

01 EXISTING SITE PLAN SCALE: 1/16" = 1'-0"

**PROJECT SCOPE**  
 CONSTRUCT A NEW ADDITION TO THE EXISTING TWO-CAR GARAGE TO CREATE A NEW TWO-BEDROOM ACCESSORY DWELLING UNIT

**SITE PLAN NOTES:**  
 1. SITE INFORMATION BASED ON THE TOWN OF BRISTOL'S GIS AND PLAT MAPS AVAILABLE ONLINE AND IS THE DESIGNERS BEST OF KNOWLEDGE. THE INFORMATION REPRESENTED IS SUBJECT TO VERIFICATION BY A LICENSED SURVEYOR.

**EXISTING STRUCTURES & BUILDING FOOTPRINTS**

**PROPOSED ADDITION OF PLAN SCHEME A (NO CANTILEVER)**

**PROPOSED ADDITION OF PLAN SCHEME B (6 FT CANTILEVER)**

**BRISTOL ZONING ORDINANCE**

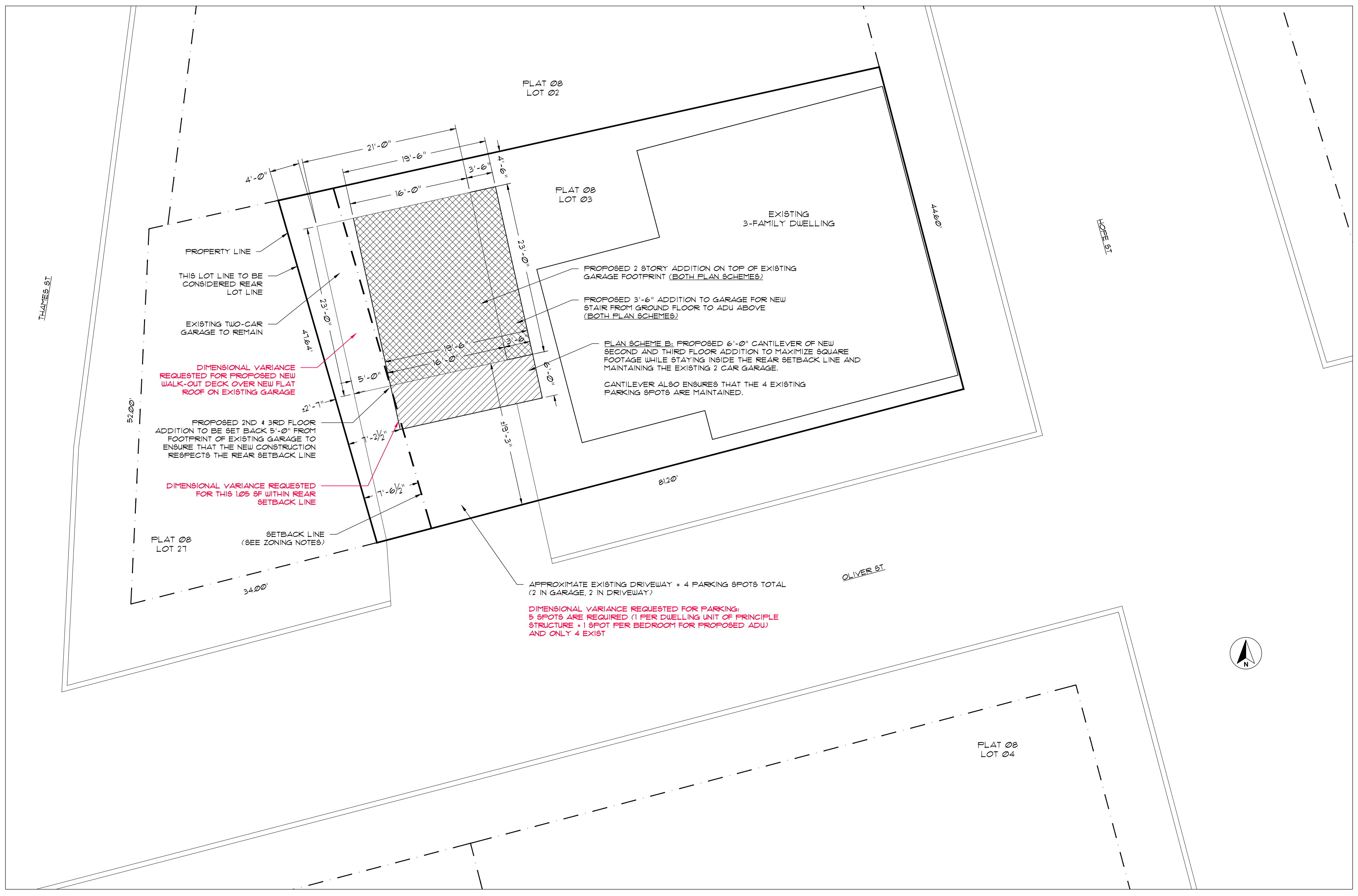
**SECTION 28-1: DEFINITIONS**  
 \*Lot Line: (4) Corner Lot: a corner lot will have more than one front lot line, all of which shall meet the front yard setback. The yard setback of one of the rear lot lines may be reduced to side yard setback requirements\*

**SECTION 28-151: ACCESSORY DWELLING UNITS**  
 (a) One ADU per lot is allowed... (3) where the proposed ADU is located within the existing footprint of the primary structured or existing accessory attached or detached structure and does not expand the footprint of the structure\*  
 (b) Dimensional requirements: (2)(d) one off-street parking space per bedroom shall be required

**SECTION 28-142: YARD REQUIREMENTS AND EXCEPTIONS**  
 (g) A deck may extend up to one-third of the way into the required rear yard and must meet all required side yard setbacks

**SECTION 28-221: LAND NONCONFORMING BY AREA**  
 (2)(b)(1) Minimum building setbacks, lot frontage, and lot width requirements... shall be reduced by the same proportion that the area of such substandard lot meets the minimum lot area of the district in which the lot is located.  
 Ex: If the lot area of a substandard lot only meets forty (40) percent of the minimum lot area required in the district in which it is located, the setbacks, lot frontage, and lot width shall each be reduced to forty (40) percent of the requirements\*  
 $3,770 / 5,000 =$  subject lot is 75.4% of required lot area  
 Rear Setback = 10 FT = 75.4% of 10 FT = 7.54 FT

(2)(b)(2) Maximum lot building coverage for lots that are nonconforming in area shall be increased by the inverse proportion that the area of such substandard lot meets the minimum area requirements in the district in which the lot is located.  
 Max lot building coverage for this parcel has been calculated as follows:  
 $3,770 / 5,000 = 75.4\%$  of required minimum lot area  
 $100\% - 75.4\% = 24.6\%$   
 Lot coverage max for parcel zone (W) = 70%  
 $24.6\%$  of 70% = 17.22%  
 $70\% + 17.22\% = 87.22\%$  building coverage maximum



02 PROPOSED SITE PLAN SCALE: 1/8" = 1'-0"

- DRAWING LIST**
- A0-1 PROPERTY, PROJECT, AND ZONING INFO / SITE PLANS AND COVERAGE / DRAWING LIST / BUILDING DESIGN CRITERIA
  - A0-2 EXISTING CONDITIONS: PLAN AND SECTION OF EXISTING GARAGE / PHOTOS OF EXISTING GARAGE AND EXISTING PRIMARY STRUCTURE
  - A1-1 PROPOSED DESIGN PLANS SCHEME A, ROOF OPTION 1: PLANS, SECTIONS, AND BUILDING ELEVATIONS
  - A1-2 PROPOSED DESIGN PLANS SCHEME A, ROOF OPTION 1: BUILDING ELEVATIONS AND SCALED VIEWS FROM STREET
  - A2-1 PROPOSED DESIGN PLANS SCHEME A, ROOF OPTION 2: PLANS, SECTIONS, AND BUILDING ELEVATIONS
  - A2-2 PROPOSED DESIGN PLANS SCHEME A, ROOF OPTION 2: BUILDING ELEVATIONS AND SCALED VIEWS FROM STREET
  - B1-1 PROPOSED DESIGN PLANS SCHEME B, ROOF OPTION 1: PLANS, SECTIONS, AND BUILDING ELEVATIONS
  - B1-2 PROPOSED DESIGN PLANS SCHEME B, ROOF OPTION 1: BUILDING ELEVATIONS AND SCALED VIEWS FROM STREET
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**721 HOPE ST  
 BRISTOL, RI 02908**

Plat Map / Lot #: 08 / 03  
 County: Bristol  
 Zoning: W (5,000 SF minimum)  
 Lot Area: 3,770 SF  
 Existing Use: Three-family w/ detached 2-car garage  
 Proposed Use: Three-family w/ new ADU above detached 2-car garage

**Dimensional Requirements (See notes):**

Front Yard:	0 FT
Side Yard:	0 FT
Rear Yard:	7.54 FT
Max Height (Principle and Accessory):	35 FT
Building Coverage:	87.22%
Paving Coverage:	15%
Parking required:	5 spaces
1 per dwelling unit = 3	
1 per ADU bedroom = 2	

Existing Living Area (per tax card): 3,264 SF

Proposed Living Area:  
 Existing 3-Family Dwelling: 3,264 SF  
 Proposed New ADU: 1,149 SF

Existing Building Coverage (87.22% Max): 2,251 SF | 59.7%  
 Main Dwelling: 1,768 SF  
 Detached Garage: 483 SF

Proposed Building Coverage (87.22% Max): 2,449 SF | 64.96%  
 Main Dwelling: 1,768 SF  
 Detached Garage w/ Addition: 681 SF  
 (Includes cantilever)

Parking Proposed: 4 Spaces (existing)

**BUILDING DESIGN CRITERIA**

RISBC-2-2021 RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE 2021 INCORPORATES THE INTERNATIONAL RESIDENTIAL CODE 2018

FIRE CODE 2021 RI FIRE CODES AND NFPA (NATIONAL FIRE PROTECTION ASSOCIATION) 72 2019 EDITION FOR SMOKE & CO INSTALLATIONS

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

PER TABLE R301.2(1) OF 2021 RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE

GROUND SNOW LOAD	30 PSF	
	SPEED	130 MPH
WIND DESIGN	TOPOGRAPHIC EFFECTS	NO
	SEISMIC DESIGN CRITERIA: NOT REQUIRED	
SUBJECT TO DAMAGE FROM	WEATHERING	SEVERE
	FROST LINE DEPTH	40 INCHES
	TERMITE	MODERATE TO HEAVY
	DECAY	NO
WINTER DESIGN TEMP.	0° PROV. COUNTY 5° ALL OTHER	
ICE BARRIER UNDERLAYMENT REQ.	YES	
FLOOD HAZARDS	YES (SEE COMMUNITY FIRMS)	
AIR FREEZING INDEX	1200° DAYS B.F.	
MEAN ANNUAL TEMP.	50°	

**ENERGY CODE COMPLIANCE (PRESCRIPTIVE METHOD)**

RHODE ISLAND ENERGY CONSERVATION CODE, INCORPORATES INTERNATIONAL ENERGY CODES, 2024 EDITION PER TABLES R402.1.2 AND R402.1.3 OF IECC 2024

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	SHGC GLAZED FENESTRATION	CEILING R-VALUE
5A	0.28	0.50	NR	49

INSULATION ENTIRELY ABOVE ROOF DECK	WOOD FRAMED WALL R-VALUE	MASS WALL R-VALUE
30ci	30 OR 20+5ci OR 13+10ci OR 0+20ci	13/17

FLOOR R-VALUE	BASEMENT WALL R-VALUE	UNHEATED SLAB R-VALUE & DEPTH	HEATED SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
30 OR 19 + 7.5ci OR 20ci	15ci OR 19 OR 13 + 5ci	10ci FOR 3FT	10ci FOR 3FT & 5 FULL SLAB	15ci OR 19 OR 13+5ci

ci = CONTINUOUS INSULATION  
 13/17 = SECOND R-VALUE APPLIES WHERE MORE THAN HALF OF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL

- DESIGN LOADS**
- LIVE LOADS (PER TABLE R301.5):**
    - GROUND SNOW LOAD: 30 PSF
    - UNINHABITABLE ATTICS WITHOUT STORAGE: 10 PSF
    - UNINHABITABLE ATTICS WITH LIMITED STORAGE: 20 PSF
    - HABITABLE ATTICS AND SLEEPING AREAS: 30 PSF
    - EXTERIOR BALCONIES, DECKS, AND ALL OTHER AREAS: 40 PSF
  - SOIL PROPERTIES:**
    - SOIL NAME:
    - PRESUMPTIVE BEARING CAPACITY: 1,500 PSF (UNLESS SOIL IS TESTED)
    - SOIL PROP. (PER TABLE R401.4.1): FIRM FINE & SILTY SANDS + SILTY GRAVEL
    - SOIL CLASS (PER TABLE R405.1): GM / SM
  - CONSTRUCTION TYPE:** 5B (UNPROTECTED WOOD FRAME)
  - USE AND OCCUPANCY:** R3, THREE FAMILY DWELLING
  - EXPOSURE CATEGORY:** B (URBAN)

**OS Design + Consulting**  
 Residential Design  
 shivajiodesign.com  
 802.338.8762

GARAGE RENOVATIONS & A NEW DETACHED ADU FOR  
**721 HOPE ST**  
 BRISTOL, RI 02809  
 PREPARED FOR: BOSTON MINDSYNCH

PROPERTY & PROJECT INFORMATION  
 SITE PLAN AND ZONING INFORMATION  
 BUILDING DESIGN CRITERIA

WORKING SET FOR HDC & ZONING APPROVALS

ISSUED: 04.10.2026

REVISIONS

INTENDED TO BE PRINTED IN COLOR. REPRINT IF THIS TEXT IS NOT BLUE.

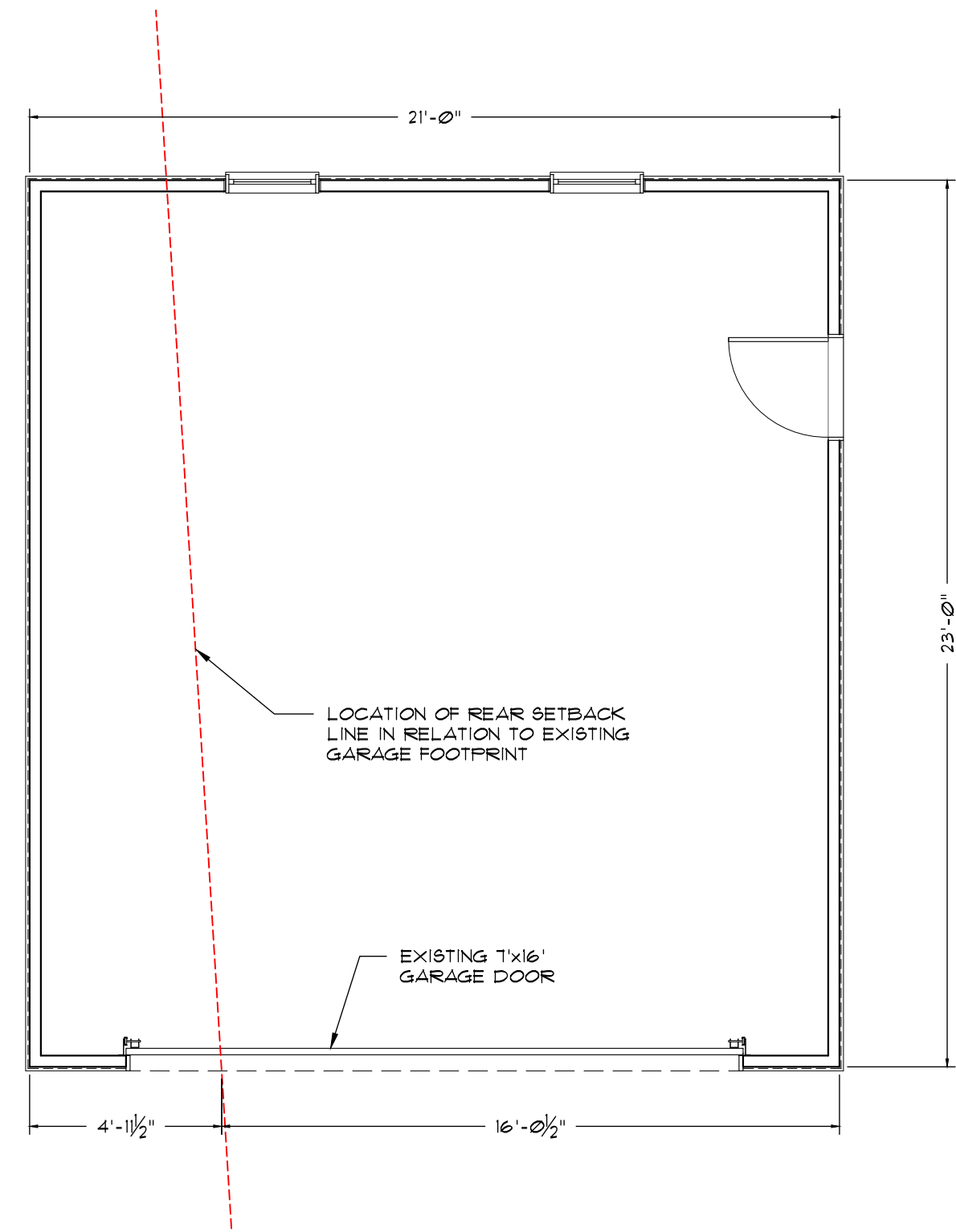
SHEET ARCH-D 24" x 36"

