



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809

Telephone: (401) 253-7000

www.bristolri.gov

September 17, 2026

File #: ZBR-26-44

NOTICE OF PUBLIC HEARING

PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review
that a Public Hearing will be held in-person at:

Bristol Town Hall

10 Court Street, Bristol, RI 02809

Monday, October 5, 2026 at 7:00 p.m.

In regards to the petition of:

Applicant: Michael Lancaster

Owner of Record: Michael H. Lancaster and Robin Newcomer

Location: 5 KNOWLTON CT, BRISTOL, RI, 02809

Plat: 103 Lot: 88

Zoning District: R-10

Applicant is requesting a **Dimensional Variance** to:

construct a 21ft. x 25ft. accessory pool cabana structure with greater than permitted lot coverage by structures

Edward M. Tanner

Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov.



Zoning Board of Review Application
Town of Bristol

Record ID: ZBR-26-44

5 Knowlton Court 103 88

September 4, 2026

Applicant	
Name of Applicant	Michael Lancaster
Who is Submitting this Application	Owner
	If other, Describe:
Owner's Name (If Different than Applicant)	

Location for Application			
Property Type	Both		
Zoning District	R-10		
Address, Plat, Lot	Address	Plat	Lot
	5 Knowlton Court	103	88

Type of Application	
Application Type	Dimensional Variance
Proposed	Other (Lot coverage, Parking, etc.)
	If other, Detail: Pool Cabana
New Building Type	
	If other, Detail:

Size of Proposed Building(s)/Addition(s) (If applicable)	
Total Square Footage	360 feet
Width in Feet	21 feet
Length in Feet	25 feet
Height Above Grade	15 feet
Number of Stories	1

Setbacks	
Front Yard in Feet	0 feet
Rear Yard in Feet	0 feet
Left Side Yard in Feet	0 feet
Right Side Yard in Feet	0 feet
Height in Feet	0 feet

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)
Section 28-111, Table B. Maximum lot coverage by structures in R-10 zone. 25% maximum lot coverage variance.

Describe the extent of the proposed alterations and the reasons for the requesting relief
Pool cabana will rain water capture system and finishes will match existing house. Though the structure will have a roof all rain water will be captured and used for landscape watering. No runoff because of structure

Existing Lot Specifications

Current Use of Premises	Residential
	If other, explain:
Number of Units	
Lot Area	13,910
Lot Frontage	105
Lot Depth	131

Existing Buildings & Structures		
Structure: Primary Residence	Square Footage: 3,448	Building/Structure Detail if Other:



5 Knowlton Ct, Bristol, RI

Map/Lot: 103-88

1 inch = 23 Feet



www.cai-tech.com

September 15, 2026



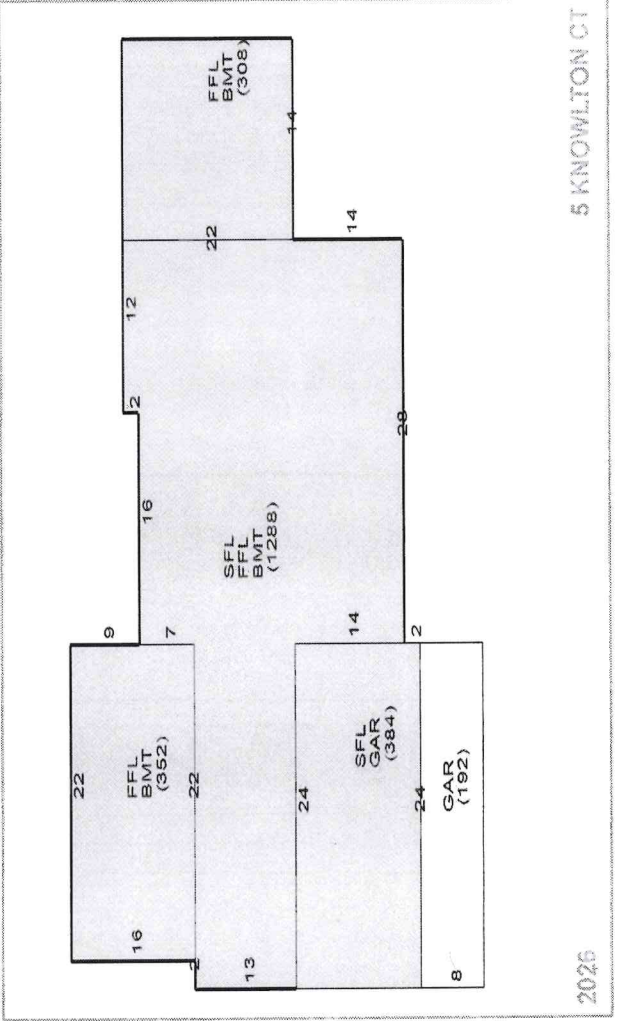
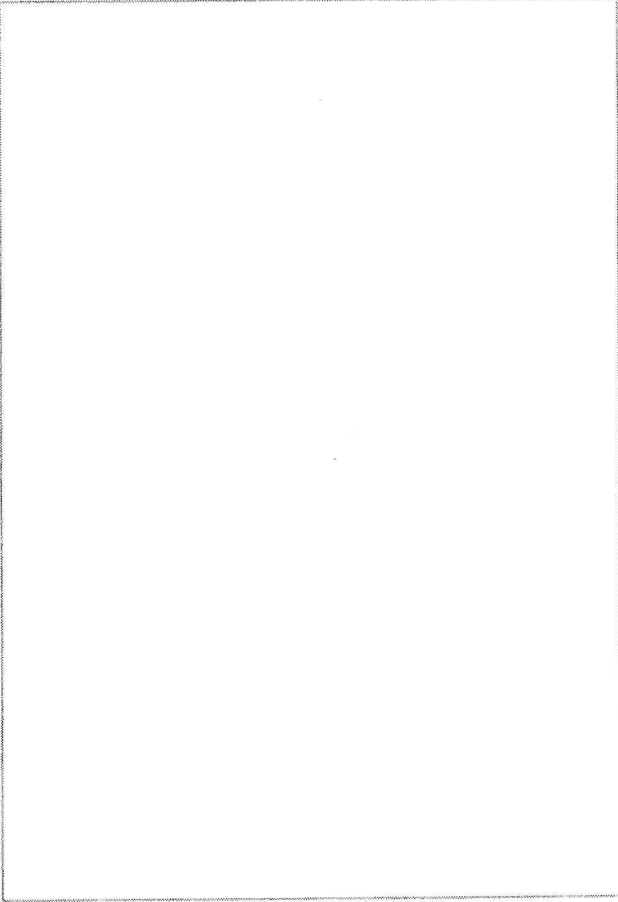
Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

Owner	Owner Account #	% Owned
Owner 1 LANCASTER, MICHAEL HANLON & ROBIN	01-0000-13	
Owner 2		
Owner 3		
Address 5 KNOWLTON CT, BRISTOL, RI 02809		

Grantor	Date	Sale Price	Leg Ref	NAL	Dead Type
A.G. CONSTRUCTION, INC.	06/01/2026	1,910,000	2323-243		W
1202 HOPE STREET	12/21/2023	1,100,000	2232-108	K	W
KNOWLTON, LAVINA FALES	07/16/2019	560,000	1990-179	L	E

Assessment	Use Code	Bldg Value	SF/YI	Land Value	Land Size	AG Credit	Assessed Value
	01	833,600	0	201,000	0.32	0	1,034,600
TOTAL		833,600	0	201,000	0.32	0	1,034,600
Source > Mkt Adj Cost VAL per SQ Unit/Card > 135.68 VAL per SQ Unit/Parcel > 168.39							

Previous Assessments	Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
	2026	01	833,600	0	0	201,000	0	1,034,600	1,034,600
	2025	13	0	0	0	201,000	0	201,000	201,000
	2024	13	0	0	0	167,500	0	167,500	167,500



Land Information	Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1	01 NR Single I	0.22957	AC	P	1.00	666,000	797,578	E							183,100			1.00	0
2	01 NR Single I	0.08976	AC	EX	0.20	666,000	199,421	E							17,900			1.00	0
3																			
4																			

Building Information

Description		Description
BLDG Type	Colonial	2 Story
RES Units	1	COM Units
Foundation	Concrete	BMT Floor
Frame 1	Wood	Frame 2
EXT Wall 1	Clapboard	EXT Wall 2
Roof Type 1		Roof Type 2
Roof Cover 1		Roof Cover 2
INT Wall 1		INT Wall 2
Floors 1		Floors 2
BMT Garages		Color
Plumbing		Electrical
Insulation		INT vs EXT
Heat Fuel	Gas	Heat Type
# Heat Sys		% Heated
% Solar HW		% A/C
% COM Wall		% Vacuum
Ceil HIGHT		Ceiling Type
Parking Type		% Sprinkled
EXT View		

Grade

Grade	Q3+	Q3+	Q3+
Year Built	2025	EFF Year	
Alt LUC		Alt %	0.00

Depreciation		Bas \$/SQ	Size Adj	Constr Adj	Adj \$/SQ	Other Feats	Grade Fac	Neigh Infl	Land Factor	Adj Total	Depreciation	Depr Total
Condition	AV	AV - Average	1.0		196.78	82,000	1.60	1.00	1.00	1,403,406	569,783	833,623
Functional		-										
Economic		-										
Special	01	01 - Under Ct	40.0									
OV		-										
Total Depreciation % > 40.6												

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,948	1,948	196.78	383,328
SFL	2nd FLOOR	1,672	1,672	196.78	329,017
BMT	BASEMENT	1,948	0	29.52	57,505
GAR	GARAGE	576	0	45.63	26,280
Total		6,144	3,620		795,130

Visit History

Date	Result	By
1/30/2025	REVIEW	MP
1/2/2024	CHANGE NC MD	

Notes

Deed recorded 12/5/22 transferring 24,433 sf from lot 14 to lot 2 Bk 2196 Pg 264

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Condo Data

Complex	
Location	
Tot Units	
FL Level	
# Floors	
Bldg Seq	1

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
02/03/2026	BB-26-50		BLDG	0	0	Open	We'll be building a Gunite Pool 18'x36',134907
12/09/2025	B62624		BLDG	0	0	Open	Finish Basement,30000
08/14/2025	B61877		BLDG	0	0	Open	Construction of a new single family home,525000
06/17/2025	B61494		BLDG	0	0	Build Dept	Single Family Home - FOUNDATION ONLY,25000

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1			
2			
3			
4			
Totals			

Other Info.

AFDU	
IntTermRental	
PriorID1c	
PriorID2a	
PriorID2b	
PriorID2c	
PriorID3a	
PriorID3b	
PriorID3c	

A.P. 103 LOT 19

5 KNOWLTON CT.
AP 103 LOT 88
AREA=13,910 S.F.

7 KNOWLTON CT.
AP 103 LOT 89

AREA=10,948 S.F.

3 KNOWLTON CT.
AP 103 LOT 87

AREA=11,577 S.F.

KNOWLTON COURT

WIDE - PUBLIC RIGHT OF WAY

$\Delta=132^{\circ}50'37"$
 $L=115.83'$
 $R=202.00'$
 $CH=81.85'$

$\Delta=108^{\circ}15'37"$
 $L=82.73'$
 $R=202.00'$
 $CH=58.00'$

TEMPORARY

C:\Users\Prin\OneDrive\Documents\2021\LD_2021-10-1-2021 Hope Street_Bristol_Archieo Grille_Knowlton Court\Lot 3 - 5 KNOWLTON Court\Drawings\LD_2021-10-1-2021 Hope Street_Bristol_Archieo Grille_Knowlton Court\Lot 3 - 5 KNOWLTON Court\Sub Lot 3_ERISC Reg. DWG To Pdf.ac3

ZONING - R10		
MIN. LOT AREA: 10,000 SF	EXISTING	PROPOSED
MIN. LOT FRONTAGE: 80 FT	13,910 SF	REMAINS
MAX. LOT COVERAGE: 25%	105.33 FT	24.62%
REQUIRED YARD SETBACKS	N/A	
MIN. FRONT YARD: 30 FT	N/A	31.0 FT
MIN. REAR YARD: 30 FT	N/A	44.8 FT
MIN. SIDE YARD: 15 FT	N/A	22.0 FT/18.4 FT

LOT COVERAGE:

EXISTING VACANT LOT = 0 SF

PROPOSED DWELLING - 1,918 SF
PROPOSED GARAGE - 637 SF
PROPOSED ROOF OVERHANGS - 335 SF
PROPOSED COV. PORCH - 534 SF

TOTAL PROPOSED LOT COVERAGE = 3,424 SF
TOTAL LOT AREA = 13,910 SF

LOT COVERAGE =
3,424 SF / 13,910 SF X 100% = 24.62%
24.62% TOTAL LOT COVERAGE < 25% O.K.

ZONING NOTE:

PER SEC. 28-142. - YARD REQUIREMENTS AND EXCEPTIONS
(G) A DECK MAY EXTEND UP TO ONE-THIRD OF THE WAY INTO THE
REQUIRED REAR YARD AND MUST MEET ALL REQUIRED SIDE YARD SETBACKS.
(H) A PORCH MAY EXTEND UP TO ONE-THIRD OF THE WAY INTO THE
REQUIRED FRONT YARD AND MUST MEET ALL REQUIRED SIDE YARD SETBACKS.

A.P. 103 LOT 19
N/F JAMES SYLVESTER II
& MADALENA TE

AP 103 LOT 89
±10,948 SF

AP 103 LOT 87
±11,577 SF

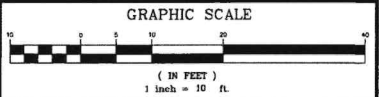
PROP. 4 BDR. DWELLING
±1,918 SF
F.F. = ±94.40'
T.O.F. = ±92.92'
(SEE ARCH. PLAN)

PROP. GARAGE
±637 SF
T.O.S. = ±90.75'
(SEE ARCH. PLAN)

PROP. COV.
PORCH
±534 SF

PROP. STOCKPILE
(TYP.)

