



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809
Telephone: (401) 253-7000
www.bristolri.gov

March 17, 2026
File #: ZBR-26-8

NOTICE OF PUBLIC HEARING

PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review
that a Public Hearing will be held in-person at:

Bristol Town Hall
10 Court Street, Bristol, RI 02809
April 6, 2026 at 7:00 p.m.

In regards to the petition of:

Applicant: Geoffrey Vicente
Owner of Record: Geoffrey Vicente
Location: 0 TILBURY DR , BRISTOL, RI, 02809
Plat: 153 Lot: 439
Zoning District: R-10

Applicant is requesting a **Dimensional Variance** to:

construct a 30ft. x 30ft. single family dwelling with less than the required front yard.

Edward M. Tanner
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov.



Zoning Board of Review Application
Town of Bristol

Record ID: ZBR-26-8

153 439

February 18, 2026

Applicant	
Name of Applicant	Geoffrey Vicente
Who is Submitting this Application	Owner
	If other, Describe:
Owner's Name (If Different than Applicant)	

Location for Application			
Property Type	Plat/Lot		
Zoning District	R-10		
Address, Plat, Lot	Address	Plat	Lot
		153	439

Type of Application	
Application Type	Dimensional Variance
Proposed	New Building
	If other, Detail:
New Building Type	One Family Dwelling
	If other, Detail:

Size of Proposed Building(s)/Addition(s) (If applicable)	
Total Square Footage	1,904 feet
Width in Feet	30 feet
Length in Feet	30 feet
Height Above Grade	34 feet
Number of Stories	3

Setbacks	
Front Yard in Feet	10 feet
Rear Yard in Feet	0 feet
Left Side Yard in Feet	0 feet
Right Side Yard in Feet	0 feet
Height in Feet	33 feet

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)
--

front setback

Describe the extent of the proposed alterations and the reasons for the requesting relief

Requesting a variance of 10 feet to the front setback only in order to fit a 30'x30' foot print for a new construction single family dwelling. As it stands the max depth on the new construction would only be 20' due to the findings of wetlands on the property. RI DEM has approved the new soil and erosion plan and is set to go to public notice. They are asking I finalize this variance request first, so they can send out the correct and accurate public notice.

Existing Lot Specifications

Current Use of Premises	Residential
	If other, explain:
Number of Units	
Lot Area	6,835
Lot Frontage	50
Lot Depth	139.283

Existing Buildings & Structures

Structure:	Square Footage:	Building/Structure Detail if Other:
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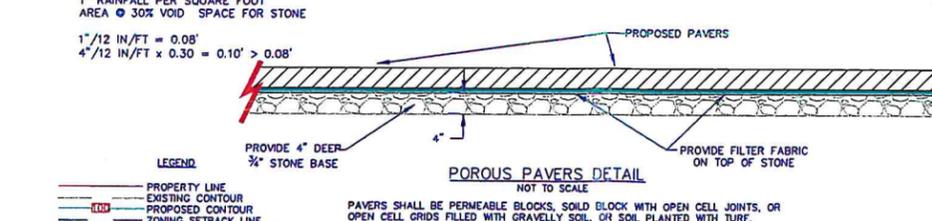
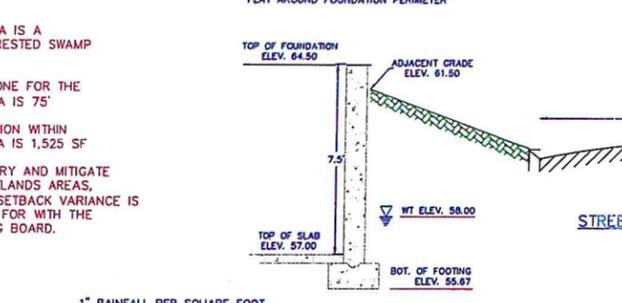
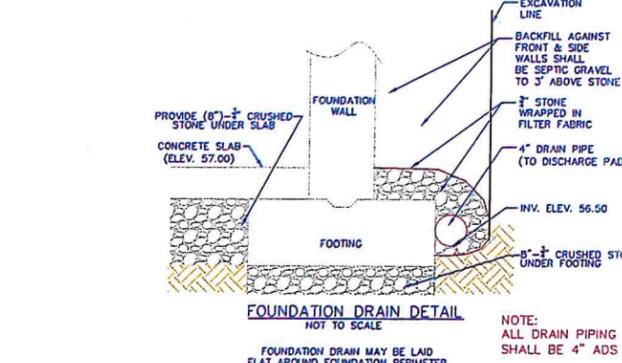
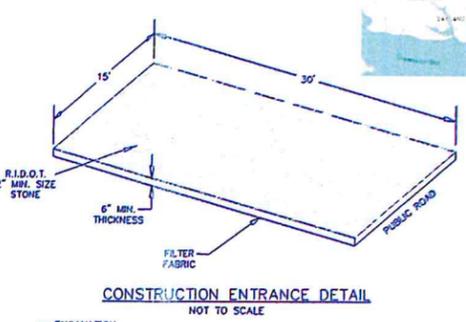
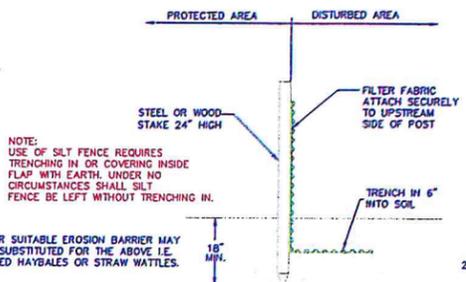
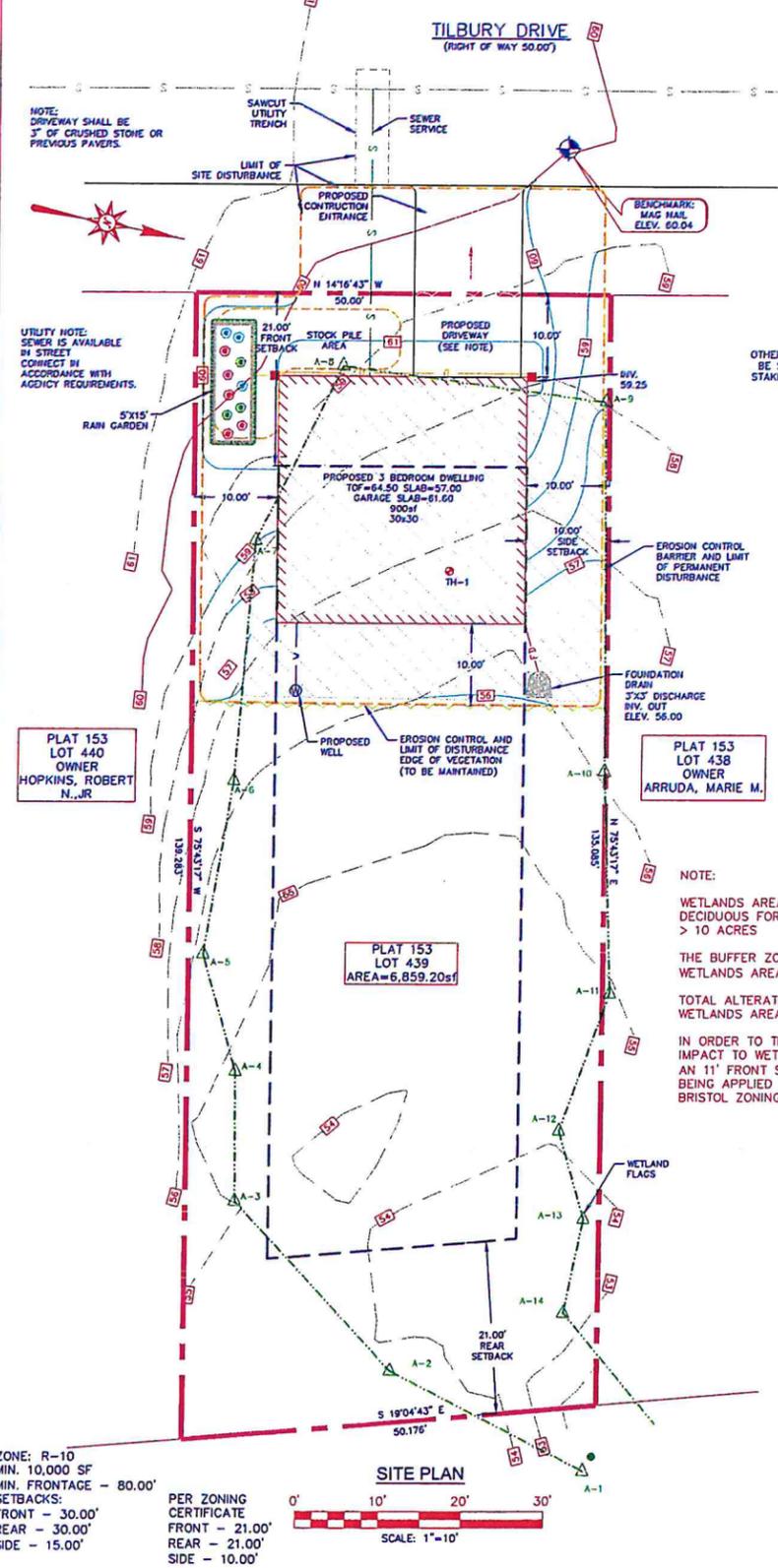






