

LOCUS NOT TO SCALE

NOTES:

- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM AN ACTUAL ON THE GROUND SURVEY PERFORMED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. FROM AUGUST 3, 2018 TO MARCH 31, 2023. WETLANDS DISPLAYED ARE APPROXIMATE AND ARE BASED OFF OF "BRISTOL COUNTY MEDICAL ASSOC., SITE IMPROVEMENT PLAN" BY AYOUB ENGINEERING, SIGNED BY THE BRISTOL PLANNING BOARD ON OCTOBER 4, 2000.
- ELEVATIONS ARE REFERENCED TO NAVD88.
- PROPERTY LINES SHOWN HEREIN ARE REFERENCE TO ADMINISTRATIVE SUBDIVISION PLAN PREPARED BY LAND DEVELOPMENT & ENVIRONMENTAL CONSULTING, LATEST REVISION 3/7/2023.
- THE SITE IS LOCATED WITHIN A ZONE X FLOOD HAZARD AREA AS DETERMINED FROM THE TOWN OF BRISTOL FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445393 0011 H (EFFECTIVE DATE JULY 7, 2014).
- THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
- EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
- WETLAND DELINEATION PERFORMED BY NATURAL RESOURCE SERVICES INC., ON MARCH 15, 2019.

LOCAL PERMITS

PLANNING BOARD DECISION:
RECORDED DECEMBER 16, 2019.
DOC#: 00003581, BOOK: 2012, PG: 82

ZONING BOARD DECISION:
RECORDED DECEMBER 19, 2018.
DOC# 0003744, BOOK: 1967, PG: 269-270

STATE PERMITS

RIDOT PAPA NO. 190510
RIDEM WETLANDS APPLICATION NO. 19-0149
GROUNDWATER DISCHARGE/UIC NO. 001920
RIPDES NO. RIR-101910

ZONING REQUIREMENTS:

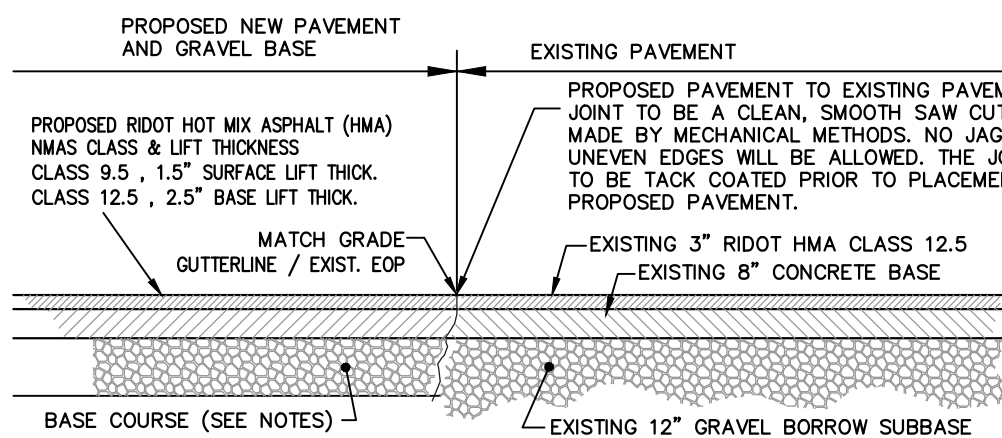
CONSERVATION DEVELOPMENT LAND DEVELOPMENT
PROJECT / MULTI FAMILY DWELLING UNITS
UNDERLYING DISTRICT: RESIDENTIAL DISTRICT (R-10)
SITE IS ALSO AN INDIVIDUALLY LISTED PROPERTY IN
THE BRISTOL HISTORICAL DISTRICT.

	REQUIRED	EXISTING	PREVIOUSLY APPROVED	PROPOSED
LOT AREA	10,000 S.F.	52,311 S.F.	52,311 S.F.*	76,705 S.F.
LOT FRONTAGE	80 FT.	220 FT.	220 FT.*	309.2 FT.
FRONT YARD SETBACK	75 FT.	73.1 FT.	73.1 FT.*	73.1 FT.
SIDE YARD SETBACK	50 FT.	47.6 FT.	14.7 FT.*	27.0 FT.
REAR YARD SETBACK	50 FT.	85.3 FT.	22 FT.*	30.0 FT.
MAX. LOT COVERAGE	25%	5.75%	16.5%*	15.1%
MAX. BUILDING HEIGHT	35 FT.	-	35 FT.**	35 FT.
SETBACK BETWEEN 2 MULTI-FAMILY BUILDINGS	50 FT.	N/A	30 FT.*	30 FT.
OPEN SPACE	50%	88.7%	54.6%	67.4%

(*ZONING RELIEF RECEIVED, ZONING BOARD PERMIT FILE NO. 2018-41, RECORDED IN LAND EVIDENCE 12-19-2018, DOCUMENT NO. 3744 BK. 1967 PG. 269)
(**35 FT. HEIGHT FOR THE PROPOSED CONDOS. EXISTING STRUCTURE TO REMAIN UNCHANGED)

BY RIGHT DENSITY = 5 DWELLING UNITS
(CONVENTIONAL)

PROPOSED DENSITY = 10 DWELLING UNITS
(LAND DEVELOPMENT PROJECTS - RESOURCE CONSERVATION
AND CREATIVE DEVELOPMENT OVERLAY)



PAVEMENT SAW CUT & MATCH
ROADWAY ENTRANCE & UTILITY TRENCH
NOT TO SCALE

NOTES:

- ROADWAY PAVEMENT SAW CUTTING CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 932 AND SECTION 934.03.1 OF THE R.I. STANDARD SPECIFICATIONS.
- AGGREGATES, GRAVEL BASE AND SUBBASE COURSES MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 300 AND SECTION M.01 OF THE R.I. STANDARD SPECIFICATIONS.
- PAVEMENT MATERIALS AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 400 AND SECTION M.03 OF THE R.I. STANDARD SPECIFICATIONS AND HOT MIX ASPHALT (HMA) CONSTRUCTION.
- CONCRETE MATERIAL AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH SECTION 600 OF THE R.I. STANDARD SPECIFICATIONS.
- DEPTH(S) OF NEW MATERIALS SHALL AT MINIMUM MATCH EXISTING PAVEMENT CONSTRUCTION DEPTHS FOR GRAVEL BORROW, SUBBASE, BASE, AND HOT MIX ASPHALT (HMA).
- PAVEMENT CONSTRUCTION SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.03.06 AND RIDOT SECT. 401.03.11 AND HOT MIX ASPHALT (HMA) CONSTRUCTION.
- GRAVEL BORROW TYPE C SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS M.01.09 RIDOT SECT. 401.03.11.
- GRAVEL BORROW SHALL CONSIST OF INERT MATERIAL THAT IS HARD, DURABLE STONE AND COARSE SAND, FREE FROM LOAM AND CLAY, SURFACE COATINGS AND DELETERIOUS MATERIALS. GRADATION REQUIREMENTS FOR GRAVEL SHALL BE DETERMINED BY AASHTO-T11 AND T27 AND SHALL CONFORM TO THE FOLLOWING:

SIEVE DESIGNATION	PERCENT PASSING	MAXIMUM SIZE OF STONE IN GRAVEL SHALL BE 2 INCHES LARGEST DIMENSION
1 1/2 IN	50-85	
NO. 4	40-75	
NO. 50	8-25	
NO. 200	0-10	

LEGEND	
⊙	DRAIN MANHOLE
⊙	FIRE HYDRANT
⊙	MAIL BOX
⊙	SEWER MANHOLE
⊙	SPOT ELEVATION
⊙	STONE WALL
⊙	TREE LINE
⊙	UTILITY POLE
⊙	WATER GATE
⊙	WATER LINE
⊙	UNDERGROUND GAS
⊙	WETLAND FLAG
⊙	WETLANDS
+	PROPOSED GRADE
-	PROPOSED CONTOUR
-	PROPOSED DRAIN LINE
-	PROPOSED GAS LINE
-	PROPOSED ELECTRIC/ TELEPHONE/CABLE
-	LOW PRESSURE SEWER

