



Town of Bristol, Rhode Island Zoning Board of Review

10 Court Street, Bristol, RI 02809
Telephone: (401) 253-7000
www.bristolri.gov

August 25, 2026
File #: ZBR-26-37

NOTICE OF PUBLIC HEARING

PERSUANT TO THE BRISTOL ZONING ORDINANCE

Notice is hereby given by the Zoning Board of Review
that a Public Hearing will be held in-person at:
Bristol Town Hall
10 Court Street, Bristol, RI 02809
Monday, September 14, 2026 at 7:00 p.m.

In regards to the petition of:

Applicant: Douglas & Patricia Gablinske
Owner of Record: Douglas W. and Patricia B. Gablinske
Location: 6 KNOWLTON CT , BRISTOL, RI, 02809
Plat: 103 Lot: 14
Zoning District: R-10

Applicant is requesting **Dimensional Variances** to:

construct a 16ft. x 30ft. pool house/cabana addition to an existing 22.2ft x 22.2ft. accessory garage structure with less than the required front yard; and at a size greater than permitted for accessory structures in the R-10 zoning district.

Edward M. Tanner
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol website at <https://bristol-ri.municodemeetings.com/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to etanner@bristolri.gov.



Zoning Board of Review Application
Town of Bristol

Record ID: ZBR-26-37

6 Knowlton Ct 103 14

August 3, 2026

Applicant

Name of Applicant	Douglas & Patricia Gablinske
Who is Submitting this Application	Owner
	If other, Describe:
Owner's Name (If Different than Applicant)	

Location for Application

Property Type	Both		
Zoning District	R-10		
Address, Plat, Lot	Address	Plat	Lot
	6 Knowlton Ct	103	14

Type of Application

Application Type	Dimensional Variance
Proposed	New Building
	If other, Detail:
New Building Type	Other
	If other, Detail: Pool House

Size of Proposed Building(s)/Addition(s) (If applicable)

Total Square Footage	480 feet
Width in Feet	16 feet
Length in Feet	30 feet
Height Above Grade	12 feet
Number of Stories	1

Setbacks

Front Yard in Feet	7 feet
Rear Yard in Feet	0 feet
Left Side Yard in Feet	0 feet
Right Side Yard in Feet	0 feet
Height in Feet	0 feet

Extension Request	
Date of Original Extension	
Date of First Extension	

Provisions of Zoning Ordinance (If Known)

Construction of an accessory structure at a size greater than permitted in the R-10 zoning district and with less than the required front yard setback per Section 28-111, Dimensional Table of zoning ordinance.

Describe the extent of the proposed alterations and the reasons for the requesting relief

Adding addition to rear of the garage as an accessory use of pool cabana to proposed IG pool to be built. See attached project narrative.

Existing Lot Specifications

Current Use of Premises	Residential
	If other, explain:
Number of Units	
Lot Area	2.71
Lot Frontage	235
Lot Depth	260

Existing Buildings & Structures

Structure: Primary Residence	Square Footage: 1,967	Building/Structure Detail if Other:
Structure: Other	Square Footage: 484	Building/Structure Detail if Other: Garage

Bristol Zoning Board Variances Narrative

1) Dimensional Variance for Accessory Structure Size

The lot we own and are requesting this variance size request for is a large parcel for R10 zoning, which requires 10,000sf minimum of area. The subject parcel is 2.71AC in size, almost 12 times the minimum size required for the zone, which is highly unusual for an R10 zone lot.

The lot is encumbered by wetlands to the south and is then further encumbered with a required buffer zone setback of 75'. The combination of these two features, one natural and the other governmentally enforced, limits the area that can be built on.

Attached to this application is a DEM Letter and DEM approved plans for backyard improvements, which include an impervious patio attached to the rear of the house and pervious improvements for an inground pool, surrounding patio area and this proposed pool accessory structure, as well as pervious driveway improvement. The plans were all professionally prepared by a well-recognized local engineering firm.

So, besides the impediments to building on the lot as previously mentioned, this house was built on its current location in 1971, but its L shaped configuration was recently changed. It was purchased in 2019 and then the buyer/developer subdivision plans were approved by the town for four new lots and the existing house, our house. The property was previously recognized as 1202 Hope Street, whereas it is now known as 6 Knowlton Ct, which now has 5 houses on the street. Previously and presumably the lot front yard faced west, now with the subdivision, the front yard is considered facing north, now fronting on Knowlton.

A two car detached garage was built on the lot some 25+/- years ago, which is 480sf. We are requesting this variance for a larger size accessory because we want a pool accessory building in coordination with the pool use. The pool and this area are exposed to full sun, we want some shade,

area to use in conjunction with the pool. This location and size appeared to make the most sense, given the constraints of the lot.

Please review the approved DEM plans and approval DEM letter for a better sense of the site and proposed structure.

2) Dimensional Variance for Front Yard Setback

The front yard set back for the R10 zone is 30', we are requesting a 7' variance off the arc of the cul-de-sac, which is only on one end, as the arc diminishes the request at the other end to about 3'.

As mentioned above, it is presumed this north side, now a front side, use to be a side yard, because of the house facing west and its front door oriented to Hope Street and this north side was a side yard that went hundreds of feet to a stone wall, now behind the houses built on the north side of the street.

Now, because of the subdivision, the side yard of our house is now the front yard. Given these unusual circumstances, we request this variance, to minimally use this new outbuilding to its potential.



RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
235 Promenade Street
Providence, Rhode Island 02908

July 22, 2026

Douglas Gablinske
6 Knowlton Court
Bristol, RI 02809

Freshwater Wetlands Permit

Re: Freshwater Wetlands Permit No. 26-0100 (*Individual Application No. IA-20969*) for the property and project located:

Approximately 380 feet east of Hope Street (Route 114), and approximately 520 feet southeast of its intersection with Meadow Lane, Assessor's Plat 103, Lot 14, Bristol, RI.

Dear Mr. Gablinski:

Kindly be advised that the Department of Environmental Management's ("DEM") Freshwater Wetlands Program ("Program") has completed its review of your **Application for a Freshwater Wetlands Permit** as described in Rule 3.11 of the Rules and Regulations Governing the Administration and Enforcement of the Fresh Water Wetlands Act, 250-RICR-150-15-3 ("Rules"). This review included a site inspection of the above referenced property ("subject property") and an evaluation of the proposed construction of a replacement driveway, permeable and impermeable patio surfaces, inground pool, hot tub, garage addition, retaining wall, fences, stormwater BMP's and wetland/buffer restoration with clearing, grading, landscaping, and associated site alterations as illustrated and detailed on site plans submitted with your application. These site plans were received by the DEM on June 11, 2026.

Our observations of the subject property, review of the site plans and evaluation of the proposed project reveals that alterations of jurisdictional areas are proposed. However, pursuant to Rule 3.7 of the Rules, this project meets all Standards, and a **Freshwater Wetlands Permit** may be issued under the following terms and conditions:

Terms and Conditions for **Wetlands Permit No. 26-0100**:

1. This letter is the DEM's permit for this project under the R.I. Fresh Water Wetlands Act, R.I. Gen. Laws § 2-1-18 et seq.
2. This permit is specifically limited to the project, site alterations and limits of disturbance as detailed on the site plans submitted with your application and received by the DEM on June 11, 2026. A copy of the site plans stamped approved by the DEM can be found on the Permit Search page on the OWR Application Portal by searching for any of the permit number(s) listed above. Changes or revisions to the project that would alter freshwater wetlands are not authorized without a permit from the DEM.
3. Where the terms and conditions of the permit conflict with the approved site plans, these terms and conditions shall be deemed to supersede the site plans.

4. You must notify this Program of the anticipated start date, and of your contractor's contact information, by submitting a Notice of Start of Construction on the OWR Application Portal from the Requests Tab referencing this Freshwater Wetlands permit number prior to commencement of any permitted site alterations or construction activity. You must also notify this Program upon completion of the project by submitting a Notice of Termination from the Requests Tab on the OWR Application Portal.
5. A copy of the stamped approved site plans and a copy of this permit must be kept at the site at all times during site preparation, construction, and final stabilization. Copies of this permit and the stamped approved plans must be made available for review by any DEM or town representative upon request.
6. Within ten (10) days of the receipt of this permit, you must record this permit in the land evidence records of the Town of Bristol and supply this Program with a scanned copy of the recorded permit obtained from the Town which can be sent to DEM.FWW@dem.ri.gov.
7. The effective date of this permit is the date this letter was issued. This permit expires five (5) years from the date of this letter unless renewed pursuant to the Rules.
8. Any material utilized in this project must be clean and free of matter that could pollute any jurisdictional area.
9. Prior to commencement of site alterations, you shall erect or post a sign resistant to the weather and at least twelve (12) inches wide and eighteen (18) inches long, which boldly identifies the initials "DEM" and this permit number. This sign must be maintained at the site in a conspicuous location until such time that the project is complete.
10. Temporary erosion and sediment controls detailed or described on the approved site plans shall be properly installed at the site prior to or commensurate with site alterations. Such controls shall be properly maintained, replaced, supplemented, or modified as necessary throughout the life of this project to minimize soil erosion and to prevent sediment from being deposited in any freshwater wetland, buffer, floodplain, area subject to storm flowage, or area subject to flooding or other jurisdictional areas not subject to disturbance under this permit.
11. Upon permanent stabilization of all disturbed soils, temporary erosion and/or sediment controls must be removed.
12. You are obligated to install, utilize, follow and maintain all best management practices detailed or described on the approved site plans in the construction of the project to minimize or prevent adverse impacts to any adjacent freshwater wetland, buffers or floodplain and the functions and values provided by such freshwater wetlands, buffers or floodplain.
13. All plantings of shrubs, trees or other forms of vegetation as shown or detailed on the approved plans, or detailed in this permit, must be installed as soon as possible after completion of final grading; weather and season permitting. You must notify Samuel.Dufresne@dem.ri.gov upon completion of the required 8 inkberry shrub plantings for a compliance inspection by a Program representative.
14. Mitigation or screen plantings of trees and/or shrubs proposed between the project and any adjacent freshwater wetland areas and buffers except for necessary replacement, must be allowed to develop naturally without being subjected to mowing or manicuring.