KNOWLTON COURT
(PUBLIC - 50' WIDE)



SITE LOCUS
NOT TO SCALE

LEGEND

PROPERTY LINE	EXISTING WATER LINE
ADJUTER LINE	EXISTING UTILITY POLE
EX. EDGE OF PAVEMENT	EXISTING HYDRANT
EXISTING CONTOUR	EXISTING WATER VALVE
EXISTING SPOT GRADE	EXISTING WATER LINE
EXISTING TEST PIT	EXISTING DRAIN MANHOLE
EXISTING STONE WALL	PROPOSED ROOF OVERHANG
EXISTING TREELINE	BUILDING SETBACK
EXISTING FENCE LINE	PROPOSED WATER LINE
EXISTING DRAIN MANHOLE	PROPOSED SEWER LINE
EXISTING DRAIN LINE	PROPOSED CONTOUR
EXISTING CATCH BASIN	PROPOSED SPOT GRADE
EXISTING SEWER LINE	COMPOST FILTER SOCK
EXISTING SEWER MANHOLE	RI DOT STD. 8.9.0
EXISTING OVERHEAD WIRES	CONSTRUCTION ACCESS
EXISTING GAS LINES	PROPOSED BUILDING

PLAN NOTES:

- CONTRACTOR TO VERIFY BENCHMARK AND EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- PLAN IS TO BE USED SOLELY FOR THE USE OF THE SOIL EROSION, RUNOFF AND SEDIMENT CONTROL ORDINANCE FOR THE TOWN OF BRISTOL AND IS NOT AUTHORIZED FOR ANY OTHER USE. CONTRACTOR TO STRICTLY ADHERE TO BRISTOL'S SOIL EROSION, RUNOFF, AND SEDIMENT CONTROL ORDINANCE AT ALL TIMES DURING CONSTRUCTION.
- SEE ADDITIONAL NOTES ON SHEET 2 OF 2, WHICH NEED TO BE STRICTLY ADHERED TO AS WELL.

PLAN REFERENCE:

- EXISTING CONDITIONS TAKEN FROM APPROVED SUBDIVISION PLAN:
FINAL PLAN SUBMISSION FOR KNOWLTON COURT - AP 103 LOT 14 - HOPE STREET
DATE: 08/22/2023 REV. 09/14/2023
PREPARED BY: PRINCIPLE COMPANY, INC. - ENGINEERING DIVISION
- PROPOSED BUILDING FOOTPRINT TAKEN FROM ARCH. PLAN ENTITLED:
NEW RESIDENTIAL CONSTRUCTION - 5 KNOWLTON COURT BRISTOL, RI - AP 103 LOT 88
(ISSUE FOR FOUNDATION PERMIT ONLY)
DATE: 04/30/2025
PREPARED BY: LACUNA DESIGN - ARCHITECTURE + INTERIORS
1005 MAIN STREET, UNIT 2111 - PAWTUCKET, RI
PHONE: (401)723.7200

FEMA FLOOD NOTE

ZONE X - AREA OF MINIMAL FLOOD HAZARD
FIRM NO. 44001C0014H
EFF. DATE: 07/07/2014

ARCHITECT NOTE:

IT IS THE RESPONSIBILITY OF THE ARCHITECT TO FINALIZE SITE LAYOUT & COORDINATE ELEMENTS WITH ENGINEER PRIOR TO CONSTRUCTION. FINAL GRADING & LAYOUT SHALL BE COORDINATED AND VERIFIED THROUGH ARCHITECT DRAWINGS.

DRAINAGE NOTE:

DRAINAGE MITIGATION MEASURES ARE SHOWN ON APPROVED SUBDIVISION PLAN (SEE PLAN REFERENCE #3) [DETAILS HAVE BEEN OMITTED FOR CLARITY]

SOIL REFERENCE:

ACTUAL G.W.T. READING @ EL. = 82.74'
DATE: 04/20/2024

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

Thomas J. Principe, III
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPLE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
www.PrincipleCompany.com

REVISIONS

No.	DATE	DRWN	CHGD

EROSION, RUNOFF & SEDIMENTATION CONTROL PLAN
for
5 KNOWLTON COURT
AP 103 LOT 88
in
BRISTOL, RHODE ISLAND

SCALE: 1" = 10'

SHEET NO: 1 of 2

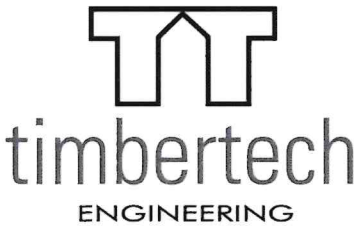
DRAWN BY: BRM DESIGN BY: BRM CHECKED BY: TJP

DATE: 06/04/2025 PROJECT NO.: LD-2021-10.1

20'x24' Rectangle Hampton Pavilion

5 Knowlton CT
Britsol RI
02809

DESIGN ENGINEER:



East: 22 Denver Road, Suite B Denver, PA 17517
717.335.2750 Fax: 717.335.2753

West: 406 S Main Street, PO Box 509 Kouts, IN 46347
219.766.2499 Fax: 219.766.2394

Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
615-378-1535 Fax: 615-378-1587

www.timbertecheng.com

a creative engineering firm, providing solutions
and building relationships

Drawing Index

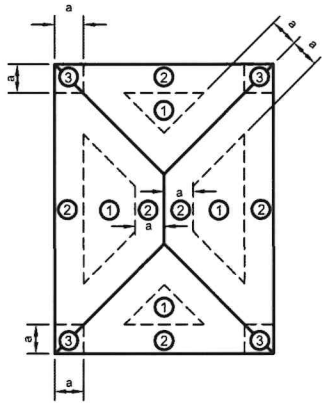
Cover Page	Notes, Reaction Chart
1	Elevations
2	Post Layout Plan
3	Roof Framing Plan
4	Cross Section A/4, Detail A-A/4
5	Detail B-B/5
6	View 3 Detail B-B/5, Detail B-B/6
7	Detail C-C/7, Detail D-D/7, Detail E-E/7, Angle "A1", Base Angle Detail
8	Detail F-F/8
9	View 1 Detail F-F/8, View 2 Detail F-F/8, Angle "A2"
10	Detail G-G/10, Plate "P2"
11	Detail H-H/11, Detail J-J/11
12	Notes

GENERAL NOTES

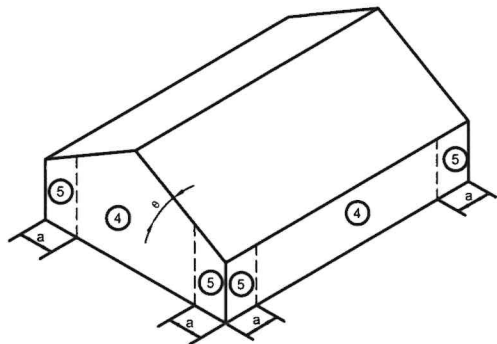
All notes do not necessarily apply due to different requirements on each project. This plan is intended to reflect only the structural design of this building. The contractor shall review all applicable local, state, and federal building codes prior to the start of construction to ensure building conformance. Timber Tech Engineering, LLC is not responsible for information pertaining to this project if not shown on drawings or listed below. Revisions to the plans shall be approved by engineer of record.

DESIGN REQUIREMENTS

- Governing Code:
Including, not limited to: IBC 2021
- Risk Category II
- Dead Loads:
 - Roof 10 psf
 - Floor n/a psf
- Live Loads:
 - Roof (See also note #4) 42 psf
 - Floor n/a psf
- Snow Loads:
 - Design Roof Snow Load 42 psf
 - Ground Snow (P_g) 50 psf
 - Flat Roof Snow (P_f) 42 psf
 - Snow Exposure Factor (C_e) 1.0
 - Thermal Factor (C_t) 1.2
 - Slope Factor (C_s) 1.0
 - Snow Load Risk Factor (I) 1.0
 - Drift Surcharge Load (P_d) n/a
 - Drift Surcharge Width (W) n/a
 - Unbalanced snow loads have been considered
- Wind Loads (ASCE 7-16)
 - Basic Wind Speed (V) 120 mph
 - ASD Wind Speed ($V_{asd} = V/0.6$) 93 mph
 - Wind Exposure Category C
 - Internal Pressure Coefficient (GC_{pi}) 0
 - Component & Cladding (C&C) Wind Load
 - Roof Zone 1 +23, -42 psf
 - Roof Zone 2 +23, -53 psf
 - Roof Zone 3 +23, -58 psf
 - Wall Zone 4 +30, -28 psf
 - Wall Zone 5 +30, -40 psf
 - Dimension a 3'
- Earthquake Design Data:
 - Analysis based on equivalent lateral force procedure)
 - Cantilevered Column: Timber Frame
 - Mapped and Design Spectral Response Acceleration
 - S_s 0.314
 - S_1 0.071
 - S_{DS} 0.324
 - S_{D1} 0.114
 - Occupancy Risk Factor, I_e 1.0
 - Site Class D
 - Seismic Design Category D
 - Response Modification Factor (R) 1.5
 - Deflection Amplification Factor (C_d) 1.5
 - Seismic Response Coefficient (C_s) 0.22
 - Design Seismic Base Shear (V) 2340 lb
- Roof Rain Load
 - Rain Intensity (i) n/a in/hr



C&C Roof Zone Definitions



C&C Wall Zones for Enclosed, Partially Open, or Partially Enclosed Buildings

Design Reaction Chart

Max. uplift at column base	1600 lb
Max. downward force at column base	4000 lb
Max. shear at column base	500 lb
Max. uplift at stud wall	150 lb/ft
Max. downward force at stud wall	600 lb/ft
Max. shear at stud wall	150 lb/ft

JUSTON FLUCKEY, S.E.

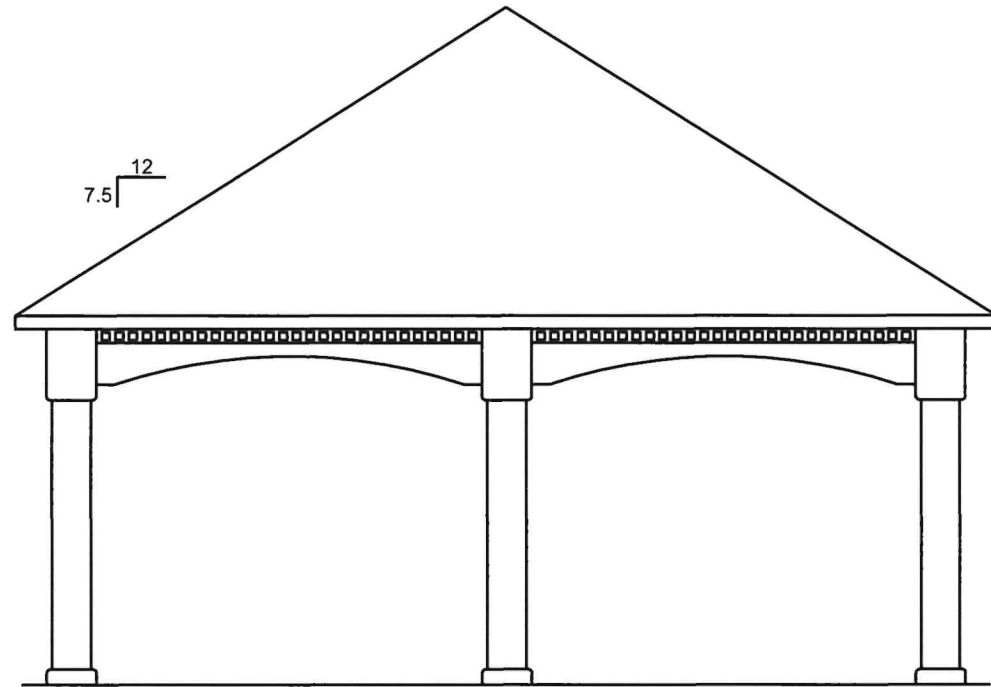


1519 LONG POINT RD
GRIMSLEY, TN 38565
PHONE: (574) 221-0216
JUSTONFSE@GMAIL.COM

TTE DRAWING NUMBER: E376-25

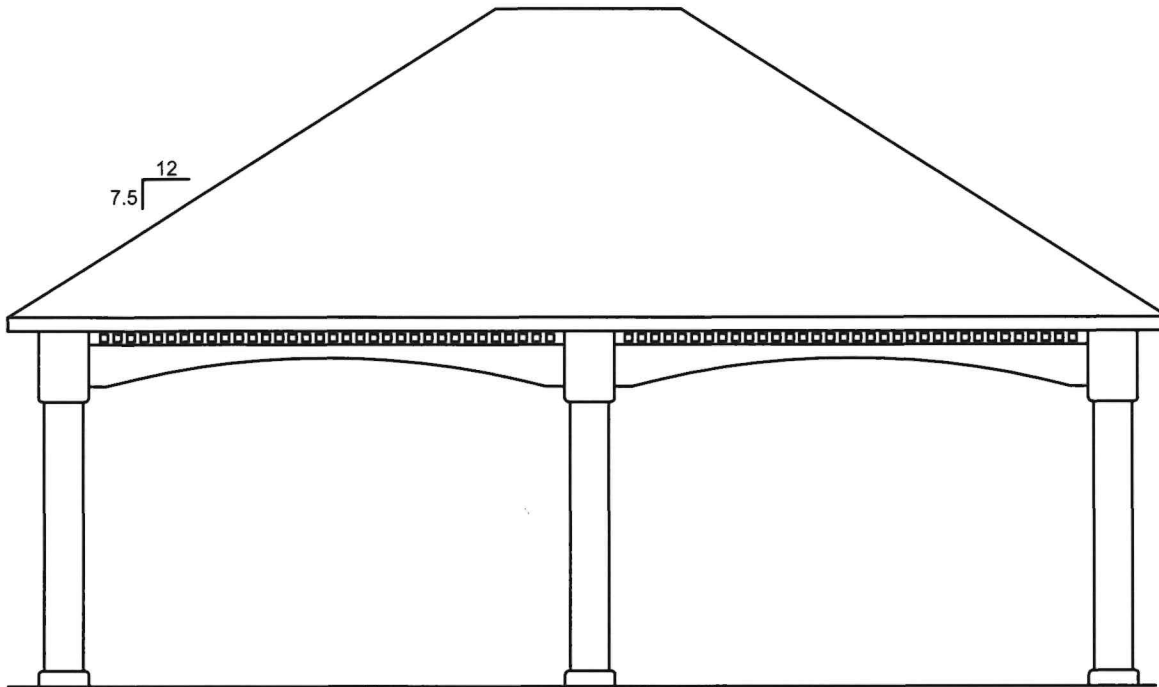


11/6/25



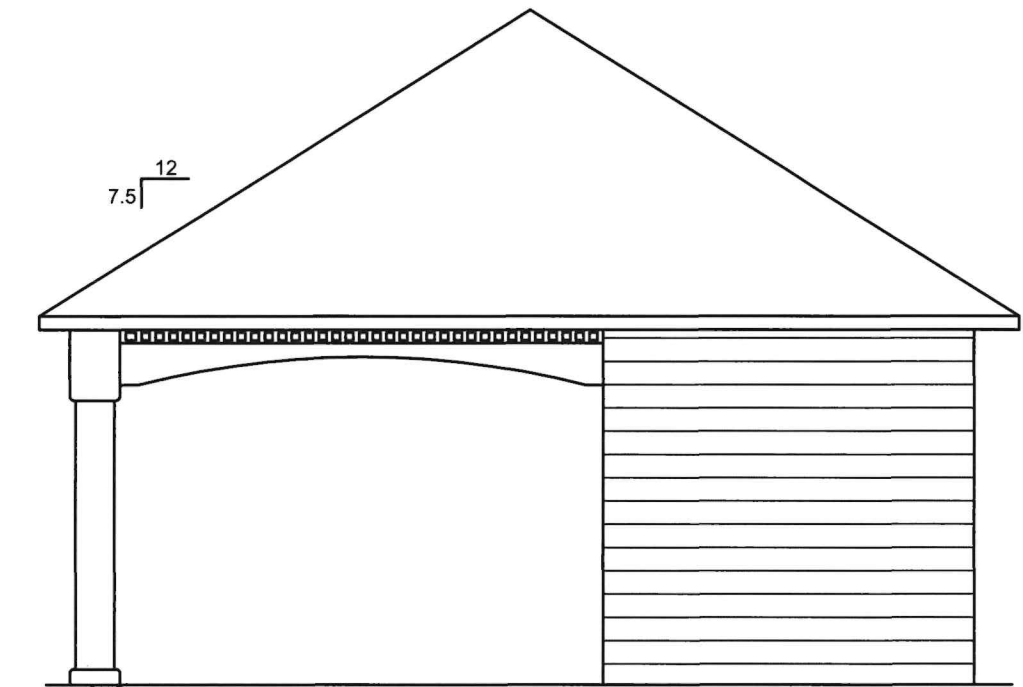
Left Elevation

Scale 1/4" = 1'-0"



