL BACK	MP
5/12/2007	CALL BACK	MP
4/24/2007	MEASURE	MP

► Notes

► Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

► Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq
				0	1

► Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

► Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											

► Other Info.

AFDU	
PriorID1b	
PriorID1c	
PriorID2a	
PriorID2b	
PriorID2c	
PriorID3a	
PriorID3b	
PriorID3c	

► Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	1	6	3
2			U
3			
4			
Totals	1	6	3



67 Mulberry Rd. - 300' Radius

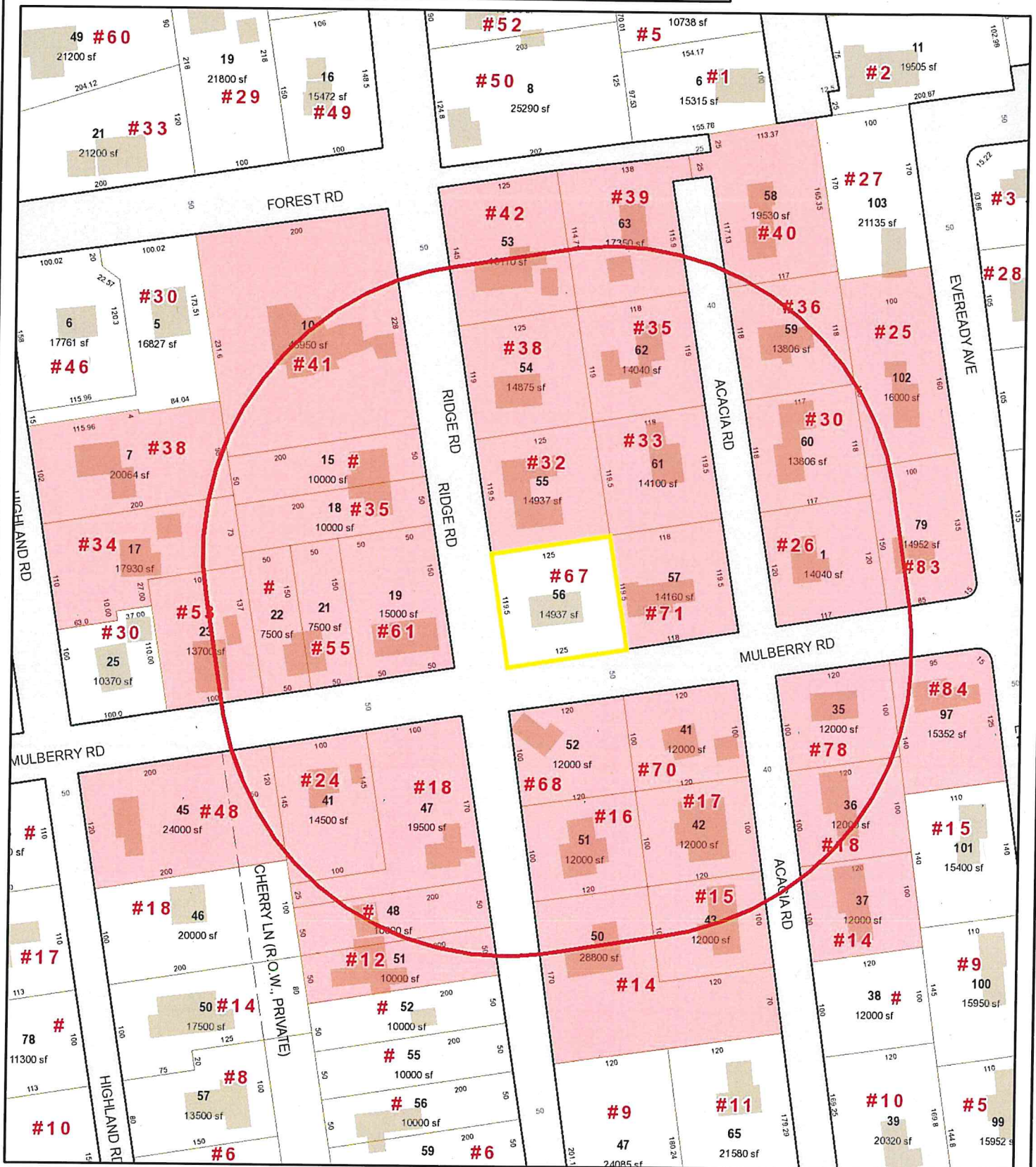
Bristol, RI



October 24, 2022

1 inch = 140 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 foot Abutters List Report

Bristol, RI
October 24, 2022

Subject Property:

Parcel Number: 70-56
CAMA Number: 70-56
Property Address: 67 MULBERRY RD

Mailing Address: CABRAL, DONNA M & EDWARD N TE
PO BOX 959
BRISTOL, RI 02809

Abutters:

Parcel Number: 70-1
CAMA Number: 70-1
Property Address: 26 ACACIA RD

Mailing Address: TIRRELL, PETER C & EVANS, HEATHER
H TE
26 ACACIA RD
BRISTOL, RI 02809

Parcel Number: 70-102
CAMA Number: 70-102
Property Address: 25 EVEREADY AVE

Mailing Address: TOSTE DIODATI, SARAH M. LE TOSTE,
PAUL J.
C/O 25 EVEREADY AVENUE
BRISTOL, RI 02809

Parcel Number: 70-35
CAMA Number: 70-35
Property Address: 78 MULBERRY RD

Mailing Address: MANCUSO, JOHN V & NANCY J -
TRUSTEES THE MANCUSO FAMILY
TRUST
78 MULBERRY RD
BRISTOL, RI 02809

Parcel Number: 70-36
CAMA Number: 70-36
Property Address: 18 ACACIA RD

Mailing Address: SALERA-VIEIRA, JEAN & VIEIRA, MARK
P TE
18 ACACIA RD
BRISTOL, RI 02809

Parcel Number: 70-37
CAMA Number: 70-37
Property Address: 14 ACACIA RD

Mailing Address: KING EDWARD L JR
14 ACACIA RD
BRISTOL, RI 02809

Parcel Number: 70-41
CAMA Number: 70-41
Property Address: 70 MULBERRY RD

Mailing Address: BAEDER, PAIGE E & BADEAU, ALEC JT
70 MULBERRY RD
BRISTOL, RI 02809

Parcel Number: 70-42
CAMA Number: 70-42
Property Address: 17 ACACIA RD

Mailing Address: GARDNER, STEVEN D & ANN S CO-
TRUSTEES
17 ACACIA RD
BRISTOL, RI 02809

Parcel Number: 70-43
CAMA Number: 70-43
Property Address: 15 ACACIA RD

Mailing Address: CASALEGNO, JAMES W. ETUX
MICHELLE F.
15 ACACIA RD
BRISTOL, RI 02809

Parcel Number: 70-50
CAMA Number: 70-50
Property Address: 14 RIDGE RD

Mailing Address: PALM, WILLIAM J IV CATES, SONYA J
TE
14 RIDGE RD
BRISTOL, RI 02809

Parcel Number: 70-51
CAMA Number: 70-51
Property Address: 16 RIDGE RD

Mailing Address: DEWOLF, JAMES L. ET UX SHARI L.
DEWOLF TE
16 RIDGE RD
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

10/24/2022

Page 1 of 4



300 foot Abutters List Report

Bristol, RI
October 24, 2022

Parcel Number: 70-52
CAMA Number: 70-52
Property Address: 68 MULBERRY RD

Mailing Address: BRISTOL HIGHLANDS IMPROVEMENT
ASSN INC
68 MULBERRY RD
BRISTOL, RI 02809

Parcel Number: 70-53
CAMA Number: 70-53
Property Address: 42 RIDGE RD

Mailing Address: MILLER, MARK R & CARPENTER,
SHELBY E TE
42 RIDGE RD
BRISTOL, RI 02809

