



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809
Telephone: (401) 253-7000
www.bristolri.gov

March 17, 2026
File #: ZBR-26-11

NOTICE OF PUBLIC HEARING

PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review
that a Public Hearing will be held in-person at:
Bristol Town Hall
10 Court Street, Bristol, RI 02809
April 6, 2026 at 7:00 p.m.

In regards to the petition of:

Applicant: Louis A Cabral
Owner of Record: Louis A. Cabral and Joan F. Greenwell
Location: 14 UNION ST , BRISTOL, RI, 02809
Plat: 15 Lot: 52
Zoning District: R-6

Applicant is requesting **Dimensional Variances** to:

construct a covered front porch addition to an existing single-family dwelling with less than the required front yard; and to demolish an existing 20ft. x 30ft. single-story accessory garage structure and construct a new 24ft. x 36ft. two-story accessory garage structure at a size and height greater than permitted for accessory structures in the R-6 zoning district.

Edward M. Tanner
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov.



Zoning Board of Review Application
Town of Bristol

Record ID: ZBR-26-11

14 Union Street 15 52

March 12, 2026

Applicant	
Name of Applicant	Louis A Cabral
Who is Submitting this Application	Owner
	If other, Describe:
Owner's Name (If Different than Applicant)	

Location for Application			
Property Type	Both		
Zoning District	R-6		
Address, Plat, Lot	Address	Plat	Lot
	14 Union Street	15	52

Type of Application	
Application Type	Dimensional Variance
Proposed	New Building
	If other, Detail:
New Building Type	Other
	If other, Detail: Garage

Size of Proposed Building(s)/Addition(s) (If applicable)	
Total Square Footage	863 feet
Width in Feet	24 feet
Length in Feet	36 feet
Height Above Grade	22.1 feet
Number of Stories	2

Setbacks	
Front Yard in Feet	5.9 feet
Rear Yard in Feet	0 feet
Left Side Yard in Feet	0 feet
Right Side Yard in Feet	0 feet
Height in Feet	2.1 feet

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)
The proposed front porch will extend within 3ft. 3in. of the front property line requiring 5ft. 9in. of relief for the front yard and the height of the new proposed garage is 22ft. 10in. The Ordinance allows for a maximum height of 20 feet and the proposed amount of building height relief would be 2 feet and 10 inches.

Describe the extent of the proposed alterations and the reasons for the requesting relief
Reactivate the Decision For Variance of the Zoning Board of Review dated July 24 and November 14, of 2023, that granted the applicant relief to construct the garage as proposed, as well as a covered front porch that had previously been approved by the Zoning Board of Review.

Existing Lot Specifications	
Current Use of Premises	Residential If other, explain:
Number of Units	
Lot Area	13,000
Lot Frontage	110
Lot Depth	118

Existing Buildings & Structures		
Structure:	Square Footage:	Building/Structure Detail if Other:

March 12, 2026

Louis A. Cabral
14 Union Street
Bristol, RI 02809

Dear Members of the Zoning Board of Review:

I have previously appeared before you seeking dimensional relief for the construction of a covered porch and the repositioning and construction of an accessory two-story garage at 14 Union Street.

On two separate occasions, July 24th and November 14th of 2023, your Board granted the relief sought and for that, my wife and I thank you.

Commencement of project construction was delayed and the previous Decision for Variance period expired.

We are now in the process of trying to obtain a Building Permit, but before one can be granted, the zoning relief that had been previously approved needs to be reinstated. All conditions of the approved plan remained the same.

Therefore, I once again respectfully ask for your consideration in providing the relief previously granted.

Sincerely,

Lou Cabral



Town of Bristol, Rhode Island
Zoning Board of Review

11/14/2023 02:08:03 PM 2 Pages
DECISION
Bk: 2228 Pg: 323
Instr: 2023-6450

DECISION FOR VARIANCE

FILE # 2023-33

RE: Application of: Louis and Joan Cabral

For property located at 14 Union Street, in Bristol, Rhode Island (Tax Assessor's Plat 15, Lot 52) in the following zoning district: Residential R-6.

This matter was heard before the Board at public hearings on February 6, 2023 and April 3, 2023 upon the Applicant's request for DIMENSIONAL VARIANCES from the Zoning Ordinance to: SEPTEMBER 18, 2023 (EM)

Modify a previous decision approving the construction of a 24ft. x 36ft. two-story accessory garage structure at a size and height greater than permitted for accessory structures in the R-6 zoning district by repositioning the proposed structure to the southeastern portion of the lot.

After due consideration of the Application, (including the exhibits, testimony of the witnesses, and the entire record presented to the Board), the Board makes the following findings of fact:

- 1. The aforementioned hardship from which the applicant seeks relief is due to the unique characteristics of the subject land and structure and is not due to the general characteristics of the surrounding area, and is not due to an economic disability of the applicant. The applicant is seeking relief for the construction of a new accessory garage on this property located on the southerly side of Union Street. This property contains approximately 13,000 square feet of land area, and it is currently improved with a single-family dwelling and a detached three-stall accessory garage structure. The applicant proposes to demolish an existing 20ft. x 30ft. accessory structure and construct a new 24ft. x 36ft. three-car accessory garage structure. The applicant also proposes to modify a previous decision of this Board (file number 2023-08) approving the construction of the 24ft. x 36ft. two-story accessory structure at a size and height greater than permitted for an accessory structure in the R-6 zoning district by repositioning the proposed structure to the southeast portion of the lot and turning the structure such that the garage doors face internally rather than towards Union Street. Previously, this Board approved dimensional variances for the applicant to construct a similar structure in a different location on the lot. The Board cites the prior findings of file number 2023-08, and also acknowledges that this new proposed garage structure requires a height variance of 2ft. 10in.; but, because of the modified roof design and revisions to the dormers, it has less overall roof area than the previous approval. The existing accessory structure also has three-car garage spaces. The proposed garage would be located on the southeasterly rear portion of the property does not require any rear or side yard setback variance. The structure would be larger in size and height than the zoning ordinance permits for an accessory structure in an R-6 zone. The proposed height of the structure is 22ft. 10in. above grade. The Ordinance allows for a maximum height of 20 feet and the proposed amount of building height relief would be 2ft. 10in. The dwelling in which Mr. Cabral will reside with his wife and his son, given its age, has substandard storage opportunities with a damp basement and limited above-ground storage. In that case, the applicant has asked for relief to create a storage floor on the second story of the proposed accessory structure.
2. The hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain. The structures on the subject property were built many years ago, and were not built by the applicant. The applicant is essentially replacing what is an already existing three-car garage, and bringing it to standards, which would be expected for a structure to house three vehicles.
3. The granting of relief will not alter the general characteristic of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Community Plan of the Town of Bristol. This is a residential use within a residential neighborhood, and an accessory garage structure is permitted in residential zoning districts. The modified proposal for the accessory garage design and layout would place the structure in a location that is less intrusive to the surrounding neighborhood and further away from the existing dwelling. The Board heard testimony that the proposed accessory garage has been brought before the Historic District Commission and received favorable reviews; and even after this decision, the applicant will be returning to the Historic District Commission for further review.



Town of Bristol, Rhode Island
Zoning Board of Review

DECISION FOR VARIANCE

FILE # 2023-33
(Page 2 of 2)

RE: Application of: Louis and Joan Cabral

For property located at 14 Union Street, in Bristol, Rhode Island (Tax Assessor's Plat 15, Lot 52) in the following zoning district: Residential R-6.

Therefore the Board voted 5 to 0 to approve the application as presented permitting the construction of a 24ft. x 36ft. accessory garage structure at a height of 22ft. 10in. above grade, and in a modified location and orientation from the previously approved structure.

Voting to Approve: Asciola; Simoes; Brum; Kern; and Tipton
Voting to Deny: None

Making a part of this Decision the application, along with required materials, plans, and exhibits filed with the Board at the meeting, and excerpts of the public hearing minutes.

Recorded as the Decision of the Town of Bristol Zoning Board of Review on

This 14th day of November, 2023.

Diane M. Williamson
Diane M. Williamson, Director of Community Development

Received for record at Bristol, RI
11/14/2023 02:08:03 PM



Town of Bristol, Rhode Island
Zoning Board of Review

07/24/2023
03:36:36 PM
2 Pages
DECISION
Bk: 2218 Pg: 159
Instr: 2023-5494

DECISION FOR VARIANCE

FILE # 2023-08

RE: Application of: Louis and Joan Cabral

Property Owner: Louis Cabral and Joan F. Greenwell

For property located at 14 Union Street, in Bristol, Rhode Island (Tax Assessor's Plat 15, Lot 52) in the following zoning district: Residential R-6.

This matter was heard before the Board at public hearings on February 6, 2023 and April 3, 2023 upon the Applicant's request for DIMENSIONAL VARIANCES from the Zoning Ordinance to:

Construct a covered front porch addition to an existing single-family dwelling with less than the required front yard; and to demolish an existing 20ft. x 30ft. single-story accessory garage structure and construct a new 24ft. x 36ft. two-story accessory garage structure with less than the required rear yard and at a size and height greater than permitted for accessory structures in the R-6 zoning district.

After due consideration of the Application, (including the exhibits, testimony of the witnesses, and the entire record presented to the Board), the Board makes the following findings of fact:

1. The aforementioned hardship from which the applicant seeks relief is due to the unique characteristics of the subject land and structure and is not due to the general characteristics of the surrounding area, and is not due to an economic disability of the applicant. The applicant is seeking relief from the minimum front yard setback for a front porch on the existing dwelling and also for the construction of a new accessory garage. The proposed front porch addition will measure approximately 6ft. 8in. wide and approximately 29ft. long across the front and a portion of the left side of the existing dwelling. This porch would have a roof covering and would replace an existing stone and masonry step that leads from the sidewalk to the front door of the dwelling. The proposed front porch would extend to within 3ft. 3in. of the front property line, which would require 5ft. 9in. of relief for the front yard. Because this property is located within the Bristol Historic District, the Town's dimensional requirements and zoning ordinance did not exist when this property was originally constructed in 1849. In that time, the size of Bristol's streets has changed, and the Town has changed; because of that, the residents who live in this particular part of Town often need to seek relief. The applicant also proposes to demolish an existing 20ft. x 30ft. accessory structure and construct a new 24ft. x 36ft. three-car accessory garage structure in its place. The existing accessory structure also has three-car garage spaces. The proposed garage would be located on the southern rear portion of the property in line with the existing driveway. The applicant has modified the proposed garage location such that it does not require a rear yard setback variance. The structure would be larger in size and height than the zoning ordinance permits for an accessory structure in an R-6 zone. The proposed height of the structure is 22ft. 9 1/4in. above grade. The Ordinance allows for a maximum height of 20 feet and the proposed amount of building height relief would be 2ft. 9 1/4in. The dwelling in which Mr. Cabral will reside with his wife and his son, given its age, has substandard storage opportunities with a damp basement and limited above-ground storage. In that case, the applicant has asked for relief to create a storage floor on the second story of the proposed three-car accessory structure.
2. The hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain. The structures on the subject property were built many years ago, and were not built by the applicant. In this particular case the applicant is essentially replacing what is already existing, and bringing it to standards, which would be expected for a structure to house three vehicles.
3. The granting of relief will not alter the general characteristic of the surrounding area or impair the intent or purpose of the Zoning Ordinance or the Comprehensive Community Plan of the Town of Bristol. This is a residential use within a residential neighborhood, and an accessory garage structure is permitted in residential zoning districts. In addition, the proposed front porch with the amount of relief requested would not be uncharacteristic of the surrounding area. Nor would it create an adverse impact to the surrounding area. The Board heard testimony that the proposed front porch and accessory garage have been brought before the Historic District Commission and received favorable reviews; and even



Town of Bristol, Rhode Island
Zoning Board of Review

DECISION FOR VARIANCE

FILE # 2023-08
(Page 2 of 2)

RE: Application of: Louis and Joan Cabral

Property Owner: Louis Cabral and Joan F. Greenwell

For property located at 14 Union Street, in Bristol, Rhode Island (Tax Assessor's Plat 15, Lot 52) in the following zoning district: Residential R-6.

Therefore the Board voted 4 to 1 to approve the application as presented permitting the construction of a 24ft. x 36ft. accessory garage structure at a height of 22ft. 9 1/4in. above grade; and to construct a 6ft. 8in. wide front porch at a length of 29 feet along the front and left side of the existing dwelling within 3 feet 3 inches of the front property line; subject to a condition that the design of the proposed garage and front porch addition be approved by the Bristol Historic District Commission.

Voting to Approve: Simoes; Brum; Kern; and Tipton
Voting to Deny: White

Making a part of this Decision the application, along with required materials, plans, and exhibits filed with the Board at the meeting, and excerpts of the public hearing minutes.

Recorded as the Decision of the Town of Bristol Zoning Board of Review on

This 24TH day of JULY, 2023.

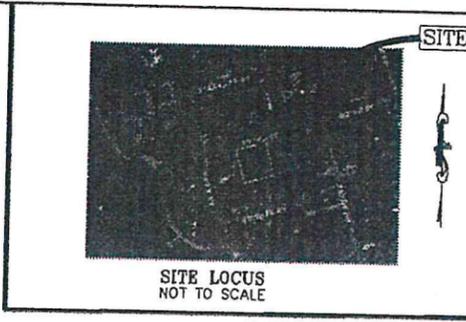
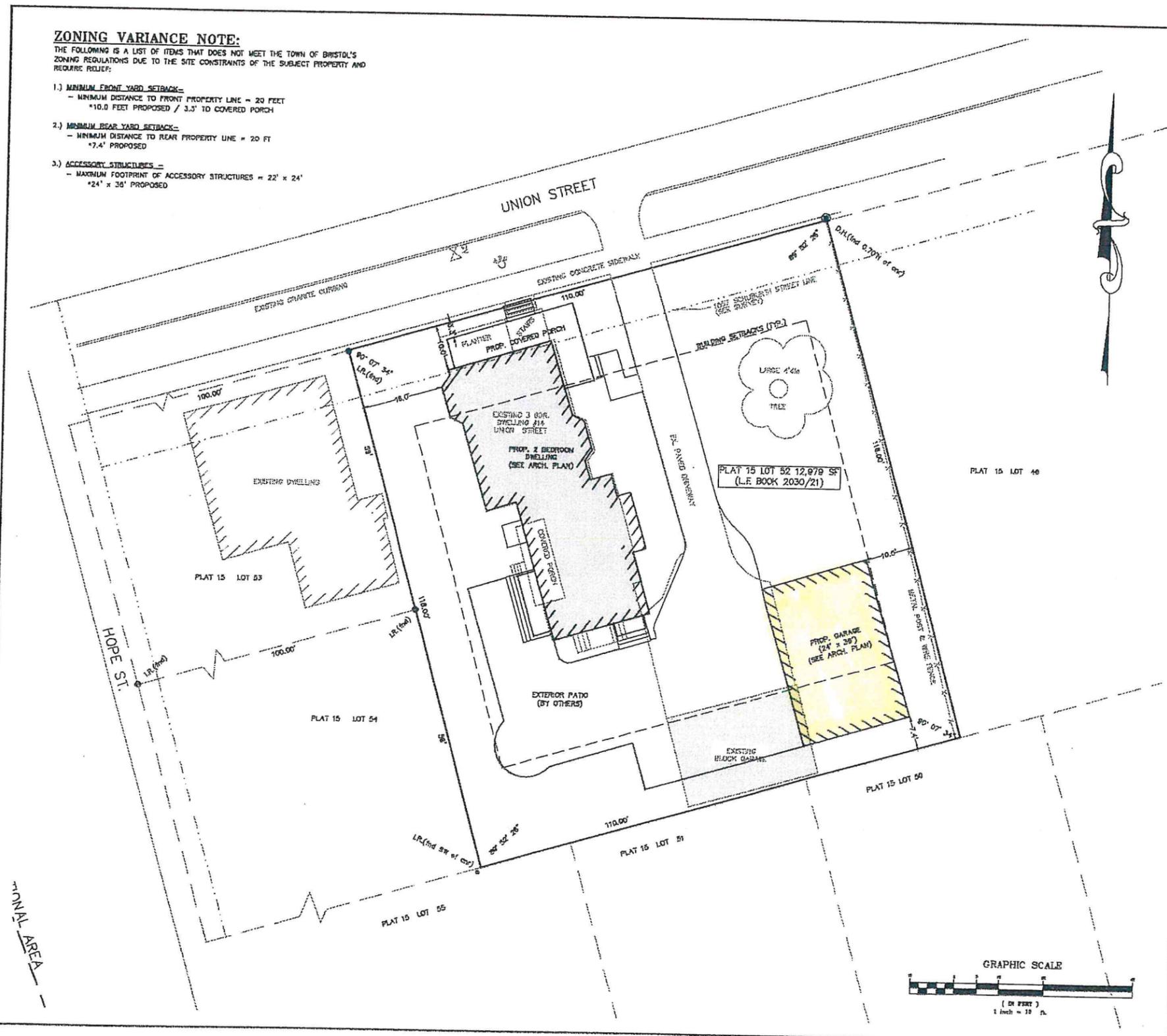
Edward M. Tanner, Principal Planner / Zoning Enforcement Officer

Received for record at Bristol, RI
7/24/2023 03:36:36 PM

ZONING VARIANCE NOTE:

THE FOLLOWING IS A LIST OF ITEMS THAT DOES NOT MEET THE TOWN OF BRISTOL'S ZONING REGULATIONS DUE TO THE SITE CONSTRAINTS OF THE SUBJECT PROPERTY AND REQUIRES RELIEF:

- 1.) **MINIMUM FRONT YARD SETBACK** -
 - MINIMUM DISTANCE TO FRONT PROPERTY LINE = 20 FEET
 *10.0 FEET PROPOSED / 3.3' TO COVERED PORCH
- 2.) **MINIMUM REAR YARD SETBACK** -
 - MINIMUM DISTANCE TO REAR PROPERTY LINE = 20 FT
 *7.4' PROPOSED
- 3.) **ACCESSORY STRUCTURES** -
 - MAXIMUM FOOTPRINT OF ACCESSORY STRUCTURES = 22' x 24'
 *24' x 30' PROPOSED



LEGEND AND ABBREVIATIONS:

- | | | | |
|--------|-------------------------------|---|----------------------------|
| N.P. | - NOW OR FORMERLY | - | - PROPERTY LINE |
| A.P. | - ASSESSOR'S PLAT | - | - ADJUTER LINE |
| S.F. | - SQUARE FEET | - | - EXISTING CONTOUR |
| C.B. | - CONCRETE BOUND | - | - FENCE |
| D.L. | - DIRT FILL | - | - TREELINE |
| L.R. | - LOT ROD | - | - EXISTING EDGE OF PAYMENT |
| (THD.) | - FOUND | - | - EXISTING WELL |
| - | - EXISTING BUILDING FOOTPRINT | - | - |
| - | - PROPOSED BUILDING FOOTPRINT | - | - |

ZONING (R-6)			
REQUIRED		EXISTING	PROPOSED
MIN. LOT SIZE:	6,000 SF	12,878 SF	12,979 SF
MIN. LOT WIDTH/FRONTAGE:	60 SF	110 SF	110 SF
SETBACKS:			
MIN. FRONT YARD:	20 FT	3.0 FT	3.3 FT*
MIN. REAR YARD:	20 FT	0.9 FT	7.4 FT*
MIN. SIDE YARD:	10 FT	18.0/32.1 FT	16.0/10.5 FT
MAX. BLD. HEIGHT:	35 FT	<35 FT	<35 FT
MAX. LOT COVERAGE:	30%	16.7%	20.6%
MAX. ACC. BLD. HEIGHT:	20' (22' x 24' MAX. FOOTPRINT)		24' x 30'

SURVEY NOTE:
 CLASS I STANDARD BOUNDARY SURVEY CONDUCTED BY:
 BARKER LAND SURVEYING, INC.
 JOHN BARKER, PLS NO. 1085
 BRISTOL, RI 02809
 (401) 254-0824

*ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.