15. Any plantings which fail to survive one full growing season shall be replaced. Replacement plantings shall be similarly guaranteed for one full growing season.
16. Artificial lighting must be directed away from all vegetated wetland and buffer areas. Where this is not possible, the use of deflectors to concentrate lighting away from vegetated wetlands must be employed.
17. This Program has made specific revisions to the approved site plans. These revisions are clearly marked in red on the approved plans. This project must take place in compliance with these revisions. Specifically, a note has been added to the site plans identifying a "temporary" limit of disturbance surrounding the restoration area.

Pursuant to the provisions in 250-RICR-150-15-3.8.13 and 250-RICR-150-15-3.14.4(A), as applicable, any properly recorded and valid Freshwater Wetlands Permit is automatically transferred to the new owner upon sale of the property.

You are required to comply with the terms and conditions of this permit and to carry out this project in compliance with the Rules at all times. Failure to do so may result in an enforcement action by this Department.

In permitting the proposed alterations, the DEM assumes no responsibility for damages resulting from faulty design or construction.

Kindly be advised that this permit is not equivalent to a verification of the type or extent of freshwater wetlands or jurisdictional areas on site. Should you wish to have the types and extent of freshwater wetlands verified, you may submit the appropriate application in accordance with 250-RICR-150-15-3.9.3.

This permit does not remove your obligation to obtain any local, state, or federal approvals or permits required by ordinance or law and does not relieve you from any duties owed to adjacent landowners with specific reference to any changes in drainage.

Please contact Sam Dufresne of this office (telephone: 401-537-4220) should you have any questions regarding this letter.

Sincerely,

Nancy Freeman

Digitally signed by Nancy
Freeman
Date: 2026.07.22 10:49:04 -04'00'

Nancy L. Freeman, Environmental Scientist III
Office of Water Resources
Freshwater Wetlands Program

NLF/SGD/sgd

Enclosure: Approved site plans

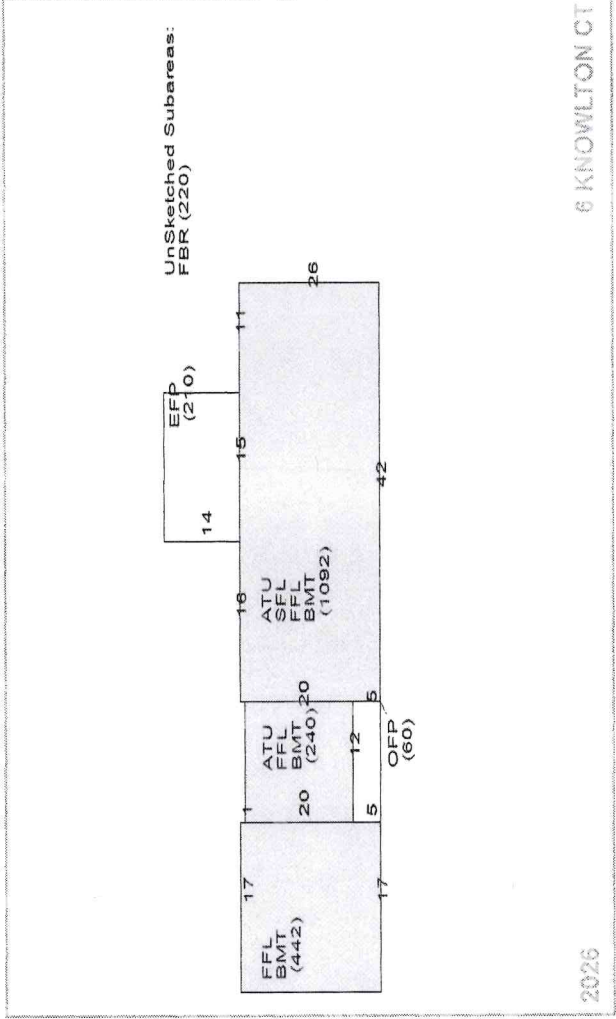
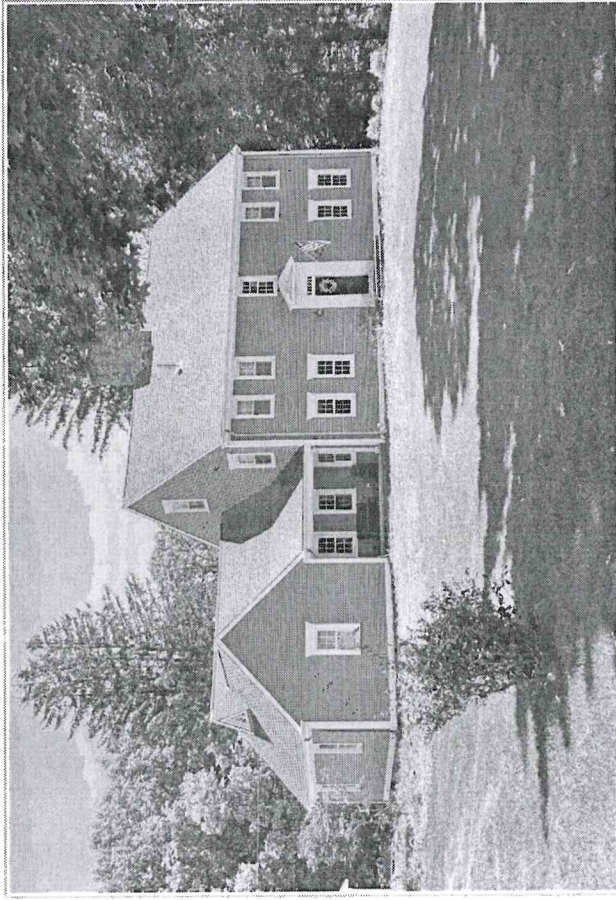
cc: Thomas J Principe, PE, Principe Engineering & Surveying, Inc.
Matthew P. Cabral, Building Official, Town of Bristol, RI.

Owner	Owner Account #	% Owned
Owner 1	GABLINSKE, DOUGLAS W. & PATRICIA B. TE	
Owner 2		
Owner 3		
Address	6 KNOWLTON CT, BRISTOL, RI 02809	

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
GARIES DEVELOPMENT, LLC	08/27/2025	900,000	2291-64		Dee
1202 HOPE STREET	12/21/2023	0	2232-140		Q
KNOWLTON, LAVINA FALES	07/16/2019	560,000	1990-179	L	E

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
01	603,300	15,000	2.71	340,100	0	958,400
TOTAL	603,300	15,000	2.71	340,100	0	958,400
Source >	Mkt Adj Cost	VAL per SQ Unit/Card >	169.24	VAL per SQ Unit/Parcel >	169.24	

Year	LUC	Building	SF/YI	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2026	01	603,300	15,000	3	340,100	0	958,400	958,400
2025	01	603,300	15,000	3	340,100	0	958,400	958,400
2024	01	355,400	15,000	3	283,500	0	653,900	653,900
2023	01	368,900	15,000	4	370,900	0	754,800	754,800
2022	01	368,900	15,000	5	402,100	0	786,000	786,000
2021	01	305,300	15,000	5	349,600	0	669,900	669,900



Land Information	Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh	Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
1	01 NR Single	0.22957	AC	P	1.00	666,000	797,578	E							183,100			1.00	0
2	01 NR Single	2.48216	AC	EX	0.20	666,000	63,251	E							157,000			1.00	0
3																			
4																			

Building Information

Description		Description	
BLDG Type	Colonial	Story Height	2 Story Attic UnFin
RES Units	1	COM Units	0
Foundation	Concrete	BMT Floor	Concrete
Frame 1	Wood	Frame 2	%
EXT Wall 1	Clapboard	EXT Wall 2	%
Roof Type 1	Gable	Roof Type 2	%
Roof Cover 1	Asphalt Shirs	Roof Cover 2	%
INT Wall 1	Drywall	INT Wall 2	%
Floors 1	Hardwood	Floors 2	Carpet % 20
BMT Garages		Color	Green
Plumbing		Electrical	
Insulation		INT vs EXT	
Heat Fuel	Oil	Heat Type	BB Hot Water
# Heat Sys		% Heated	100
% Solar HW		% A/C	
% COM Wall		% Vacuum	
Ceil HGHT		Ceiling Type	
Parking Type		% Sprinkled	
EXT View			