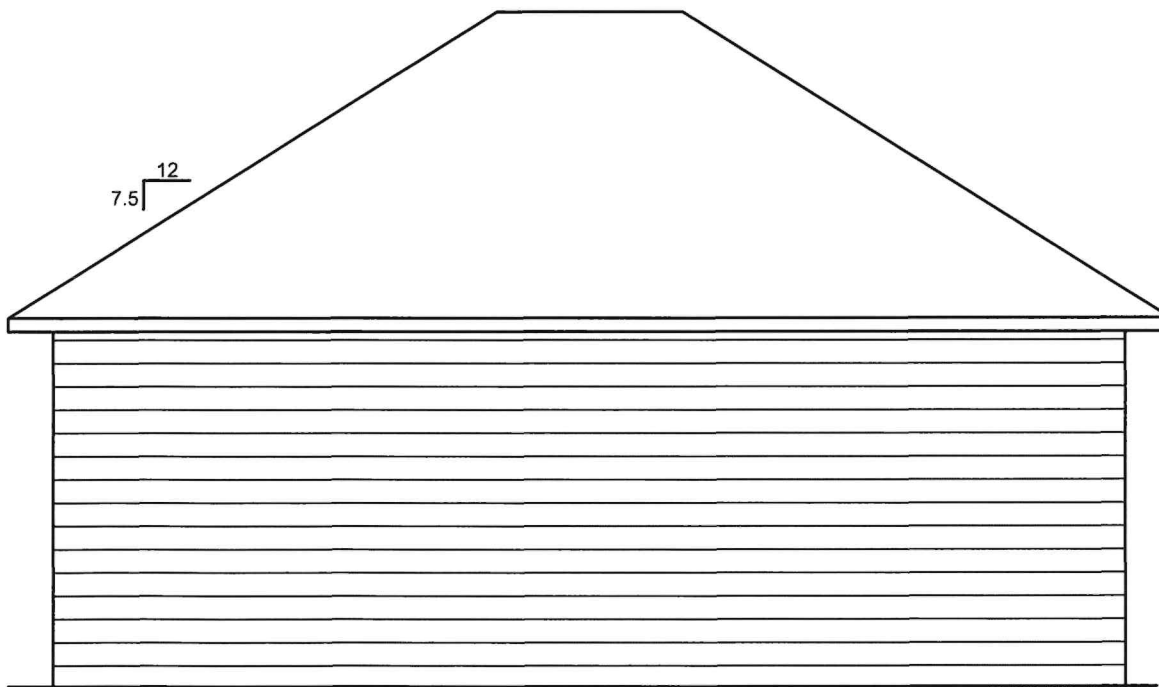
Front Elevation

Scale 1/4" = 1'-0"



Right Elevation

Scale 1/4" = 1'-0"



Back Elevation

Scale 1/4" = 1'-0"



ENGINEERING
East: 22 Denver Road, Suite B Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753
West: 406 S Main Street, PO Box 509 Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394
Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587
www.timbertecheng.com
a creative engineering firm, providing solutions
and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.



Contractor:
Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

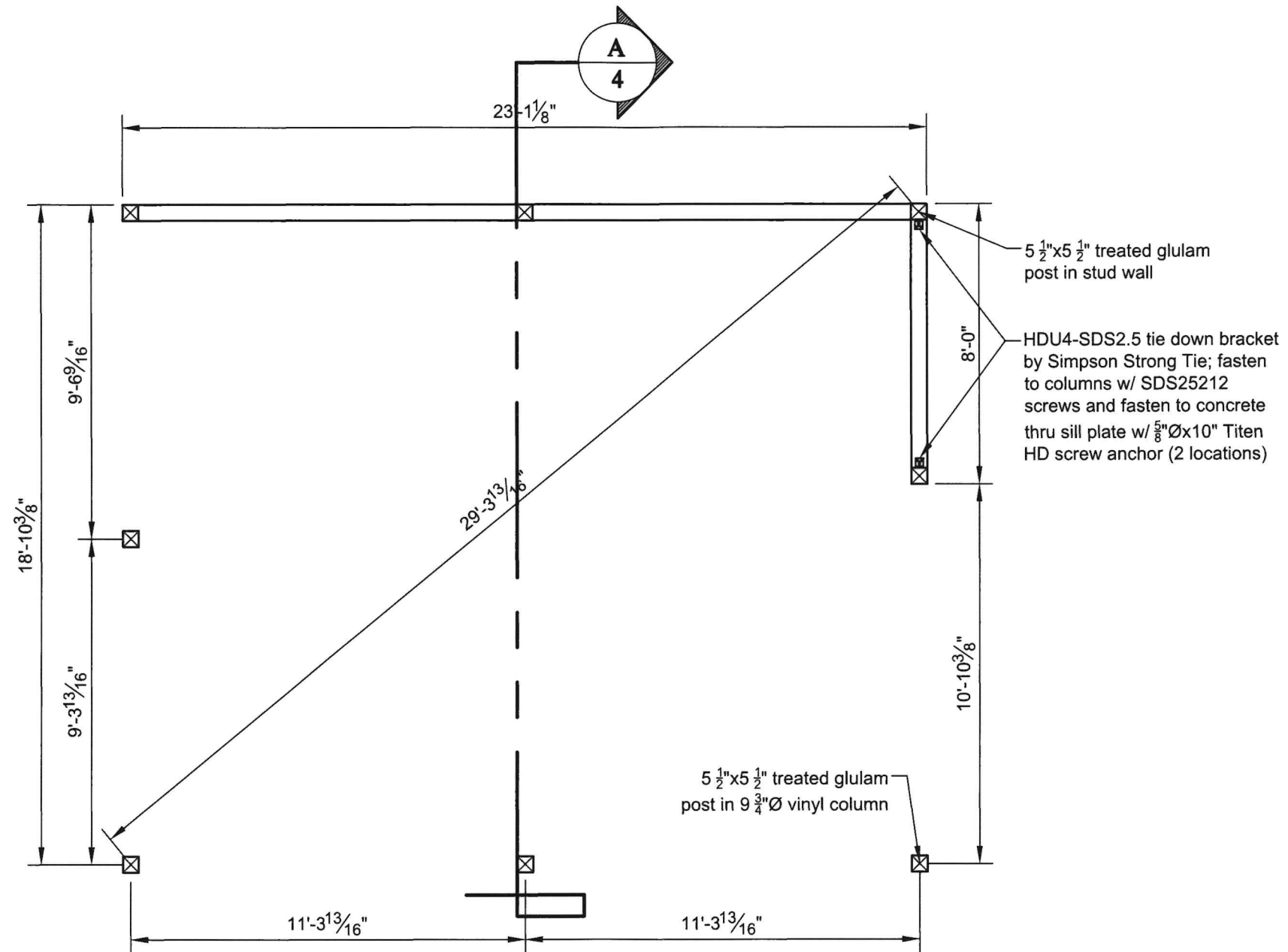
Drawing Title:
Elevations

Project:
20'x24' Hampton Pavilion for

5 Knowlton CT
Bristol RI
02809

Revisions:	Date:	By:

Drawing Number: E376-25	Page: 1 of 12
Engineered By: D. Reznik	Start Date: 10/27/25
Drafted By: K. Salyer	Certified Date: 11/5/25



Post Layout Plan

Scale 1/4" = 1'-0"



ENGINEERING

East: 22 Denver Road, Suite B Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753

West: 406 S Main Street, PO Box 509 Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394

Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587

www.timbertecheng.com

a creative engineering firm, providing solutions and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.



11/6/25

Contractor:

Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

Drawing Title:

Post Layout Plan

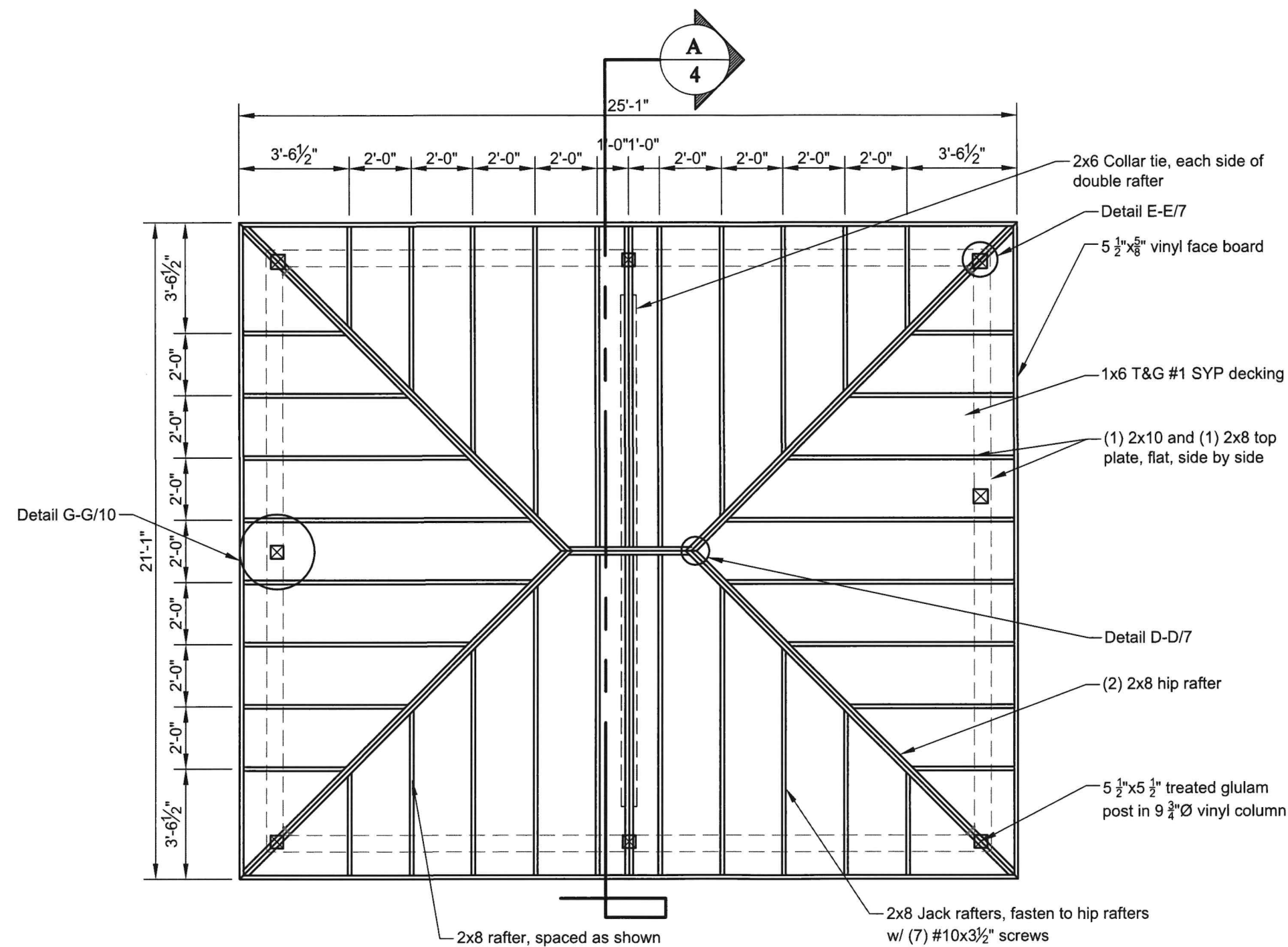
Project:

20'x24' Hampton Pavilion for

5 Knowlton CT
Bristol RI
02809

Revisions:	Date:	By:

Drawing Number: E376-25	Page: 2 of 12
Engineered By: D. Reznik	Start Date: 10/27/25
Drafted By: K. Salyer	Certified Date: 11/5/25



Roof Framing Plan Scale 1/4" = 1'-0"

timbertech
ENGINEERING

East: 22 Denver Road, Suite B Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753

West: 406 S Main Street, PO Box 509 Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394

Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587

www.timbertecheng.com

a creative engineering firm, providing solutions
and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.

COMMONWEALTH OF MASSACHUSETTS
JUSTIN FLUCKEY
STRUCTURAL
No. 54084
REGISTERED
PROFESSIONAL ENGINEER
11/6/25

Contractor:
Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

Drawing Title:
Roof Framing Plan

Project:
20'x24' Hampton Pavilion for

5 Knowlton CT
Bristol RI
02809

Revisions:	Date:	By:

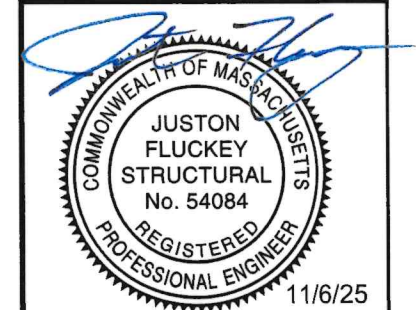
Drawing Number: E376-25	Page: 3 of 12
Engineered By: D. Reznik	Start Date: 10/27/25
Drafted By: K. Salyer	Certified Date: 11/5/25



ENGINEERING

East: 22 Denver Road, Suite B Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753
West: 406 S Main Street, PO Box 509 Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394
Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587
www.timbertecheng.com
a creative engineering firm, providing solutions
and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.