**A0-1**

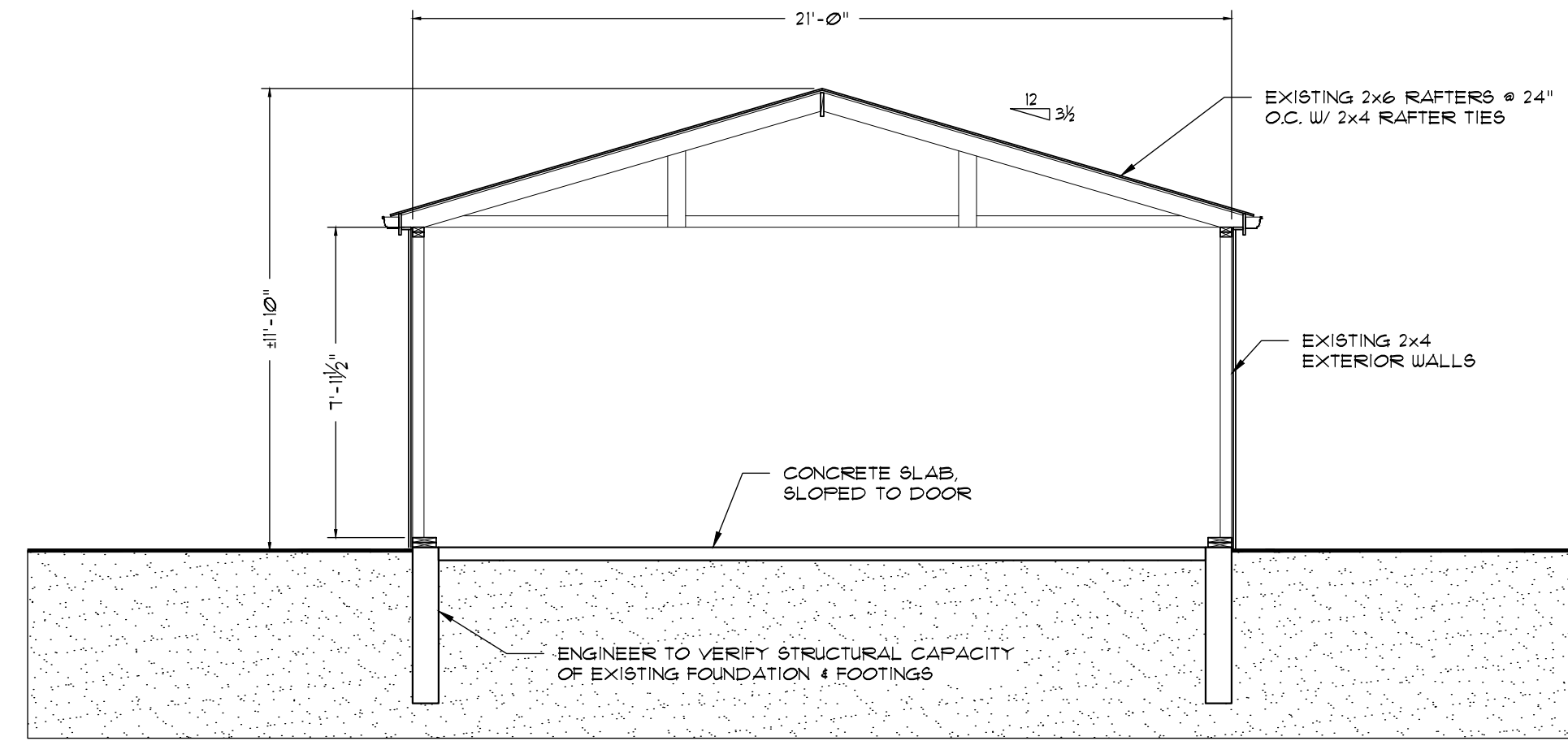


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01 GARAGE FLOOR PLAN SCALE: 1/4" = 1'-0"



02 GARAGE SECTION SCALE: 1/4" = 1'-0"



03 GARAGE ELEVATION SCALE: N/A



04 PRIMARY STRUCTURE FROM OLIVER ST SCALE: N/A



05 PRIMARY STRUCTURE FROM OLIVER ST SCALE: N/A

EXISTING CONDITIONS  
 GARAGE PLAN AND SECTION  
 PHOTOS OF EXISTING HISTORIC PRIMARY STRUCTURE

WORKING SET  
 FOR HDC & ZONING  
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**A0-2**

**PLANS SCHEME A:** ADDITIONAL FLOORS ARE TO STAY WITHIN GARAGE FOOTPRINT (NEW STAIRWAY EXCEPTED)

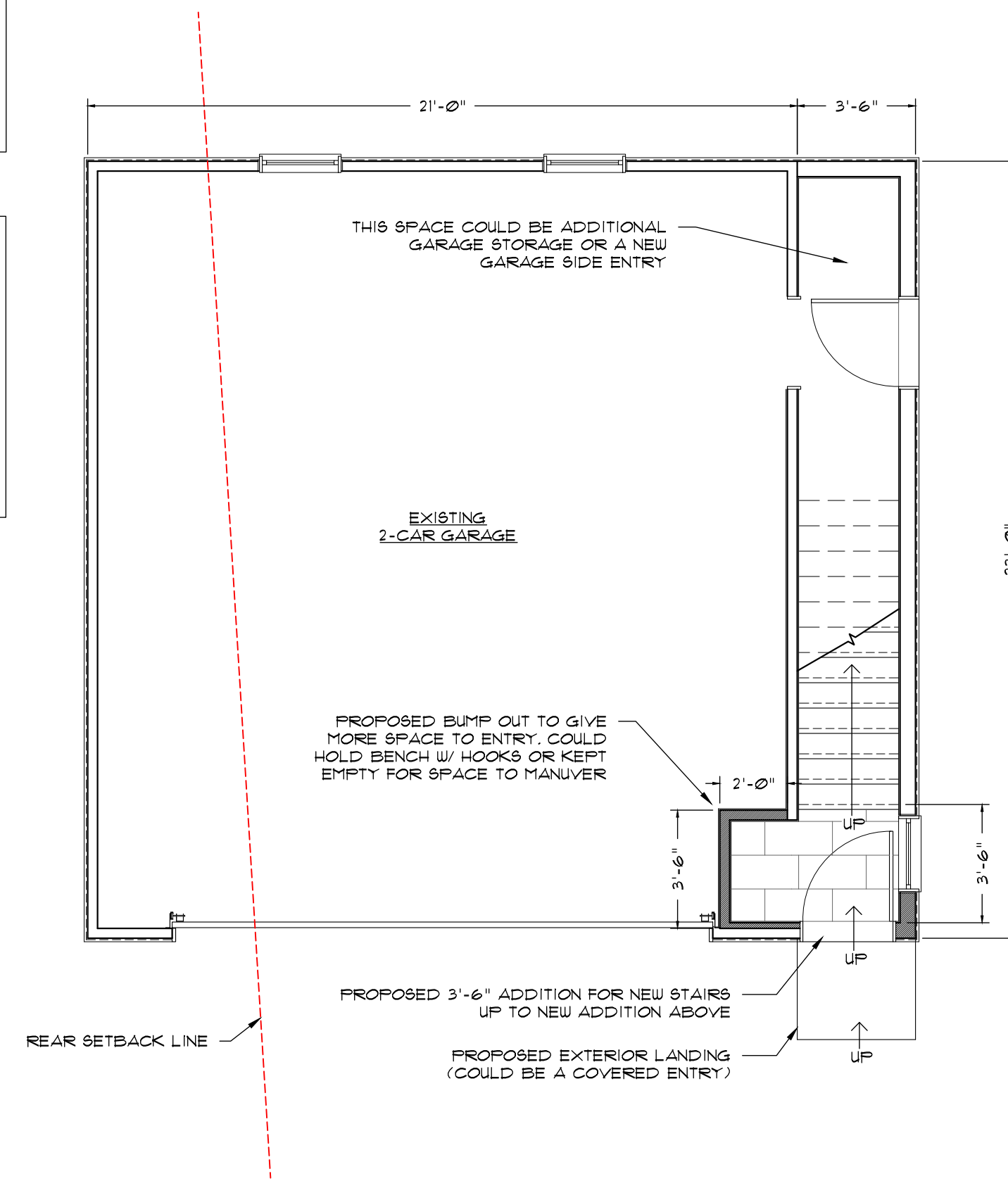
**ROOF OPTION 1:** GABLE TO MATCH EXISTING HOME

**SCHEME A**

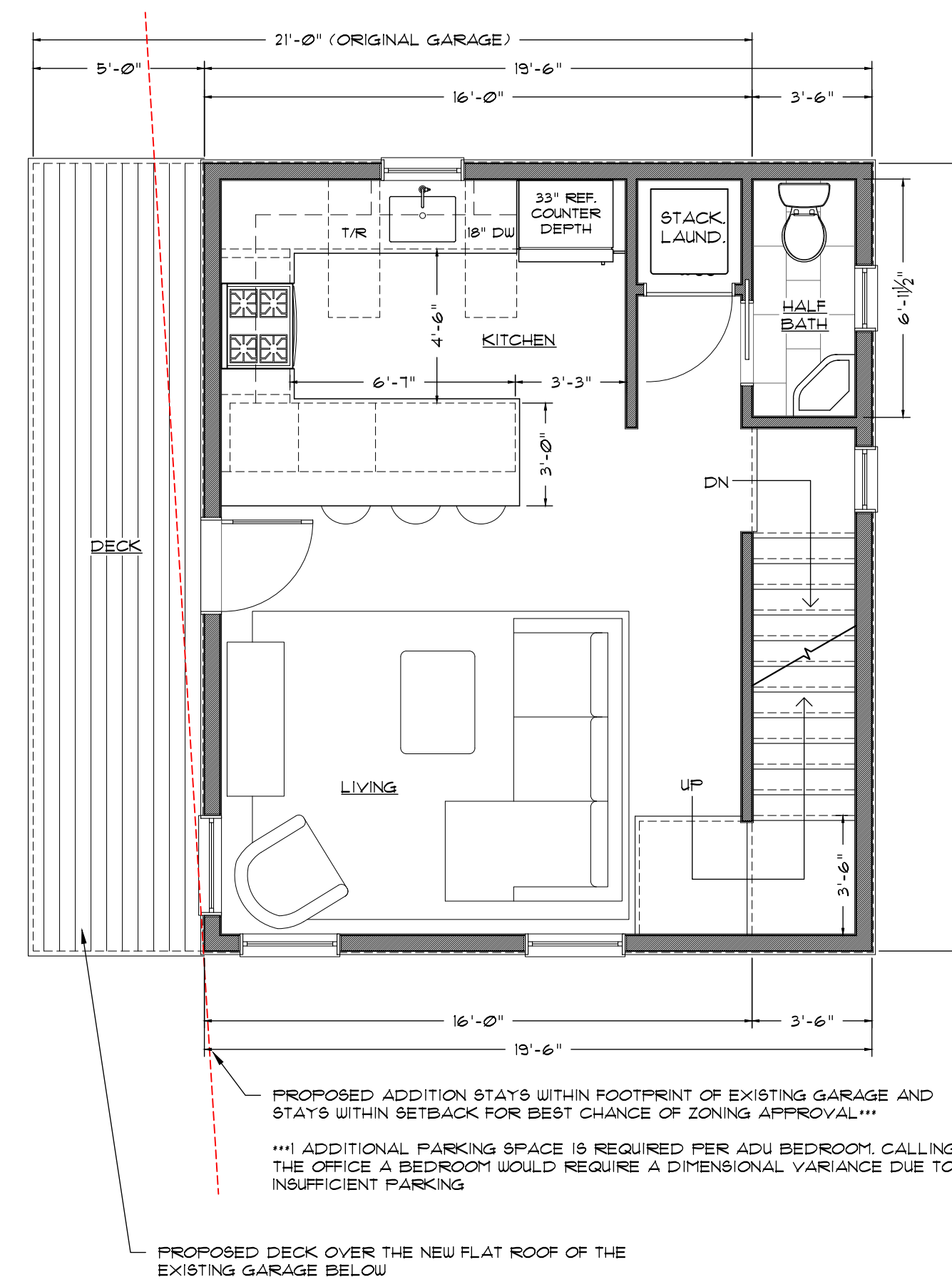
- STAY WITHIN REAR SETBACK LINE AND WITHIN EXISTING FOOTPRINT AS MUCH AS POSSIBLE (ONLY ADD TO THE FOOTPRINT FOR THE NEW STAIRWAY)
- 2ND FLOOR IS MAIN LIVING SPACE
- BOTH BEDROOMS ON 3RD FLOOR

NOTE: WE NEED 5 TOTAL PARKING SPACES IN ORDER TO ADD A 2-BEDROOM ADU AND WE ONLY HAVE 4 PARKING SPACES. IF ZONING ONLY ALLOWS US TO HAVE 1 BEDROOM, THIS DESIGN WILL STILL WORK (IT IS UNDER THE 900 SF MAX FOR A 1 BEDROOM ADU)

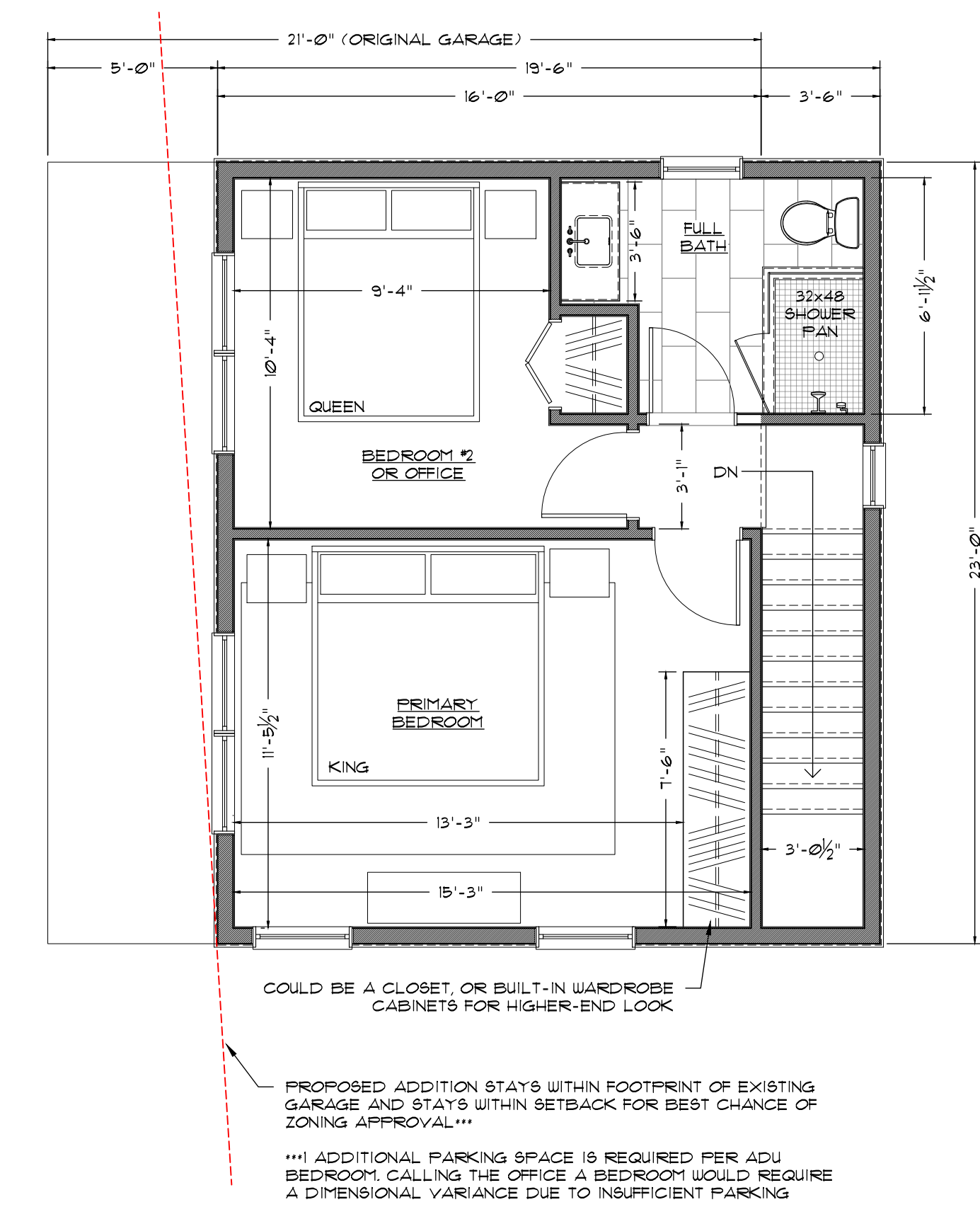
ADU FINISHED SF:	894 SF
1ST FLOOR:	40
2ND FLOOR:	448
3RD FLOOR:	406



