



Town of Bristol, Rhode Island
Zoning Board of Review

10 Court Street
Bristol, RI 02809
401-253-7000
www.bristolri.gov

File #2024-03

PUBLIC HEARING

Notice is hereby given by the Zoning Board of Review
that a public hearing will be held on the following application:

Tuesday, January 2, 2024
at 7:00 P.M.
Bristol Town Hall
10 Court Street

APPLICANT: **Jonathan and Miranda Trahan**
PROPERTY OWNER: **Jonathan and Miranda Trahan**
LOCATION: **454 Poppasquash Road**
PLAT: **174** LOT: **74**
ZONE: **Residential R-80**

APPLICANT IS REQUESTING A DIMENSIONAL VARIANCE: to construct a new
single-family dwelling with less than the required left side yard.

Edward M. Tanner,
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov. Written comments should be received no later than 12:00 p.m. on Thursday, December 28, 2023.



Town of Bristol, Rhode Island

TOWN OF BRISTOL
COMMUNITY DEV.

Department of Community Development Zoning Board of Review

DEC 12 AM 11:19

APPLICATION

File No: 2024-03
Accepted by ZEO: ENT 12/12/2023

APPLICANT	Name: Jonathan Trahan		
	Address: 54 Pheasant Landing Road		
	City: Needham	State: MA	Zip: 02492
	Phone #: 781-400-5069	Email: jtrahan18@comcast.net	
PROPERTY OWNER	Name: Same		
	Address:		
	City:	State:	Zip:
	Phone #:	Email:	

- Location of subject property: 454 Poppasquash Road, Bristol, RI 02809
 Assessor's Plat(s)#: 174 Lot(s) #: 0074-000
- Zoning district in which property is located: R-80
- Zoning Approval(s) required (check all that apply):
 Dimensional Variance(s) Special Use Permit Use Variance
- Which particular provisions of the Zoning Ordinance is applicable to this application?:
 Dimensional Variance Section(s): Left side yard
 Special Use Permit Section(s): _____
 Use Variance Section(s): _____
- In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.
- How long have you owned the property?: Two and a half years
- Present use of property: Occasional visit
- Is there a building on the property at present?: No
- Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): _____
Lot is vacant and undeveloped with no buildings
- Proposed use of property: Single family residence

11. Give extent of proposed alterations: _____
Building a single-family dwelling with garage and hardscape

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): _____
First Floor 2436 sqft, second floor 1862 sqft, garage 1030 sqft, building height 34.5'

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: 40'	Proposed Setback: 149.9'
Left side lot line:	Required Setback: 25'	Proposed Setback: 12.1'
Right side lot line:	Required Setback: 25'	Proposed Setback: 28.3'
Rear lot line:	Required Setback: 40'	Proposed Setback: _____
Building height:	Required: 35'	Proposed: 34.5'
Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):		
Required: _____	Proposed: _____	

13. Number of families before/after proposed alterations: _____ 0 _____ Before _____ 1 _____ After

14. Have you submitted plans for the above alterations to the Building Official? No
If yes, has he refused a permit? _____ If refused, on what grounds? _____

15. Are there any easements on your property?: Yes (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: _____ Sewer: _____

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: _____ Date: 12-1-23

Print Name: Jonathan Trahan

Property Owner's Signature: _____ Date: 12-1-23

Print Name: Jonathan Trahan

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Telephone #: _____

Address: _____

Hello, I am applying for a 12' south-side set back variance against an existing 40' easement. This easement is very old and as I understand it, was originally made in order for the south portion of the Poppasquash peninsula to access the ocean for farming purposes. I have also been made aware that this easement has never been used and that my parcel of property has always maintained it.

The reasons for my proposed house location is to center the structure between the north side neighbor and the south side neighbor. In doing this, I would have to encroach on the easement's set back by 11.7', however I am hopeful that because this easement has never been used and that my property has always maintained this sliver of land that a set back against it might be a reasonable request (especially since the set back would be measured from the deck and not the house itself). In addition, as the south side neighbor's house plan or placement has not yet been determined, I am trying to maintain the best distance I can.

Thank you for your consideration of my request.

Sincerely,

Jonathan Trahan

Bristol

454 POPPASQUASH RD

Card of

Plat/Lot 174 74

Account: 9536

LUC 13

Zone R-80

Assessment

\$1,502,500



Owner

Owner 1	TRAHAN, JONATHAN & MIRANDA TE	% Owned
Owner 2		
Owner 3		
Address	54 PHEASANT LANDING RD, NEEDHAM, MA 02492	

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leq Ref	NAL	Deed Type
CONTENTI, JOHN	06/09/2021	1,540,000	2116-327		W
SYDLOWSKI, PAUL E. ET UX	04/03/2017	985,000	1887-195	L	W
SYDLOWSKI, PAUL E. & BARBARA M.,	12/28/1998	0	681-49		
OCEAN STATE OPHTHALMOLOGY INC	12/28/1998	0	681-46		
SYDLOWSKI, PAUL E. & BARBARA	12/28/1998	0	681-37		W

Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
13	0	0	2.78	1,502,500	0	1,502,500
TOTAL	0	0	2.78	1,502,500	0	1,502,500

Source > Mkt Adj Cost VAL per SQ Unit/Card > VAL per SQ Unit/Parcel >

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	13	0	0	3	1,502,500	0	1,502,500	1,502,500
2021	13	0	0	3	1,546,700	0	1,546,700	1,546,700
2020	13	0	0	3	1,546,700	0	1,546,700	1,546,700
2019	13	0	0	3	1,546,700	0	1,546,700	1,546,700
2018	01	0	13,800	3	1,834,100	0	1,847,900	1,847,900
2017	01	1,032,000	13,800	6	1,924,300	0	2,970,100	2,970,100

Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value	
1	13	Res Vacant	P	1.00	340,000	765,838	Q	WF	150	Easement	-10			1,406,500		1.00		0	
2	13	Res Vacant	EX	0.20	340,000	101,994	Q							96,000		1.00		0	
3																			
4																			

2022

454 POPPASQUASH RD



Building Information

Table with columns: BLDG Type, RES Units, Foundation, Frame 1, EXT Wall 1, Roof Type 1, Roof Cover 1, INT Wall 1, Floors 1, BMT Garages, Plumbing, Insulation, Heat Fuel, # Heat Sys, % Solar HW, % COM Wall, Ceil Hght, Parking Type, EXT View. Includes rows for Story Height, COM Units, BMT Floor, Frame 2, EXT Wall 2, Roof Type 2, Roof Cover 2, INT Wall 2, Floors 2, Color, Electrical, INT vs EXT, Heat Type, % Heated, % A/C, % Vacuum, Ceiling Type, % Sprinkled.

Grade

Table with columns: Grade, Year Built, Alt LUC, EFF Year, Alt %, Flood Hazard, Topography, Street Traffic, ROLLING, PAVED.

Depreciation

Table with columns: Code, Description, % Size Adj, Constr Adj, Adj \$/SQ, Other Feats, Grade Fac, Neigh Infl, Land Factor, Adj Total, Depreciation, Depr Total. Includes Total Depreciation % >

Remodeling History

Table with columns: Additions, Interior, Exterior, Kitchen, Bath(s), Plumbing, Electric, Heating, General.

Condo Data

Table with columns: Complex, Location, Tot Units, FL Level, # Floors, Bldg Seq.

Sub-Area Detail

Table with columns: Code, Description, Area, Fin. Area, Rate, Undeb V, Total.

Notes

LAND AREA CORRECTED 3/07 EAS.- NEW HOUSE COMPLETE 10/26/09 OLD BUILDING AREA UNDER CONSTRUCTION.- 12/09 EAS || 09-08-2021 Lot split. New lot 174-74 has 2.78 acres and the existing lot 72 now has 3.38 acres.

Visit History

Table with columns: Date, Result, By. Includes entries for 1/15/2022, 7/28/2021, 4/9/2019, 10/19/2018, 5/26/2015, 7/16/2009.

Building Permits

Table with columns: Issue Date, Permit #, Closed Date, BP Type, Est. Cost, % Done, Status, Description/Directions. Includes entry for 04/02/2021, M51950, MECH, 5,500, Closed, Install 1000 gallon underground propane tank and gas lines to pool house and

Special Features & Yard Items

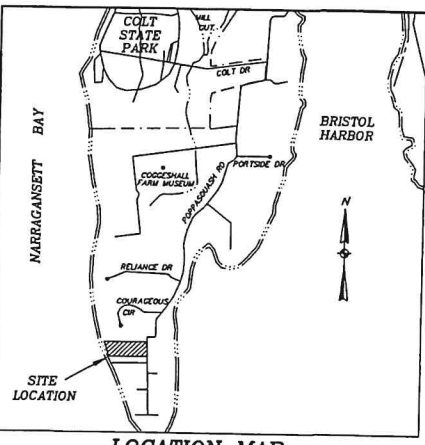
Table with columns: Use, Description, A, Y/S, Qty, Length, Width, SF Size, Quality, Condition, Year, Assessed Value.

Other Info.