LOT COVERAGE:
 EX. DWELLING (TO BE REMOVED) - ±1,440 SF
 EX. COVERED PORCH (TO BE REMOVED) - ±120 SF
 EX. GARAGE (TO BE REMOVED) - ±608 SF

TOTAL EXISTING LOT COVERAGE - 2,168 SF
 PROP. DWELLING - ±1,545 SF
 PROP. COVERED PORCH - ±268 SF
 PROP. GARAGE - 864 SF
 TOTAL PROPOSED LOT COVERAGE - 2,677 SF
 TOTAL LOT AREA - 12,979 SF
 TOTAL PROPOSED LOT COVERAGE (%) - 2,677 / 12,979
 20.6% TOTAL PROPOSED LOT COVERAGE < 30% ALLOWABLE O.K.

Thomas J. Principe, RI

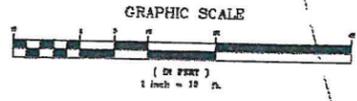
 REGISTERED PROFESSIONAL ENGINEER

PRINCIPLE COMPANY, INC.
 ENGINEERING DIVISION
 87 BAKRODNET RIDGE DR.
 TIVERTON, RI 02879
 401-818-0800
 www.PrincipleCompany.com

REVISIONS			
NO.	DATE	BY	CHK

ZONING PLOT PLAN
 for
 14 UNION STREET
 AP 15 LOT 52
 in
 BRISTOL, RHODE ISLAND

SCALE: 1" = 10'	SHEET NO: 1 of 1
DRAWN BY: JFM	DESIGN BY: JFM
DATE: 07/21/2023	CHECKED BY: TJP
	PROJECT NO.: SVY-2021-21



C:\Users\Thomas\Documents\Engineering\Bristol\2023\1007-2023-1-14 Union Street\14 Union Street\14 Union Street\14 Union Street.dwg 08/10/2023



NORTH ELEVATION
EXISTING 1/4" = 1'-0"



WEST ELEVATION
EXISTING 1/4" = 1'-0"



SOUTH ELEVATION
EXISTING 1/4" = 1'-0"



EAST ELEVATION
EXISTING 1/4" = 1'-0"

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS GONE INTO THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE ERROR FREE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

THE GENERAL CONTRACTOR SHALL NOT SCALE DRAWINGS FOR MEASUREMENTS, BUT SHALL VERIFY AT THE SITE ALL LEVELS AND MEASUREMENTS NECESSARY FOR COMPLETE FABRICATION, ASSEMBLY AND INSTALLATION OF HIS OR HER WORK. MINOR DETAILS OF THE WORK NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE ASCERTAINED BY THE CONTRACTOR AT THE SITE OF THE WORK, AND SHALL BE ACCOMPLISHED BY HIM WITH THE INTENT OF THIS PROJECT.

REVISIONS			
NO.	DATE	BY	CHANGE

PROJECT:

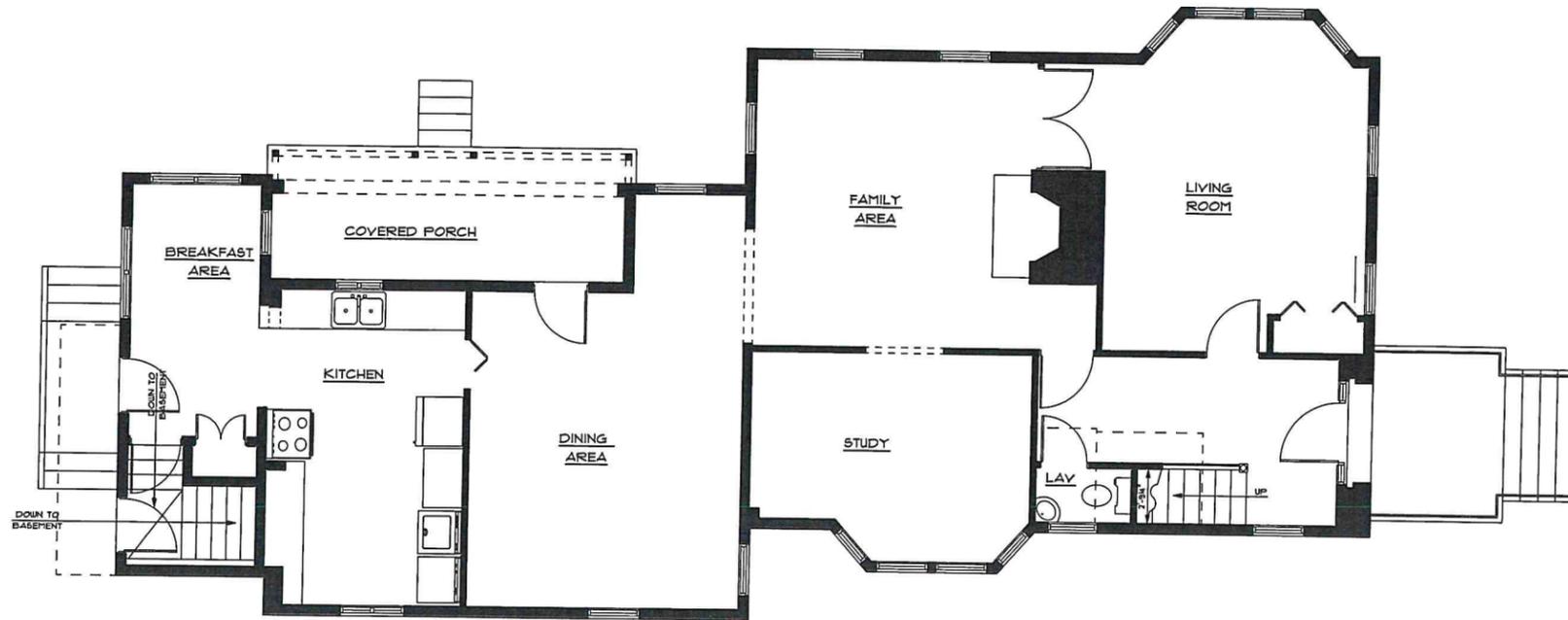
A NEW DETACHED GARAGE FOR:
CABRAL RESIDENCE
PROJECT LOCATION:
14 UNION STREET
BRISTOL, RHODE ISLAND


538 WILBUR AVENUE
SWANSEA, MASSACHUSETTS 02777
TEL - (508) 675-7500
FAX - (508) 675-7600
CORNERSTONE
DESIGN/BUILD SERVICES, INC.

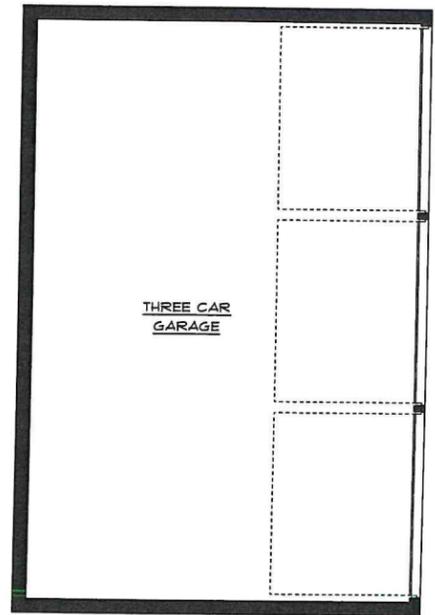
DRAWN BY: M. POTOCKI
REVIEWED BY: M. POTOCKI
CORSTONE PROJECT #: 21503
DATE: 05 NOV 25
SCALE: AS NOTED

SHEET TITLE:
**EXISTING
EXTERIOR
ELEVATIONS**

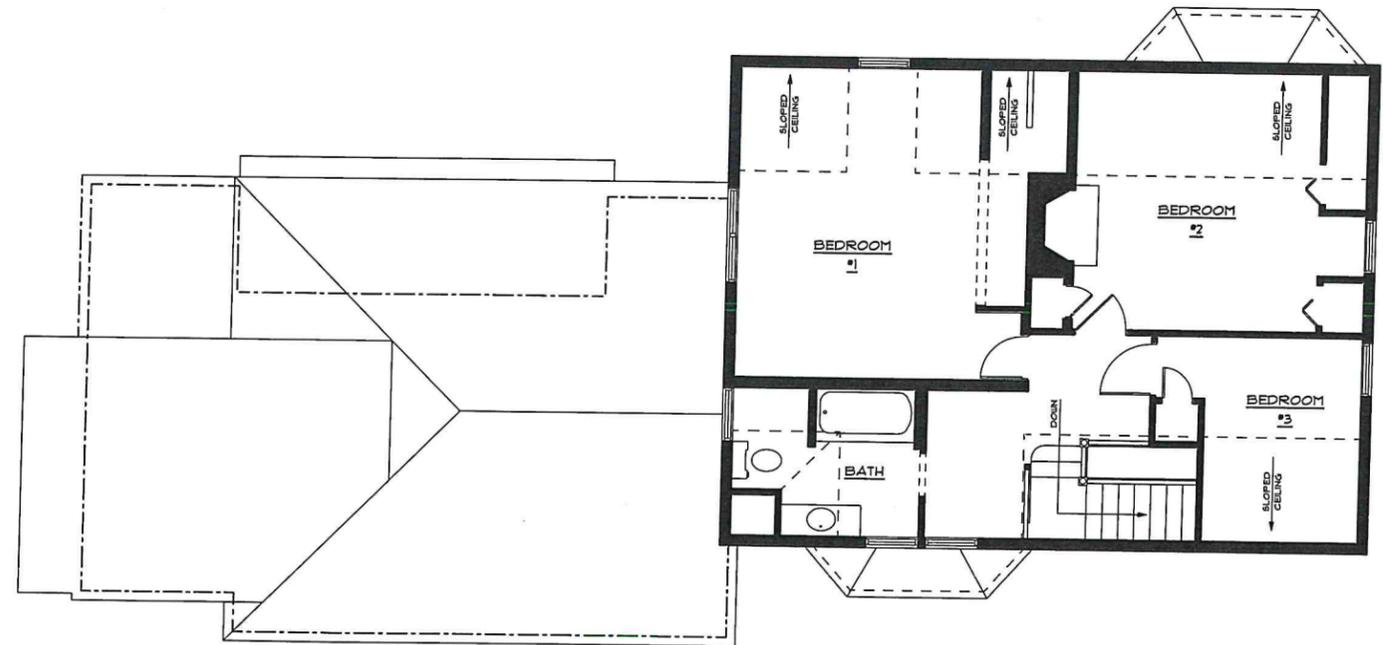
EX-1



FIRST FLOOR PLAN
EXISTING 1/4" = 1'-0"



THREE CAR GARAGE



SECOND FLOOR PLAN
EXISTING 1/4" = 1'-0"

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REVISIONS			
NO.	DATE	BY	CHANGE

PROJECT: A NEW DETACHED GARAGE FOR:
CABRAL RESIDENCE
 PROJECT LOCATION:
 14 UNION STREET
 BRISTOL, RHODE ISLAND

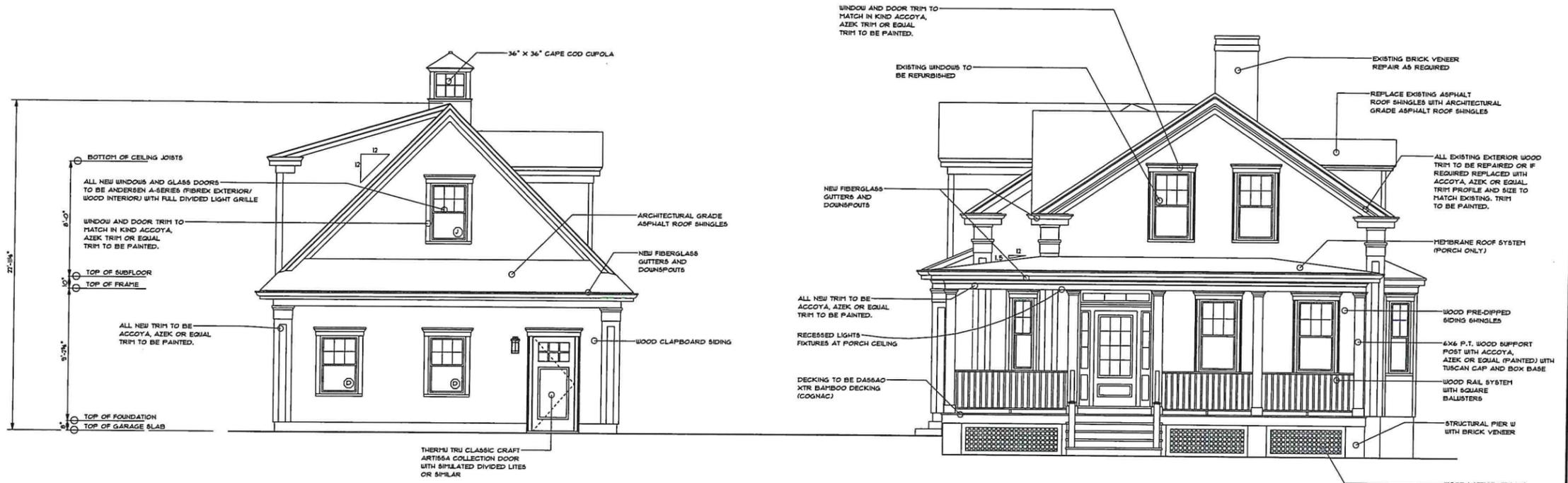
538 WILBUR AVENUE
 SWANSEA, MASSACHUSETTS 02777
 TEL - (508)-679-2500
 FAX - (508)-679-2600

CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

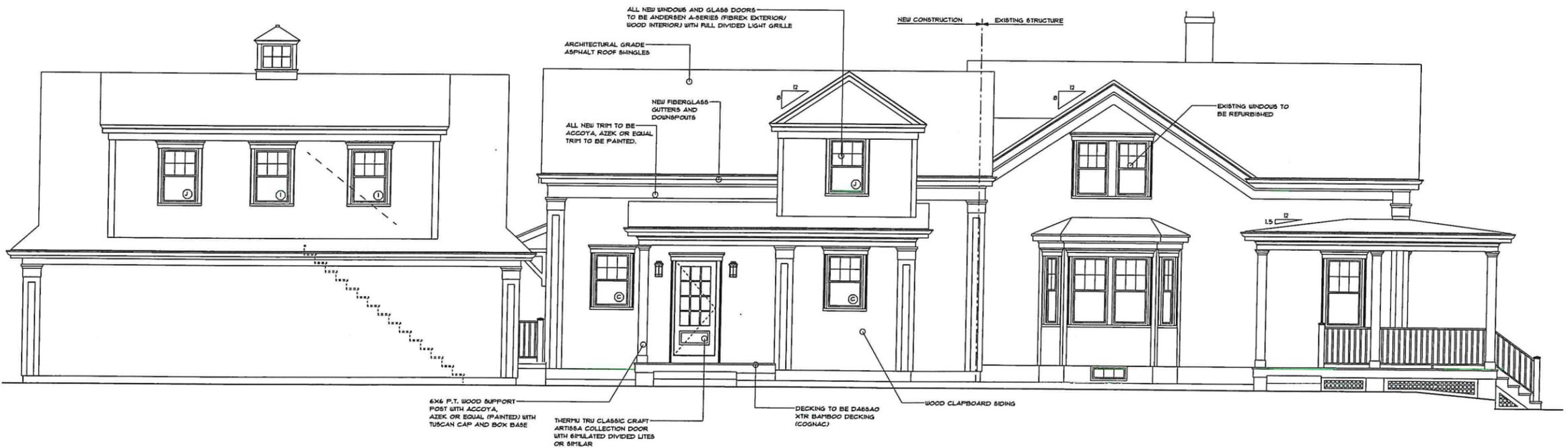
DRAWN BY: M. POTOCKI
 REVIEWED BY: M. POTOCKI
 CSTONE PROJECT #: 21503
 DATE: 09 NOV 25
 SCALE: AS NOTED

SHEET TITLE:
EXISTING FLOOR PLANS

EX-2



○ **NORTH ELEVATION**
 UNION STREET 1/4" = 1'-0"



○ **EAST ELEVATION**
1/4" = 1'-0"

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS BEEN TAKEN INTO THE PREPARATION OF THESE DRAWINGS TO ENSURE THAT THEY ARE ERROR FREE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

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REVISIONS			
NO.	DATE	BY	CHANGE

AN ADDITION/RENOVATION AND NEW DETACHED GARAGE FOR:
CABRAL RESIDENCE
 PROJECT LOCATION:
14 UNION STREET
BRISTOL, RHODE ISLAND

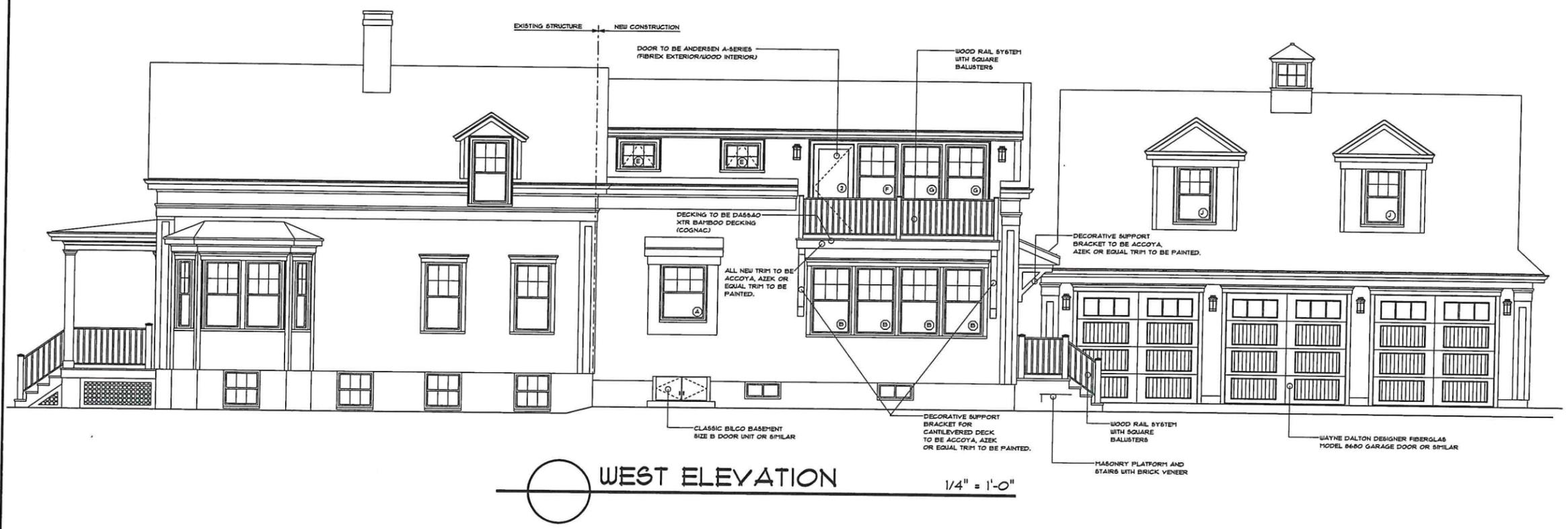

 538 WILBUR AVENUE
 SWANSEA, MASSACHUSETTS 02777
 TEL. - (508)-679-2500
 FAX - (508)-679-2600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

SHEET TITLE:
EXTERIOR ELEVATIONS
 DRAWN BY: M.POTOCKI
 REVIEWED BY: _____
 CORNERSTONE PROJECT #: 21503
 DATE: 05 NOV 25
 SCALE: AS NOTED
 DRAWING NO.
A-1
 SHEET 3 OF 11

NOTES:
 VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A-SERIES) VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION.