Other Factors

Grade		Flood Hazard	
Grade	Q3	Topography	LEVEL
Year Built	1971	Street	PAVED
Alt LUC	Alt %	Traffic	
	0.00		
Depreciation			
Code	GD	Bas \$/SQ	211.00
Condition	GD	Size Adj	0.94
	GD	Constr Adj	1.01
Functional		Adj \$/SQ	200.19
Economic		Other Feats	52,500
Special		Grade Fac	1.18
OV		Neigh Infl	1.00
		Land Factor	1.00
		Adj Total	826,406
		Depreciation	223,130
		Depr Total	603,276
Total Depreciation % > 27.0			

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	1,774	1,774	200.19	355,137
SFL	2nd FLOOR	1,092	1,092	200.19	218,607
FBR	REC ROOM	220	220	24.02	5,284
ATU	UNF ATTIC	533	0	20.02	10,667
BMT	BASEMENT	1,774	0	30.03	53,273
EPF	ENCL PORCH	210	0	17.79	3,736
OPP	OPEN PORCH	60	0	19.00	1,140
Total		5,663	3,086		647,844

Visit History

Date	Result	By
1/30/2025	REVIEW	MP
1/14/2025	BP	MP
7/6/2021	REVIEW	
6/30/2021	MEASURED	
8/31/2018	REVIEW	
8/27/2018	MEASURED	
3/27/2013	MEASURE	
3/27/2013	LISTED	

Notes

2 SHEDS NV & 1 FALL OUT SHELTER NV 15X20. - NEW GARAGE 12/09 replace existing deck 2012 mcb || Deed recorded 12/5/22 transferring 24,433 sf from lot 14 to lot 2 Bk 2196 Pg 264 || Subdivision recorded 10/4/2023 ENV #746 - property address changed from 1202 Hope St to 6 Knowlton Ct - Drainage Easement recorded 10/4/23 Bk 2225 Pg 3, 5 & 7

Remodeling History

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
12/07/2023	E57830		ELEC	2,000	100	Closed	Wire new bathroom in 1st floor. In conjunction with Building Permit 57814
12/06/2023	P57820		PLMB	5,000	100	Closed	1 bathroom 1 laundry 1 kitchen sink&d
12/05/2023	B57814		BLDG	18,500	100	Closed	Add bathroom to adjoining room
10/09/2023	S567480		SIGN	200	100	Closed	Installation of sign regarding construction of new home on lot 1
05/30/2023	E56536		ELEC	1,500	100	Closed	Change from an existing overhead 200 AMP service to an underground 200 AN
03/21/2022	B53723		BLDG	24,000	100	Closed	Add 14x15 addition to back of house
03/11/2022	B53649		BLDG	15,000	100	Closed	Install built in pool
11/12/2019	E49643		ELEC	7,150	100	Closed	Re-wire kitchen and bathroom. Install lights and receptacles in living room. Int
06/27/2012	B28482		BLDG	0	100	Closed	REPLACE EXISTING 10' X 16' DECK

Condo Data

Complex	
Location	
Tot Units	
FL Level	0
# Floors	1
Bldg Seq	

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
12/07/2023	E57830		ELEC	2,000	100	Closed	Wire new bathroom in 1st floor. In conjunction with Building Permit 57814
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12/05/2023	B57814		BLDG	18,500	100	Closed	Add bathroom to adjoining room
10/09/2023	S567480		SIGN	200	100	Closed	Installation of sign regarding construction of new home on lot 1
05/30/2023	E56536		ELEC	1,500	100	Closed	Change from an existing overhead 200 AMP service to an underground 200 AN
03/21/2022	B53723		BLDG	24,000	100	Closed	Add 14x15 addition to back of house
03/11/2022	B53649		BLDG	15,000	100	Closed	Install built in pool
11/12/2019	E49643		ELEC	7,150	100	Closed	Re-wire kitchen and bathroom. Install lights and receptacles in living room. Int
06/27/2012	B28482		BLDG	0	100	Closed	REPLACE EXISTING 10' X 16' DECK

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value	
1	2	Shed	1	Y	1	12	14	168	3	AV	1971	1,100
2	1	Garage	1	Y	1	22	22	484	4	AV	1971	13,200
3	2	Shed	1	Y	1	16	16	256	2	FR	1971	700
4												
5												
6												
7												
8												
9												
10												

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	1	10	3
2			U
3			
4			
Totals	1	10	3

Other Info.

AFDU	
TermRental	
PriorID1c	
PriorID2a	
PriorID2b	
PriorID2c	
PriorID3a	
PriorID3b	
PriorID3c	



6 Knowlton Ct, Bristol, RI

Map/Lot: 103-14

1 inch = 66 Feet



www.cai-tech.com

August 25, 2026



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

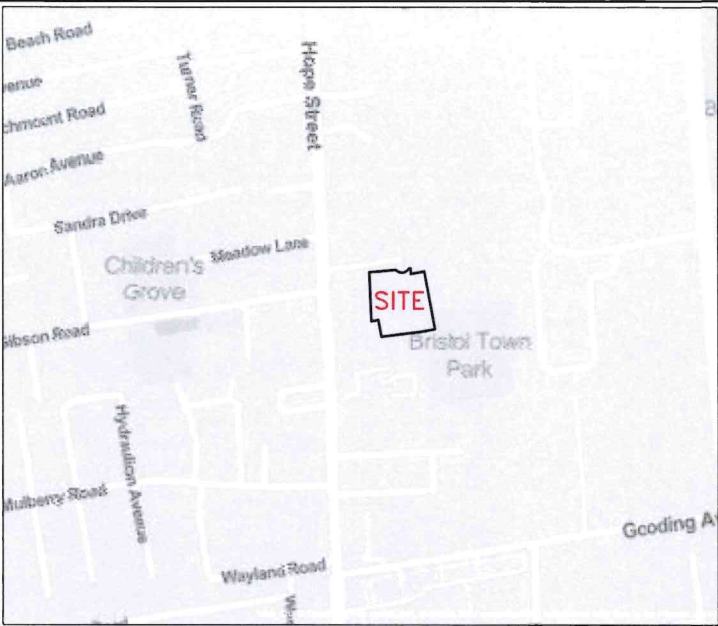
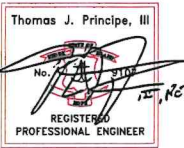
RIDEM FRESHWATER WETLANDS APPLICATION
PLAN SUBMISSION
FOR
GABLINKSE RESIDENCE
A.P. 103 LOT 14
6 KNOWLTON COURT
IN
BRISTOL, RI

OWNER/APPLICANT:
DOUGLAS & PATRICIA GABLINKSE
6 KNOWLTON CT, BRISTOL RI
GOU@APPRAISERI.BIZ



PREPARED BY:
PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RHODE ISLAND 02878
401.816.5385
WWW.PRINCIPECOMPANY.COM

MARCH 10, 2026
REVISED JUNE 10, 2026



RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM
AERIAL LOCUS MAP
SCALE 1" = 150'

APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATE: 07/22/2026 | PERMIT NO: 26-0100

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED SITE PLANS MUST BE AT CONSTRUCTION SITE

Nancy Freeman LIST OF DRAWINGS

- 1) TITLE SHEET
- 2) EXISTING CONDITIONS PLAN
- 3) SITE PLAN
- 4) SOIL EROSION AND SEDIMENT CONTROL PLAN
- 5) DETAILS
- 6) LANDSCAPE PLAN (BY OTHERS)
- 7) LANDSCAPE PLAN (BY OTHERS)

PROJECT DATA:

EXISTING: EXISTING
PLAT: 103 LOT: 14
LOT AREA: 2.71 Ac.

STREET INDEX
KNOWLTON COURT

PROPOSED:
LANDSCAPING AND HARDSCAPING INCLUDING DRIVEWAY,
PATIO, POOL, HOT TUB, RETAINING WALL, AND POOL
CABANA. PROPOSED LIMIT OF DISTURBANCE <15,000 SF.