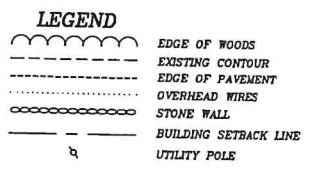
Table with columns: AFDU, rtTermRental, PriorID1c, PriorID2a, PriorID2b, PriorID2c, PriorID3a, PriorID3b, PriorID3c.

Room Counts by Floor

Table with columns: Units, # Rooms, # Bedrooms, Floor Level. Includes rows for 1, 2, 3, 4, Totals.

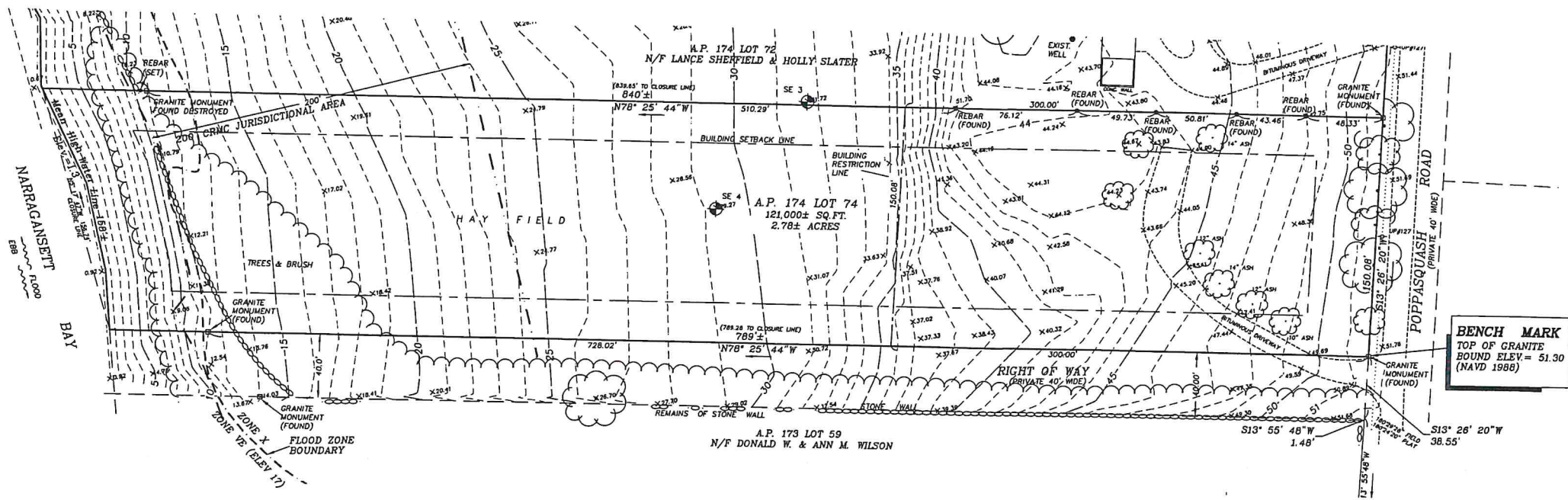


LOCATION MAP
SCALE: 1" = 2000'



ZONING R-80
 MINIMUM LOT AREA 80,000 SQ. FT.
 MINIMUM FRONTAGE 150 FEET
 MINIMUM LOT WIDTH 150 FEET
 DIMENSIONAL REGULATIONS
 MINIMUM FRONT YARD 40 FEET
 MINIMUM SIDE YARD 25 FEET
 MINIMUM REAR YARD 40 FEET
 MAXIMUM HEIGHT OF PRINCIPAL STRUCTURE 35 FEET
 MAXIMUM HEIGHT OF ACCESSORY STRUCTURE 20 FEET
 MAXIMUM SIZE OF ACCESSORY STRUCTURE 22 FEET BY 24 FEET

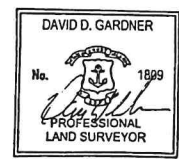
NOTES
 1.) FLOOD ZONES SHOWN HEREON TAKEN FROM FIRM 4400100017H EFFECTIVE 7/7/2014
 2.) NAVD 1988 (ADJ. 2018) ELEVATIONS ESTABLISHED BY LEICA GS 16 GPS RTK OBSERVATIONS



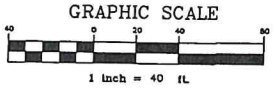
BENCH MARK
 TOP OF GRANITE
 BOUND ELEV = 51.30
 (NAVD 1988)

- REFERENCES**
- 1.) "PLAN OF SUBDIVISION IN BRISTOL, RHODE ISLAND FOR CASE FARM ESTATES PREPARED BY STANLEY ENGINEERING, INC. SCALE 1"=100' MARCH, 1984"
 - 2.) "PROPERTY ON PAPPOOSE SQUAW NECK BRISTOL, R.I. BY FRANK E. WATERMAN CO. NOVEMBER, 1924 SCALE 160FT TO AN INCH" SEE PLAT BOOK B PAGE 18
 - 3.) "PLAN OF SUBDIVISION OF PROPERTY ON POPASQUASH POINT (ALSO KNOWN AS PAPPOOSE SQUAW NECK) IN BRISTOL, R.I. SCALE 1"=200 FT. BEING A FURTHER SUBDIVISION OF THAT PLAT RECORDED DEC. 23, 1924 IN PLAT BOOK B AT PAGE 18 AND ENTITLED "PROPERTY ON PAPPOOSE SQUAW NECK BRISTOL, R.I." BY FRANK E. WATERMAN, NOV. 1924 AS REPLATED JULY 1929
 - 4.) "FINAL MAJOR SUBDIVISION RECORD PLAN CHANNEL VIEW PLAT IN BRISTOL, RHODE ISLAND FOR PAUL E. & BARBARA M. SYDLOWSKI A.P. 174 LOT 72 BY DAVID D. GARDNER & ASSOCIATES, INC. DATE 2/13/17 SCALE 1"=40"

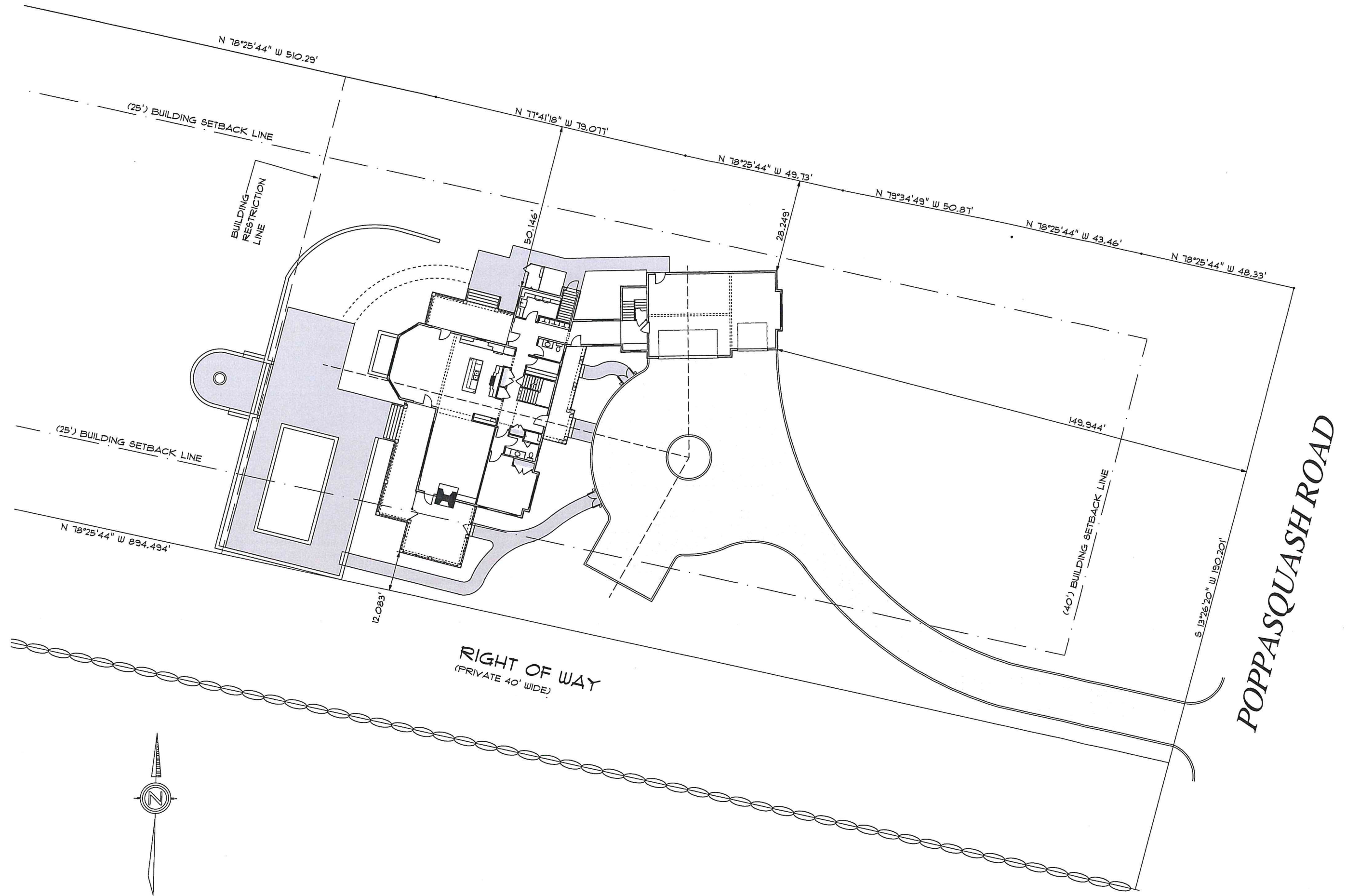
CERTIFICATION
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS EFFECTIVE NOVEMBER 25, 2015 AND ARE FOLLOWS: COMPREHENSIVE BOUNDARY SURVEY MEASUREMENT SPECIFICATION I DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION III TOPOGRAPHIC SURVEY 7-1
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 EXISTING CONDITIONS PLAN FOR PROPOSED DEVELOPMENT