EROSION CONTROL NOTES

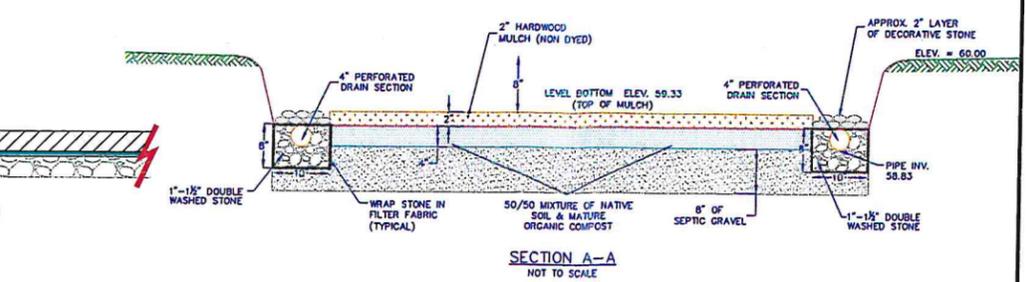
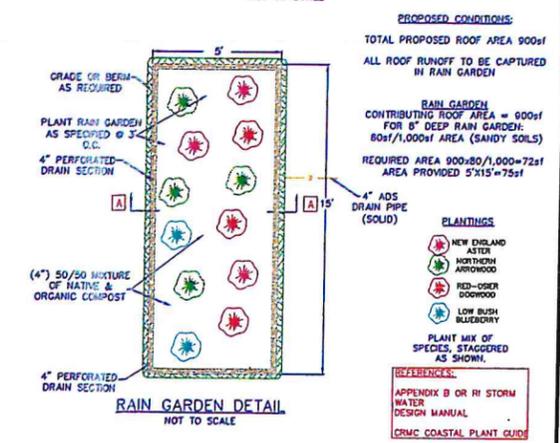
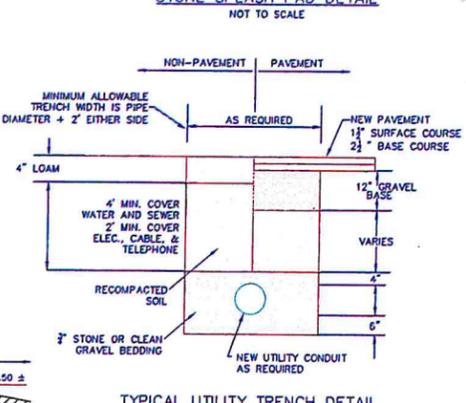
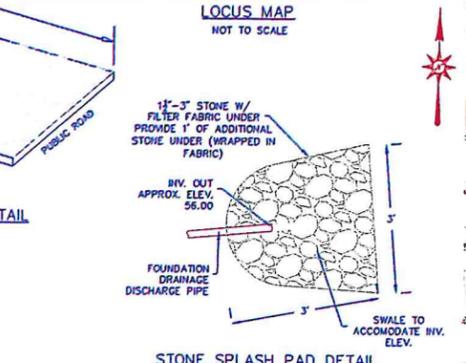
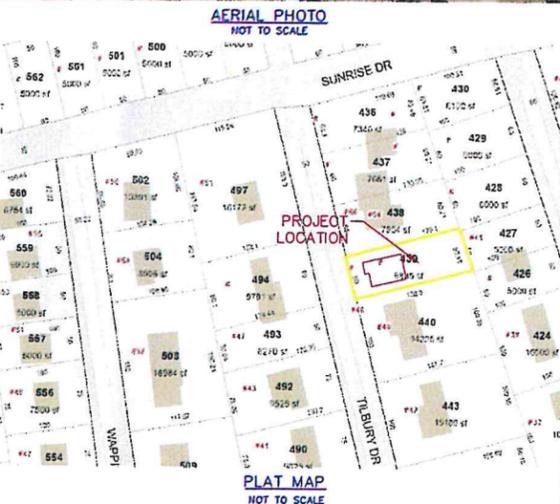
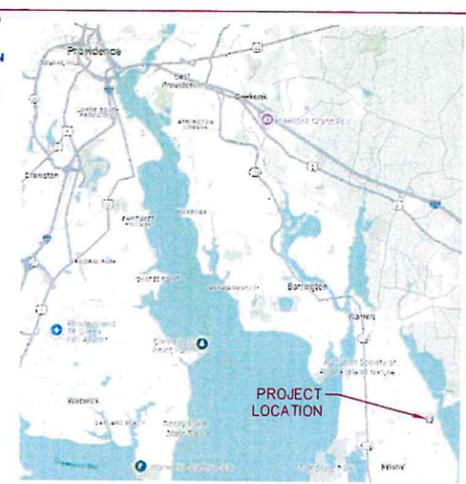
1. THIS PROJECT PROPOSES TO CONSTRUCT A SINGLE FAMILY DWELLING.
2. PRIOR TO START AND AT END OF CONSTRUCTION, CONTRACTOR SHALL NOTIFY TOWN OF BRISTOL BUILDING OFFICIAL.
3. EXCAVATION WORK WILL INVOLVE APPROX. 0 CYDS OF CUT AND APPROX. 50 CYDS OF FILL.
4. IT IS EXPECTED THAT CONSTRUCTION WILL TAKE 9-12 MONTHS.
5. AT ALL TIMES DURING CONSTRUCTION EROSION CONTROL MEASURES ARE TO BE IN PLACE IN ACCORDANCE WITH THIS PLAN.
6. PRIOR TO COMPLETION OF THE PROJECT ALL DRAINAGE MITIGATION MEASURES SHALL BE IN PLACE.
7. AN EROSION CONTROL BARRIER IS TO BE IN PLACE AND PROPERLY MAINTAINED DURING ALL EXCAVATION WORK. THE EXTENT OF THE BARRIER IS SHOWN ON SITE PLAN. THE EXTENT OF DISTURBANCE WILL BE LIMITED TO THE CONFIRMS OF THE BARRIER.
8. INSTALLATION REQUIREMENTS FOR THE BARRIER SHALL BE IN STRICT ACCORDANCE WITH THE DETAIL. THE BARRIER SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN FINISHED GRADED AND STABILIZED WITH LOAM AND SEED. ANY AREAS THAT WILL REMAIN DISTURBED FOR A PERIOD LONGER THAN 30 DAYS SHALL BE COVERED WITH A LAYER OF STRAW MULCH.
9. A CONSTRUCTION ENTRANCE IS SHOWN ON THE PLAN AT THE PROPOSED DRIVEWAY AREA. TRUCK TRAFFIC IS TO BE CONFINED TO THIS AREA.
10. IF ENTRANCE SLOPES TOWARDS ROAD, PLACE HAY BALES AT ENTRANCE AT END OF DAY.
11. THE ANTICIPATED TEMPORARY STOCKPILE AREA IS INDICATED ON THE SITE PLAN. THE CONTRACTOR MAY ADJUST THE LOCATION OF THE AREA AS MAY BE CONVENIENT FOR OPERATION PURPOSES. THE LOCATION MAY BE ANYWHERE WITHIN THE AREA PROTECTED BY THE EROSION CONTROL BARRIER. SHOULD THE CONTRACTOR DECIDE TO STOCKPILE OUTSIDE OF THE PROTECTED AREA, A SEPARATE EROSION CONTROL BARRIER MUST BE INSTALLED AND MAINTAINED ON THE DOWN GRADIENT SIDE OF THE STOCKPILE.
12. UPON COMPLETION OF SITE WORK, ALL DISTURBED AREAS SHALL BE STABILIZED WITH LOAM AND SEED. IN ADDITION, A LAYER OF STRAW MULCH SHALL BE PROVIDED.



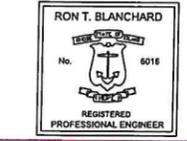
SOIL TYPE:
RF RIDGEBURY
DEPTH OF HOLE TO 2'
SEEPAGE @ 6" TH-1
SOIL IS SANDY LOAM
DATE OF TEST HOLE 5/10/24

BIOLOGIST REPORTED BY:
AVIZINIS ENVIRONMENTAL SERVICES
RECEIVED 5/2/24

REFERENCE PLANS:
SURVEY PLAN BY: STEPHEN MURGO PLS
ELECTRONIC COPY RECEIVED 5/6/24



OWNER INFO:
VINCENTE, GEOFFREY
969 WATERMAN AVE
EAST PROVIDENCE, RI 02914



NO.	DATE	DESCRIPTION	BY	APP'D
001	12/21/23	FINAL REVISIONS	RB	
002	7/23/23	REVISED WETLANDS LINE FOR RIBBY/BIOLOGIST	VS/PJG	
003	8/11/23	REVISIONS PER BIOLOGIST	RB	
004	8/22/23	REVISIONS PER BIOLOGIST	RB	
005	2/10/24	REVISED PER RIBBY COMMENTS	RB	
006	2/17/24	MINOR REVISION	RB	

DATE: 9/12/24

SEI
SITE ENGINEERING INC.
CIVIL • COASTAL • STRUCTURAL
75 WOOD ST.
BRISTOL, RI 02809
PHONE: (401) 253-8831

EROSION CONTROL & DRAINAGE PLAN
PLAT 153, LOT 439
0 TILBURY DR
BRISTOL
RHODE ISLAND

SCALE: AS NOTED
(SHEET: 1 OF 1)
E&D-1

DISCLAIMER:
THIS SITE PLAN WAS DEVELOPED FROM THE CITED REFERENCE PLAN AND IS NOT A RESULT OF ANY SURVEY WORK BY SEI.

GENERAL NOTES:

FOUNDATION:

1. CONCRETE SLABS ON GRADE SHALL HAVE SHRINK CRACK CONTROL JOINTS WITH DEPTH OF AT LEAST 1/4 THE SLAB THICKNESS. THESE SHALL BE SPACED NOT MORE THAN 20 FEET IN EACH DIRECTION, RESULTING SHAPE SHALL NOT BE GREATER THAN 400 SQFT. NOR EXCEED A 1.5:1 LENGTH TO WIDTH RATIO. JOINTS SHALL BE PROVIDED WITHIN 12 HOURS OF SLAB PLACEMENT. CONTRACTION JOINTS ARE NOT REQUIRED WHERE 6x6-6/6 WELDED WIRE FABRIC OR EQUIVALENT IS PLACED AT MID-DEPTH OF THE SLAB.
2. THE COMPRESSIVE STRENGTH OF CONCRETE FOUNDATIONS AT 28 DAYS SHALL NOT BE LESS THAN 3000 LBS./SQ.IN.
3. BACKFILL FOUNDATION ONLY AFTER THE SLAB IS POURED AND WALLS ARE BRACED.
4. THE BOTTOM OF ANY POINT OF A FOUNDATION SHALL BE A MIN. OF 4'-0" BELOW FINISH GRADE.
5. THE EXTERIOR SURFACES OF MASONRY FOUNDATIONS ENCLOSING BASEMENTS SHALL BE DAMPPROOFED.
6. WALL POCKETS: ENDS OF WOOD BEAMS SUPPORTED BY CONCRETE WALLS SHALL BE PROVIDED WITH 1/2" AIR SPACE ON TOP, SIDES AND END, UNLESS APPROVED DURABLE OR TREATED WOOD IS USED.
7. FOUNDATION ANCHOR BOLTS SHALL BE A MIN. OF 5/8" DIA. THEY SHALL HAVE A MIN. EMBED OF 8" IN POURED CONCRETE. THERE SHALL BE A MIN. OF TWO ANCHORS PER SECTION OF SILL PLATE. MAXIMUM SPACING SHALL BE 48" ON CENTER AND WITHIN 12" OF BUILDING CORNERS, DOOR OPENINGS, AND WALL ENDS. NUTS AND 3"x3" PLATE WASHERS SHALL NOT BE RECESSED OR COUNTERSUNK INTO THE FIRST SILL PLATE AND SHALL BE EXPOSED FOR INSPECTION AND TIGHTNESS.
8. COORDINATE WITH ARCHITECT AND OWNER, AND VERIFY ALL DIMENSIONS, ELEVATIONS, AND SPECIFICATIONS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
9. ALL SOILS CONTAINING ORGANIC OR UNSUITABLE BEARING MATERIAL SHALL BE CLEARED FROM THE BUILDING FOOTPRINT.
10. ALL SOILS SUPPORTING FOOTINGS SHALL BE FOUNDED UPON COMPACTED NATURAL SUBGRADE OR COMPACTED BANK RUN GRAVEL FILL WITH PRESUMED SAFE CAPACITY OF 3000 PSF.
11. ROCK SHALL BE EXCAVATED A MIN. OF 4" BELOW BOTTOM OF FOOTING ELEVATION AND COVERED WITH A LAYER OF COMPACTED GRAVEL.
12. SOIL SHALL BE COMPACTED TO NOT LESS THAN 95% OF MAX. DRY DENSITY PER ASTM D1557 IN LIFTS NOT TO EXCEED 6" LOOSE DEPTH.
13. BACKFILL SYMMETRICALLY AGAINST ALL FOUNDATION WALLS IN INCREMENTS NOT TO EXCEED 2 FEET MAX. DIFFERENTIAL.
14. NO FOOTINGS OR SLABS SHALL BE POURED INTO OR AGAINST SUBGRADE CONTAINING FREE WATER OR ICE.
15. NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.
16. ALL REINFORCING BARS SHALL BE ASTM A-615 GRADE 60 UNLESS NOTED OTHERWISE.
17. ALL REINFORCING BARS SPLICES SHALL CONFORM TO REQUIREMENTS OF ACI 318, BUT IN NO CASE SHALL THEY BE LESS THAN 2'-0".
18. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185, Fy=60 KSI.
19. ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AT SIDES AND ENDS AND BE SECURELY WIRED TOGETHER.
20. SEE DRAWINGS FOR TYPE AND LOCATION OF ALL FLOOR FINISHES, FLOOR DEPRESSIONS AND CUTOUTS.
21. COORDINATE ALL FOUNDATION PENETRATIONS WITH ARCHITECT, PLUMBER, MECHANICAL, ELECTRICAL CONTRACTORS AND LOCAL AGENCIES.

GENERAL NOTES:

GENERAL FRAMING NOTES:

1. ALL WINDOW AND DOOR HEADERS TO BE (3) 2x10 WITH 1/2" RIDGED FOAM BETWEEN EACH 2x.
2. ALL WINDOW AND DOOR OPENINGS TO HAVE (1) KING STUDS AND (1) JACK STUD ON EACH SIDE.
3. GARAGE DOOR HEADER TO BE (3) 10" LVL
4. GARAGE DOOR OPENING TO HAVE (3) KING STUDS AND (2) JACK STUDS ON EACH SIDE.
5. ALL EXTERIOR WALL PLYWOOD TO BE 1/2" EXTERIOR GRADE APA RATED SHEATHING FASTENED WITH 10 RING SHANK NAILS @ 6" PANEL EDGES AND 12" OC IN THE FIELD. PLYWOOD SHEETS SHALL BE CONTINUOUS OVER ALL TOP AND BOTTOM PLATES, FURTHERMORE, ALL PLYWOOD SHEETS SHALL RUN CONTINUOUS ACROSS THE SECOND FLOOR RIM BAND JOIST.
6. ALL ROOF SHEATHING SHALL BE 5/8" APA RATED SHEATHING FASTENED WITH 8D RING SHANK NAILS @ 6" OC PANEL EDGES AND 12" OC IN THE FIELD. NAIL SPACING ON PANEL EDGES WITHIN 48" OF EAVES.
7. ALL SUB-FLOOR SHEATHING SHALL BE 3/4" T&G APA RATED PLYWOOD SUB-FLOOR FASTENED WITH 8D RING SHANK NAILS @ 6" OC AT PANEL EDGES AND 12" OC IN THE FIELD. FURTHERMORE PLYWOOD SUB-FLOOR SHALL BE ADHESURED TO ALL SUPPORTING MEMBERS WITH CONTINUOUS BEAD OF INDUSTRY STANDARD SUB-FLOOR ADHESIVE.

FOUNDATION PLAN NOTES:

1. 10" X 4' POURED CONCRETE WALLS
2. 3 1/2" DIA. STEEL COLUMN, TYP.
3. 12" DEEP CONCRETE FOOTING STRIP.
COORDINATE DIMENSIONS WITH FRONT PORCH DETAIL

FLOOR PLAN NOTES:

1. INTERIOR STAIRWAY PROVIDED BY OTHERS
2. FIXTURE SELECTION BY OWNER
3. KITCHEN CABINETS PROVIDED BY OTHERS
4. PROVIDE COATROD & HATSHelf IN CLOSET, TYP.

ELEVATION NOTES:

1. SIDING AS SELECTED BY OWNER
2. ARCH TYPE ASPHALT SHINGLES
3. PROVIDE ADEQUATE FLASHING AT ALL ROOF, WALL, CHIMNEY INTERSECTIONS
4. CONTINUOUS RIDGE VENT
5. STRUCTURAL WOOD COLUMN
6. PVC TRIM
7. EXPOSED CONCRETE
8. 10' X 10' GARAGE DOORS AS SELECTED BY OWNER

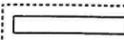
SECTION DRAWING NOTES:

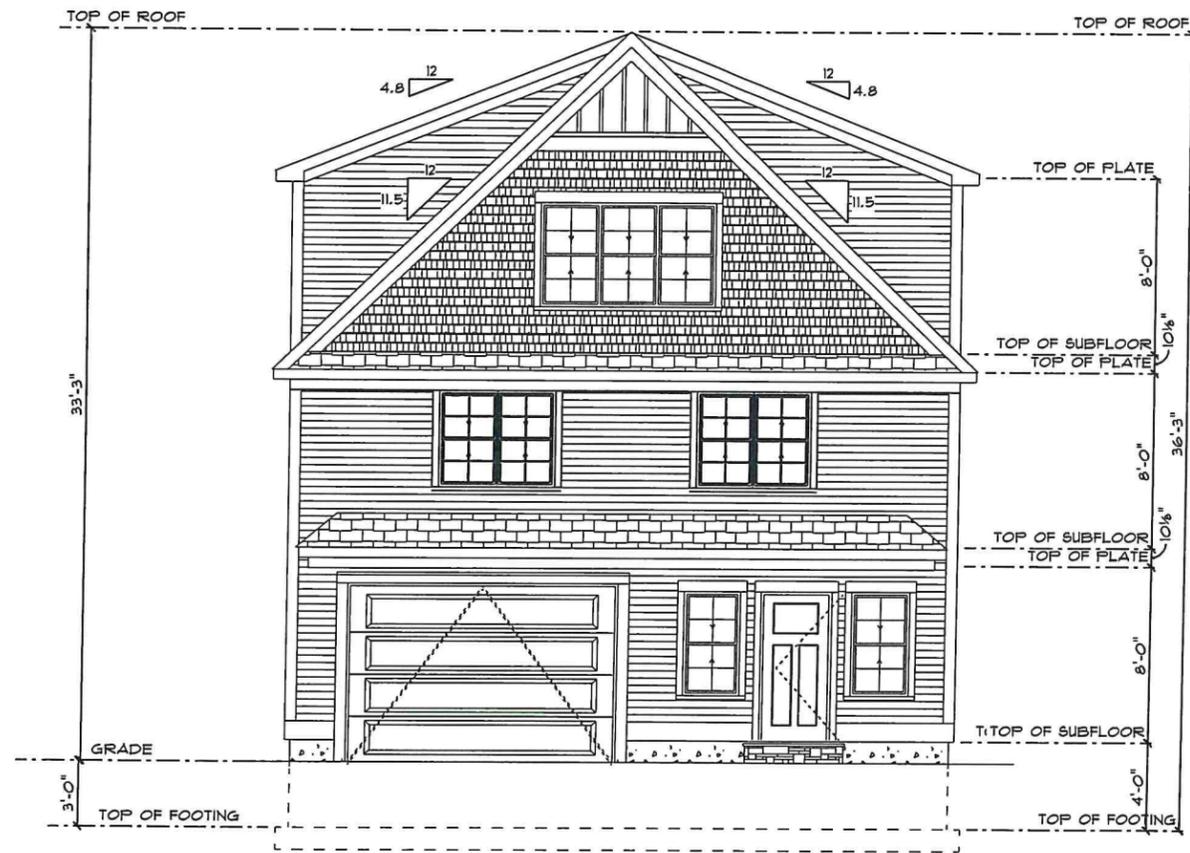
1. GIRDER BEAM DESIGNED BY OTHER
2. 1 JOISTS PLAN DESIGN BY OTHER
3. 2X10 ROOF RAFTERS 16" OC ON MAIN HOUSE
4. ROOF TRUSS (DESIGN BY OTHERS) FOR GARAGE
5. 10" MIN. COMPACT GRAVEL FILL UNDER SLABS
6. 30 MIL FOUNDATION COATING, WATERPROOFING
7. 6 MIL POLY UNDER ALL SLABS
8. INTERIOR FRENCH DRAIN WITH DAYLIGHT DRAIN

FLOOR PLAN LEGEND:

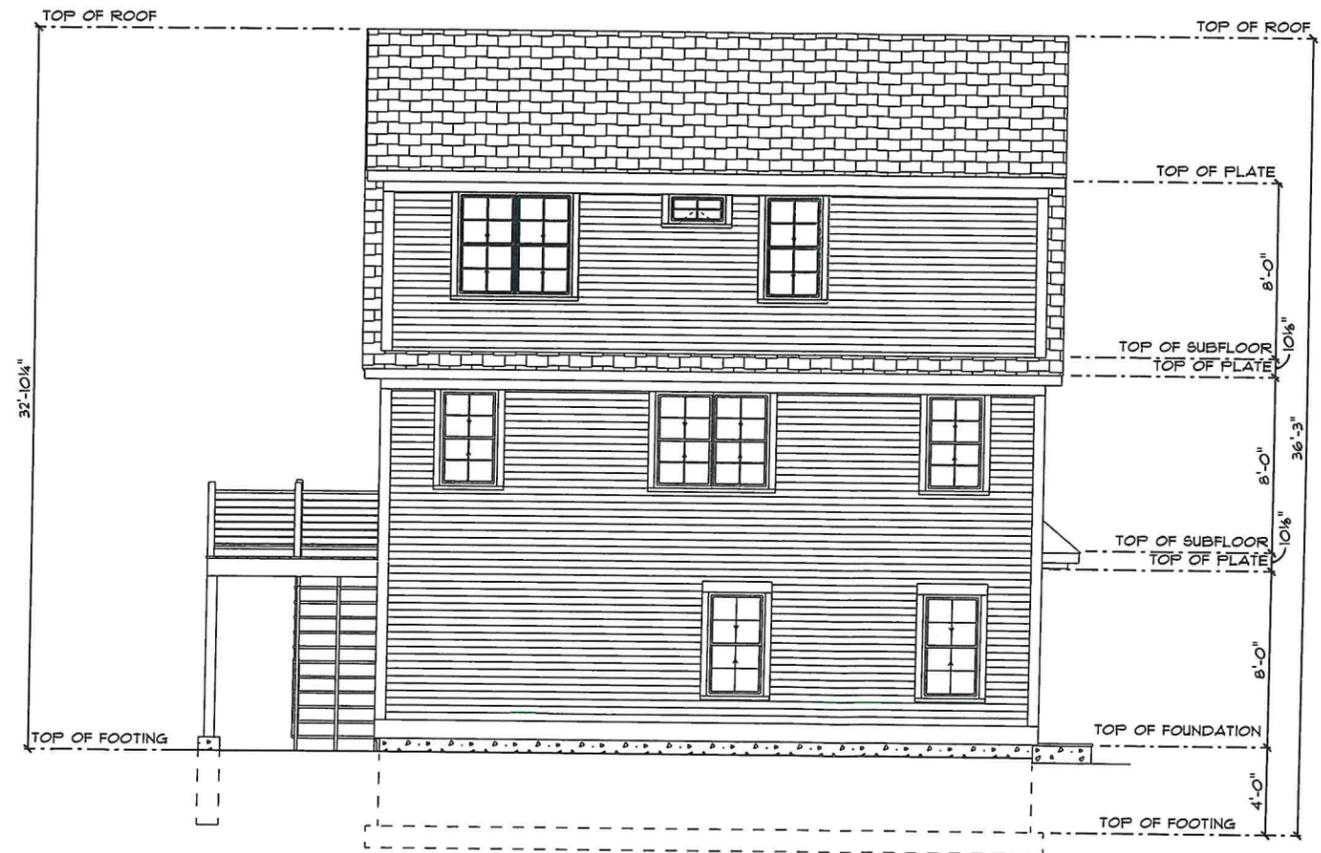
-  2 x 6 EXTERIOR WALL / SIDING
-  2 x 6 WALL
-  2 x 4 WALL

FOUNDATION LEGEND:

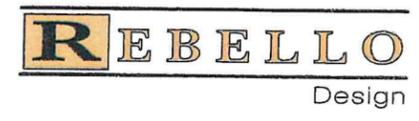
-  CONCRETE WALL & FOOTING
-  2 x 6 WALL
-  2 x 4 WALL
-  3 1/2" DIA. STEEL COLUMN