Parcel Number: 70-54
CAMA Number: 70-54
Property Address: 38 RIDGE RD

Mailing Address: WILSON, LISA J. J. EDWARD HANLEY
38 RIDGE ROAD
BRISTOL, RI 02809

Parcel Number: 70-55
CAMA Number: 70-55
Property Address: 32 RIDGE RD

Mailing Address: SKUBA, STEVEN E CHERYL
32 RIDGE RD
BRISTOL, RI 02809

Parcel Number: 70-57
CAMA Number: 70-57
Property Address: 71 MULBERRY RD

Mailing Address: TAPPERO, EDWARD J.
71 MULBERRY RD
BRISTOL, RI 02809

Parcel Number: 70-58
CAMA Number: 70-58
Property Address: 40 ACACIA RD

Mailing Address: DYER, MICHAEL FRANCIS
40 ACACIA RD
BRISTOL, RI 02809

Parcel Number: 70-59
CAMA Number: 70-59
Property Address: 36 ACACIA RD

Mailing Address: PATTON, JOHN W. ET UX LYNN A.
PATTON TE
36 ACACIA ROAD
BRISTOL, RI 02809

Parcel Number: 70-60
CAMA Number: 70-60
Property Address: 30 ACACIA RD

Mailing Address: DEWOLF, BRADFORD DEWOLF, WENDY
A & MARC T TC
30 ACACIA RD
BRISTOL, RI 02809

Parcel Number: 70-61
CAMA Number: 70-61
Property Address: 33 ACACIA RD

Mailing Address: SEBRING, B. PETER ET UX SANDRA J.
SEBRING TE
33 ACACIA ROAD
BRISTOL, RI 02809

Parcel Number: 70-62
CAMA Number: 70-62
Property Address: 35 ACACIA RD

Mailing Address: HAYES, JONATHAN NORTON, T.
BLAYNEY TE
35 ACACIA RD
BRISTOL, RI 02809

Parcel Number: 70-63
CAMA Number: 70-63
Property Address: 39 ACACIA RD

Mailing Address: REMINGTON, GRACE
39 ACACIA RD
BRISTOL, RI 02809

Parcel Number: 70-79
CAMA Number: 70-79
Property Address: 83 MULBERRY RD

Mailing Address: MARSHALL, KENNETH A ETUX
CHRISTINE A. MARSHALL TE
36 HARBORVIEW AVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

10/24/2022

Page 2 of 4



300 foot Abutters List Report

Bristol, RI
October 24, 2022

Parcel Number: 70-97
CAMA Number: 70-97
Property Address: 84 MULBERRY RD

Mailing Address: JENSEN, BRUCE M. PAMELA A. ETUX
84 MULBERRY RD
BRISTOL, RI 02809

