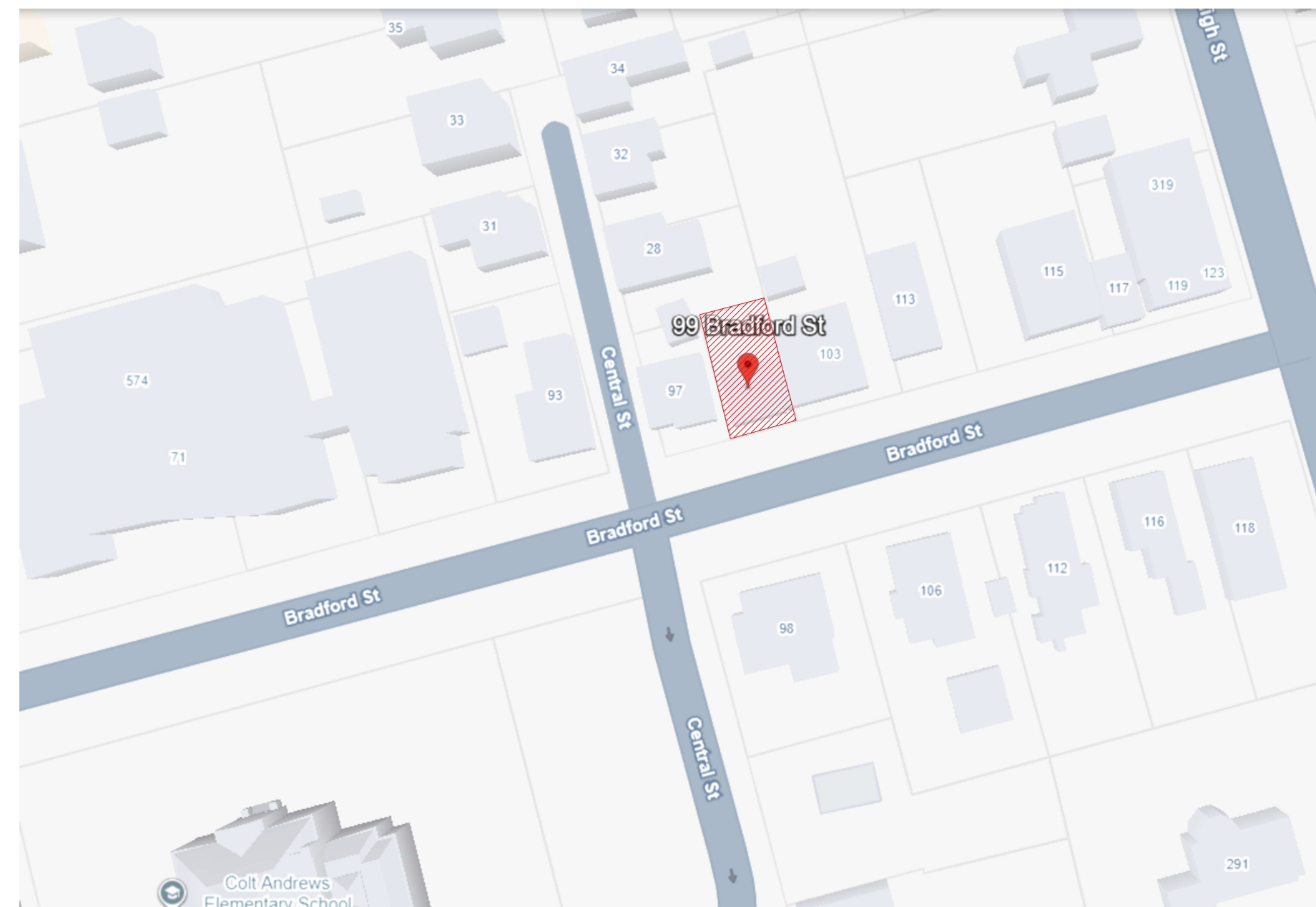


99-101 BRADFORD ST

BRISTOL, RI 02809

ISSUED FOR PERMIT 02-13-2026

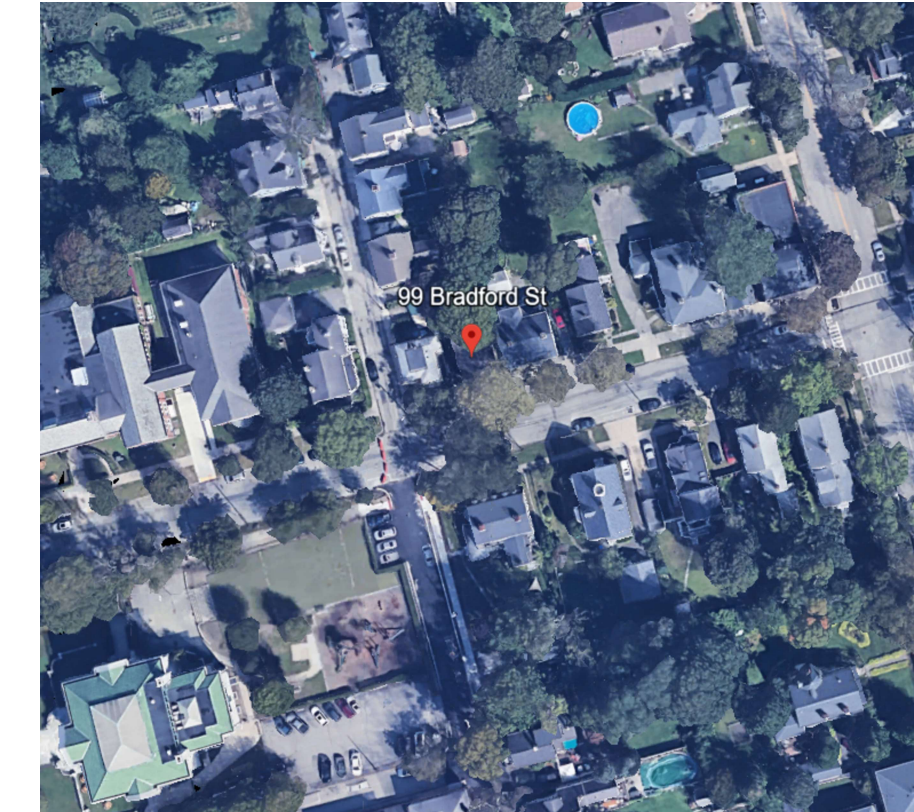
LOCATION PLAN



EXISTING PHOTO



SATELLITE PHOTO



SCOPE OF WORK

EXISTING TWO-STORY BUILDING WITH COMMERCIAL SPACE AT LEVEL ONE & ONE UNIT AT LEVEL TWO TO BE RENOVATED INTO ONE SINGLE-FAMILY HOME. NEW GABLED ROOF TO BE ADDED ABOVE THE EXISTING BUILDING.

CODE ANALYSIS

OCCUPANCY TYPE: RESIDENTIAL (R-3)
TYPE OF CONSTRUCTION: TYPE V.B

APPLICABLE CODES

- BUILDING CODE: SBC-1 (based on IBC 2018)
- RESIDENTIAL CODE: SBC-2 (based on IRC 2018)
- FIRE CODE: RI Fire Safety Code, NFPA 1 & 101 (2018)
- ELECTRICAL CODE: SBC-5 (NEC 2020)
- MECHANICAL CODE: SBC-4 (based on IMC 2018)
- PLUMBING CODE: SBC-3 (based on IPC 2018)
- ENERGY CODE: SBC-8 (based on IECC 2024)
- ACCESSIBILITY: ICC A117.1-2017 & ADA
- REHABILITATION CODE: RISRC-1
- FIRE SPRINKLER LAW: R.I. Gen. Laws § 23-28.1-6 / § 23-28.28

CODE SUMMARY

- PROPOSED USE OR OCCUPANCY: RESIDENTIAL - R-3
 - OCCUPANT LOAD: (200 GROSS SF/PERSON PER IBC 2018 §1004.5) APPROX. 1,800 SF = 9 PERSONS
CONSTRUCTION TYPE: V.B. - TABLE 504.3
- PER TABLE 601: STRUCTURAL FRAME, BEARING WALLS, FLOORS AND ROOF ARE NOT REQUIRED TO BE RATED
2.2. MAX. AREA IS UNLIMITED PER FLOOR PER TABLE 504.3 & 506.2 AND MAXIMUM HEIGHT IS 3 STORIES ABOVE GRADE
- PER IRC 2018 §R311.2, DWELLINGS SHALL BE PROVIDED WITH A PRIMARY AND SECONDARY MEANS OF EGRESS
4. MINIMUM WIDTH OF EGRESS STAIR: 36 INCHES PER IBC 2018 §1011.2 / IRC §R311.7.1
- MAXIMUM LENGTH OF EXIT TRAVEL: 200 FEET PER IBC 2018 §1017.2
- FIRE RATED CONSTRUCTION:
 - PER TABLE 602, IN V.B CONSTRUCTION EXTERIOR WALLS MORE THAN 10' FROM PROPERTY LINE ARE NOT REQUIRED TO BE RATED, 10' OR LESS MUST BE 1 HOUR RATED
 - STAIRS WITHIN DWELLING UNIT ARE NOT REQUIRED TO BE RATED (IBC 2018 §1011.2 EXCEPTION 1)
- COMPLY WITH 310.5.1 AND 310.5.2
- PER TABLE 716.1(2): 1 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1 HOUR DOORS
- SINGLE-FAMILY CONSTRUCTION IS EXEMPT FROM ACCESSIBILITY REQUIREMENTS.