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS GONE INTO THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE ERROR FREE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
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REVISIONS			
NO.	DATE	BY	CHANGE



AN ADDITION /RENOVATION AND NEW DETACHED GARAGE FOR:
CABRAL RESIDENCE
 PROJECT LOCATION:
 14 UNION STREET
 BRISTOL, RHODE ISLAND

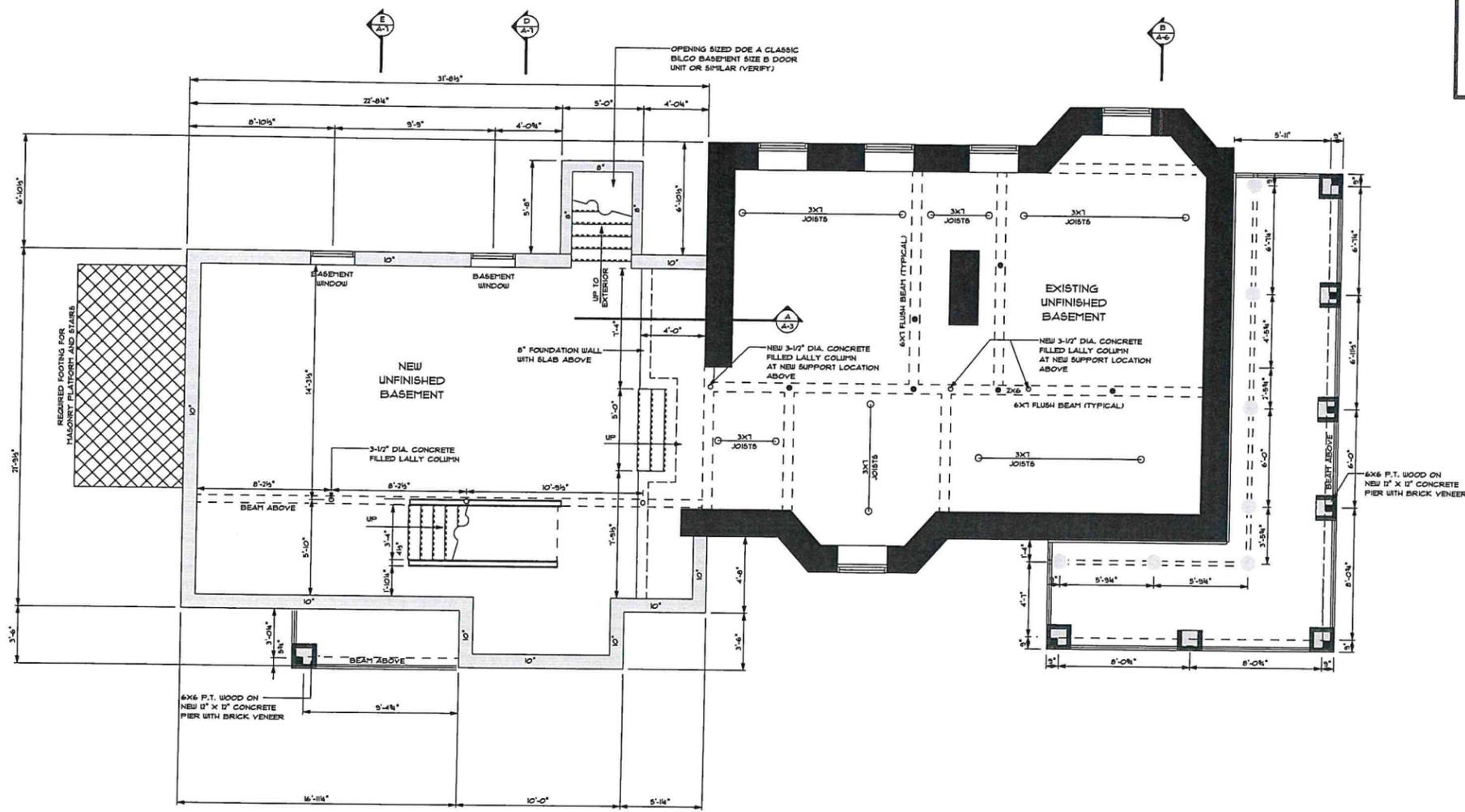
530 WILBUR AVENUE
 QUINCY, MASSACHUSETTS 01911
 TEL - (508) 478-3500
 FAX - (508) 478-3600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

SHEET TITLE:
EXTERIOR ELEVATIONS

DRAWN BY: M.POTOCKI
 REVIEWED BY:

CORNERSTONE PROJECT #: 21503
 DATE: 05 NOV 25
 SCALE: AS NOTED

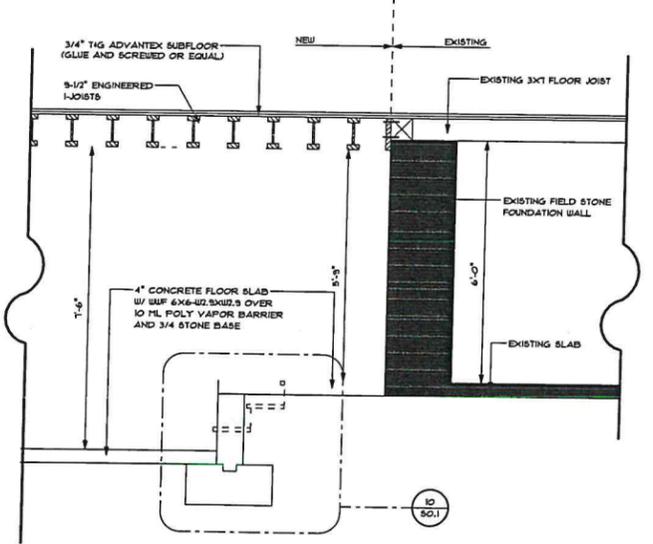
DRAWING NO. **A-2**
 SHEET 4 OF 11



NOTES:
 VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A-SERIES) VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES, INC. ALTHOUGH A LOT OF CARE HAS GONE INTO THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE ERROR FREE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
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BASEMENT PLAN 1/4" = 1'-0"



A SECTION DETAIL 1/4" = 1'-0"

REVISIONS			
NO.	DATE	BY	CHANGE

AN ADDITION /RENOVATION AND NEW DETACHED GARAGE FOR:
CABRAL RESIDENCE
 PROJECT LOCATION:
 14 UNION STREET
 BRISTOL, RHODE ISLAND

538 WILBUR AVENUE
 SUANSEA, MASSACHUSETTS 02771
 TEL - (508) 678-7500
 FAX - (508) 678-7600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

SHEET TITLE:
BASEMENT PLAN
 DRAWN BY: M.FOTOCKI
 REVIEWED BY: _____

STONE PROJECT #: 21503
 DATE: 05 NOV 25
 SCALE: AS NOTED

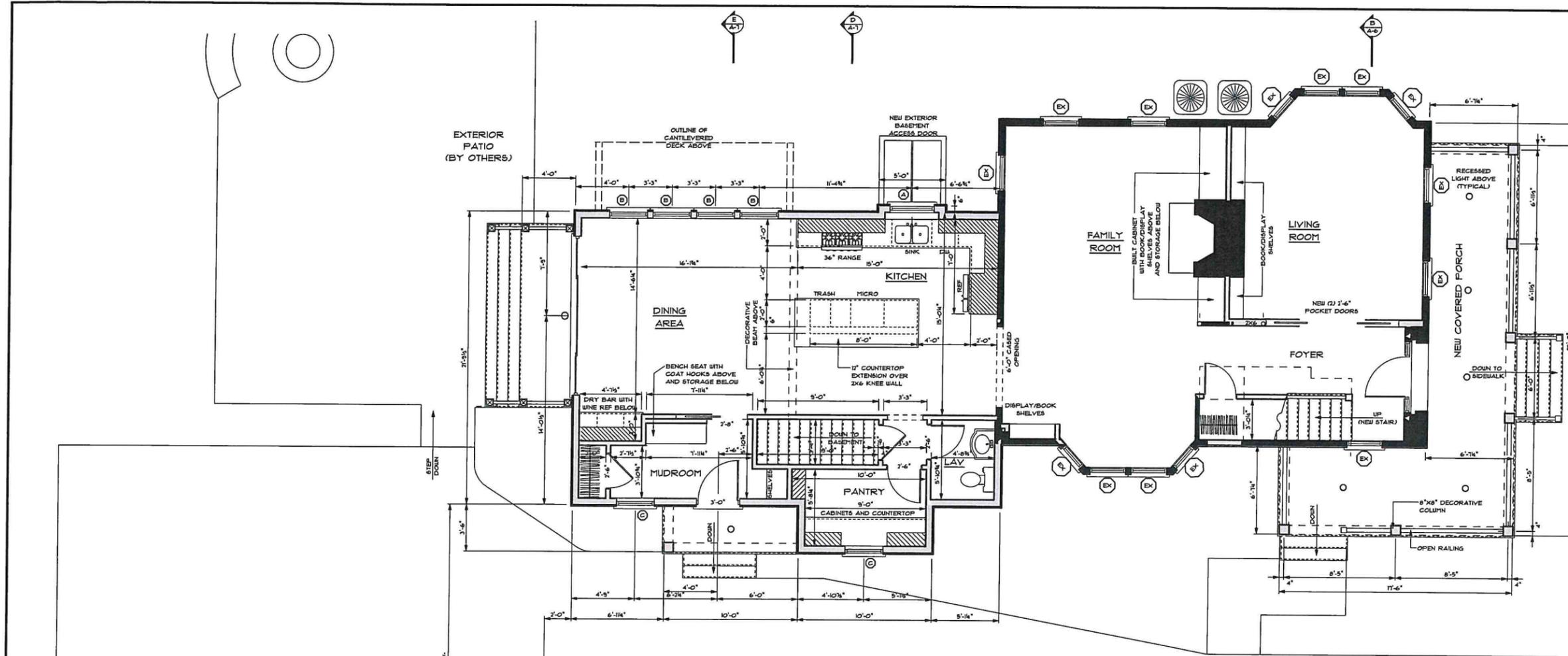
DRAWING NO. **A-3**
 SHEET 5 OF 11

THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE NOT TO BE COPIED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORNERSTONE DESIGN/BUILD SERVICES. ALTHOUGH A LOT OF CARE HAS GONE INTO THE PREPARATION OF THE DRAWINGS TO ENSURE THAT THEY ARE ERROR FREE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK THE DRAWINGS FOR ERRORS OR OMISSIONS AND TO ADAPT THEM TO ANY SITE CONDITIONS. WRITTEN DIMENSIONS ALWAYS HAVE PRECEDENCE OVER SCALED DIMENSIONS.

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REVISIONS			
NO.	DATE	BY	CHANGE

AN ADDITION/RENOVATION AND NEW DETACHED GARAGE FOR:
CABRAL RESIDENCE
 PROJECT LOCATION:
 14 UNION STREET
 BRISTOL, RHODE ISLAND

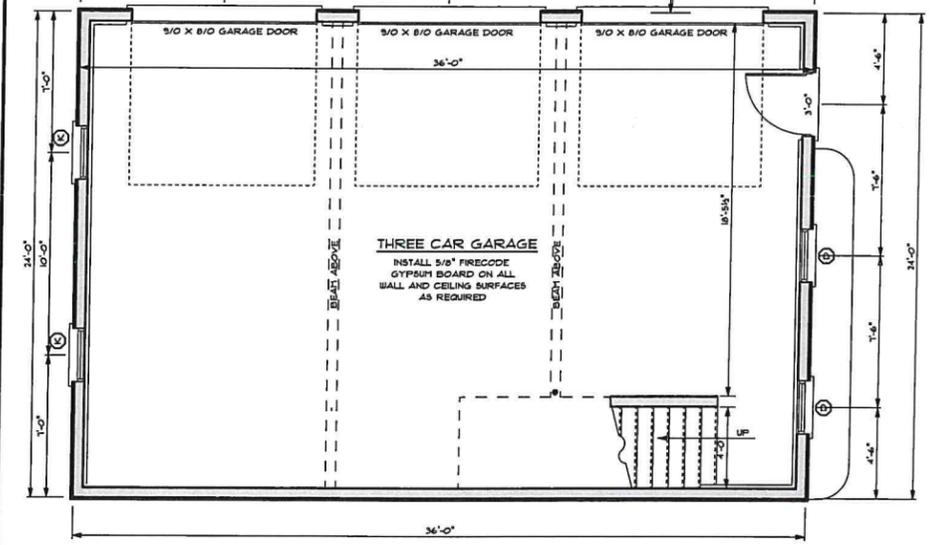


FIRST FLOOR PLAN 1/4" = 1'-0"

NOTES:
 VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
 ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A-SERIES)
 VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION

WINDOW AND DOOR SCHEDULE
 ANDERSEN A-SERIES

LABEL	UNIT	TYPE	QTY	ROUGH OPENING WIDTH	ROUGH OPENING HEIGHT	NOTES
EX	EXISTING					
A	ADH3440	DH	1	3'-4"	4'-0"	
B	ADH2050	DH	4	2'-10"	5'-0"	
C	ADH2840	DH	2	2'-8"	4'-0"	
D	ADH2840	DH	2	2'-8"	4'-0"	
E	AAN2830	AUN	2	2'-8"	2'-0"	
F	ADH2050	DH	1	2'-10"	5'-0"	TEMPERED GLAZING
G	ADH2050	DH	2	2'-10"	5'-0"	
H	ADH240-2	DH	1	5'-4 1/2"	4'-0"	
I	ADH2840	DH	2	2'-8"	4'-0"	TEMPERED GLAZING
J	ADH2840	DH	6	2'-8"	4'-0"	
K	AAN2830	AUN	2	2'-8"	2'-0"	
1	RFD01016-4	GLDRNG	1	11'-10"	6'-11"	
2	RFD0316-8AL	INDGRNG	1	3'-1"	6'-6"	



(A) ADH3440	(B) ADH2050	(C) ADH2840	(D) ADH2840	(E) AAN2830	(F) ADH2050 (TEMPERED)	(G) ADH2050	(H) ADH240-2	(I) ADH2840 (TEMPERED)	(J) ADH2840	(K) AAN2830

538 WILBUR AVENUE
 SUANSEA, MASSACHUSETTS 02711
 TEL - (508) 478-2500
 FAX - (508) 478-2600

CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

SHEET TITLE:
FIRST FLOOR PLAN

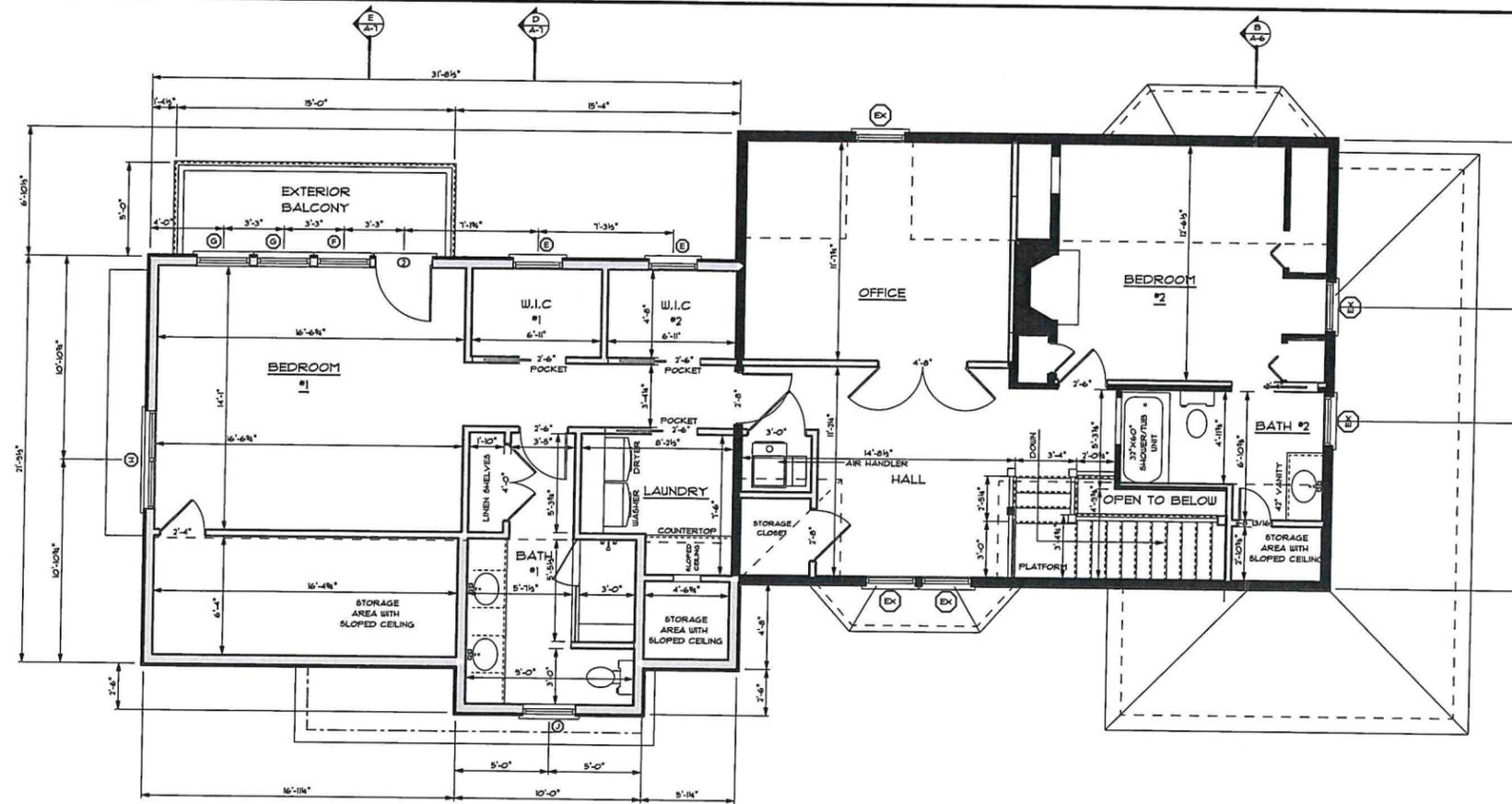
DRAWN BY: M.POTOCKI
 REVIEWED BY: _____

CORNERSTONE PROJECT #: 21503
 DATE: 05 NOV 25
 SCALE: AS NOTED

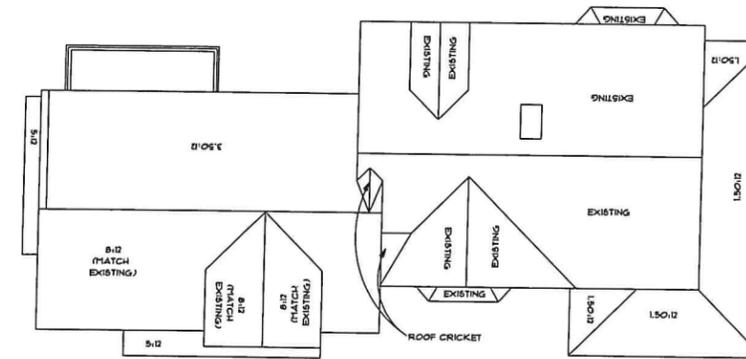
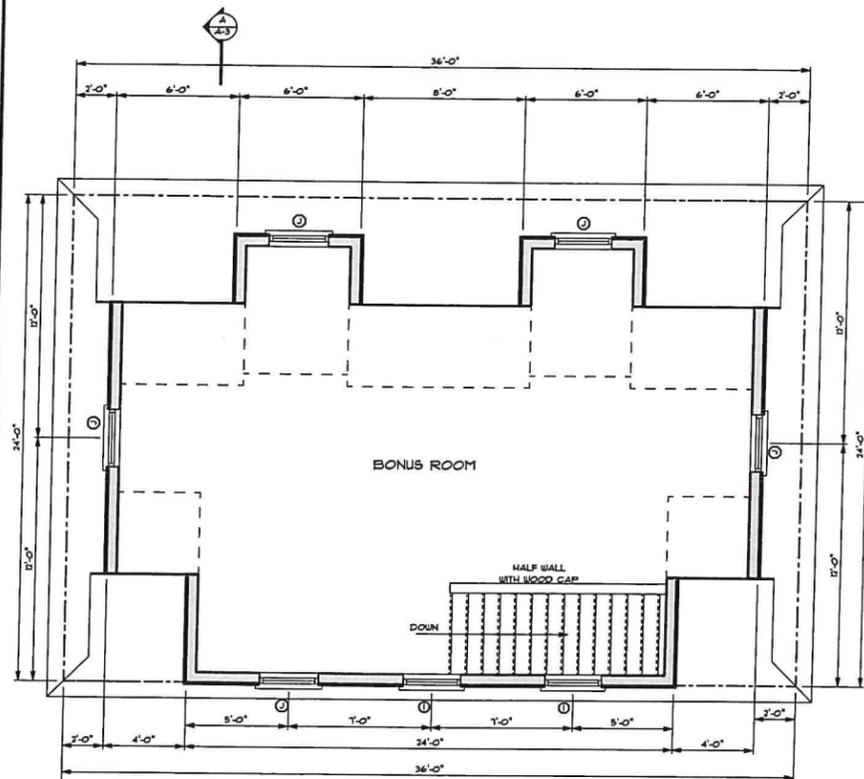
DRAWING NO. **A-4**