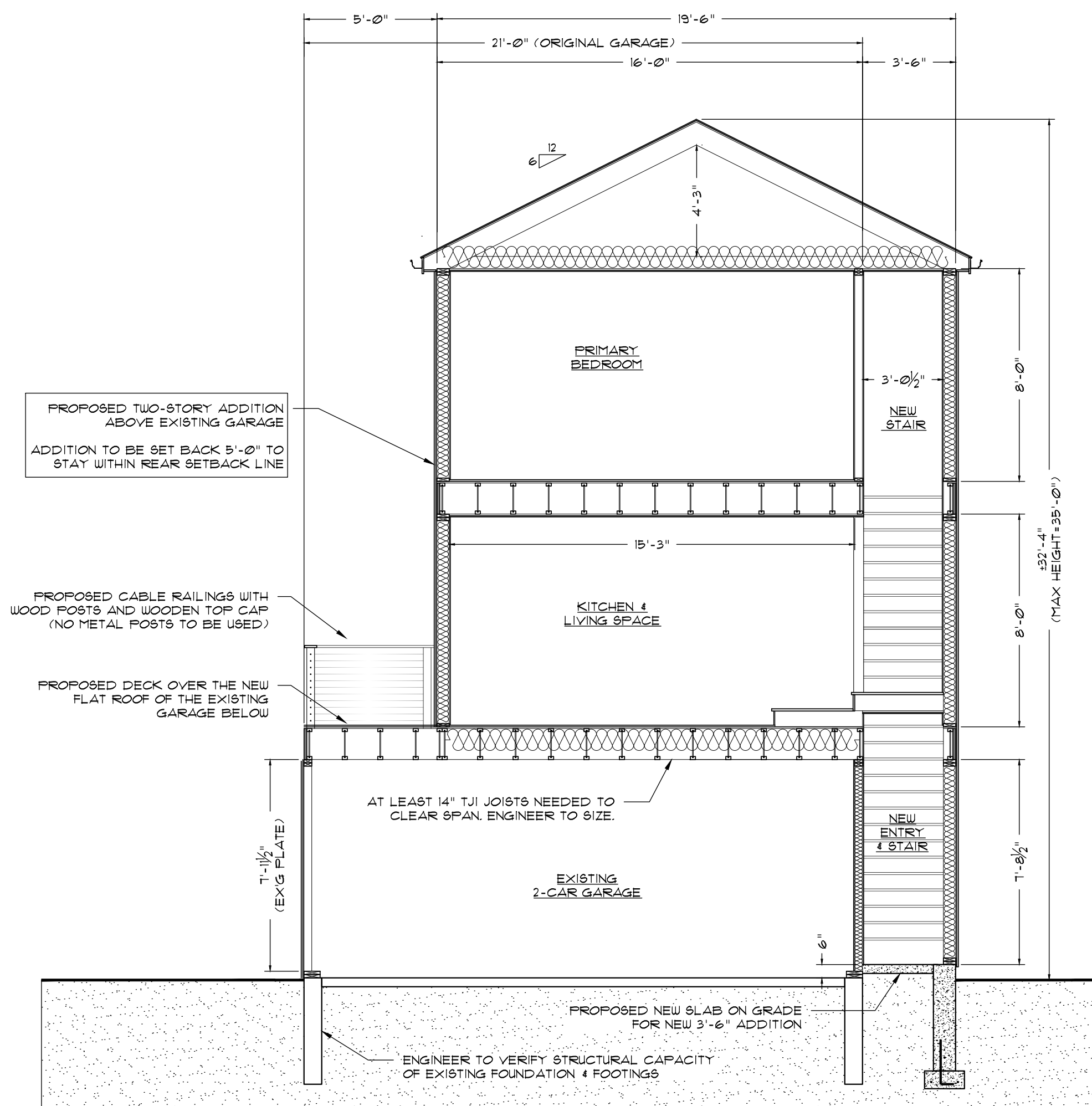
01 GROUND FLOOR PLAN SCALE: 1/4" = 1'-0"



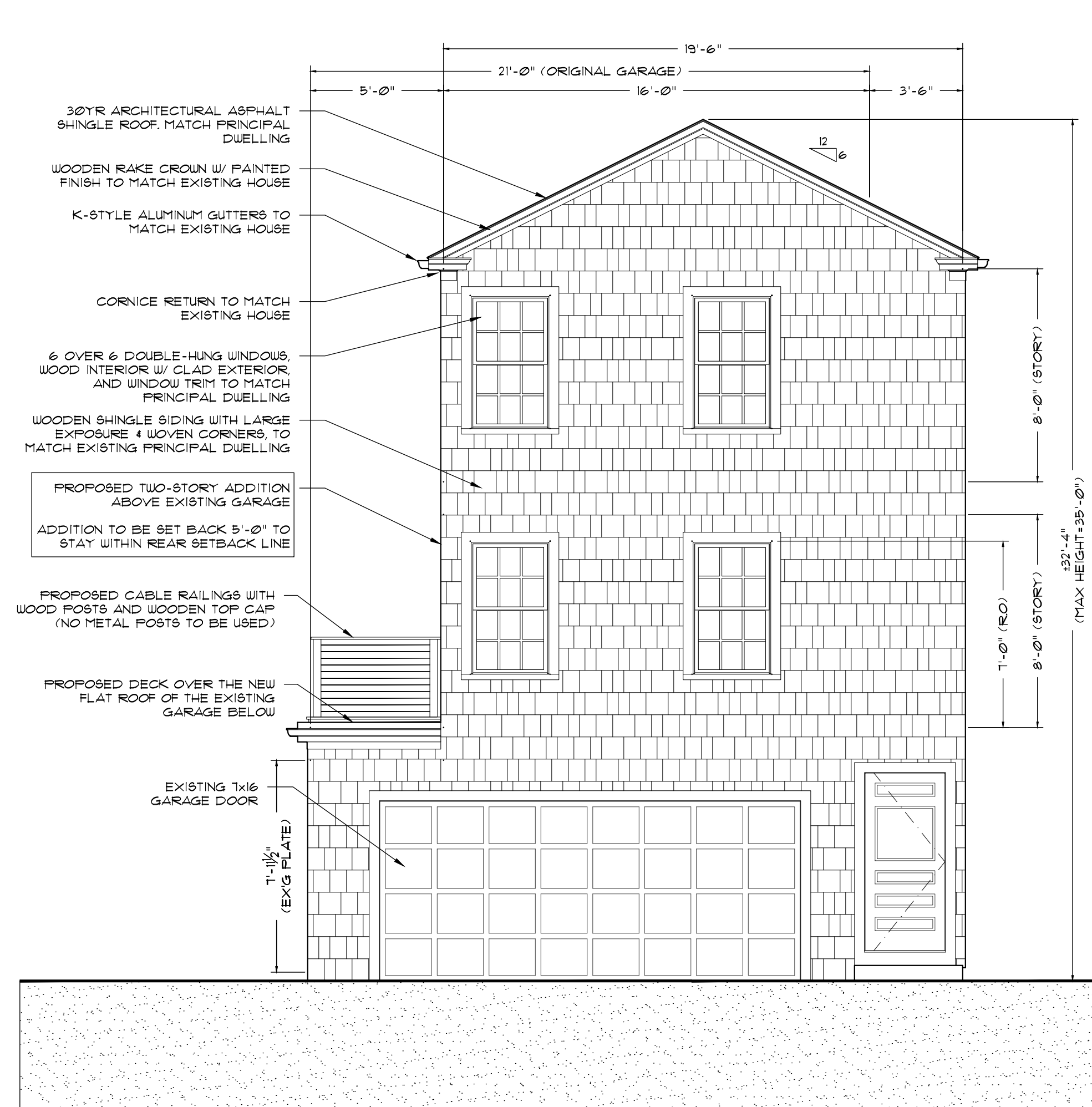
02 SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"



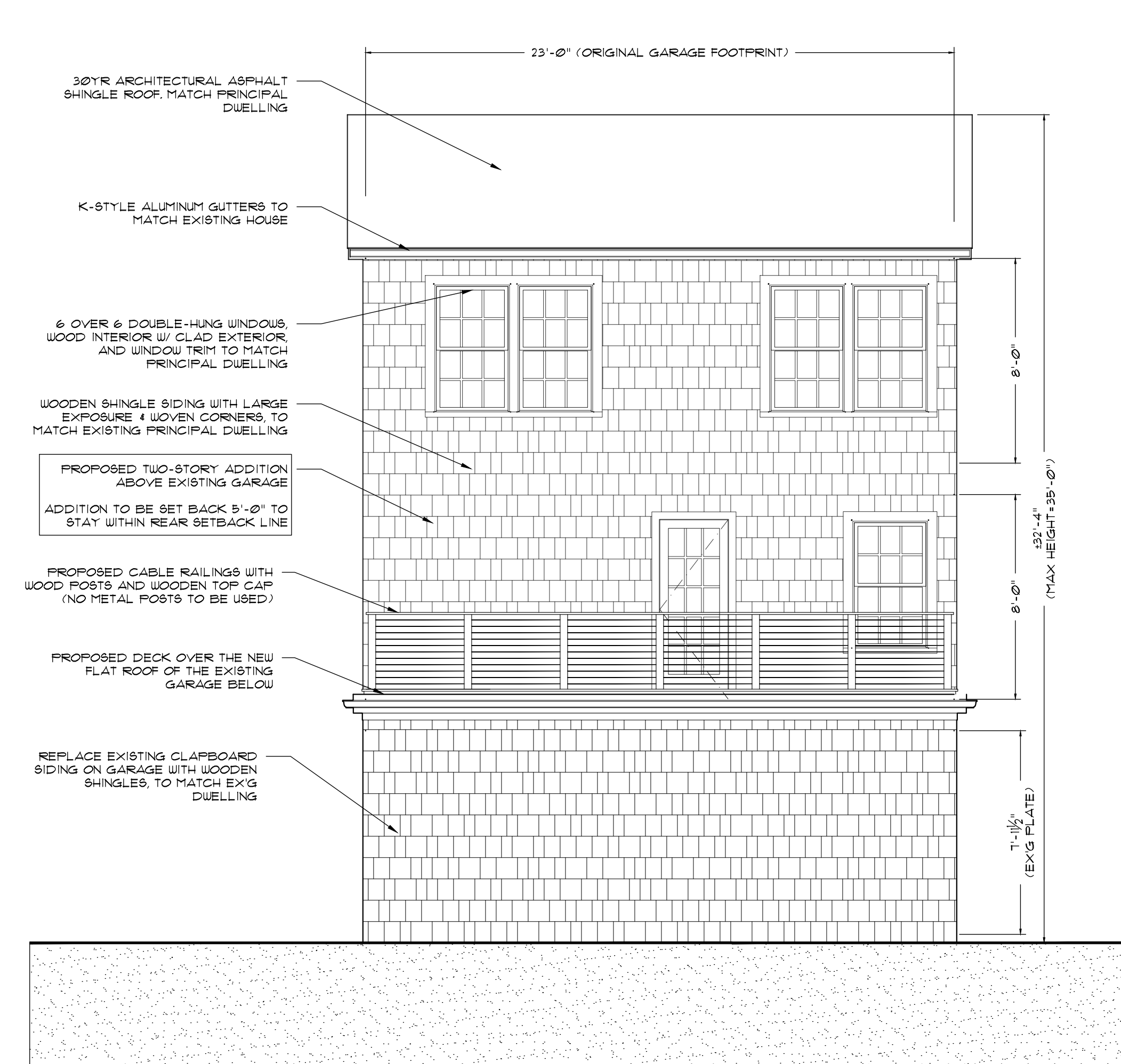
03 THIRD FLOOR PLAN SCALE: 1/4" = 1'-0"