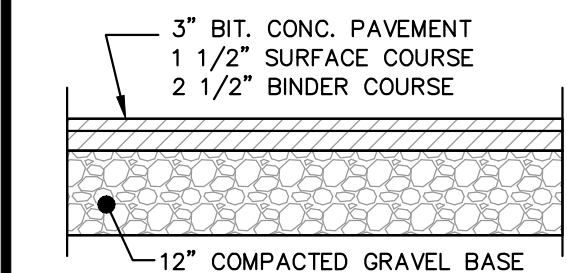
CURRENT OWNER

EXPRESS REALTY TRUST, LLC
25 LILLIS AVENUE
BARRINGTON, RI 02806

TITLE REFERENCE:
DEED BK.2110/PG.96

SITE LOCATION:
1200 HOPE STREET
BRISTOL, RHODE ISLAND

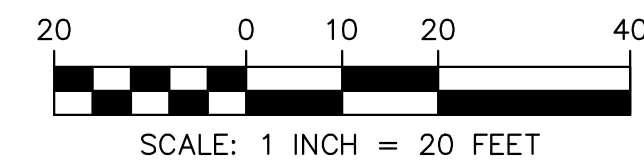
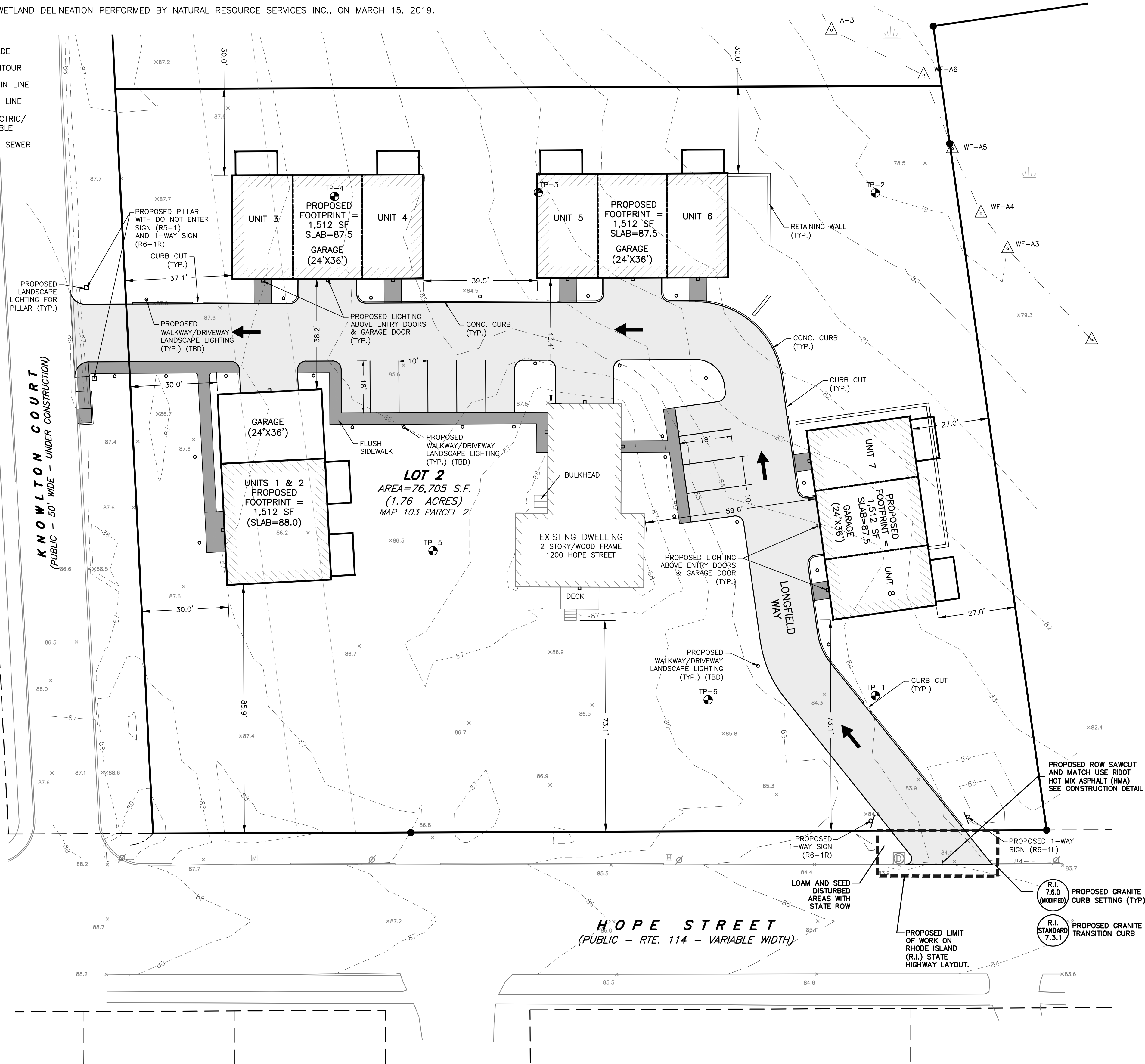
ASSESSORS REFERENCE:
MAP 103 PARCEL 2



BID ALTERNATIVE NOTE:
EXISTING BITUMINOUS PAVEMENT PARKING TO BE
RECLAIMED/RECYCLED PER RIDOT SECTION 406.

TYPICAL BITUMINOUS CONCRETE
PAVEMENT
NOT TO SCALE

PARKING TABLE	
REQUIRED	PROPOSED
2 SPACES/ DWELLING UNIT	10 DWELLING UNITS = 20 SPACES
EXTERIOR PARKING SPACES	10 SPACES
GARAGE PARKING SPACES	10 SPACES



207 High Point Avenue, Unit 6
Portsmouth, RI 02871
T:401-354-2050 F:401-369-9775
WWW.SDE-LDEC.COM

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DATE: MARCH 6, 2023

DRAWN BY: SJE COMPS. BY: SJE CHECK BY: RLM/MER

PROJECT NO. 22024

ISSUED FOR:

PERMITTING



PROPOSED SITE PLAN

1200 & 1202 HOPE STREET
BRISTOL, RHODE ISLAND
ASSESSORS MAP 103, PARCEL 2 & 14
PREPARED FOR
MT 1200 HOPE ST. LLC

DRAWING TITLE:

SITE PLAN

SCALE: 1" = 20'

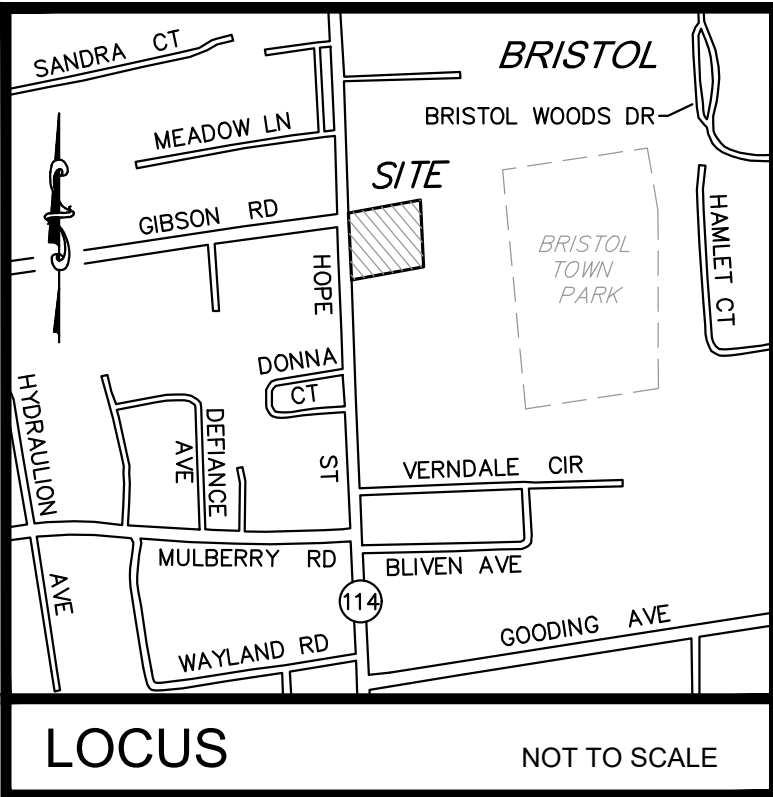
SHEET NO.

2 of 7

MEMBER

DATE

PLANNING BOARD SIGNATURES



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- WETLAND DELINEATION PERFORMED BY NATURAL RESOURCE SERVICES INC., ON MARCH 15, 2019.

CURRENT OWNER

1200 HOPE ST., LLC
161 NORTH CLARK ST., SUITE 1600
CHICAGO, IL 60601

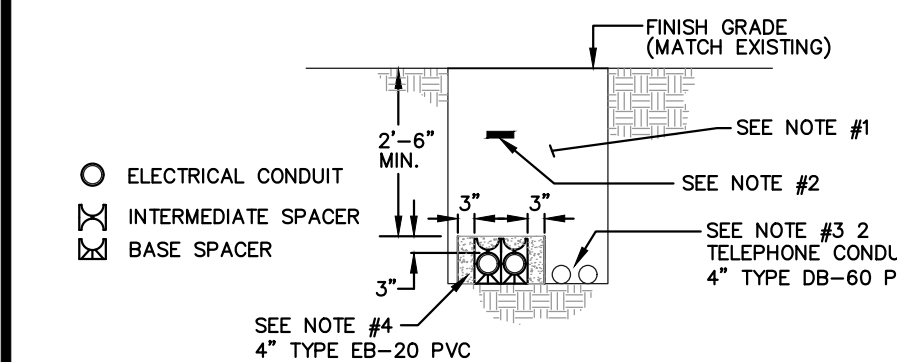
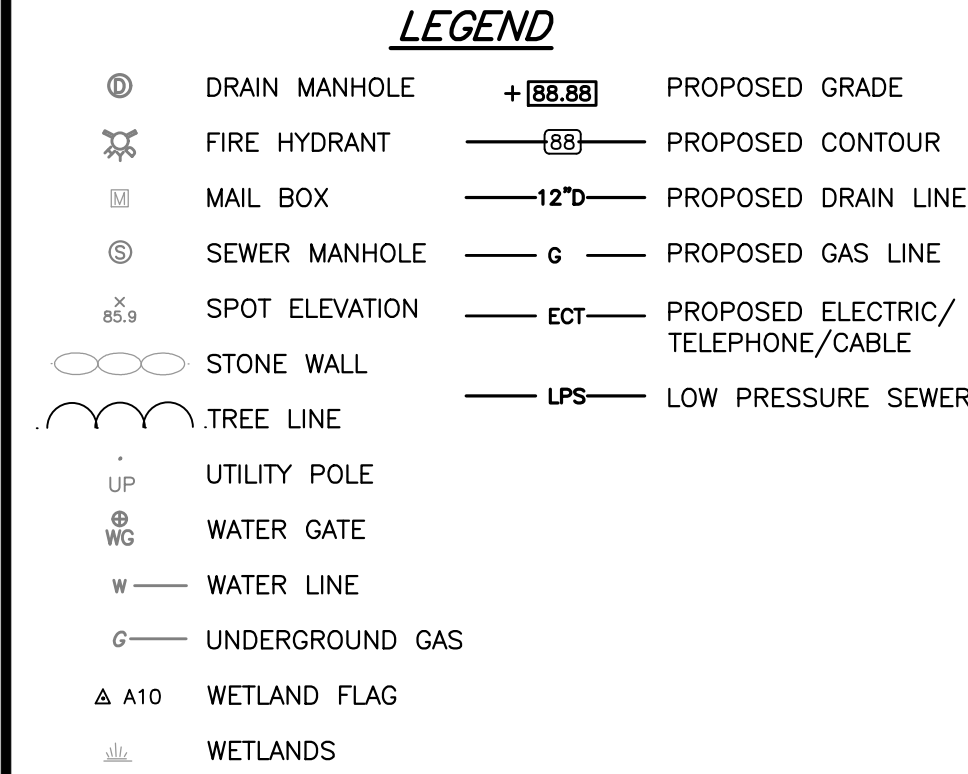
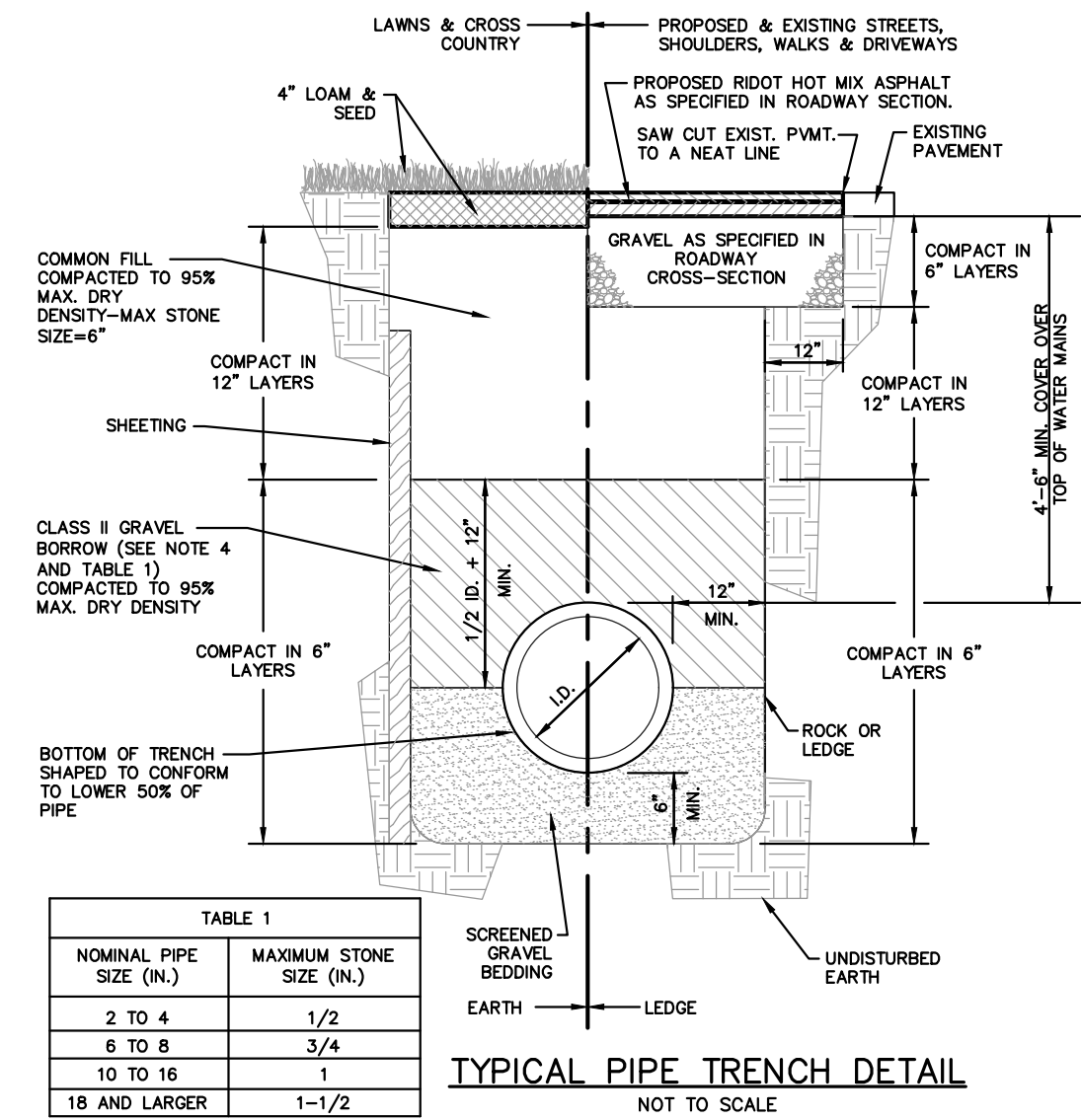
TITLE REFERENCE:
DEED BK.1661/PG.344