SHEET 6 OF 11

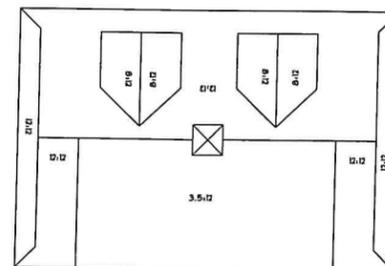
NOTES:
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 ALL WINDOWS MANUFACTURED BY ANDERSEN CORPORATION (A-SERIES)
 VERIFY ROUGH OPENING SIZES, EGRESS REQUIREMENTS AND TEMPERED GLASS REQUIREMENTS PRIOR TO CONSTRUCTION



SECOND FLOOR PLAN 1/4" = 1'-0"



ROOF PLAN 1/8" = 1'-0"
 (M.E.) = MATCH EXISTING



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REVISIONS			
NO.	DATE	BY	CHANGE

AN ADDITION /RENOVATION AND NEW DETACHED GARAGE FOR:
CABRAL RESIDENCE
 PROJECT LOCATION:
 14 UNION STREET
 BRISTOL, RHODE ISLAND

CORNERSTONE
 DESIGN/BUILD SERVICES, INC.
 538 WILBUR AVENUE
 SWANSEA, MASSACHUSETTS 02777
 TEL. - (508)-675-2500
 FAX - (508)-675-2600

SHEET TITLE:
SECOND FLOOR PLAN
 DRAWN BY: M.POTOCKI
 REVIEWED BY: _____
 CORNERSTONE PROJECT #: 21503
 DATE: 05 NOV 25
 SCALE: AS NOTED
 DRAWING NO. **A-5**
 SHEET 7 OF 11

NOTES:
 VERIFY ALL EXISTING CONDITIONS AND MEASUREMENTS PRIOR TO ORDERING OF MATERIALS AND CONSTRUCTION.
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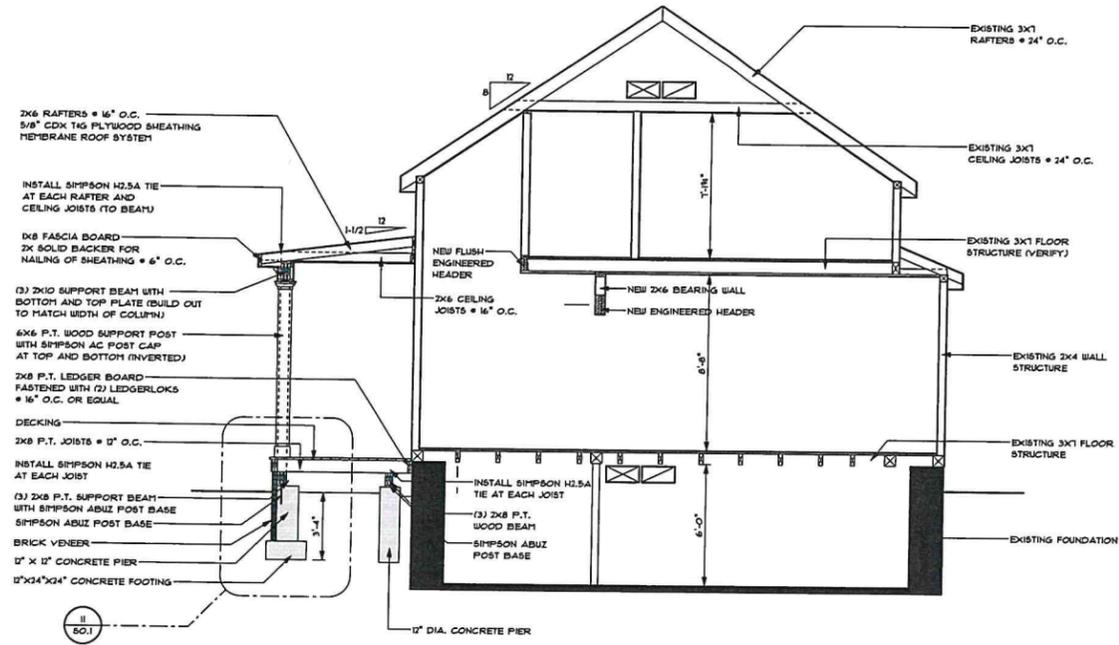
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REVISIONS			
NO.	DATE	BY	CHANGE

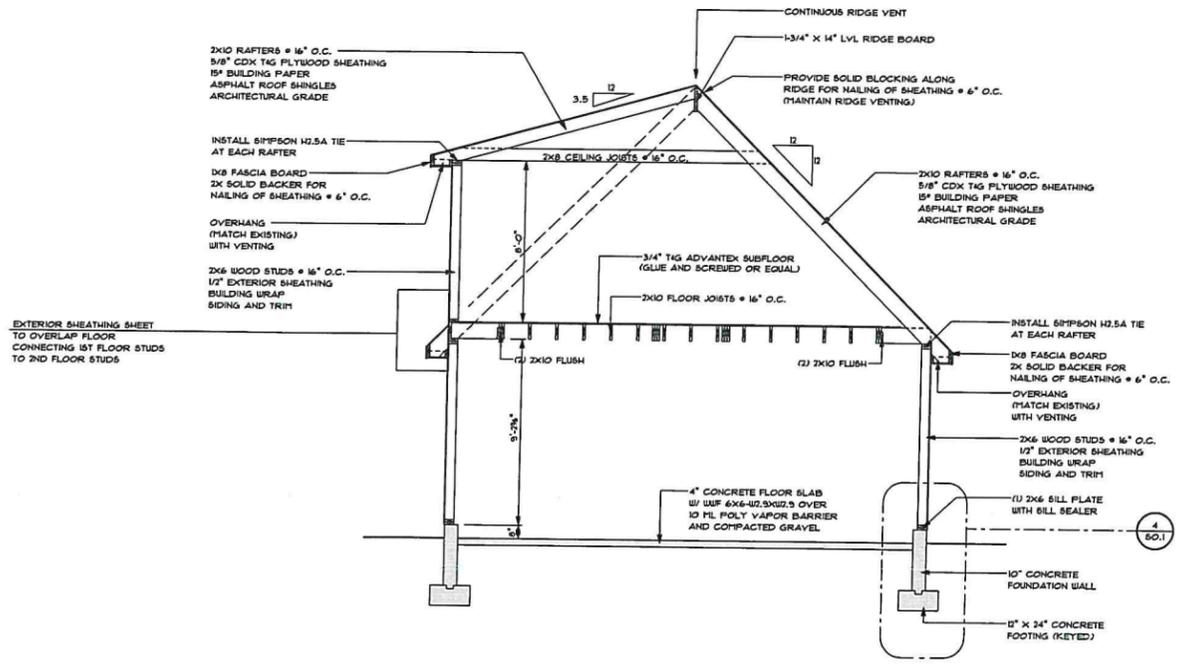
AN ADDITION/RENOVATION AND NEW DETACHED GARAGE FOR:
CABRAL RESIDENCE
 PROJECT LOCATION:
 14 UNION STREET
 BRISTOL, RHODE ISLAND

538 WILBUR AVENUE
 BUNSWANSEA, MASSACHUSETTS 02718
 TEL - (508) 678-2500
 FAX - (508) 678-2600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

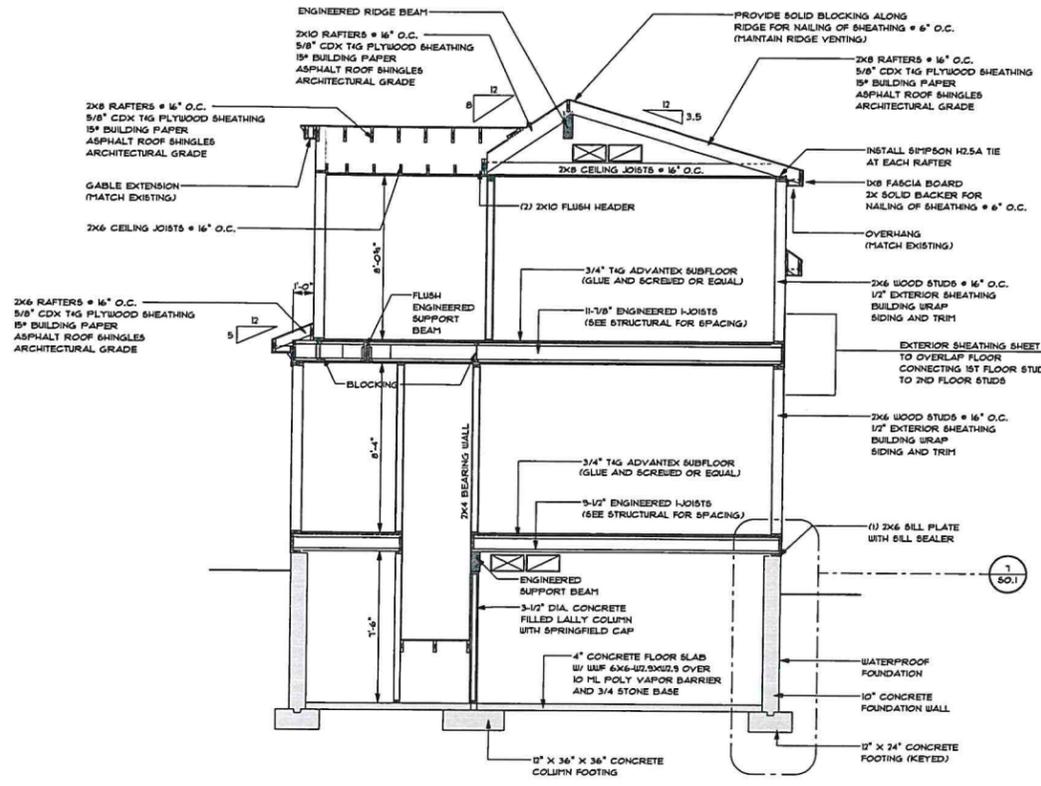
SHEET TITLE:
SECTION DETAILS
 DRAWN BY: M.POTOCKI
 REVIEWED BY: _____
 CSTONE PROJECT #: 21503
 DATE: 05 NOV 25
 SCALE: AS NOTED
 DRAWING NO. **A-6**
 SHEET 8 OF 11



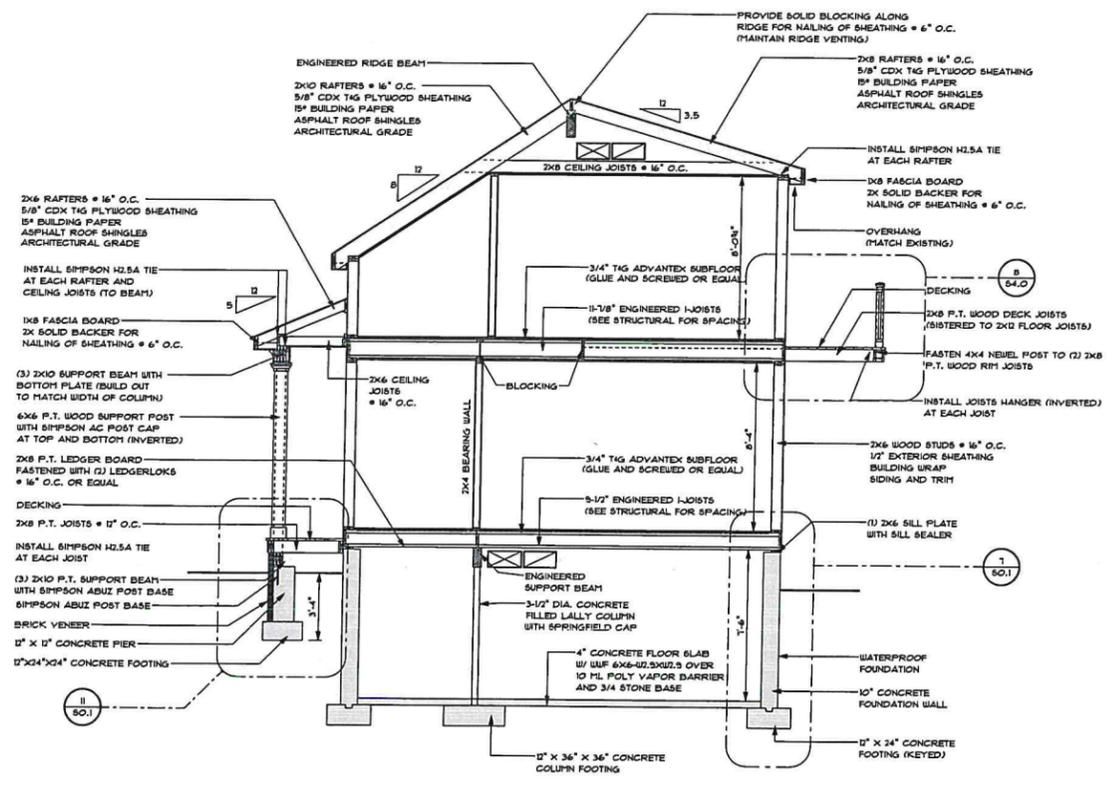
B SECTION DETAIL
 A-6 1/4" = 1'-0"



C SECTION DETAIL
 A-6 1/4" = 1'-0"



D
SECTION DETAIL
A-1
1/4" = 1'-0"



E
SECTION DETAIL
A-1
1/4" = 1'-0"

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REVISIONS

NO.	DATE	BY	CHANGE

AN ADDITION /RENOVATION AND NEW DETACHED GARAGE FOR:
CABRAL RESIDENCE
 PROJECT LOCATION:
 14 UNION STREET
 BRISTOL, RHODE ISLAND

538 WILBUR AVENUE
 QUINCY, MASSACHUSETTS 02711
 TEL - (508)-679-2500
 FAX - (508)-679-2600
CORNERSTONE
 DESIGN/BUILD SERVICES, INC.

SHEET TITLE:
SECTION DETAILS
 DRAWN BY: M.POTOCKI
 REVIEWED BY:

STONE PROJECT #: 21503
 DATE: 14 OCT 25
 SCALE: AS NOTED
 DRAWING NO.
A-7
 SHEET 9 OF 11



DAVID P. MERKEL
No. 94453
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Cabral Residence
14 Union Street
Bristol, RI

REVISIONS:		
No.	Description	Date

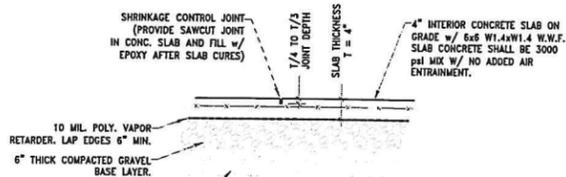
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DATE: 11.5.2025

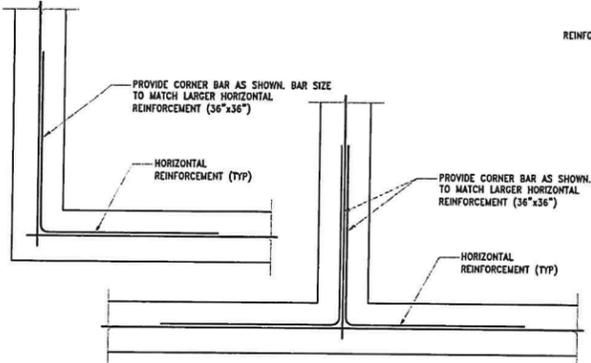
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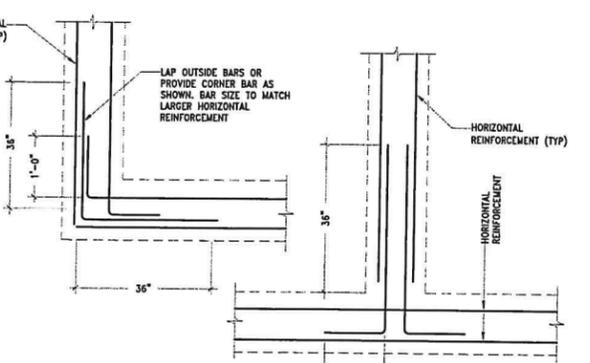
S0.1



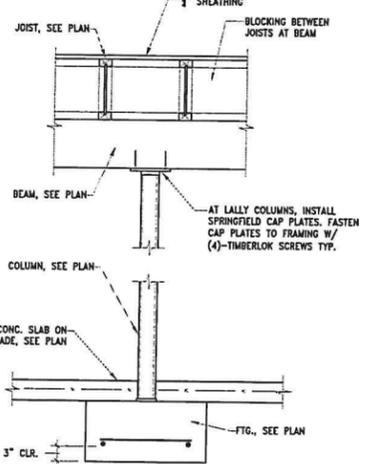
1 TYP. INTERIOR SLAB ON GRADE DETAIL
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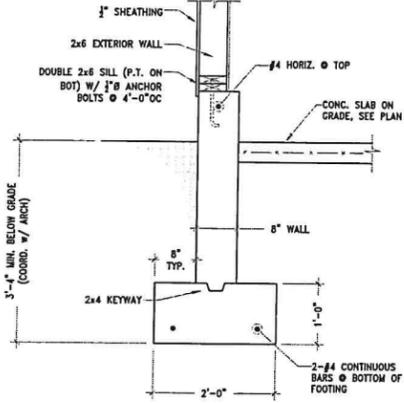
2 TYPICAL HORIZONTAL WALL REINF.
SCALE: NONE