BY *David D. Gardner*
 DAVID D. GARDNER PLS LICENSE NO. 1809
 COA NO. A359

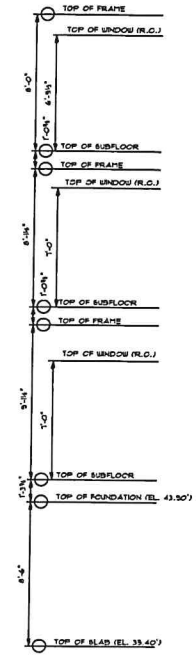


EXISTING CONDITIONS	
DATE	5/10/21
PROJECT NO.	21-046
SCALE	1"=40'
REVISIONS	DESIGNED BY D.D.G. DRAWN BY D.D.G. CHECKED BY
SHEET NO.	1
SHEET 1 OF 1	
COMPREHENSIVE BOUNDARY SURVEY 454 POPPASQUASH ROAD BRISTOL, R.I. FOR JOHN CONTENTI A.P. 174 LOT 74 DAVID D. GARDNER & ASSOCIATES, INC. 1 HOPE COURT BARRINGTON, RHODE ISLAND 02806 (401) 738-3200 ENGINEERS • SURVEYORS • PLANNERS	



NOTES:
 - VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES).
 - VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TYPED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN IN THE PREPARATION OF THESE PLANS TO INSURE THAT THEY ARE ACCURATE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DIMENSIONS FOR FINISH OR OVERLAPS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
 THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND REQUIREMENTS NECESSARY FOR COMPLETE SUBSTITUTION ASSEMBLY AND INSTALLATION OF ALL OR NEW WORK. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DIMENSIONS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED BY HIM WITH THE INTENT OF THIS PROJECT.



EAST ELEVATION SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	BY	CHANGE

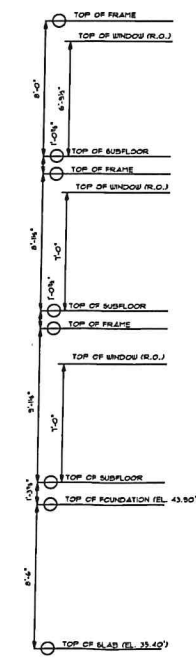
A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 WALBUR AVENUE
 BUNEA, MASSACHUSETTS 02111
 TEL - (508) 475-2000
 FAX - (508) 475-3400
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

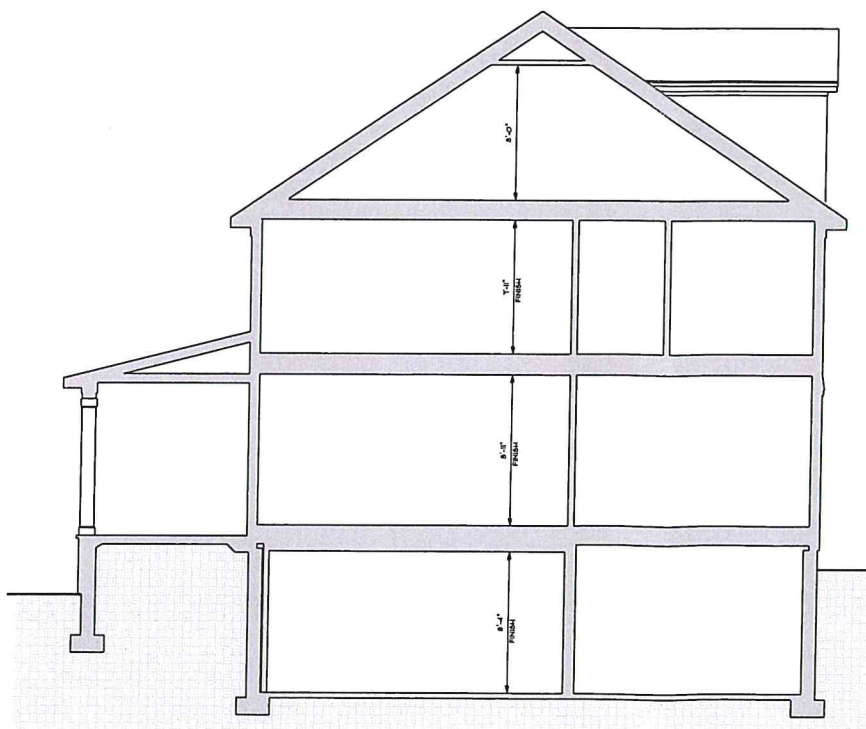
SHEET TITLE:
EXTERIOR ELEVATIONS

DRAWN BY: H. POTOCKI
 REVIEWED BY: H. POTOCKI
 CORNERSTONE PROJECT #: 33652
 DATE: 02 NOV 23
 SCALE: AS NOTED
 DRAWING NO.

A-1
 SHEET 1 OF 1



SOUTH ELEVATION SCALE: 1/4" = 1'-0"



BUILDING SECTION DETAIL A-1.A SCALE: 1/4" = 1'-0"

NOTES:

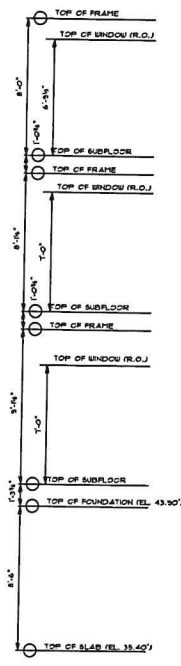
- VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
- ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
- ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
- ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES) VERIFY ROUGH OPENING SIZES, EGRESA REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

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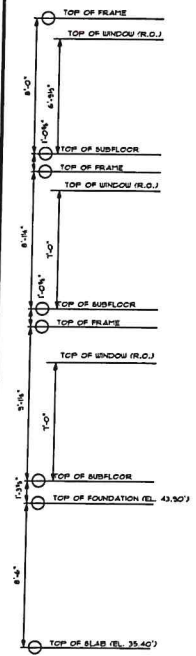
THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF HIS OR HER WORK. FINISH DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK AND SHALL BE ACCOMPLISHED BY HIM WITH THE INTENT OF THIS PROJECT.

REVISIONS

NO.	DATE	BY	CHANGE



WEST ELEVATION SCALE: 1/4" = 1'-0"



NORTH ELEVATION SCALE: 1/4" = 1'-0"

A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 ULBUR AVENUE
 SUANSEA, MASSACHUSETTS 01971
 TEL. - (508) 475-1500
 FAX - (508) 475-1500

CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

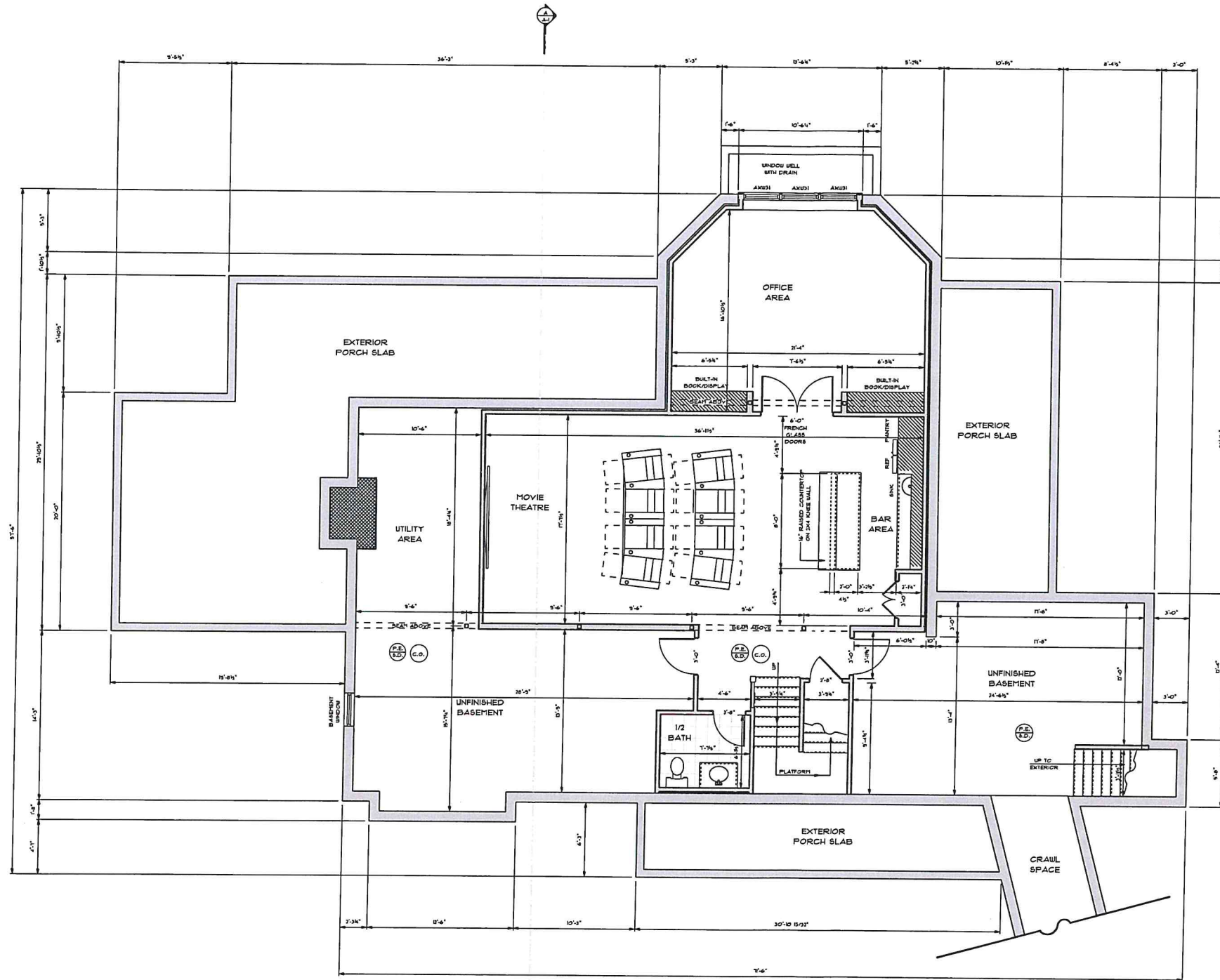
SHEET TITLE:
EXTERIOR ELEVATIONS

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI

CORNERSTONE PROJECT #: 23652
 DATE: 02 NOV 23
 SCALE: AS NOTED

DRAWING NO.

A-2
 SHEET 2 OF



NOTES:

- VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
- ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
- ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
- ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES).
- VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

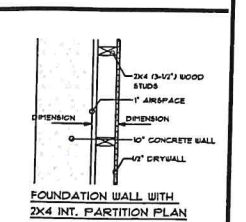
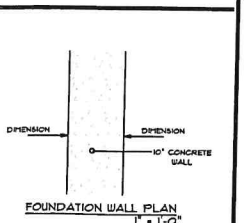
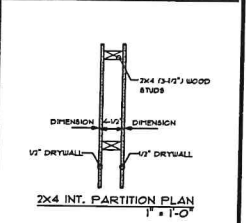
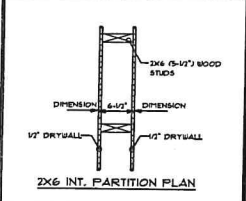
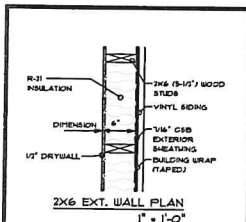
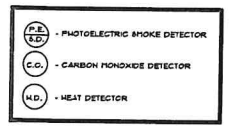
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THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION AND INSTALLATION OF THE JOB. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT FABRICATION AND INSTALLATION OF THE WORK, NOT SPECIFICALLY SHOWN ON THESE PLANS, AND SHALL BE RESPONSIBLE FOR THE CORRECT FABRICATION AND INSTALLATION OF THE WORK, NOT SPECIFICALLY SHOWN ON THESE PLANS, AND SHALL BE RESPONSIBLE FOR THE CORRECT FABRICATION AND INSTALLATION OF THE WORK, NOT SPECIFICALLY SHOWN ON THESE PLANS.

REVISIONS			
NO.	DATE	BY	CHANGE

A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

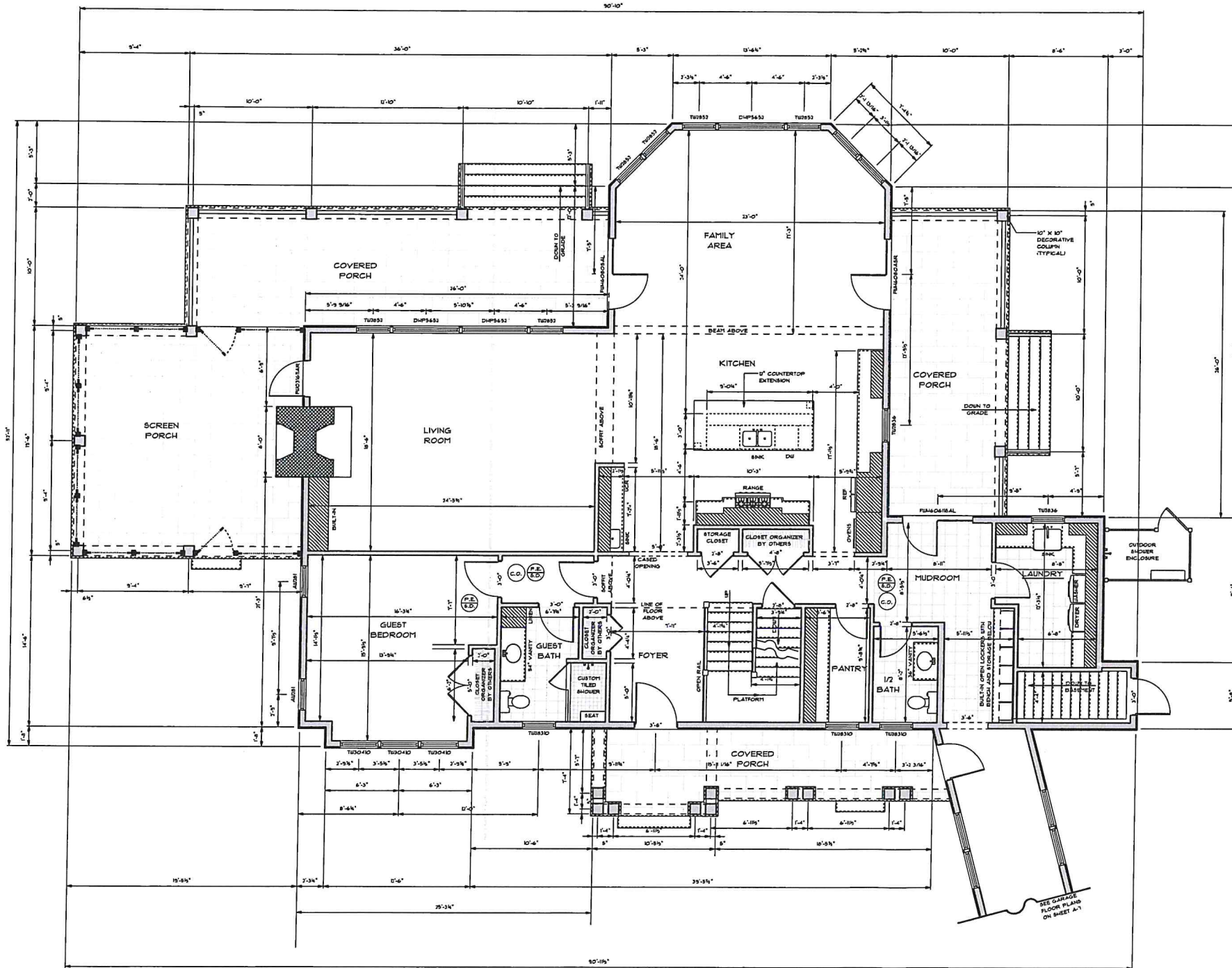
538 WILBUR AVENUE
 GRANBURY, MASSACHUSETTS 02711
 TEL - (508) 475-2500
 FAX - (508) 475-2600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.



BASEMENT FLOOR PLAN SCALE: 1/4" = 1'-0"
 FINISHED AREA: 1220 SQFT (NET - WALLS NOT INCLUDED)

SHEET TITLE:
BASEMENT FLOOR PLAN

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 STONE PROJECT #: 23653
 DATE: 23 OCT 23
 SCALE: AS NOTED
 DRAWING NO.



FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"
 FINISHED AREA: 2436 SQFT PLUS MUDROOM AND GARAGE



- NOTES:**
- VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES). VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED OR REPRODUCED WITHOUT THE DESIGNER'S SERVICES. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN IN THE PREPARATION OF THESE PLANS TO ENSURE THAT THEY ARE CORRECT, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DIMENSIONS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

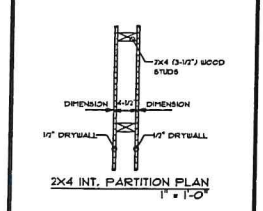
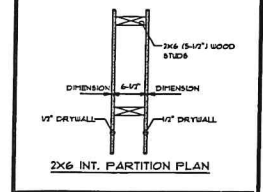
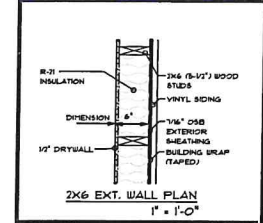
THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF HIS OR HER WORK. PRIOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE APPROVED AND BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPANIED BY THE WITH THE START OF THE PROJECT.