04 SECTION SCALE: 1/4" = 1'-0"



05 SOUTH ELEVATION (OLIVER ST) SCALE: 1/4" = 1'-0"



06 WEST ELEVATION (WATER SIDE) SCALE: 1/4" = 1'-0"

**PLANS SCHEME A:** ADDITIONAL FLOORS ARE TO STAY WITHIN GARAGE FOOTPRINT (NEW STAIRWAY EXCEPTED)

**ROOF OPTION 1:** GABLE TO MATCH EXISTING HOME



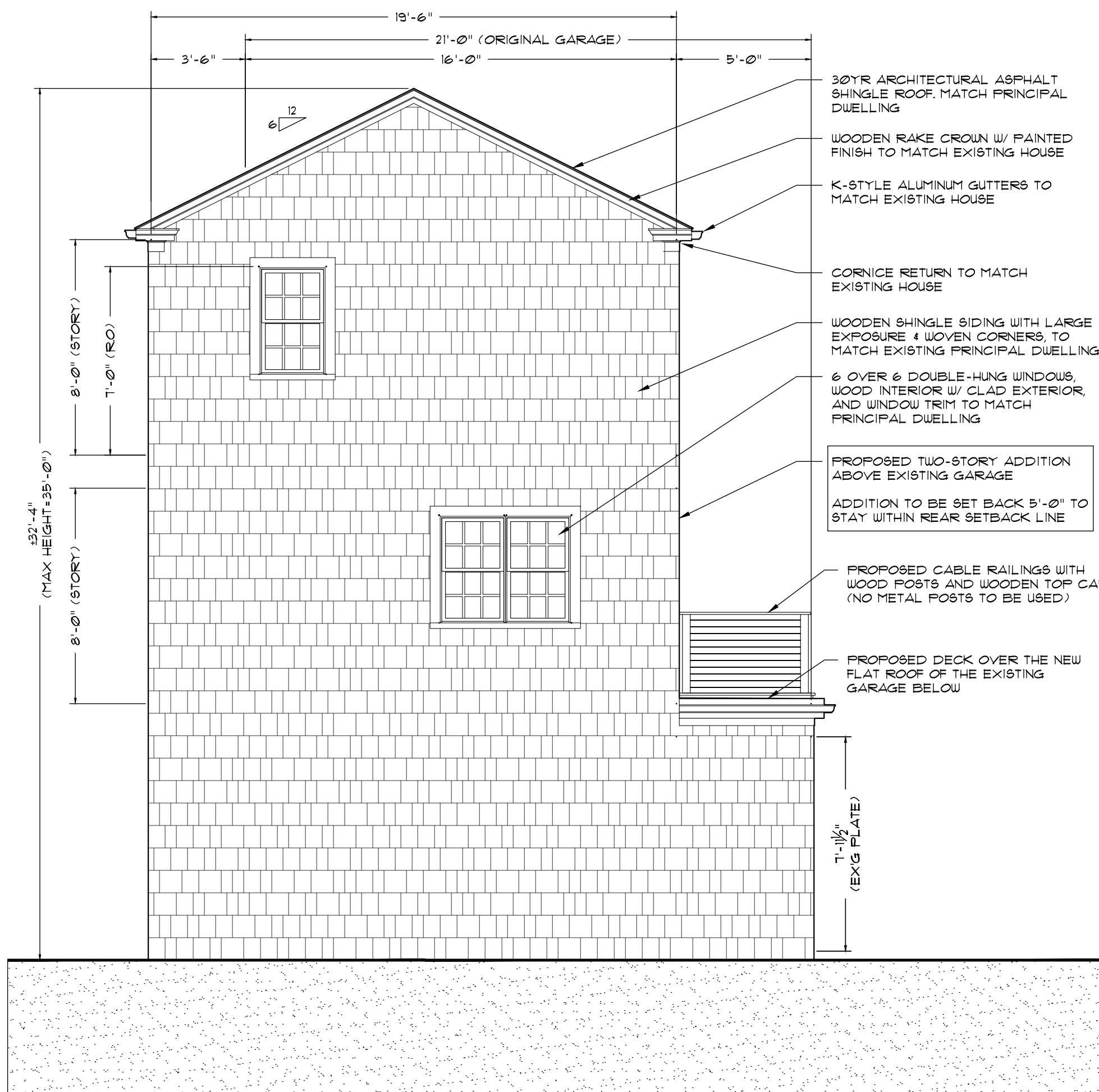
01 VIEW FROM OLIVER ST SCALE: N/A



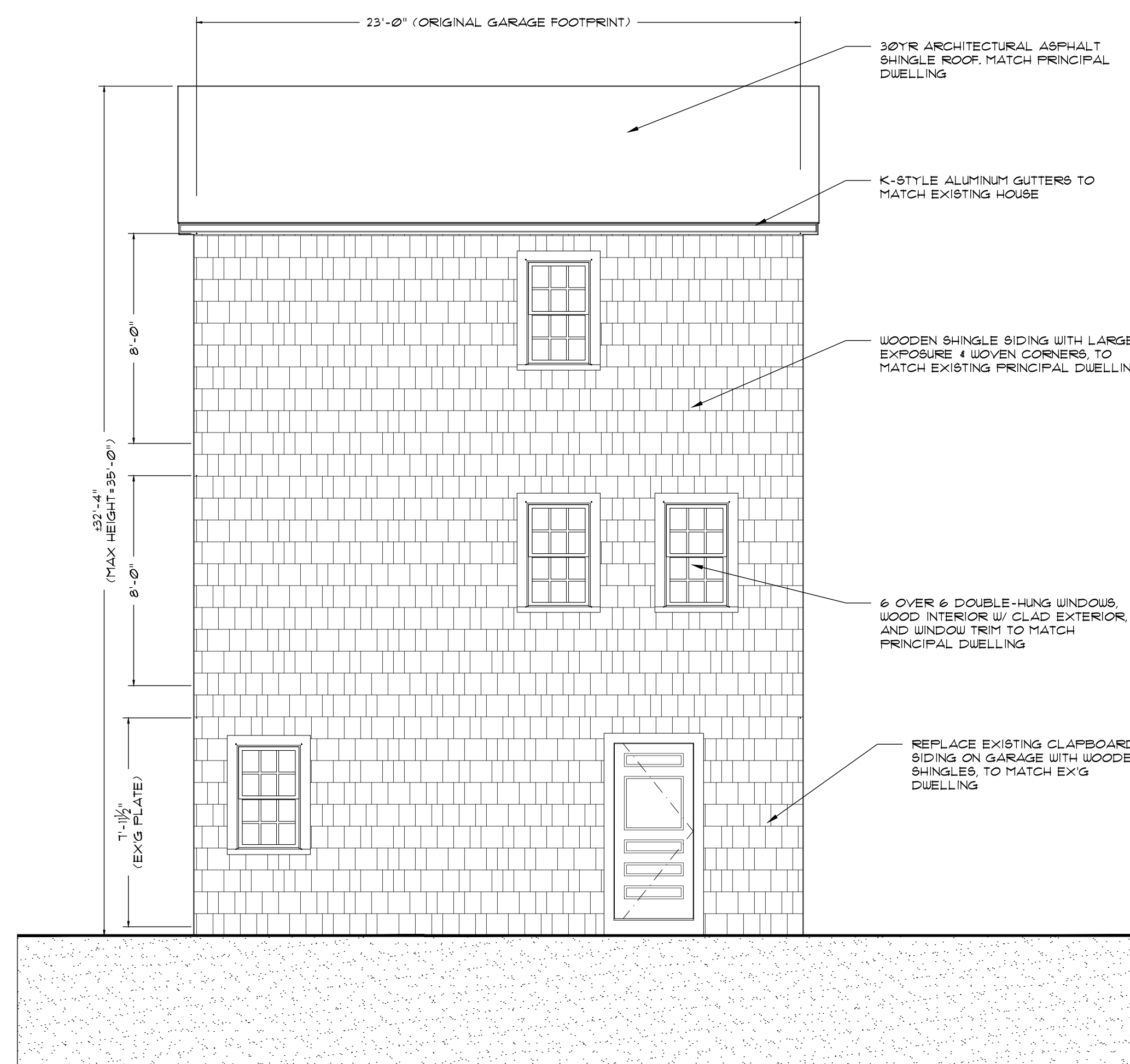
02 VIEW FROM THAMES ST SCALE: N/A



05 CORNICE RETURN ON EXISTING HOUSE SCALE: N/A



03 NORTH ELEVATION SCALE: 1/4" = 1'-0"



04 EAST ELEVATION SCALE: 1/4" = 1'-0"



06 PROPOSED CABLE RAIL EXAMPLE SCALE: N/A

GARAGE RENOVATIONS & A NEW DETACHED ADU FOR  
721 HOPE ST  
BRISTOL, RI 02809  
PREPARED FOR: BOSTON MINDSYNCH

PROPOSED DESIGN  
PLANS SCHEME A: ADDITION TO STAY WITHIN EXISTING GARAGE FOOTPRINT  
ROOF OPTION 1: GABLE TO MATCH EXISTING HOUSE

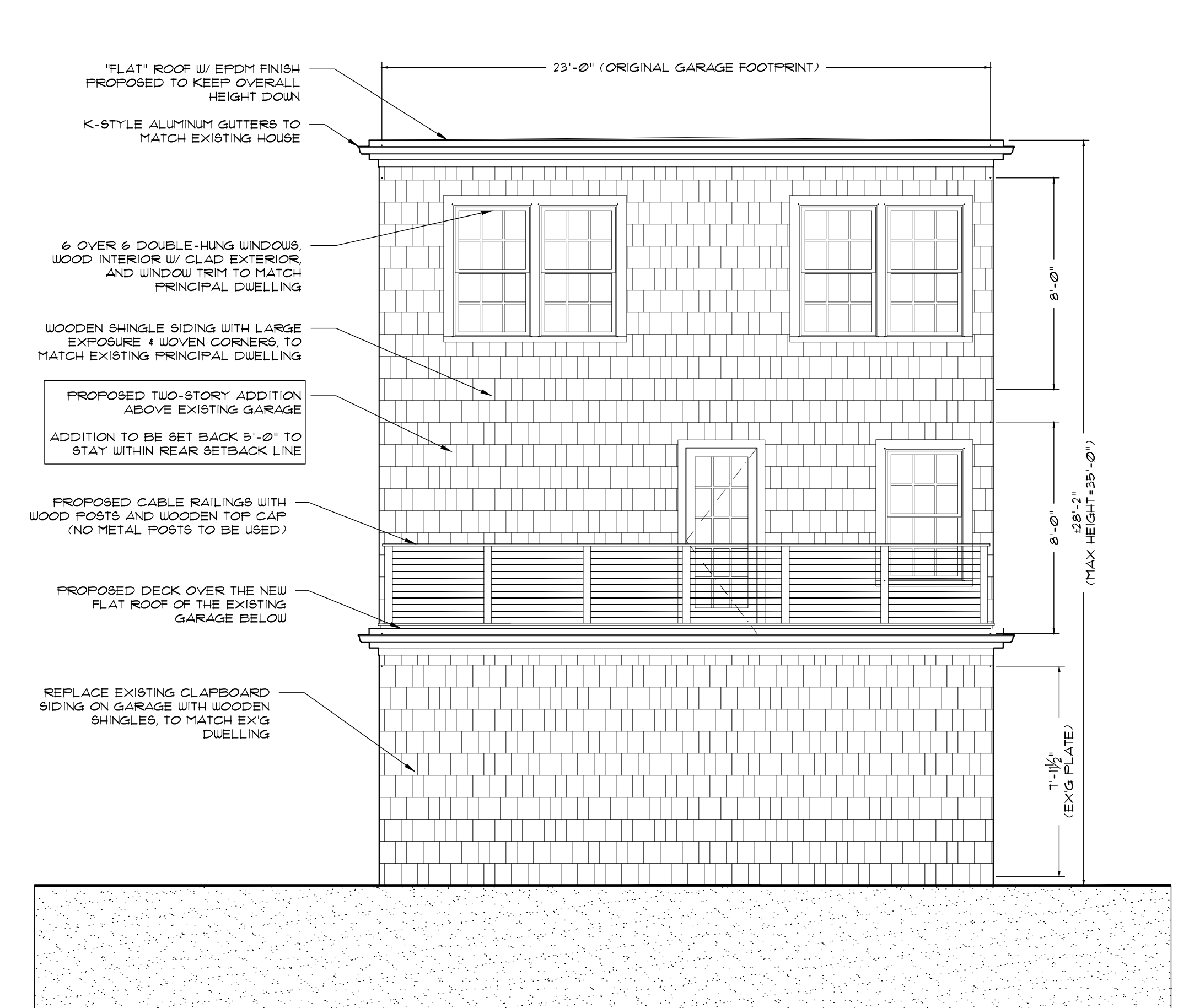
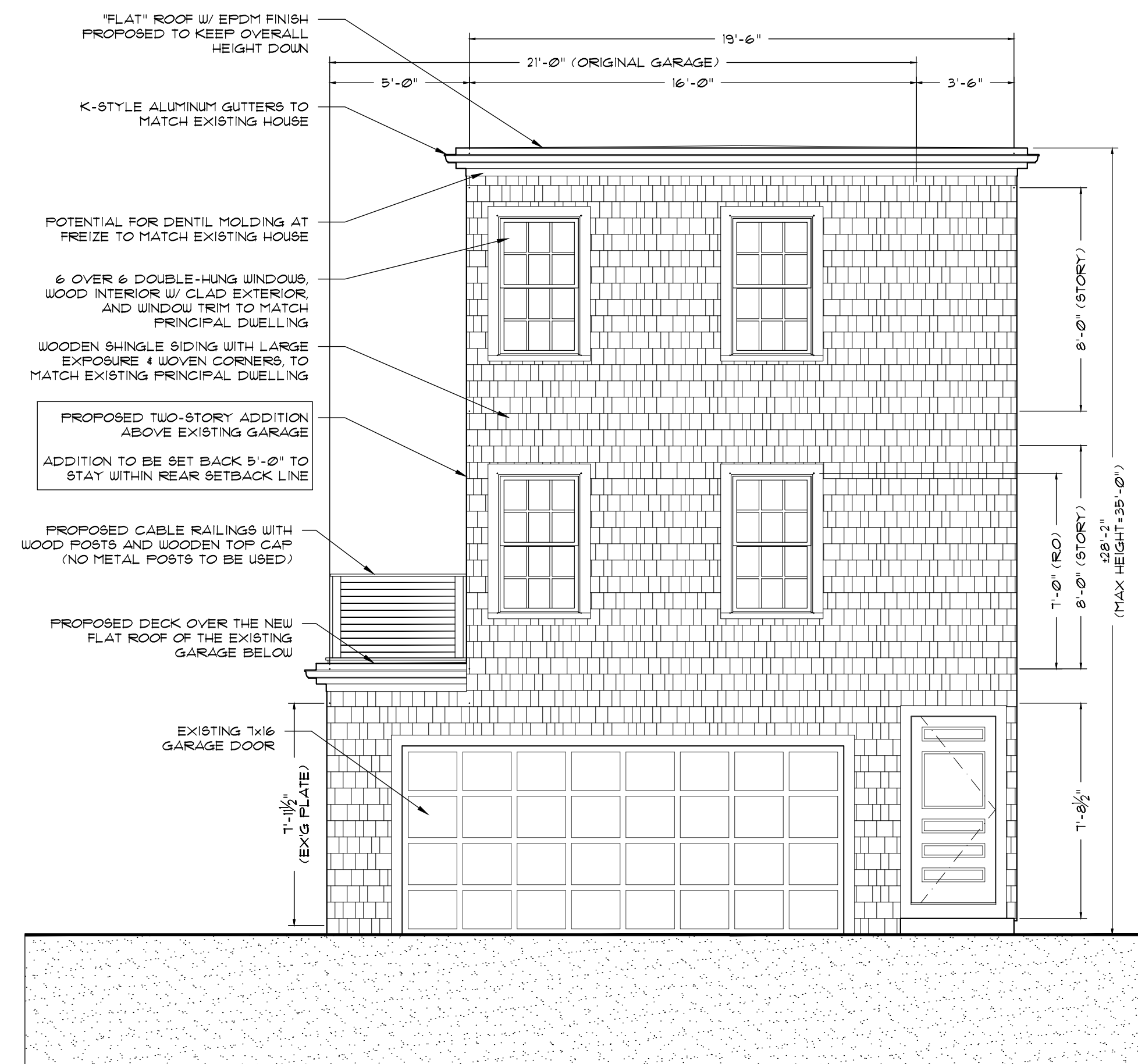
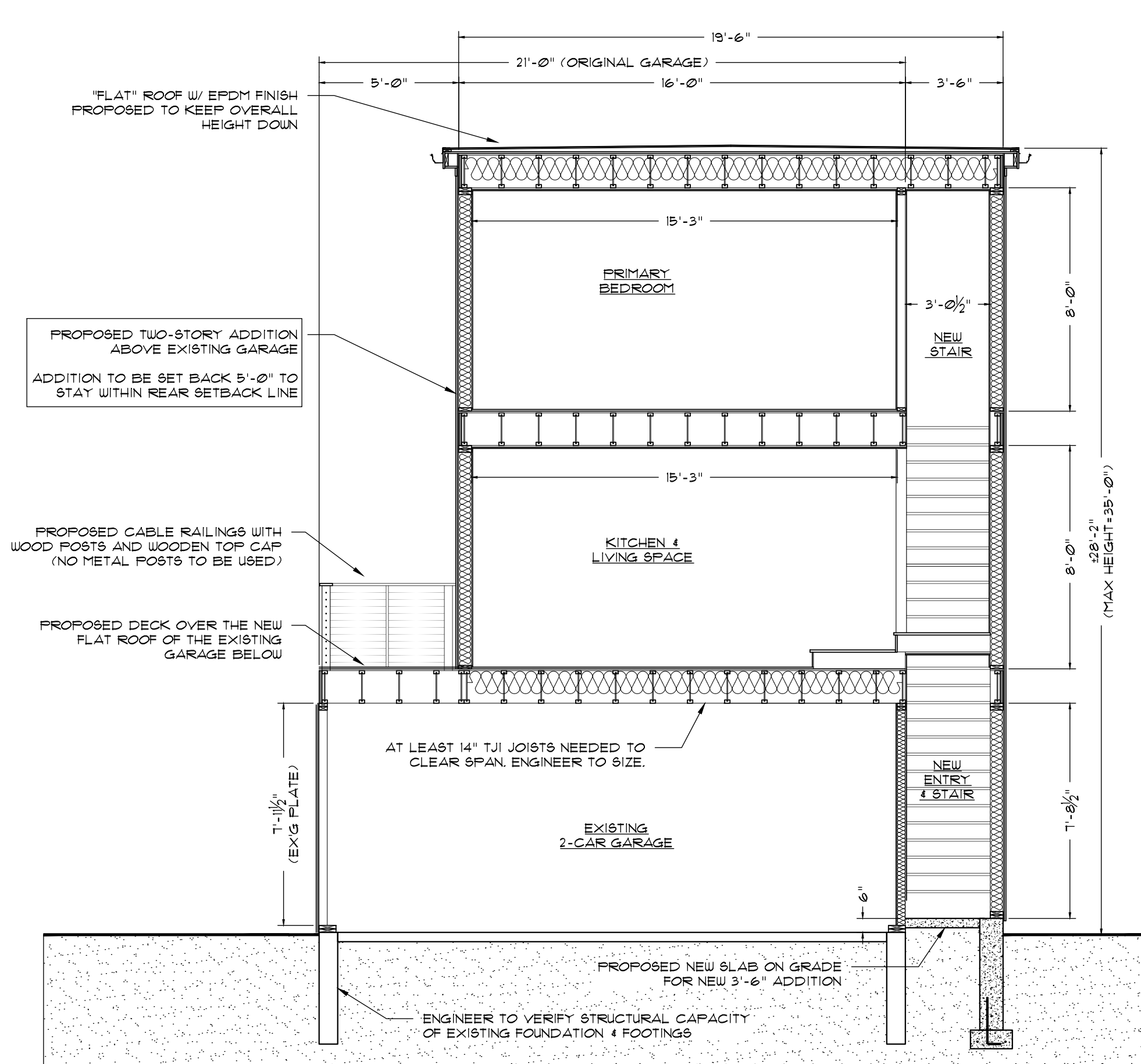
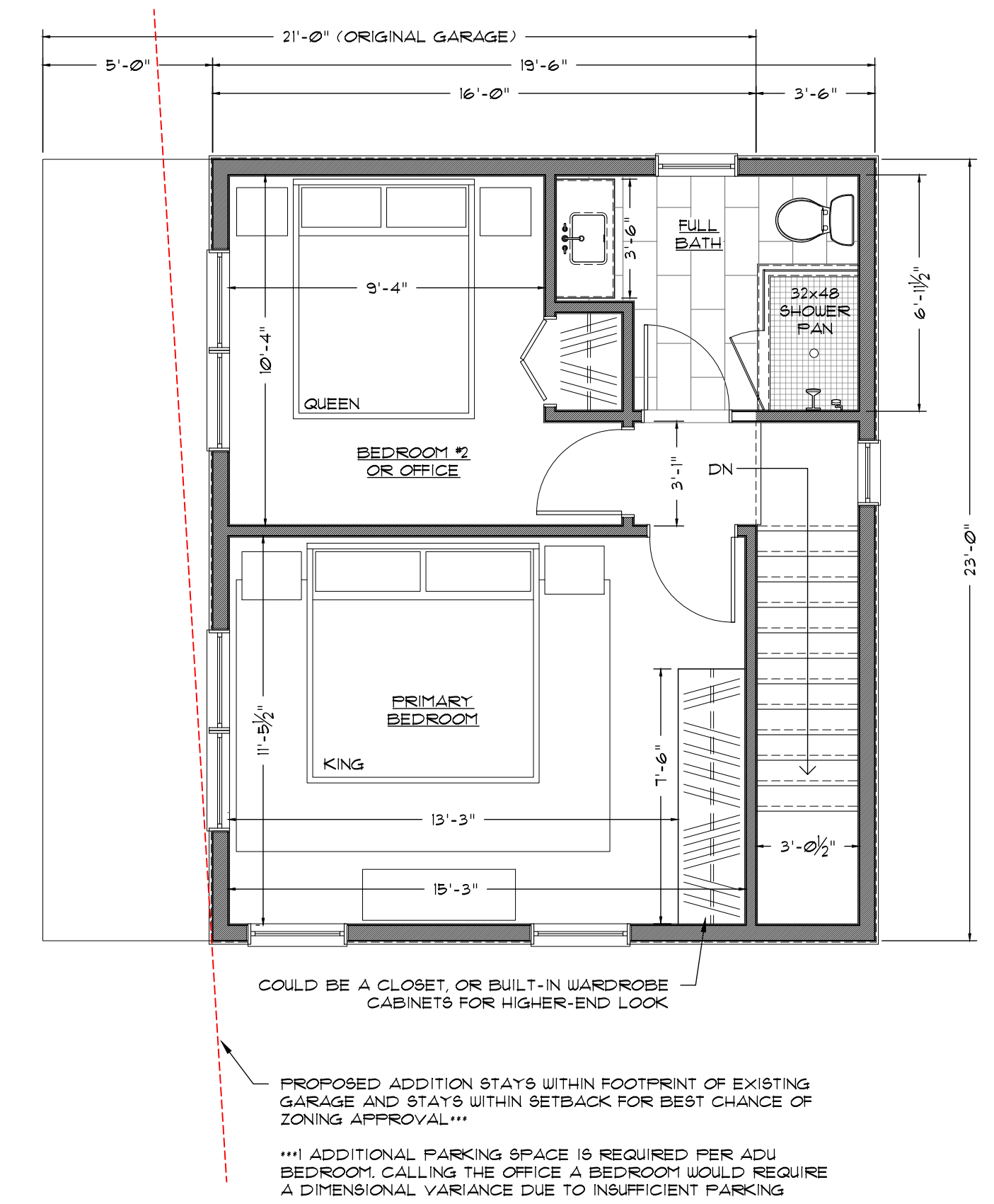
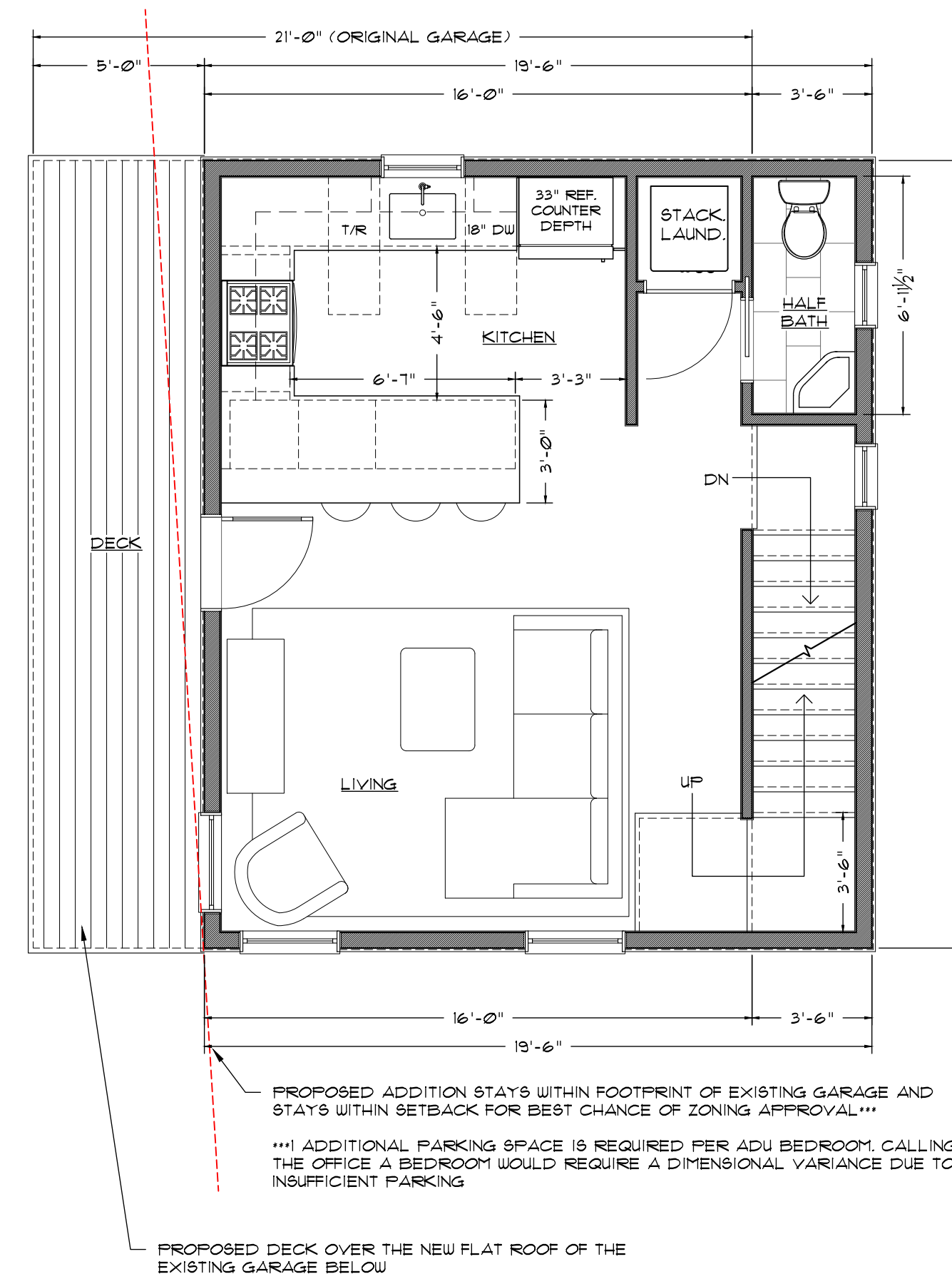
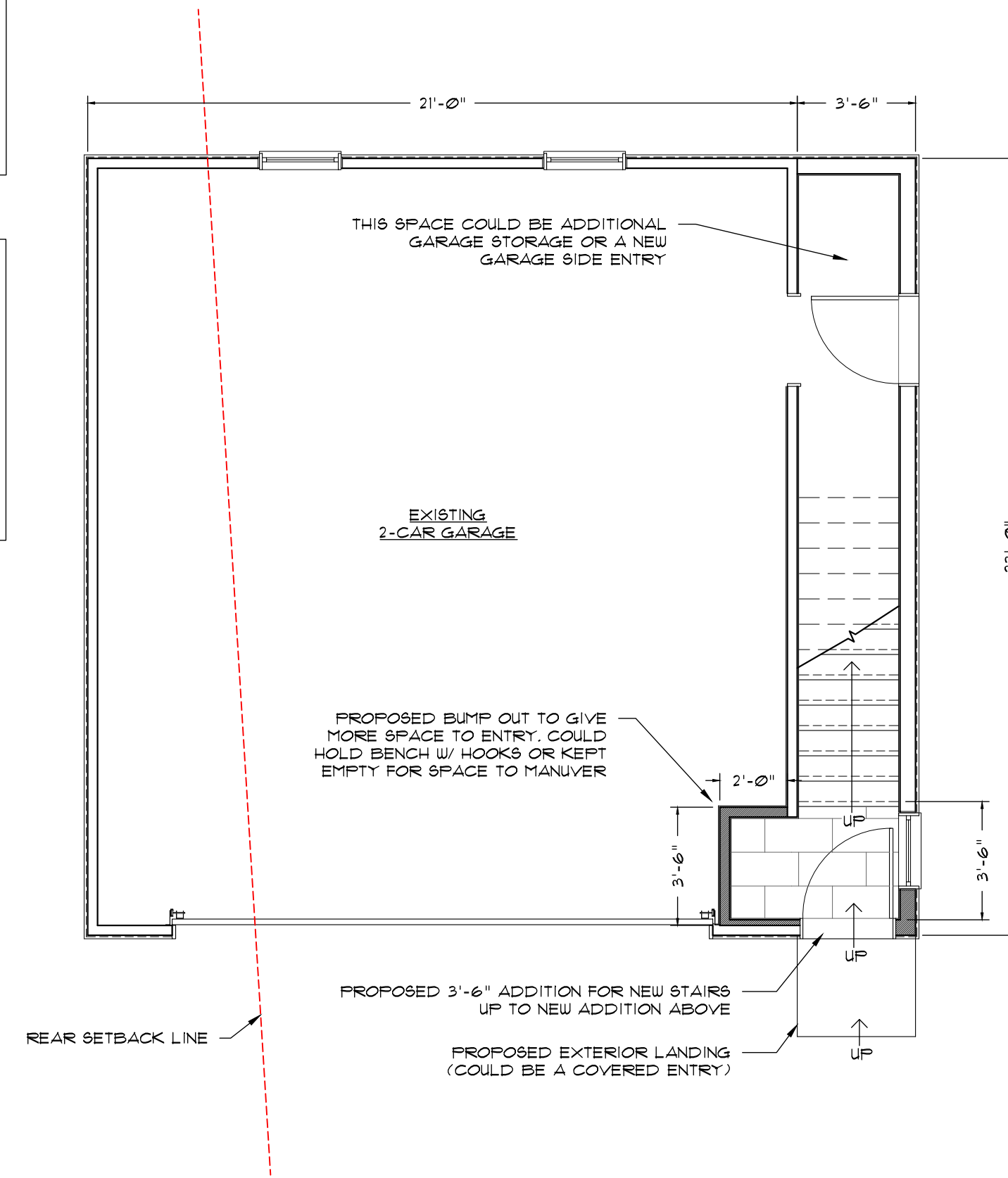
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**PLANS SCHEME A:** ADDITIONAL FLOORS ARE TO STAY WITHIN GARAGE FOOTPRINT (NEW STAIRWAY EXCEPTED)