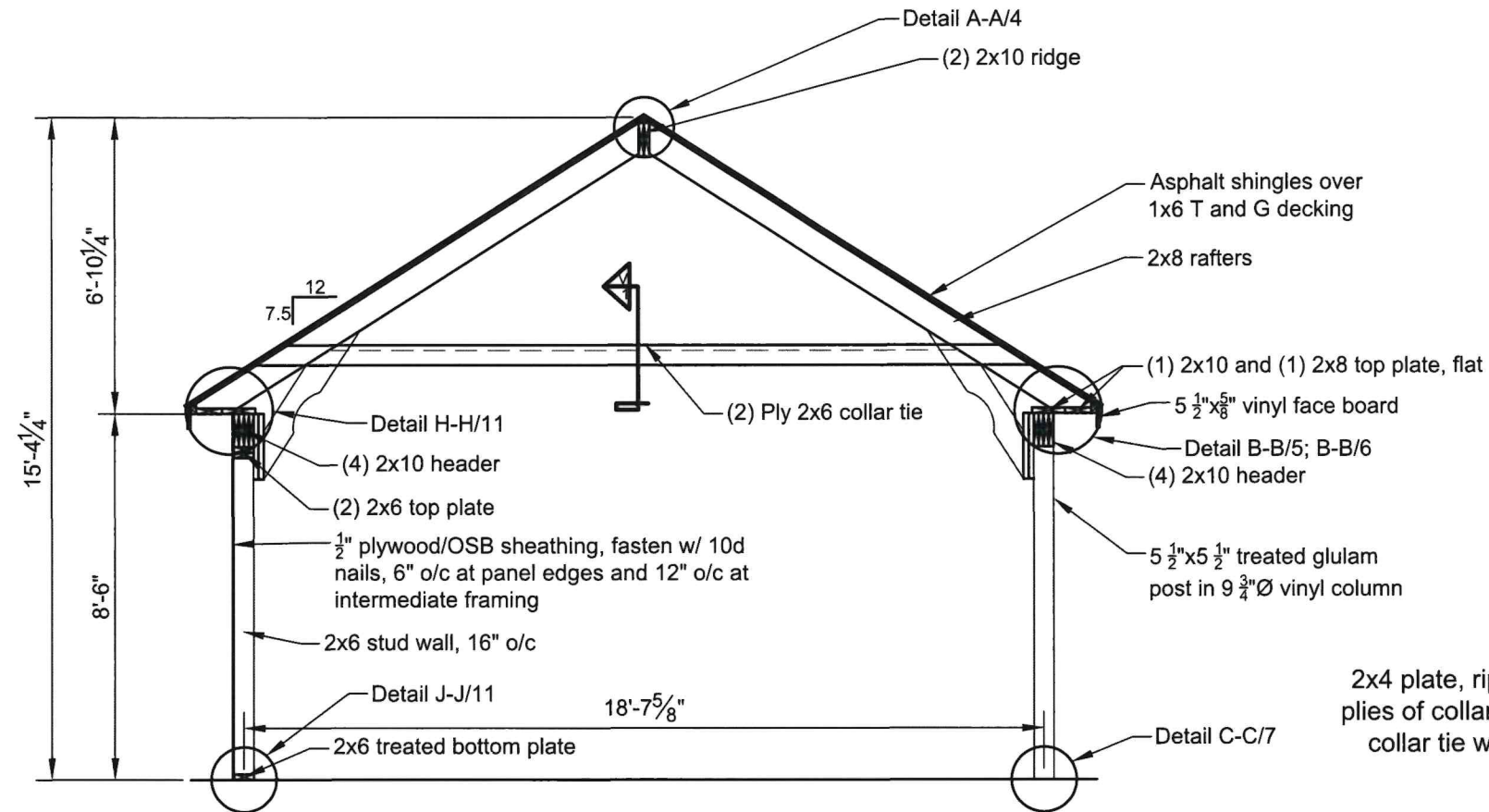


Contractor:
Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

Drawing Title:
Cross Section A/4
Detail A-A/4

Project:
20'x24' Hampton Pavilion for
5 Knowlton CT
Bristol RI
02809

Revisions:	Date:	By:
Drawing Number: E376-25	Page: 4 of 12	
Engineered By: D. Reznik	Start Date: 10/27/25	
Drafted By: K. Salyer	Certified Date: 11/5/25	

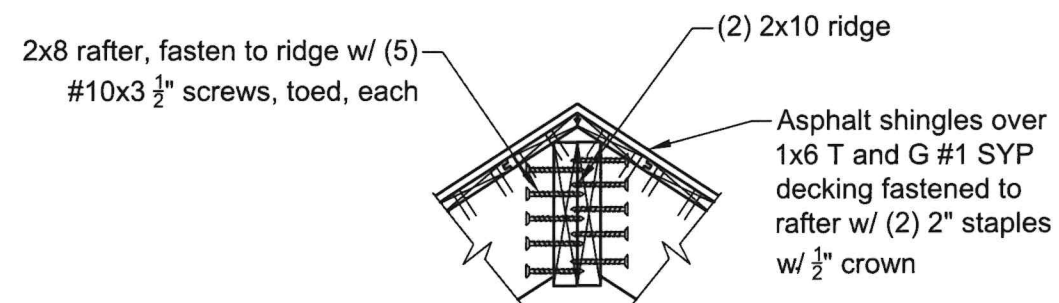


Cross Section A/4

Scale 1/4" = 1'-0"

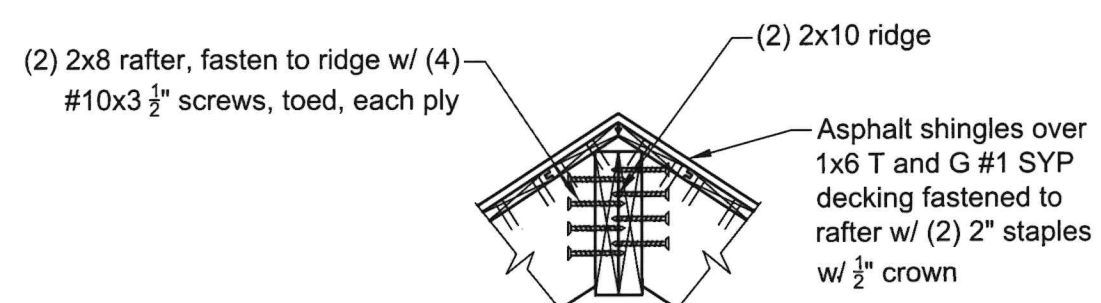
View 1 Cross Section A/4

Scale 1" = 1'-0"



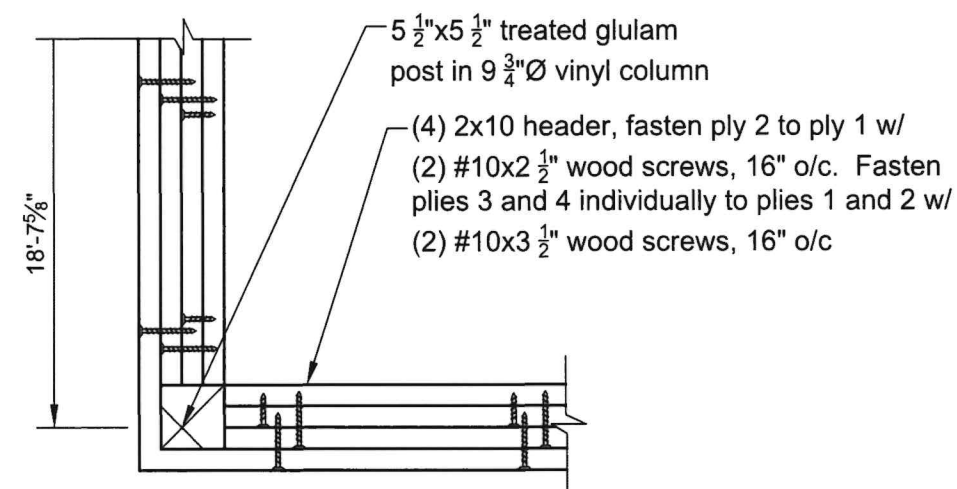
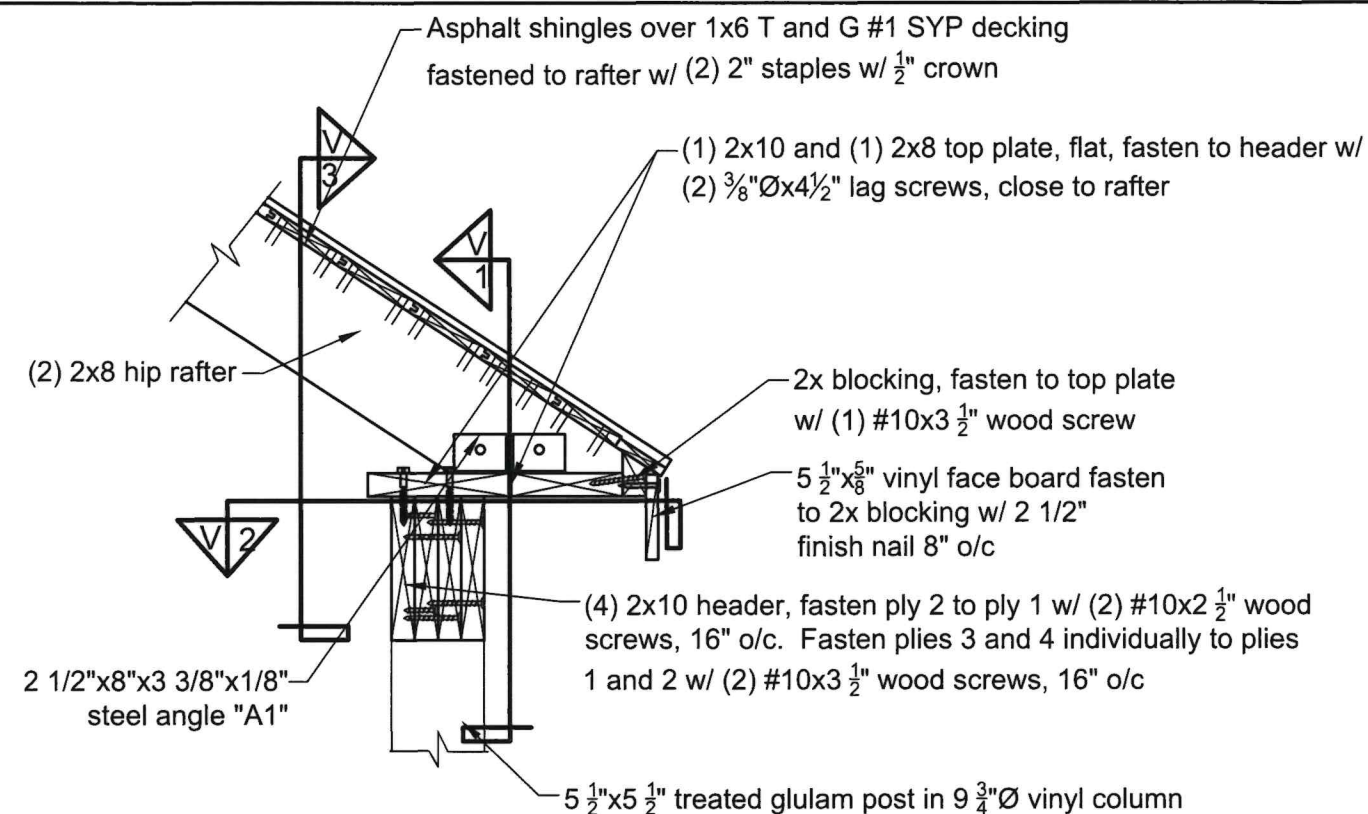
Detail A-A/4
Typical Single Rafter

Scale 1" = 1'-0"



Detail A-A/4
Double Rafter

Scale 1" = 1'-0"



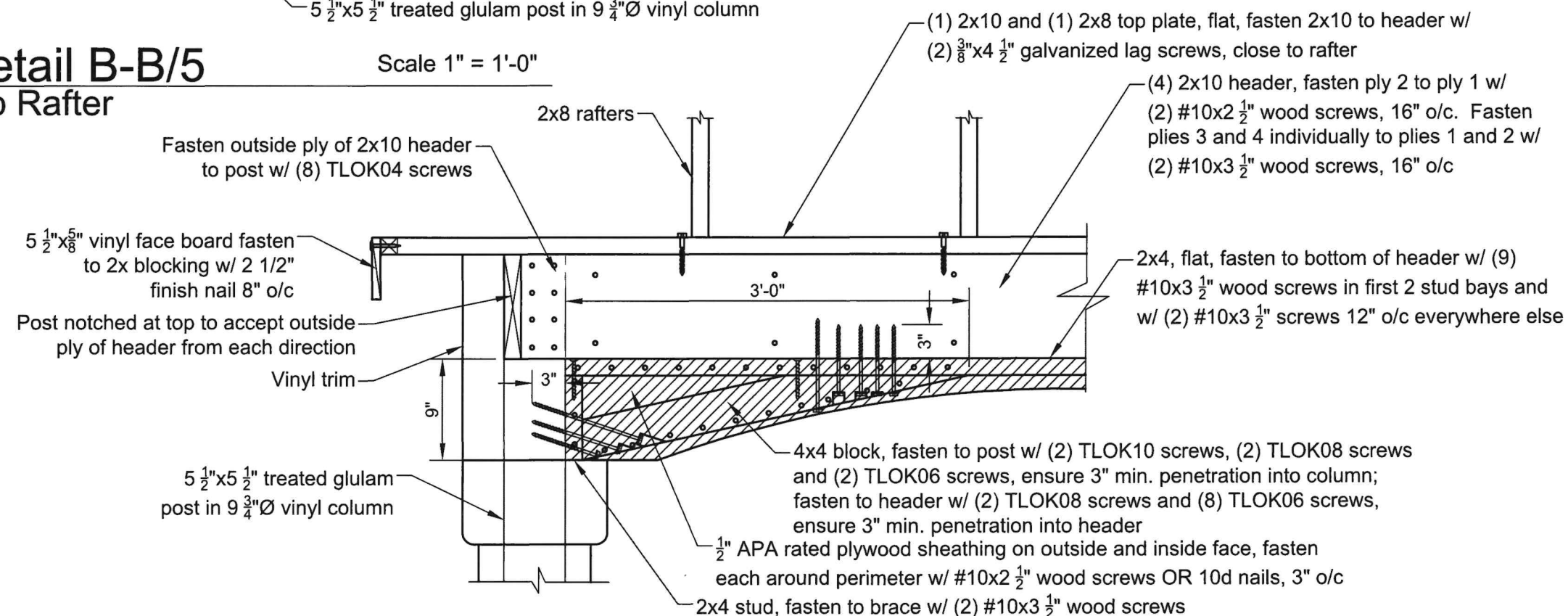
View 2 Detail B-B/5

Scale 1" = 1'-0"

Detail B-B/5

Hip Rafter

Scale 1" = 1'-0"



View 1 Detail B-B/5

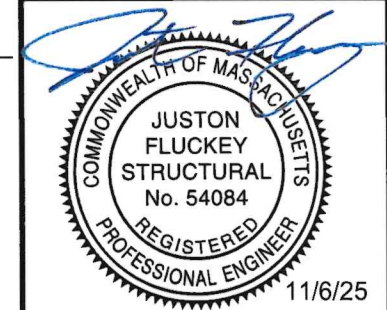
Scale 1" = 1'-0"



ENGINEERING

East: 22 Denver Court, Suite B Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753
West: 406 S Main Street, PO Box 509 Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394
Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587
www.limbertecheng.com
a creative engineering firm, providing solutions
and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.