LOT COVERAGE:
TOTAL LOT AREA 118,135 SF
EXISTING STRUCTURES* 3,172 SF
PROP. STRUCTURE (WITH OVERHANGS) 911 SF
TOTAL PROP. STRUCTURAL LOT COVERAGE 4,083 SF (3.5%)

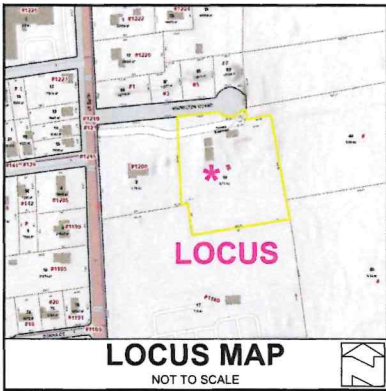
ZONING DESIGNATION: R-10
MIN. LOT AREA 10,000 SF
MIN. FRONTAGE/LOT WIDTH 80 FT
MIN. FRONT SETBACK 30 FT
MIN. SIDE SETBACK 15 FT
MIN. REAR SETBACK 30 FT
MAX. LOT COVERAGE 25%

PLAN REFERENCES:

1. CLASS 3 TOPOGRAPHIC & DATA ACCUMULATION SURVEY DATED FEBRUARY 20, 2026 PREPARED BY PRINCIPE ENGINEERING, INC.;
2. WETLANDS DELINEATED BY NATURAL RESOURCES SERVICES INC.
3. CONCEPTUAL LANDSCAPE PLANS DATED FEBRUARY 19, 2026 PREPARED BY SPS DESIGNS.
4. FINAL PLAN SUBMISSION FOR KNOWLTON COURT DATED SEPTEMBER 14, 2023 PREPARED BY PRINCIPE ENGINEERING, INC.
5. RIDEM RIPDES PERMIT NO. RIR102192
6. RIDEM FWW PERMIT NO. 21-0138

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION
SHALL BE USED FOR CONSTRUCTION



GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
2. THIS SITE LIES OUTSIDE A FLOOD ZONE AREA AS SHOWN ON THE FIRM MAP FOR THE TOWN OF BRISTOL, RI COMMUNITY PANEL NO.44001C001H, MAP EFFECTIVE JULY 7, 2014.
3. WETLANDS SHOWN HEREIN WERE DELINEATED BY OTHERS AND REESTABLISHED IN THE FIELD ON 02/20/2026 BY PRINCE ENGINEERING, INC.
4. THERE ARE NO KNOWN EASEMENTS OR RIGHTS OF WAY WITHIN OR ADJACENT TO THIS PARCEL UNLESS OTHERWISE SHOWN.
5. THE CONTOURS SHOWN HEREIN ARE BASED UPON THE NAVD83 DATUM.
6. THERE ARE UNDERGROUND UTILITIES LOCATED WITHIN KNOWLTON COURT ALONG THIS PARCELS FRONTAGE.
7. THERE ARE NO KNOWN HISTORIC CEMETERIES WITHIN OR IMMEDIATELY ADJACENT TO THIS PARCEL.

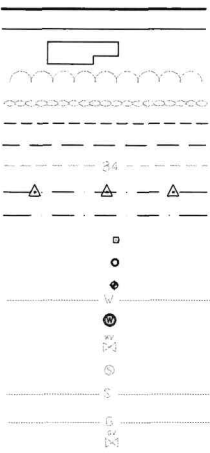
REFERENCES:

1. PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION 1200 & 1202 HOPE STREET, BRISTOL, R.I., A.P. 103 PARCELS 2 & 14, PREPARED BY PRINCE COMPANY" WHICH IS LOCATED IN THE BRISTOL LAND EVIDENCE RECORDS AS ENVELOPE #747.

LEGEND

BOUNDARY LINE
ABUTTER LINE
BUILDING
TREELINE
STONEWALL
EASEMENT
BUILDING SETBACK
CONTOUR
WETLAND EDGE
75FT WETLAND BUFFER
SURVEY BOUND
SURVEY IRON PIN
SURVEY BENCHMARK
WATERLINE
WELL
WATER GATE VALVE
SEWER MANHOLE
SEWERLINE
GAS LINE
GAS VALVE

EXISTING



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: DATA ACCUMULATION SURVEY
MEASUREMENT SPECIFICATION: CLASS 3 TOPO

PURPOSE OF SURVEY: EXISTING CONDITIONS

A.P. 103 LOT 2
N/F INFINITY 1217, LLC
D.B. 2264 PG. 175

A.P. 103 LOT 17
N/F BRISTOL COUNTY
MED. ASSOC. INC.

A.P. 103 LOT 14
N/F DOUGLAS W. &
PATRICIA B. GABLINSKE
D.B. 2291 PG. 64
LOT AREA
2.17 ACRES

A.P. 103 LOT 88

A.P. 103 LOT 86

A.P. 103 LOT 3

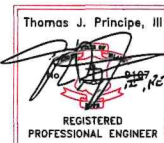
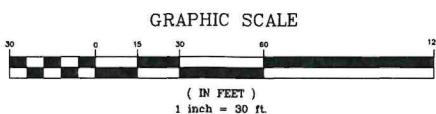
A.P. 103 LOT 44
N/F TOWN OF BRISTOL

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATE: 07/22/2026 | PERMIT NO: 26-0100

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED SITE PLANS MUST BE AT CONSTRUCTION SITE

Nancy Freeman

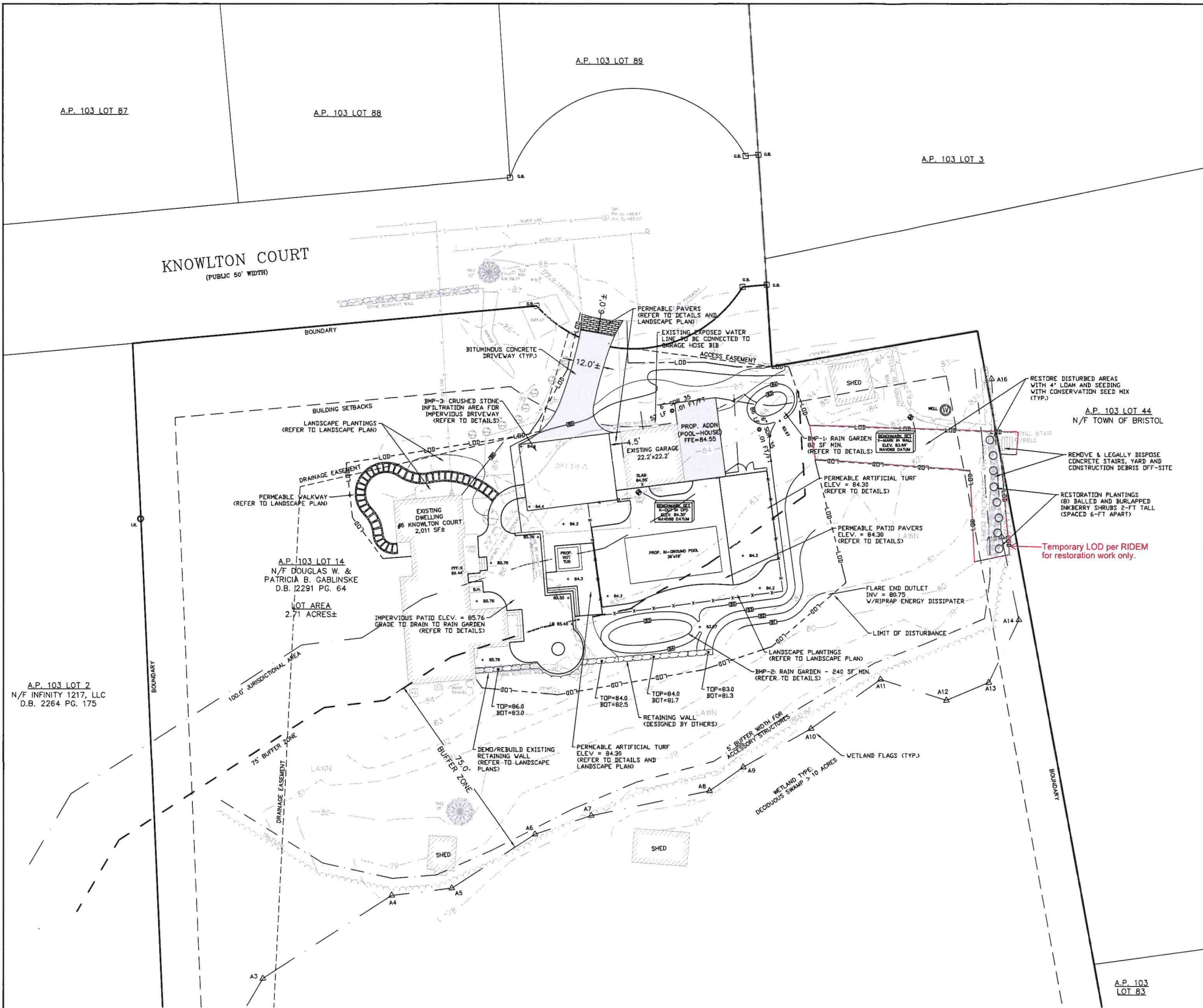


ZONING CRITERIA

R-10 ZONING

ZONING DISTRICT	R-10
MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH	80'
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (22' ACCESSORY)





PLAN NOTES:

- INTERSECTION OF KNOWLTON COURT AND HOPE STREET APPROX. 400 FEET WEST OF PROJECT SITE.
- CONTRACTOR TO VERIFY BENCHMARK AND EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- PLAN IS TO BE USED SOLELY FOR THE USE OF RIDEM FRESHWATER WETLAND PERMITTING AND IS NOT AUTHORIZED FOR ANY OTHER USE. CONTRACTOR TO STRICTLY ADHERE TO THE LIMITS OF DISTURBANCE, SOIL EROSION, RUNOFF, AND STORMWATER MANAGEMENT AT ALL TIMES DURING CONSTRUCTION.
- SEE ADDITIONAL NOTES ON SHEET 4 OF 4, WHICH MUST ALSO BE FULLY COMPLIED WITH.
- OWNER/CONTRACTOR RESPONSIBLE FOR OBTAINING PERMISSION FROM THE TOWN OF BRISTOL FOR REMOVAL ON CONCRETE STAIR DEBRIS BEYOND SUBJECT PROPERTY LINE.