REVISIONS			
NO.	DATE	BY	CHANGE

A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
**454 POPPAGUASH ROAD
 BRISTOL, RHODE ISLAND**

338 SALVUR AVENUE
 BARNSTABLE, MASSACHUSETTS 02718
 TEL. - (508) 475-3600
 FAX - (508) 475-3600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

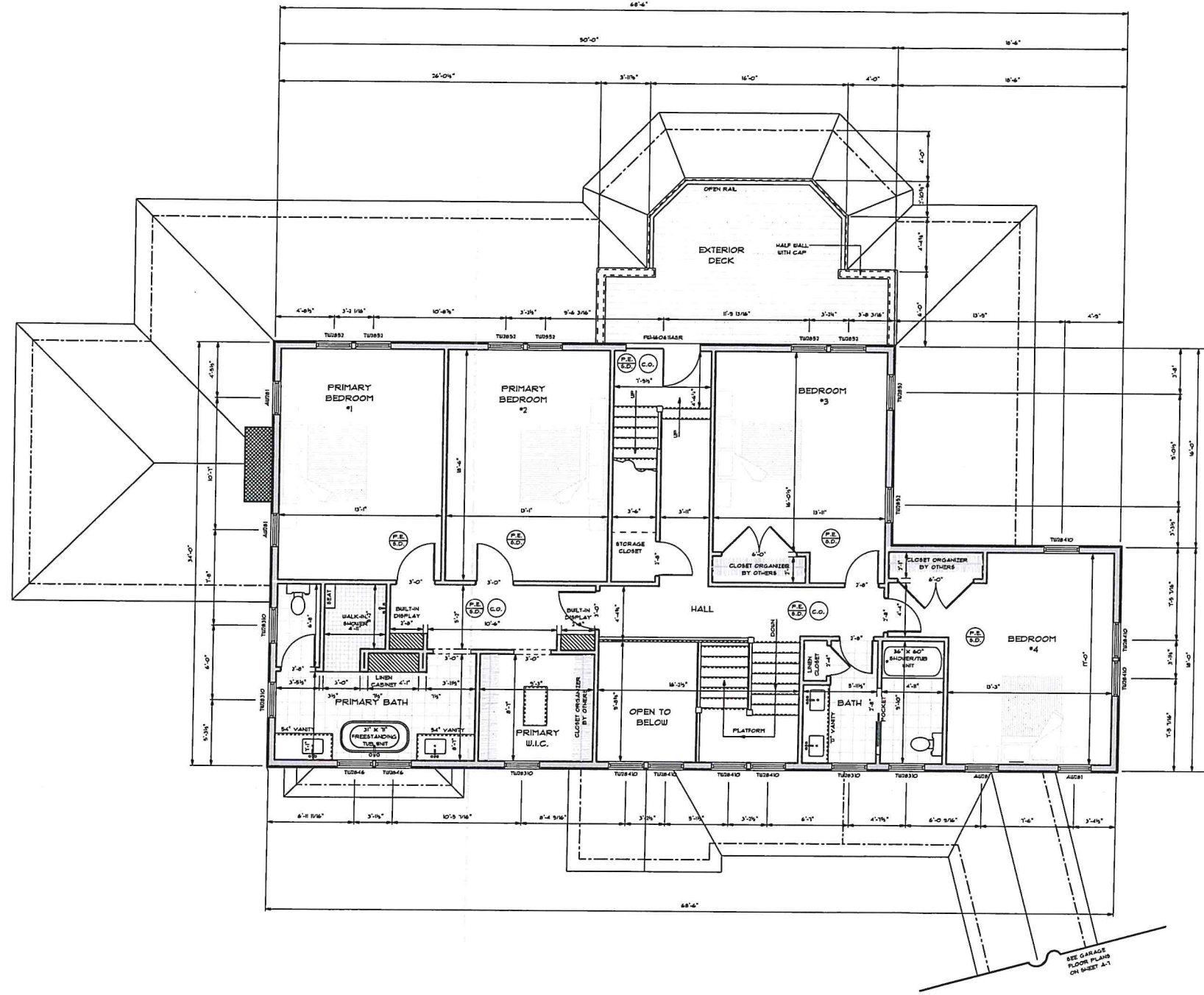
- ⊙ P.E. PHOTOELECTRIC SMOKE DETECTOR
- ⊙ C.D. CARBON MONOXIDE DETECTOR
- ⊙ H.D. HEAT DETECTOR



SHEET TITLE:
FIRST FLOOR PLAN

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 CORNERSTONE PROJECT #: 23452
 DATE: 02 NOV 23
 SCALE: AS NOTED

DRAWING NO.
A-4
 SHEET 4 OF -



NOTES:

- VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
- ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
- ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
- ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES).
- VERIFY ROUGH OPENING SIZES, EGRES REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING THE DIMENSIONS OF THE DRAWINGS TO ENSURE THAT THEY ARE ACCURATE AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF ALL WORK SHOWN. FROM DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ACCORDING TO THE CONTRACTOR AT THE SITE OF THE WORK AND SHALL BE ACCOMPLISHED AT HIS OWN RISK AND WITHOUT THE NEED OF THIS PROJECT.

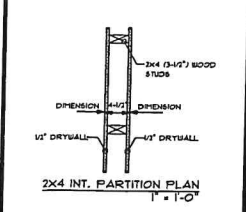
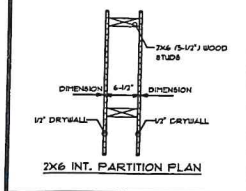
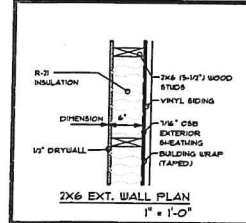
REVISIONS			
NO.	DATE	BY	CHANGE

A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 ULINER AVENUE
 SUANSEA, MASSACHUSETTS 02771
 TEL. - (508) 675-2500
 FAX - (508) 675-2600

CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

- (P.E.D.) - PHOTOELECTRIC SMOKE DETECTOR
- (C.D.) - CARBON MONOXIDE DETECTOR
- (H.D.) - HEAT DETECTOR



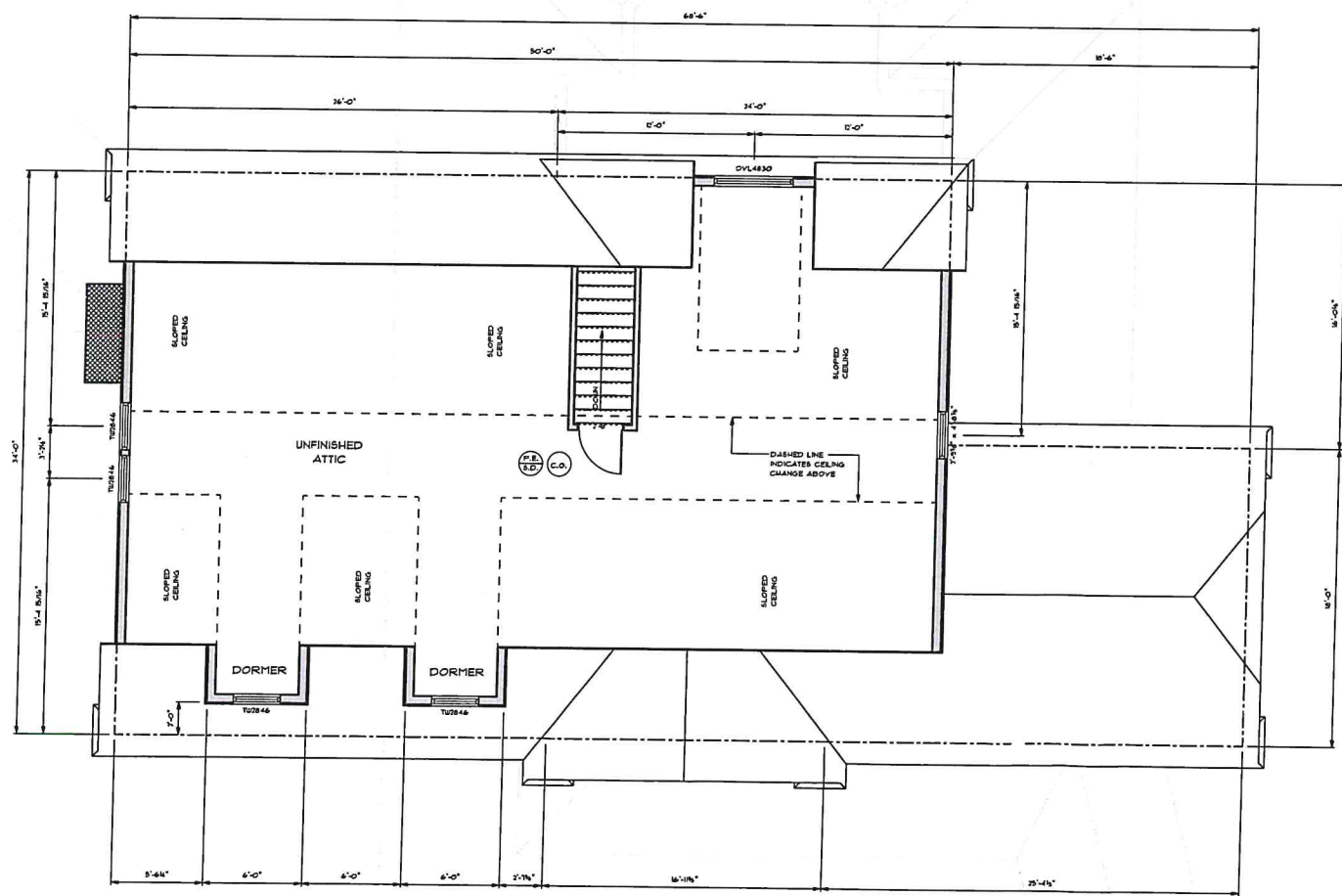
SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"
 FINISHED AREA: 1862 SQFT