FRONT ELEVATION

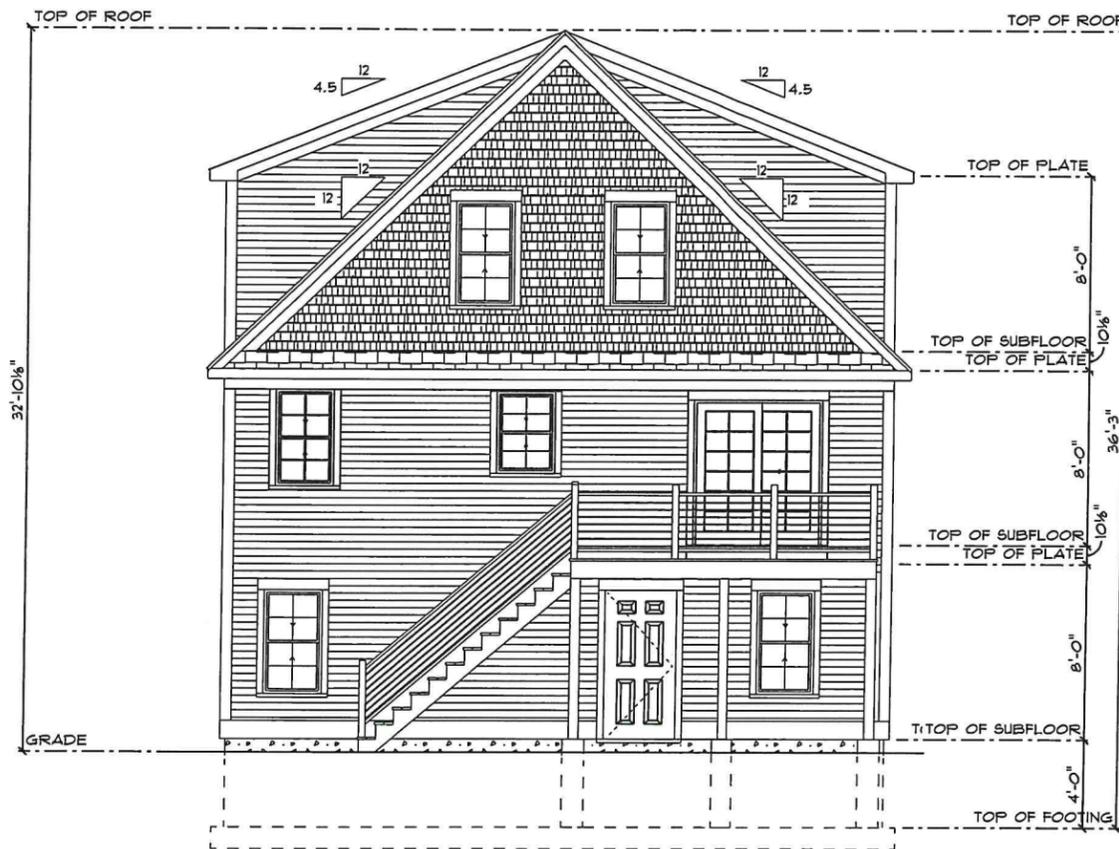


LEFT ELEVATION

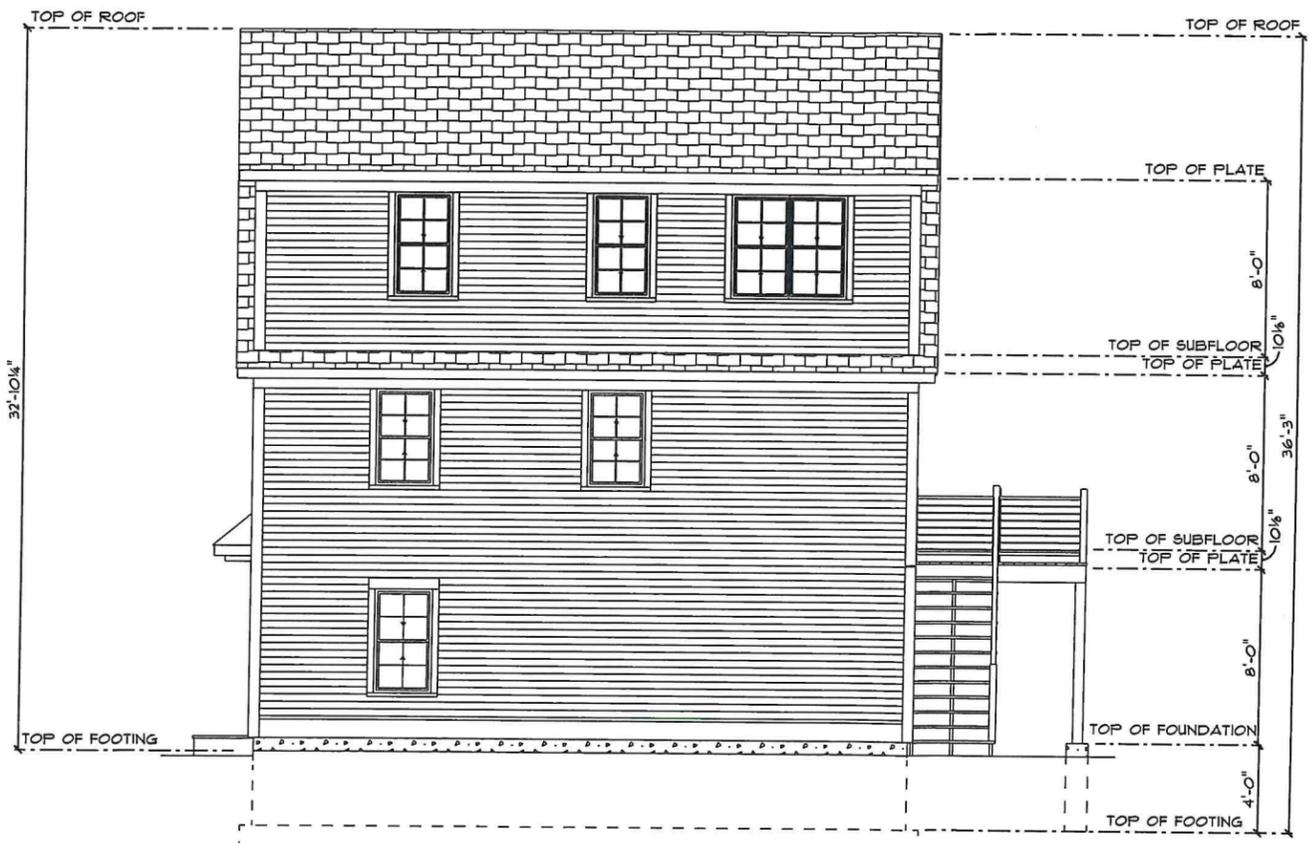


VICENTE, SPEC HOME
 0 TIBURY DR.
 BRISTOL RI 02809

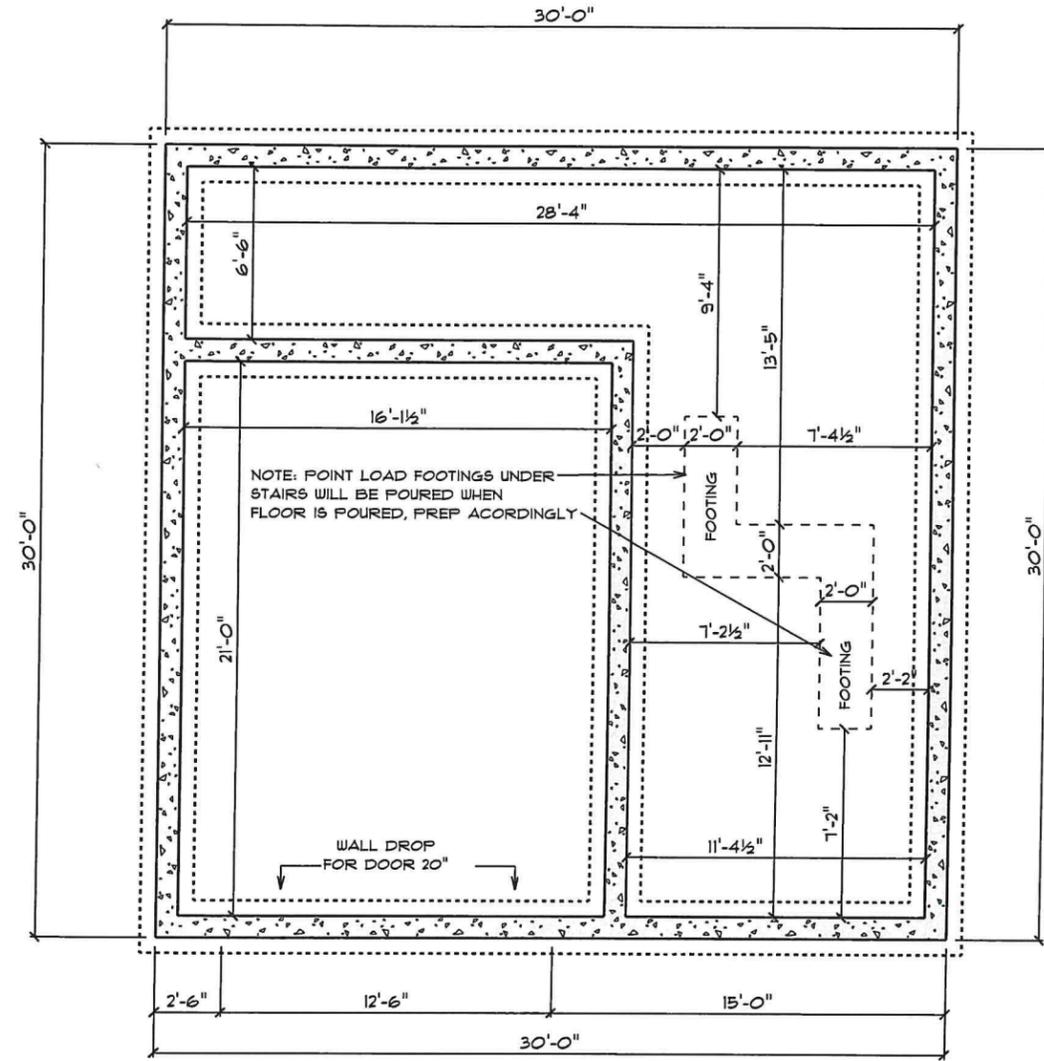
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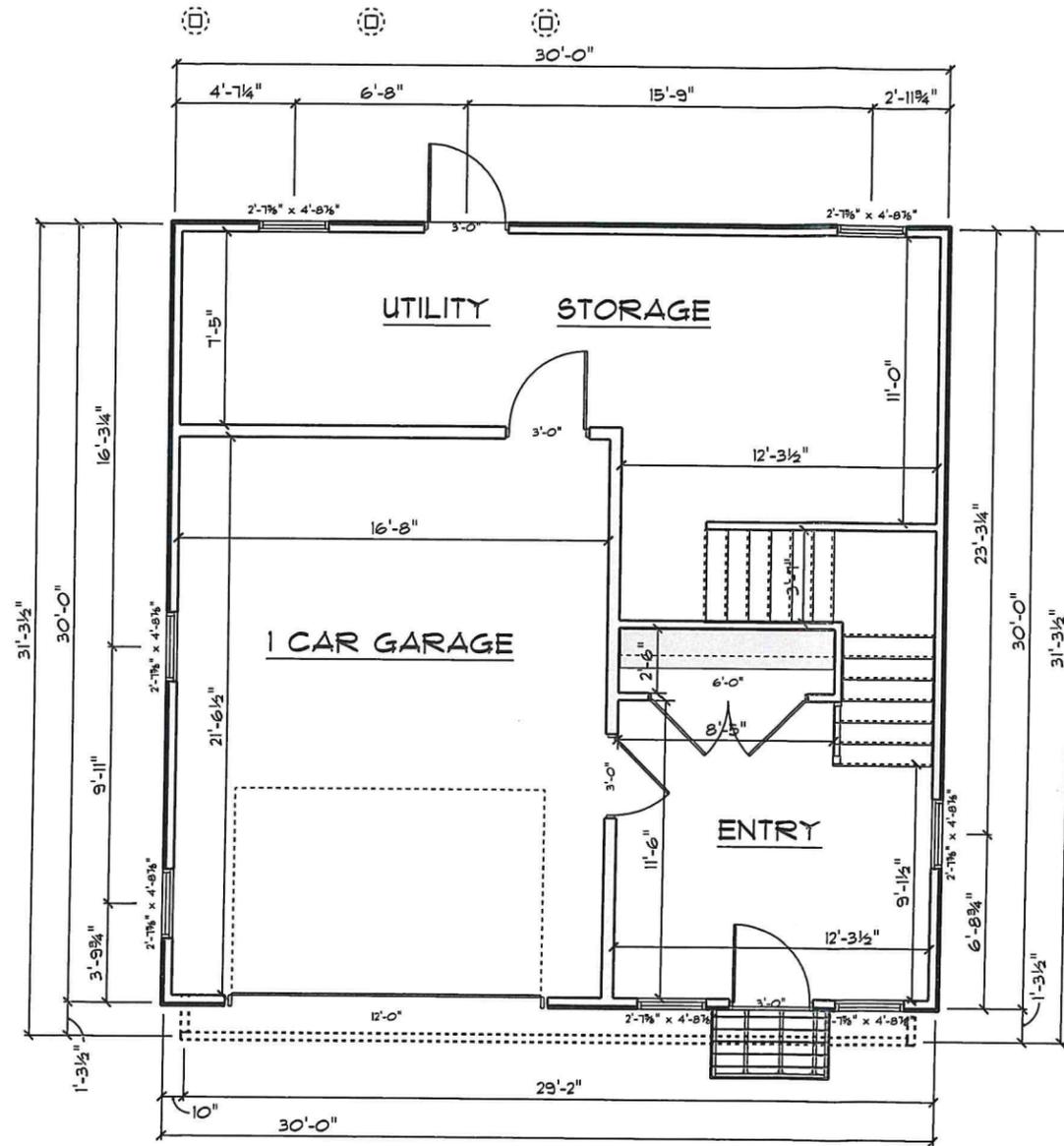
REAR ELEVATION