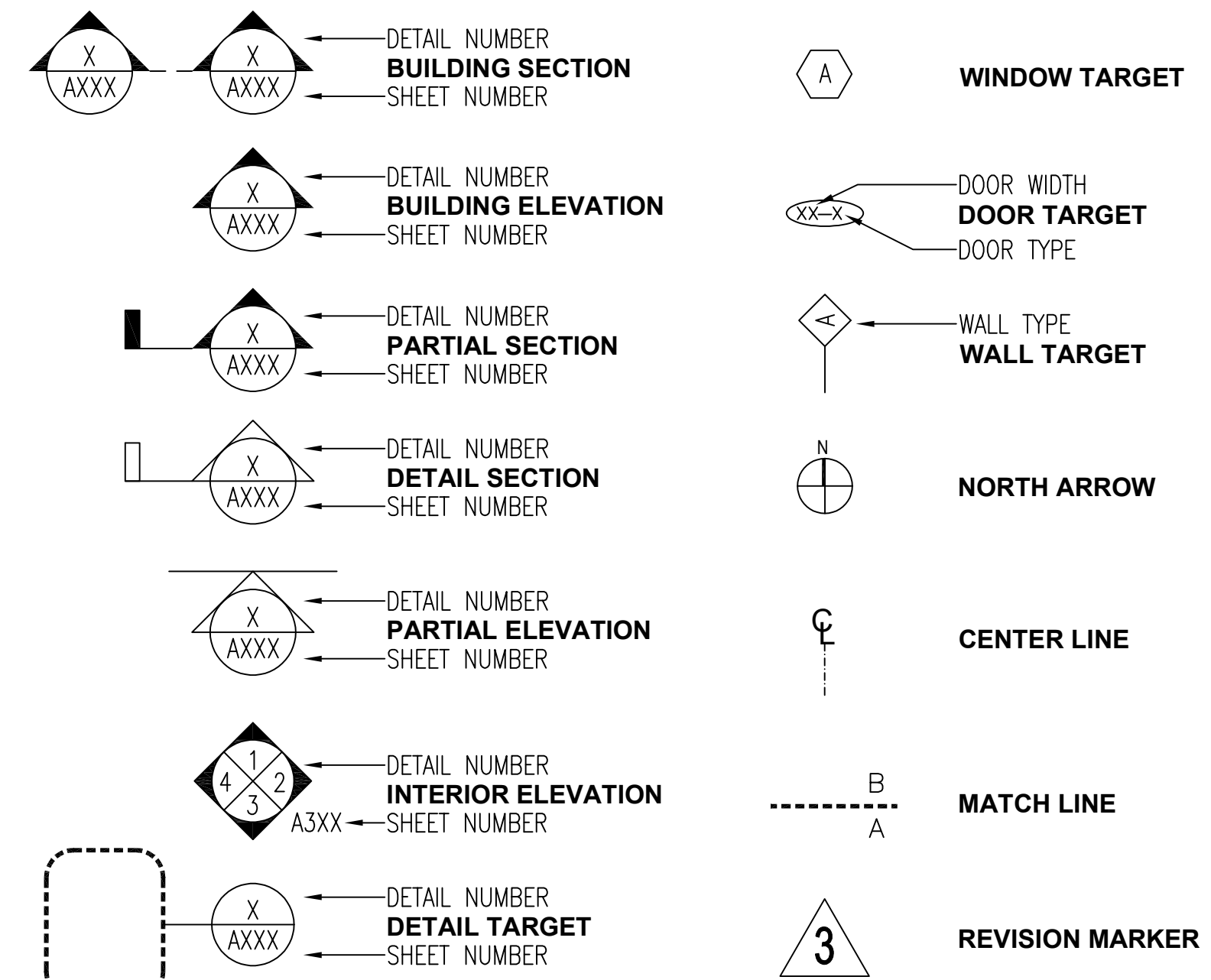
ENERGY REQUIREMENTS

- RHODE ISLAND STATE ENERGY CODE - BASED ON THE 2024 INTERNATIONAL ENERGY CONSERVATION CODE (IECC 2024), CHAPTER 4: RESIDENTIAL ENERGY EFFICIENCY - RESIDENTIAL BUILDINGS
- CLIMATE ZONE 5 PER TABLE 301.1
- EXISTING WALLS AND CEILINGS: FILL EXISTING WALL AND CEILING CAVITIES WITH INSULATION PER IECC 503.1
PER IECC TABLE 402.1.2, FIXED FENESTRATION SHALL HAVE A U-FACTOR OF 0.36 OR BETTER; OPERABLE FENESTRATION SHALL HAVE A U-FACTOR OF 0.45 OR BETTER, AND SHGC 0.33 OR BETTER.
- SKYLIGHTS SHALL HAVE A U-FACTOR OF 0.5 OR BETTER, SHGC OF 0.4 OR BETTER PER 402.4.
- VAPOR RETARDER IS REQUIRED TO COMPLY WITH R402.1.1 OF THE IECC AND R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE. VAPOR RETARDER IS NOT REQUIRED IN BASEMENT OR BELOW GRADE WALLS.
- R402.1.3 - CEILING: R=60; WOOD FRAME WALL: R-20 (CAVITY)+ 5 (CONTINUOUS); FLOOR R=30; BASEMENT WALLS AND CRAWL SPACES: R=15 CONTINUOUS OR R=19 IN CAVITY OR R=13 IN CAVITY WITH R=5 CONTINUOUS; SLAB R=10ci TO 4'
- DEMAND RECIRCULATION WATER SYSTEMS SHALL HAVE CONTROLS THAT COMPLY WITH REQUIRED CODES
- REFER TO PLUMBING DRAWINGS FOR INSULATION AT PIPING.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
 - BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
 - WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. (312) 780-9456
- WHERE APPROPRIATE, EXISTING SPRINKLER HEADS ALARM SYSTEM AND DETECTORS ARE TO REMAIN. MODIFY LOCATIONS ONLY WHERE CEILING IS ALTERED OR AS INDICATED ON FIRE PROTECTION DRAWINGS.
- EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
 - MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
 - COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
- PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
- EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING, CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
 - DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES

SYMBOLS



99-101 BRADFORD
Bristol, RI

Carl Pearson

ARCHITECT:

context

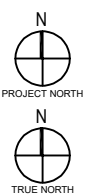
a collaborative design workshop

200 Portland Street, Boston, MA, 02114
(312) 780-9456

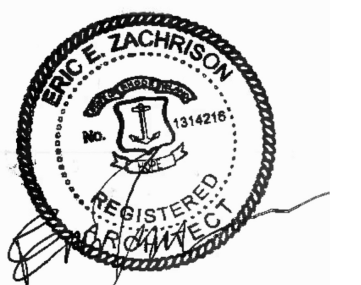
LIST OF DRAWINGS

- A000 COVER, ANALYSIS, NOTES
- A101 PLANS
- A201 BUILDING ELEVATION
- A701 EXTERIOR WALL & INTERIOR PARTITION ASSEMBLIES
- A703 TYPICAL DETAILS
- A901 EXISTING PLANS
- A951 EXISTING ELEVATIONS

PROJECT KEY PLAN:



SEAL:



DRAWN BY:

CHECKED BY: EZ

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COVER, ANALYSIS, NOTES

PROJECT No. 0833

SHEET No.