Parcel Number: 73-10
CAMA Number: 73-10
Property Address: 41 RIDGE RD

Mailing Address: WEAVER, MARGARET L & WOODRUFF,
EILEEN A TE
41 RIDGE RD
BRISTOL, RI 02809

Parcel Number: 73-15
CAMA Number: 73-15
Property Address: RIDGE RD

Mailing Address: MALLOY, PAUL F & EILEEN H
TRUSTEES-MALLOY FAMILY TRUST
35 RIDGE RD
BRISTOL, RI 02809

Parcel Number: 73-17
CAMA Number: 73-17
Property Address: 34 HIGHLAND RD

Mailing Address: COLLINS, LAURA L ZACHARY C CO-
TRUSTEES
34 HIGHLAND RD
BRISTOL, RI 02809

Parcel Number: 73-18
CAMA Number: 73-18
Property Address: 35 RIDGE RD

Mailing Address: MALLOY, PAUL F & EILEEN H
TRUSTEES-MALLOY FAMILY TRUST
35 RIDGE RD
BRISTOL, RI 02809

Parcel Number: 73-19
CAMA Number: 73-19
Property Address: 61 MULBERRY RD

Mailing Address: RING, ADAM M. ALISON B TE
61 MULBERRY ROAD
BRISTOL, RI 02809

Parcel Number: 73-21
CAMA Number: 73-21
Property Address: 55 MULBERRY RD

Mailing Address: WAITE, WILLIAM MATTHEW ETAL TC
WAITE, CHRISTOPHER R
PO BOX 99
HARTLAND FOUR CORS, VT 05049

Parcel Number: 73-22
CAMA Number: 73-22
Property Address: MULBERRY RD

Mailing Address: WAITE, WILLIAM MATTHEW ETAL TC
WAITE, CHRISTOPHER R
PO BOX 99
HARTLAND FOUR CORS, VT 05049

Parcel Number: 73-23
CAMA Number: 73-23
Property Address: 53 MULBERRY RD

Mailing Address: ALLIGOOD, PAUL B. JR ETUX TE
MAGLIONE-ALLIGOOD, ROSALIE N.
1908 YOUNGBLOOD ST
MC LEAN, VA 22101

Parcel Number: 73-41
CAMA Number: 73-41
Property Address: 24 CHERRY LN

Mailing Address: LOFTUS, JESSICA L
1 CEDAR DR
BRISTOL, RI 02809

Parcel Number: 73-45
CAMA Number: 73-45
Property Address: 48 MULBERRY RD

Mailing Address: LEAND, JUDITH D
48 MULBERRY RD
BRISTOL, RI 02809

Parcel Number: 73-47
CAMA Number: 73-47
Property Address: 18 RIDGE RD

Mailing Address: MIGLIACCIO, ROBERT A & BRENDA J
HUNTER TRUSTEES
18 RIDGE RD
BRISTOL, RI 02809



www.cai-tech.com

10/24/2022

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 3 of 4



300 foot Abutters List Report

Bristol, RI
October 24, 2022

Parcel Number: 73-51
CAMA Number: 73-51
Property Address: 12 CHERRY LN

Mailing Address: CABRAL, JOHN P. ET UX SHARON T.
CABRAL TE
12 CHERRY LANE
BRISTOL, RI 02809

Parcel Number: 73-7
CAMA Number: 73-7
Property Address: 38 HIGHLAND RD

Mailing Address: ANDREOZZI, DAVID S.R. ET UX CHERYL
38 HIGHLAND ROAD
BRISTOL, RI 02809



www.cai-tech.com

10/24/2022

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 4 of 4

ALLIGOOD, PAUL B. JR ETU
MAGLIONE-ALLIGOOD, ROSALI
1908 YOUNGBLOOD ST
MC LEAN, VA 22101

GARDNER, STEVEN D &
ANN S CO-TRUSTEES
17 ACACIA RD
BRISTOL, RI 02809

MILLER, MARK R &
CARPENTER, SHELBY E TE
42 RIDGE RD
BRISTOL, RI 02809

ANDREOZZI, DAVID S.R.
ET UX CHERYL
38 HIGHLAND ROAD
BRISTOL, RI 02809

HAYES, JONATHAN
NORTON, T. BLAYNEY TE
35 ACACIA RD
BRISTOL, RI 02809

PALM, WILLIAM J IV
CATES, SONYA J TE
14 RIDGE RD
BRISTOL, RI 02809

BAEDER, PAIGE E & BADEAU,
70 MULBERRY RD
BRISTOL, RI 02809

JENSEN, BRUCE M.
PAMELA A. ETUX
84 MULBERRY RD
BRISTOL, RI 02809

PATTON, JOHN W. ET UX
LYNN A. PATTON TE
36 ACACIA ROAD
BRISTOL, RI 02809

BRISTOL HIGHLANDS
IMPROVEMENT ASSN INC
68 MULBERRY RD
BRISTOL, RI 02809

KING EDWARD L JR
14 ACACIA RD
BRISTOL, RI 02809

REMINGTON, GRACE
39 ACACIA RD
BRISTOL, RI 02809

CABRAL, JOHN P. ET UX
SHARON T. CABRAL TE
12 CHERRY LANE
BRISTOL, RI 02809

LEAND, JUDITH D
48 MULBERRY RD
BRISTOL, RI 02809

RING, ADAM M.
ALISON B TE
61 MULBERRY ROAD
BRISTOL, RI 02809

CASALEGNO, JAMES W. ETUX
MICHELLE F.
15 ACACIA RD
BRISTOL, RI 02809

LOFTUS, JESSICA L
1 CEDAR DR
BRISTOL, RI 02809

SALERA-VIEIRA, JEAN &
VIEIRA, MARK P TE
18 ACACIA RD
BRISTOL, RI 02809

COLLINS, LAURA L
ZACHARY C CO-TRUSTEES
34 HIGHLAND RD
BRISTOL, RI 02809

MALLOY, PAUL F & EILEEN H
TRUSTEES-MALLOY FAMILY TR
35 RIDGE RD
BRISTOL, RI 02809

SEBRING, B. PETER ET UX
SANDRA J. SEBRING TE
33 ACACIA ROAD
BRISTOL, RI 02809

DEWOLF, BRADFORD
DEWOLF, WENDY A & MARC T
30 ACACIA RD
BRISTOL, RI 02809

MANCUSO, JOHN V & NANCY J
THE MANCUSO FAMILY TRUST
78 MULBERRY RD
BRISTOL, RI 02809

SKUBA, STEVEN E
CHERYL
32 RIDGE RD
BRISTOL, RI 02809

DEWOLF, JAMES L. ET UX
SHARI L. DEWOLF TE
16 RIDGE RD
BRISTOL, RI 02809

MARSHALL, KENNETH A ETUX
CHRISTINE A. MARSHALL TE
36 HARBORVIEW AVE
BRISTOL, RI 02809

TAPPERO, EDWARD J.
71 MULBERRY RD
BRISTOL, RI 02809

DYER, MICHAEL FRANCIS
40 ACACIA RD
BRISTOL, RI 02809

MIGLIACCIO, ROBERT A & BR
18 RIDGE RD
BRISTOL, RI 02809

TIRRELL, PETER C & EVANS,
26 ACACIA RD
BRISTOL, RI 02809

TOSTE DIODATI, SARAH M. L
TOSTE, PAUL J.
C/O 25 EVEREADY AVENUE
BRISTOL, RI 02809

WAITE, WILLIAM MATTHEW ET
WAITE, CHRISTOPHER R
PO BOX 99
HARTLAND FOUR CORS, VT
05049

WEAVER, MARGARET L & WOOD
41 RIDGE RD
BRISTOL, RI 02809

WILSON, LISA J.
J. EDWARD HANLEY
38 RIDGE ROAD
BRISTOL, RI 02809

DESIGN CRITERIA

1. DESIGN CODE: 2018 International Residential Code (IRC)

Design Dead Load 10 p.s.f.
Design Live Load 40 p.s.f.
Design Ground Snow Load 30 p.s.f.
Wind Speed 140 m.p.h.
Exposure Category B
Height and Exposure adjustment 1.0

2. Manual of Steel Construction Eight Edition

Max. Allowable Deflection $L/360$

STRUCTURAL STEEL

1. All work shall conform to the American Institute of Steel Construction (AISC) Specifications and its code of standard practice.
2. Permanent framing and final connection details are shown on the drawings. The contractor shall be responsible for the erection sequences, means, and methods.
3. Structural drawings shall be used in conjunction with existing conditions; the general contractor is responsible to check and coordinate dimensions, clearances, etc. with the work of other trades.

Square and Rectangular HSS	ASTM A500, GRADE B (50 k.s.i.)
L Shapes, MISC, Plates & Bars	ASTM A36
Bolts.....	ASTM A325
Anchor Rods.....	ASTM F 1554, Grade 36
Rolled Shapes.....	ASTM A572 Gr.50 Fy=50k.s.i. Ft=65k.s.i.

DESIGN PROCEEDURE

1. The Contractor will contract with the truss fabricator, who will supply a truss layout and a structural design of each significant element of the roof system. The truss plate manufacture's engineer reviews and seals the individual truss designs on behalf of the truss fabricator.

ROOF TRUSS

1. The roof truss manufactures engineering design drawings bearing the seal of the Registered Professional Engineer preparing the design shall be provided to the Engineer of Record for his approval.
2. Species grade or better: No.1 KD Southern Yellow Pine No.1 and better Douglas Fir 2100 Fb=1.8E Machine Stress Rated (MSR) limber.
3. The roof truss spans represent truss overall lengths, assuming 3 ½" bearing at each end.
4. The minimum truss span-to-live load deflection is L/360.
5. Truss designs shall be in accordance with the latest version of ANSI/TPI1 National Design Standards for Metal Plates Converted Wood Construction, a publication of Truss Plate Institute and generally accepted engineering practice.
6. Delivery, handling, and erection of the roof truss shall be in accordance with the "TPI Quality Standard for Metal Plates Connected Wood Trusses" published by the Truss Plate Institute.
7. Roof Truss connector plates to be manufactured under rigid quality control using structural Grade C hot-dipped, galvanized steel meeting ASTM Specification A653.

CONNECTOR PLATES

Connector plates shall be approved by the following recognizes national and regional model building code groups, based on extensive structural testing.

1. BOCA National Building Code Building Officials and Code Administrators, (BOCA) Research Report No. 96-31, 96-67.
2. Uniform Building Code (UBC) International Conference of Building Officials (ICBO) Report No. 3907 and 4922.
3. Standard Building Code (SBC) Southern Building Code Congress International (SBCCI) Report N0. 9667 and 9432A.
4. Federal Housing Administration (FHA/HUD) U.S. Department of Housing and Urban Development (HUD) Truss Connector Bulletin No. TCB 17.08.

TEMPORARY BRACING

Temporary or installation bracing is the responsibility of the installer. Temporary bracing shall remain in place as long as necessary for the safe and acceptable completion of the roof or floor and may remain in place after permanent bracing is installed.

STORAGE

1. Trusses shall be stored in a stable position to prevent toppling and / or shifting. If trusses are stored horizontally, the blocking should be eight foot centers to prevent lateral bending. If truss bundle is to be stored for more than one week, the solid blocking, should be of sufficient height to lessen moisture gain from the ground. During long term storage, trusses should be protected from the elements in a manner that provides for adequate ventilation of the truss. If tarpaulins are used, the ends should be left open for ventilation. If trusses are made with interior rated fire retardant limber, care should be taken to limit outside exposure.

GENERAL NOTES

1. All work is to be performed to the requirements of the Rhode Island State Building Code and it's applicable referenced standards.
2. The contractor shall coordinate all dimensions and elevations with existing conditions prior to construction. Any discrepancies shall be brought to the immediate attention of the Engineer of Record.
3. Structural members shall not be modified in the field without written approval of the Engineer of Record.
4. In case of conflict between notes, details and specifications, the most stringent requirements shall govern. The contractor shall not make deviations from the contract documents without written approval from the Engineer of Record.
5. Job safety and construction procedures are the responsibility of the contractor.
6. All cost of investigation and/or redesign. due to the contractors incorrect location of structural elements or other lack of conformance with the project documents shall be at the contractors expense.
7. These drawings represent the completed project which has been designed for the weights of the materials indicated on the drawings and for the superimposed loads indicated in the Design Criteria. It is the responsibility of the contractor to determine allowable construction loads and to provide proper design and construction of falsework, falsework staging, bracing, sheeting and shoring, ECT.
8. Typical details apply repetitively on the project, the contractor shall coordinate the general requirements of the typical details with the project conditions, plans, specifications and sections.

STRUCTURAL LUMBER/ROUGH CARPENTRY

1. All work shall be in conformance with the American Forest and Paper Association Standards.
2. Unless otherwise noted all dimensional lumber shall be Douglas Fir-Larch North No.2 or better (19% moisture content or less. All lumber exposed to the weather shall be southern yellow pine NO.2 or better with ACQ pressure treatment preservative and a moisture content of 19% or lower.
3. Provide Simpson metal hangers at all flush connections.
4. All fasteners shall be in conformance with the fastener schedule in the 2018 International building code, unless otherwise noted. Fasteners exposed to the weather shall be hot-dip galvanized or stainless steel.
5. Provide 1"x4" cross-bridging for all solid sawn wood joist and 2x solid blocking between joists at all supports and partitions.