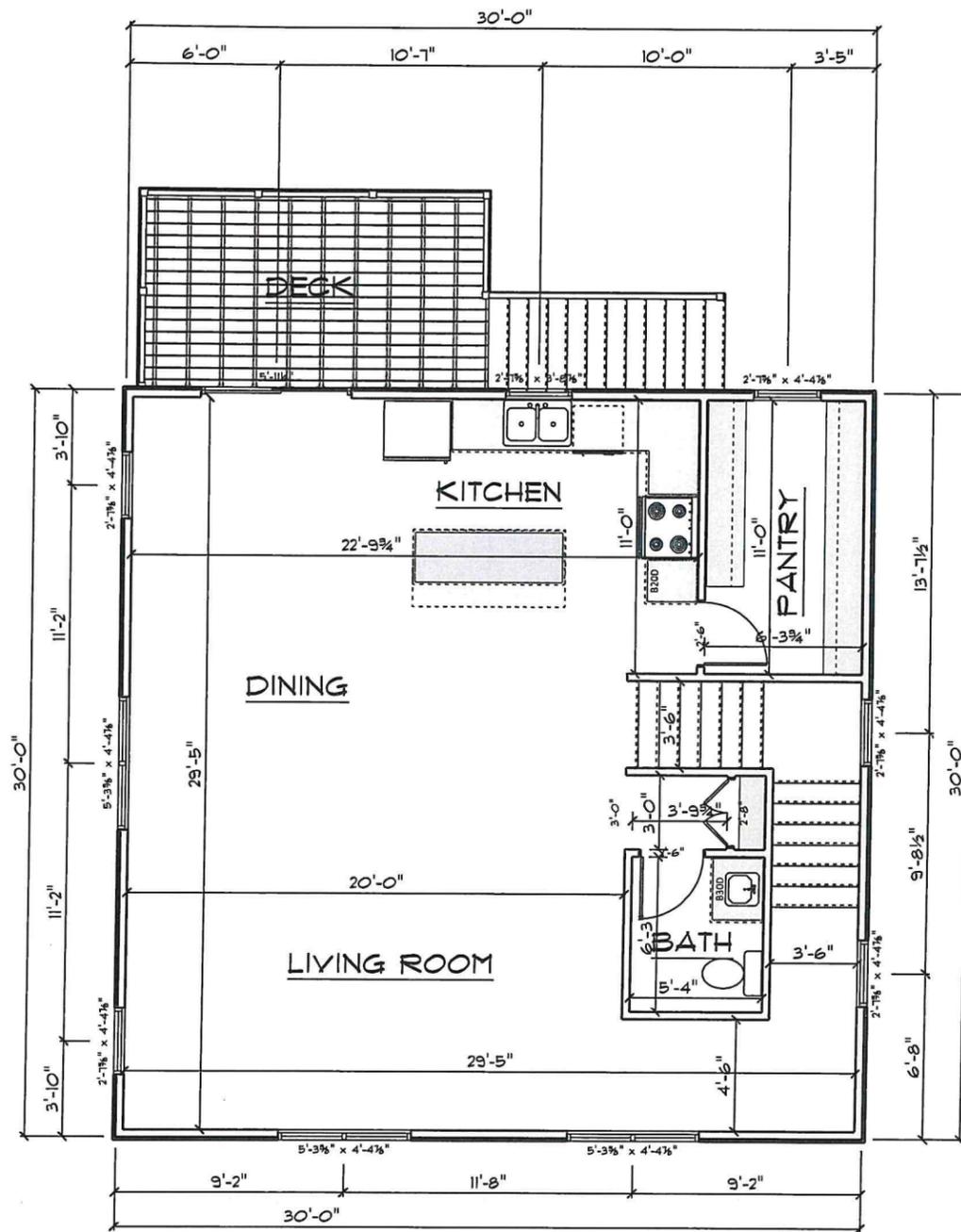
RIGHT ELEVATION



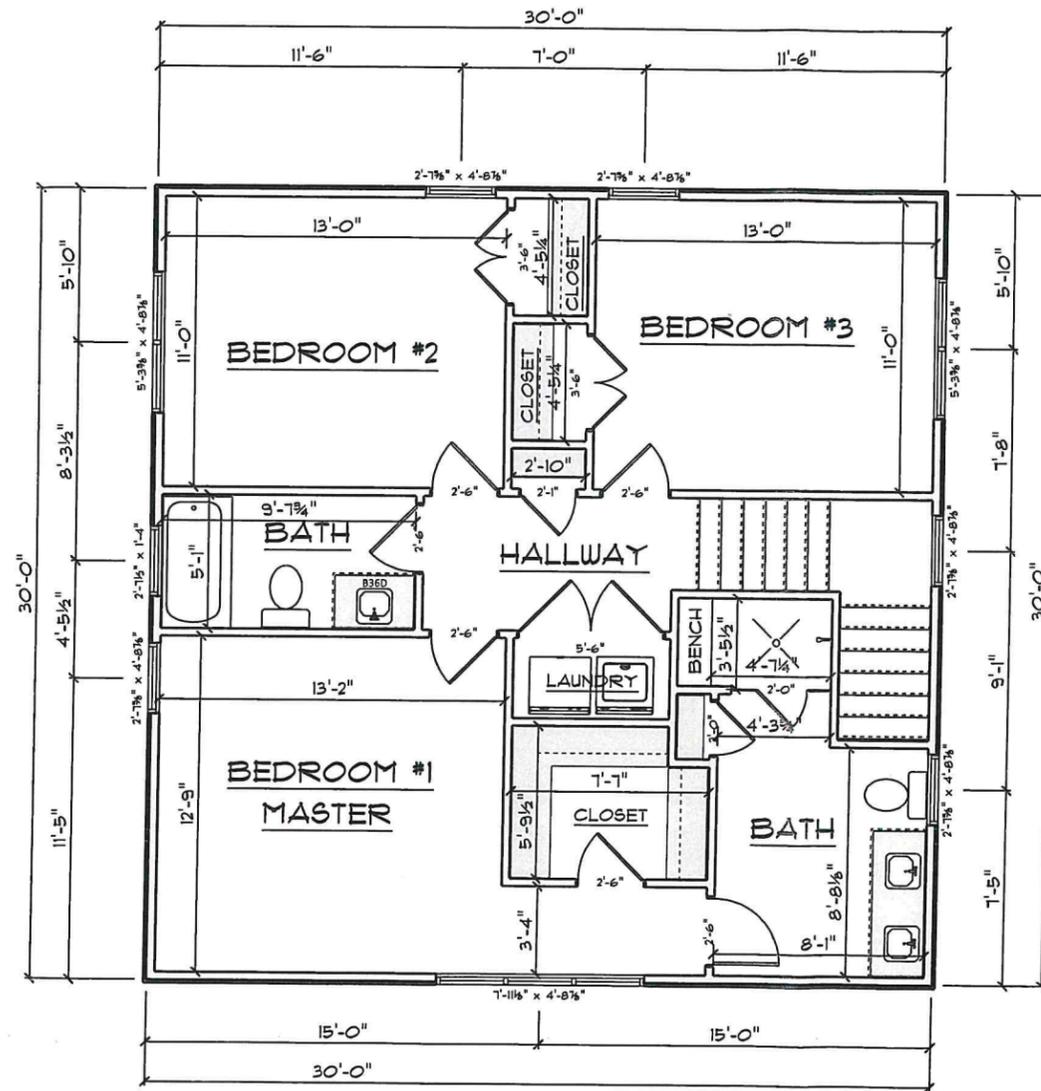
FOUNDATION



FIRST LEVEL



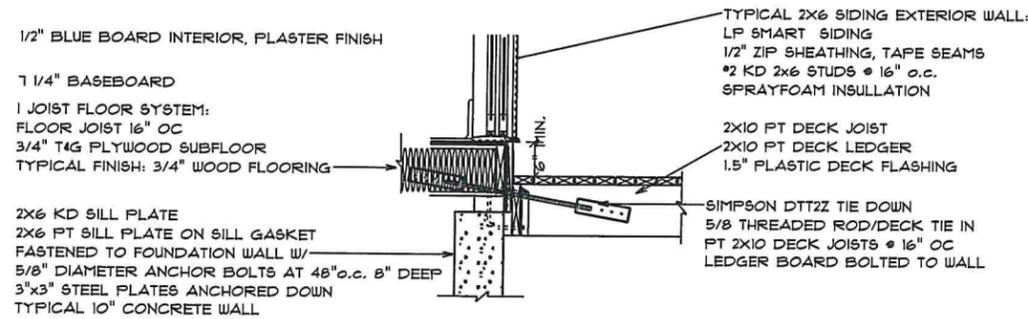
SECOND LEVEL



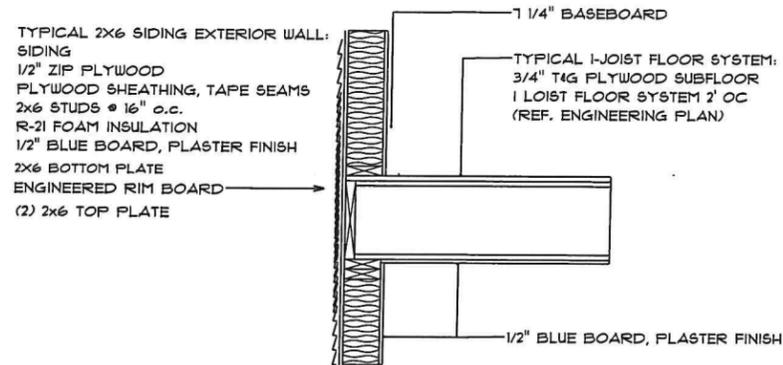
THIRD LEVEL

TYPICAL CROSS SECTION NOTES

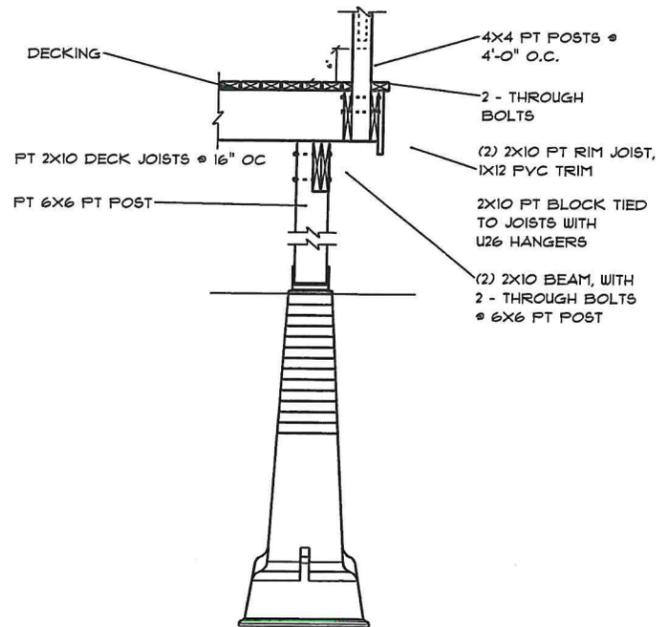
NO SCALE



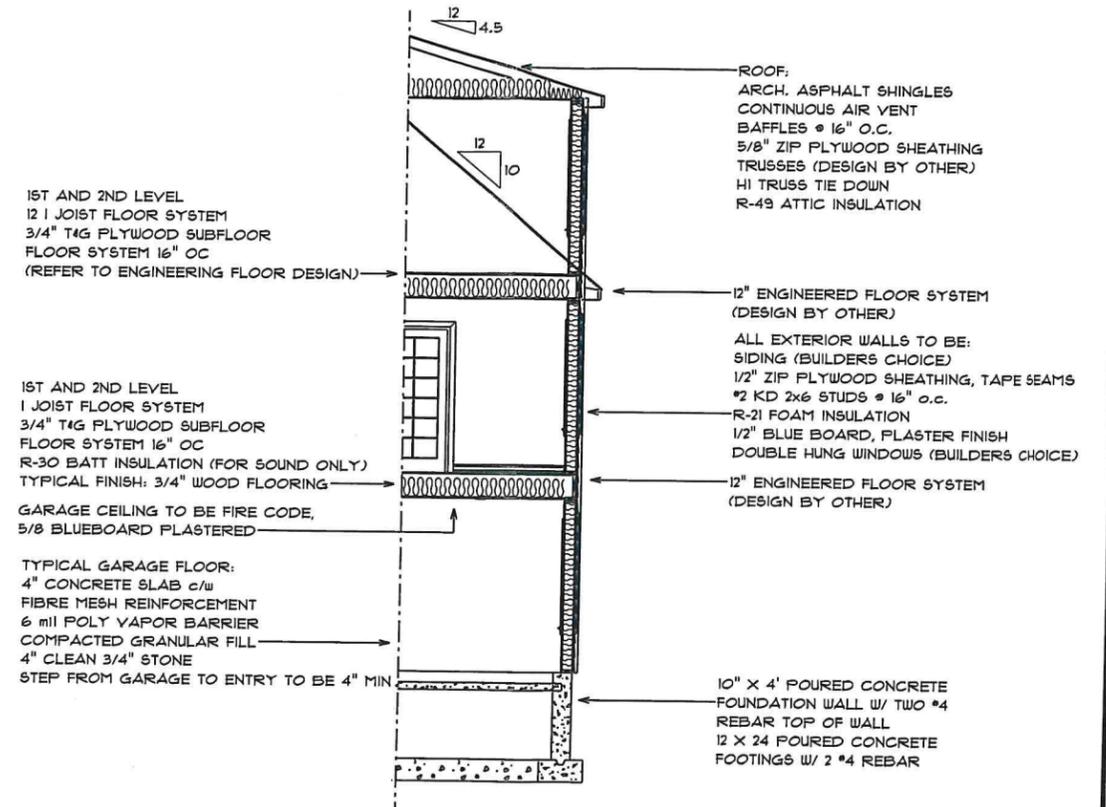
DECK & LEDGER BOARD



SECTION @ 1ST AND 2ND LEVEL



DECK SECTION DETAIL



WALL CROSS SECTION



TILBURY DR, Bristol, RI

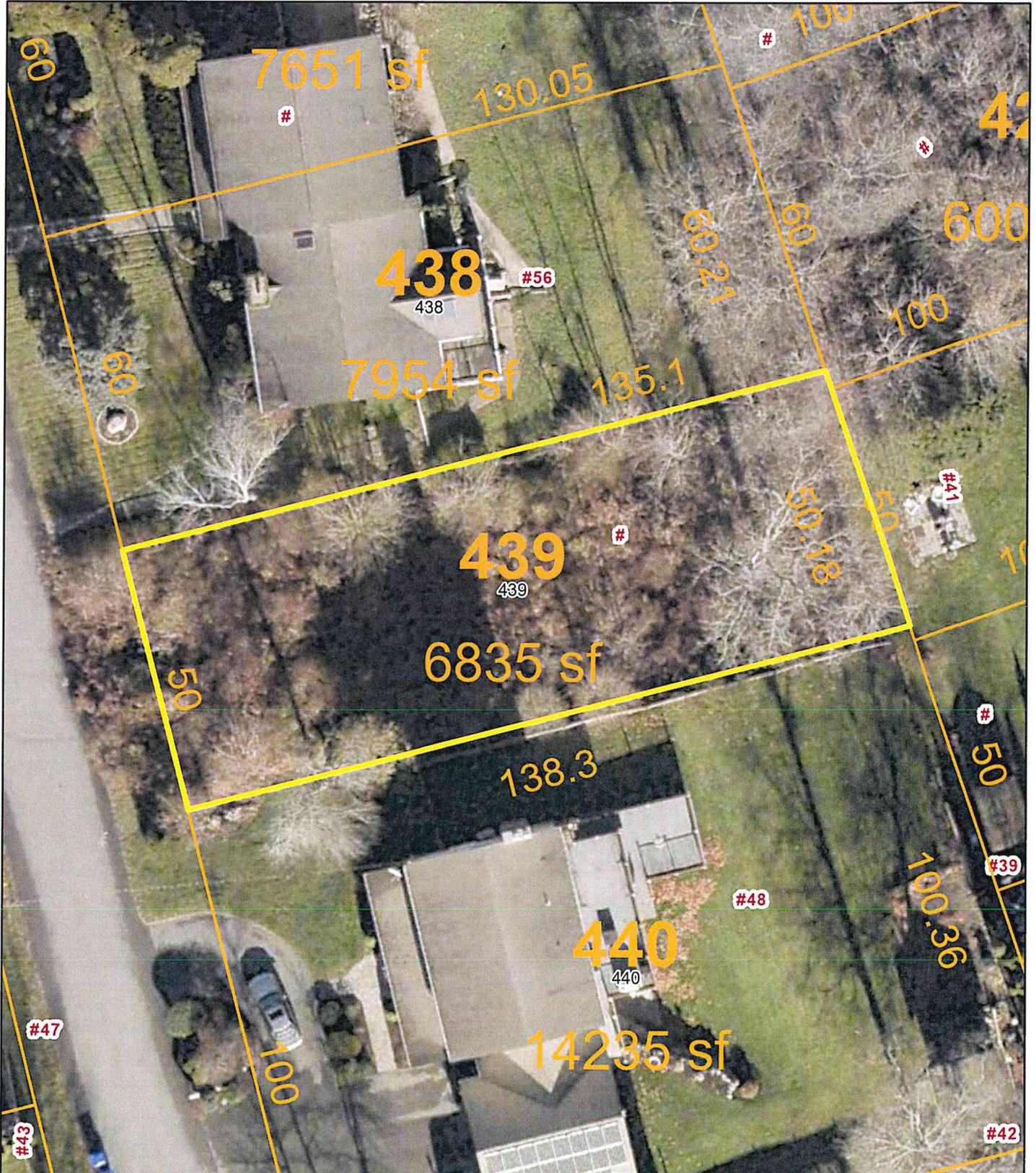
Map/Lot: 153-439

1 inch = 27 Feet



www.cai-tech.com

March 16, 2026



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Plat/Lot 153-0439-000

Account: 8050

LUC 13

Zone R-10

Assessment

\$160,100

Owner

Owner 1	VICENTE, GEOFFREY	% Owned
Owner 2		
Owner 3		
Address	11 WATERVIEW LN, WARREN, RI 02885	

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Dead Type
VINCENTE, GEOFFREY & ELEVATOR PROPERTIES, IN	08/08/2024	0	2253-112		Q
TAJ CONSTRUCTION LLC &	04/01/2024	0	2240-122		Q
VICENTE, GEOFFREY M	10/30/2023	150,000	2227-125		W
VICENTE, GINA & GEOFFREY TE	02/18/2022	0	2159-194		Q
J & K PROPERTIES, LLC	02/26/2021	119,000	2094-42		W

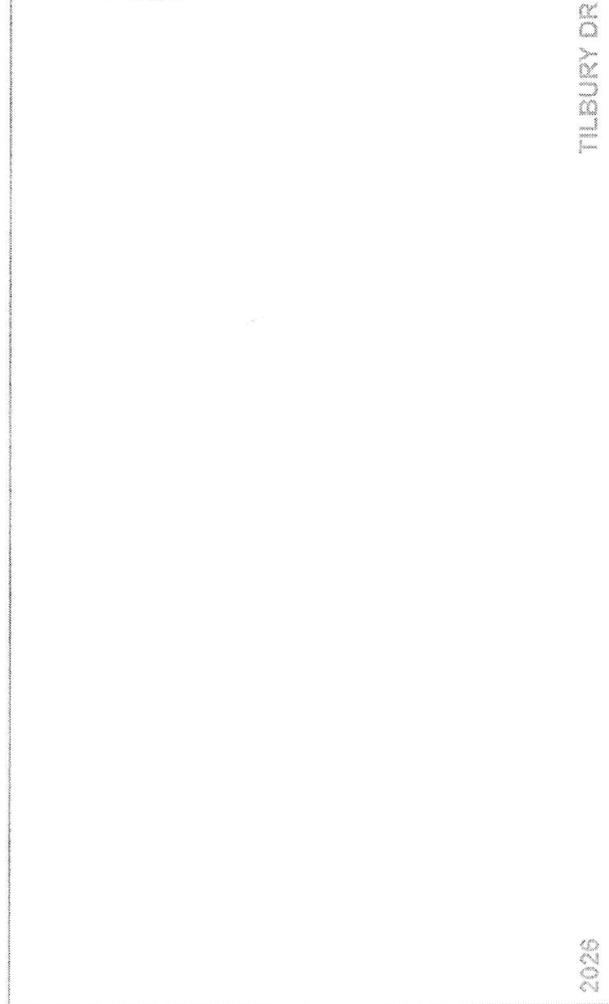
Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
13	0	0	0.16	160,100	0	160,100
TOTAL	0	0	0.16	160,100	0	160,100

Source > Mkt Adj Cost VAL per SQ Unit/Card > VAL per SQ Unit/Parcel >

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2025	13	0	0	0	160,100	0	160,100	160,100
2024	13	0	0	0	133,400	0	133,400	133,400
2023	13	0	0	0	133,400	0	133,400	133,400