DATE: 02-13-2026

SCALE: AS INDICATED

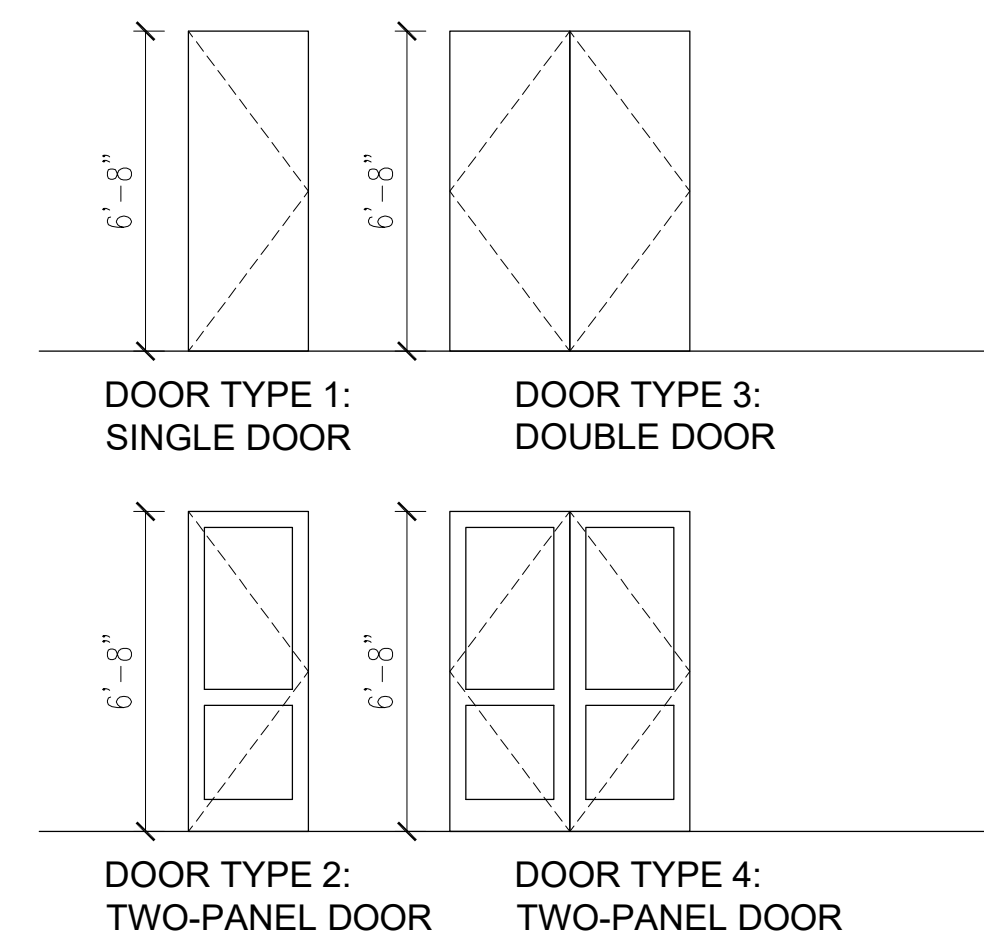
A000

SHEET NOTES

- REFER TO SHEET A701 FOR TYP. WALL ASSEMBLIES
- REFER TO SHEET A702 FOR TYP. FLOOR, ROOF, & CEILING ASSEMBLIES
- ALL NEW INTERIOR PARTITIONS TO BE TYPE A UNLESS NOTED OTHERWISE
- ALL NEW BATHROOM TUBS TO BE 30"X60", AND SHOWERS 36"X60" UNLESS NOTED OTHERWISE
- COORD. WITH OWNER AND ARCHITECT ON FINISH MATERIALS

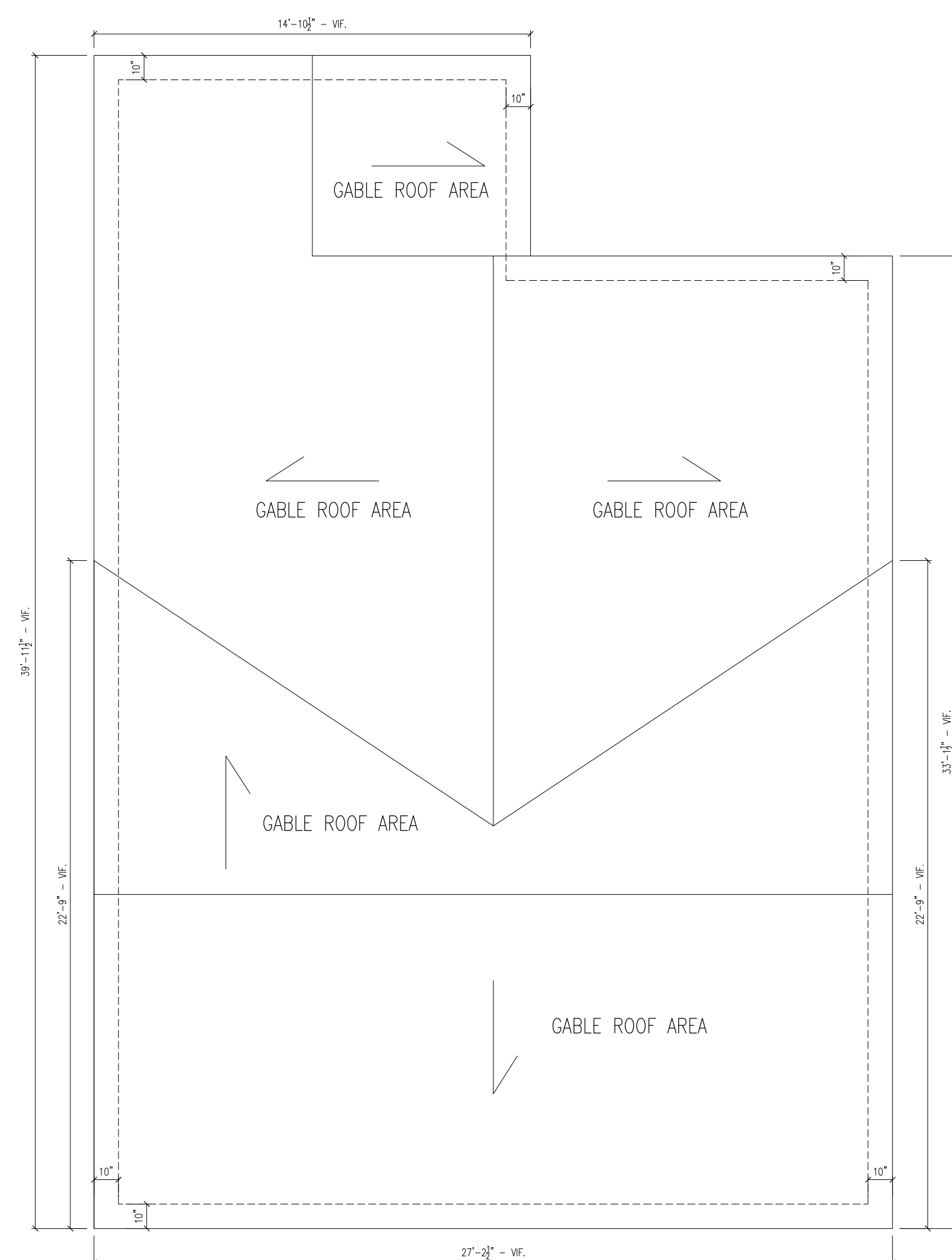
DOOR SCHEDULE

- ALL NEW DOORS TO BE 6'-8" HIGH, 1 3/4" THICK SOLID CORE WOOD DOORS WITH WOOD FRAMES UNLESS NOTED OTHERWISE.
- INTERIOR DOORS ARE TO BE PAINTED WHITE, CONFIRM EXTERIOR DOOR COLOR AND FINISH WITH OWNER AND ARCHITECT
- DOOR TYPES:

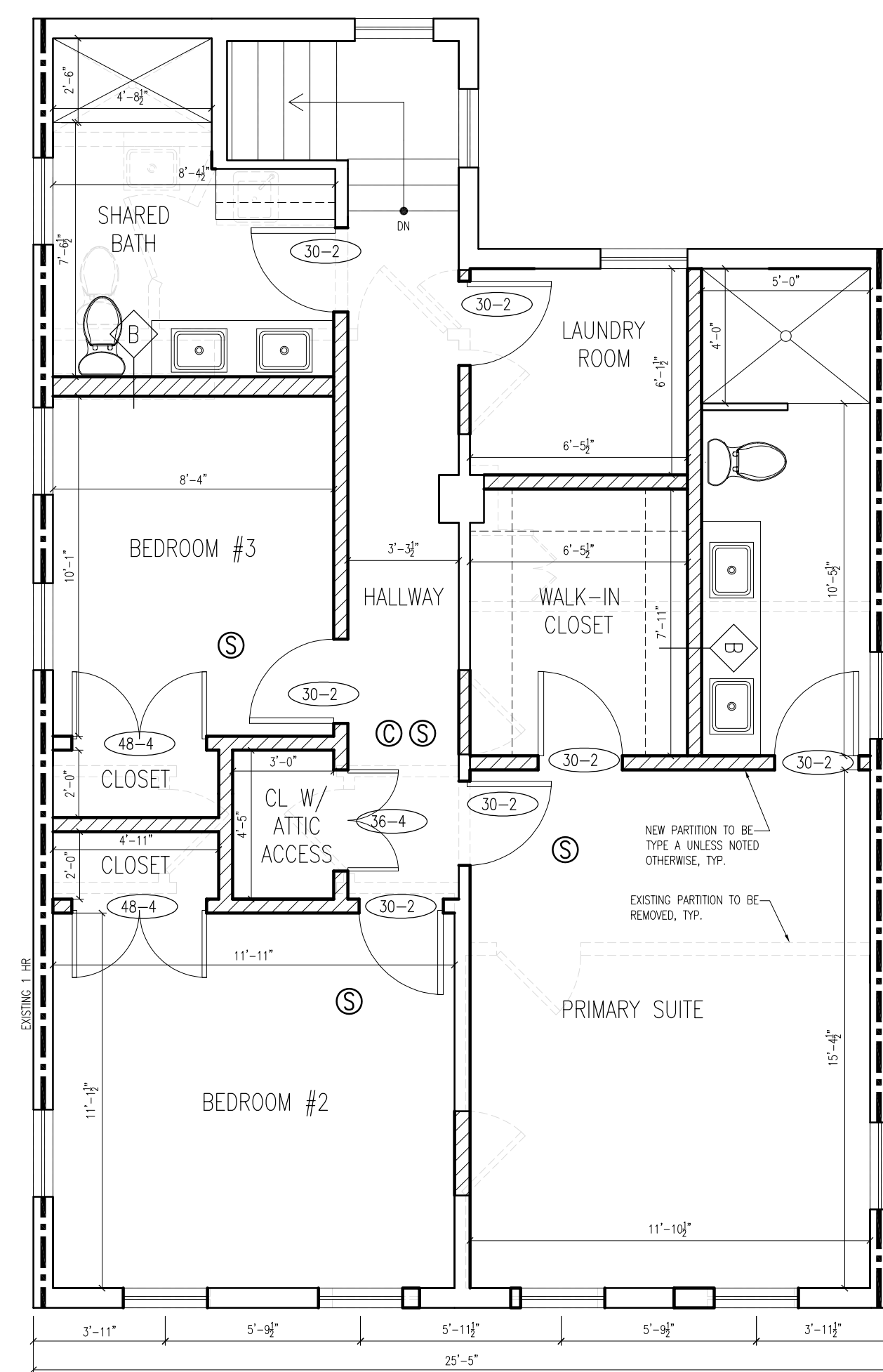


LEGEND

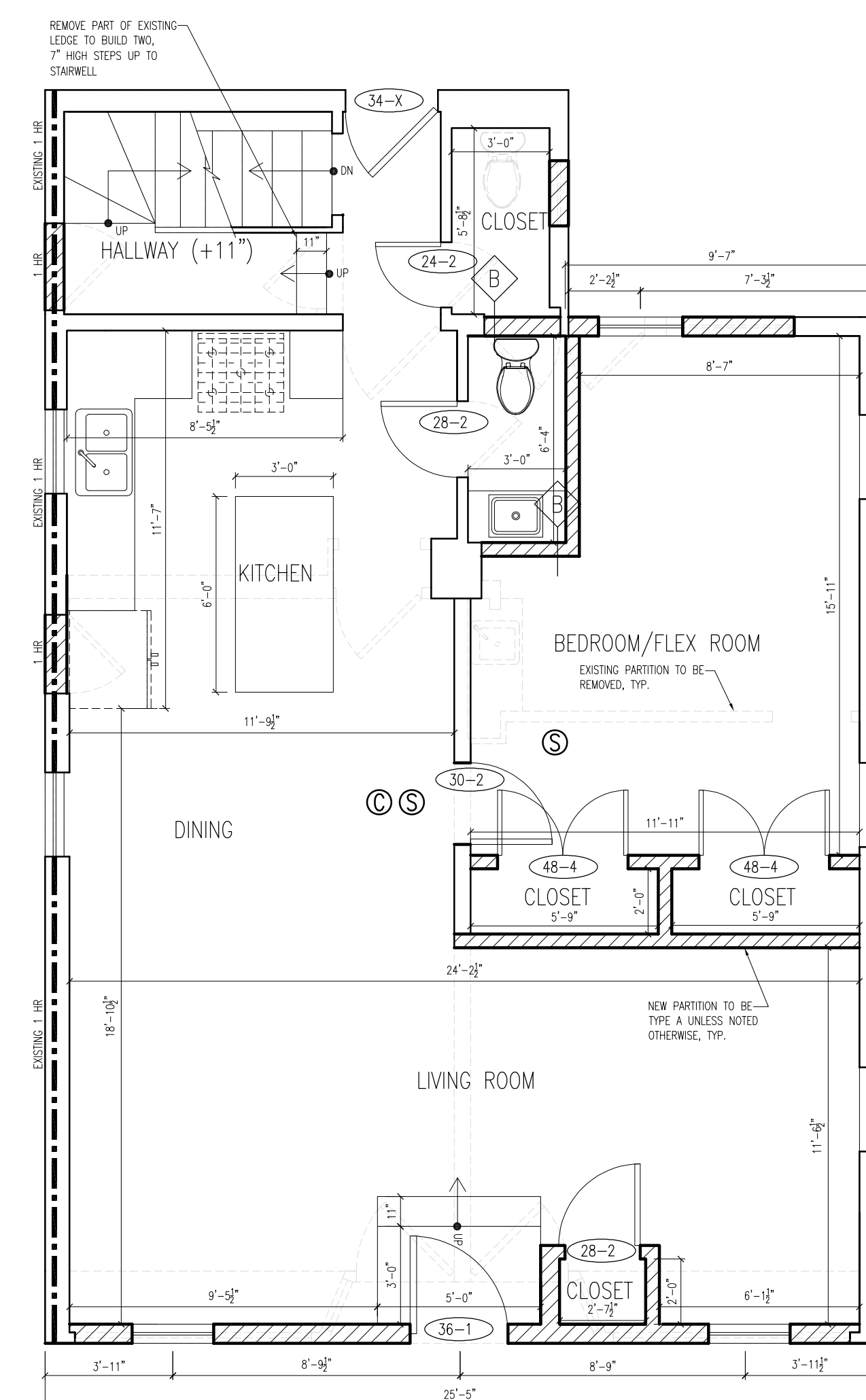
- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- PARTITION RATING
- 1/2 HOUR RATED PARTITION
- 1 HOUR RATED PARTITION
- 2 HOUR RATED PARTITION
- 3 HOUR RATED PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
4" BETWEEN ADJACENT WALL AND OPENING, UNLESS NOTED OTHERWISE
- SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
- CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR, HARDWIRED AND INTERCONNECTED



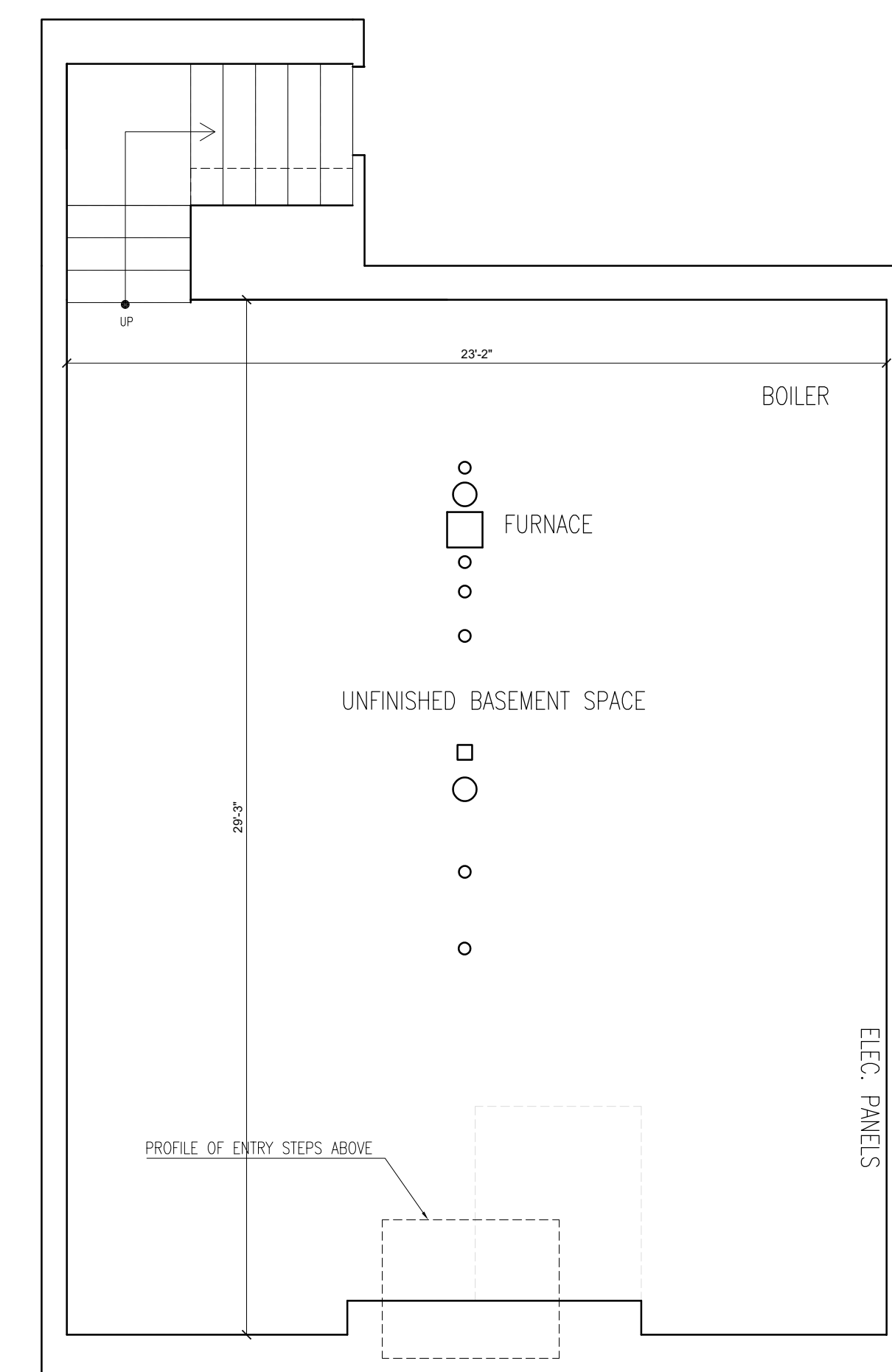
R ROOF PLAN
SCALE: 1/4" = 1'-0"