SITE LOCATION:
1200 HOPE STREET
BRISTOL, RHODE ISLAND

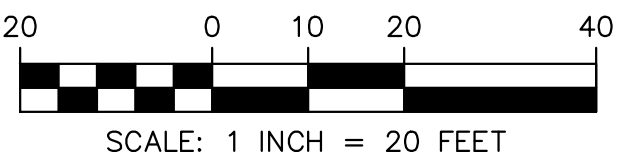
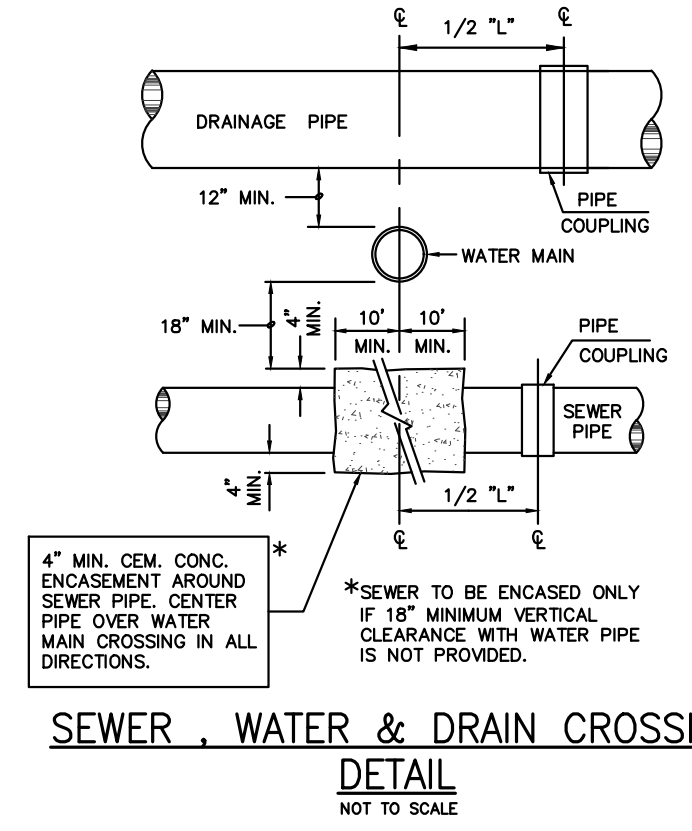
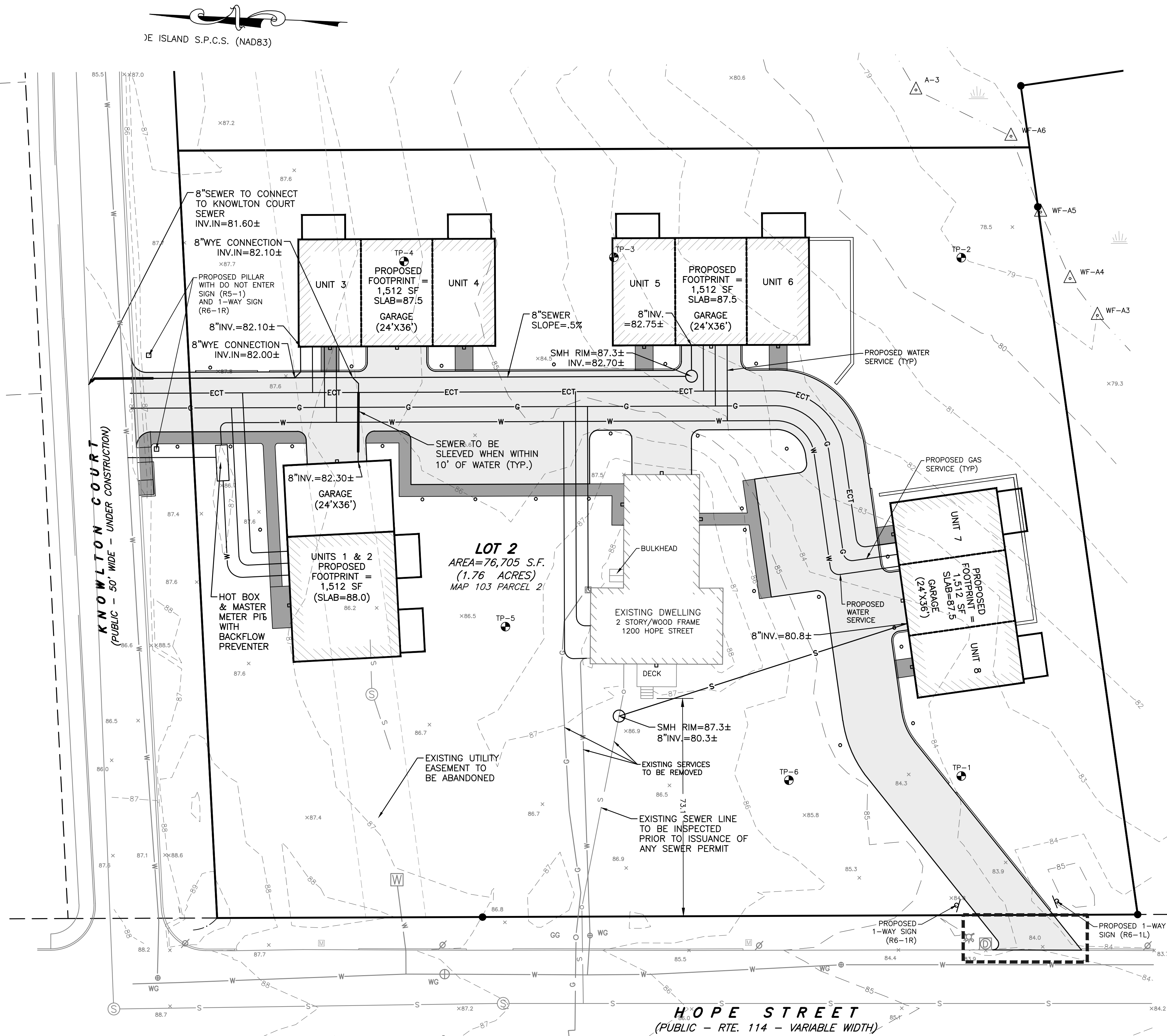
ASSESSORS REFERENCE:
MAP 103 PARCEL 2

PRIVATE SEWER NOTES:

ALL FUTURE MAINTENANCE OF THE ENTIRE LOW PRESSURE SEWER SYSTEM WILL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION FOR THIS DEVELOPMENT.



- NOTES:**
- BACKFILL TO BE FREE OF STONES GREATER THAN ONE INCH AND SHALL NOT CONTAIN ASHES, CINDERS, SHELL, OR FROZEN MATERIAL.
 - WARNING TAPE TO BE PLACED 12" BELOW FINISH GRADE AND DIRECTLY ABOVE POWER CONDUIT.
 - MINIMUM SEPARATION BETWEEN ELECTRICAL CONDUIT AND FOREIGN CONDUIT OR PIPES IS AS FOLLOWS:
COMMUNICATION - 3" OF CONCRETE ENCASEMENT
WATER, GAS, SEWER - 12" WHERE THE PATH OF THESE UTILITIES INTERSECT AT APPROXIMATELY RIGHT ANGLES WITH ELECTRICAL CONDUIT.
24" SEPARATION SHALL BE MAINTAINED BETWEEN PARALLEL PLACEMENT OF THESE UTILITIES AND ELECTRICAL CONDUIT.
 - CONCRETE THICKNESS AROUND THE OUTSIDE DUCTS SHALL BE 3 TO 6 INCHES. CONCRETE SHALL BE IN ACCORDANCE WITH STANDARD 0211.