**ROOF OPTION 2:** FLAT ROOF TO LIMIT HEIGHT AS MUCH AS POSSIBLE

- SCHEME A**
- STAY WITHIN REAR SETBACK LINE AND WITHIN EXISTING FOOTPRINT AS MUCH AS POSSIBLE (ONLY ADD TO THE FOOTPRINT FOR THE NEW STAIRWAY)
  - 2ND FLOOR IS MAIN LIVING SPACE
  - BOTH BEDROOMS ON 3RD FLOOR
- NOTE: WE NEED 5 TOTAL PARKING SPACES IN ORDER TO ADD A 2-BEDROOM ADU AND WE ONLY HAVE 4 PARKING SPACES. IF ZONING ONLY ALLOWS US TO HAVE 1 BEDROOM, THIS DESIGN WILL STILL WORK (IT IS UNDER THE 900 SF MAX FOR A 1 BEDROOM ADU)

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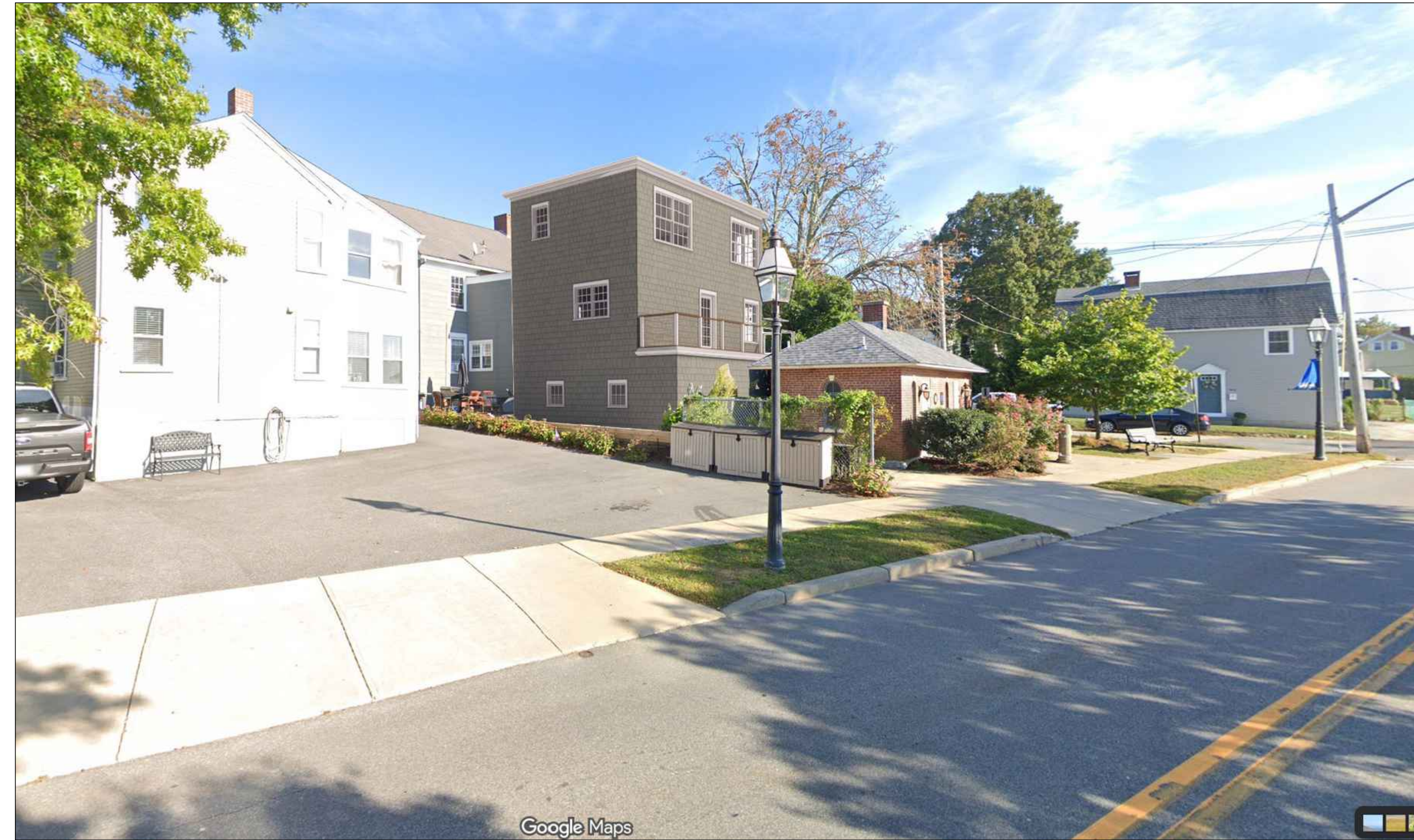


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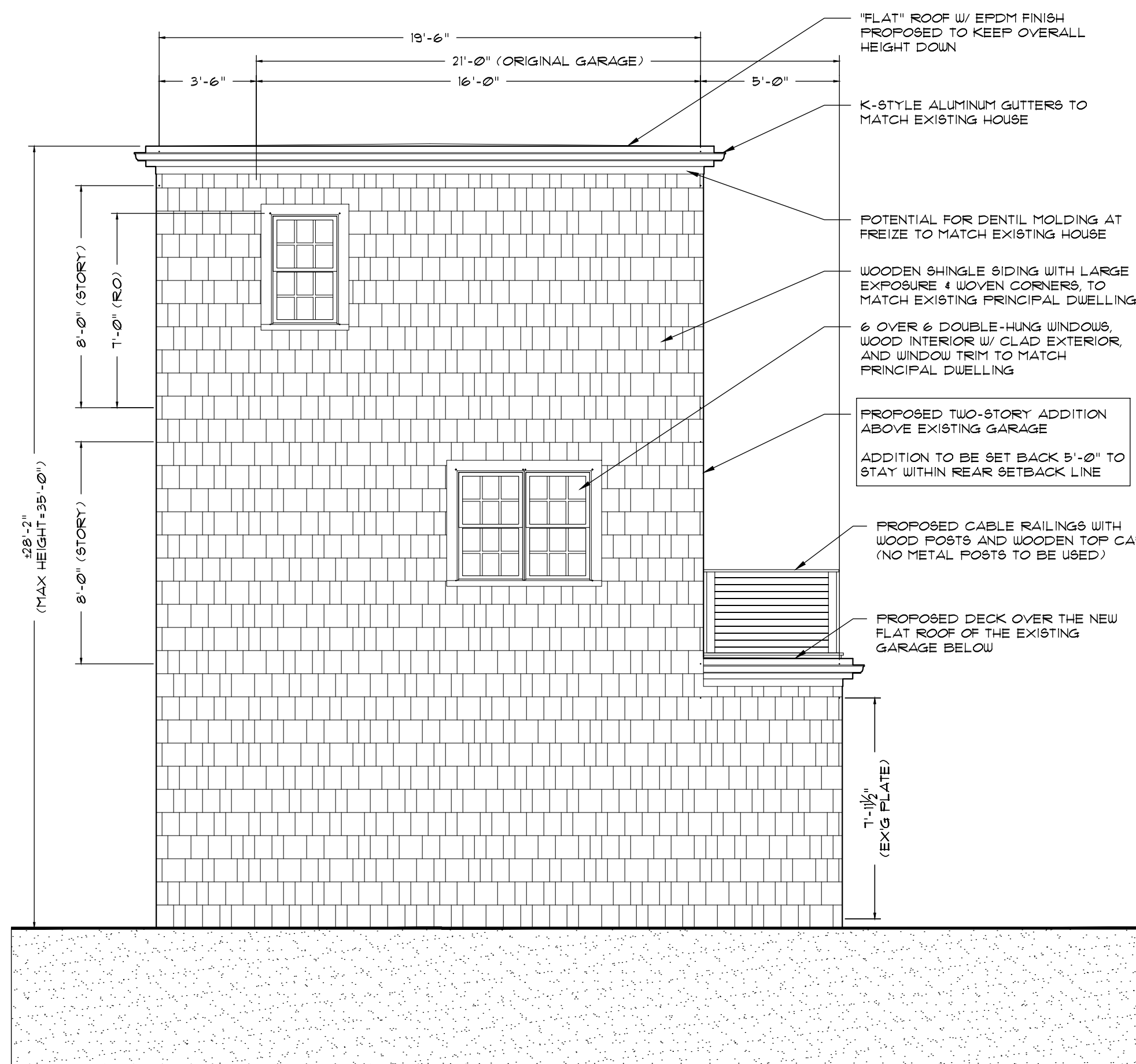
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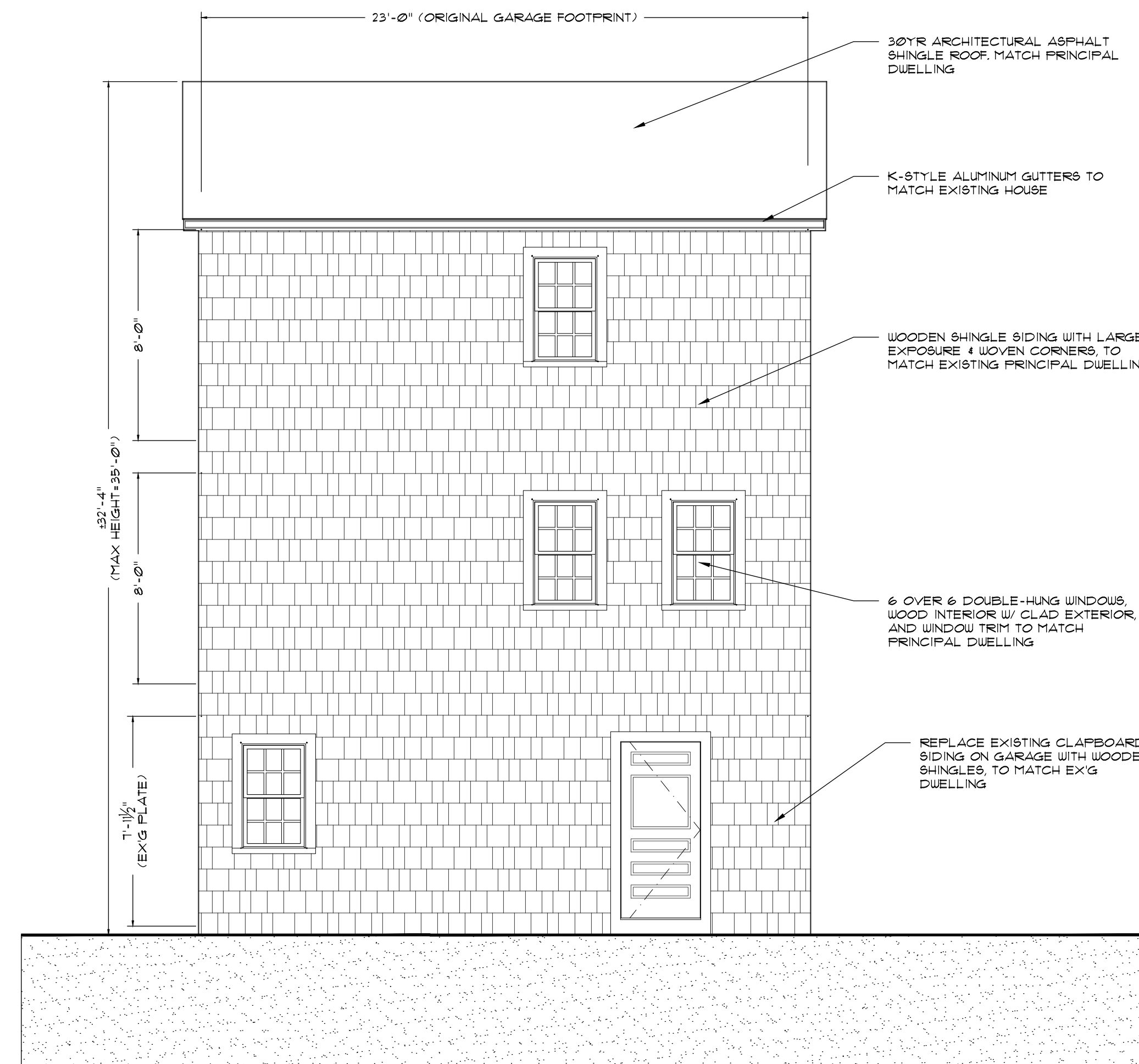
01 VIEW FROM OLIVER ST SCALE: N/A