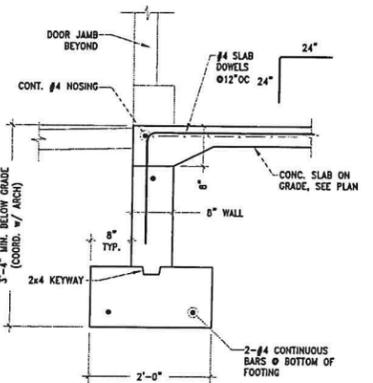
3 TYPICAL HORIZONTAL FTG REINF.
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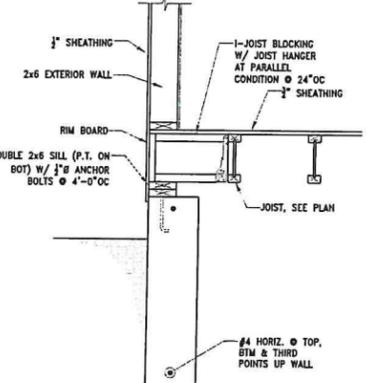
8 LALLY COL. DETAIL
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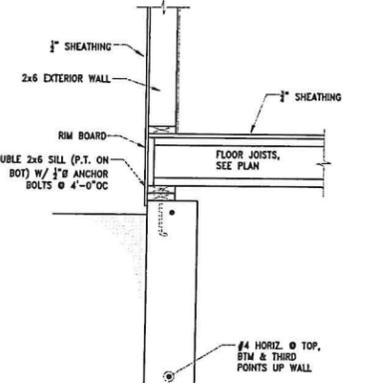
4 SECTION THRU GARAGE WALL
SCALE: 3/4"=1'-0"



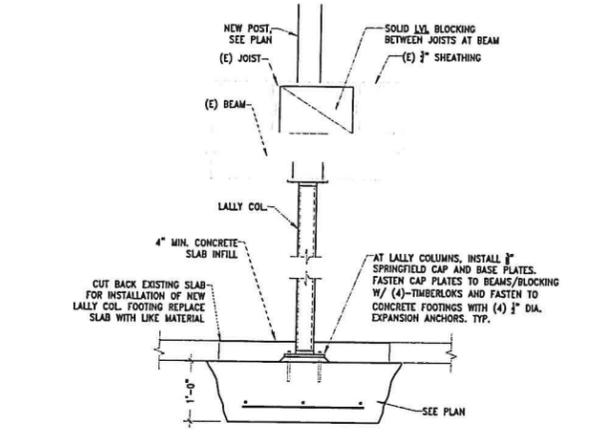
5 FOUNDATION DETAIL AT DOORS
SCALE: 3/4"=1'-0"



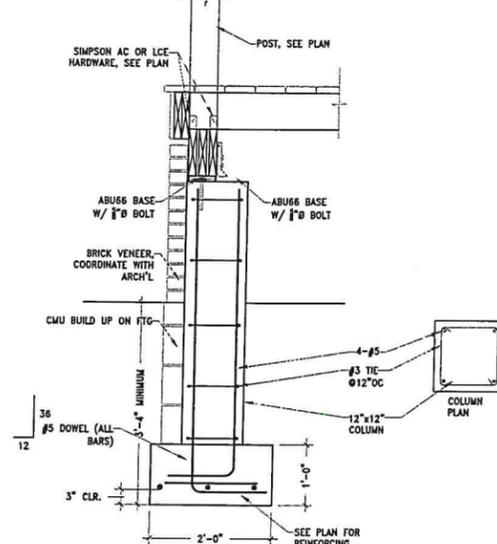
6 FOUNDATION DETAIL
SCALE: 3/4"=1'-0"



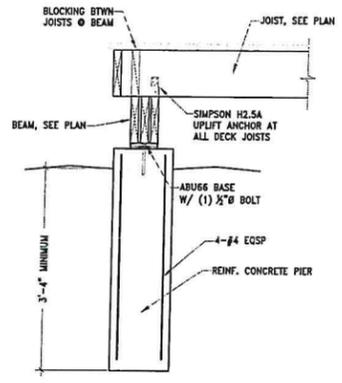
7 FOUNDATION DETAIL
SCALE: 3/4"=1'-0"



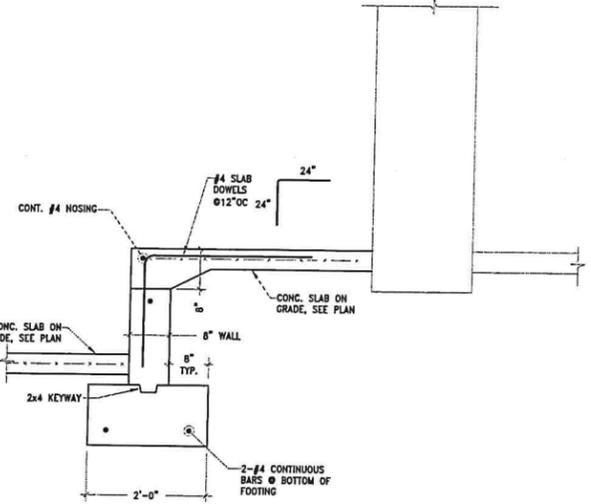
9 COLUMN DETAIL
SCALE: 3/4"=1'-0"



11 PORCH DETAIL
SCALE: 3/4"=1'-0"



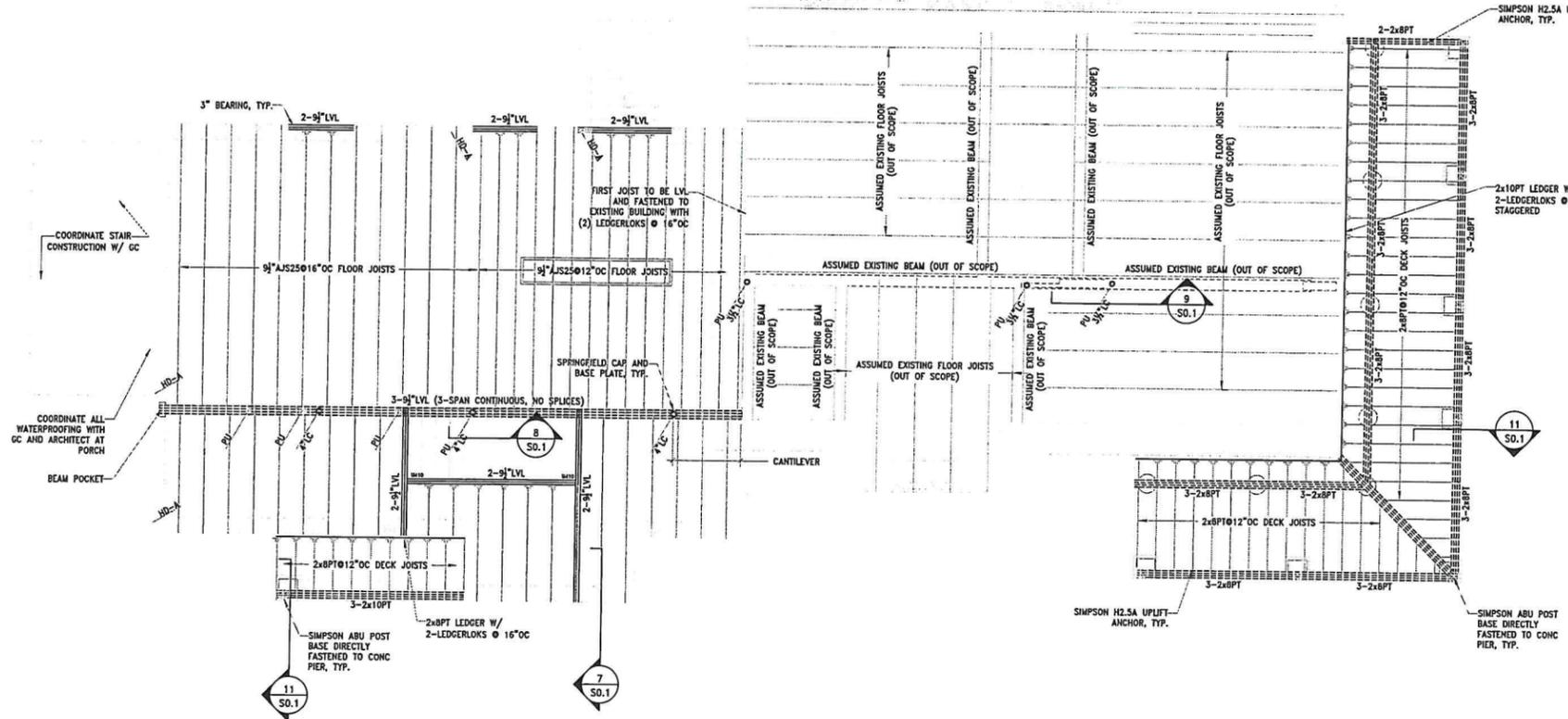
12 PIER DETAIL W/ BELLED BASE
SCALE: 3/4"=1'-0"



10 FOUNDATION DETAIL
SCALE: 3/4"=1'-0"

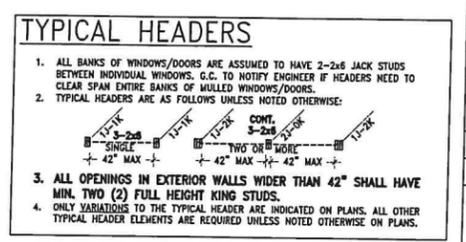
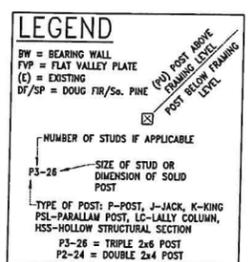
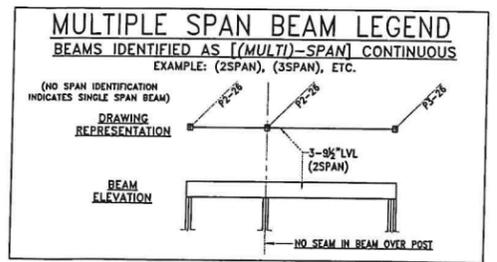
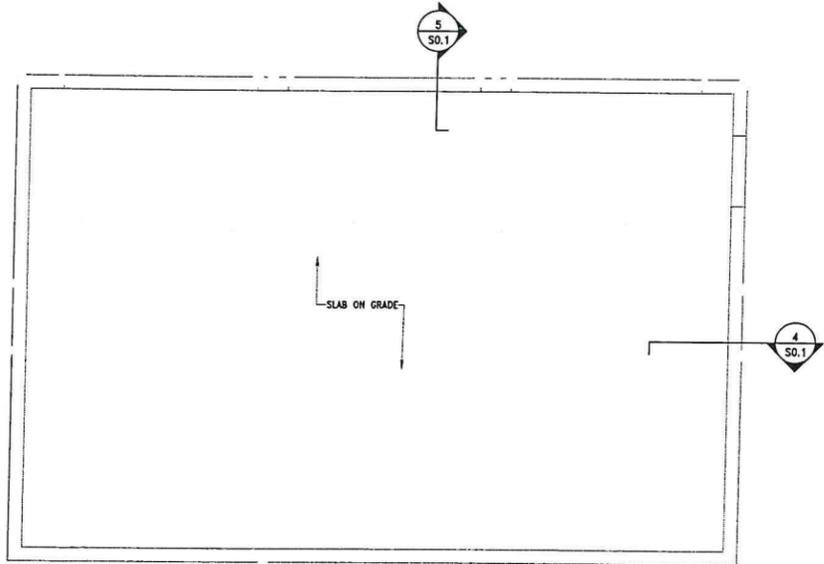
ROUGH CARPENTRY

- ALL ROUGH CARPENTRY WORK SHALL BE EXECUTED IN CONFORMANCE WITH THE RHODE ISLAND STATE BUILDING CODE FOR ONE AND TWO FAMILY DWELLINGS (R1-SBC 1&2) AND THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS (IRC 1&2).
- REFER TO THE R1-SBC 1&2 AND IRC 1&2 FOR FRAMING COMPONENTS NOT SPECIFIED IN PLANS AND SECTIONS. NOTIFY THE ENGINEER OF ANY COMPONENT NOT DEFINED IN EITHER THE R1-SBC 1&2 AND IRC 1&2 OR IN THESE DRAWINGS.
- REFER TO THE IRC 1&2 FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE 602.3 FOR CONNECTION FASTENING NOT IDENTIFIED IN THESE PLANS OR DETAILS.
- ENGINEER MAKES NO CLAIMS TOWARDS EXISTING CONDITIONS.
- WHEN NOT OTHERWISE IDENTIFIED, ALL WOOD BEAMS, JOISTS, RAFTERS, HEADERS, STRINGERS, STUDS, PLATES, AND SILLS SHALL BE SPRUCE PINE FIR #2 OR BETTER, WITH A MINIMUM Fb = 875 PSI (SINGLE USE) AND Fb = 1000 PSI (REPETITIVE USE), AND E SHALL BE 1,400,000 PSI OR BETTER.
- LVL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 3,100 PSI, E = 2,000,000 PSI, AND Fv = 285 PSI. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
- PSL BEAMS, AS NOTED ON PLANS, SHALL HAVE A MINIMUM Fb = 2,900 PSI, E = 2,000,000 PSI, AND Fv = 290 PSI. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
- WOOD "I" BEAMS SHALL BE BY WEYERHAEUSER. NO SUBSTITUTIONS WILL BE ACCEPTED, UNLESS THE ENGINEER SPECIFICALLY APPROVES ANOTHER PRODUCT SUBMITTED BY THE CONTRACTOR.
- MANUFACTURER'S RECOMMENDATIONS FOR BEARING, REINFORCING, CUTS, CANTILEVERS, FASTENING, ETC., SHALL BE STRICTLY ADHERED TO.
- ENGINEERED WOOD POSTS (PSL POSTS), AS NOTED ON PLANS, SHALL BE "PARALLAM PSL" BY WEYERHAEUSER AND SHALL HAVE A MINIMUM Fb = 2,400 PSI, E = 1,800,000 PSI, F1 = 1,755 PSI, Fc = 425 PSI, Fg = 2,500 PSI, Fv = 190 PSI.
- ENGINEERED LUMBER SUBJECT TO WET SERVICE CONDITIONS (MOISTURE CONTENT > 16% AND <= 28% UNCONDITIONED LOCATIONS) SHALL BE PRESERVATIVE TREATED PER MANUFACTURER'S SPECIFICATIONS.
- PRESSURE TREATED LUMBER SHALL BE SOUTHERN PINE #1 OR BETTER.
- EXTERIOR WALL SHEATHING SHALL BE MINIMUM 15/32" APA STRUCTURAL 1 RATED SHEATHING OR EXTERIOR GRADE. SHEATHING SHALL BE NAILED WITH 8d NAILS NOT LESS THAN 6" O.C. ON ALL PANEL EDGES. ALL WALL HORIZONTAL PANEL EDGES WITHIN 48" OF BUILDING CORNERS MUST BE BLOCKED AND NAILED. SHEATHING PANELS SHALL BE INSTALLED TO SPAN ACROSS FLOOR LEVELS (CENTERED ON BAND JOIST) TO ACHIEVE CONTINUOUS UPLIFT LOAD PATH FROM ROOF TO FOUNDATION.
- SUB-FLOORING SHALL BE 3/4" TONGUE & GROOVE APA STRUCTURAL 1 RATED SHEATHING EXPOSURE 1 UNLESS NOTED OTHERWISE. FASTEN SUB-FLOOR TO SUPPORTING FRAMING WITH INDUSTRY STANDARD SUB-FLOOR ADHESIVE AND 8d NAILS @ 6" O.C.
- ROOF SHEATHING SHALL BE MINIMUM 5/8" T&G APA STRUCTURAL 1 RATED SHEATHING EXPOSURE 1 OR EXTERIOR GRADE.
- ROOF RAFTERS ATTACHMENT SHALL BE ACCOMPLISHED WITH MINIMUM 8d NAILS AS FOLLOWS:
 - IN THE 4 FOOT PERIMETER EDGE ZONE ALONG THE EDGES: 6" O.C.
 - TO THE INTERMEDIATE SUPPORTS WITHIN THE 4 FOOT PERIMETER EDGE ZONE: 6" O.C.
 - ALONG THE GABLE END WALL OR RAKE: 4" O.C.
 - ALL OTHER AREAS: 6" O.C. EDGE; 12" O.C. INTERMEDIATE.
- ALL WOOD HAVING DIRECT CONTACT WITH CONCRETE OR MASONRY, AND WHEREVER WOOD IS WITHIN 6" OF FINISHED GRADE OR PART OF OPEN DECK CONSTRUCTION, SHALL BE PRESURE TREATED.
- ALL METAL CONNECTORS INCLUDING JOIST AND BEAM HANGERS AND COLUMN CAP AND BASES SHALL BE BY SIMPSON STRONG-TIE CORP. THE CONTRACTOR SHALL STRICTLY ADHERE TO MANUFACTURER'S FASTENING REQUIREMENTS. CONTRACTOR TO VERIFY ALL CONNECTOR SIZES TO FRAMING ELEMENTS BEFORE ORDERING.
- UNLESS DETAILED OR SPECIFIED OTHERWISE ON THE PLANS, HEADERS AND BEAMS SHALL BE SUPPORTED BY AT LEAST ONE JACK STUD AND ONE KING STUD.
- FOR WOOD JOIST SPANS UP TO 14 FEET, PROVIDE A SINGLE ROW OF FULL DEPTH BLOCKING BETWEEN JOISTS AT MIDSPAN. FOR SPANS EXCEEDING 14 FEET, PROVIDE TWO ROWS OF FULL DEPTH BLOCKING BETWEEN JOISTS AT THIRD POINTS OF THE SPAN.
- GABLE-END WALL STUDS IN CATHEDRAL, PARTIAL CATHEDRAL, OR HIGH CEILING SPACES SHALL SPAN UNINTERRUPTED FROM THE FLOOR PLATE TO THE UNDERSIDE OF THE ROOF RAFTERS. THEY SHOULD NOT BE INTERRUPTED BY ANY HORIZONTAL PLATES OR BEAMS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- MEMBERS WITHIN BUILT-UP BEAMS, WHETHER MADE OF SAWN OR ENGINEERED LUMBER, SHALL ONLY BE SPLICED OVER SUPPORTS.
- RAFTERS SHALL BE CONNECTED TO THEIR BEARING POINTS WITH ONE OF THE FOLLOWING OPTIONS:
 - SIMPSON H2A ON THE INTERIOR SIDE OF WALL (OPPOSITE SIDE OF WALL SHEATHING).
 - SIMPSON H2.5A ON THE EXTERIOR SIDE OF WALL (SAME SIDE OF WALL SHEATHING) OR DIRECTLY TO BEAMS.
- CONTRACTOR SHALL CAREFULLY COORDINATE THE WORK OF ALL TRADES TO MINIMIZE THE NEED FOR CUT, BORED OR NOTCHED IN FRAMING LUMBER. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE LIMITATIONS SPECIFIED IN THE BUILDING CODE WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
- AT WOOD POSTS LANDING ON FLOOR DECK, PROVIDE SOLID VERTICAL WOOD BLOCKING WITHIN DECK SANDWICH TO LINK UPPER POST WITH LOWER SUPPORT. BLOCKING TO MATCH UPPER POST SIZE.
- BEAMS COMPRISED OF 2 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF 2-1/2" #8 BOLTS AT 16" ON CENTER OR 3-1/2" DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES, FOLLOW MANUF. SPECS, UNLESS NOTED OTHERWISE ON DRAWING.
- IN ADDITION TO THE FLOOR JOIST SHOWN IN THE PLANS, CONTRACTOR SHALL INSTALL DOUBLE JOISTS UNDER ALL PARTITION WALLS RUNNING PARALLEL TO THE DIRECTION OF FRAMING.
- MINIMUM BEAM BEARING TO BE 3 INCHES UNLESS NOTED OTHERWISE ON PLAN.
- BEARING WALL SCHEDULE**
 - ALL EXTERIOR WALLS:
 - 2x6@16"OC WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/2 POINTS
 - 1ST FLOOR INTERIOR BEARING WALLS:
 - 2x6@16"OC WITH 2 ROWS OF HORIZONTAL BLOCKING AT 1/2 POINTS
 - 2ND & 3RD FLOOR INTERIOR BEARING WALLS:
 - 2x6@16"OC WITH 1 ROW OF HORIZONTAL BLOCKING AT MID-HEIGHT OF WALL



FIRST FLOOR FRAMING
SCALE: 1/4"=1'-0"

- NOTES:**
- ALL INDIVIDUAL LVLS ARE 1 3/4" THICK UNLESS NOTED OTHERWISE ON PLAN.
 - PROVIDE SIMPSON HARDWARE CONNECTING EACH RAFTER TO STRUCTURE BELOW. SEE ROUGH CARPENTRY NOTE #22.
 - BEAMS COMPRISED OF 2 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF 2-1/2" #8 BOLTS AT 16" ON CENTER OR 3-1/2" DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES, FOLLOW MANUF. SPECS, UNLESS NOTED OTHERWISE ON DRAWING.
 - BW DENOTES BEARING WALLS CONSISTING OF 2x6@16"OC. SEE FRAMING NOTES FOR HORIZ. BRACING.
 - indicates SIMPSON STRONG-TIE TYPE HANGER REQUIRED AT BEAM CONNECTION. ALL SIMPSON HANGERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS WITH THE MAXIMUM FASTENER SIZE AND QUANTITY.
 - = INDICATES SHEARWALL HOLDOWN LOCATION AT BASE OF WALL BELOW THIS FRAMING LEVEL. REFERENCE SHEARWALL PLAN AND DETAILS FOR ADDITIONAL INFORMATION.
 - indicates SHEARWALL HOLDOWN LOCATION AT BASE OF WALL ABOVE THIS FRAMING LEVEL. REFERENCE SHEARWALL PLAN AND DETAILS FOR ADDITIONAL INFORMATION. PROVIDE ADDITIONAL FRAMING AS REQUIRED TO ACCOMMODATE "PAIR" HOLDOWNS.