2 LEVEL 2 PLAN
SCALE: 1/4" = 1'-0"

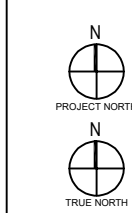


1 LEVEL 1 PLAN
SCALE: 1/4" = 1'-0"



B BASEMENT PLAN
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



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PLANS

PROJECT No.: 0833
DATE: 02-13-2026
SCALE: AS INDICATED

SHEET No.: **A101**

- SHEET NOTES**
1. ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
 2. A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
 3. MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS



1 BRADFORD ST. ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



DRAWN BY:

CHECKED BY: EZ

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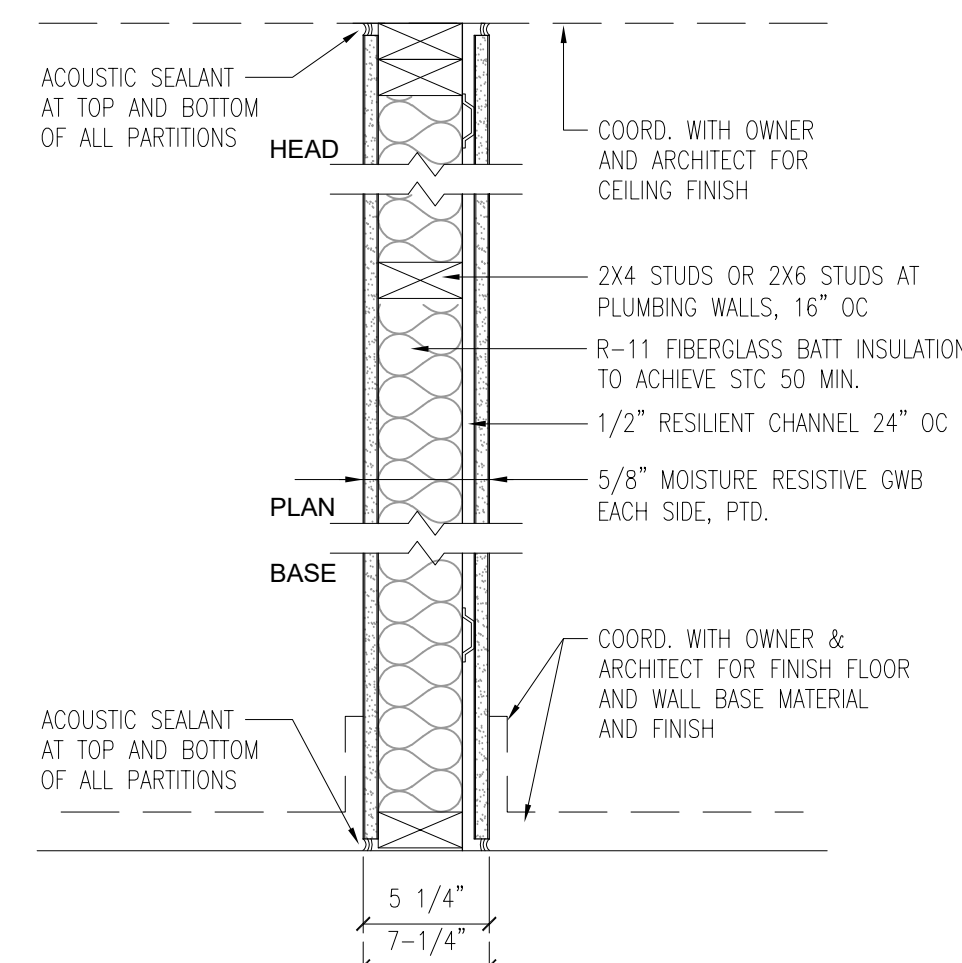
BUILDING ELEVATIONS

PROJECT No.: 0833
DATE: 02-13-2026
SCALE: AS INDICATED

SHEET No.: **A201**

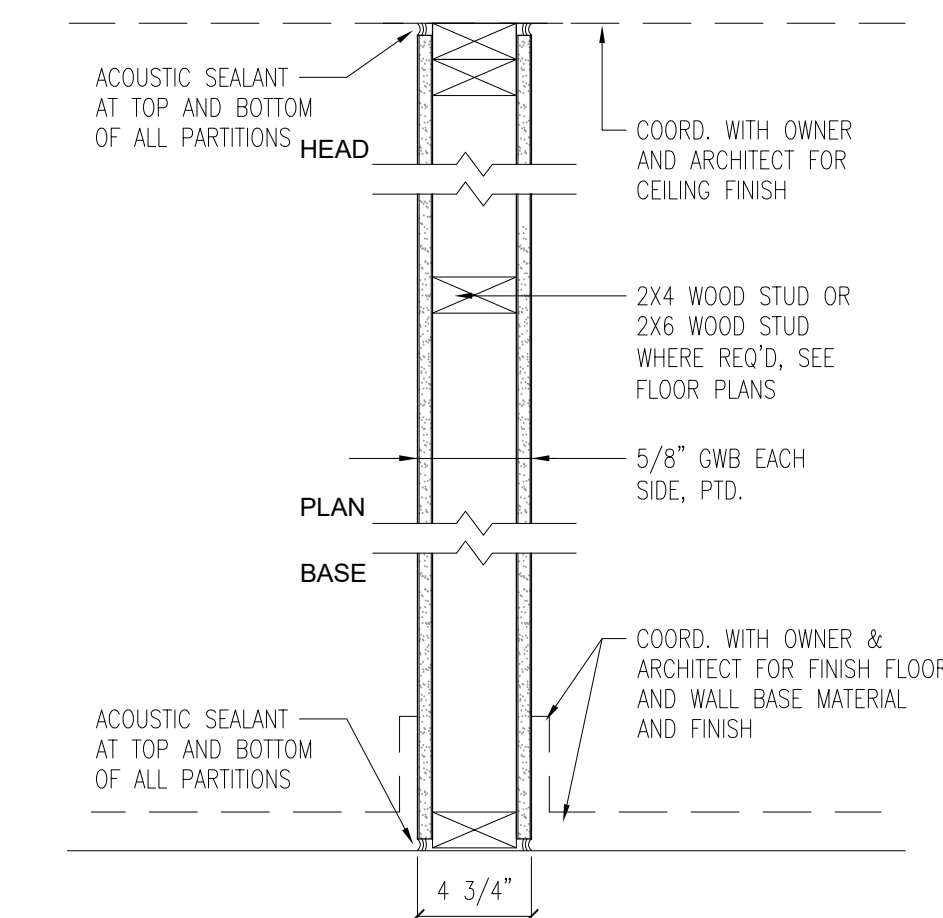
SHEET NOTES

1. EWA = EXTERIOR WALL ASSEMBLY
2. IP = INTERIOR PARTITION
3. NR = NOT RATED

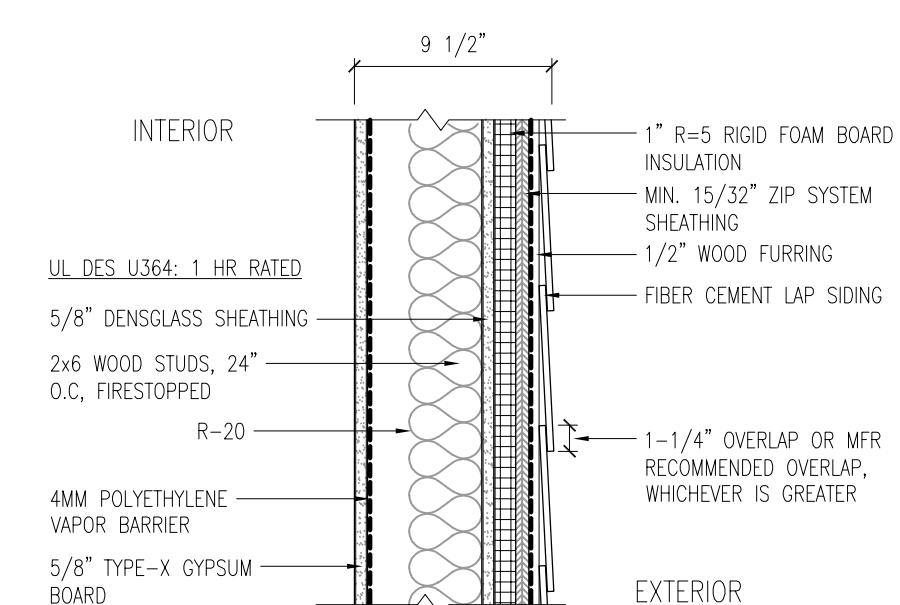


B IP: 2X4 BATHROOM PARTITION (NR)
SCALE: 1 1/2" = 1'-0"