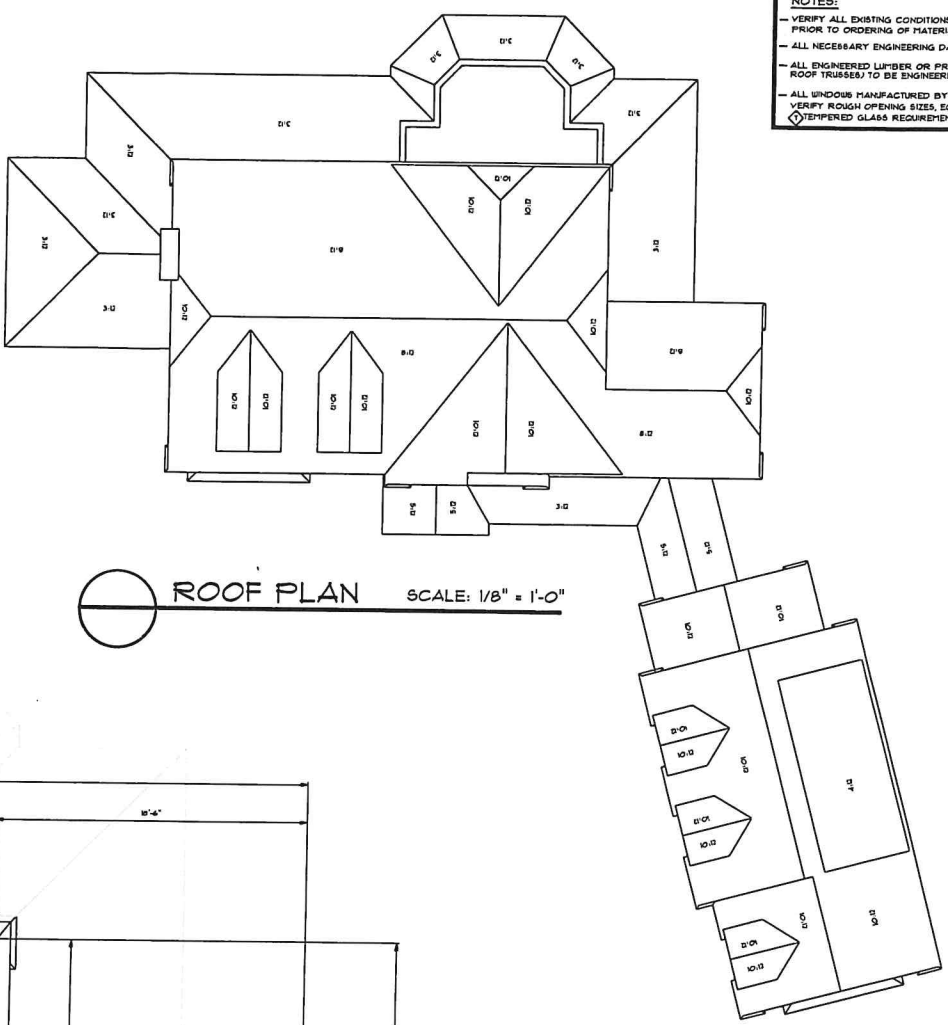
SHEET TITLE:
SECOND FLOOR PLAN

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 CORNERSTONE PROJECT #: 23652
 DATE: 02 NOV 23
 SCALE: AS NOTED
 DRAWING NO.

A-5
 SHEET 5 OF 5



ATTIC FLOOR PLAN SCALE: 1/4" = 1'-0"



ROOF PLAN SCALE: 1/8" = 1'-0"

NOTES:
 - VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES).
 - VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

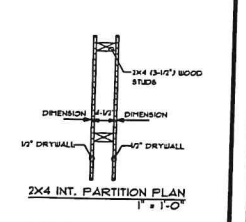
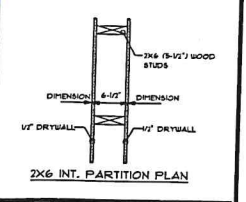
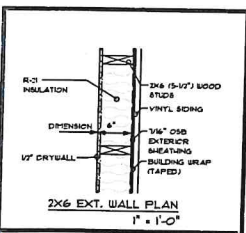
THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE CONSIDERED AS ANY FORM WITHOUT THE DESIGNER'S WRITTEN PERMISSION OR CONSENT.
 THE CONTRACTOR SHALL NOT SCALE DIMENSIONS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR CORRECT FABRICATION, ASSEMBLY AND INSTALLATION OF HIS OR HER WORK. PRIOR TO THE START OF THE WORK, THE CONTRACTOR SHALL CHECK THE DETAILS OF THE WORK, AND SPECIALLY CHECK ON THE FINISHES. FINISHES SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED BY HIM WITH THE SPEED OF THE PROJECT.

REVISIONS			
NO.	DATE	BY	CHANGE

A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 SILVER AVENUE
 SUANSEA, MASSACHUSETTS 02781
 TEL - (508) 647-2600
 FAX - (508) 647-2600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

- Ⓟ - PHOTOELECTRIC SMOKE DETECTOR
- Ⓢ - CARBON MONOXIDE DETECTOR
- Ⓜ - HEAT DETECTOR



SHEET TITLE:
ATTIC FLOOR PLAN

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 CORNERSTONE PROJECT #: 23652
 DATE: 02 NOV 23
 SCALE: AS NOTED
 DRAWING NO.

A-6

SHEET 6 OF 6

NOTES:

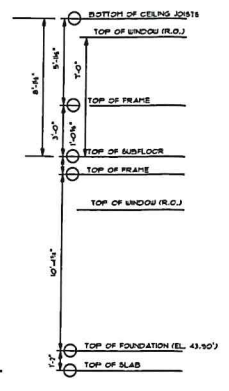
- VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
- ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
- ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
- ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES) VERIFY WINDOW OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS GONE INTO THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE CORRECT, PLEASE BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN SPECIFICATIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND REQUIREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF ALL NEW WORK. PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL VERIFY THE DRAWINGS SHALL BE ACCURATE AND SHALL BE ACCOMPLISHED BY HIM WITH THE INTENT OF THIS PROJECT.

REVISIONS

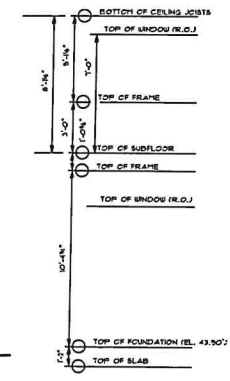
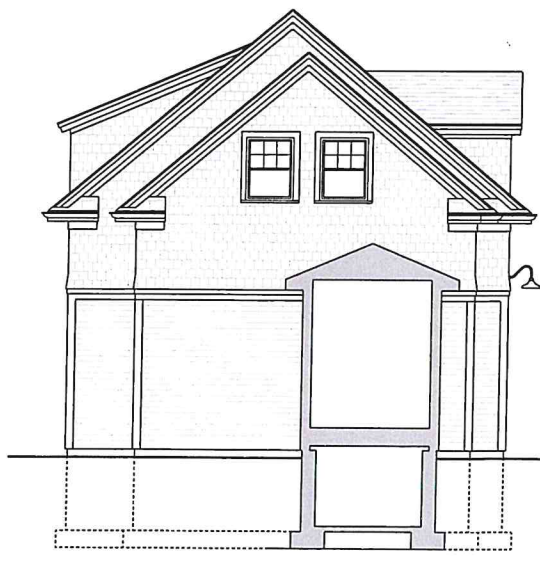
NO.	DATE	BY	CHANGE



A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

530 WILBUR AVENUE
 BUNANSEA, MASSACHUSETTS 02711
 TEL - (508) 467-2500
 FAX - (508) 467-3600

CORNERSTONE
 DESIGN/BUILD SERVICES, INC.



SHEET TITLE:
GARAGE EXTERIOR ELEVATIONS

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI

STONE PROJECT #: 23652
 DATE: 02 NOV 23
 SCALE: AS NOTED

DRAWING NO.
A-7
 SHEET 1 OF 1

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COVERED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN IN THE PREPARATION OF THESE PLANS, THE CONTRACTOR TO CHECK THE DIMENSIONS AND CONDITIONS OF THE EXISTING AND TO NOTIFY CORNERSTONE DESIGN/BUILD SERVICES, INC. IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION AND INSTALLATION OF ALL WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK AND SHALL BE ACCOMPANIED BY 144 WITH THE BODY OF THE PROJECT.