ROOF TRUSS

Notes:

REV:	DESCRIPTION:	Br:	DATE:
STATUS: DRAFT NOT FOR CONSTRUCTION			
$\{R^2\}$ R-Squared LLC		R-SQUARED LLC 5 TALON CT HOPE, RI 02831 401-258-2532 EMAIL: SPIC@R2SQUAREDPLANS.COM	
CLIENT: MR. EDWARD CABRAL 67 MULBERRY ROAD BRISTOL R.I.			
ARCHITECT:			
SITE: 67 MULBERRY ROAD BRISTOL R.I.			
TITLE: HOUSE RECONSTRUCTION			
SCALE AT A1: NONE	DATE: 06/29/2022	DRAWN: SR	CHECKED: SR, JR
PROJECT NO: 2022-23	DRAWING NO: 002	REVISION: 0	

SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION:

LIMITED CONTENT BOUNDARY SURVEY CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.

BY: *[Signature]* DATE: 9/20/22

BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA #A 348

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

REFERENCE:

- 1. DEED BK. 2179 / PG. 278
- 2. "RE-PLAT OF THE WILLIAM HENRY CHURCH FARM, BRISTOL, R.I. NOVEMBER 1909, W.W. PERRY, C.E." PLAT BK. A / PG. 113

DIMENSIONAL CONFORMANCE SURVEY

A.P. 70 / LOT 56
67 MULBERRY ROAD
BRISTOL, R.I.

SCALE: 1"=20' DATE: SEPTEMBER 15, 2022

PREPARED FOR:

EDWARD N. & DONNA M. CABRAL

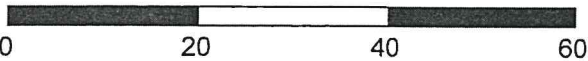
67 MULBERRY ROAD
BRISTOL, R.I. 02809

PREPARED BY:

LAND PLANNERS
9 BENJAMIN STREET, WARWICK RI 02818
PHONE: (401) 884-2220

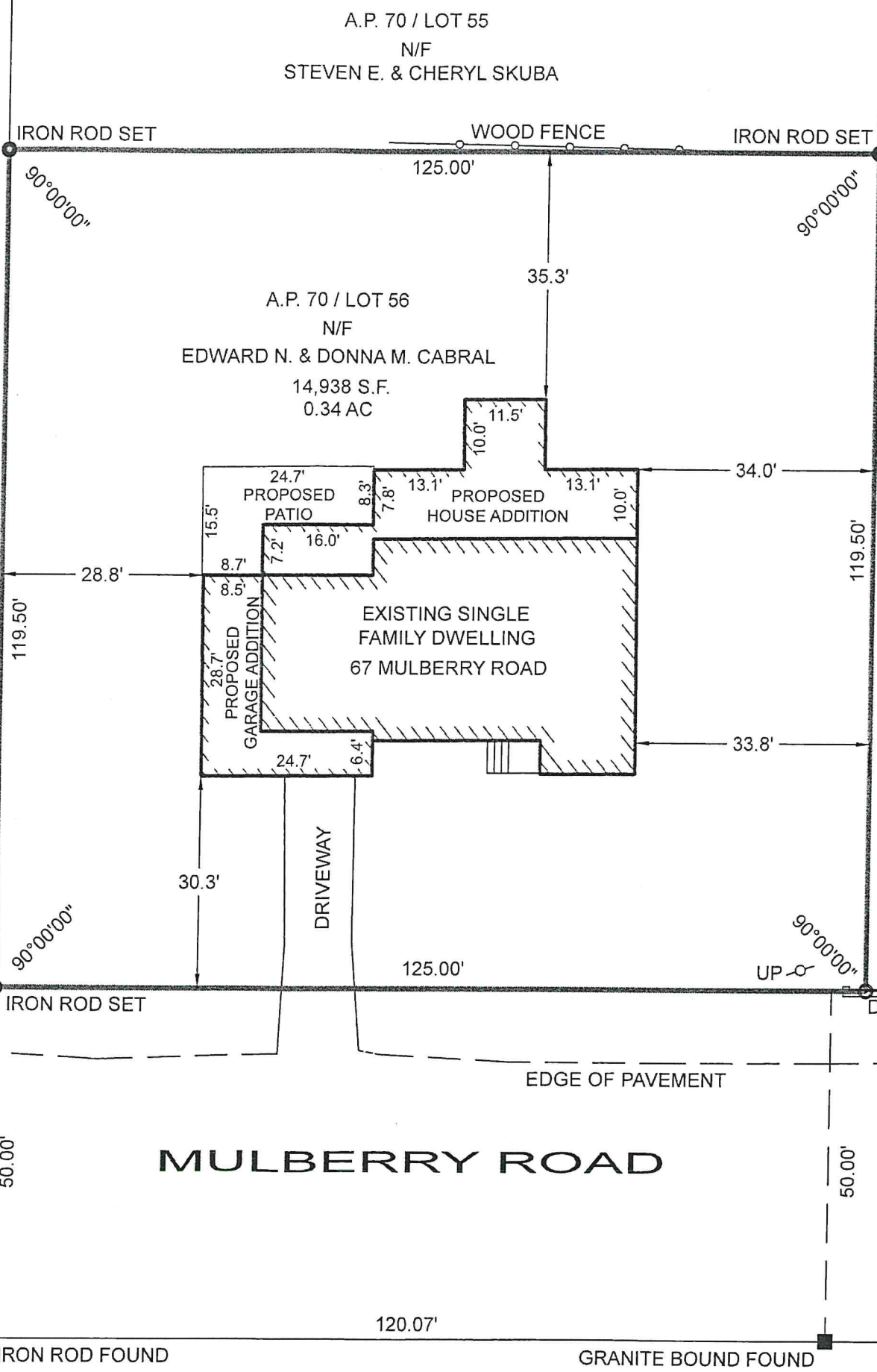
JOB NO. 2236 / DWG. NO. 2236 - (JNP)

GRAPHIC SCALE / 1" = 20'