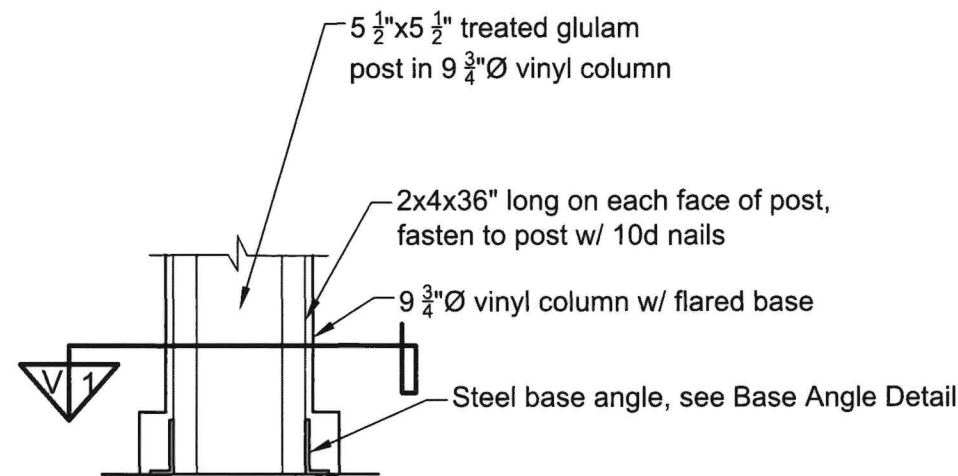


Contractor:
Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

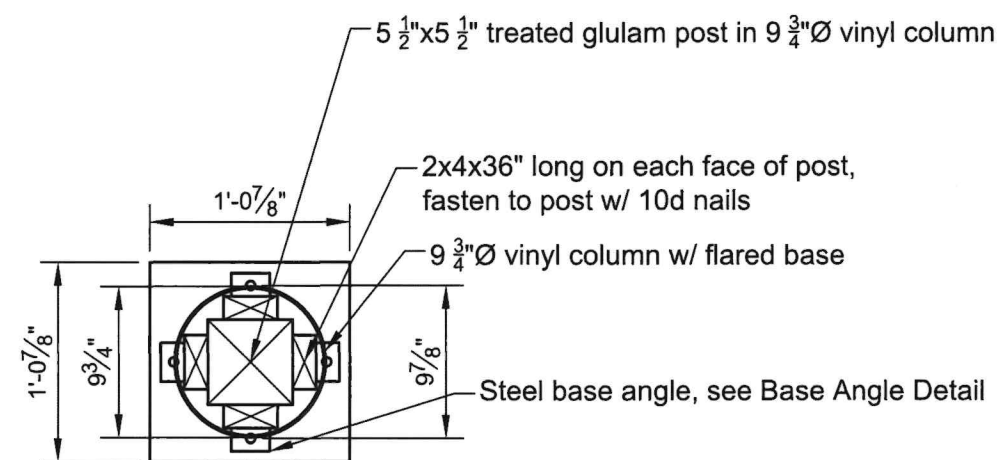
Drawing Title:
Detail B-B/5

Project:
20'x24' Hampton Pavilion for
5 Knowlton CT
Britsol RI
02809

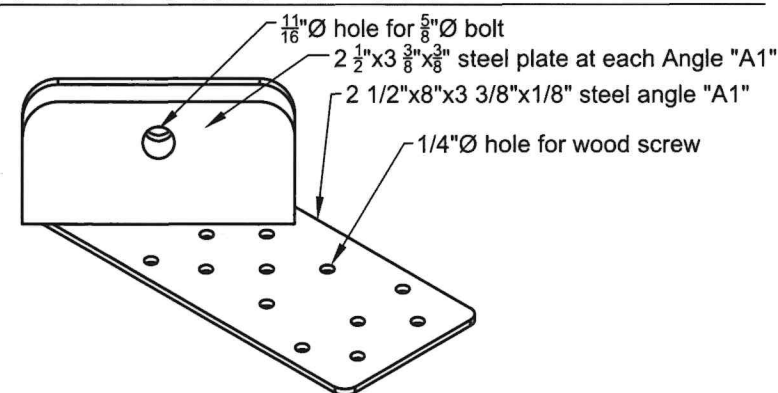
Revisions:	Date:	By:
Drawing Number: E376-25	Page: 5 of 12	
Engineered By: D. Reznik	Start Date: 10/27/25	
Drafted By: K. Salver	Certified Date: 11/5/25	



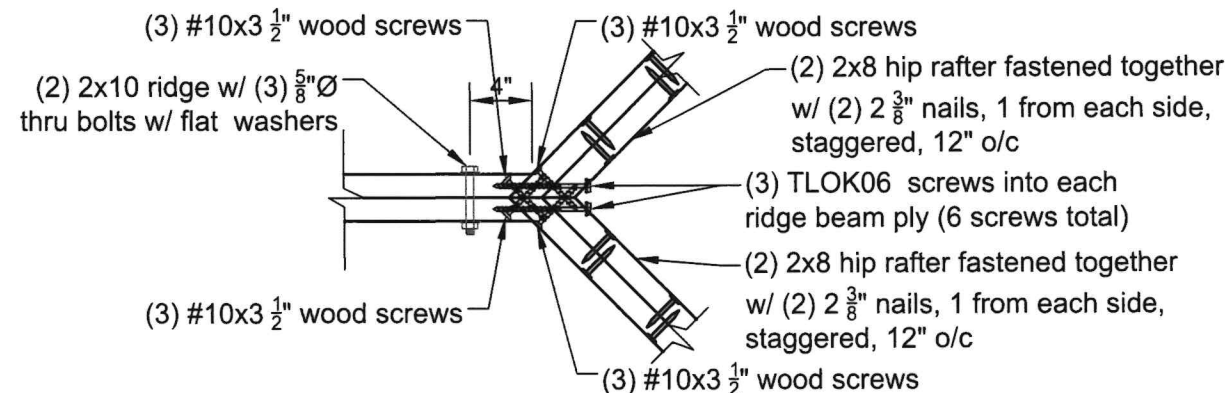
Detail C-C/7 Scale 1" = 1'-0"



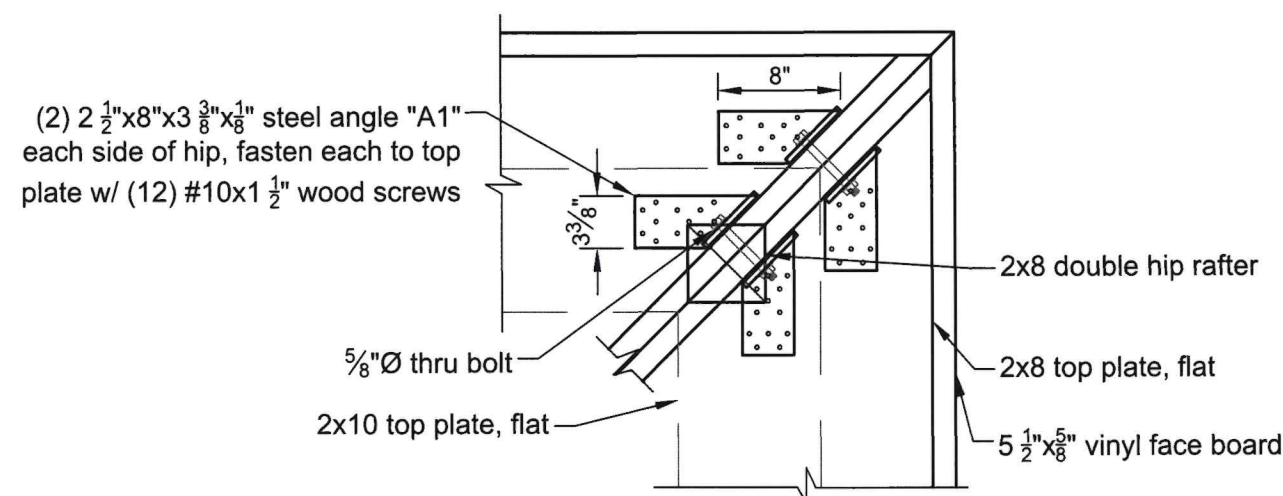
View 1 Detail C-C/7 Scale 1" = 1'-0"



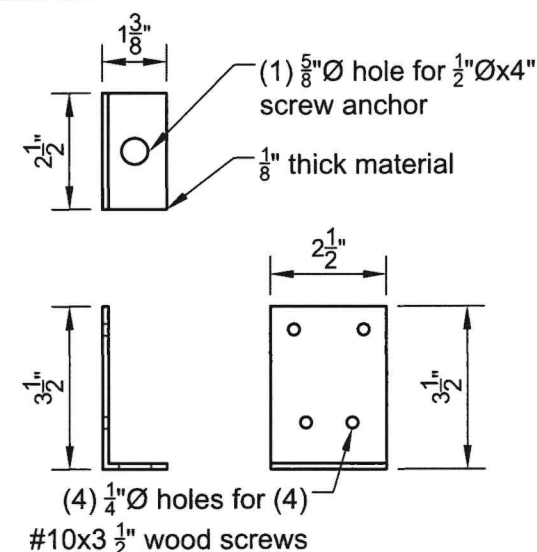
Angle "A1" Scale 3" = 1'-0"



Detail D-D/7 Scale 1" = 1'-0"



Detail E-E/7 Scale 1" = 1'-0"



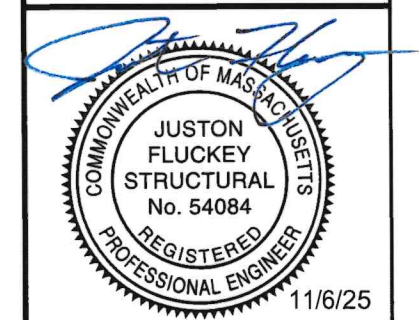
Base Angle Detail Scale 3" = 1'-0"

timbertech

ENGINEERING

East: 22 Denver Road, Suite B Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753
West: 406 S Main Street, PO Box 509 Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394
Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587
www.timbertecheng.com
a creative engineering firm, providing solutions and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.

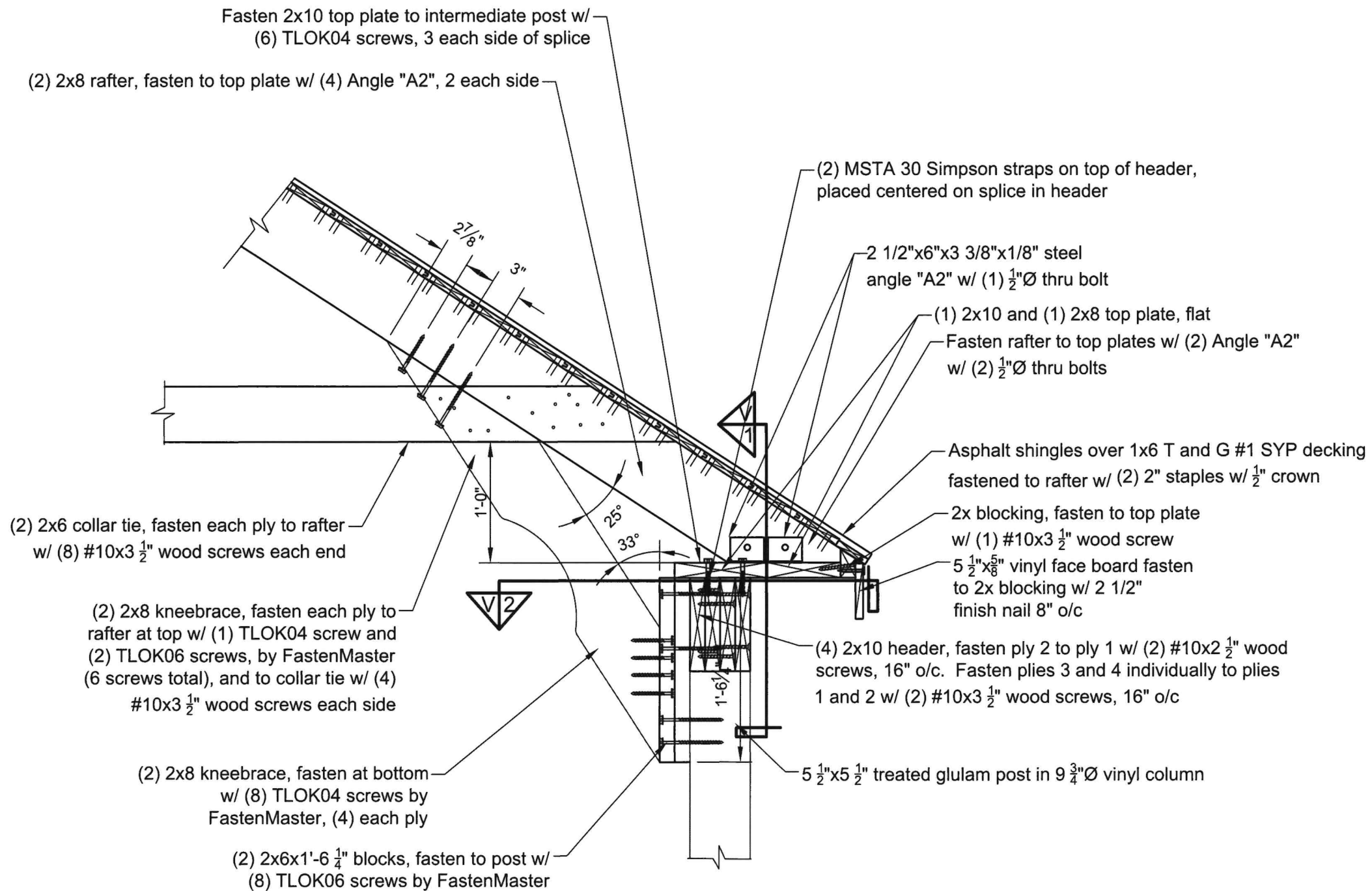


Contractor:
Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

Drawing Title:
Detail C-C/7
Detail D-D/7
Detail E-E/7
Angle "A1"
Base Angle Detail

Project:
20'x24' Hampton Pavilion for
5 Knowlton CT
Bristol RI
02809

Revisions:	Date:	By:
Drawing Number: E376-25	Page: 7 of 12	
Engineered By: D. Reznik	Start Date: 10/27/25	
Drafted By: K. Salyer	Certified Date: 11/5/25	



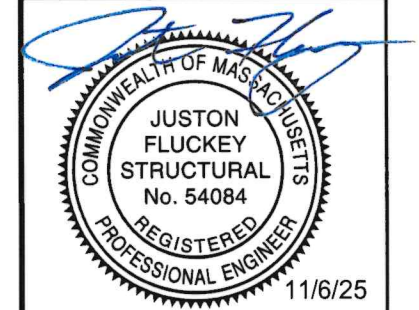
Detail F-F/8
Center Double Rafter

Scale 1" = 1'-0"



ENGINEERING
East: 22 Denver Road, Suite B Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753
West: 406 S Main Street, PO Box 509 Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394
Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587
www.timbertecheng.com
a creative engineering firm, providing solutions
and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.