- NOTES:**
- VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 - ALL NECESSARY ENGINEERING DATA TO BE SUPPLIED BY CONTRACTOR OR OWNER.
 - ALL ENGINEERED LUMBER OR PREFABRICATED STRUCTURAL MEMBERS (I-JOISTS, ROOF TRUSSES) TO BE ENGINEERED BY MANUFACTURER.
 - ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A SERIES) VERIFY ROUGH OPENING SIZES, SQUARE REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

REVISIONS			
NO.	DATE	BY	CHANGE

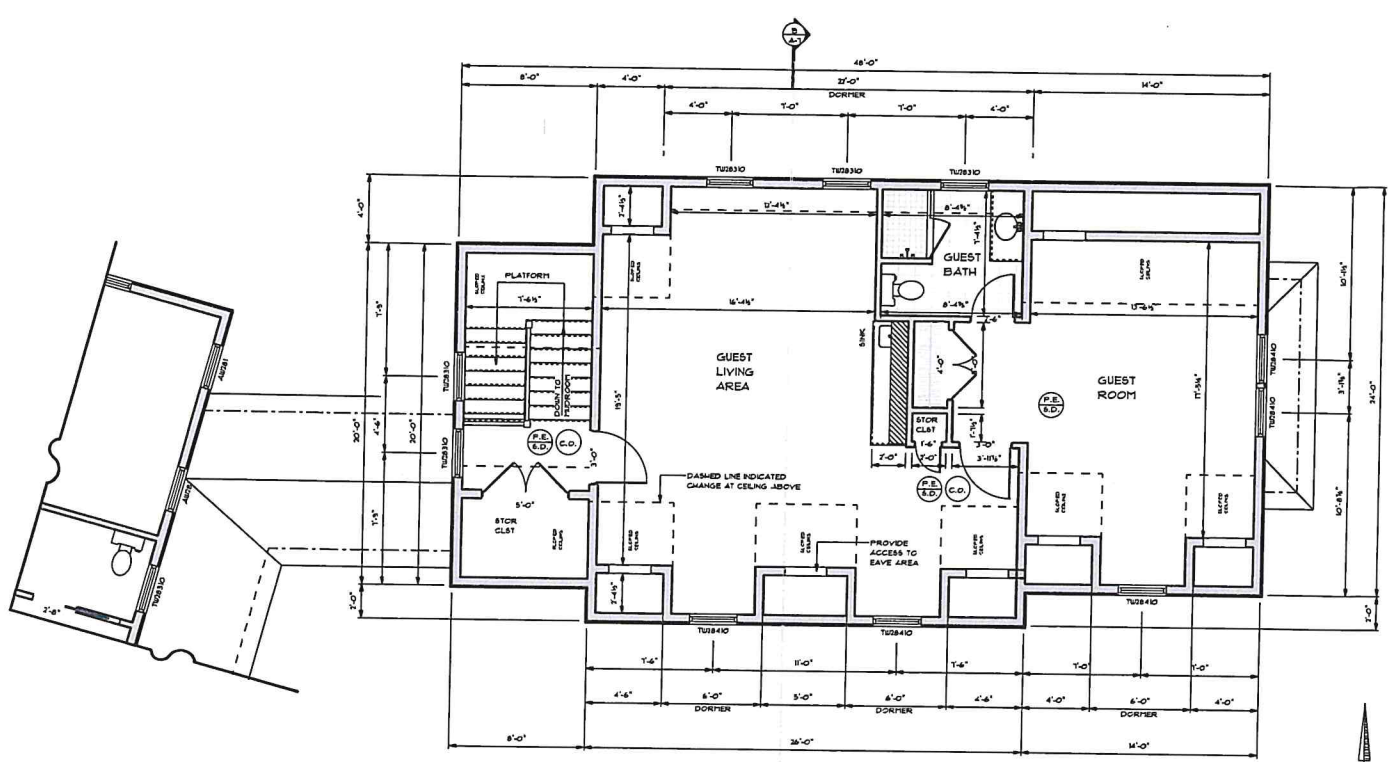
A NEW RESIDENCE FOR:
JONATHAN AND MIRANDA TRAHAN
 PROJECT LOCATION:
 454 POPPASQUASH ROAD
 BRISTOL, RHODE ISLAND

538 WILBUR AVENUE
 BOSTON, MASSACHUSETTS 02111
 TEL. - (508)475-1500
 FAX - (508)475-2600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

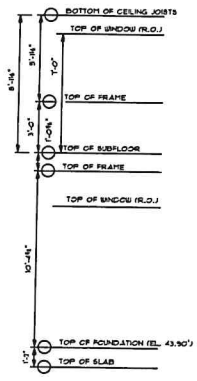
SHEET TITLE:
GARAGE FLOOR PLANS

DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 CORNERSTONE PROJECT #: 23652
 DATE: 02 NOV 23
 SCALE: AS NOTED
 DRAWING NO.

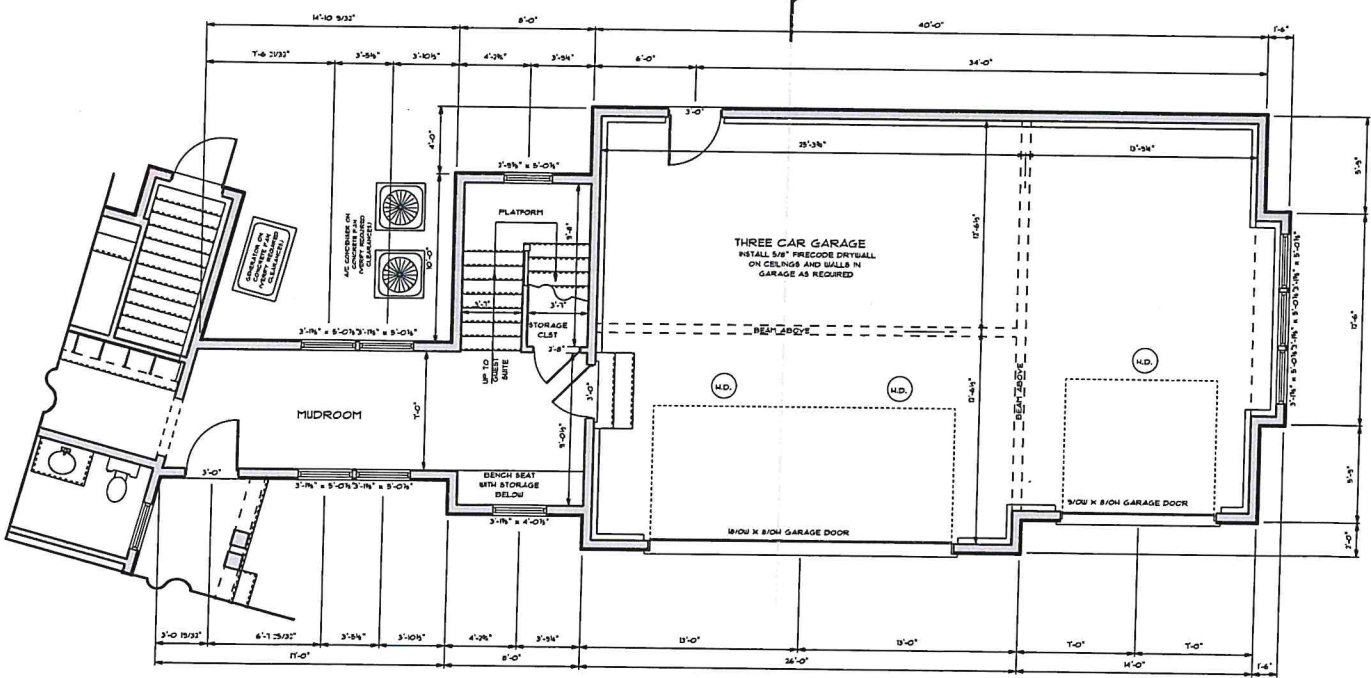
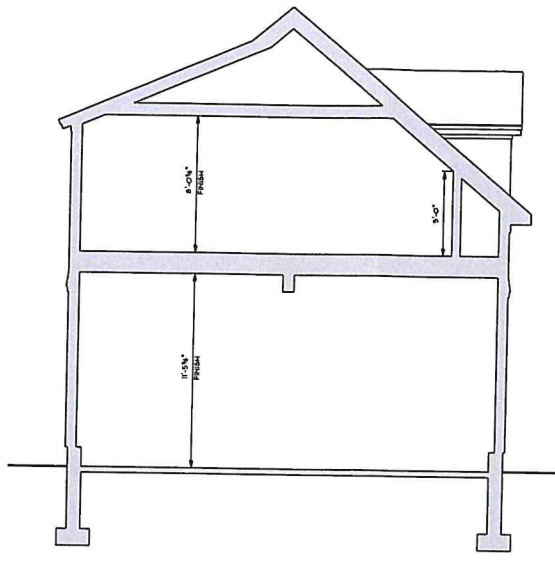
A-8
 SHEET 8 OF -