LDEC
Land Development Engineering & Consulting, LLC

207 High Point Avenue, Unit 6
Portsmouth, RI 02871
T: 401-354-2050 F: 401-369-9775
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION
1.	8/11/2023	GENERAL REVISIONS PER TOWN REQUEST
2.	6/22/2023	MODIFICATIONS PER PRELIMINARY PLAN APPROVAL
3.	4/5/2023	GENERAL REVISIONS PER TOWN COMMENTS
4.	3/15/2023	MODIFIED DRIVEWAY LOCATIONS

PLAN REVISIONS

DATE: MARCH 6, 2023

DRAWN BY: SJE COMPS. BY: SJE CHECK BY: RLM/MER

PROJECT NO. 22024

ISSUED FOR: PERMITTING

MICHAEL E. RUSSELL
No. 7956
REGISTERED PROFESSIONAL ENGINEER (CIVIL)

PROPOSED UTILITY PLAN

1200 & 1202 HOPE STREET
BRISTOL, RHODE ISLAND

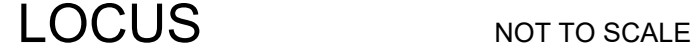
ASSESSORS MAP 103, PARCEL 2 & 14

PREPARED FOR
M1 1200 HOPE ST. LLC

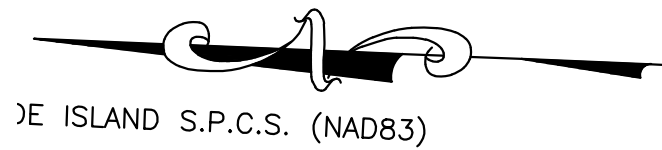
DRAWING TITLE: **UTILITY PLAN**

SCALE: **1" = 20'**

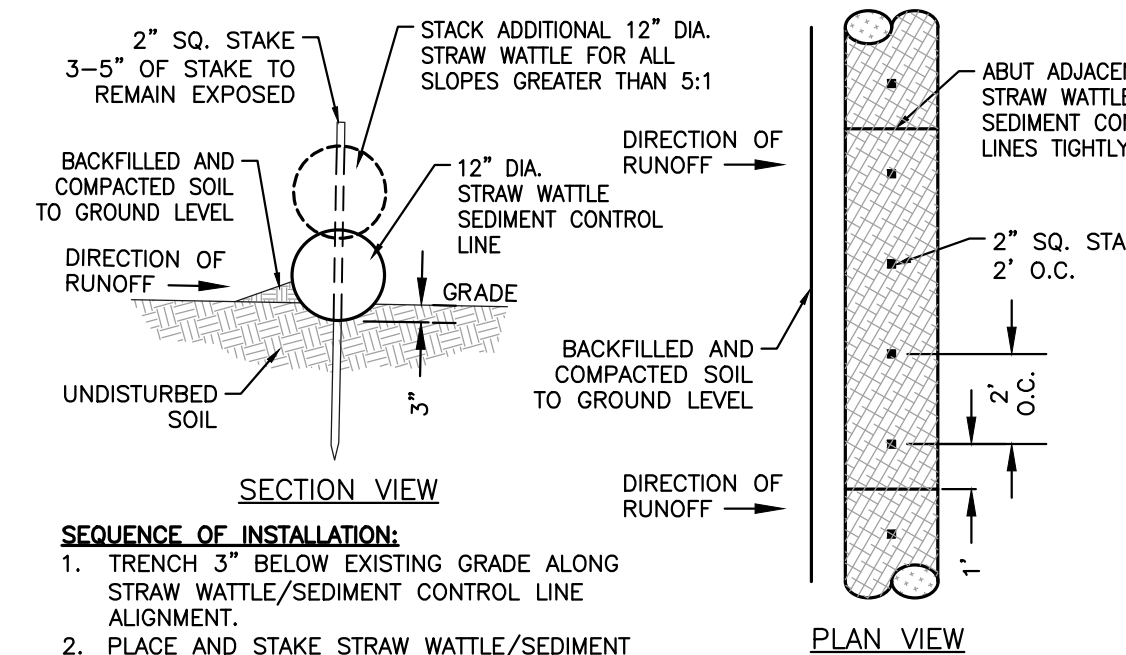
SHEET NO. **4 of 7**



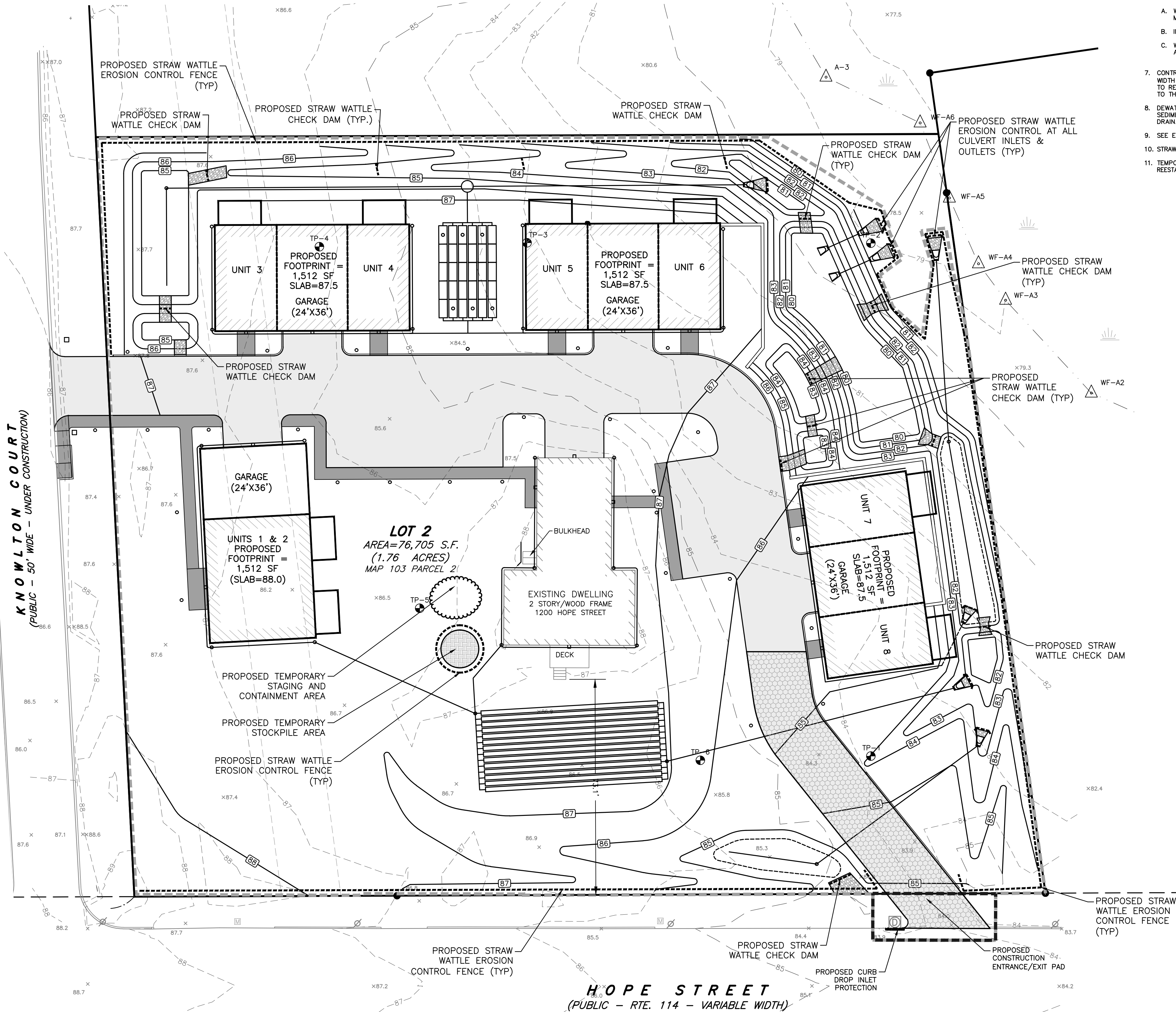
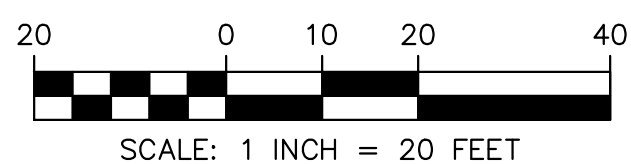
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3. PROPERTY LINES SHOWN HEREIN ARE REFERENCE TO ADMINISTRATIVE SUBDIVISION PLAN PREPARED BY LAND DEVELOPMENT & ENVIRONMENTAL CONSULTING, LATEST REVISION 3/7/2023.
4. THE SITE IS LOCATED WITHIN A ZONE X FLOOD HAZARD AREA AS DETERMINED FROM THE TOWN OF BRISTOL FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 445393 0011 H (EFFECTIVE DATE JULY 7, 2014).
5. THIS PLAN AND ANY ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ABUTTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.
6. EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND ARE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE INDICATED. LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER PUBLIC UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED.
7. WETLAND DELINEATION PERFORMED BY NATURAL RESOURCE SERVICES INC., ON MARCH 15, 2019.