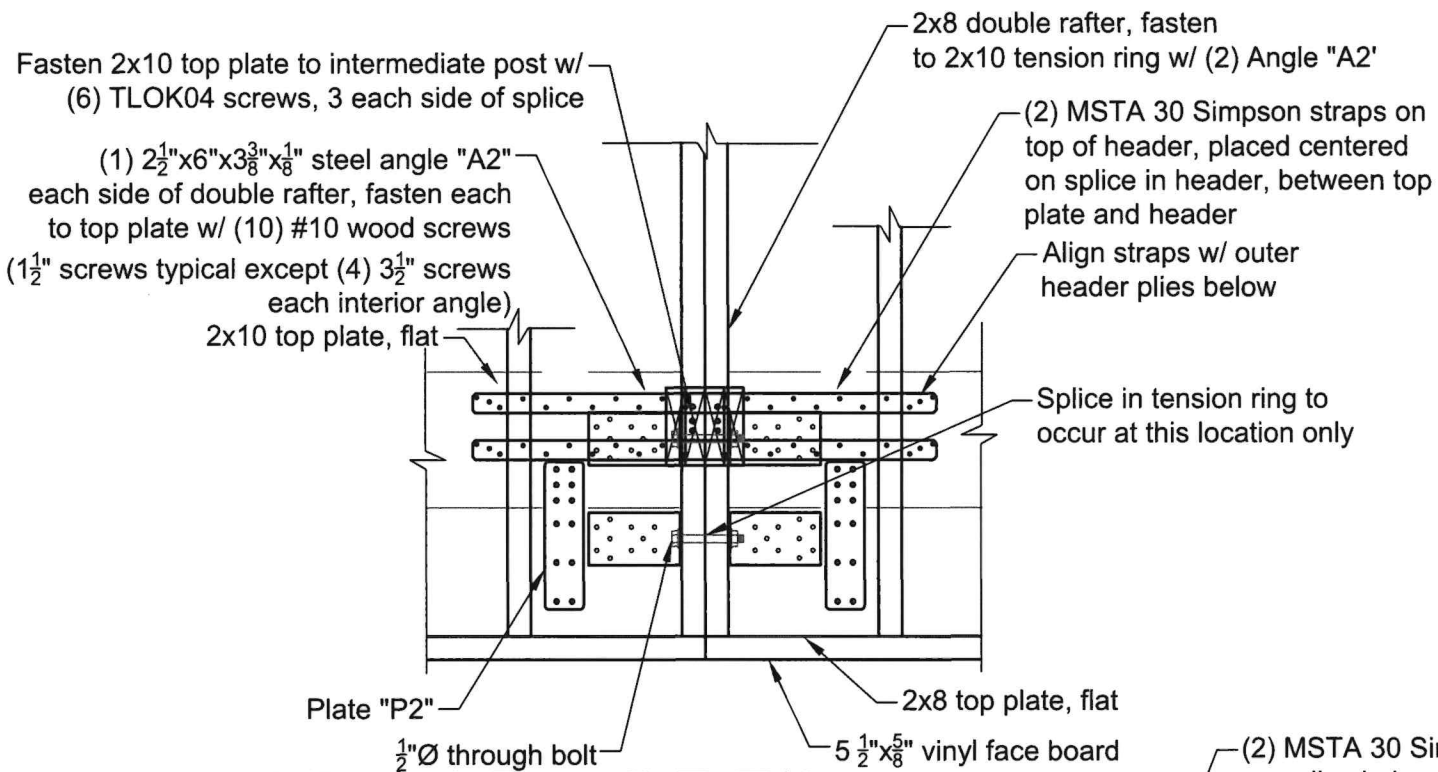
Contractor:
Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

Drawing Title:
Detail F-F/8

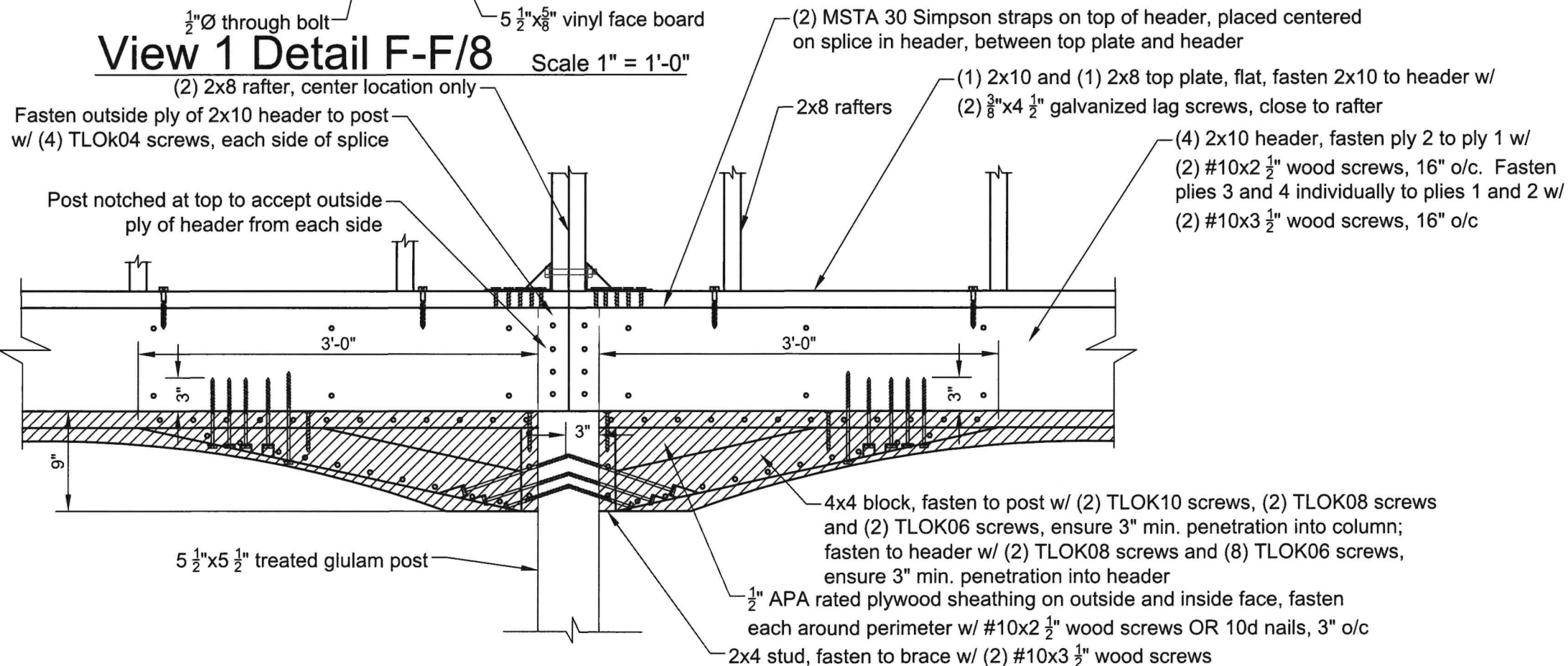
Project:
20'x24' Hampton Pavilion for

5 Knowlton CT
Bristol RI
02809

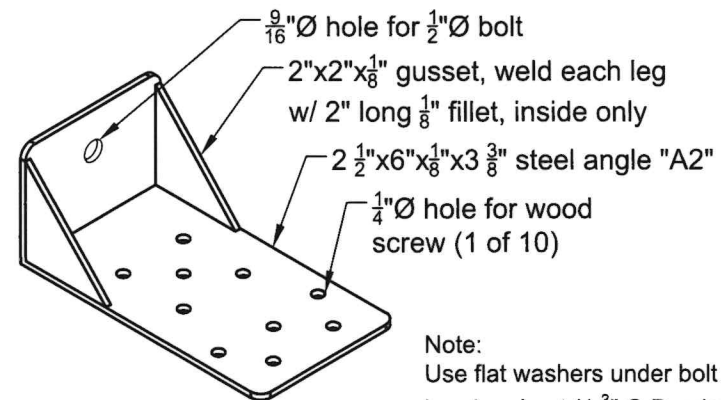
Revisions:	Date:	By:
Drawing Number: E376-25	Page: 8 of 12	
Engineered By: D. Reznik	Start Date: 10/27/25	
Drafted By: K. Salyer	Certified Date: 11/5/25	



View 1 Detail F-F/8 Scale 1" = 1'-0"



View 2 Detail F-F/8 Scale 1" = 1'-0"



Note:
Use flat washers under bolt head and nut ($1\frac{3}{8}$ " O.D. min.)

Angle "A2"

Scale 3" = 1'-0"

timbertech

ENGINEERING

East: 22 Denver Road, Suite B, Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753
West: 406 S Main Street, PO Box 509, Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394
Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587
www.timbertecheng.com
a creative engineering firm, providing solutions and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.

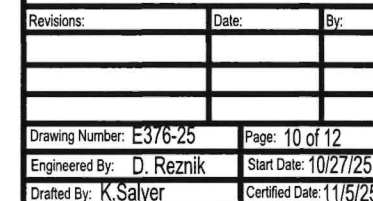
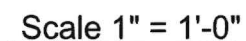
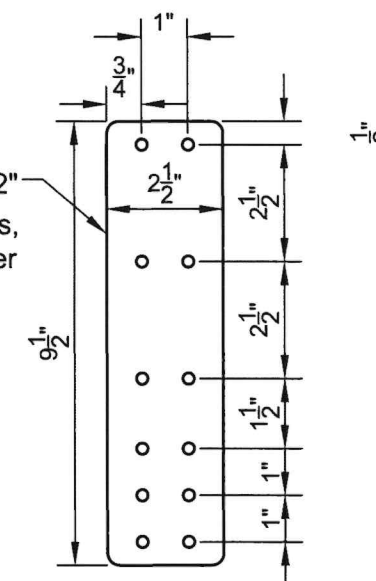
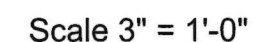
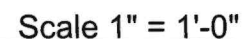


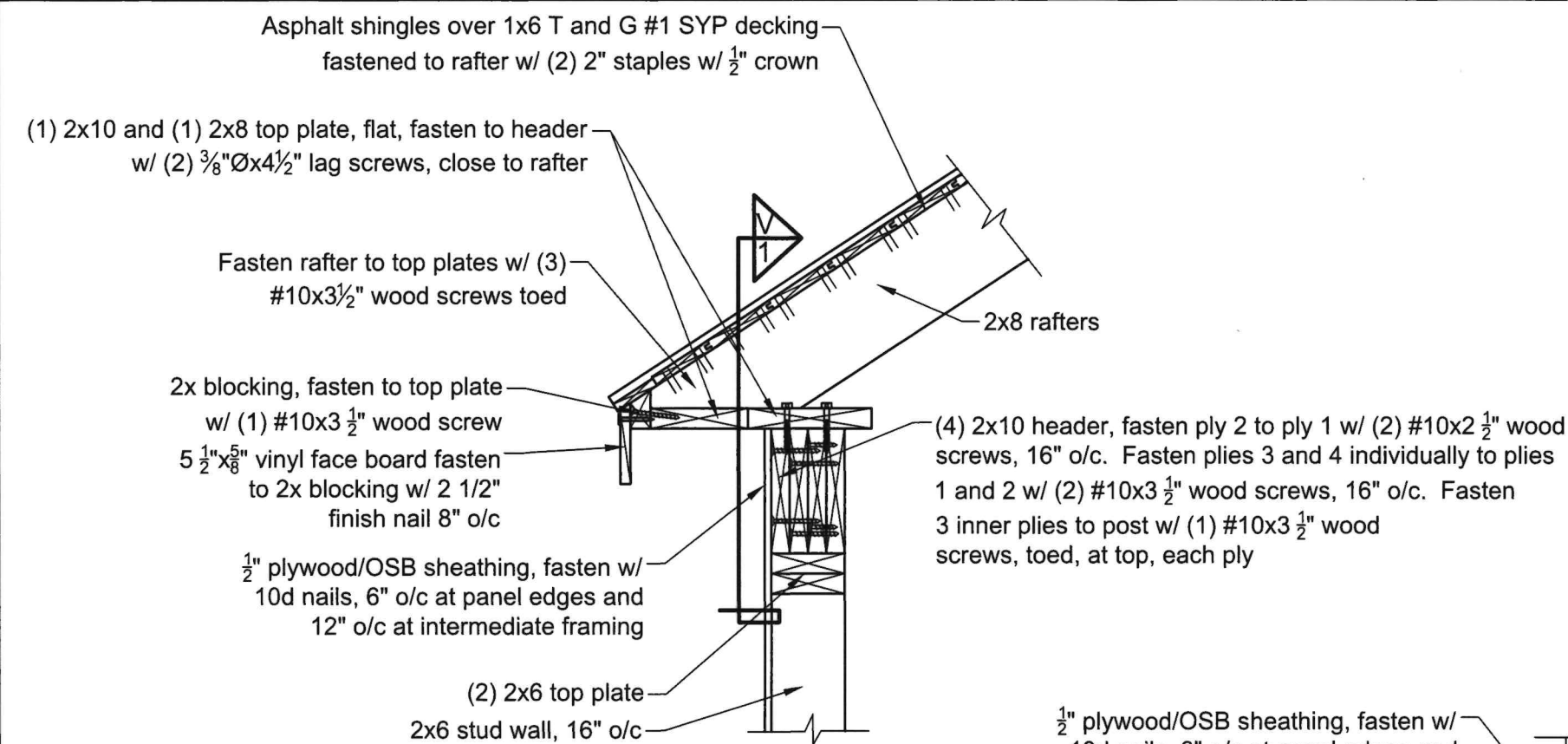
Contractor:
Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