DAVID P. MERKEL
No. 9483
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Cabral Residence
14 Union Street
Bristol, RI

REVISIONS:

No.	Description	Date

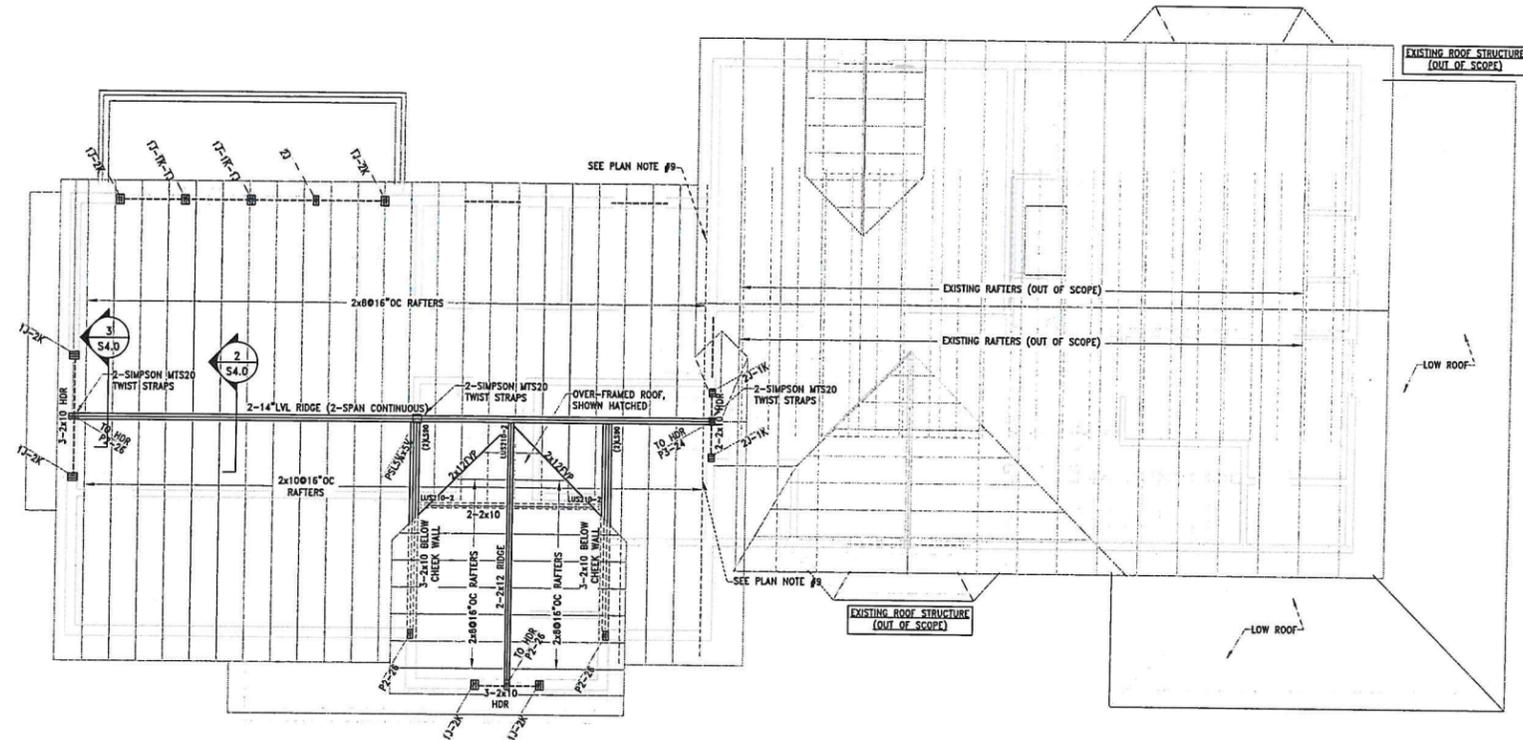
TITLE: FIRST FLOOR FRAMING
DATE: 11.5.2025
JOB NO.: 25116
DRAWING NO.:

S1.0



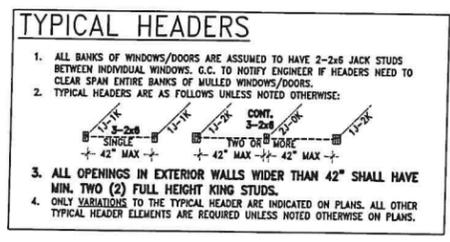
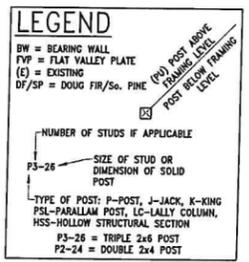
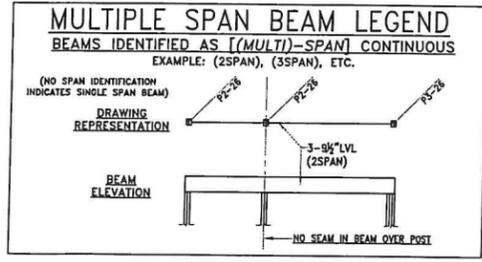
DAVID P. MERKEL
No. 0463
REGISTERED PROFESSIONAL ENGINEER
CIVIL

Cabral Residence
14 Union Street
Bristol, RI



ROOF FRAMING
SCALE: 1/4"=1'-0"

- NOTES:**
1. ALL INDIVIDUAL LVLS ARE 1 3/4" THICK UNLESS NOTED OTHERWISE ON PLAN.
 2. ALL CEILING TO RAFTER CONNECTIONS TO BE MADE W/ A MINIMUM OF 8-12d NAILS.
 3. ALL RAFTER TO LVL RIDGE CONNECTIONS TO BE MADE WITH A MINIMUM OF 6-12d NAILS EOSP AND ONE OF THE THREE FOLLOWING OPTIONS (UNLESS DETAILED/NOTED OTHERWISE ON PLANS):
 3.1. SINGLE SIMPSON L570 FRAMING ANGLE
 3.2. COLLAR TIES LOCATED IN UPPER THIRD OF THE ATTIC SPACE FASTENED TO RAFTERS W/ (4) 12d NAILS
 3.3. 1 1/2" x 20 GA x 36" LONG RIDGE STRAP FASTENED TO OPPOSING RAFTERS
 4. PROVIDE SIMPSON HARDWARE CONNECTING EACH RAFTER TO STRUCTURE BELOW. SEE ROUGH CARPENTRY NOTE #22.
 5. EXTEND PLYWOOD SHEATHING UNDER ENTIRE OVER-FRAMED AREA.
 6. AT OVER-FRAMED AREAS EXISTING ROOFING MATERIAL TO BE REMOVED TO ROOF SHEATHING.
 7. BEAMS COMPRISED OF 2 LVLS OR MORE SHALL BE BOLTED TOGETHER WITH A MINIMUM OF 2-1/2" BOLTS AT 16" ON CENTER OR 3-3/8" DIAMETER SELF TAPPING LAG SCREWS AT 16" ON CENTER, ALTERNATING INSERTION SIDES, FOLLOW MANUF. SPECS, UNLESS NOTED OTHERWISE ON DRAWING.
 8. BW DENOTES BEARING WALLS CONSISTING OF 2x6@16" OC. SEE FRAMING NOTES FOR MORE BRACING.
 9. WHERE APPLICABLE, ALL FIRST RAFTERS SHALL BE FASTENED THROUGH SHEATHING AND INTO WALL STUDS WITH 2-LEDGERLOKS AT 16" OC.



REVISIONS:

No.	Description	Date

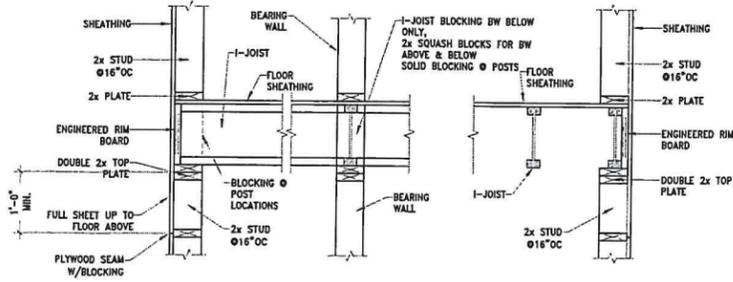
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DATE: 11.5.2025
JOB NO.: 25116
DRAWING NO.:

S3.0

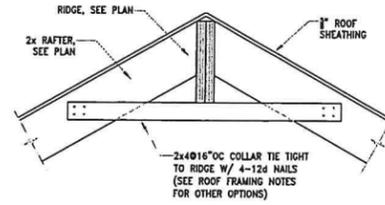


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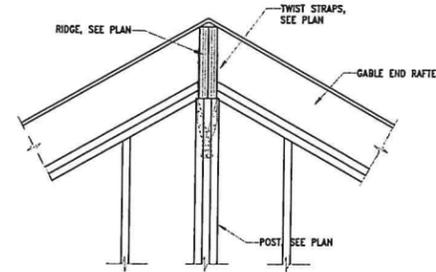
DAVID P. MERKEL
No. 9453
REGISTERED
PROFESSIONAL ENGINEER
CIVIL



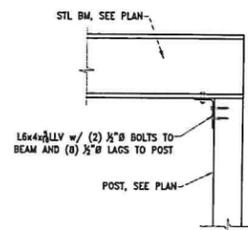
1 TYPICAL JOIST DETAIL
SCALE: 3/4"=1'-0"



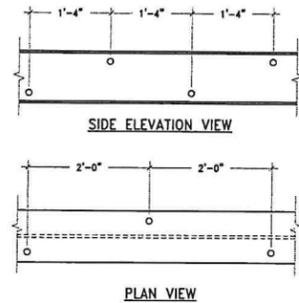
2 SECTION THROUGH RIDGE
SCALE: 3/4"=1'-0"



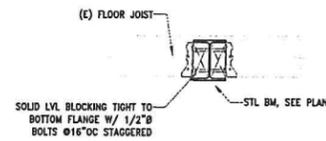
3 RIDGE BEAM CONN. @ GABLE ENDS
SCALE: 3/4"=1'-0"



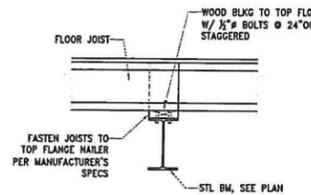
4 STEEL BEAM TO WOOD POST CONNECTION
SCALE: 3/4"=1'-0"



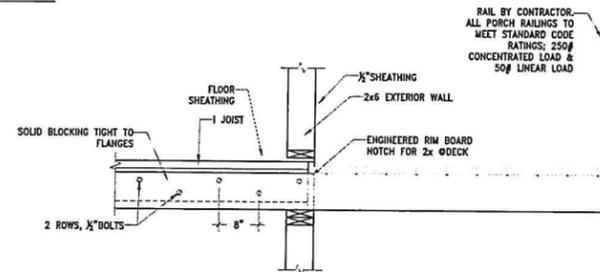
5 TYP. STEEL BEAM BOLT PATTERNS
SCALE: 3/4"=1'-0"



6 SECTION
SCALE: 3/4"=1'-0"

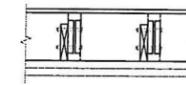


7 DROPPED STEEL BEAM
SCALE: 3/4"=1'-0"



8 TYPICAL JOIST DETAIL
SCALE: 3/4"=1'-0"

COORDINATE EXACT WEB FILLER AND FASTENING W/ JOIST MANUFACTURER. JOIST MANUFACTURER DETAIL CONTROLS



8A TYPICAL JOIST DETAIL
SCALE: 3/4"=1'-0"

RAIL BY CONTRACTOR. ALL PORCH RAILINGS TO MEET STANDARD CODE RATINGS: 250# CONCENTRATED LOAD & 50# LINEAR LOAD

Cabral Residence
14 Union Street
Bristol, RI

REVISIONS:		
No.	Description	Date

TITLE: FRAMING DETAILS

DATE: 11.5.2025

JOB NO.: 25116

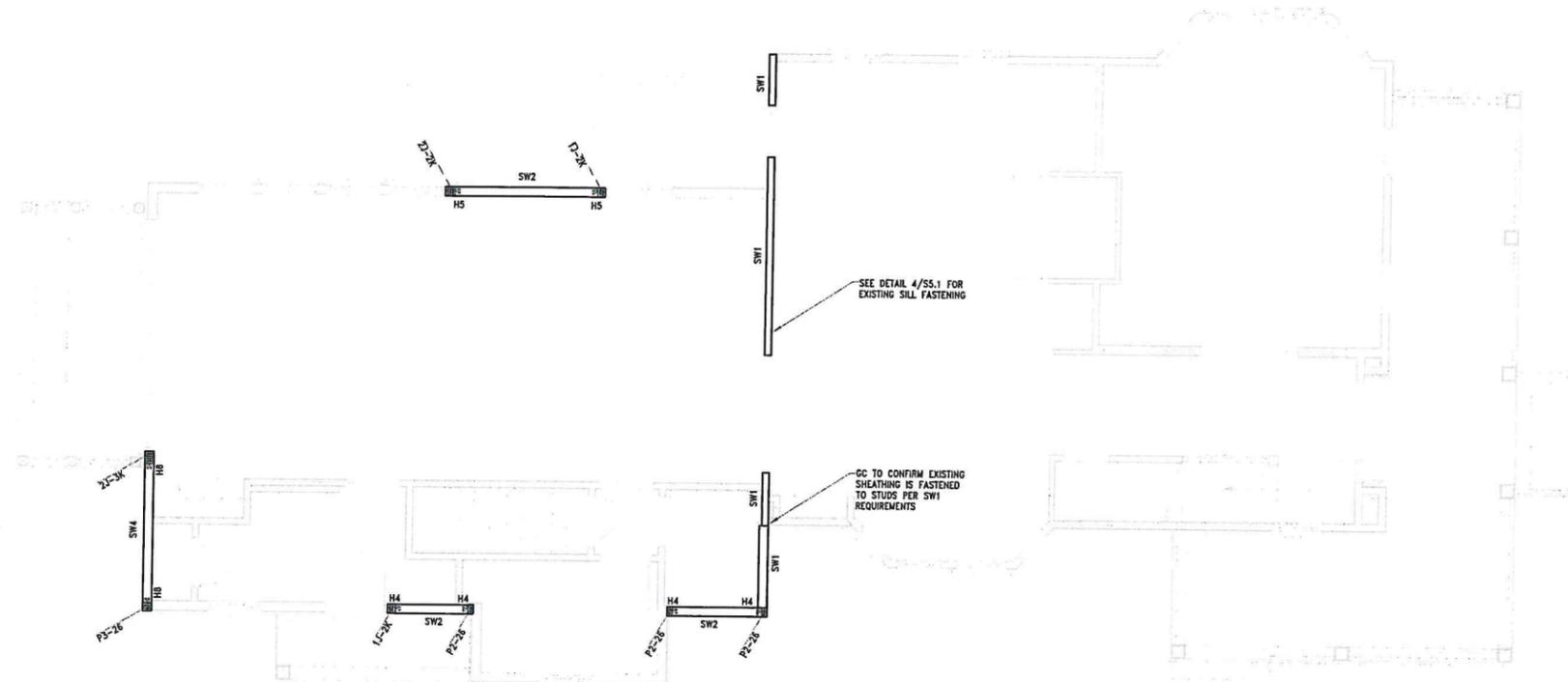
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S4.0



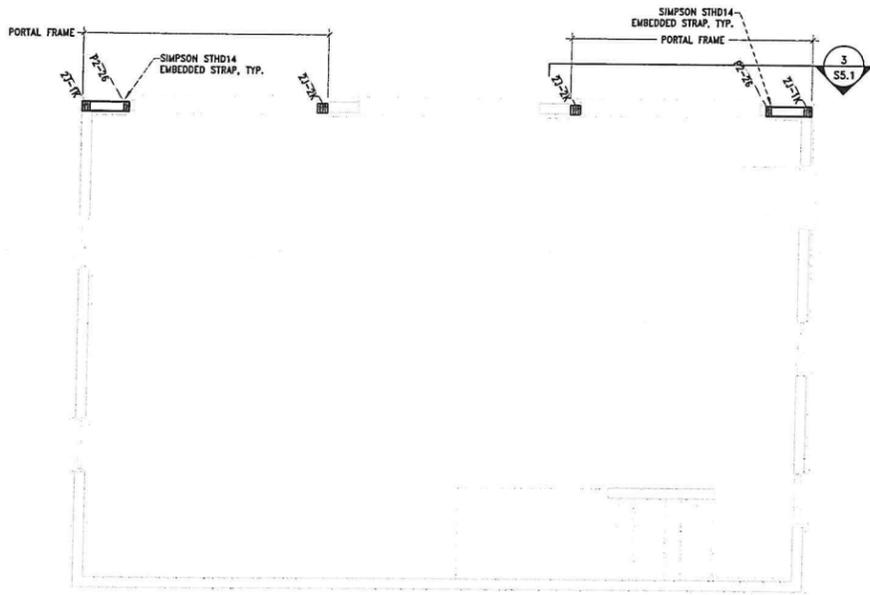
DAVID P. MERKEL
 No. 0453
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

Cabral Residence
 14 Union Street
 Bristol, RI



FIRST FLOOR SHEAR WALLS
 SCALE: 1/4"=1'-0"

- LATERAL FRAMING NOTES:**
1. THE STRUCTURAL DESIGN OF THIS RESIDENCE WAS PERFORMED IN COMPLIANCE WITH THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS. THE PRESCRIPTIVE REQUIREMENTS OF THIS CODE DO NOT APPLY PER SECTIONS 301.1.3 ALTERNATIVE PROVISIONS AND 301.1.3 ENGINEERED DESIGN.
 2. FRAMING COMPONENTS AND FASTENERS AS IDENTIFIED IN THESE DRAWINGS AND NOTES ADEQUATELY RESIST THE LATERAL LOAD REQUIREMENTS AS DEFINED BY THE INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS.
 3. ALL PLYWOOD SCANS IN A SHEARWALL SHALL BE BLOCKED WITH DIMENSIONAL LUMBER OF THE SAME SIZE AS THE WALL STUDS.
 4. REFER TO PLANS AND SECTIONS FOR STUD SIZES, STUDS SHALL BE SPACED AT 16 INCHES ON CENTER UNLESS NOTED OTHERWISE ON PLAN.
 5. CARE SHOULD BE TAKEN TO ADJUST NAIL GUN PRESSURE SO AS TO NOT OVER DRIVE NAILS INTO PLYWOOD. NAIL HEADS SHOULD BE FLUSH WITH PLYWOOD FACE. OVER DRIVING NAILS GREATLY REDUCES THE EFFECTIVENESS OF THE SHEARWALL.
 6. FOR FRAMING SIZES REFER TO FRAMING PLANS.