ARCHITECT NOTE:

IT IS THE RESPONSIBILITY OF THE ARCHITECT TO FINALIZE SITE LAYOUT & COORDINATE ELEMENTS WITH ENGINEER PRIOR TO CONSTRUCTION. FINAL GRADING & LAYOUT SHALL BE COORDINATED AND VERIFIED THROUGH ARCHITECT DRAWINGS.

FEMA FLOOD NOTE:

ZONE X - AREA OF MINIMAL FLOOD HAZARD
FIRM NO. 44001C0011H EFF. 07/07/2014

SOIL REFERENCE:

NRCS WEB SOIL SURVEY:
PMA - PITTSFORD SILT LOAM, 0-3% SLOPES
19"-42" ESHGWT (HSG C)
DATE ACCESSED: 02/26/2026

OVERLAY NOTE:

THE SUBJECT PROPERTY DOES NOT LIE WITHIN THE REGULATORY OVERLAYS DEFINED BY RIDEM. (REFER TO RIDEM ENVIRONMENTAL RESOURCE MAP FOR MORE INFORMATION)

RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

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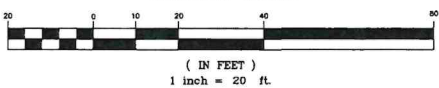
PLAN SET LEGEND	
EXISTING	PROPOSED
PERIMETER LINE	PERIMETER LINE
PROPERTY LINE	PROPERTY LINE
EDGE OF PAVEMENT	EDGE OF PAVEMENT
FENCE	FENCE
CONTOUR	CONTOUR
SURVEY BOUND	SURVEY BOUND
UTILITY POLE	UTILITY POLE
OVERHEAD WIRE	OVERHEAD WIRE
ELECTRIC WIRE/CONDUIT	ELECTRIC WIRE/CONDUIT
DRAINLINE	DRAINLINE
CATCH BASIN	CATCH BASIN
DRAIN MANHOLE	DRAIN MANHOLE
WATERLINE	WATERLINE
WATER GATE VALVE	WATER GATE VALVE
WATER SHUT-OFF	WATER SHUT-OFF
HYDRANT	HYDRANT
WELL	WELL
SEWER LINE	SEWER LINE
SEWER MANHOLE	SEWER MANHOLE
SEWER FORCE MAIN	SEWER FORCE MAIN
GAS LINE	GAS LINE
LIMIT OF DISTURBANCE	LIMIT OF DISTURBANCE
TREE LINE	TREE LINE
EROSION CONTROL	EROSION CONTROL
PAVEMENT/IMPERVIOUS	PAVEMENT/IMPERVIOUS
SAWCUT	SAWCUT
RETAINING WALL	RETAINING WALL
TREE	TREE
STONEWALL	STONEWALL
SOIL BOUNDARY LINE	SOIL BOUNDARY LINE
WETLAND FLAGS	WETLAND FLAGS

SITE PLAN

ZONING CRITERIA

R10 ZONING	
ZONING DISTRICT	R10
MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH	60'
MINIMUM LOT FRONTAGE	60'
MINIMUM FRONT YARD SETBACK	30'
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MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

GRAPHIC SCALE



OWNER/APPLICANT
DOUGLAS & PATRICIA GABLINKSE
6 KNOWLTON CT
BRISTOL, RI

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

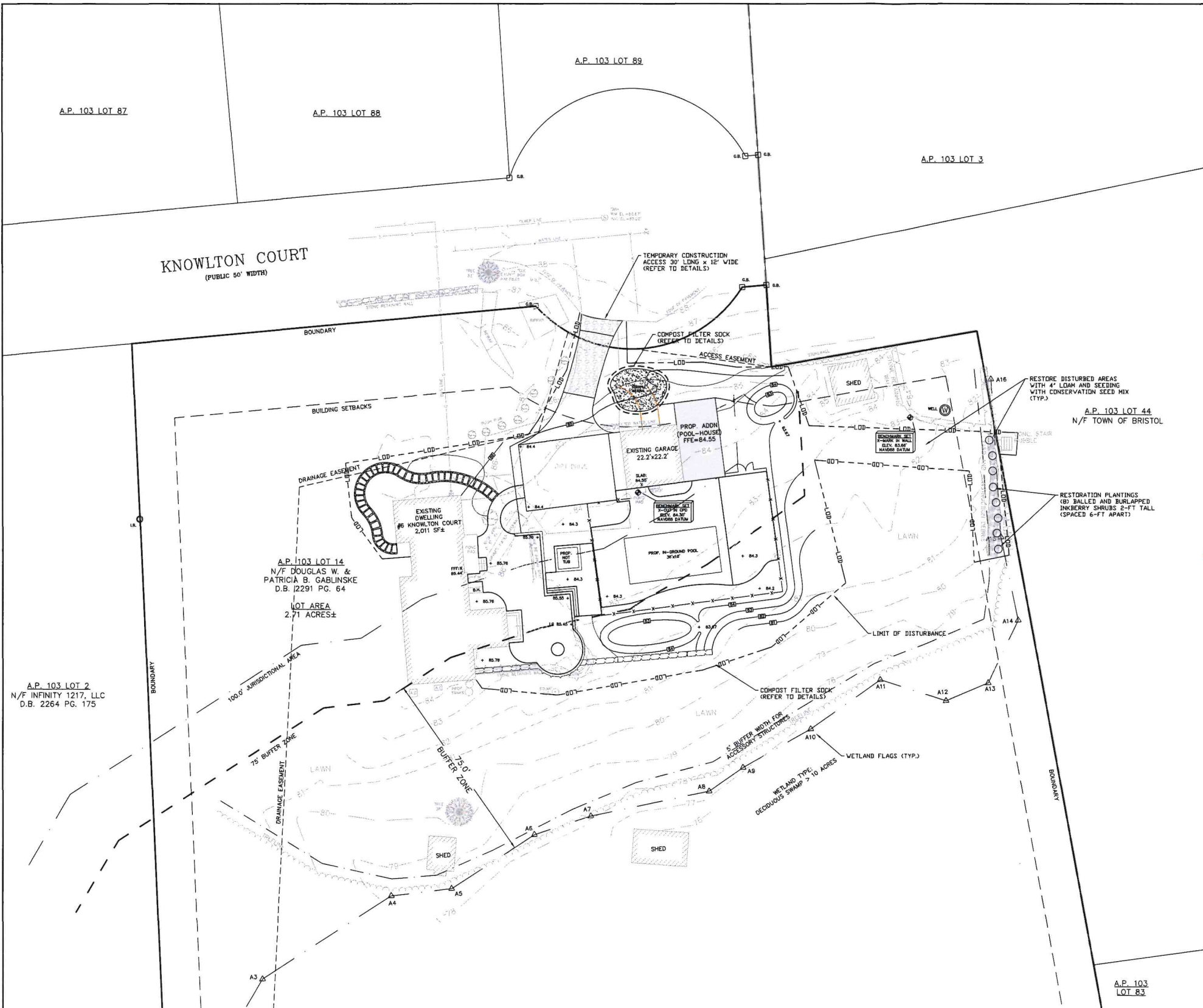
REVISIONS

No.	DATE	DRWN	CHKD
1	6-10-26	SJL	TJP

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
www.PrincipeEngineering.com

RIDEM SUBMISSION PLAN
FOR A
FRESHWATER WETLANDS APPLICATION
OF
"GABLINKSE RESIDENCE"
A.P. 103 LOT 14
6 KNOWLTON COURT
in
BRISTOL, RHODE ISLAND

SCALE: 1" = 20'	SHEET NO: 3 of 7
DRAWN BY: SJL	DESIGN BY: SJL
DATE: 03/10/2026	CHECKED BY: TJP
PROJECT NO.: LD-2021-10.2	



PLAN NOTES:

- INTERSECTION OF KNOWLTON COURT AND HOPE STREET APPROX. 400 FEET WEST OF PROJECT SITE.
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Nancy Freeman

PLAN SET LEGEND

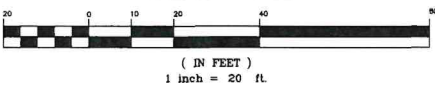
EXISTING	PROPOSED
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ZONING CRITERIA

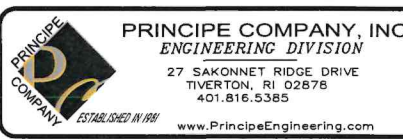
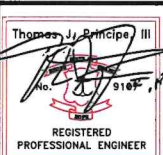
R10 ZONING

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MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

GRAPHIC SCALE



SOIL EROSION & SEDIMENT CONTROL PLAN



OWNER/APPLICANT
DOUGLAS & PATRICIA GABLINSKE
6 KNOWLTON CT
BRISTOL, RI

DRAWING ISSUE:

- ☐ CONCEPT
- ☐ CUSTOMER APPROVAL
- ☒ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

REVISIONS

No.	DATE	DRWN	CHKD
1	6-10-26	SJL	TJP

RIDEM SUBMISSION PLAN
FOR A
FRESHWATER WETLANDS APPLICATION
OF
"GABLINSKE RESIDENCE"
A.P. 103 LOT 14
6 KNOWLTON COURT
in
BRISTOL, RHODE ISLAND

SCALE: 1" = 20'		SHEET NO: 4 of 7	
DRAWN BY: SJL	DESIGN BY: SJL	CHECKED BY: TJP	
DATE: 03/10/2026		PROJECT NO.: LD-2021-10.2	

VEGETATIVE COVER AND PLANTING

1. THE NORMAL ACCEPTABLE SEASONABLE SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
2. TOP SOIL FOR PERMANENT OR LONG TERM TEMPORARY SEEDING SHOULD HAVE A SANDY LOAM TEXTURE, RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS. TOP SOIL SHALL CONFORM WITH RHODE ISLAND SPECIFICATIONS M18.01.
3. THE DESIGN SEED MIX UTILIZED IN ALL DISTURBED AREAS TO BE SEEDDED SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT	SEEDING DATE
CREeping RED FESCUE	70	
ASTORIA BENTGRASS	5	APRIL 1 – JUNE 15
BIRDFOOT TREFOIL	15	AUGUST 15 – OCTOBER 15
PERENNIAL RYE GRASS	10	

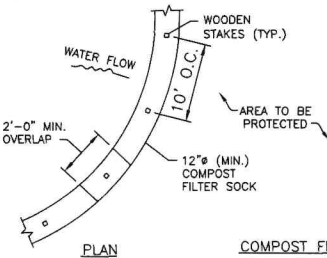
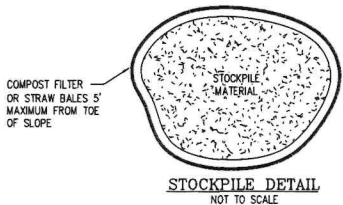
APPLICATION RATE – 100 LBS PER ACRE

SEED MIX SHALL BE INOCULATED WITHIN 24 – HOURS BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULATION FOR EACH SEED VARIETY. ALTERNATE SEED TYPES DUE TO SITE SPECIFIC CONDITIONS AND SOILS ARE ACCEPTABLE WITH THE ENGINEER'S APPROVAL.

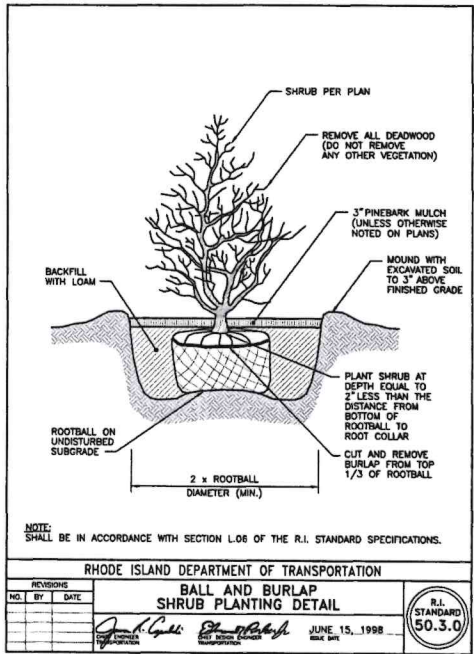
4. IN TOPSOIL SEEDING AREAS, THE CONTRACTOR WILL LIME AND FERTILIZE AS REQUIRED TO COMPLIMENT OR UPGRADE SOIL CONDITIONS.
5. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY PERMANENT VEGETATIVE COVER AREAS THAT DO NOT DEVELOP OR WHICH ERODE WITHIN A ONE (1) YEAR PERIOD.

EROSION CONTROL, SOIL STABILIZATION AND SEDIMENT CONTROL PLAN

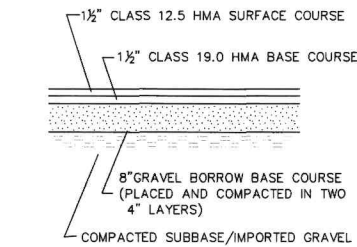
1. PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING, DEMOLITION OR EARTHWORK ACTIVITY, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE PLANS ARE TO BE INSTALLED BY THE CONTRACTOR.
2. CONSTRUCTION ACCESS STABILIZATION ENTRANCE PADS ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE GRUBBING OR EARTHWORK ACTIVITY.
3. EXISTING CATCH BASINS ARE TO BE PROTECTED WITH HAY BALES AND/OR SILT SACS PRIOR TO THE START OF SITE GRUBBING, EARTHWORK OR UNDERGROUND UTILITY AND DRAINAGE INFRASTRUCTURE INSTALLATION TO SERVE THE DEVELOPMENT SITE.
4. THE PROJECT CONSTRUCTION SEQUENCE, TO THE EXTENT PRACTICAL, SHOULD REQUIRE THE INSTALLATION OF DOWN GRADE AND OFF SITE STORM DRAINAGE SYSTEM IMPROVEMENTS BEFORE THE START OF SITE GRUBBING AND EARTHWORK ACTIVITY.
5. TEMPORARY SITE SLOPE TREATMENTS FOR SOIL STABILIZATION SHALL CONSIST OF STRAW, FIBER MULCH, RIP RAP OR PROTECTIVE COVERS SUCH AS MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, AND EXCELRIOR OR EQUAL PRODUCTS). THESE AND OTHER ACCEPTABLE MEASURES SHALL BE INCORPORATED INTO THE SITE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
6. CONSTRUCTION SITES ARE DYNAMIC. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND OR MOVEMENT AND MAINTENANCE OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL MEASURES AS NEEDED TO MAXIMIZE THE INTENT OF THE PLAN FOR ALL SITE CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION, MAINTENANCE, REPAIR, AND REPLACEMENT OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL DEVICES UNTIL AN ACCEPTABLE PERMANENT VEGETATIVE GROWTH IS ESTABLISHED. THE CONTRACTOR SHALL MAINTAIN A DETAIL LOG OF ALL EROSION CONTROL INSPECTIONS, COMPLAINTS RELATED TO EROSION OR SEDIMENT, AND CORRECTIVE REMEDIAL MEASURES TAKEN THROUGHOUT THE COURSE OF THE PROJECT CONSTRUCTION.
8. SOIL EROSION AND SEDIMENT CONTROL IS NOT LIMITED TO DAMAGES CAUSED BY WATER BUT ALSO INCLUDES EROSION AND SEDIMENT RESULTING FROM WINDS. MEASURES, SUCH AS TEMPORARY GROUND COVERS, WATER AND CALCIUM APPLICATIONS ARE TO BE UNDERTAKEN AS NEEDED TO MINIMIZE WIND RELATED SOIL AND DUST CONTROL.
9. STOCK PILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. STOCK PILES SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%). STOCK PILES SHALL BE SURROUNDED ON THE DOWN GRADIENT OF THE EXISTING GROUND SURFACE BY STRAW BALES OR SILT FENCE. THE STOCK PILES SHALL ALSO BE SEEDDED OR STABILIZED IN SOME MANOR TO PREVENT SOIL EROSION.
10. THE SMALLEST POSSIBLE SITE AREAS SHALL BE DISTURBED OR EXPOSED AT ONE TIME AND DENUDED SLOPES OR WORK AREAS SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS INACTIVE PERIODS OR SITE WORK SHUT DOWNS.
11. TO THE EXTENT POSSIBLE, ALL DISTURBED AREAS MUST BE SEEDDED OR STABILIZED WITHIN THE CONSTRUCTION SEASON. STABILIZATION OF ONE FORM OR ANOTHER SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. EXPOSED STEEP OR LONG SLOPES SHOULD BE TREATED WITH "CRIMPING" OR "TRACKING" TO REDUCE EROSION AND SEDIMENT AND TO TACK DOWN SEEDING OR MULCH APPLICATIONS.
13. IF CONCRETE IS TO BE USED ON SITE, THE CONTRACTOR MUST ESTABLISH AND MAINTAIN SPECIFIC WASHOUT AREAS FOR THE CONCRETE TRUCKS WITH APPROPRIATE PROTECTION CONTROLS.
14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON-SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THIS MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.
15. EXISTING TREES AND VEGETATION WILL BE RETAINED WHENEVER FEASIBLE.
16. SITE SOIL EROSION AND SOIL STABILIZATION AND SEDIMENT CONTROLS MUST CONFORM TO ALL REQUIREMENTS OF THE APPLICABLE LOCAL COMMUNITY ORDINANCES AND STATE REGULATIONS.