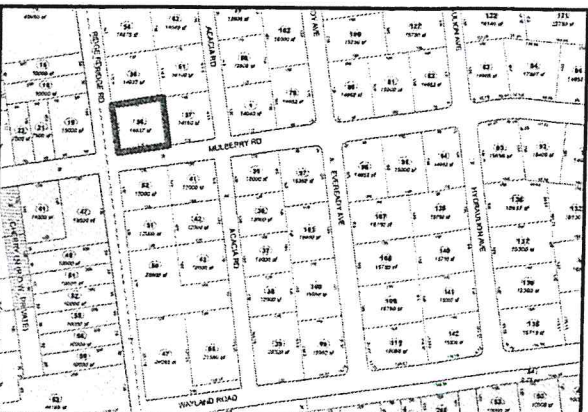


RIDGE ROAD

MAGNETIC 09-06-22
EDGE OF PAVEMENT
IRON ROD SET
IRON ROD SET
IRON ROD SET
IRON ROD FOUND



A.P. 70 / LOT 61
N/F
PETER & SANDRA J. SEBRING



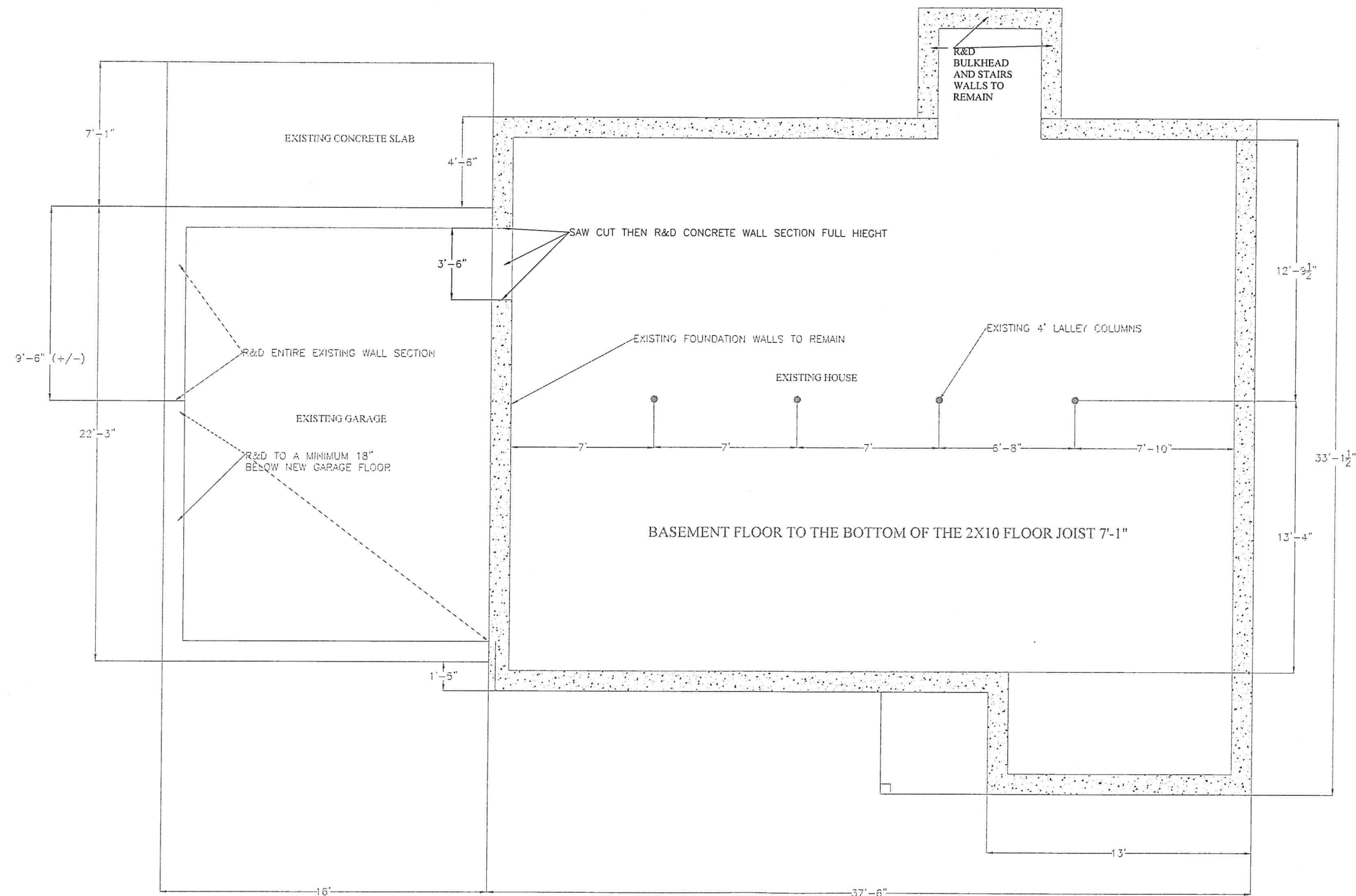
LOCUS MAP

ZONING DISTRICT R-20

MINIMUM LOT AREA: 20,000 S.F.
MINIMUM LOT FRONTAGE: 120 FT.
MINIMUM SETBACKS: FRONT: 35 FT.
SIDE: 20 FT.
REAR: 35 FT.
MAXIMUM LOT COVERAGE: 25%
MAXIMUM STRUCTURE HEIGHT: 35 FT.
MAXIMUM ACCESSORY HEIGHT: 35 FT.



ACACIA ROAD

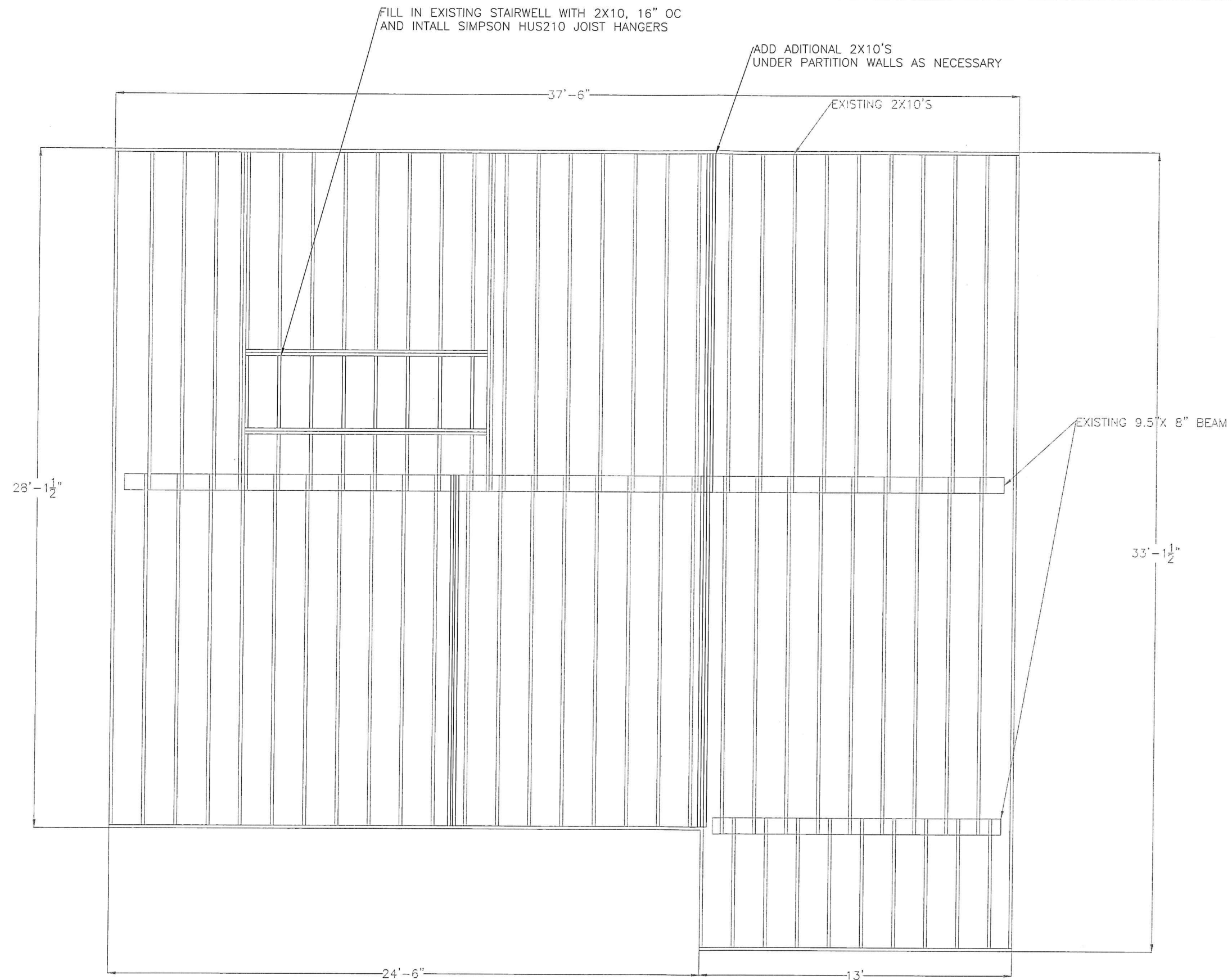


EXISTING FOUNDATION

SCALE: $\frac{3}{8}" = 1'-0"$

Notes:

REV:	DESCRIPTION:	BY:	DATE:
STATUS: DRAFT NOT FOR CONSTRUCTION			
{R²} R-Squared LLC R-SQUARED LLC 5 TALON CT HOPE, RI 02831 401-258-2532 EMAIL: R2@R2SQUAREDPLANES.COM			
CLIENT: MR. EDWARD CABRAL 67 MULBERRY ROAD BRISTOL R.I.			
ARCHITECT:			
SITE: 67 MULBERRY ROAD BRISTOL R.I.			
TITLE: HOUSE RECONSTRUCTION			
SCALE AT A1:	DATE:	DRAWN:	CHECKED:
3/8"=1'-0"	06/29/2022	SR	SR.JR
PROJECT NO:	DRAWING NO:	REVISION:	
2022-23	003	0	

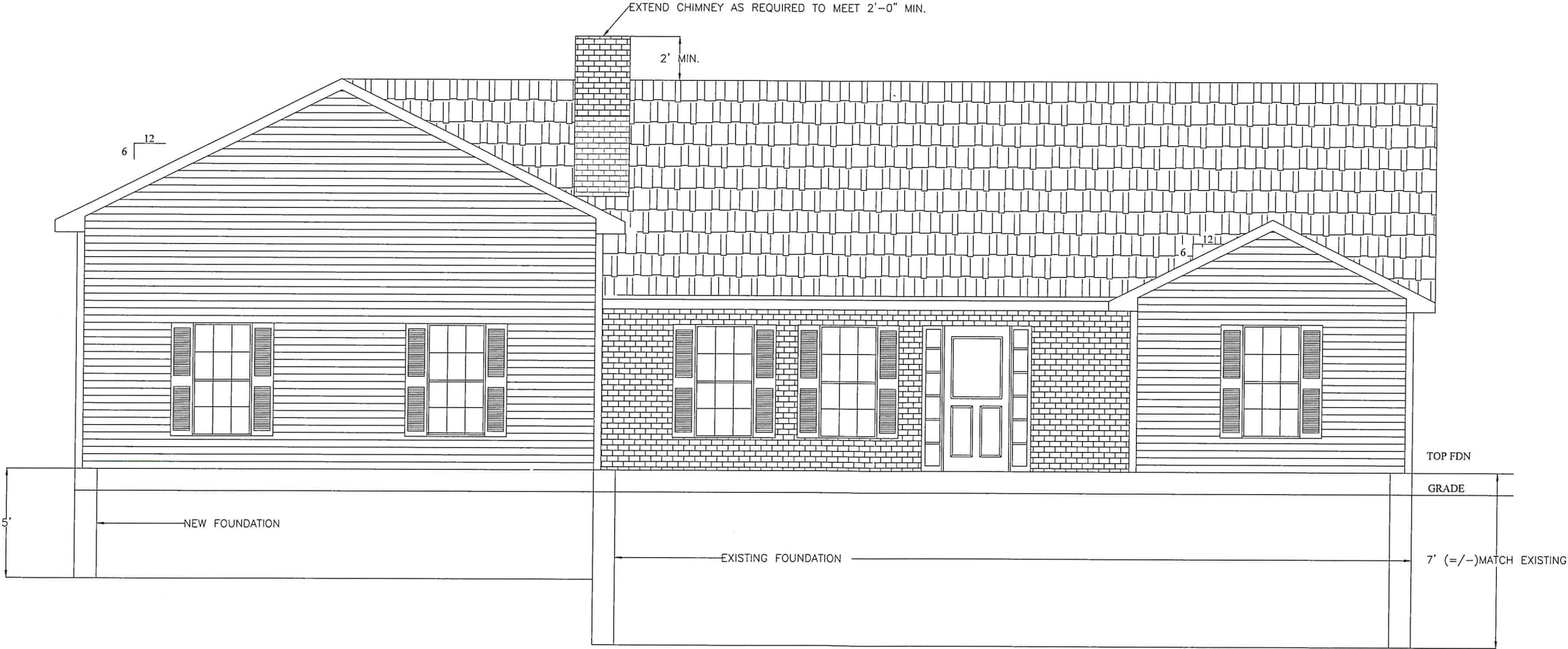


FLOOR FRAMING PLAN

SCALE: 1/2"=1'-0"

Notes:

REV:	DESCRIPTION:	BY:	DATE:
STATUS: DRAFT NOT FOR CONSTRUCTION			
{R²} R-Squared LLC 5 TALON CT HOPE, RI 02831 401-258-2532 EMAIL: SR@R2SQUAREDPLANS.COM			
CLIENT: MR. EDWARD CABRAL 67 MULBERRY ROAD BRISTOL R.I.			
ARCHITECT:			
SITE: 67 MULBERRY ROAD BRISTOL R.I.			
TITLE: HOUSE RECONSTRUCTION			
SCALE AT A1: 1/2"=1'-0"	DATE: 06/29/2022	DRAWN: SR	CHECKED: SR, JR
PROJECT NO: 2022-23	DRAWING NO: 005	REVISION: 0	

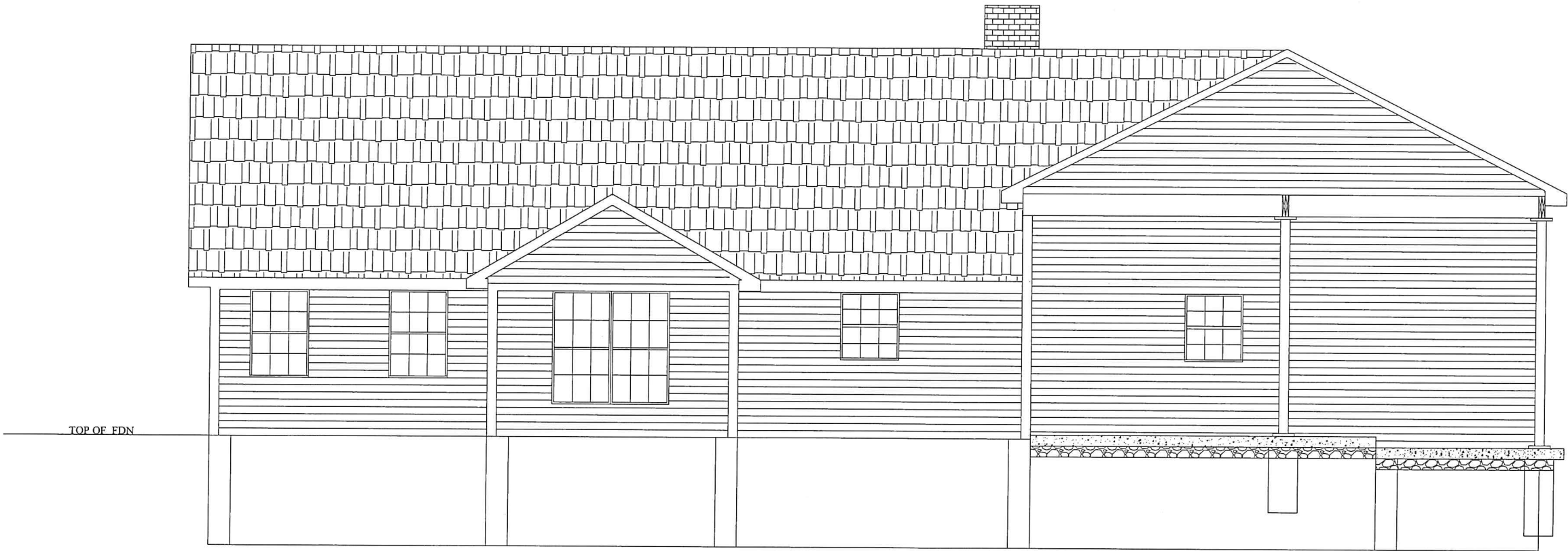


FRONT ELEVATION

SCALE: $\frac{3}{8}$ "=1'-0"