HOLDOWN SCHEDULE

HOLDOWN ID TAG ON PLAN	SIMPSON MODEL #	HOLDOWN FASTENED TO:	FASTENERS TO FRAMING	THREADED ROD DIAMETER	THREADED ROD EMBED. INTO CONC.
H1	FLYWOOD FASTENING TO PLATES AND STD. ANCHOR BOLTS FUNCTION SUFFICIENTLY AS HOLDOWN		SDS SCREWS	5/8" DIA.	8"
H2	HD12-SDS2.5	2-SPF WALL STUD	SDS SCREWS	5/8" DIA.	8"
STRAP OPT	MSTC40	2-SPF WALL STUD	28-2" 104 1/2 ABOVE & 1/2 BELOW RIM	5/8" DIA.	8"
H4	HD14-SDS2.5	2-SPF WALL STUD	SDS SCREWS	5/8" DIA.	8"
STRAP OPT	MSTC52	2-SPF WALL STUD	44-2" 104 1/2 ABOVE & 1/2 BELOW RIM	5/8" DIA.	8"
H5	HD15-SDS2.5	2-SPF WALL STUD	SDS SCREWS	5/8" DIA.	8"
STRAP OPT	MSTC52	2-SPF WALL STUD	48-2" 104 1/2 ABOVE & 1/2 BELOW RIM	5/8" DIA.	8"
H8	HD18-SDS2.5	3-SPF WALL STUD	SDS SCREWS	7/8" DIA.	12"
STRAP OPT	MST72	3-SPF WALL STUD	68-2" 104 1/2 ABOVE & 1/2 BELOW RIM	7/8" DIA.	12"
H8-DF	HD18-SDS2.5	3-DF/SP WALL STUD	SDS SCREWS	7/8" DIA.	12"
H11	HD11-SDS2.5	6x6 DF POST	SDS SCREWS	1" DIA.	12"
H14	HD14-SDS2.5	6x6 DF POST	SDS SCREWS	1" DIA.	16" **
ST1	CS-20x42" LONG	2-SPF WALL STUD	18-2" 104 1/2 ABOVE & 1/2 BELOW RIM	5/8" DIA.	8"

- HOLDOWN NOTES:**
1. STRAP OPTION MAY BE USED IN LIEU OF HOLDOWN AT UPPER FLOOR LEVELS
 2. ALL THREADED ROD HOLDOWNS SHALL BE FASTENED TO CONCRETE FOUNDATIONS WITH SIMPSON AT-XP HIGH STRENGTH EPOXY SYSTEM INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.
 3. ALL MULTI-PLY WALL STUDS FASTENED TO HOLDOWNS SHALL BE GANGED TOGETHER IN ACCORDANCE WITH BUILDING CODE AND GENERAL NOTES.
 4. ** - HD14 REQUIRES HEAVY-HEX NUT
 5. "PAIR" - INDICATES ONE HOLDOWN ABOVE FLOOR SYSTEM CONNECTED TO A SECOND HOLDOWN BELOW THE FLOOR SYSTEM

SHEARWALL SCHEDULE

SHEARWALL ID TAG	PLYWOOD	WALL STUDS @ PANEL EDGES	BLOCKING @ EDGES	NAILING @ PANEL EDGES
SW1	SINGLE SIDE	SINGLE 2x	UNBLOCKED	8d @ 8" O.C.
SW2	SINGLE SIDE	SINGLE 2x	BLOCKED	8d @ 8" O.C.
SW3	SINGLE SIDE	SINGLE 2x	BLOCKED	8d @ 4" O.C.
SW4	SINGLE SIDE	SINGLE 2x	BLOCKED	8d @ 3" O.C.
SW5	SINGLE SIDE	DOUBLE 2x	BLOCKED	8d @ 2" O.C.
SW6	BOTH SIDES	DOUBLE 2x	BLOCKED	8d @ 3" O.C.
SW7	BOTH SIDES	DOUBLE 2x	BLOCKED	8d @ 2" O.C.

- SHEARWALL NOTES:**
1. ALL SHEARWALLS ASSUMED TO HAVE 1/2" GYPSUM BOARD (DRYWALL) FASTENED TO STUDS W/ #6 SCREWS AT 0"OC EDGE & 12"OC FIELD

LEGEND

BW = BEARING WALL
 FVP = FLAT VALLEY PLATE
 (E) = EXISTING
 DF/SP = DOUG FIR/Ss. PINE
 (P) POST ABOVE FRAMING LEVEL
 POST BELOW EXIST. POST BELOW EXIST.

NUMBER OF STUDS IF APPLICABLE

P3-26 - SIZE OF STUD OR DIMENSION OF SOLID POST

TYPE OF POST: P-POST, J-JACK, K-KING, PSL-PARALLAM POST, LC-LALLY COLUMN, HSS-HOLLOW STRUCTURAL SECTION
 P3-26 = TRIPLE 2x6 POST
 P2-24 = DOUBLE 2x4 POST

REVISIONS:

No.	Description	Date

TITLE: SHEAR WALL PLAN

DATE: 11.5.2025

JOB NO.: 25116

DRAWING NO.: S5.0



Structural Consultants

DAVID P. MERKEL



REGISTERED PROFESSIONAL ENGINEER CIVIL

Cabral Residence
14 Union Street
Bristol, RI

REVISIONS:

No.	Description	Date

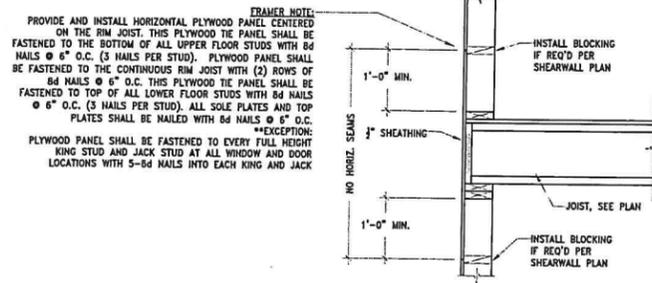
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DATE: 11.5.2025

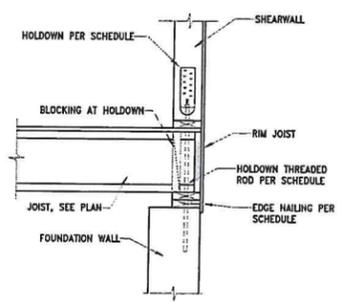
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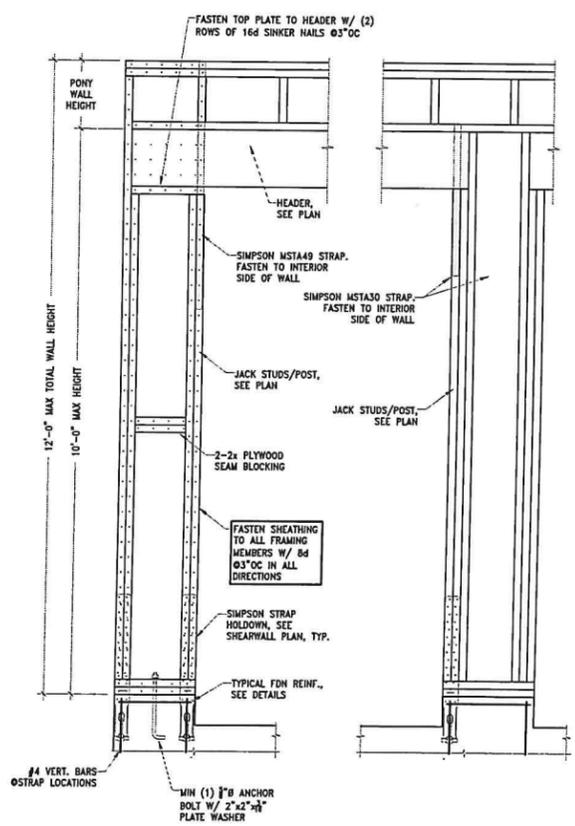
S5.1



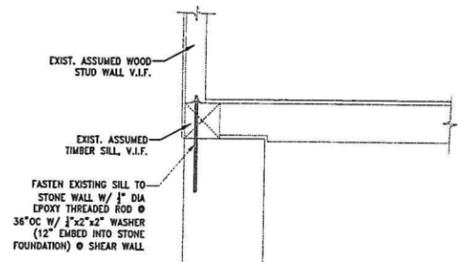
1 PLYWOOD TIE PANEL DETAIL ACROSS FLOOR LEVELS SCALE: 3/4"=1'-0"



2 HOLDOWN CONNECTION TO FDN SCALE: 3/4"=1'-0"



3 PORTAL FRAME DETAIL SCALE: NTS



4 SILL FASTENING SCALE: NTS



14 UNION ST, Bristol, RI

Map/Lot: 15-52

1 inch = 25 Feet



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March 16, 2026



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Owner 1 CABRAL, LOUIS A &
Owner 2 GREENWELL, JOAN F TE
Owner 3
Address 14 UNION ST, BRISTOL, RI 02809

Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	Deed Type
WESTON, EDWIN J & BETTY A LE	04/17/2020	705,000	2030-21	W
WESTON, EDWIN J	03/27/2015	1	1795-178	C
WESTON, EDWIN J ET UX	05/15/2012	0	1649-242	A
MEMORANDUM OF TRUST	05/15/2012	0	1649-240	T
MEMORANDUM OF TRUST	05/15/2012	0	1649-238	

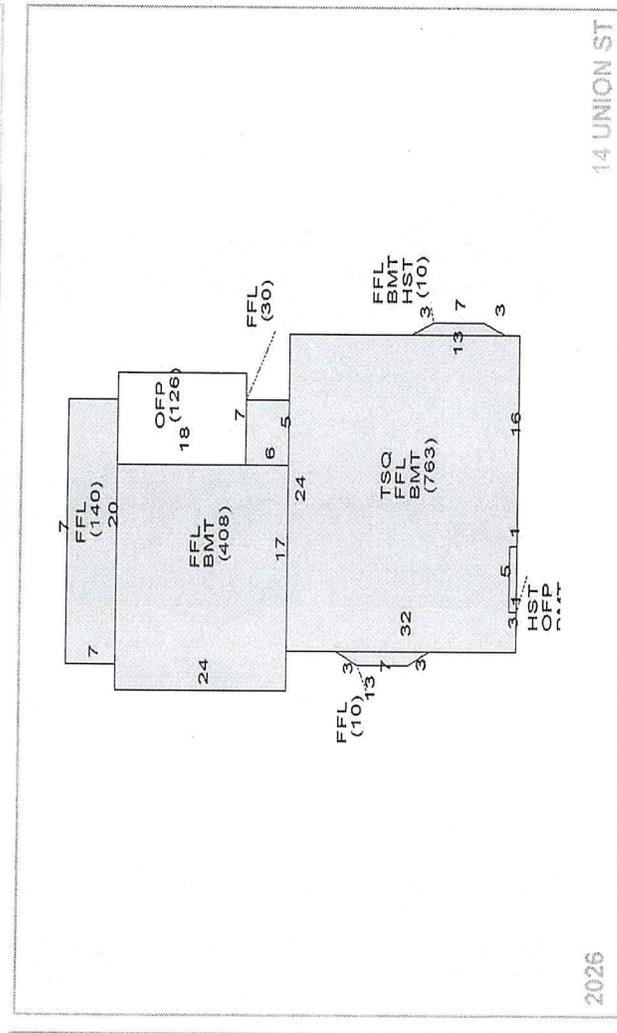
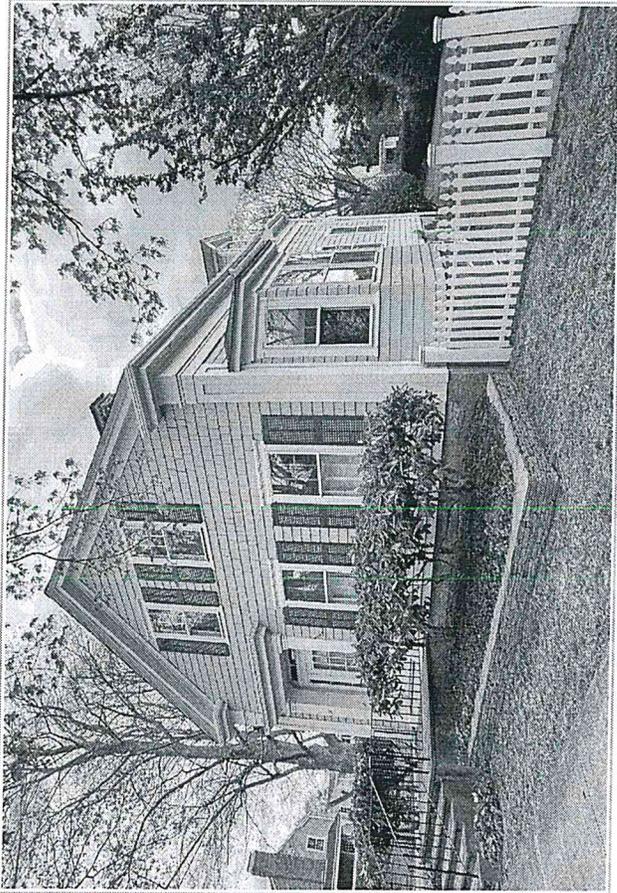
Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
01	550,700	15,700	0.30	310,200	0	876,600
TOTAL	550,700	15,700	0.30	310,200	0	876,600

Source > Mkt Adj Cost VAL per SQ Unit/Card > 269.08 **VAL per SQ Unit/Parcel > 269.08**

Previous Assessments

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2025	01	550,700	15,700	0	310,200	0	876,600	876,600
2024	01	402,700	15,700	0	258,500	0	676,900	676,900
2023	01	402,700	15,700	0	258,500	0	676,900	676,900
2022	01	402,700	15,700	0	258,500	0	676,900	676,900
2021	01	247,600	15,700	0	248,500	0	511,800	511,800
2020	01	247,600	15,700	0	248,500	0	511,800	511,800



Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 2	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1 01 NR Single I	0.13774	AC	P	1.00	1,842,000	1,864,382	I					256,800			1.00	0
2 01 NR Single I	0.16024	AC	EX	0.20	1,842,000	333,250	I					53,400			1.00	0
3																
4																

Plat/Lot 015-0052-000

Account: 961

LUC01

Zone R-6

Assessment

\$876,600

Building Information

Table with columns: Description, Quantity, Quality. Rows include BLDG Type, RES Units, Foundation, Frame 1, EXT Wall 1, Roof Type 1, Roof Cover 1, INT Wall 1, Floors 1, BMT Garages, Plumbing, Insulation, Heat Fuel, # Heat Sys, % Solar HW, % COM Wall, Ceil HGHT, Parking Type, EXT View.

Grade

Table with columns: Grade, Q4+, Q4+, Year Built, 1846, EFF Year, Alt %, 0.00. Rows include Flood Hazard, Topography, Street Traffic.

Depreciation

Table with columns: Code, GD, Description, %, GD - Good, 27.0, Size Adj, 1.05, Constr Adj, 1.01, Adj \$/SQ, 309.63, Other Feats, 34,200, Grade Fac, 1.09, Neigh Infl, 1.00, Land Factor, 1.00, Adj Total, 754,331, Depreciation, 203,669, Depr Total, 550,662.

Remodeling History

Table with columns: Additions, Plumbing, Electric, Heating, General, Kitchen, Bath(s). Rows include Complex, Location, Tot Units, FL Level, # Floors, Bldg Seq.

Sub-Area Detail

Table with columns: Code, Description, Area, Fin. Area, Rate, Undep Val. Rows include FFL, TSQ, HST, OFP, BMT, Total.

Notes

EXTERIOR RENOVATIONS 12/05 EAS, GUTTER REPAIR MEMORANDUMS OF TRUST BK 1649 PGS 238 & 240 5/15/2012 remove and repair section of roof close in skylight add roof vent. R & R roof on garage 11-5-13 mcb approve by BHDC // 05/11/2021 Very minor changes made to the building based on an exterior-only inspection (interior inspections not allowed during Covid-19 issues) and measurements. 7 x 4 rear patio added.

Building Permits

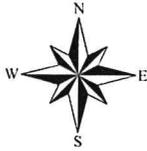
Table with columns: Issue Date, Permit #, Closed Date, BP Type, Est. Cost, % Done, Status, Description/Directions. Rows include 10/08/2013, 10/12/2006, 01/11/2005.

Special Features & Yard Items

Table with columns: Use, Description, A, Y/S, Qty, Length, Width, SF Size, Quality, Condition, Year, Assessed Value. Rows include 1 Garage, 1 Y, 1 Y.

Room Counts by Floor

Table with columns: Units, # Rooms, # Bedrooms, Floor Level. Rows include 1, 2, 3, 4, Totals.