2022	13	0	0	0	133,400	0	133,400	133,400
2021	13	0	0	0	122,800	0	122,800	122,800
2020	13	0	0	0	61,400	0	61,400	61,400



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value	
13 Res Vacant	0.15691	AC	P	1.00	756,000	1,020,330	N							160,100			1.00	0	
2																			
3																			
4																			



Building Information

Description	Description
BLDG Type	Story Height
RES Units	COM Units
Foundation	BMT Floor
Frame 1	Frame 2
EXT Wall 1	EXT Wall 2
Roof Type 1	Roof Type 2
Roof Cover 1	Roof Cover 2
INT Wall 1	INT Wall 2
Floors 1	Floors 2
BMT Garages	Color
Plumbing	Electrical
Insulation	INT vs EXT
Heat Fuel	Heat Type
# Heat Sys	% Heated
% Solar HW	% A/C
% COM Wall	% Vacuum
Ceiling Type	Ceiling Type
Parking Type	% Sprinkled

Grade

Grade	EFF Year
Year Built	Alt %
Alt LUC	

Other Factors

Flood Hazard	LEVEL
Topography	PAVED
Street	
Traffic	

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep Val
Total					

Depreciation

Code	Description	%
Condition		
Functional		
Economic		
Special		
OV		
Total Depreciation % >		

Remodeling History

Additions	Plumbing
Interior	Electric
Exterior	Heating
Kitchen	General
Bath(s)	

Condo Data

Complex	Location
Tot Units	FL Level
# Floors	Bldg Seq

Notes

1/25/2018 buildable lot letter

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1			
2			
3			
4			
Totals			

Visit History

Date	Result	By
1/29/2025	REVIEW	MP
1/13/2025	REVIEW	JN
12/30/2024	REVIEW	MP
6/27/2024	SALES VERI	
8/20/2021	REVIEW	
7/15/2021	VACANT LO	
5/11/2018	REVIEW	
5/1/2018	VACANT LO	

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											

Other Info.