2. ACCUMULATED SEDIMENT SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OR AS DIRECTED BY THE ENGINEER.
3. AFTER THE INSTALLATION OF DRAINAGE STRUCTURES, EROSION CONTROL DEVICES OR OTHER APPROVED MATERIALS SHALL BE PLACED TO PROTECT THE INTEGRITY OF THE STRUCTURES.
4. DISTURBED AREAS SHALL BE STABILIZED WITH THE APPLICATION OF A MINIMUM OF FOUR INCHES (4") OF LOAM AND SHALL BE SEEDED WITH AN APPROVED GRASS MIX OR SHALL BE RIPRAPED AS SOON AS POSSIBLE AFTER THE FINISHED GRADE HAS BEEN SET. IF FINAL GRADING DOES NOT OCCUR DURING THE GROWING SEASON, THESE AREAS SHALL BE MULCHED WITH HAY AND SECURED BY JUTE NETTING WITH STAPLES. SLOPES EXCEEDING 2:1 SHALL BE SEEDING AND STABILIZED WITH PEGGED SOU OR APPROVED EROSION CONTROL BLANKETS UNLESS OTHERWISE NOTED.
5. THE MOUTHS OF ALL CATCH BASINS SHALL BE FITTED WITH SILTSACK OR FILTER FABRIC DURING THE ENTIRE CONSTRUCTION PROCESS TO RETARD SILTATION.
6. WHERE APPLICABLE, PROPER DUST CONTROL MEASURES SHALL APPLY TO REDUCE THE SURFACE AND AIR TRANSPORT OF DUST GENERATED DURING CONSTRUCTION. THE FOLLOWING METHODS SHALL BE USED:
 - A. WET SUPPRESSION WITHOUT WETTING AGENT SHALL BE APPLIED DURING LOAD IN / LOAD OUT AND EARTH MOVING CONSTRUCTION ACTIVITIES, SPECIALLY ON STOCKPILES.
 - B. INACTIVE STOCKPILES SHALL BE STABILIZED THROUGH APPLICATION OF SOIL STABILIZERS OR SEEDING.
 - C. WIND SCREENS OR BARRIERS AND PLASTIC TARP COVERS SHALL BE SECURED TO PREVENT WIND DISLODGE AND DAMAGE. ANY DAMAGES SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
7. CONTRACTOR SHALL CONSTRUCT A TEMPORARY CRUSHED STONE CONSTRUCTION ENTRANCE APPROXIMATELY THE WIDTH OF ACCESS DRIVEWAY BY 50' LONG BY 6' DEEP FOR USE DURING CONSTRUCTION ACTIVITIES AS NECESSARY TO REMOVE SEDIMENT FROM VEHICLES. THE CONSTRUCTION ENTRANCES ARE TO BE LOCATED AT THE ENTRANCE TO THE SITE FROM EAST MAIN ROAD AND AQUIDNECK AVE.
8. DEWATERING OPERATIONS SHALL BE PROVIDED, IF REQUIRED; ALL DISCHARGE SHALL PASS THROUGH SEDIMENTATION CONTROL DEVICES TO PREVENT IMPACTS UPON WATER BODIES, BORDERING VEGETATED WETLANDS, DRAINAGE SYSTEMS AND ADJUTING PROPERTIES.
9. SEE EROSION & SEDIMENT CONTROL CONSTRUCTION DETAILS
10. STRAW WATTLE OR EQUIVALENT STRAW BASED EROSION CONTROL DEVICE SHALL BE USED IN PLACE OF HAYBALES.
11. TEMPORARY CONSTRUCTION SEDIMENT TRAPS TO BE DUG OUT AND SEDIMENT FOREBAYS AND SAND FILTER SYSTEMS TO BE REESTABLISHED, REBUILT AND REVEGETATED AT THE COMPLETION OF PAVEMENT CONSTRUCTION PHASE.



MEMBER	DATE
PLANNING BOARD SIGNATURES	

[illegible]

PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- CONTRACTOR TO VERIFY ALL UTILITIES ON PROPERTY AND TO PROTECT ALL UTILITIES DURING EXCAVATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT LIST, THE NUMBER OF PLANTS SHOWN ON THE LIST WILL TAKE PRECEDENCE.
- ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF SIX MONTHS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ACCORDING TO THE AMERICAN ASSOCIATION OF NURSEYMEN.
- CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM TIME OF PROVISIONAL ACCEPTANCE.
- ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS AND THE PLACEMENT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR PLANTED SHALL BE LOAMED AND SEEDED AS SHOWN. SEE SPECIFICATIONS FOR SOIL PREPARATION AND SEED MIX.
- TWO INCH (2") DEEP, FINELY SHREDDED BARK MULCH WILL BE INSTALLED AROUND ALL TREES AND SHRUBS THAT ARE ISOLATED FROM GROUND COVER AREAS AND GENERAL SHRUB MASSES.
- ALL PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT ON SITE PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT WILL TAG ALL TREES AT THE NURSERY AND INSPECT THEM AFTER DELIVERY TO THE SITE. SEE SPECIFICATIONS FOR TAGGING, INSPECTION, AND ACCEPTANCE OF PLANT MATERIAL.
- LANDSCAPE ARCHITECT SHALL CONFIRM PLANT LIST AND APPROVE SUBSTITUTIONS OF PLANT VARIETIES PRIOR TO ORDERING OF MATERIAL.
- SOIL MIX: 1/3 PEAT MOSS, 1/3 SCREENED LOAM, 1/3 DEHYDRATED MANURE.
- THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT SELECTIONS WITH PLANTS OF SIMILAR CHARACTERISTICS IF THE SPECIFIED PLANTS ARE NOT AVAILABLE IN ACCEPTABLE QUANTITIES OR CONDITIONS.

PROPOSED PLANTING LEGEND

SYMBOL BOTANICAL NAME COMMON NAME QTY SIZE

SHADE TREES

ACE FRE ACER X FREEMANII 'JEFFSRED' AUTUMN BLAZE MAPLE
NYS SYL NYSSA SYLVATICA BLACK GUM

FLOWERING TREES

AME GRA AMELANCHIER X GRANDIFLORA AUTUMN BRILLIANCE SHADBLOW
CER CAN CERCIS CANADENSIS REDBUD
HAM VIR HAMAMELLIS VIRGINIANA WITCHHAZEL
MAG VIR MAGNOLIA VIRGINIANA SWEET BAY MAGNOLIA

EVERGREEN TREES

ILE NEL ILEX X 'NELLIE STEVENS' NELLIE STEVENS HOLLY
JUN HET JUNIPERUS CHINENSIS 'HETZII COLUMNARIS' HETZII COLUMNAR JUNIPER
JUN VIR JUNIPERUS VIRGINIANA EASTERN RED CEDAR
PIN STR PINUS STROBUS 'FASTIGIATA' COLUMNAR WHITE PINE
THU OCC THUJA OCCIDENTALIS 'DEGROOT'S SPIRE' AMERICAN ARBORVITAE

SHRUBS

CLE ALN CLETHRA ALNIFOLIA 'HUMMINGBIRD' SUMMERSWEET
HYD PAN HYDRANGEA PANICULATA 'LITTLE LIME' LITTLE LIME HYDRANGEA
HYD QUE HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA
ILE GLA ILEX GLABRA 'SHAMROCK' SHAMROCK INKBERRY
ILE VER ILEX VERTICILLATA 'RED SPRITE' WINTERBERRY
VIB DEN VIBURNUM DENTATUM ARROWWOOD VIBURNUM

PERENNIALS, GRASSES, + FERNS

CAR APA CAREX APPALACHICA APPALACHIAN SEDGE
DEN PUN DENNSTAEDTIA PUNCTLOBULA HAY SCENTED FERN
LIR MUS LIRIOPI MUSCARI 'BIG BLUE' LILY TURF
PAN VIR PANICUM VIRGATUM SWITCH GRASS
PEN HAM PENNISETUM 'HAMELN' HAMELN FOUNTAIN GRASS

LAWN

NO-MOW GRASS

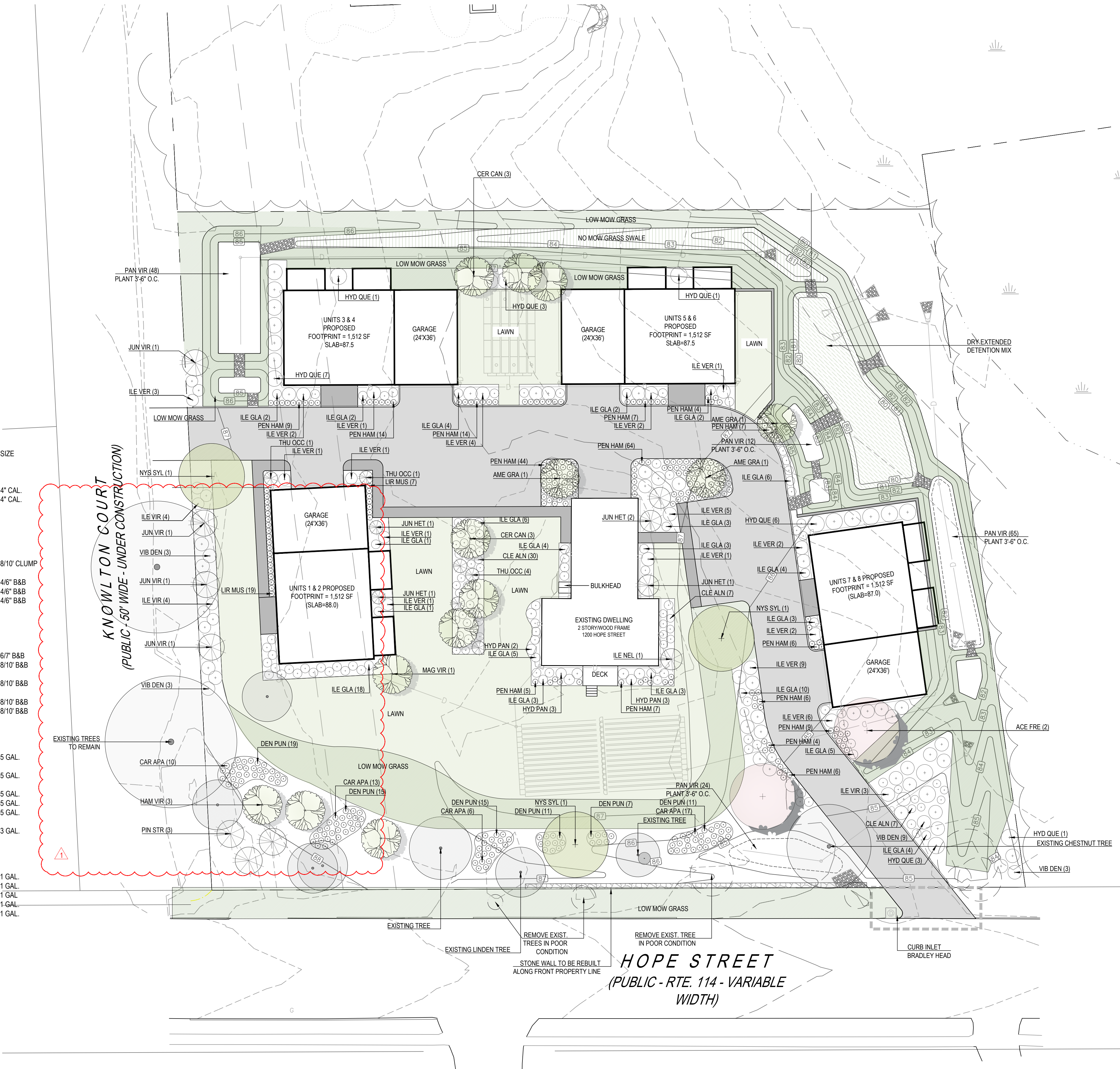
LOW MOW GRASS

DRY EXTENDED DETENTION BASIN PLANTING

EXISTING TREES LABELED IN GOOD CONDITION TO REMAIN (BLUE MARKING TAPE)