14 Union Street - 200' Radius

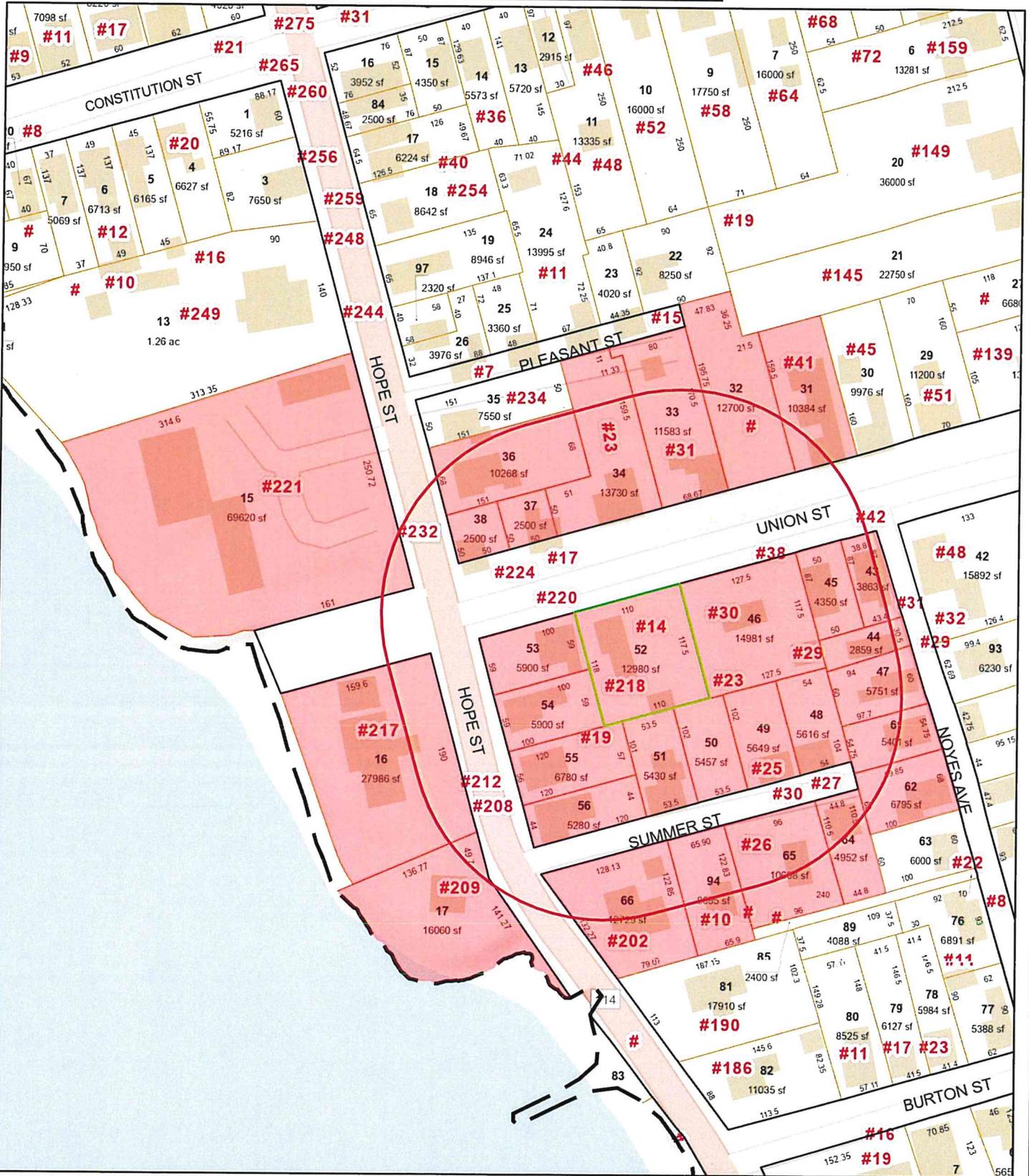
Town of Bristol, RI

1 inch = 141 Feet



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March 13, 2026



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200 feet Abutters List Report

Bristol, RI
March 13, 2026

Subject Property:

Parcel Number: 15-52
CAMA Number: 15-52
Property Address: 14 UNION ST

Mailing Address: CABRAL, LOUIS A & GREENWELL, JOAN
F TE
14 UNION ST
BRISTOL, RI 02809

Abutters:

Parcel Number: 11-15
CAMA Number: 11-15-001
Property Address: 221 HOPE ST

Mailing Address: ASCIOLLA, NILA
221 HOPE ST, UNIT 1
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-002
Property Address: 221 HOPE ST

Mailing Address: BURNETT, ROBIN D & BURNETT, BETH
MCCANN CO-TRUST
221 HOPE ST UNIT 2
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-003
Property Address: 221 HOPE ST

Mailing Address: VELLIS, PETER A. & ALMEIDA, SONIA F.
TE
221 HOPE ST, Unit 3
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-004
Property Address: 221 HOPE ST

Mailing Address: LUBECK, KATHLEEN R. CO-TRST
KATHLEEN LUBECK LIV TRST AGMT
221 HOPE STREET UNIT 4A
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-005
Property Address: 221 HOPE ST

Mailing Address: MOGER WILLIAM
221 HOPE ST, Unit 5
Bristol, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-006
Property Address: 221 HOPE ST

Mailing Address: CURRY, MAUREEN C. EDWARD W. TE
221 HOPE ST UNIT 6
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-007
Property Address: 221 HOPE ST

Mailing Address: WERMERT, SYBIL H. & JAMES F. TE
5009 HAMPTON LAKE DR
MARIETTA, GA 30068

Parcel Number: 11-15
CAMA Number: 11-15-008
Property Address: 221 HOPE ST

Mailing Address: JOHNSON, SUSAN E
221 HOPE ST
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-009
Property Address: 221 HOPE ST

Mailing Address: PASQUAL, THOMAS A & JO-ANN
TRUSTEES
221 HOPE ST UNIT # 9
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-010
Property Address: 221 HOPE ST

Mailing Address: HARRIS, ERIN J. & TERESHKO, DANIEL
N. TE
221 HOPE ST, UNIT 10
BRISTOL, RI 02809



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200 feet Abutters List Report

Bristol, RI
March 13, 2026

Parcel Number: 11-15
CAMA Number: 11-15-011
Property Address: 221 HOPE ST

Mailing Address: BUTLER, WILLIAM E.
221 HOPE ST
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-012
Property Address: 221 HOPE ST

Mailing Address: MACK, JOHN C & PATRICIA M
TRUSTEES JOHN C MACK & PATRICIA
M MACK REVOCABLE LIVING TRU
97 PEARL ST
ENGLEWOOD, FL 34223

Parcel Number: 11-15
CAMA Number: 11-15-013
Property Address: 221 HOPE ST

Mailing Address: PARKER, PAULA TRUSTEE OF THE
MARY L. DWYER IRREVOCABLE TRUST
221 HOPE ST, UNIT 13
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-014
Property Address: 221 HOPE ST

Mailing Address: BUTCHER, STEPHEN W & LISA B
221 HOPE ST UNIT 14
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-015
Property Address: 221 HOPE ST

Mailing Address: BRAMLEY, CATHERINE M & ALAN K TE
221 HOPE ST UNIT 15
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-016
Property Address: 221 HOPE ST

Mailing Address: MCKENNA, MYONG-HWA & STEPHEN W.
TE
221 HOPE ST, UNIT 16
BRISTOL, RI 02809

Parcel Number: 11-15
CAMA Number: 11-15-017
Property Address: 221 HOPE ST

Mailing Address: TIRPAECK, SARA JANE TRUSTEE
TIRPAECK RESIDENCE TRUST
221 HOPE ST UNIT #17
BRISTOL, RI 02809

Parcel Number: 11-16
CAMA Number: 11-16-001
Property Address: 217 HOPE ST

Mailing Address: HOPKINS, COLLEEN P & OLIVA, JEANNE
M TE
217 HOPE ST., UNIT 1
BRISTOL, RI 02809

Parcel Number: 11-16
CAMA Number: 11-16-002
Property Address: 217 HOPE ST

Mailing Address: WOOD, WILLIAM J & FORSTER, ROBYN
TC
217 HOPE ST, UNIT 2
BRISTOL, RI 02809

Parcel Number: 11-16
CAMA Number: 11-16-003
Property Address: 217 HOPE ST

Mailing Address: BALZANO ANN M BALZANO CARA M
217 HOPE ST, Unit 3
BRISTOL, RI 02809

Parcel Number: 11-16
CAMA Number: 11-16-004
Property Address: 217 HOPE ST

Mailing Address: GORHAM, MARIA C
217 HOPE ST, Unit 4
BRISTOL, RI 02809

Parcel Number: 11-16
CAMA Number: 11-16-005
Property Address: 217 HOPE ST

Mailing Address: ARAUJO, LUCILLE M TRUSTEE LUCILE
M ARAUJO LIVING TRUST
54 BRIAN AVE
SOMERSET, MA 02726-3768



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200 feet Abutters List Report

Bristol, RI
March 13, 2026

Parcel Number: 11-16
CAMA Number: 11-16-006
Property Address: 217 HOPE ST

Mailing Address: REALE, VANESSA N. & ROGER
CHARLES TE
217 HOPE ST, UNIT 6
BRISTOL, RI 02809

Parcel Number: 11-16
CAMA Number: 11-16-007
Property Address: 217 HOPE ST

Mailing Address: TUMBER, WILLIAM R. & GLENDA DEE TE

955 WEST SHORE RD, UNIT 6B
ALEXANDRIA, NH 03222

Parcel Number: 11-16
CAMA Number: 11-16-008
Property Address: 217 HOPE ST

Mailing Address: HURLEY, JAMES T.
217 HOPE ST, Unit 8
BRISTOL, RI 02809

Parcel Number: 11-16
CAMA Number: 11-16-009
Property Address: 217 HOPE ST

Mailing Address: BISBANO, RICHARD
688 7TH AVENUE NORTH
NAPLES, FL 34102

Parcel Number: 11-16
CAMA Number: 11-16-010
Property Address: 217 HOPE ST

Mailing Address: BURSTEIN, ALEX S TRUSTEE
1304 MAINSAIL Circle
Jupiter, FL 33477

Parcel Number: 11-17
CAMA Number: 11-17
Property Address: 209 HOPE ST

Mailing Address: RODRIGUES, JOYCE C
209 HOPE STREET
BRISTOL, RI 02809

Parcel Number: 15-31
CAMA Number: 15-31
Property Address: 41 UNION ST

Mailing Address: MICHAELS, ANGELA ANDREA, TRUSTEE
ANGELA ANDREA MICHAELS TRUST
41 UNION ST
BRISTOL, RI 02809

Parcel Number: 15-33
CAMA Number: 15-33
Property Address: 31 UNION ST

Mailing Address: BARROW, IRENE K.
31 UNION ST
BRISTOL, RI 02809

Parcel Number: 15-34
CAMA Number: 15-34
Property Address: 23 UNION ST

Mailing Address: BOYCE, MICHAEL R.
23 UNION ST.
BRISTOL, RI 02809

Parcel Number: 15-36
CAMA Number: 15-36
Property Address: 232 HOPE ST

Mailing Address: SOUSA, LOUIS A. CATHERINE Q. TE
232 HOPE ST
BRISTOL, RI 02809

Parcel Number: 15-37
CAMA Number: 15-37
Property Address: 17 UNION ST

Mailing Address: CHRISTINA, MARTHA
17 UNION ST
BRISTOL, RI 02809

Parcel Number: 15-38
CAMA Number: 15-38
Property Address: 224 HOPE ST

Mailing Address: LEONETTI, GREGORY M. & JULIA C. TE
4480 POST RD
EAST GREENWICH, RI 02818



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Bristol, RI
March 13, 2026

Parcel Number: 15-43 CAMA Number: 15-43 Property Address: 42 UNION ST	Mailing Address: AVERILL, PAYSON, C. KIMBERLY E. TE 42 UNION ST BRISTOL, RI 02809
Parcel Number: 15-44 CAMA Number: 15-44 Property Address: 31 NOYES AVE	Mailing Address: STILWELL, CHRISTINE B. (SOLE OWNER) 31 NOYES AVENUE BRISTOL, RI 02809
Parcel Number: 15-45 CAMA Number: 15-45 Property Address: 38 UNION ST	Mailing Address: WARDWELL, WILLIAM A JR. & CAROL W. TE 38 UNION ST. BRISTOL, RI 02809
Parcel Number: 15-46 CAMA Number: 15-46 Property Address: 30 UNION ST	Mailing Address: CLAIR, BRADFORD J & KAREN M TE 30 UNION ST BRISTOL, RI 02809
Parcel Number: 15-47 CAMA Number: 15-47 Property Address: 29 NOYES AVE	Mailing Address: DAVIS, JAMES F. & DAVIS, VIRGINIA C. & 51 BRADFORD ST, Unit 1 BRISTOL, RI 02809
Parcel Number: 15-48 CAMA Number: 15-48 Property Address: 29 SUMMER ST	Mailing Address: HANSON, WADE R 29 SUMMER ST BRISTOL, RI 02809
Parcel Number: 15-49 CAMA Number: 15-49 Property Address: 25 SUMMER ST	Mailing Address: BAKER, JOHN LINDA 25 SUMMER ST BRISTOL, RI 02809
Parcel Number: 15-50 CAMA Number: 15-50 Property Address: 23 SUMMER ST	Mailing Address: ESSELEN IV GUSTAVUS J TRUSTEE ESSELEN CATHERINE M TRUSTEE 23 SUMMER ST Bristol, RI 02809
Parcel Number: 15-51 CAMA Number: 15-51 Property Address: 19 SUMMER ST	Mailing Address: AMIS, DAVID H. & DEMARCO, KATHLEEN M. TRUSTEES 19 SUMMER STREET BRISTOL, RI 02809
Parcel Number: 15-52 CAMA Number: 15-52 Property Address: 14 UNION ST	Mailing Address: CABRAL, LOUIS A & GREENWELL, JOAN F TE 14 UNION ST BRISTOL, RI 02809
Parcel Number: 15-53 CAMA Number: 15-53 Property Address: 220 HOPE ST	Mailing Address: TANSEY, CHARLES D. 220 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-54 CAMA Number: 15-54 Property Address: 218 HOPE ST	Mailing Address: BRULE, NANCY C. AKA BIEKSHA, NANCY C. 218 HOPE ST BRISTOL, RI 02809



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Bristol, RI
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Parcel Number: 15-55 CAMA Number: 15-55 Property Address: 212 HOPE ST	Mailing Address: CORTELLESSA, JOSEPH M. & CORTELLESSA, LORANINE A. & 208 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-56 CAMA Number: 15-56 Property Address: 208 HOPE ST	Mailing Address: CORTELLESSA, JOSEPH M. & CORTELLESSA, LORRAINE A. & 208 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-61 CAMA Number: 15-61 Property Address: 27 NOYES AVE	Mailing Address: PACHECO, JASON D 27 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-62 CAMA Number: 15-62 Property Address: 25 NOYES AVE	Mailing Address: GUILD, MITCHELL A & JUDITH TE 25 NOYES AVE BRISTOL, RI 02809
Parcel Number: 15-64 CAMA Number: 15-64 Property Address: 30 SUMMER ST	Mailing Address: LEVY, MARK L & KEATING, CELINE M TE 30 SUMMER ST BRISTOL, RI 02809
Parcel Number: 15-65 CAMA Number: 15-65 Property Address: 26 SUMMER ST	Mailing Address: BURKE, CHARLES A. & MAURER, MARI- LYNN CO-TRUSTEES 26 SUMMER ST BRISTOL, RI 02809
Parcel Number: 15-66 CAMA Number: 15-66 Property Address: 202 HOPE ST	Mailing Address: VANDEVENTER, BRENDAN P & MONICA R TE 202 HOPE ST BRISTOL, RI 02809
Parcel Number: 15-94 CAMA Number: 15-94 Property Address: 10 SUMMER ST	Mailing Address: SCHWENGEL, ROBERT H & ELIZABETH N TRUSTEES 10 SUMMER ST BRISTOL, RI 02809



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AMIS, DAVID H. & DEMARCO,
19 SUMMER STREET
BRISTOL, RI 02809

BURLE, NANCY C.
AKA BIEKSHA, NANCY C.
218 HOPE ST
BRISTOL, RI 02809

CORTELLESSA, JOSEPH M. &
CORTELLESSA, LORRAINE A.
208 HOPE ST
BRISTOL, RI 02809

ARAUJO, LUCILLE M TRUSTEE
LUCILE M ARAUJO LIVING TR
54 BRIAN AVE
SOMERSET, MA 02726-3768

BURKE, CHARLES A. & MAURE
26 SUMMER ST
BRISTOL, RI 02809

CURRY, MAUREEN C.
EDWARD W. TE
221 HOPE ST UNIT 6
BRISTOL, RI 02809

ASCIOLLA, NILA
221 HOPE ST, UNIT 1
BRISTOL, RI 02809

BURNETT, ROBIN D &
BURNETT, BETH MCCANN CO-T
221 HOPE ST UNIT 2
BRISTOL, RI 02809

DAVIS, JAMES F. &
DAVIS, VIRGINIA C. &
51 BRADFORD ST, Unit 1
BRISTOL, RI 02809

AVERILL, PAYSON, C.
KIMBERLY E. TE
42 UNION ST
BRISTOL, RI 02809

BURSTEIN, ALEX S TRUSTEE
1304 MAINSAIL Circle
Jupiter, FL 33477

ESSELEN IV GUSTAVUS J TRU
ESSELEN CATHERINE M TRUST
23 SUMMER ST
Bristol, RI 02809

BAKER, JOHN
LINDA
25 SUMMER ST
BRISTOL, RI 02809

BUTCHER, STEPHEN W &
LISA B
221 HOPE ST UNIT 14
BRISTOL, RI 02809

GORHAM, MARIA C
217 HOPE ST, Unit 4
BRISTOL, RI 02809

BALZANO ANN M
BALZANO CARA M
217 HOPE ST, Unit 3
BRISTOL, RI 02809

BUTLER, WILLIAM E.
221 HOPE ST
BRISTOL, RI 02809

GUILD, MITCHELL A &
JUDITH TE
25 NOYES AVE
BRISTOL, RI 02809

BARROW, IRENE K.
31 UNION ST
BRISTOL, RI 02809

CABRAL, LOUIS A &
GREENWELL, JOAN F TE
14 UNION ST
BRISTOL, RI 02809

HANSON, WADE R
29 SUMMER ST
BRISTOL, RI 02809

BISBANO, RICHARD
688 7TH AVENUE NORTH
NAPLES, FL 34102

CHRISTINA, MARTHA
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BRISTOL, RI 02809

HARRIS, ERIN J. & TERESHK
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BRISTOL, RI 02809

BOYCE, MICHAEL R.
23 UNION ST.
BRISTOL, RI 02809

CLAIR, BRADFORD J &
KAREN M TE
30 UNION ST
BRISTOL, RI 02809

HOPKINS, COLLEEN P & OLIV
217 HOPE ST., UNIT 1
BRISTOL, RI 02809

BRAMLEY, CATHERINE M & AL
221 HOPE ST UNIT 15
BRISTOL, RI 02809

CORTELLESSA, JOSEPH M. &
CORTELLESSA, LORANINE A.
208 HOPE ST
BRISTOL, RI 02809

HURLEY, JAMES T.
217 HOPE ST, Unit 8
BRISTOL, RI 02809

JOHNSON, SUSAN E
221 HOPE ST
BRISTOL, RI 02809

PASQUAL, THOMAS A & JO-AN
221 HOPE ST UNIT # 9
BRISTOL, RI 02809

VELLIS, PETER A. &
ALMEIDA, SONIA F. TE
221 HOPE ST, Unit 3
BRISTOL, RI 02809

LEONETTI, GREGORY M. & JU
4480 POST RD
EAST GREENWICH, RI 02818

REALE, VANESSA N. & ROGER
217 HOPE ST, UNIT 6
BRISTOL, RI 02809

WARDWELL, WILLIAM A JR. &
38 UNION ST.
BRISTOL, RI 02809

LEVY, MARK L & KEATING, C
30 SUMMER ST
BRISTOL, RI 02809

RODRIGUES, JOYCE C
209 HOPE STREET
BRISTOL, RI 02809

WERMERT, SYBIL H. & JAMES
5009 HAMPTON LAKE DR
MARIETTA, GA 30068

LUBECK, KATHLEEN R. CO-TR
KATHLEEN LUBECK LIV TRST
221 HOPE STREET UNIT 4A
BRISTOL, RI 02809

SCHWENGEL, ROBERT H &
ELIZABETH N TRUSTEES
10 SUMMER ST
BRISTOL, RI 02809

WOOD, WILLIAM J & FORSTER
217 HOPE ST, UNIT 2
BRISTOL, RI 02809

MACK, JOHN C & PATRICIA M
JOHN C MACK & PATRICIA M
97 PEARL ST
ENGLEWOOD, FL 34223

SOUSA, LOUIS A.
CATHERINE Q. TE
232 HOPE ST
BRISTOL, RI 02809

MCKENNA, MYONG-HWA & STEP
221 HOPE ST, UNIT 16
BRISTOL, RI 02809

STILWELL, CHRISTINE B.
(SOLE OWNER)
31 NOYES AVENUE
BRISTOL, RI 02809

MICHAELS, ANGELA ANDREA,
ANGELA ANDREA MICHAELS TR
41 UNION ST
BRISTOL, RI 02809

TANSEY, CHARLES D.
220 HOPE ST
BRISTOL, RI 02809

MOGER WILLIAM
221 HOPE ST, Unit 5
Bristol, RI 02809

TIRPAECK, SARA JANE TRUST
TIRPAECK RESIDENCE TRUST
221 HOPE ST UNIT #17
BRISTOL, RI 02809

PACHECO, JASON D
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BRISTOL, RI 02809

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BRISTOL, RI 02809

VANDEVENTER, BRENDAN P &
MONICA R TE
202 HOPE ST
BRISTOL, RI 02809