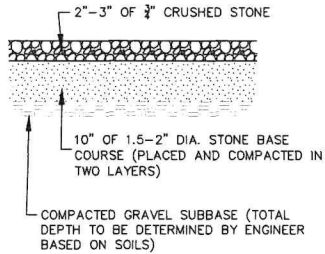
COMPOST FILTER SOCK PERIMETER EROSION CONTROLS NOT TO SCALE



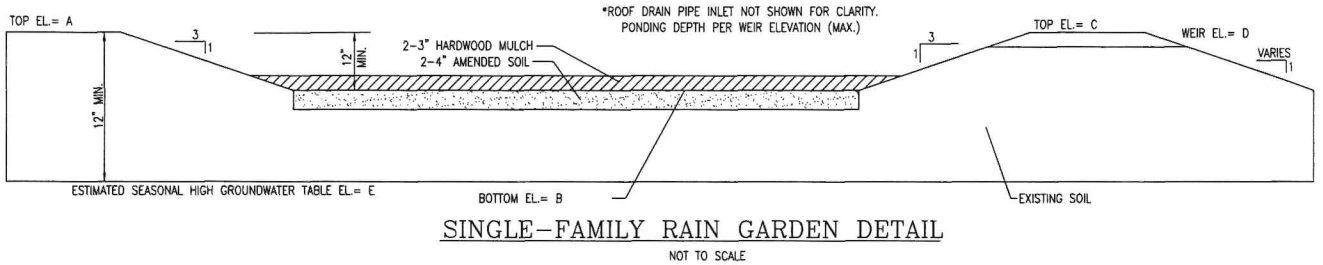
RHODE ISLAND DEPARTMENT OF TRANSPORTATION BALL AND BURLAP SHRUB PLANTING DETAIL R.I. STANDARD 50.3.0 JUNE 15, 1998



BITUMINOUS CONCRETE PAVEMENT – DRIVEWAY NOT TO SCALE



PERVIOUS DRIVEWAY NOT TO SCALE



SINGLE-FAMILY RAIN GARDEN DETAIL NOT TO SCALE

TABLE OF ELEVATIONS:

ELEVATION LOCATION	A	B	C	D	E
BMP-1 GARAGE RAIN GARDEN	84.0	83.0	84.0	83.67	81.0±
BMP-2 PATIO RAIN GARDEN	84.0	83.0	84.0	83.67	81.0±

PLANT SPECIES TO BE USED

BOTANICAL NAME	COMMON NAME
ASTER DIVARICATUS	WHITE WOOD ASTER
IRIS VERSICOLOR	BLUE FLAG IRIS
LOBELIA CARDINALIS	CARDINAL FLOWER
OSMUNDA CINNAMOMEA	CINNAMON FERN

*PLANT SPECIES IN ONE GALLON CONTAINERS TO BE INSTALLED AT 2' O.C. IN GROUPS OF THREE WITHIN THE RAIN GARDEN AREA.

NOTES:

- MULCH SHALL CONSIST OF NON-DYED, AGED AND SHREDDED HARDWOOD MULCH.
- AMENDED SOIL SHALL CONSIST OF A 80 MIX OF EXCAVATED NATIVE SOIL AND MATURE ORGANIC COMPOST.
- RAIN GARDEN AREA TO BE PROTECTED FROM CONSTRUCTION TO PREVENT COMPACTION AND SURROUNDED BY COMPOST FILTER SOCK UNTIL UPSLOPE AREAS ARE STABILIZED.
- DESIGN AND INSTALLATION GUIDELINES SHALL CONFORM TO THE STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT.

SF RAIN GARDEN REQUIRED MAINTENANCE:

PRECIPITATION EVENTS:
INSPECT SYSTEM FUNCTIONALITY FOLLOWING THE FIRST TWO PRECIPITATION EVENTS OF 1" OR GREATER
REPLACE SOIL MEDIA AND PLANTS AS NEEDED

MONTHLY:
INSPECT AND REMOVE ANY TRASH
REMOVE ANY INVASIVE SPECIES PLANTS

ANNUALLY:
MULCH- SPRING, AS NEEDED
REPLACE ANY DEAD VEGETATION-SPRING
REMOVE DEAD VEGETATION-FALL OR SPRING
PRUNE-SPRING

AS NEEDED:
REPLACE SOIL MEDIA AND PLANTS WHEN FLOODING DOES NOT SUBSIDE WITHIN 72 HRS
(CAREFUL MAINTENANCE SHOULD PREVENT THIS FROM OCCURRING)

*ALL PLANT MATERIAL SHALL BE WATERED AND MAINTAINED BY THE OWNER TO ASSURE THAT SUCCESSEFUL GROWTH HAS BEEN ESTABLISHED.

DRAINAGE CALCULATIONS:

RAIN GARDEN DESIGN BASIS:

RAINGARDEN WATERSHED AREAS
GARAGE ADDITION-490 SF
IMPERVIOUS PATIO-1,500 SF

REFER TO RI DEM DESIGN MANUAL:
PAGE 10 OF 17 (TABLES 7 & 8) RAIN GARDEN SIZING

SUBSOIL MATERIAL: SILT LOAM

REQUIRED 160 SF (MIN. 8" DEEP) OF RAIN GARDEN SURFACE AREA FOR EVERY 1,000 S.F. OF DRAINAGE AREA

RAIN GARDEN SURFACE AREA (8" DEEP):

BMP-1: GARAGE ADDITION = 490 SF
490 SF / 1,000 SF = 0.49
160 SF X 0.49 = 78.4 SF
79 SF REQUIRED
84+ SF PROVIDED

BMP-2: IMPERVIOUS PATIO = 1,500 SF
1500 SF / 1,000 SF = 1.50
160 SF X 1.50 = 240 SF
240+ SF PROVIDED

STONE INFILTRATION AREA

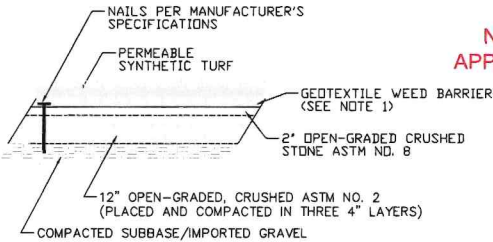
EXISTING PAVED DRIVEWAY PORTION = 598 SF
MGV = 598 SF * 0.083 FT/IN = 49.63 CF (SAY 50 CF)
CRUSHED STONE AREA = 905 SF
CRUSHED STONE VOID RATIO = 33%
CRUSHED STONE DEPTH = (50 CF/905 SF)/.33 = 0.17" (2")
PROVIDED DEPTH = 12"
PROVIDED STORAGE = 905 SF * 1 FT * .33 = 299 CF

*CONTRACTOR TO STRICTLY ADHERE TO THE INSTALLATION MANUAL FOR THE RAIN GARDEN.

*OWNER SHALL ALSO STRICTLY ADHERE TO THE RAIN GARDEN MAINTENANCE SCHEDULE SET FORTH BY RI DEM IN ORDER TO ASSURE ITS PROPER FUNCTION

APPROVED WITH CONDITIONS AS SPECIFIED IN THE LETTER OF APPROVAL
DATE: 07/22/2026 | PERMIT NO: 26-01

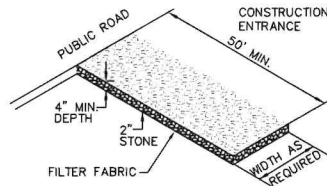
NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED SITE PLANS MUST BE AT CONSTRUCTION SITE



PERMEABLE SYNTHETIC TURF DETAIL NOT TO SCALE

NOTES:

- GROUNDWATER SEPARATION OF 24" MINIMUM MUST BE MAINTAINED BETWEEN THE BASE OF CRUSHED STONE AND THE SEASONAL HIGH GROUNDWATER TABLE.
- SYNTHETIC TURF TOP LAYER AND GEOTEXTILE FABRIC LAYER(S) SHALL HAVE A PERMEABILITY OF 10"/HOUR OR GREATER.
- STONE LAYERS SHALL BE WASHED CRUSHED STONE WITH <2% PASSING THE #200 SIEVE.
- STOCKPILING MATERIAL, TEMPORARY SEDIMENTATION TRAPS, OR CONSTRUCTION STAGING ACTIVITIES SHALL NOT OCCUR IN THE PERMEABLE TURF.



MATERIALS SIZE			
SQUARE MESH SIEVES	2" CRUSHED STONE OR GRAVEL	ASTM C-33 NO. 2	ASTM C-33 NO. 3
	% FINER	% FINER	% FINER
2-1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1-1/2 INCHES	30-55	0-15	35-70
1-1/4 INCHES	0-25	-	0-15
1 INCH	0-5	-	0-5
3/4 INCH	-	0-5	-
1/2 INCH	-	-	0-5
3/8 INCH	-	-	-

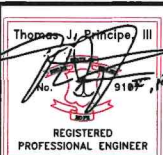
NOTE:
STABILIZATION PAD TO BE IN CONFORMANCE WITH STANDARDS SET FORTH IN THE "RHODE ISLAND GUIDELINES FOR SOIL & SEDIMENT CONTROL".