EXISTING TREES LABELED IN FAIR CONDITION TO BE DETERMINED, TREES SHOULD BE VIEWED BY ARBORIST TO DETERMINE HEALTH AND VALUE (YELLOW MARKING TAPE)

EXISTING TREES LABELED IN POOR CONDITION TO BE REMOVED (ORANGE AND WHITE STRIPED MARKING TAPE)



VERDE DESIGN LLC
18 WILDFLOWER LANE
JAMESTOWN, RI 02835
O. 401 619-0562
verdegarden@gmail.com

CIVIL ENGINEER
LDEC
LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC
1700 WEST MAIN ROAD
MIDDLETOWN RI
401 354 2050



LOCUS MAP
NOT TO SCALE



LONGFIELD PROJECT
1200 HOPE STREET
BRISTOL, RI

PROJECT NUMBER: 12.412
DRAWN BY: KD
CHECKED BY: PR
SCALE: 1" = 20'-0"
DATE: 8.11.2023

REVISIONS:

08.11.2023	TREES ALONG KNOWLTON COURT

PLANTING PLAN

L1.0

CONSTRUCTION NOTES

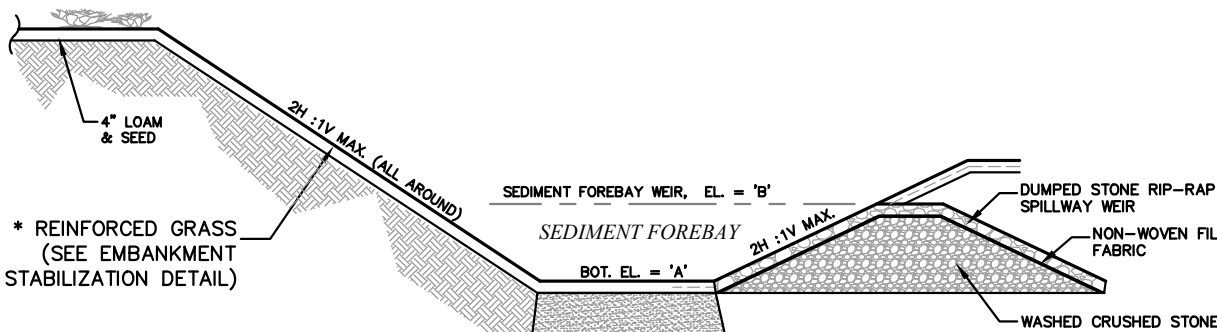
- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY SHALL CONFORM TO THE R.I. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED 2013, WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION WITH ALL REVISIONS.
- PROPOSED DEVELOPMENT IS SUBJECT TO AN ASSENT APPLICATION APPROVAL & CONDITIONS FROM RIGRCM.
- THE CONTRACTOR SHALL MAKE APPLICATIONS FOR AND PAY ALL FEES FOR PERMITS REQUIRED TO CONSTRUCT THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE PREPARATION NECESSARY FOR THE COMPLETE INSTALLATION OF THE PROJECT FACILITIES DURING CONSTRUCTION.
- ALL CONSTRUCTION METHODS, MATERIALS, AND COMPONENTS ASSOCIATED WITH THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM SHALL BE IN CONFORMANCE WITH THE APPROVED PLANS, THE REQUIREMENTS OF THE TOWN OF BRISTOL AND OF THE STATE ENVIRONMENTAL CODE, AND ALL LOCAL BOARD OF HEALTH REGULATIONS UNLESS A WAIVER HAS BEEN GRANTED.
- ALL CHANGES TO THE PLAN MUST BE APPROVED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC. AND THE LOCAL BOARD OF HEALTH.
- ALL SYSTEM COMPONENTS, EXCEPT PERFORATED PIPING, SHALL BE WATERTIGHT AS REQUIRED BY THE TOWN OF BRISTOL, DEPARTMENT OF PUBLIC WORKS.
- THE LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES ARE APPROXIMATE ONLY. THE ENGINEER DOES NOT GUARANTEE THEIR ACCURACY OR THAT ALL UTILITIES AND SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERT ELEVATIONS OF THE UTILITIES AND STRUCTURES, AS REQUIRED PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES WITH RECORD DATA SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. THE CONTRACTOR IS CAUTIONED TO CONTACT DIG SAFE (1-888-344-7233) 72 HOURS BEFORE DIGGING.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THE APPROPRIATE HIGHWAY & UTILITY DEPARTMENTS.
- CONTRACTOR SHALL MAINTAIN ALL EXISTING AND NEWLY INSTALLED UTILITIES IN GOOD WORKING ORDER AND SHALL PROTECT THEM FROM DAMAGE AT ALL TIMES UNTIL THE WORK IS COMPLETED AND ACCEPTED BY THE OWNER.
- ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION UTILITY CONNECTIONS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY.
- THE CONTRACTOR SHALL UTILIZE ALL MEASURES AND MATERIALS NECESSARY TO ENSURE THE SAFETY OF ALL PERSONS AND PROPERTIES AT THE SITE DURING CONSTRUCTION. ALL EXCAVATIONS SHALL CONFORM TO CURRENT OSHA STANDARDS.
- A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHENEVER SANITARY SEWERS PASS BELOW WATER MAINS OR DRAIN LINES. OTHERWISE, WATER SERVICE, DRAIN LINES AND SEWER LINES SHALL BE CAREFULLY ENCASED IN CONCRETE FOR A MINIMUM OF TEN (10) FEET FROM THE CROSSING POINT WHERE SEWER LINES PASS ABOVE WATER OR DRAIN LINES, THEY SHALL ALL BE ENCASED IN CONCRETE REGARDLESS OF CLEARANCE.

STORMWATER FACILITY OPERATION AND MAINTENANCE

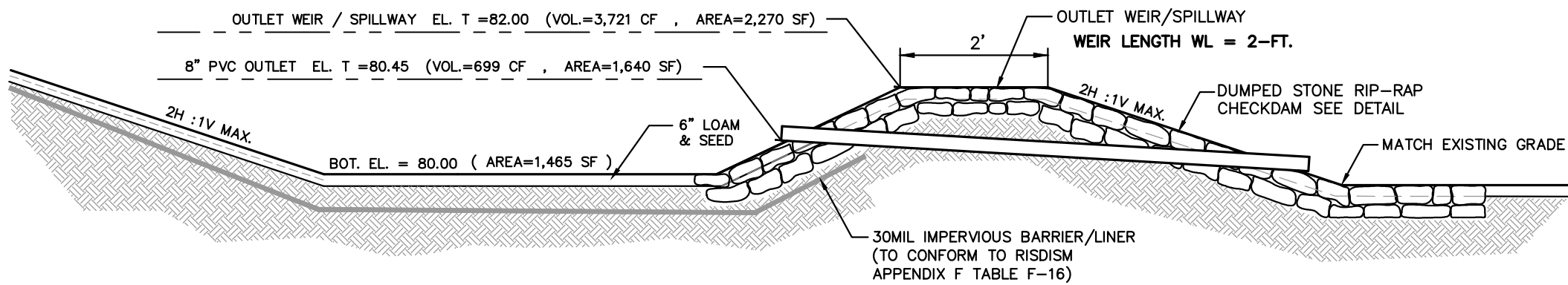
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES UNTIL SUCH TIME AS THE DEVELOPMENT AND ASSOCIATED UTILITIES ARE ACCEPTED BY THE OWNER.
- ALL STORMWATER FACILITIES SHOULD BE INSPECTED AFTER EVERY MAJOR RAINFALL EVENT FOR THE FIRST 3 MONTHS AFTER CONSTRUCTION TO ENSURE PROPER STABILIZATION AND CONSTRUCTION.
- THE CONTRACTOR SHALL INSPECT AND CLEAN ALL FACILITIES OF SEDIMENT AND DEBRIS PRIOR TO THE OWNER'S ACCEPTANCE.
- ACCUMULATED SILT AND SEDIMENT SHOULD BE REMOVED FROM ALL FACILITIES AT LEAST ONCE A YEAR OR MORE FREQUENTLY IF ACCUMULATED DEPTH OF SEDIMENT EXCEEDS THREE INCHES.
- THE SIDE SLOPES AND BOTTOMS OF ALL DRAINAGE SWALES SHOULD BE MOWED TO A MINIMUM HEIGHT OF FOUR INCHES AT LEAST TWICE A YEAR. ALL GRASS CLIPPINGS AND ORGANIC MATTER SHOULD BE REMOVED FROM ALL DRAINAGE WAYS AND WETLAND BUFFER ZONES.
- ALL REMOVED SEDIMENTS ARE TO BE PROPERLY DISPOSED AT A LOCATION TO BE APPROVED BY THE BOARD OF HEALTH, TRANSPORTATION AND DISPOSAL OF SEDIMENTS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- ANY DEFICIENCIES NOTED DURING MAINTENANCE SHALL BE REPORTED TO THE OWNER AND CORRECTED IMMEDIATELY.
- FOLLOW MANDATE PROGRAM AND SCHEDULE FOR EXISTING STORMWATER MANAGEMENT SYSTEM AS APPROVED BY THE TOWN OF BRISTOL AND THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT.

NOTES:

- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
- ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
- MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL WHEN REQUIRED. SEE ASTM D2321.
- FILTER FABRIC:** A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
- FOUNDATIONS:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
- BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO THE ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-1500mm).
- INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
- MINIMUM COVER:** MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42" - 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.