Drawing Title:
View 1 Detail F-F/8
View 2 Detail F-F/8
Angle "A2"

Project:
20'x24' Hampton Pavilion for
5 Knowlton CT
Bristol RI
02809

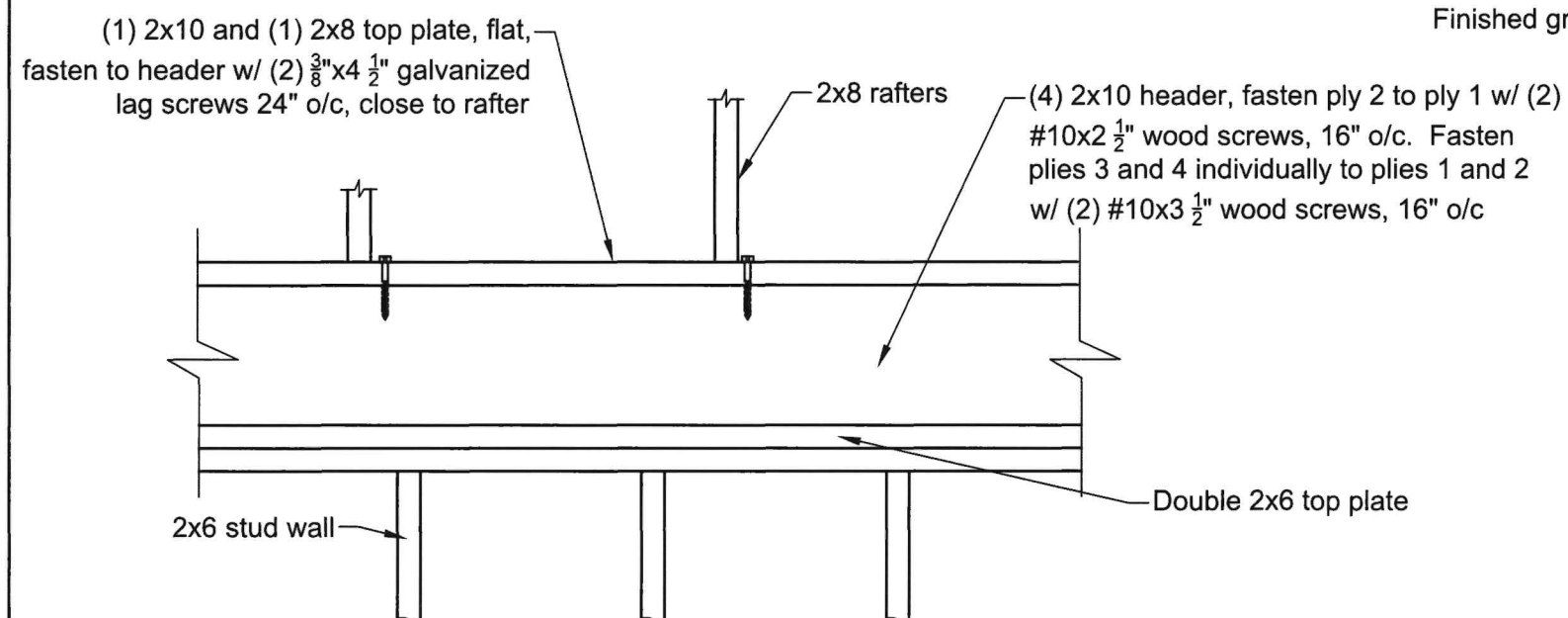
Revisions:	Date:	By:
Drawing Number: E376-25	Page: 9 of 12	
Engineered By: D. Reznik	Start Date: 10/27/25	
Drafted By: K. Salyer	Certified Date: 11/5/25	





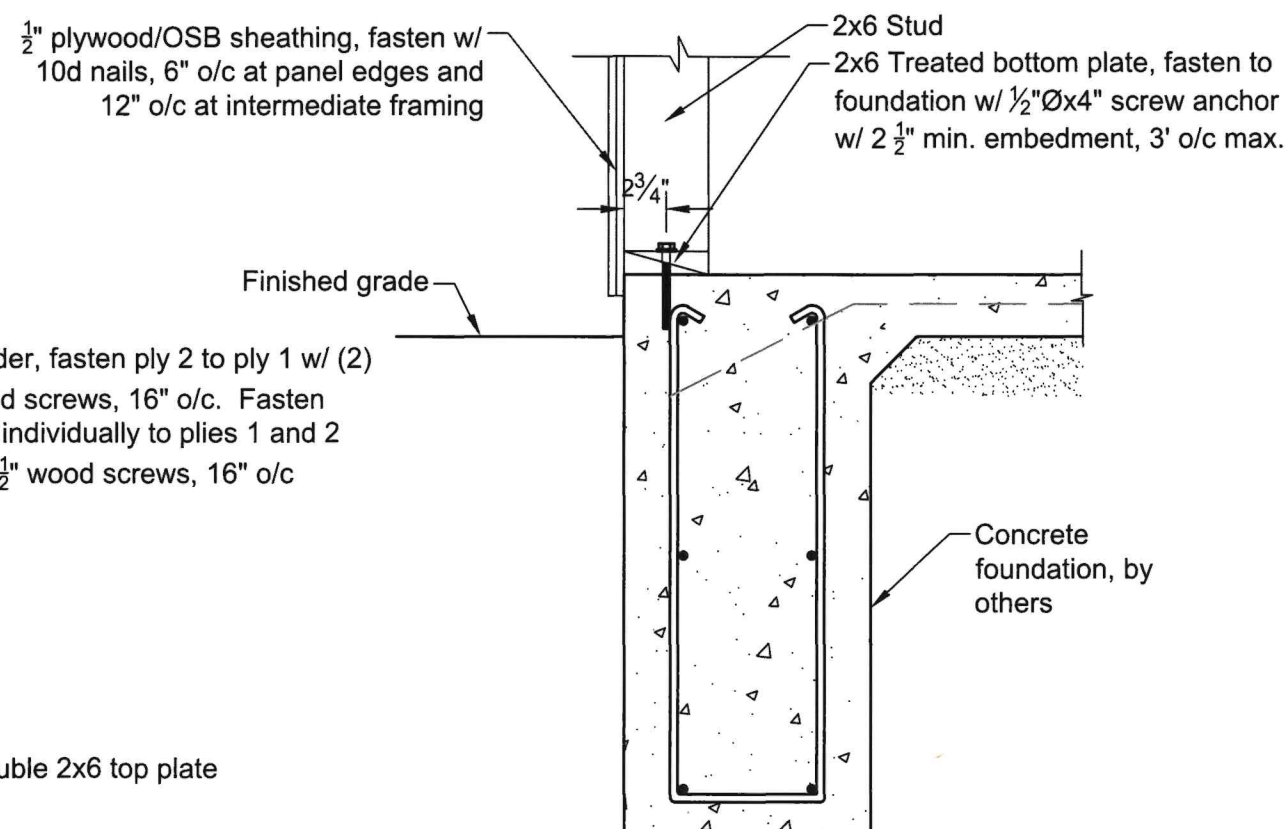
Detail H-H/11
Typical Single Rafter

Scale 1" = 1'-0"



View 1 Detail H-H/11

Scale 1" = 1'-0"



Detail J-J/11

Scale 1" = 1'-0"



ENGINEERING
East: 22 Denver Road, Suite B, Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753
West: 406 S Main Street, PO Box 509, Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394
Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587
www.timbertecheng.com
a creative engineering firm, providing solutions and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.



Contractor:
Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

Drawing Title:
Detail H-H/11
Detail J-J/11

Project:
20'x24' Hampton Pavilion for
5 Knowlton CT
Bristol RI
02809

Revisions:	Date:	By:
Drawing Number: E376-25	Page: 11 of 12	
Engineered By: D. Reznik	Start Date: 10/27/25	
Drafted By: K. Salyer	Certified Date: 11/5/25	

WOOD

1. General Requirements

A. Structural wood members and connections shall be of sufficient size or capacity to carry all design loads without exceeding the allowable design values specified in "The National Design specification for Wood Construction" (NDS), and its "Supplement" by the American Wood Council (AWC).

B. Wood members used for load supporting purposes shall have the grade mark of a lumber grading agency certified by the American Lumber Standards Committee.
2. Heavy Timbers

A. Structural solid sawn timbers shall be designed, fabricated and installed in accordance with the NDS by AWC.

B. Structural glued laminated soft wood timbers shall conform with the "American National Standard or Structural Glued Laminated Timber", (ANSI/AITC 190.1).

C. Structural decking shall conform to the NDS.

D. Glued laminated columns shall be manufactured with laminating combinations that will provide a minimum design value of 1,850 psi for compressive stress (Fc), and 2,200 psi for bending stress (Fb).
3. Dimension Lumber

A. All lumber species, graded visually or mechanically, shall comply with the NDS by AWC, and the "American Softwood Lumber Standard" (PS 20) by the U.S. Department of Commerce.

B. The minimum grade and species for posts, beams, headers, and other primary structural members shall be Dense Select Structural Southern Pine, unless specified otherwise.

C. Lumber used for secondary framing shall be #1 Southern Yellow Pine (SYP) or better.

D. Mechanically laminated columns shall conform with ANSI/ASAE EP 559.
4. Pressure Preservative Treatment (PPT)

A. Pressure treatment to be performed according to the American Wood Preservers' Association (AWPA) standards.

B. Pressure treated members shall have the inspection mark of an agency accredited by the American Lumber Standards Committee.

C. Preservative: Ammonia Copper Quaternary ammonia (ACQ) or Copper Boron Azole (CBA)

D. Minimum waterborne treatment retention shall be 0.4 pcf for members above ground, and 0.6 pcf for members in contact with earth.

E. Treat indicated items and the following:

1. Wood members exposed to weather or insect infestation.

2. Wood members in direct contact with earth or concrete.

3. Wood members exposed to high moisture content (>19% for dimension lumber, >16% for glued laminated timber).

4. Wood members less than 12 inches above grade.

F. Field treat newly exposed wood where cutting, drilling or notching pressure treated lumber.

G. Metal connectors used in treated wood shall be hot-dip galvanized as per ASTM A153.
5. Connections shall be designed and constructed according to the NDS by AWC and shall conform to the following:

A. The minimum connection shall be two #10x3 1/2" wood screws, or as detailed on the drawings.

B. Other connections as per standard construction practice.

Polyvinyl Chloride Compound (PVC)

1. General Requirements

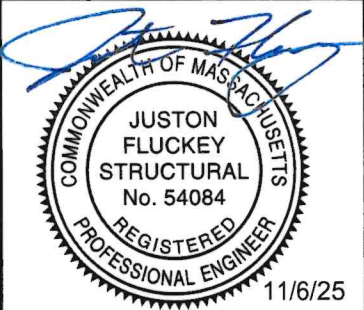
A. PVC sleeve material used to wrap wood members to be supplied according to Certainteed corporation specifications or equivalent.

B. PVC sleeve material to be 0.160" thick for posts, and 0.105" thick for other structural members



ENGINEERING
East: 22 Denver Road, Suite B Denver, PA 17517
Ph: 717-335-2750 Fax: 717-335-2753
West: 406 S Main Street, PO Box 509 Kouts, IN 46347
Ph: 219-766-2499 Fax: 219-766-2394
Southeast: 172 Luyben Hills Road, Kingston Springs, TN 37082
Ph: 615-378-1535 Fax: 615-378-1587
www.timbertecheng.com
a creative engineering firm, providing solutions
and building relationships

This drawing is the property of Timber Tech Engineering, LLC and reproduction, alteration or use of this drawing without the written consent of Timber Tech Engineering, LLC is prohibited. Drawings shall not be scaled to obtain dimensions. The contractors and builders involved on this project shall verify all dimensions and conditions before starting work and any discrepancy shall be reported to the engineer in writing before starting work.