Notes:			
REV:	DESCRIPTION:	BY:	DATE:
STATUS: DRAFT NOT FOR CONSTRUCTION			
{R²} R-Squared LLC 5 TALON CT HOPE, RI 02831 401-258-2532 EMAIL: INFO@RSQUAREDPLANS.COM			
CLIENT: MR. EDWARD CABRAL 67 MULBERRY ROAD BRISTOL R.I.			
ARCHITECT:			
SITE: 67 MULBERRY ROAD BRISTOL R.I.			
TITLE: HOUSE RECONSTRUCTION			
SCALE AT A1: 3/8"=1'-0"	DATE: 08/17/2022	DRAWN: SR	CHECKED: SR, JR
PROJECT NO: 2022-23	DRAWING NO: 007	REVISION: 1	

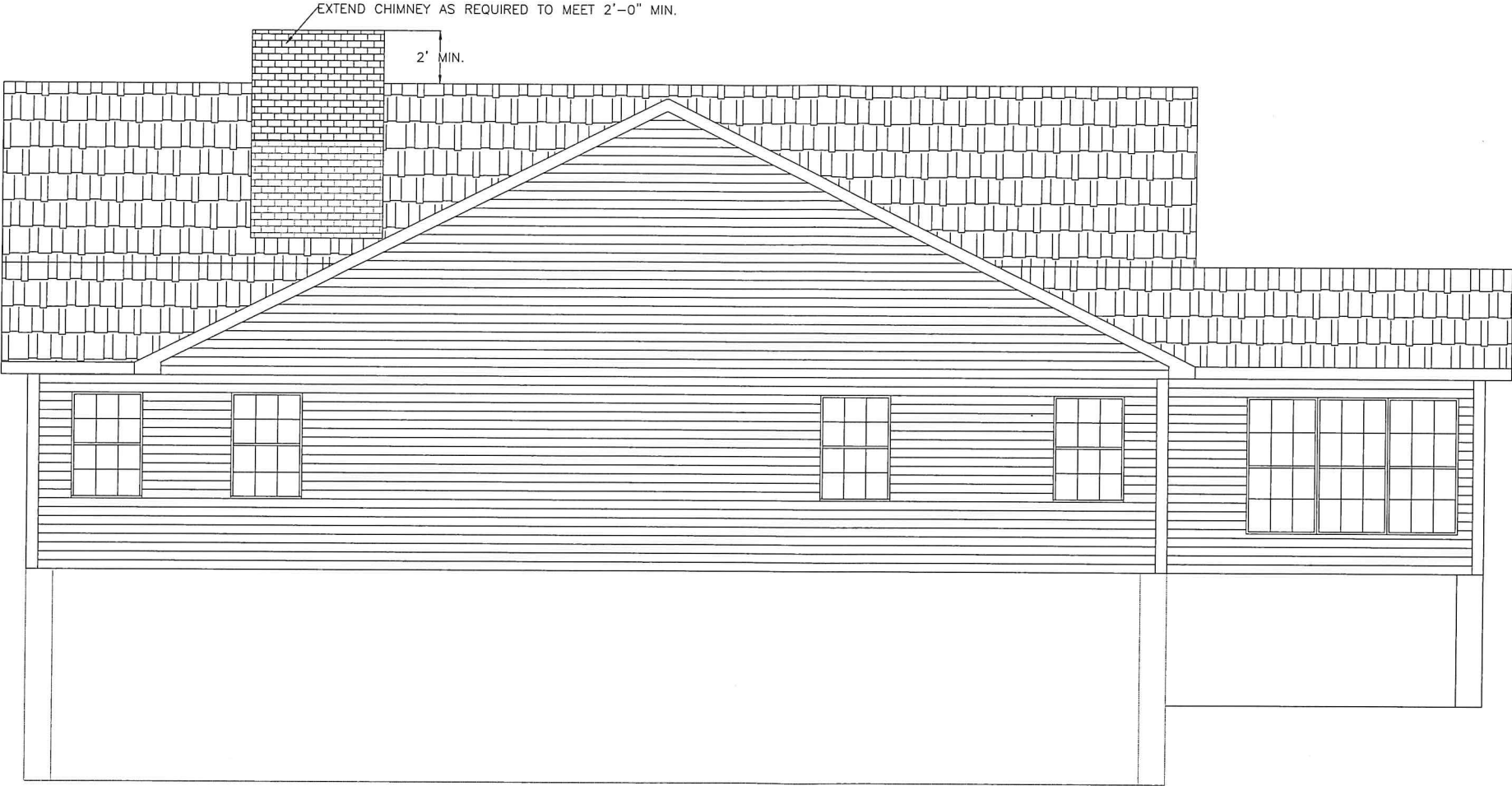
Notes:



REAR ELEVATION

SCALE: $\frac{3}{8}$ "=1'-0"

REV:	DESCRIPTION:	B/C:	DATE:
STATUS: NOT FOR CONSTRUCTION			
{R²} R-Squared LLC 5 TALON CT HOPE, RI 02831 401-258-2532 EMAIL: R-SQUARED@R-SQUAREDPLANS.COM			
CLIENT: MR. EDWARD CABRAL 67 MULBERRY ROAD BRISTOL R.I.			
ARCHITECT:			
SITE: 67 MULBERRY ROAD BRISTOL R.I.			
TITLE: HOUSE RECONSTRUCTION			
SCALE AT A1:	DATE:	DRAWN:	CHECKED:
3/8"=1'-0"	08/30/2022	SR	SR, JR
PROJECT NO:	DRAWING NO:	REVISION:	
2022-23	008	2	



EAST ELEVATION

SCALE: $\frac{3}{8}$ "=1'-0"

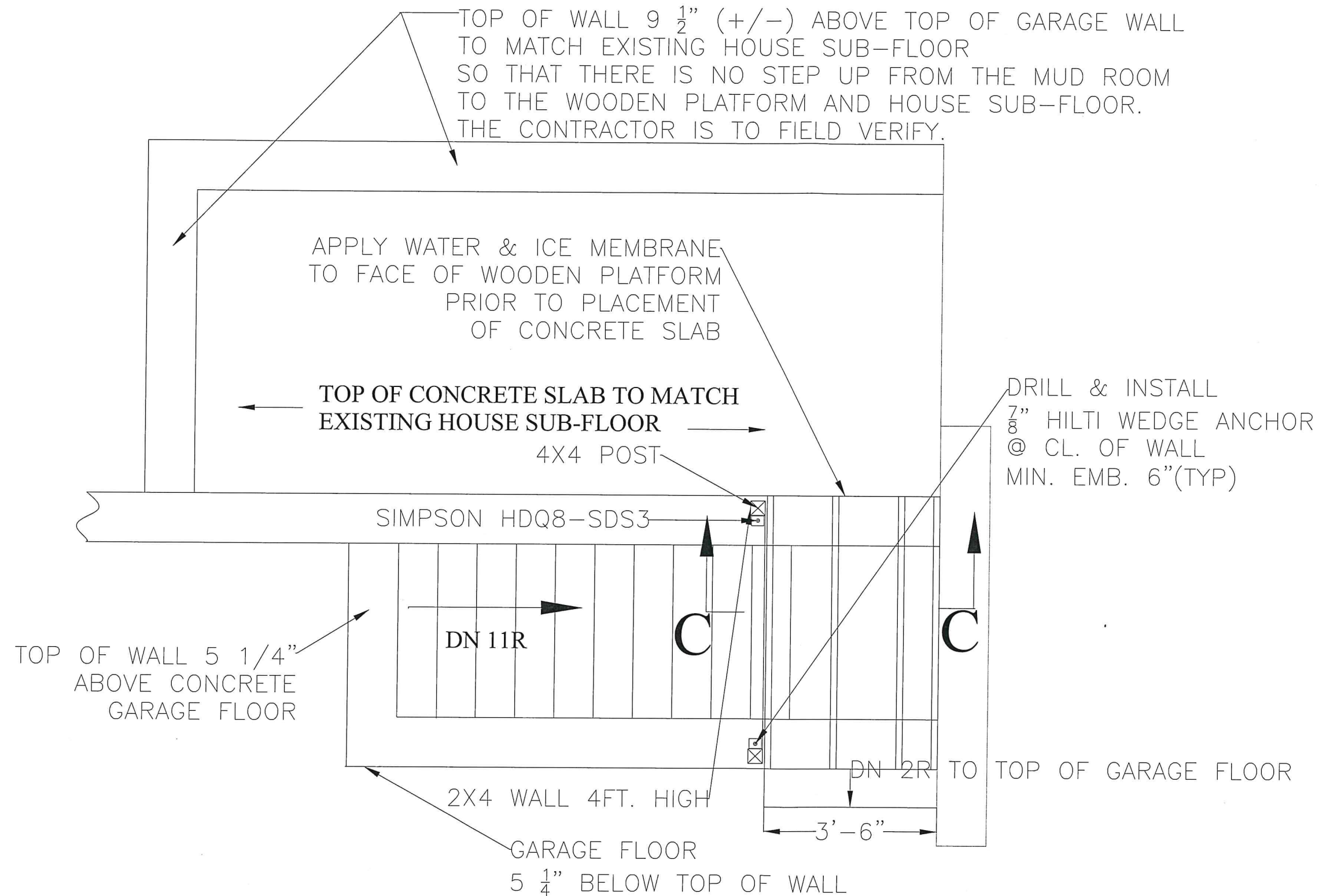
Notes:			
REV:	DESCRIPTION:	BY:	DATE:
STATUS: NOT FOR CONSTRUCTION			
{R²} R-Squared LLC 5 TALON CT HOPE, RI 02831 401-258-2532 EMAIL: SRJCD@RSQUAREDPLANS.COM			
CLIENT: MR. EDWARD CABRAL 67 MULBERRY ROAD BRISTOL R.I.			
ARCHITECT:			
SITE: 67 MULBERRY ROAD BRISTOL R.I.			
TITLE: HOUSE RECONSTRUCTION			
SCALE AT A1:	DATE:	DRAWN:	CHECKED:
3/8"=1'-0"	08/30/2022	SR	SR.JR
PROJECT NO.	DRAWING NO.	REVISION:	
2022-23	009	2	