ELEVATION TABLE					
FOREBAY	TH-#	EXISTING ELEV.	SHGW ELEV.	BOTTOM OF BASIN 'A'	OUTLET WEIR ELEV. 'B'
1	TH-4	87.5	85.5	85.0	86.0
2	TH-2	82.0	81.0	83.0	83.8
3	TH-1	82.3	80.3	80.5	82.0

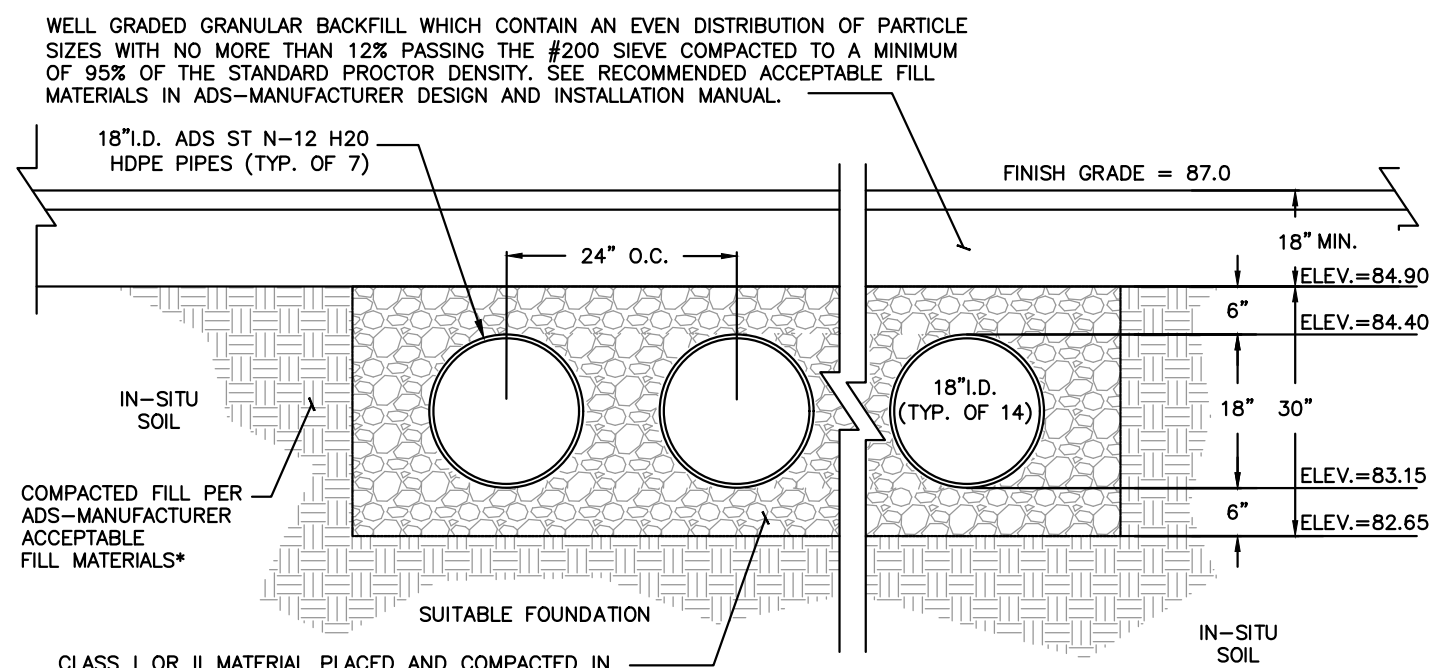


REMOVE AND REPLACE EXISTING UNSUITABLE MATERIAL WITH CLEAN FILL

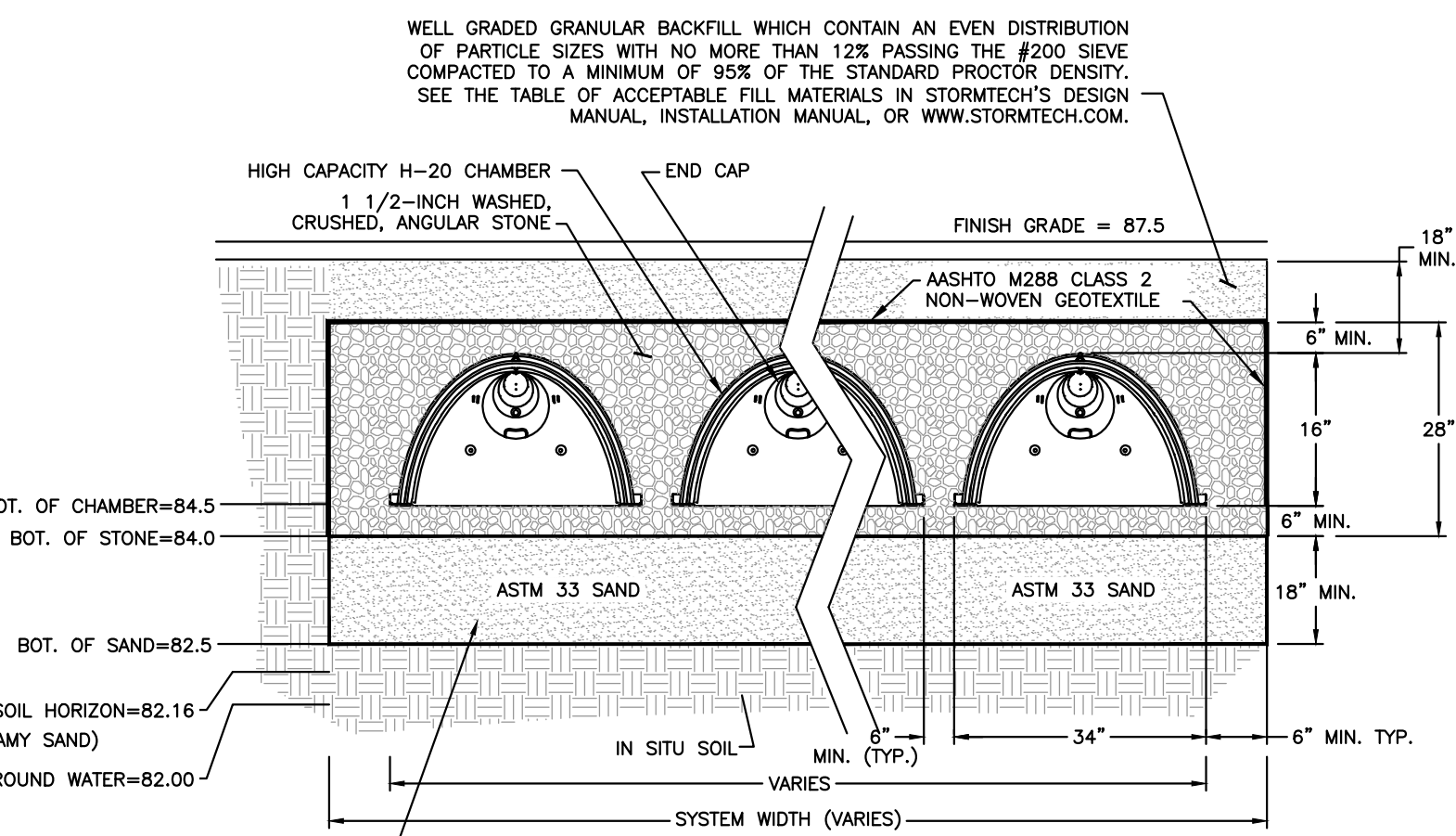
GROUND WATER ELEVATION

TH-#	EXISTING ELEV.	SHGW ELEV.	BOTTOM OF BASIN
TH-2	81.0	80.0	80.00

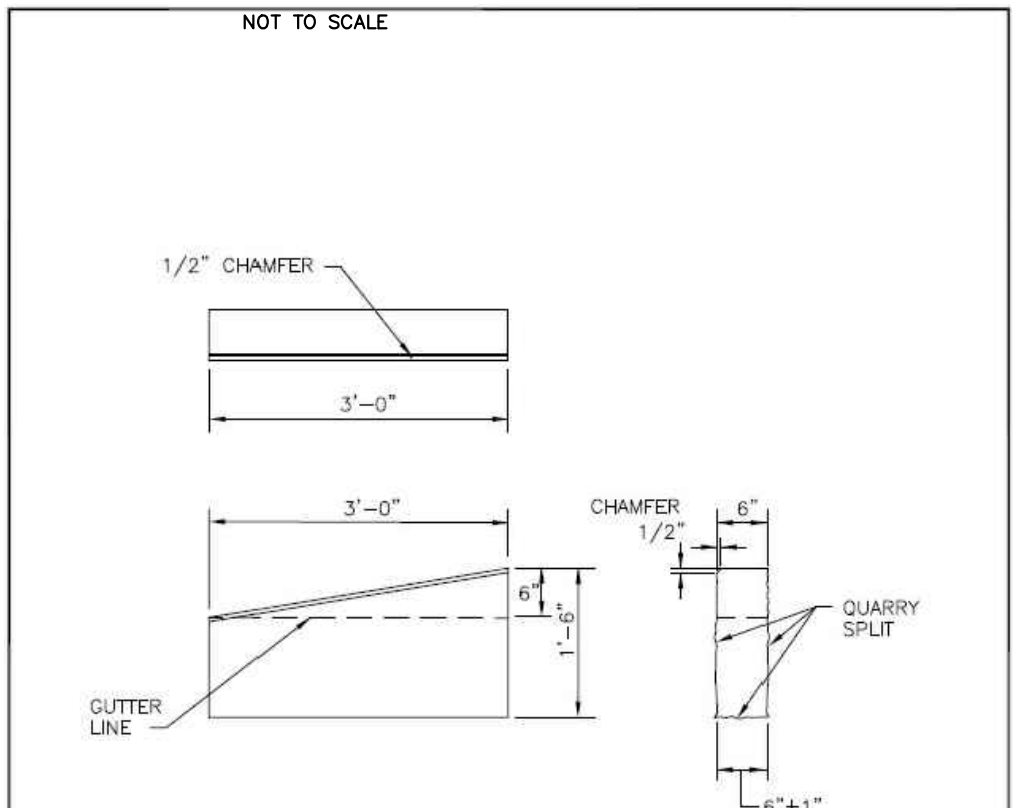
- NOTES:
- REFER TO PROJECT DRAINAGE REPORT HYDROCAD® CALCULATIONS FOR ADDITIONAL INFORMATION.