02 VIEW FROM THAMES ST SCALE: N/A



03 NORTH ELEVATION SCALE: 1/4" = 1'-0"



04 EAST ELEVATION SCALE: 1/4" = 1'-0"



05 DENTIL ON EXISTING HOUSE SCALE: N/A

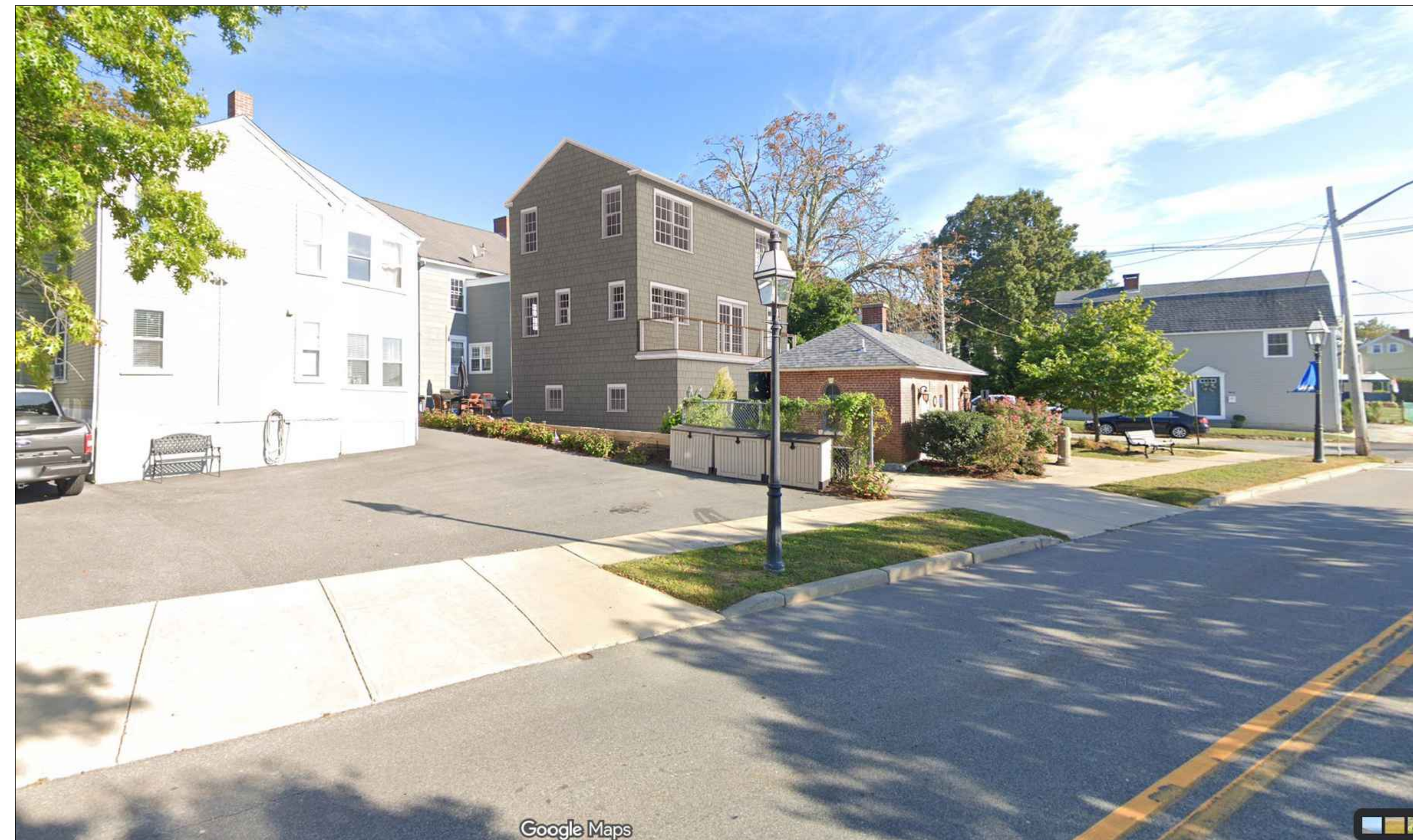


**PLANS SCHEME B:** ADDITIONAL FLOORS ARE TO HAVE A 6 FT CANTILEVER OVER THE DRIVEWAY

**ROOF OPTION 1:** GABLE TO MATCH EXISTING HOME



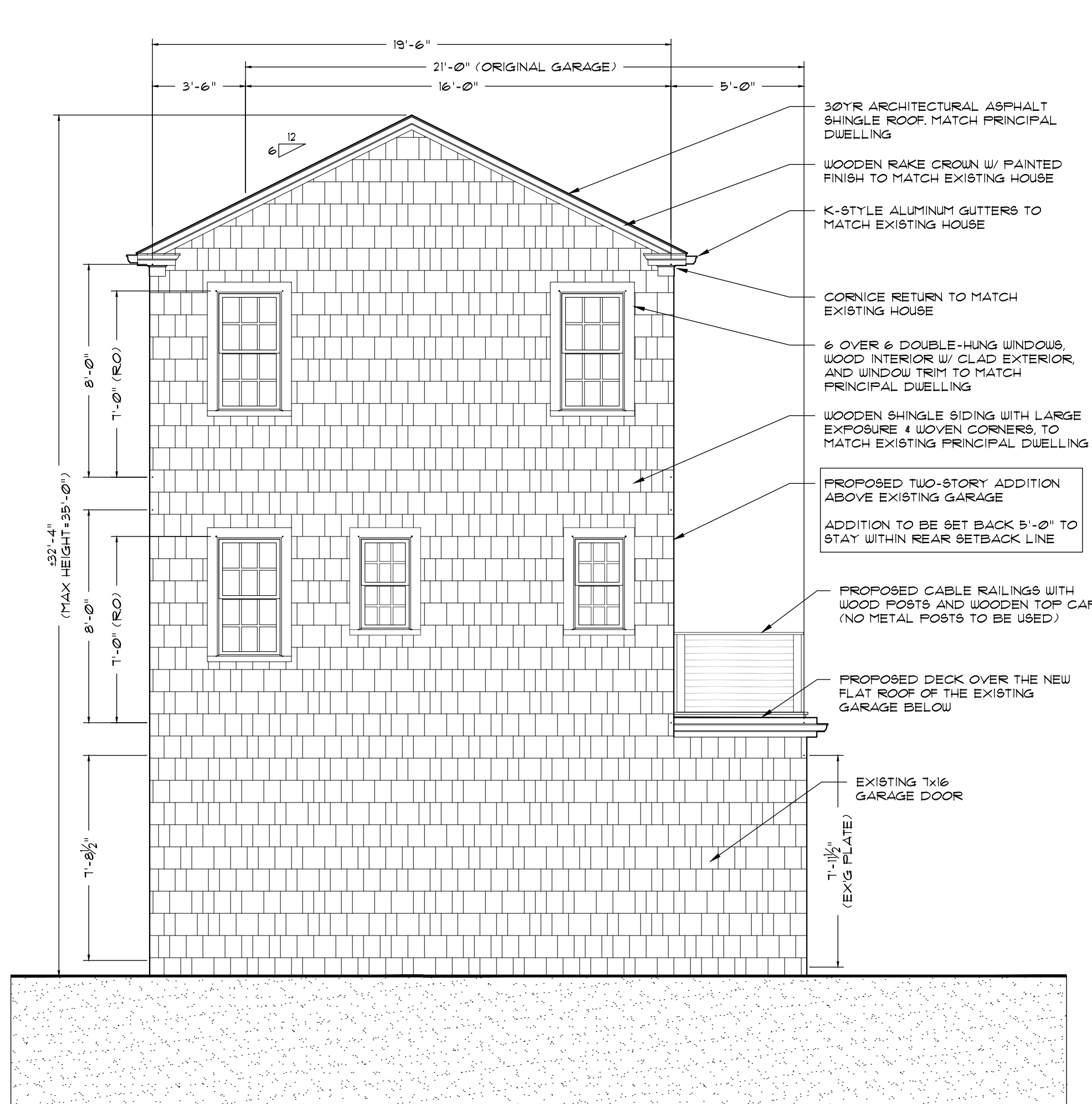
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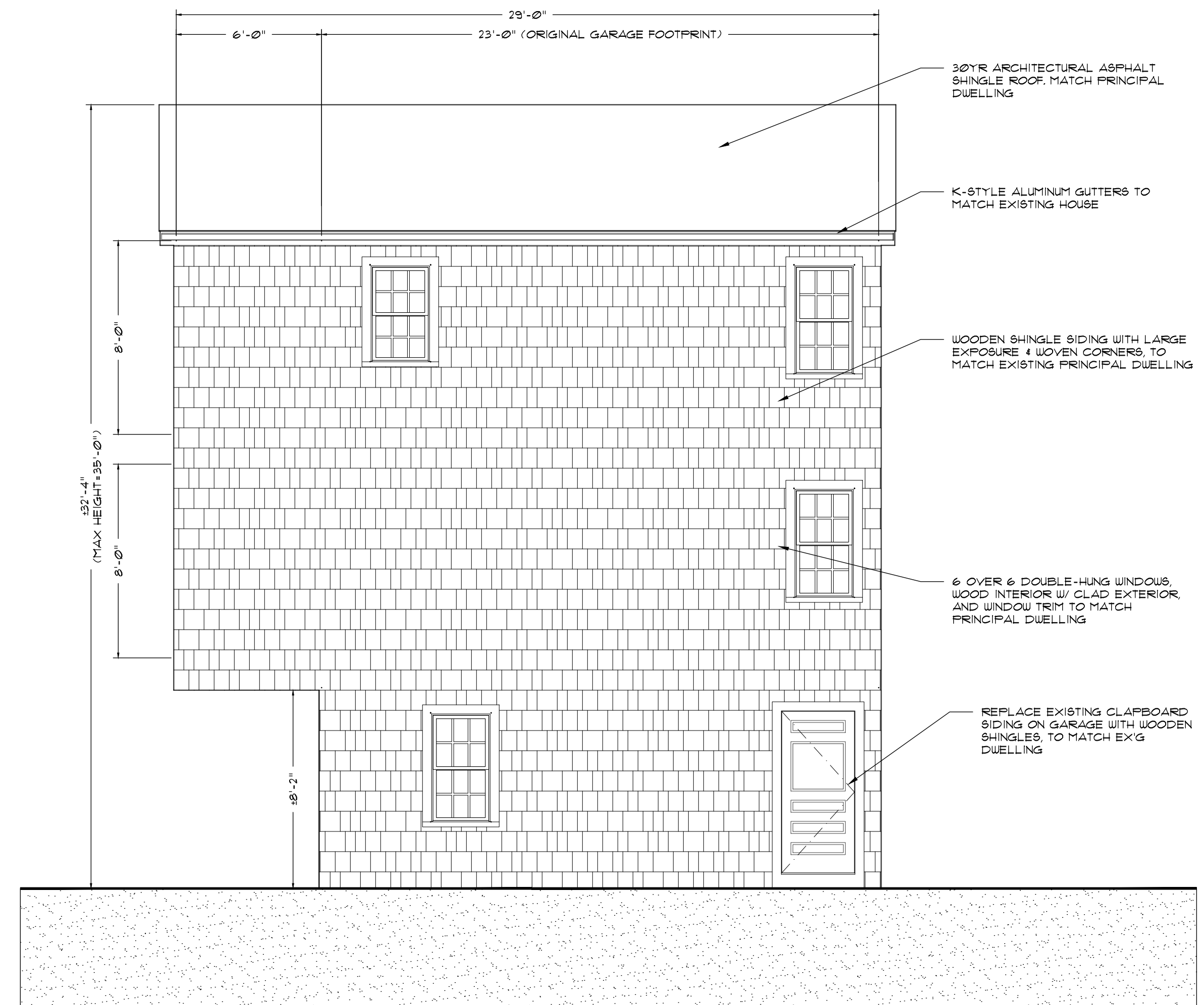
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06 PROPOSED CABLE RAIL EXAMPLE SCALE: N/A

GARAGE RENOVATIONS & A NEW DETACHED ADU FOR  
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BRISTOL, RI 02809  
PREPARED FOR: BOSTON MINDSYNCH

PROPOSED DESIGN  
PLANS SCHEME B: ADDITION TO CANTILEVER 6 FT  
ROOF OPTION 1: GABLE TO MATCH EXISTING HOUSE

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**PLANS SCHEME B:** ADDITIONAL FLOORS ARE TO HAVE A 6 FT CANTILEVER OVER THE DRIVEWAY

**ROOF OPTION 2:** FLAT ROOF TO LIMIT HEIGHT AS MUCH AS POSSIBLE

- SCHEME B**
- STAY WITHIN REAR SETBACK LINE AND WITHIN EXISTING FOOTPRINT AS MUCH AS POSSIBLE - BUT ADD 6'-0" OVER DRIVEWAY
  - 2ND FLOOR IS MAIN LIVING SPACE
  - BOTH BEDROOMS ON 3RD FLOOR
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ADU FINISHED SF:	1149 SF
1ST FLOOR:	62
2ND FLOOR:	566
3RD FLOOR:	521

PROPOSED 2ND & 3RD FLOOR ADDITION ABOVE:  
ADDITION TO BE SET BACK 5'-0" FROM FOOTPRINT OF EXISTING GARAGE TO ENSURE THAT THE NEW CONSTRUCTION RESPECTS THE REAR SETBACK LINE