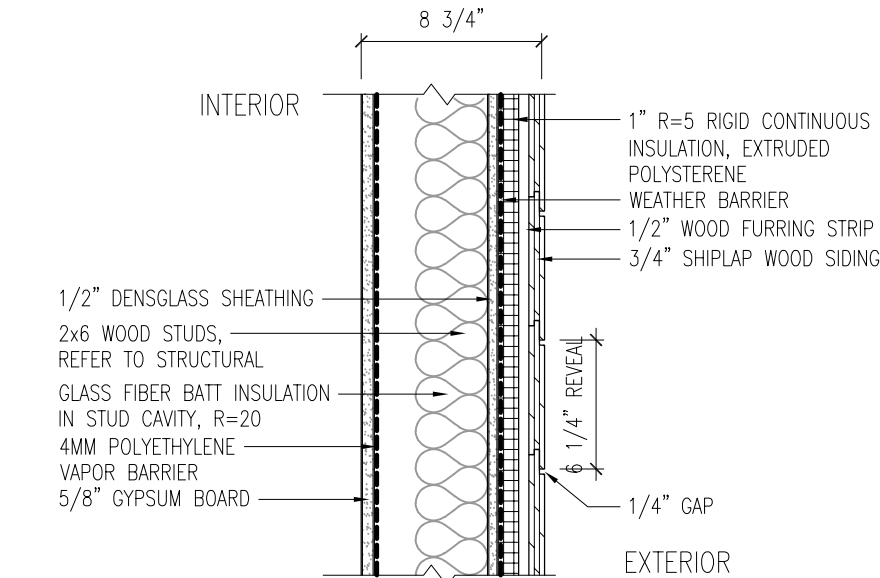
B2 IP: 2X6 BATHROOM PARTITION (NR)
SCALE: 1 1/2" = 1'-0"



A IP: INTERIOR PARTITION (NR)
SCALE: 1 1/2" = 1'-0"



2 EWA: LAP SIDING (1HR)
SCALE: 1 1/2" = 1'-0"



1 EWA: LAP SIDING
SCALE: 1 1/2" = 1'-0"

PROJECT KEY PLAN:



SEAL:



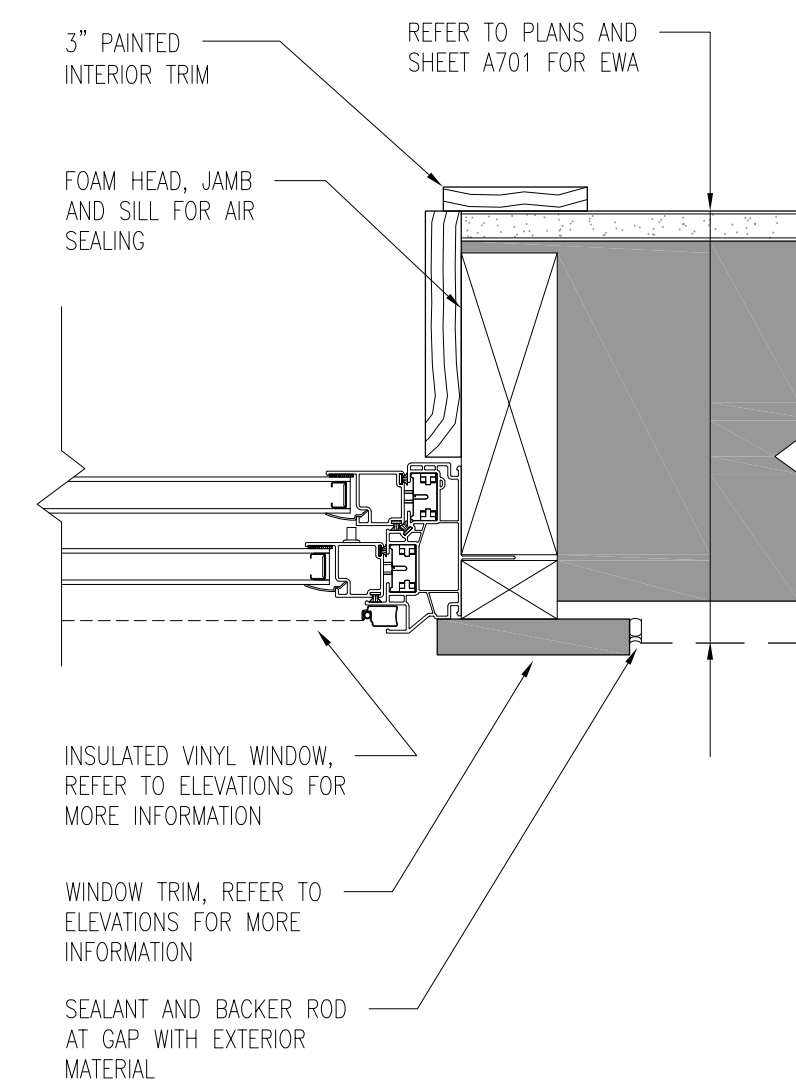
DRAWN BY: CHECKED BY: EZ

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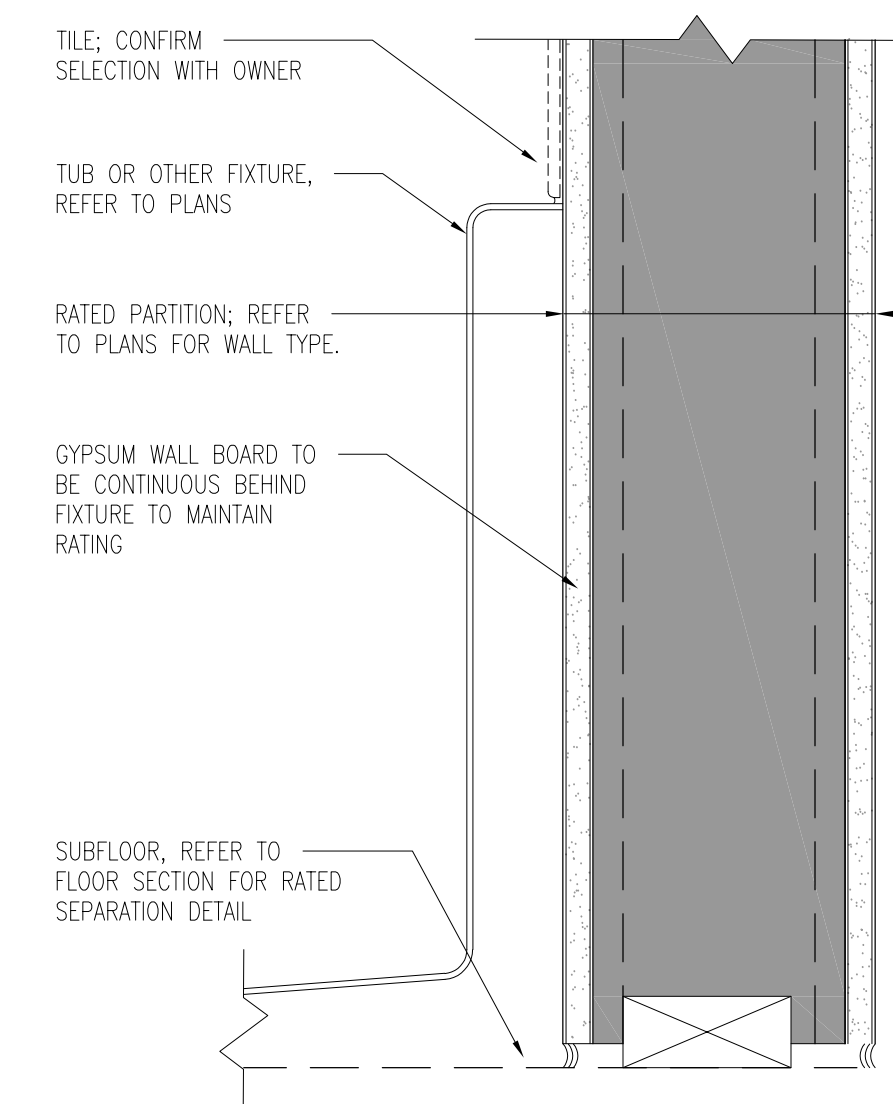
EXTERIOR WALL & INTERIOR PARTITION ASSEMBLIES

PROJECT No.: 0833 SHEET No.: **A701**
DATE: 02-13-2026
SCALE: AS INDICATED

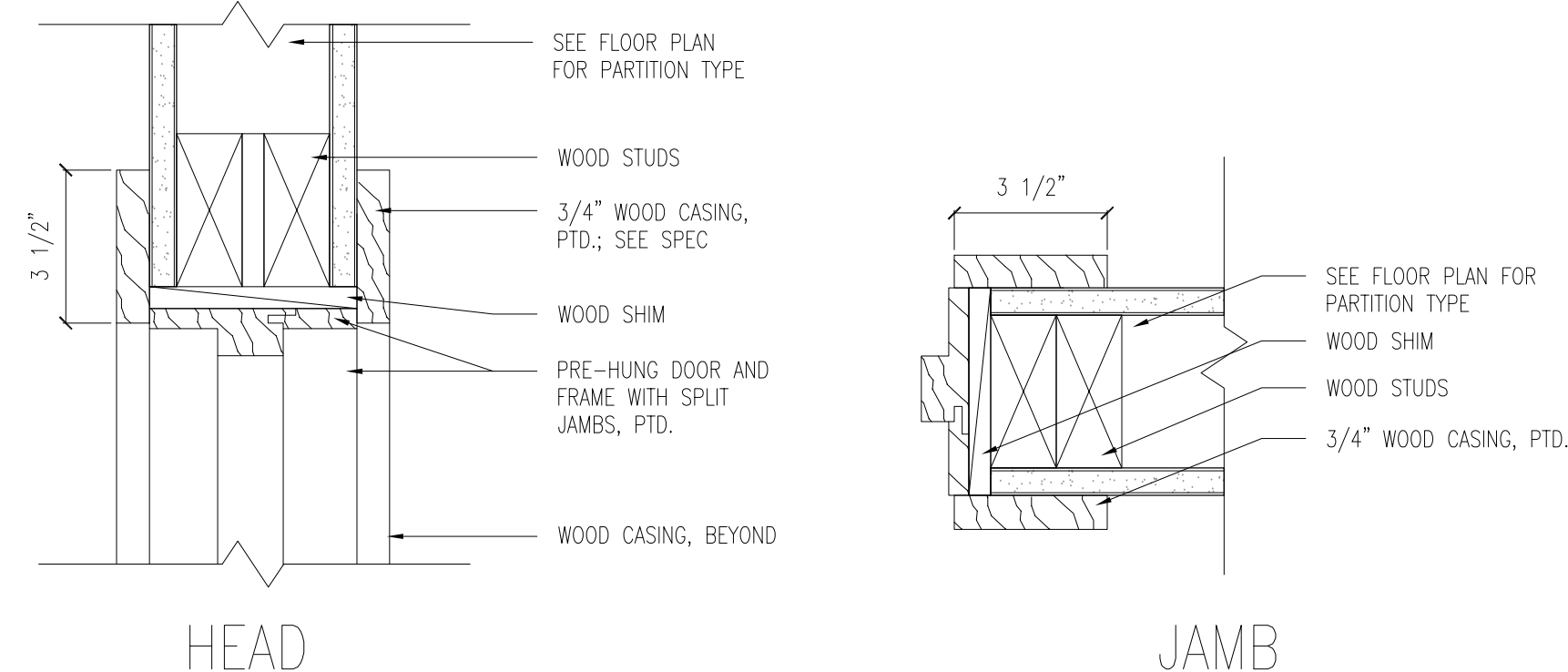
SHEET NOTES
1.