AFDU
3rtTermRental
PriorID1c
PriorID2a
PriorID2b
PriorID2c
PriorID3a
PriorID3b
PriorID3c



300 feet Abutters List Report

Bristol, RI
March 12, 2026

Subject Property:

Parcel Number: 153-439
CAMA Number: 153-439
Property Address: TILBURY DR

Mailing Address: VICENTE, GEOFFREY
11 WATERVIEW LN
WARREN, RI 02885

Abutters:

Parcel Number: 152-353
CAMA Number: 152-353
Property Address: 47 BELVEDERE DR

Mailing Address: CAETANO, MANUEL A.
47 BELVEDERE DR
BRISTOL, RI 02809

Parcel Number: 152-355
CAMA Number: 152-355
Property Address: 51 BELVEDERE DR

Mailing Address: KRAKOWSKY, PATRICIA A.
51 BELVEDERE DR
BRISTOL, RI 02809

Parcel Number: 152-356
CAMA Number: 152-356
Property Address: 55 BELVEDERE DR

Mailing Address: SPINNER, ALBERT H. III & SUSAN Y. TE
55 BELVEDERE DRIVE
BRISTOL, RI 02809

Parcel Number: 152-357
CAMA Number: 152-357
Property Address: BELVEDERE DR

Mailing Address: SPINNER, ALBERT H. III & SUSAN Y. TE
55 BELVEDERE DRIVE
BRISTOL, RI 02809

Parcel Number: 152-358
CAMA Number: 152-358
Property Address: 57 BELVEDERE DR

Mailing Address: DALTON, JOSEPH PATRICK MAUREEN
ROSE TRS
57 BELVEDERE DR
BRISTOL, RI 02809

Parcel Number: 152-359
CAMA Number: 152-359
Property Address: 59 BELVEDERE DR

Mailing Address: GIANNINI, DAVID J. ERICA L. TE
59 BELVEDERE DR
BRISTOL, RI 02809

Parcel Number: 152-370
CAMA Number: 152-370
Property Address: SUNRISE DR

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 152-371
CAMA Number: 152-371
Property Address: SUNRISE DR

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 152-373
CAMA Number: 152-373
Property Address: 44 BASSWOOD DR

Mailing Address: KACHKA, FLORINA & SUGARMAN,
DAVID TE
44 BASSWOOD DR
BRISTOL, RI 02809

Parcel Number: 152-375
CAMA Number: 152-375
Property Address: 42 BASSWOOD DR

Mailing Address: COSTA, DIANE M.
42 BASSWOOD DR
BRISTOL, RI 02809



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300 feet Abutters List Report

Bristol, RI
March 12, 2026

Parcel Number: 152-376 CAMA Number: 152-376 Property Address: BASSWOOD DR	Mailing Address: COSTA, DIANE M. 42 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-378 CAMA Number: 152-378 Property Address: 40 BASSWOOD DR	Mailing Address: FERREIRA, LOUIS J 40 BASSWOOD DRIVE BRISTOL, RI 02809
Parcel Number: 152-380 CAMA Number: 152-380 Property Address: 38 BASSWOOD DR	Mailing Address: DICAMILLO, DANIEL G & SPALTHOLZ, KYLE JT 38 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-382 CAMA Number: 152-382 Property Address: 36 BASSWOOD DR	Mailing Address: HOLLAND, JAMES R. TRUSTEE 36 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-421 CAMA Number: 152-421 Property Address: 35 BASSWOOD DR	Mailing Address: REIDL, ANDREW J III MARLENE O ETUX TE 35 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-422 CAMA Number: 152-422 Property Address: 37 BASSWOOD DR	Mailing Address: PALAZZINI, MYKEL 37 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-424 CAMA Number: 152-424 Property Address: 39 BASSWOOD DR	Mailing Address: FARIA, JONATHAN P TRACEY A. TE 39 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-426 CAMA Number: 152-426 Property Address: BASSWOOD DR	Mailing Address: FERREIRA, JEFFREY ET UX BRENDA LEE FERREIRA TE 41 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-427 CAMA Number: 152-427 Property Address: 41 BASSWOOD DR	Mailing Address: FERREIRA, JEFFREY ET UX BRENDA LEE FERREIRA TE 41 BASSWOOD DR BRISTOL, RI 02809
Parcel Number: 152-428 CAMA Number: 152-428 Property Address: BASSWOOD DR	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 152-429 CAMA Number: 152-429 Property Address: BASSWOOD DR	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809
Parcel Number: 152-430 CAMA Number: 152-430 Property Address: BASSWOOD DR	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809



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300 feet Abutters List Report

Bristol, RI
March 12, 2026

Parcel Number: 153-431 CAMA Number: 153-431 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-432 CAMA Number: 153-432 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-433 CAMA Number: 153-433 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-434 CAMA Number: 153-434 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-435 CAMA Number: 153-435 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-436 CAMA Number: 153-436 Property Address: TILBURY DR	Mailing Address: ARRUDA, MARIE M & JOSE a/k/a JOSEPH TRUSTEES-ARRUDA FAMILY TRUST 56 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-437 CAMA Number: 153-437 Property Address: TILBURY DR	Mailing Address: ARRUDA, MARIE M & JOSE a/k/a JOSEPH TRUSTEES-ARRUDA FAMILY TRUST 56 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-438 CAMA Number: 153-438 Property Address: 56 TILBURY DR	Mailing Address: ARRUDA, MARIE M & JOSE a/k/a JOSEPH TRUSTEES-ARRUDA FAMILY TRUST 56 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-439 CAMA Number: 153-439 Property Address: TILBURY DR	Mailing Address: VICENTE, GEOFFREY 11 WATERVIEW LN WARREN, RI 02885
Parcel Number: 153-440 CAMA Number: 153-440 Property Address: 48 TILBURY DR	Mailing Address: HOPKINS, ROBERT N., JR. 48 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-443 CAMA Number: 153-443 Property Address: 42 TILBURY DR	Mailing Address: CORSER, JEANNE A. 42 TILBURY DR BRISTOL, RI 02809



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300 feet Abutters List Report

Bristol, RI
March 12, 2026

Parcel Number: 153-445 CAMA Number: 153-445 Property Address: 40 TILBURY DR	Mailing Address: CASTILLO, ANTHONY J 40 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-489 CAMA Number: 153-489 Property Address: 39 TILBURY DR	Mailing Address: ELIE, SARAH J 39 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-490 CAMA Number: 153-490 Property Address: 41 TILBURY DR	Mailing Address: DALLAIRE, LANCE 41 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-492 CAMA Number: 153-492 Property Address: 43 TILBURY DR	Mailing Address: GODBOUT, PETER JILL ETUX TE 12 EVERREADY AVE BRISTOL, RI 02809
Parcel Number: 153-493 CAMA Number: 153-493 Property Address: 47 TILBURY DR	Mailing Address: AMARAL, ROBERT C & ETHIER, AMANDA JT 47 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-494 CAMA Number: 153-494 Property Address: TILBURY DR	Mailing Address: AMARAL, ROBERT C & ETHIER, AMANDA JT 47 TILBURY DR BRISTOL, RI 02809
Parcel Number: 153-497 CAMA Number: 153-497 Property Address: 51 TILBURY DR	Mailing Address: SOUSA, ANTHONY KRISTIN M. TE 51 TILBURY RD BRISTOL, RI 02809
Parcel Number: 153-498 CAMA Number: 153-498 Property Address: TILBURY DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-499 CAMA Number: 153-499 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-500 CAMA Number: 153-500 Property Address: SUNRISE DR	Mailing Address: TOWN OF BRISTOL\FEW PROP SUNRISE & TILBURY DR 10 COURT ST BRISTOL, RI 02809
Parcel Number: 153-502 CAMA Number: 153-502 Property Address: 56 WAPPING DR	Mailing Address: MARINO, CAROLINE A 56 WAPPING DR BRISTOL, RI 02809
Parcel Number: 153-504 CAMA Number: 153-504 Property Address: 54 WAPPING DR	Mailing Address: MARINO, KENNETH 54 WAPPING DR. BRISTOL, RI 02809



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300 feet Abutters List Report

Bristol, RI
March 12, 2026

Parcel Number: 153-505
CAMA Number: 153-505
Property Address: 52 WAPPING DR

Mailing Address: MARINO, MATTHEW DANIEL & STACY
TE
52 WAPPING DR
BRISTOL, RI 02809

Parcel Number: 153-509
CAMA Number: 153-509
Property Address: 46 WAPPING DR

Mailing Address: PIMENTAL, JOSE B.
46 WAPPING DR
BRISTOL, RI 02809

Parcel Number: 153-511
CAMA Number: 153-511
Property Address: 42 WAPPING DR

Mailing Address: BOLIEIRO, ERNESTO
42 WAPPING DR
BRISTOL, RI 02809



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AMARAL, ROBERT C & ETHIER
47 TILBURY DR
BRISTOL, RI 02809

ELIE, SARAH J
39 TILBURY DR
BRISTOL, RI 02809

MARINO, CAROLINE A
56 WAPPING DR
BRISTOL, RI 02809

ARRUDA, MARIE M & JOSE a/
TRUSTEES-ARRUDA FAMILY TR
56 TILBURY DR
BRISTOL, RI 02809

FARIA, JONATHAN P
TRACEY A. TE
39 BASSWOOD DR
BRISTOL, RI 02809

MARINO, KENNETH
54 WAPPING DR.
BRISTOL, RI 02809

BOLIEIRO, ERNESTO
42 WAPPING DR
BRISTOL, RI 02809

FERREIRA, JEFFREY ET UX
BRENDA LEE FERREIRA TE
41 BASSWOOD DR
BRISTOL, RI 02809

MARINO, MATTHEW DANIEL &
STACY TE
52 WAPPING DR
BRISTOL, RI 02809

CAETANO, MANUEL A.
47 BELVEDERE DR
BRISTOL, RI 02809

FERREIRA, LOUIS J
40 BASSWOOD DRIVE
BRISTOL, RI 02809

PALAZZINI, MYKEL
37 BASSWOOD DR
BRISTOL, RI 02809

CASTILLO, ANTHONY J
40 TILBURY DR
BRISTOL, RI 02809

GIANNINI, DAVID J.
ERICA L. TE
59 BELVEDERE DR
BRISTOL, RI 02809

PIMENTAL, JOSE B.
46 WAPPING DR
BRISTOL, RI 02809

CORSER, JEANNE A.
42 TILBURY DR
BRISTOL, RI 02809

GODBOUT, PETER
JILL ETUX TE
12 EVERREADY AVE
BRISTOL, RI 02809

REIDL, ANDREW J III
MARLENE O ETUX TE
35 BASSWOOD DR
BRISTOL, RI 02809

COSTA, DIANE M.
42 BASSWOOD DR
BRISTOL, RI 02809

HOLLAND, JAMES R. TRUSTEE
36 BASSWOOD DR
BRISTOL, RI 02809

SOUSA, ANTHONY
KRISTIN M. TE
51 TILBURY RD
BRISTOL, RI 02809

DALLAIRE, LANCE
41 TILBURY DR
BRISTOL, RI 02809

HOPKINS, ROBERT N., JR.
48 TILBURY DR
BRISTOL, RI 02809

SPINNER, ALBERT H. III
& SUSAN Y. TE
55 BELVEDERE DRIVE
BRISTOL, RI 02809

DALTON, JOSEPH PATRICK
MAUREEN ROSE TRS
57 BELVEDERE DR
BRISTOL, RI 02809

KACHKA, FLORINA & SUGARMA
44 BASSWOOD DR
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

DICAMILLO, DANIEL G &
SPALTHOLZ, KYLE JT
38 BASSWOOD DR
BRISTOL, RI 02809

KRAKOWSKY, PATRICIA A.
51 BELVEDERE DR
BRISTOL, RI 02809

TOWN OF BRISTOL\FEW PROP
SUNRISE & TILBURY DR
10 COURT ST
BRISTOL, RI 02809

VICENTE, GEOFFREY
11 WATERVIEW LN
WARREN, RI 02885