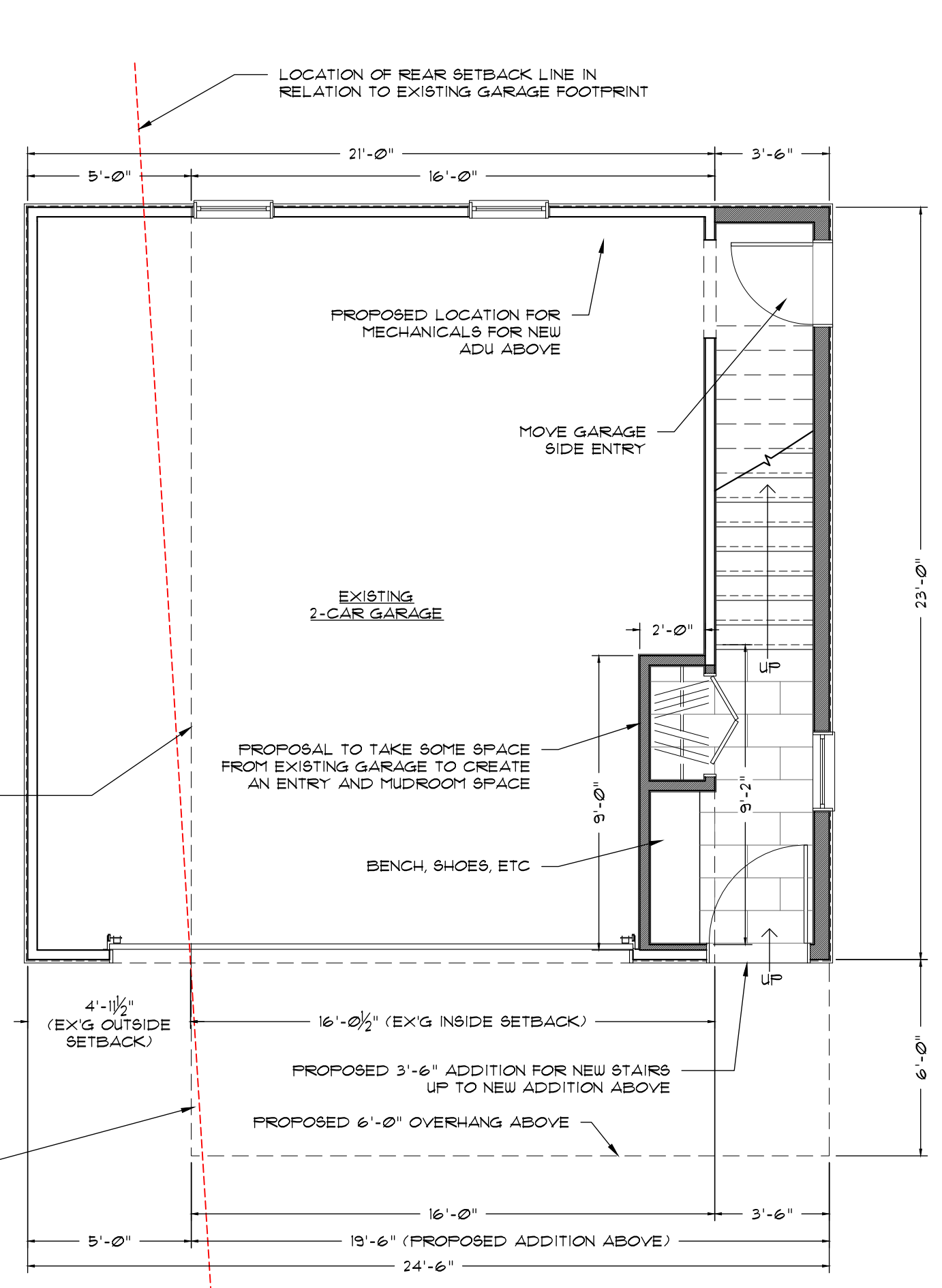
PROPOSAL TO TAKE SOME SPACE FROM EXISTING GARAGE TO CREATE AN ENTRY AND HURDROOM SPACE