1



REV:	DESCRIPTION:	B/R:	DATE:
STATUS: DRAFT FOR CONSTRUCTION			
 R-Squared LLC		R-SQUARED LLC 5 TALON CT HOPE, RI 02831 401-258-2532 EMAIL: J@CDHSQUAREDPLANS.COM	
CLIENT: MR. EDWARD CABRAL 67 MULBERRY ROAD BRISTOL R.I.			
ARCHITECT:			
SITE: 67 MULBERRY ROAD BRISTOL R.I.			
TITLE: HOUSE RECONSTRUCTION			
SCALE AT A1: 1/2"=1'-0"	DATE: 06/29/2022	DRAWN: SR	CHECKED: SR, JR
PROJECT NO: 2022-23	DRAWING NO: 010	REVISION: 0	

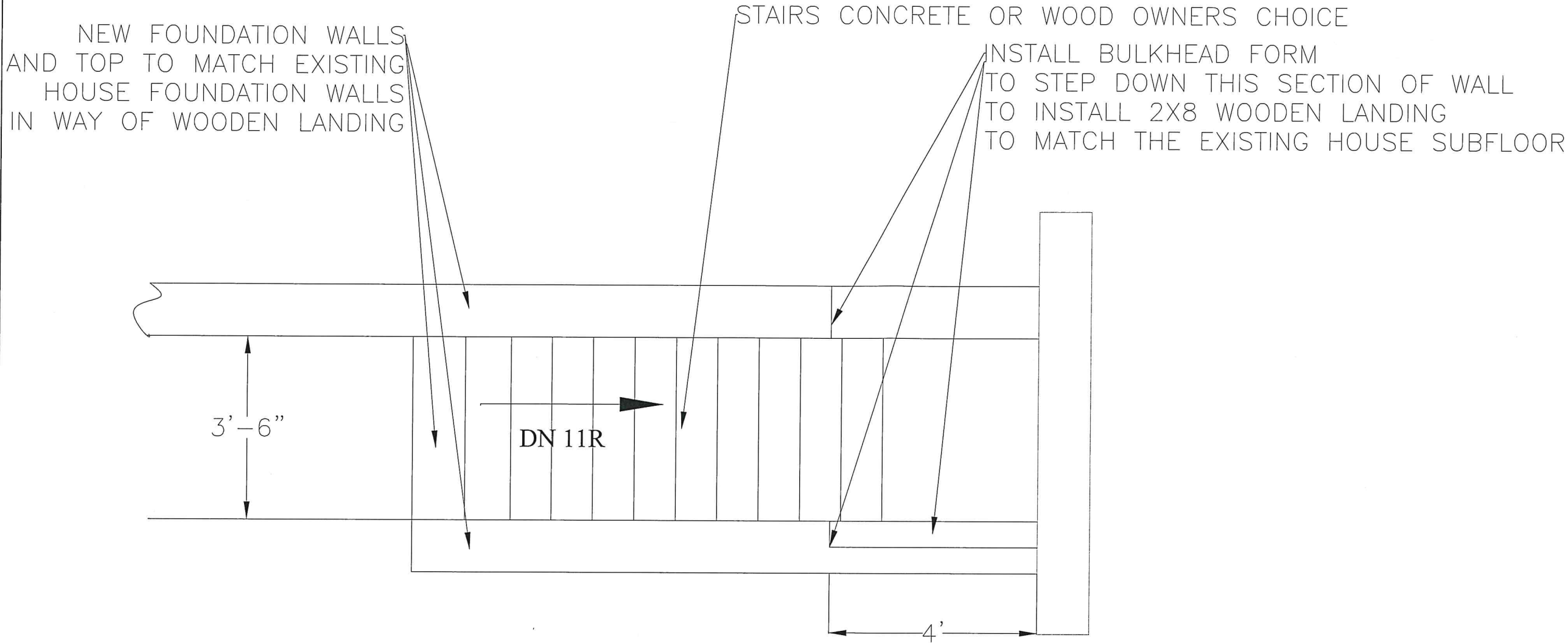
Notes:



DETAIL 1 GARAGE STAIRS

SCALE: 1'=1'-0"

REV.	DESCRIPTION:	BY:	DATE:
STATUS: DRAFT NOT FOR CONSTRUCTION			
R² R-Squared LLC 5 TALON CT HOPE, RI 02831 401-258-2532 EMAIL: PROCS@RSQUAREDPLANE.COM			
CLIENT: MR. EDWARD CABRAL 67 MULBERRY ROAD BRISTOL R.I.			
ARCHITECT:			
SITE: 67 MULBERRY ROAD BRISTOL R.I.			
TITLE: HOUSE RECONSTRUCTION			
SCALE AT A1: 1"=1'-0"	DATE: 06/29/2022	DRAWN: SR	CHECKED: SR, JR
PROJECT NO. 2022-23	DRAWING NO. 011	REVISION: 0	



DETAIL 2 GARAGE STAIRS

SCALE: 1'=1'-0"

Notes:			
REV.	DESCRIPTION:	BY:	DATE:
STATUS: DRAFT NOT FOR CONSTRUCTION			
{R²} R-Squared LLC 5 TALON CT HOPE, RI 02831 401-258-2532 EMAIL: SPOC@RSQUAREDPLANS.COM			
CLIENT: MR. EDWARD CABRAL 67 MULBERRY ROAD BRISTOL R.I.			
ARCHITECT:			
SITE: 67 MULBERRY ROAD BRISTOL R.I.			
TITLE: HOUSE RECONSTRUCTION			
SCALE: AT A1: 1'=1'-0"	DATE: 06/29/2022	DRAWN: SR	CHECKED: SR, JR
PROJECT NO: 2022-23	DRAWING NO: 012	REVISION: 0	