GARAGE SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"
 GUEST SUITE AREA: 880 SQFT

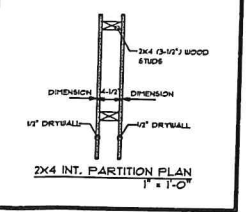
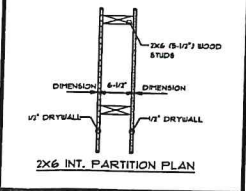
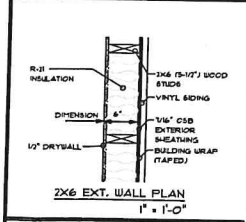


BUILDING SECTION DETAIL A-7.B SCALE: 1/4" = 1'-0"



GARAGE FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"
 MUDROOM AREA: 283 SQFT
 GARAGE AREA: 1030 SQFT

- (P.E.D.) PHOTOELECTRIC SMOKE DETECTOR
- (C.O.) CARBON MONOXIDE DETECTOR
- (H.D.) HEAT DETECTOR





454 Poppasquash Rd - 300' Radius

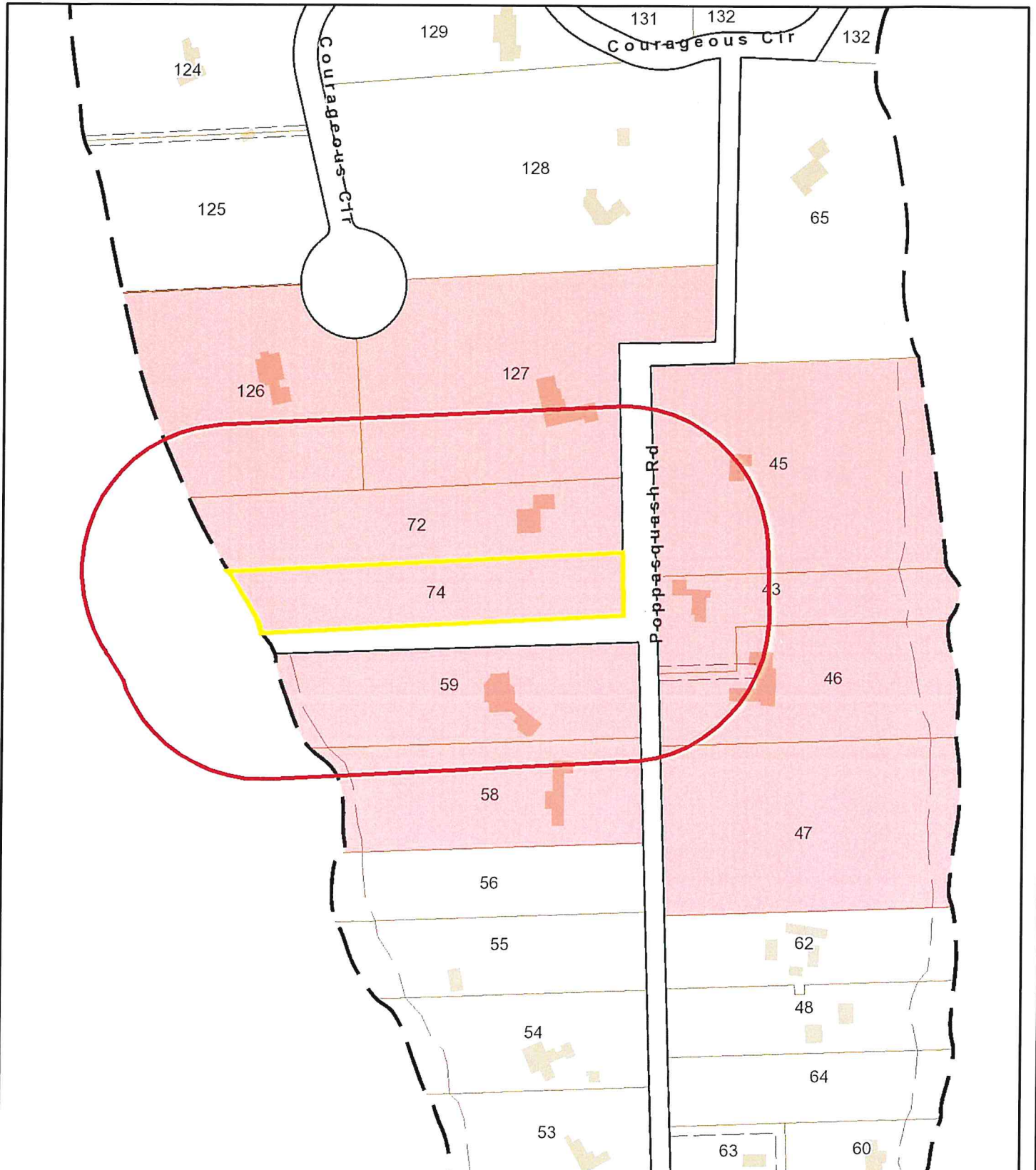
Bristol, RI



December 12, 2023

1 inch = 281 Feet

www.cai-tech.com



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300 foot Abutters List Report

Bristol, RI
December 12, 2023

Subject Property:

Parcel Number: 174-74
CAMA Number: 174-74
Property Address: 454 POPPASQUASH RD

Mailing Address: TRAHAN, JONATHAN & MIRANDA TE
54 PHEASANT LANDING RD
NEEDHAM, MA 02492

Abutters:

Parcel Number: 173-43
CAMA Number: 173-43
Property Address: 457 POPPASQUASH RD

Mailing Address: MCCARTHY, MICHAEL M. TRSTEE OF
THE MICHAEL M. MCCARTHY TRUST
457 POPPASQUASH RD
BRISTOL, RI 02809

Parcel Number: 173-45
CAMA Number: 173-45
Property Address: 445 POPPASQUASH RD

Mailing Address: MAYER, WILLIAM L. DAVID L.
TRUSTEES
PO BOX 360
BRISTOL, RI 02809

Parcel Number: 173-46
CAMA Number: 173-46
Property Address: 459 POPPASQUASH RD

Mailing Address: LENEHAN, PAMELA F. TRUSTEE
22 PHEASANT LANDING RD
NEEDHAM, MA 02492

Parcel Number: 173-47
CAMA Number: 173-47
Property Address: 461 POPPASQUASH RD

Mailing Address: EAGLE FORD AUSTIN RANCH & CATTLE
CO., LP
7941 KATY FREEWAY PMB 547
HOUSTON, TX 77024

Parcel Number: 173-58
CAMA Number: 173-58
Property Address: 466 POPPASQUASH RD

Mailing Address: VOLPE, WILLIAM S. ET UX SHARON L.
VOLPE TE
466 POPPASQUASH ROAD
BRISTOL, RI 02809

Parcel Number: 173-59
CAMA Number: 173-59
Property Address: 458 POPPASQUASH RD

Mailing Address: HAYES, GREGORY J. & RENATA P. TE
217 DEERCLIFF RD
AVON, CT 06001

Parcel Number: 174-126
CAMA Number: 174-126
Property Address: 33 COURAGEOUS CIR

Mailing Address: KESTENBERG, KAREN
33 COURAGEAOUS CIRCLE
BRISTOL, RI 02809

Parcel Number: 174-127
CAMA Number: 174-127
Property Address: 440 POPPASQUASH RD

Mailing Address: MCGINNIS, ROBERT J. KAREN B
440 POPPASQUASH RD
BRISTOL, RI 02809

Parcel Number: 174-72
CAMA Number: 174-72
Property Address: 450 POPPASQUASH RD

Mailing Address: NEWTH, SEAN P & KATHARINE L TE
18 DOWNING ST
HINGHAM, MA 02043

Parcel Number: 174-74
CAMA Number: 174-74
Property Address: 454 POPPASQUASH RD

Mailing Address: TRAHAN, JONATHAN & MIRANDA TE
54 PHEASANT LANDING RD
NEEDHAM, MA 02492



www.cai-tech.com

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12/12/2023

Page 1 of 1

EAGLE FORD AUSTIN RANCH &
7941 KATY FREEWAY PMB 547
HOUSTON, TX 77024

HAYES, GREGORY J. & RENAT
217 DEERCLIFF RD
AVON, CT 06001

KESTENBERG, KAREN
33 COURAGEAOUS CIRCLE
BRISTOL, RI 02809

LENEHAN, PAMELA F. TRUSTE
22 PHEASANT LANDING RD
NEEDHAM, MA 02492

MAYER, WILLIAM L.
DAVID L. TRUSTEES
PO BOX 360
BRISTOL, RI 02809

MCCARTHY, MICHAEL M. TRST
THE MICHAEL M. MCCARTHY T
457 POPPASQUASH RD
BRISTOL, RI 02809

MCGINNIS, ROBERT J.
KAREN B
440 POPPASQUASH RD
BRISTOL, RI 02809

NEWTH, SEAN P & KATHARINE
18 DOWNING ST
HINGHAM, MA 02043

TRAHAN, JONATHAN & MIRAND
54 PHEASANT LANDING RD
NEEDHAM, MA 02492

VOLPE, WILLIAM S. ET UX
SHARON L. VOLPE TE
466 POPPASQUASH ROAD
BRISTOL, RI 02809