PLASTIC UNDERGROUND STORAGE SYSTEM
ADS N-12 SOIL TIGHT (ST) PIPE



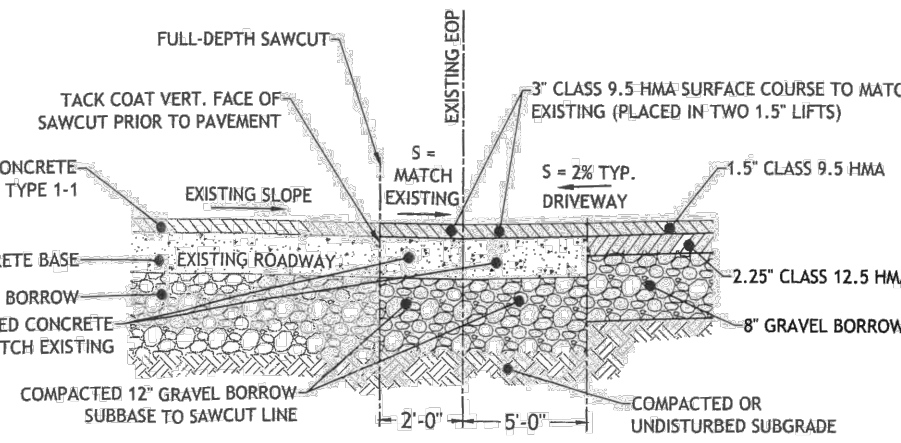
UNDERGROUND RECHARGE SYSTEM 1&2					
UNDERGROUND SYSTEM	EXISTING ELEV.	SHGW ELEV.	BOTTOM OF CHAMBER	NUMBER OF CHAMBERS WIDE	NUMBER OF CHAMBERS LONG
1	84.0	82.0	84.5	6	8



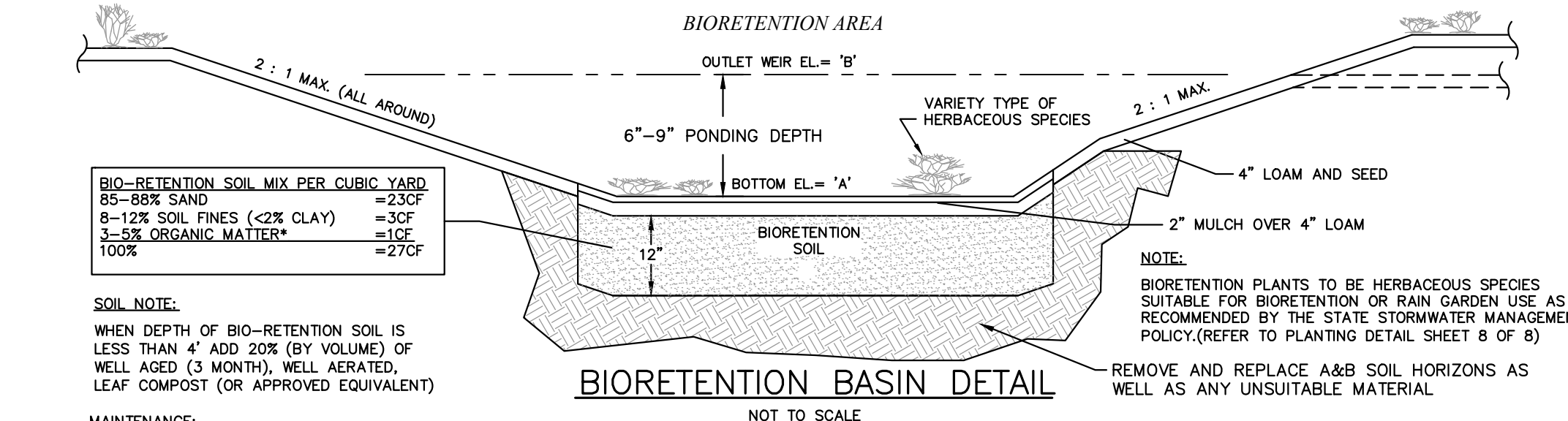
- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION 908 OF THE R.I. STANDARD SPECIFICATIONS.
 - TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION					
REVISIONS			3'-0" GRANITE TRANSITION CURB	<div><div>R.I. STANDARD</div><div>7.3.1</div></div>	
NO.	BY	DATE			
1	MLP	Mar. 2008			
2	MLP	Jun. 2010			
3	MLP	Sep. 2012			
<div><div> JOHN P. GAGLIARDI STATE ENGINEER TRANSPORTATION</div><div> ROBERT J. DWYER DEPUTY STATE ENGINEER TRANSPORTATION</div><div><div>JUNE 15, 1998</div><div>DATE</div></div></div>					

- NOTES:
- ALL WORK WITHIN THE STATE'S RIGHT-OF-WAY (ROW) SHALL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED AUGUST 2013 AND STANDARD DETAILS, JUNE 15, 1998, AS AMENDED BY REVISION.
 - UTILITY WORK SHOWN IS FOR REFERENCE. THIS WORK NEEDS TO BE PERMITTED THROUGH A UTILITY PHYSICAL UTILITY PERMIT (PUP) WITH RIDOT'S DIVISION OF MAINTENANCE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - CONTRACTOR TO PROVIDE TEMPORARY EROSION CONTROLS TO PROTECT THE STATE ROW DURING THE DEMOLITION OF EXISTING DRIVEWAY AND CONSTRUCTION OF NEW DRIVEWAY.



- NOTES:
- MINIMUM COMPACTION FOR GRAVEL SUB-BASE OR SUBGRADE: 95% MODIFIED PROCTOR.
 - NO WORK SHOULD BE DONE OUTSIDE OF THE PROJECT SITE. PAVEMENT SHOULD MATCH WHERE NOTED ON THE SITE PLANS.
 - WHEN MATCHING EXISTING PAVEMENT, THE LONGITUDINAL CUT AND MATCH SECTION SHOULD NOT EXCEED PAST THE SHOULDER STRIPING.



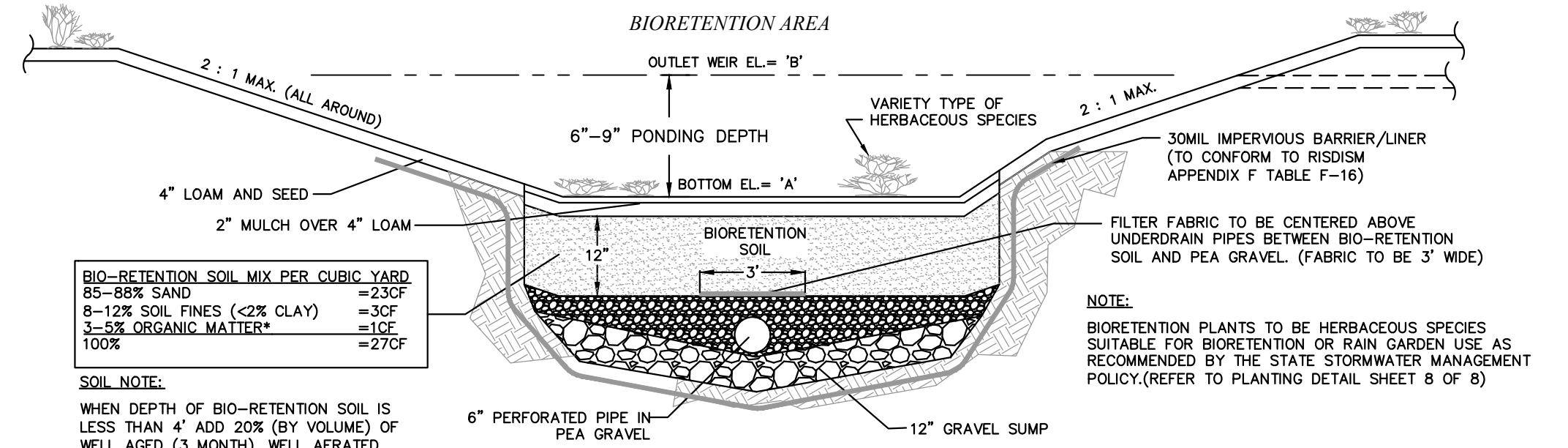
BIO-RETENTION SOIL MIX PER CUBIC YARD
85-85% SAND = 23CF
8-12% SOIL FINES (<2% CLAY) = 3CF
3-5% ORGANIC MATTER* = 10CF
100% = 27CF

SOIL NOTE:
WHEN DEPTH OF BIO-RETENTION SOIL IS LESS THAN 4" ADD 20% (BY VOLUME) OF WELL AGED (3 MONTH), WELL AERATED, LEAF COMPOST (OR APPROVED EQUIVALENT)

MAINTENANCE:

SILT/SEDIMENT SHALL BE REMOVED FROM THE FILTER BED WHEN THE ACCUMULATION EXCEEDS 1 INCH. WHEN THE FILTERING CAPACITY OF THE FILTER DIMINISHES SUBSTANTIALLY, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REPLACED WITH FRESH MATERIAL. THE REMOVED SEDIMENTS SHALL BE DISPOSED IN AN ACCEPTABLE MANNER AT AN APPROVED AND PERMITTED LOCATION.

DURING THE SIX MONTHS IMMEDIATELY AFTER CONSTRUCTION, FILTER PRACTICES SHALL BE INSPECTED FOLLOWING AT LEAST THE FIRST TWO PRECIPITATION EVENTS OF AT LEAST 1.0 INCH TO ENSURE THAT THE SYSTEM IS FUNCTIONING PROPERLY. THEREAFTER, INSPECTIONS SHALL BE CONDUCTED ON AN ANNUAL BASIS AND AFTER STORM EVENTS OF GREATER THAN OR EQUAL THE 1-YEAR, 24-HOUR TYPE III PRECIPITATION EVENT.



BIO-RETENTION SOIL MIX PER CUBIC YARD
85-85% SAND = 23CF
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BIORETENTION BASIN FILTER SIZING CALCULATIONS

BIO-RETENTION FILTER BED SIZING CALCULATIONS:
(SECTION 8.23.D.6 OF RISDM)

$A_f = (WQv(df) / [(k)(hf+df)(tf)])$

A_f = MIN SURFACE AREA OF FILTER BED (SF)
 df = FILTER BED DEPTH
 k = COEFFICIENT OF PERMEABILITY (1.0 FOR BIO-RETENTION)
 hf = AVERAGE HEIGHT OF WATER ABOVE SURFACE OF PRACTICE
 tf = DESIGN FILTER BED DRAIN TIME (2-DAYS MAX)
 $A_f = (WQv(k) / [(1)(hf+1)(2)])$

SIZING TABLE						
BIO-RETENTION BASIN	WQv	df	k	hf	tf	PROVIDED FILTER BED SIZE
1	331	1'	1'	0.75'	2	95 SF
2	805	1'	1'	0.75'	2	230 SF
3	10	1'	1'	0.5'	2	3 SF
4	187	1'	1'	0.75'	2	54 SF

MEMBER

DATE

PLANNING BOARD SIGNATURES



207 High Point Avenue, Unit 6
Portsmouth, RI 02871
T:401-354-2050 F:401-369-9775
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION
4	8/11/2023	GENERAL REVISIONS PER TOWN REQUEST
3	6/2/2023	MODIFICATIONS PER PRELIMINARY PLAN APPROVAL
2	4/5/2023	GENERAL REVISIONS PER TOWN COMMENTS
1	3/15/2023	MODIFIED DRIVEWAY LOCATIONS

PLAN REVISIONS

DATE: MARCH 6, 2023

DRAWN BY: SJE COMPS. BY: SJE CHECK BY: RLM/MER

PROJECT NO. 22024

ISSUED FOR:

PERMITTING



MAJOR LAND DEVELOPMENT
FINAL PLAN APPLICATION
1200 & 1202 HOPE STREET
BRISTOL, RHODE ISLAND
ASSESSORS MAP 103, PARCEL 2 & 14
PREPARED FOR
M1 1200 HOPE ST. LLC

DRAWING TITLE:

CONSTRUCTION
DETAILS

SCALE: 1" = 20'

SHEET NO.

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