Contractor:
Country Lane Woodworking
540 Hollander Road
New Holland, PA 17557
PH: (717) 351-9250

Drawing Title:
Notes

Project:
20'x24' Hampton Pavilion for

Revisions:	Date:	By:
Drawing Number: E376-25	Page: 12 of 12	
Engineered By: D. Reznik	Start Date: 10/27/25	
Drafted By: K. Salyer	Certified Date: 11/5/25	



5 Knowlton Court - 300' Radius

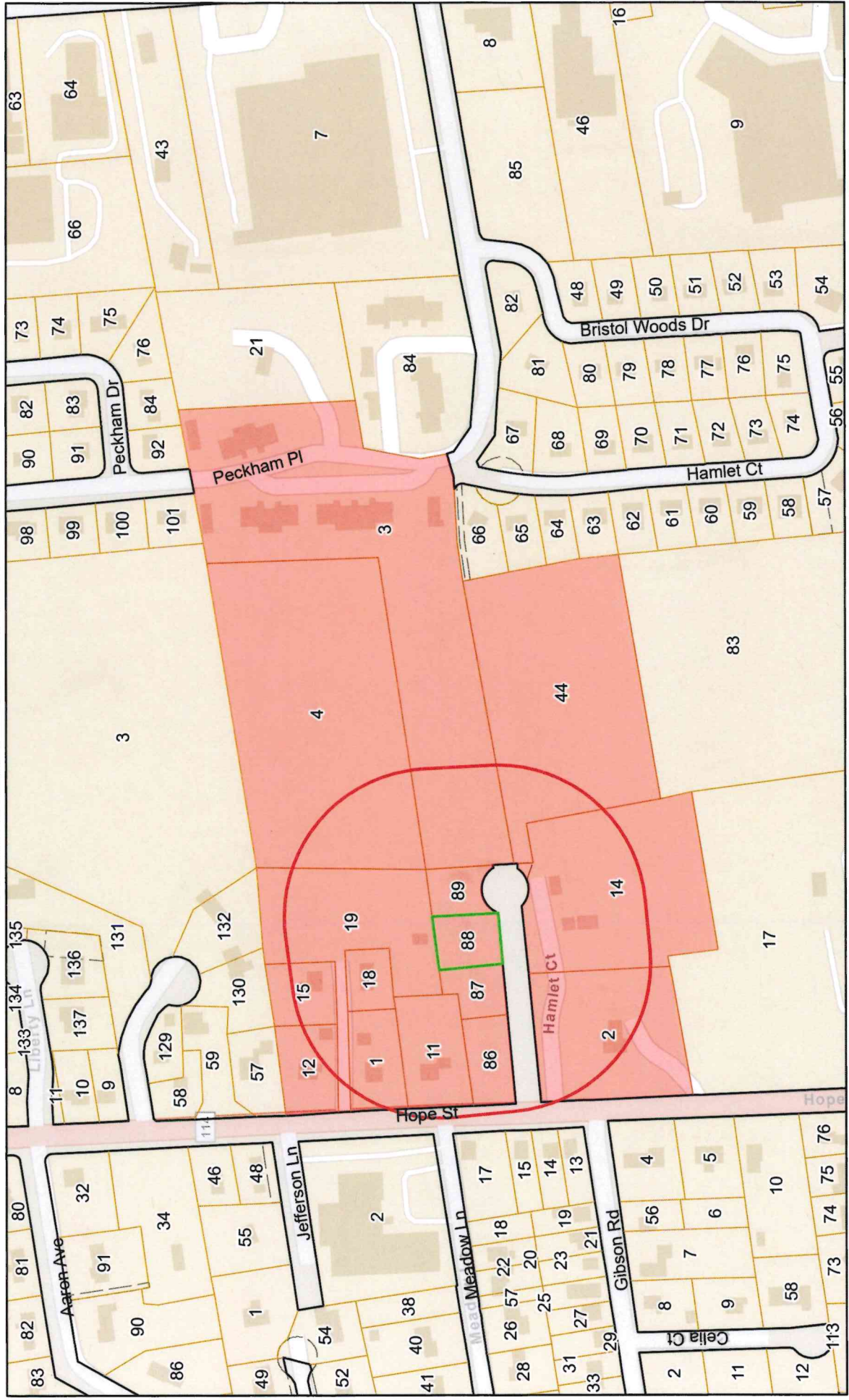
Town of Bristol, RI

1 inch = 282 Feet

September 15, 2026



www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



300 feet Abutters List Report

Bristol, RI
September 15, 2026

Subject Property:

Parcel Number: 103-88
CAMA Number: 103-88
Property Address: 5 KNOWLTON CT

Mailing Address: LANCASTER, MICHAEL HANLON &
ROBIN NEWCOMER TE
5 KNOWLTON CT
BRISTOL, RI 02809

Abutters:

Parcel Number: 103-1
CAMA Number: 103-1
Property Address: 1222 HOPE ST

Mailing Address: SYLVESTER, JAMES J II & MADALENA
TE
1224 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-11
CAMA Number: 103-11
Property Address: 1220 HOPE ST

Mailing Address: ASCIOLA, JOSEPH P. & ERIN TE
1220 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-12
CAMA Number: 103-12
Property Address: 1226 HOPE ST

Mailing Address: STRONG, EDWARD C & LAURIE WEISS
TE
1226 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-14
CAMA Number: 103-14
Property Address: 6 KNOWLTON CT

Mailing Address: GABLINSKE, DOUGLAS W. & PATRICIA
B. TE
6 KNOWLTON CT
BRISTOL, RI 02809

Parcel Number: 103-15
CAMA Number: 103-15
Property Address: 1222R HOPE ST

Mailing Address: IANNUCCILLI, DIANE M & EDWARD A TE

1222 R HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-18
CAMA Number: 103-18
Property Address: 1224 HOPE ST

Mailing Address: SYLVESTER, JAMES J II & MADALENA
TE
1224 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-19
CAMA Number: 103-19
Property Address: HOPE ST

Mailing Address: SYLVESTER, JAMES J II & MADALENA
TE
1224 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-2
CAMA Number: 103-2
Property Address: 1200 HOPE ST

Mailing Address: INFINITY 1217, LLC
545 CAMP DIXIE RD
PASCOAG, RI 02859

Parcel Number: 103-3
CAMA Number: 103-3-001
Property Address: C-1 BRISTOL WOODS DR

Mailing Address: HAWK, DAVID Q. & HAWK, JANET L.
TRUSTEES
331 JACK NICKLAUS DR
LAKEWAY, TX 78738

Parcel Number: 103-3
CAMA Number: 103-3-002
Property Address: C-2 BRISTOL WOODS DR

Mailing Address: NOBLE, JOHN A. & POISSON, PHYLLIS
C-2 BRISTOL WOODS DR
BRISTOL, RI 02809



www.cai-tech.com

9/15/2026

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 1 of 4



300 feet Abutters List Report

Bristol, RI

September 15, 2026

Parcel Number: 103-3
CAMA Number: 103-3-003
Property Address: C-3 BRISTOL WOODS DR

Mailing Address: BILOTTI, JACQUELYN
3 BRISTOL WOODS DR # C 3
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-004
Property Address: C-4 BRISTOL WOODS DR

Mailing Address: USTUNKOK, OKAN MUALLA TE
C-4 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-005
Property Address: C-5 BRISTOL WOODS DR

Mailing Address: SILVIA, STEVEN R. & HOPPS, PETER C.
TRUSTEES
C-5 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-006
Property Address: C-6 BRISTOL WOODS DR

Mailing Address: MORAIS, MARIO B & LENTINI, ANDREA
R TE
C-6 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-007
Property Address: C-8 BRISTOL WOODS DR

Mailing Address: DREW, LANA M & DAVID J JT
C-8 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-008
Property Address: D-1 BRISTOL WOODS DR

Mailing Address: SILVA, DENISE A.
1D BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-009
Property Address: D-2 BRISTOL WOODS DR

Mailing Address: CHALMERS PATRICIA E
D2 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-010
Property Address: D-3 BRISTOL WOODS DR

Mailing Address: GERARDI, FRANK W & BRENDA E TE
490 THAMES ST
NEWPORT, RI 02840

Parcel Number: 103-3
CAMA Number: 103-3-011
Property Address: D-4 BRISTOL WOODS DR

Mailing Address: RIDDER, ELISABETH ANNE
D-4 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-012
Property Address: D-5 BRISTOL WOODS DR

Mailing Address: MILFORD NATIONAL BANK & TRUST
TRUSTEE-C/O ROCKLAND TRUST
BANKL
300 EAST MAIN ST
MILFORD, MA 01757

Parcel Number: 103-3
CAMA Number: 103-3-013
Property Address: D-6 BRISTOL WOODS DR

Mailing Address: JONES, JOSEPH HUW & JONES,
SANDRA LEE TE
D-6 BRISTOL WOODS DR
Bristol, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-014
Property Address: D-8 BRISTOL WOODS DR

Mailing Address: JOHNSON, GAIL A. TRUSTEE GAIL A.
JOHNSON TRUST
BRISTOL WOODS DR UNIT D8
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

9/15/2026

Page 2 of 4



300 feet Abutters List Report

Bristol, RI

September 15, 2026

Parcel Number: 103-3
CAMA Number: 103-3-015
Property Address: E-1 BRISTOL WOODS DR

Mailing Address: TULENFELD, ROSA
2030 SOUTH OCEAN DR UNIT 1124
HALLANDALE, FL 33009

Parcel Number: 103-3
CAMA Number: 103-3-016
Property Address: E-2 BRISTOL WOODS DR

Mailing Address: VIEIRA, GEORGE DEBORAH TE
E2 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-017
Property Address: E-3 BRISTOL WOODS DR

Mailing Address: ROSSI, MARIE CLAUDE LIFE EST
ROSSI, KATHARINE
E-3 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-018
Property Address: E-4 BRISTOL WOODS DR

Mailing Address: TABOR, WARNER H III
E-4 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-019
Property Address: E-5 BRISTOL WOODS DR

Mailing Address: FAY, LEILA J.
E-5 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-020
Property Address: E-6 BRISTOL WOODS DR

Mailing Address: BELLAFATTO, JOHN A.
E-6 BRISTOL WOODS DR.
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-021
Property Address: E-7 BRISTOL WOODS DR

Mailing Address: RODERICK, ELAINE S. TRUSTEE
E-7 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-022
Property Address: E-8 BRISTOL WOODS DR

Mailing Address: WALKER, DEBORAH I.
E-8 BRISTOL WOODS
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-023
Property Address: E-10 BRISTOL WOODS DR

Mailing Address: RECUPERO, JOSEPH J. & PATRICIA R.
TE
E-10 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-024
Property Address: E-12 BRISTOL WOODS DR

Mailing Address: CASTRO, ELISIO & ARMINDA P TE
E-12 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-4
CAMA Number: 103-4
Property Address: HOPE ST

Mailing Address: KLEIN, DOUGLAS C. JR & SARAH TE
3 OLD ORCHARD FARM RD
BRISTOL, RI 02809

Parcel Number: 103-44
CAMA Number: 103-44
Property Address: HAMLET CT

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

9/15/2026

Page 3 of 4



300 feet Abutters List Report

Bristol, RI

September 15, 2026

Parcel Number: 103-86
CAMA Number: 103-86
Property Address: 1 KNOWLTON CT

Mailing Address: WERNECKE, JOEL A. & JIN Y. TE
1 KNOWLTON CT
BRISTOL, RI 02809

Parcel Number: 103-87
CAMA Number: 103-87
Property Address: 3 KNOWLTON CT

Mailing Address: GRACE, EDWARD P. III & GRACE, HOLLY
P. CO-TRUSTEES
3 KNOWLTON CT
BRISTOL, RI 02809

Parcel Number: 103-88
CAMA Number: 103-88
Property Address: 5 KNOWLTON CT

Mailing Address: LANCASTER, MICHAEL HANLON &
ROBIN NEWCOMER TE
5 KNOWLTON CT
BRISTOL, RI 02809

Parcel Number: 103-89
CAMA Number: 103-89
Property Address: 7 KNOWLTON CT

Mailing Address: JABOUR, KATHY A.
7 KNOWLTON CT
BRISTOL, RI 02809



www.cai-tech.com

9/15/2026

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 4 of 4

ASCIOLA, JOSEPH P. & ERIN
1220 HOPE ST
BRISTOL, RI 02809

HAWK, DAVID Q. & HAWK, JA
331 JACK NICKLAUS DR
LAKEWAY, TX 78738

NOBLE, JOHN A. &
POISSON, PHYLLIS
C-2 BRISTOL WOODS DR
BRISTOL, RI 02809

BELLAFATTO, JOHN A.
E-6 BRISTOL WOODS DR.
BRISTOL, RI 02809

IANNUCCILLI, DIANE M & ED
1222 R HOPE ST
BRISTOL, RI 02809

RECUPERO, JOSEPH J. & PAT
E-10 BRISTOL WOODS DR
BRISTOL, RI 02809

BILOTTI, JACQUELYN
3 BRISTOL WOODS DR # C 3
BRISTOL, RI 02809

INFINITY 1217, LLC
545 CAMP DIXIE RD
PASCOAG, RI 02859

RIDDER, ELISABETH ANNE
D-4 BRISTOL WOODS DR
BRISTOL, RI 02809

CASTRO, ELISIO & ARMINDA
E-12 BRISTOL WOODS DR
BRISTOL, RI 02809

JABOUR, KATHY A.
7 KNOWLTON CT
BRISTOL, RI 02809

RODERICK, ELAINE S. TRUST
E-7 BRISTOL WOODS DR
BRISTOL, RI 02809

CHALMERS PATRICIA E
D2 BRISTOL WOODS DR
BRISTOL, RI 02809

JOHNSON, GAIL A. TRUSTEE
GAIL A. JOHNSON TRUST
BRISTOL WOODS DR UNIT D8
BRISTOL, RI 02809

ROSSI, MARIE CLAUDE LIFE
ROSSI, KATHARINE
E-3 BRISTOL WOODS DR
BRISTOL, RI 02809

DREW, LANA M & DAVID J J
C-8 BRISTOL WOODS DR
BRISTOL, RI 02809

JONES, JOSEPH HUW &
JONES, SANDRA LEE TE
D-6 BRISTOL WOODS DR
Bristol, RI 02809

SILVA, DENISE A.
1D BRISTOL WOODS DR
BRISTOL, RI 02809

FAY, LEILA J.
E-5 BRISTOL WOODS DR
BRISTOL, RI 02809

KLEIN, DOUGLAS C. JR & SA
3 OLD ORCHARD FARM RD
BRISTOL, RI 02809

SILVIA, STEVEN R. & HOPPS
C-5 BRISTOL WOODS DR
BRISTOL, RI 02809

GABLINSKE, DOUGLAS W. & P
6 KNOWLTON CT
BRISTOL, RI 02809

LANCASTER, MICHAEL HANLON
5 KNOWLTON CT
BRISTOL, RI 02809

STRONG, EDWARD C &
LAURIE WEISS TE
1226 HOPE ST
BRISTOL, RI 02809

GERARDI, FRANK W &
BRENDA E TE
490 THAMES ST
NEWPORT, RI 02840

MILFORD NATIONAL BANK & T
TRUSTEE-C/O ROCKLAND TRUS
300 EAST MAIN ST
MILFORD, MA 01757

SYLVESTER, JAMES J II &
MADALENA TE
1224 HOPE ST
BRISTOL, RI 02809

GRACE, EDWARD P. III & GR
3 KNOWLTON CT
BRISTOL, RI 02809

MORAIS, MARIO B &
LENTINI, ANDREA R TE
C-6 BRISTOL WOODS DR
BRISTOL, RI 02809

SYLVESTER, JAMES J II &
MADALENA TE
1224 HOPE ST
BRISTOL, RI 02809

SYLVESTER, JAMES J II & M
1224 HOPE ST
BRISTOL, RI 02809

TABOR, WARNER H III
E-4 BRISTOL WOODS DR
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

TULENFELD, ROSA
2030 SOUTH OCEAN DR UNIT 1124
HALLANDALE, FL 33009

USTUNKOK, OKAN
MUALLA TE
C-4 BRISTOL WOODS DR
BRISTOL, RI 02809

VIEIRA, GEORGE
DEBORAH TE
E2 BRISTOL WOODS DR
BRISTOL, RI 02809

WALKER, DEBORAH I.
E-8 BRISTOL WOODS
BRISTOL, RI 02809

WERNECKE, JOEL A. & JIN Y
1 KNOWLTON CT
BRISTOL, RI 02809