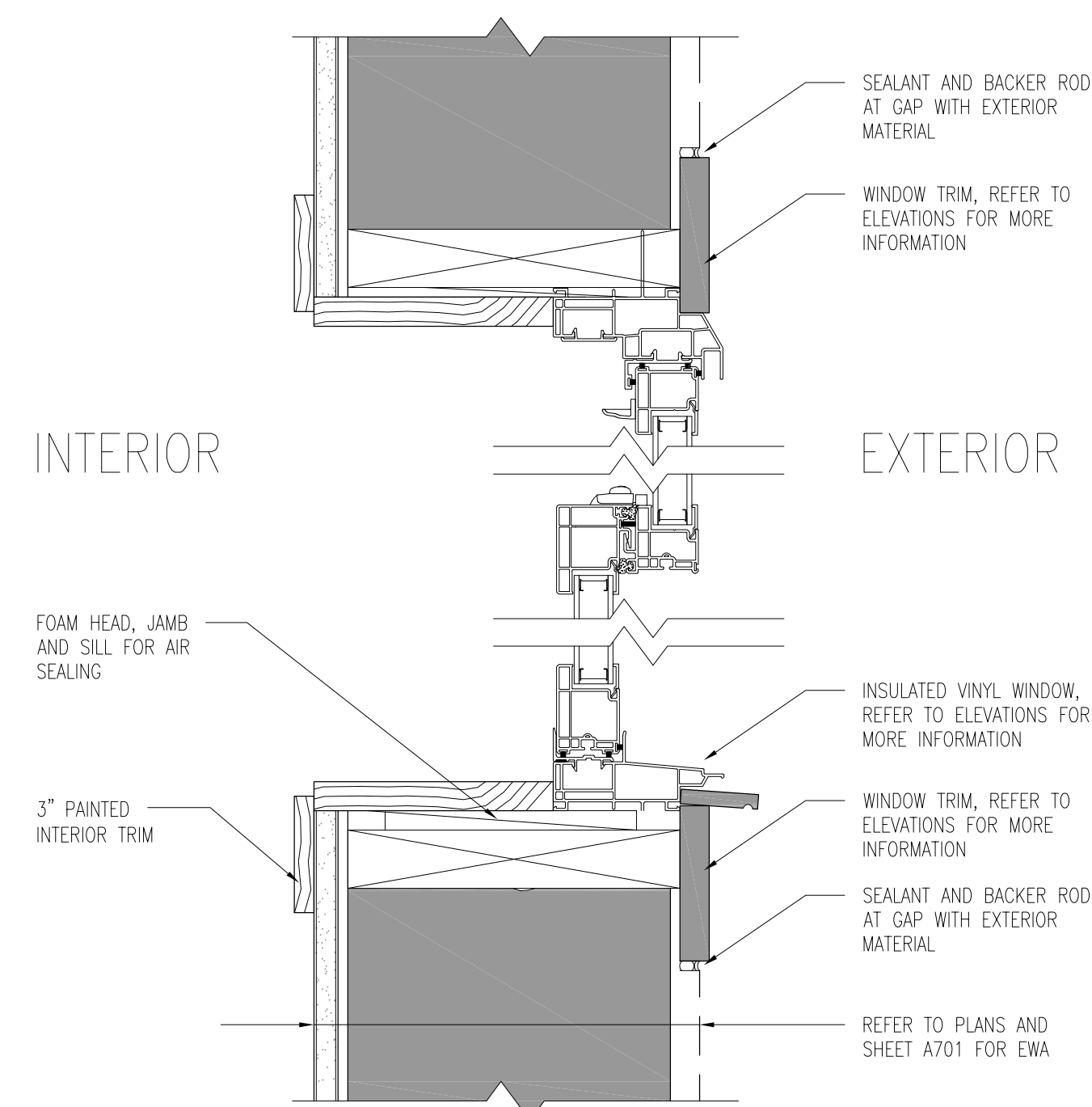
5 TYPICAL WINDOW JAMB DETAIL
SCALE: 3" = 1'-0"



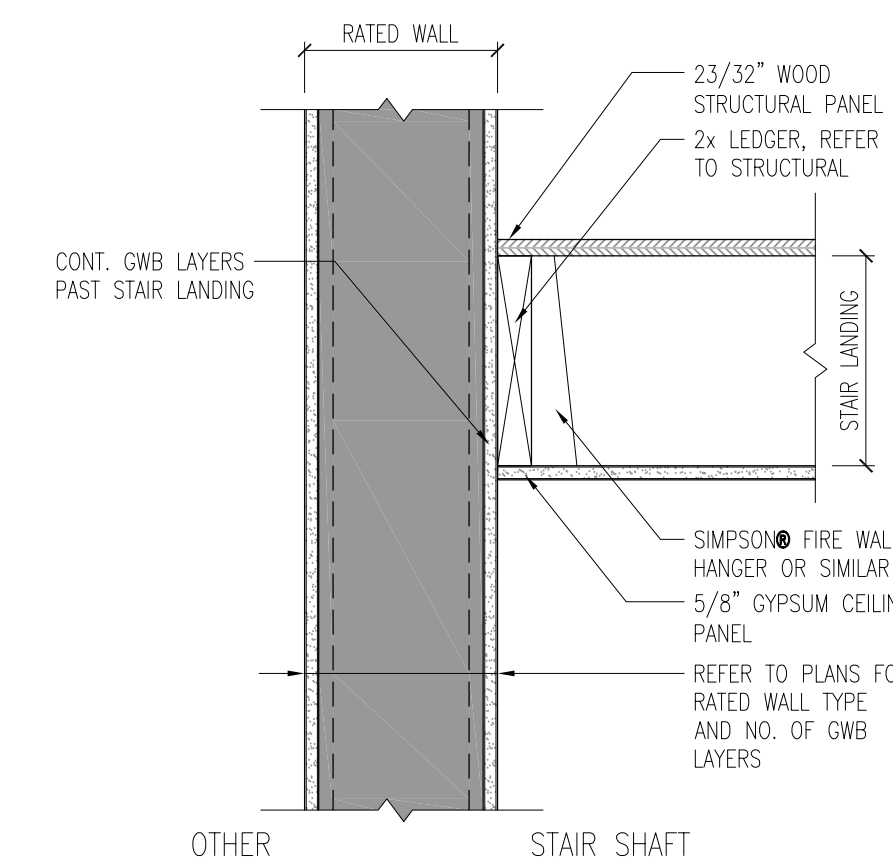
3 FIXTURE @ FIRE-RATED WALL SECTION DETAIL
SCALE: 3" = 1'-0"