BENCH, SHOES, ETC

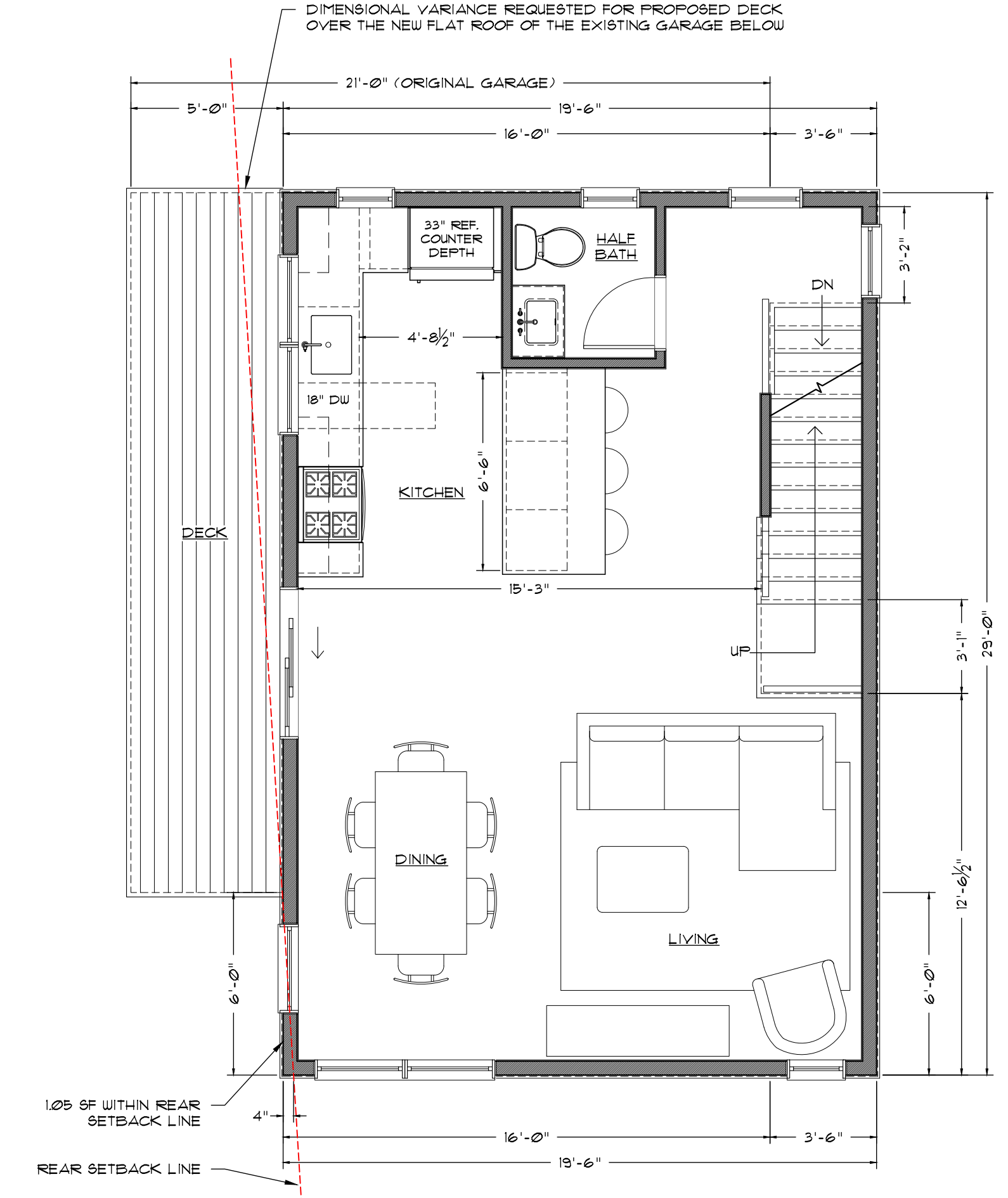
PROPOSED 3'-6" ADDITION FOR NEW STAIRS UP TO NEW ADDITION ABOVE

PROPOSED 6'-0" OVERHANG ABOVE

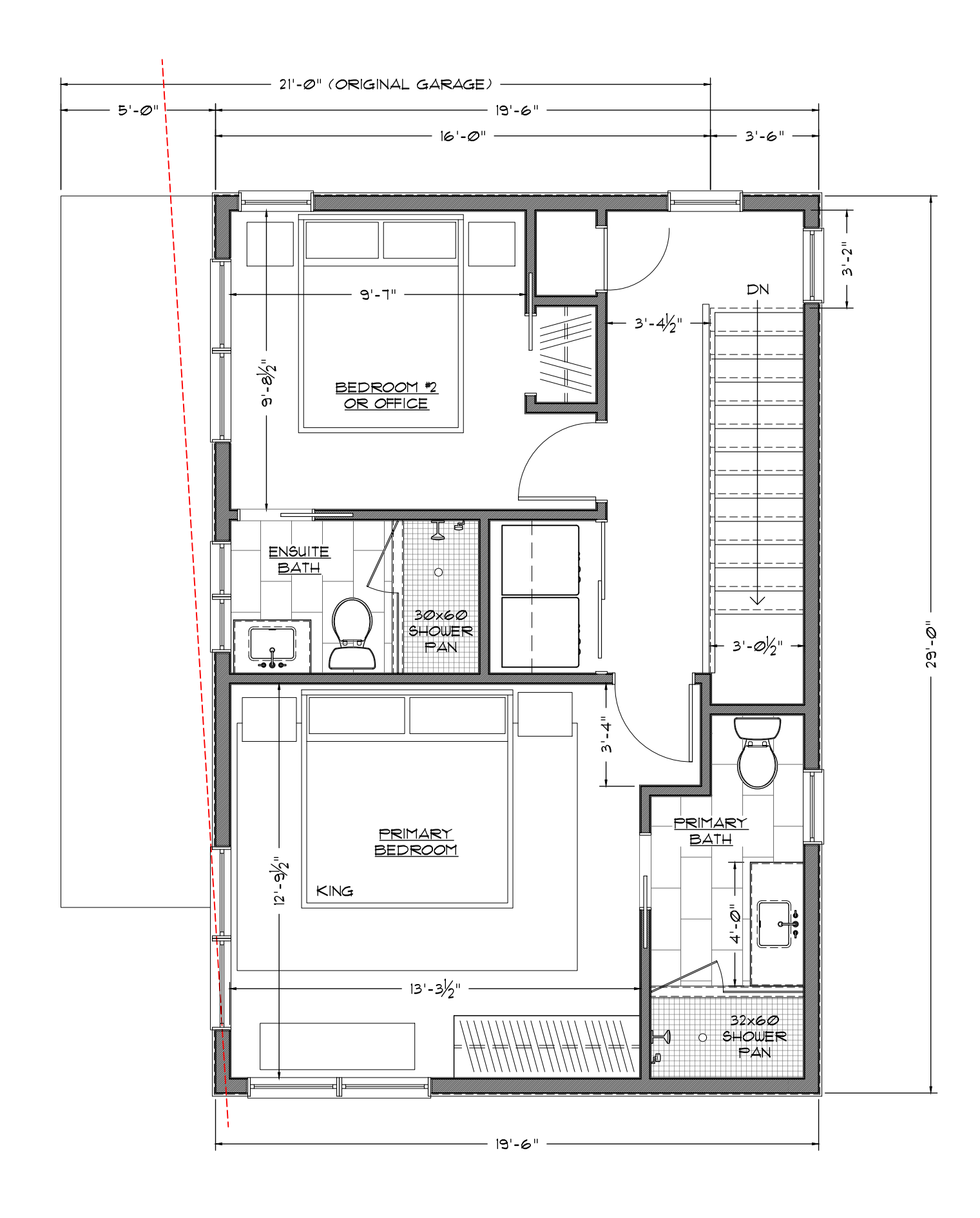
DIMENSIONAL VARIANCE REQUESTED FOR THIS 125 SF WITHIN REAR SETBACK LINE



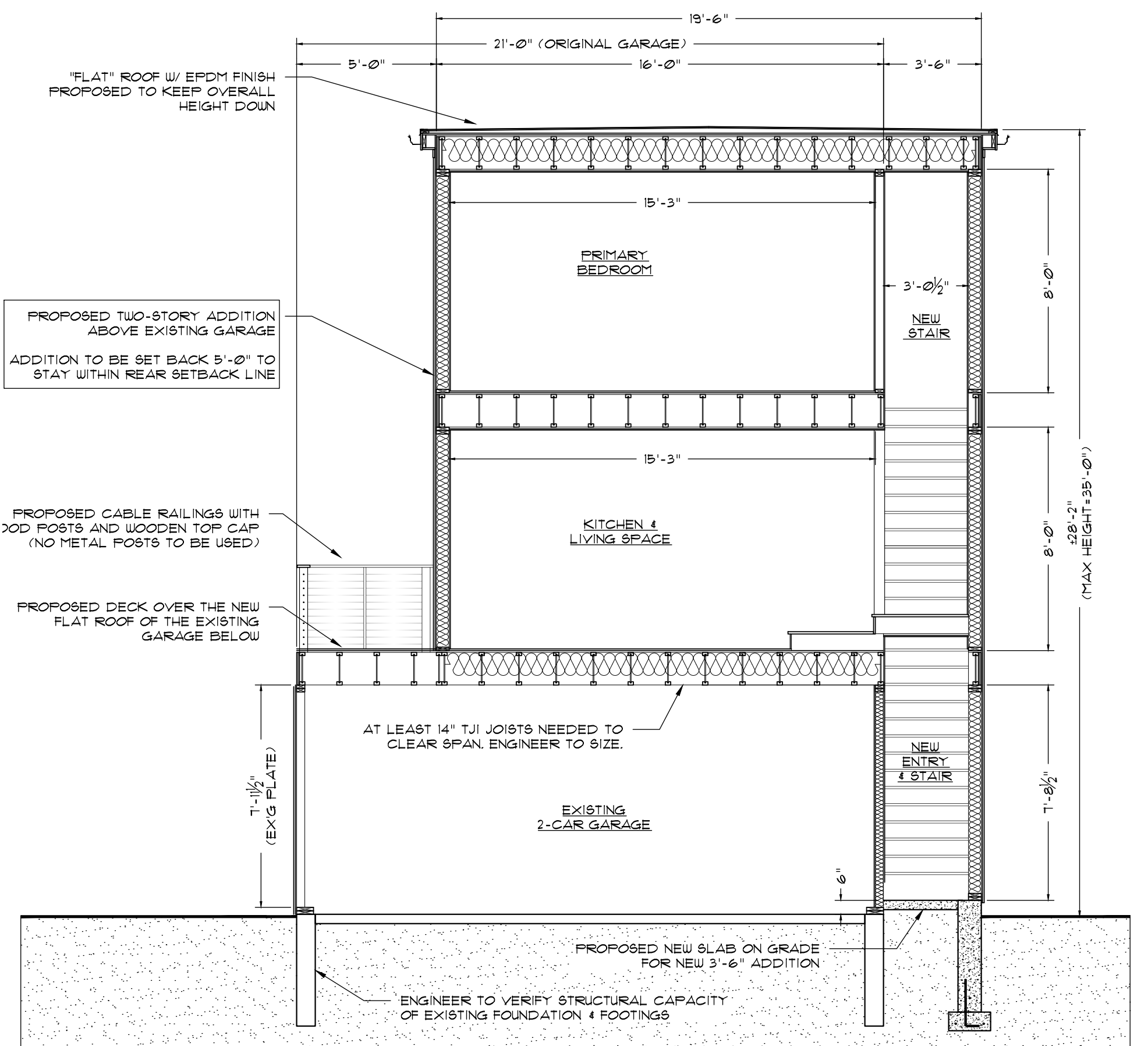
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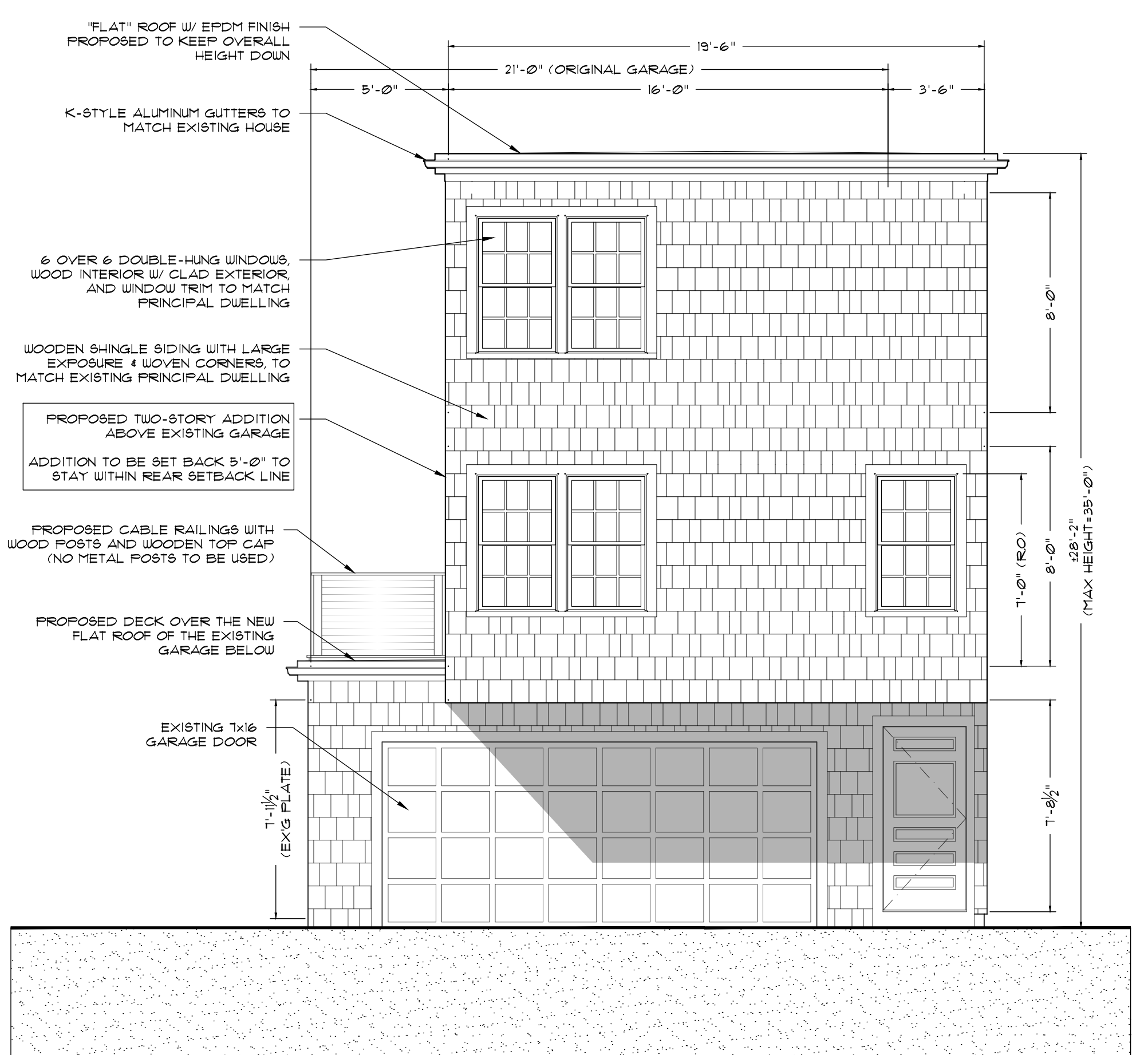
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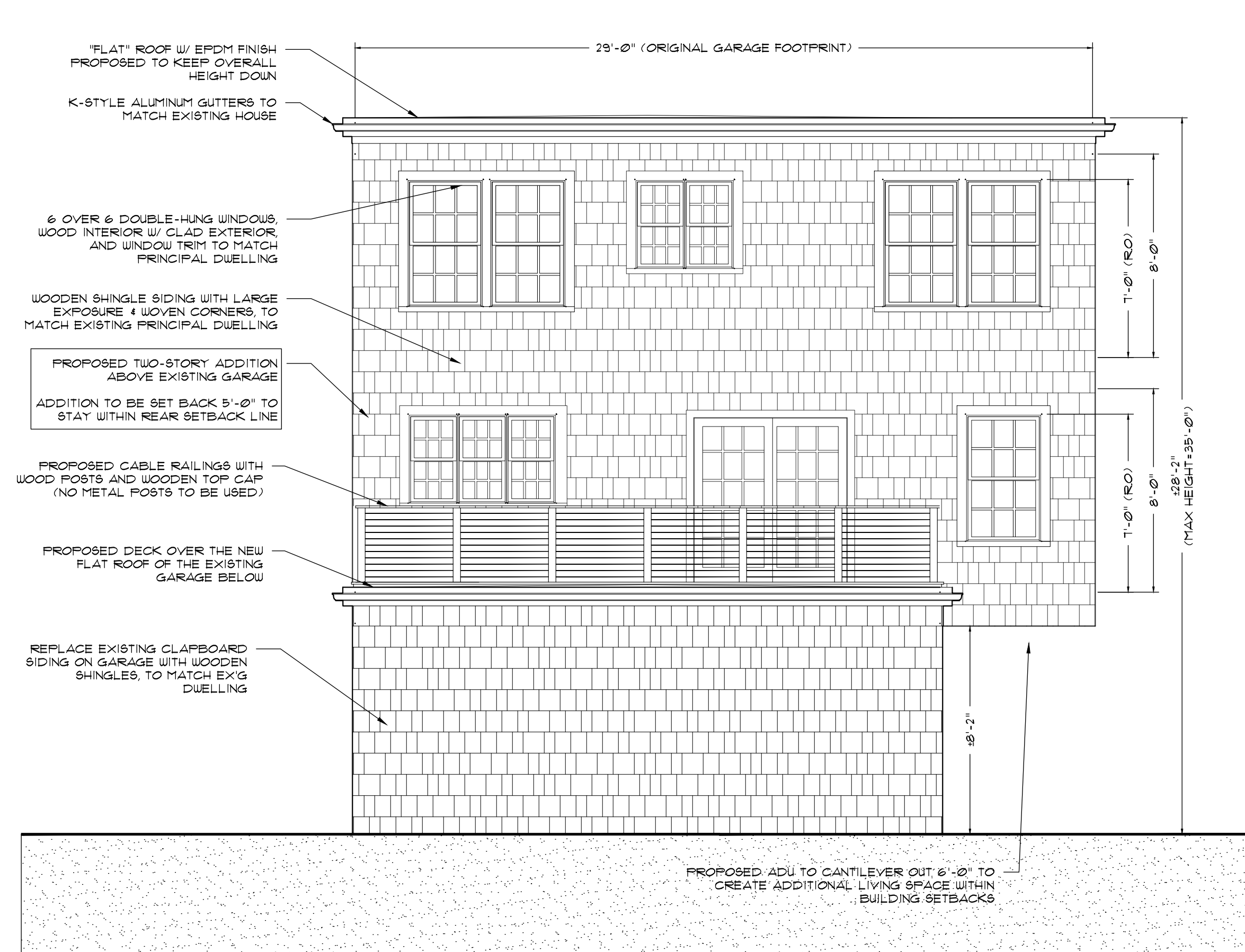
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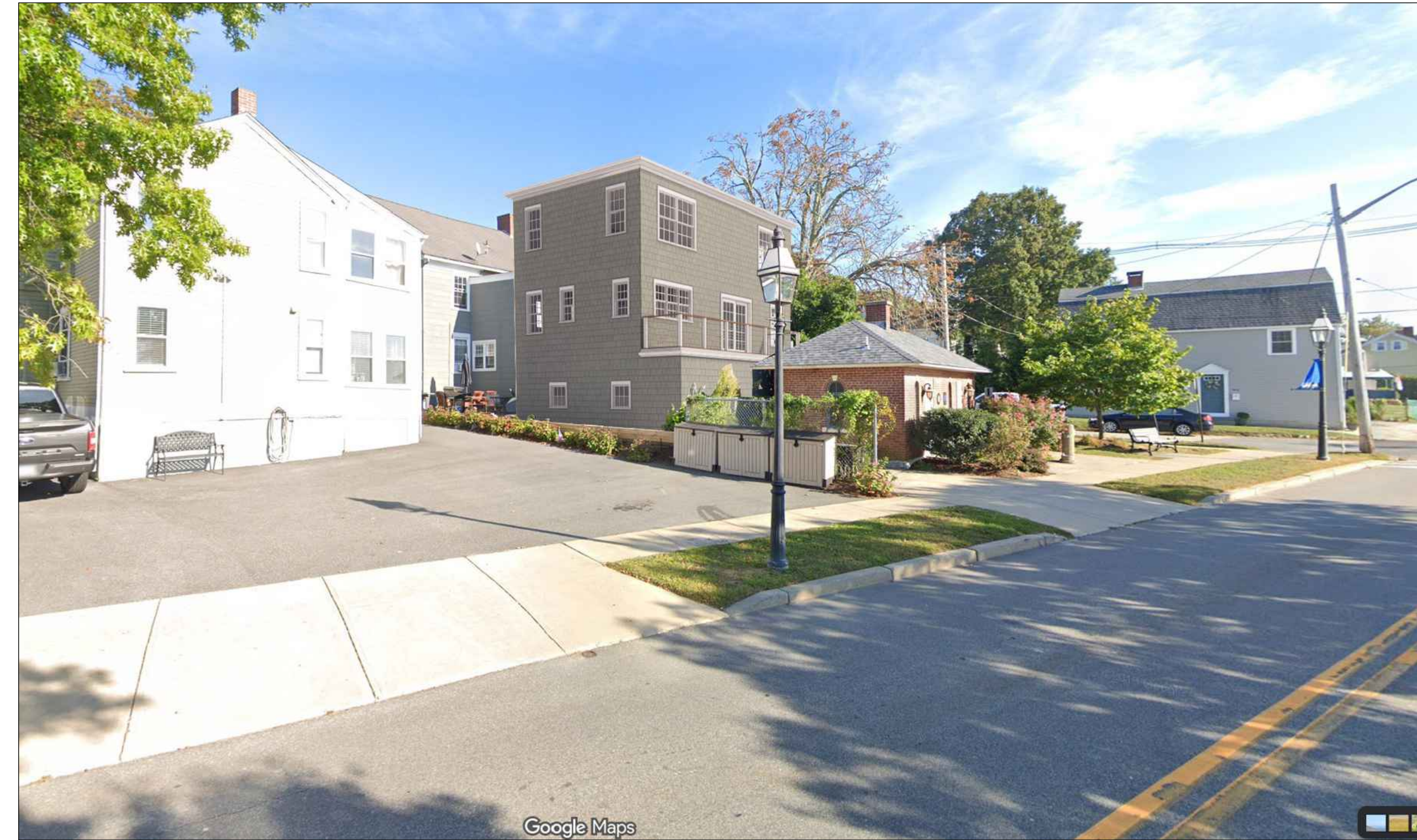
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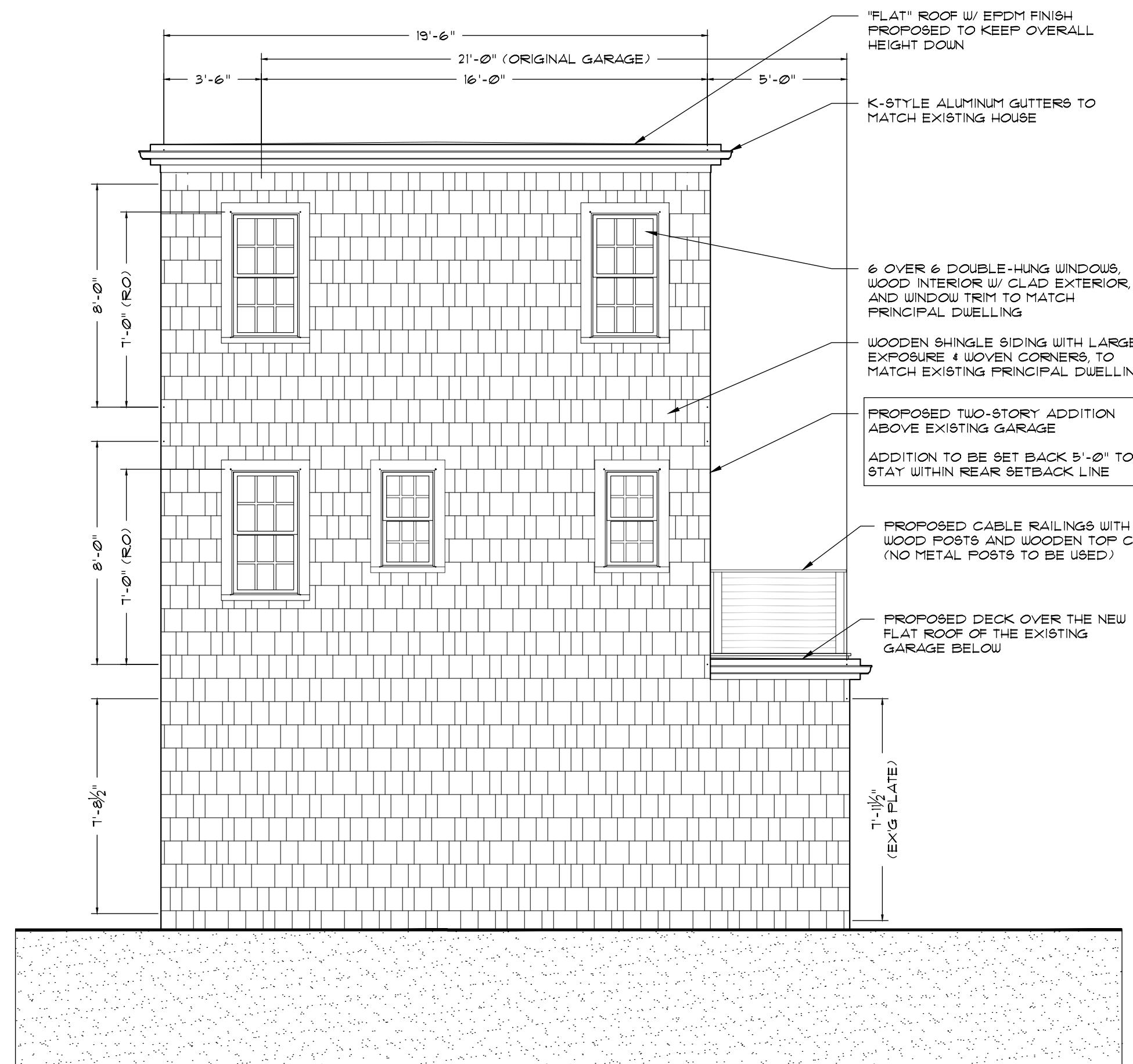
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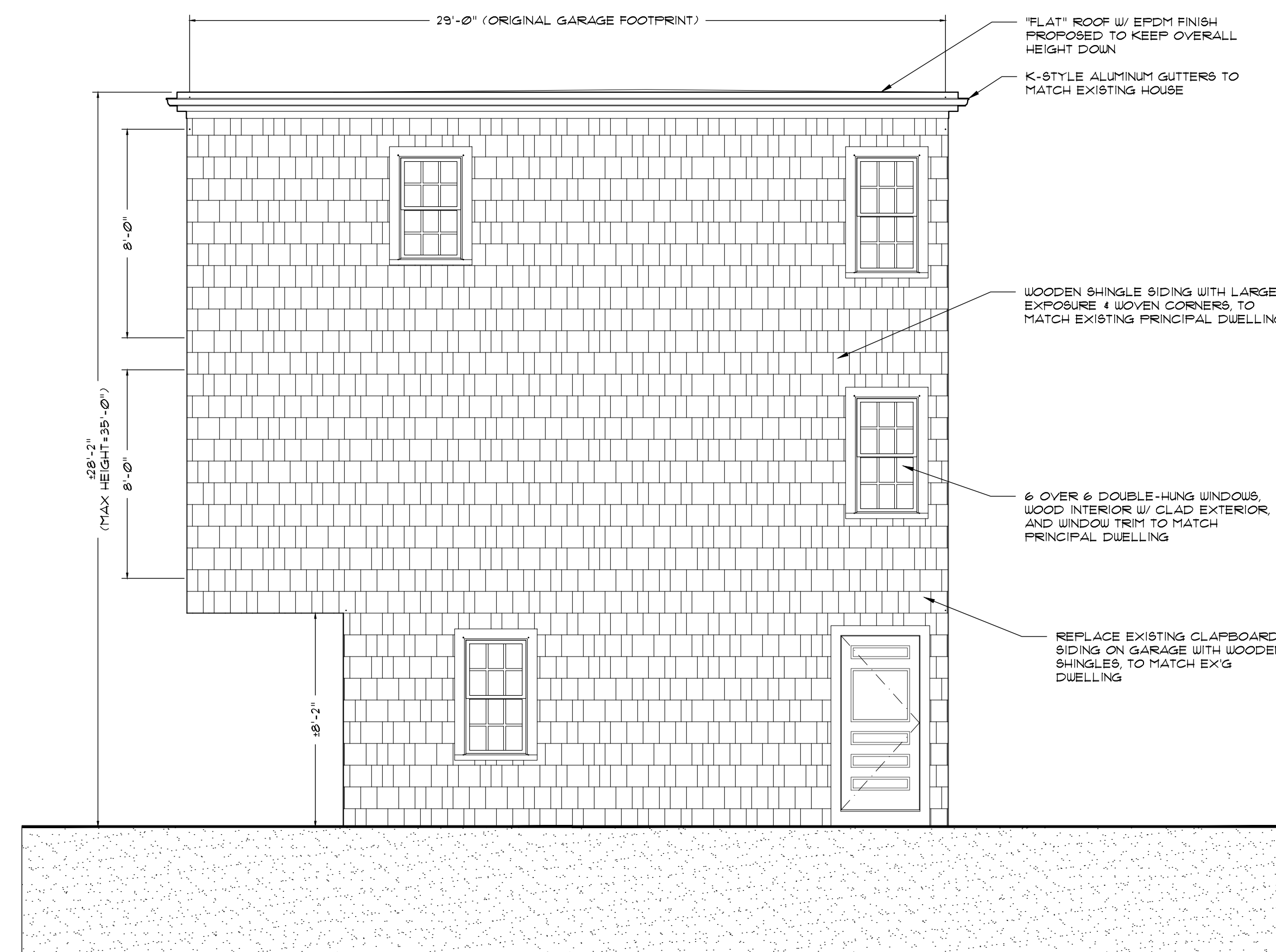
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02 VIEW FROM THAMES ST SCALE: N/A



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