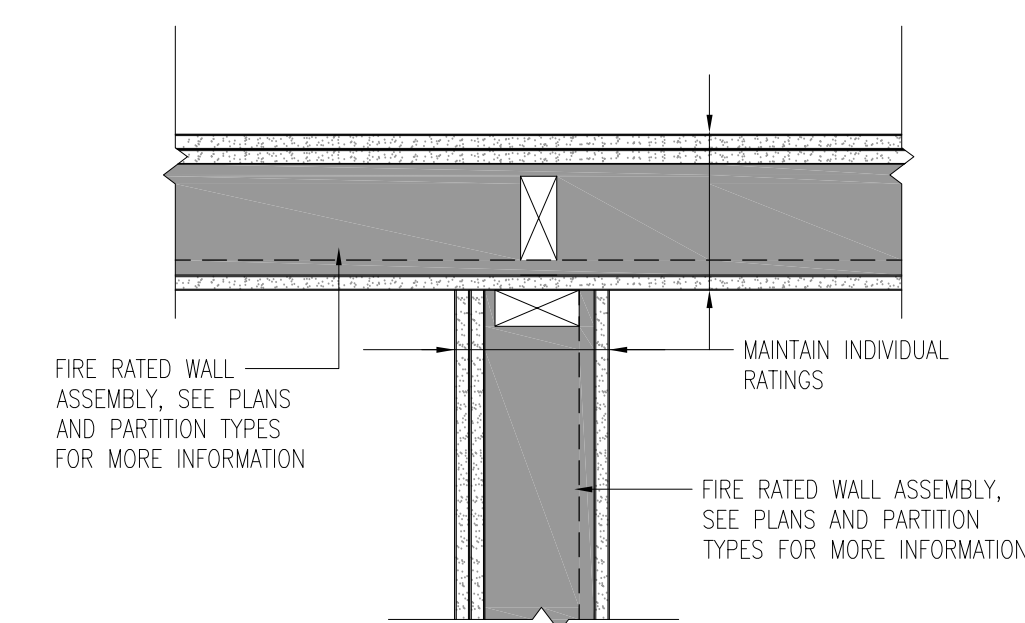
6 TYPICAL WOOD DOOR FRAME DETAILS
SCALE: 3" = 1'-0"



4 TYPICAL WINDOW HEAD/SILL DETAIL
SCALE: 3" = 1'-0"



2 FIRE-RATED WALL @ STAIR LANDING
SCALE: 1-1/2" = 1'-0"



1 FIRE-RATED PARTITION PLAN DETAIL
SCALE: 1-1/2" = 1'-0"

PROJECT KEY PLAN:



SEAL:



DRAWN BY:

CHECKED BY: EZ

00 02-13-2026

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TYPICAL DETAILS

PROJECT No.:

0833

SHEET No.:

A703

DATE:

02-13-2026

SCALE:

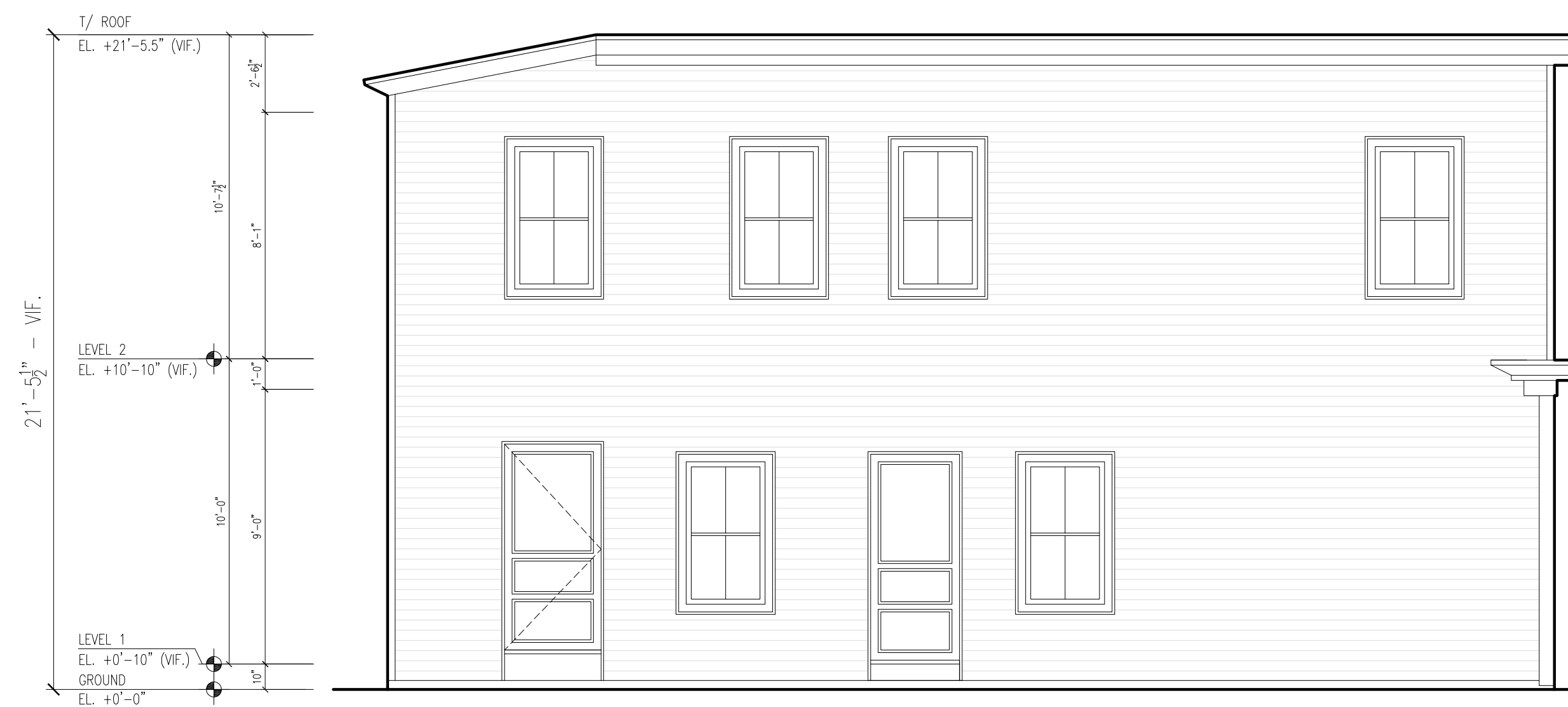
AS INDICATED

SHEET NOTES

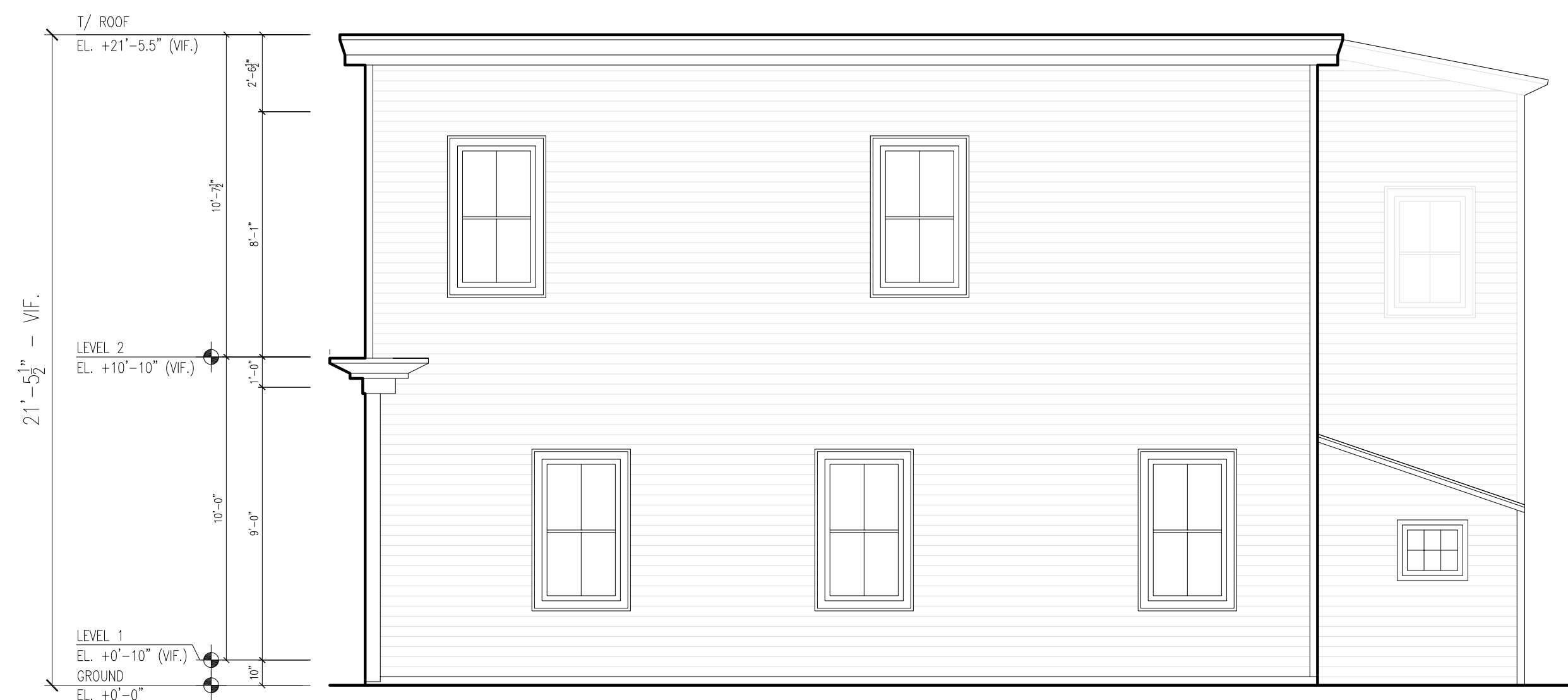
1. ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
2. A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
3. MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS



1 BRADFORD ST. ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



4 REAR ELEVATION
SCALE: 1/4" = 1'-0"

PROJECT KEY PLAN:



SEAL:



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EXISTING ELEVATIONS

PROJECT No.: 0833 SHEET No.: **A951**
DATE: 02-13-2026
SCALE: AS INDICATED