RIP-RAP STABILIZATION PAD @ CONSTRUCTION ENTRANCE NOT TO SCALE

OWNER/APPLICANT
DOUGLAS & PATRICIA GABLUNKSE
6 KNOWLTON CT
BRISTOL, RI

DRAWING ISSUE:

- ☐ CONCEPT
☐ CUSTOMER APPROVAL
☒ PERMITTING
☐ CONSTRUCTION
☐ AS-BUILT
☐ OTHER:
ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION



REVISIONS

No.	DATE	DRWN	CHKD
1	6-10-26	SJL	TJP



RIDEM SUBMISSION PLAN FOR A FRESHWATER WETLANDS APPLICATION OF "GABLUNKSE RESIDENCE" A.P. 103 LOT 14 6 KNOWLTON COURT in BRISTOL, RHODE ISLAND

SCALE: N/A SHEET NO: 5 of 7
DRAWN BY: SJL DESIGN BY: SJL CHECKED BY: TJP
DATE: 03/10/2026 PROJECT NO.: LD-2021-10.2

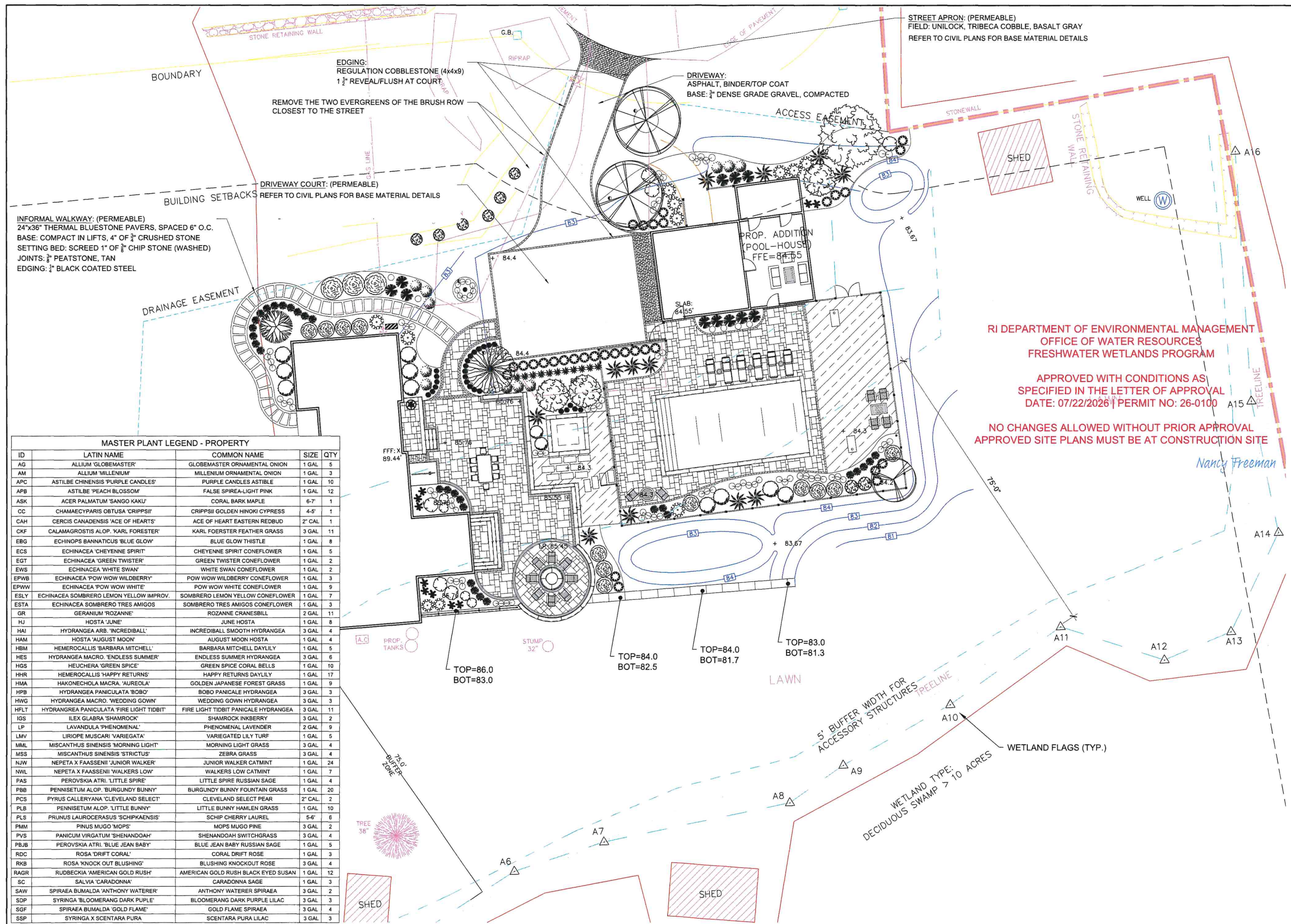


RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
OFFICE OF WATER RESOURCES
FRESHWATER WETLANDS PROGRAM

APPROVED WITH CONDITIONS AS
SPECIFIED IN THE LETTER OF APPROVAL
DATE: 07/22/2026 | PERMIT NO: 26-0100

NO CHANGES ALLOWED WITHOUT PRIOR APPROVAL
APPROVED SITE PLANS MUST BE AT CONSTRUCTION SITE

LA-1





Gablinske Residence

6 Knowlton Court
Bristol, RI

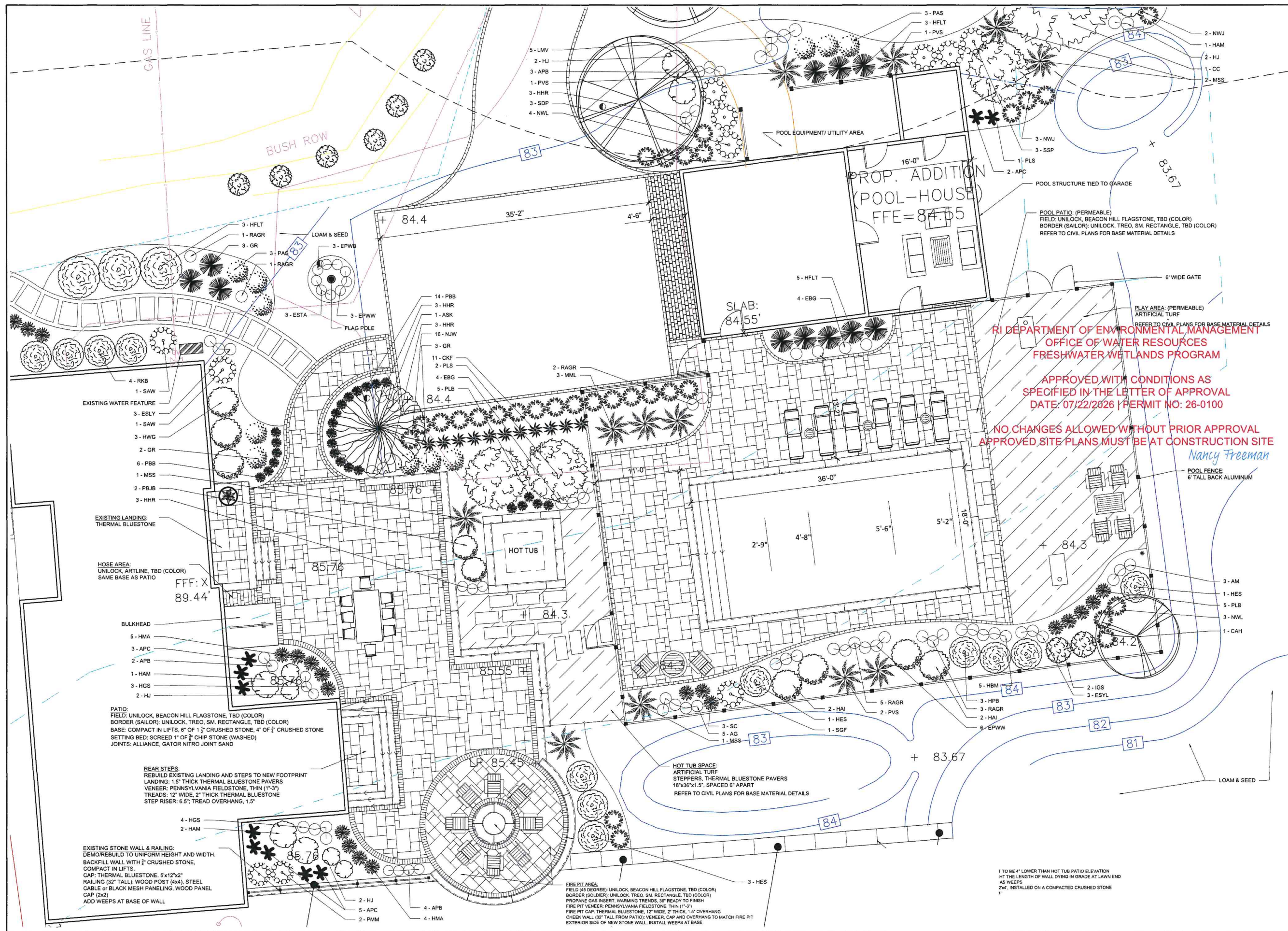
Date: 03-12-2026

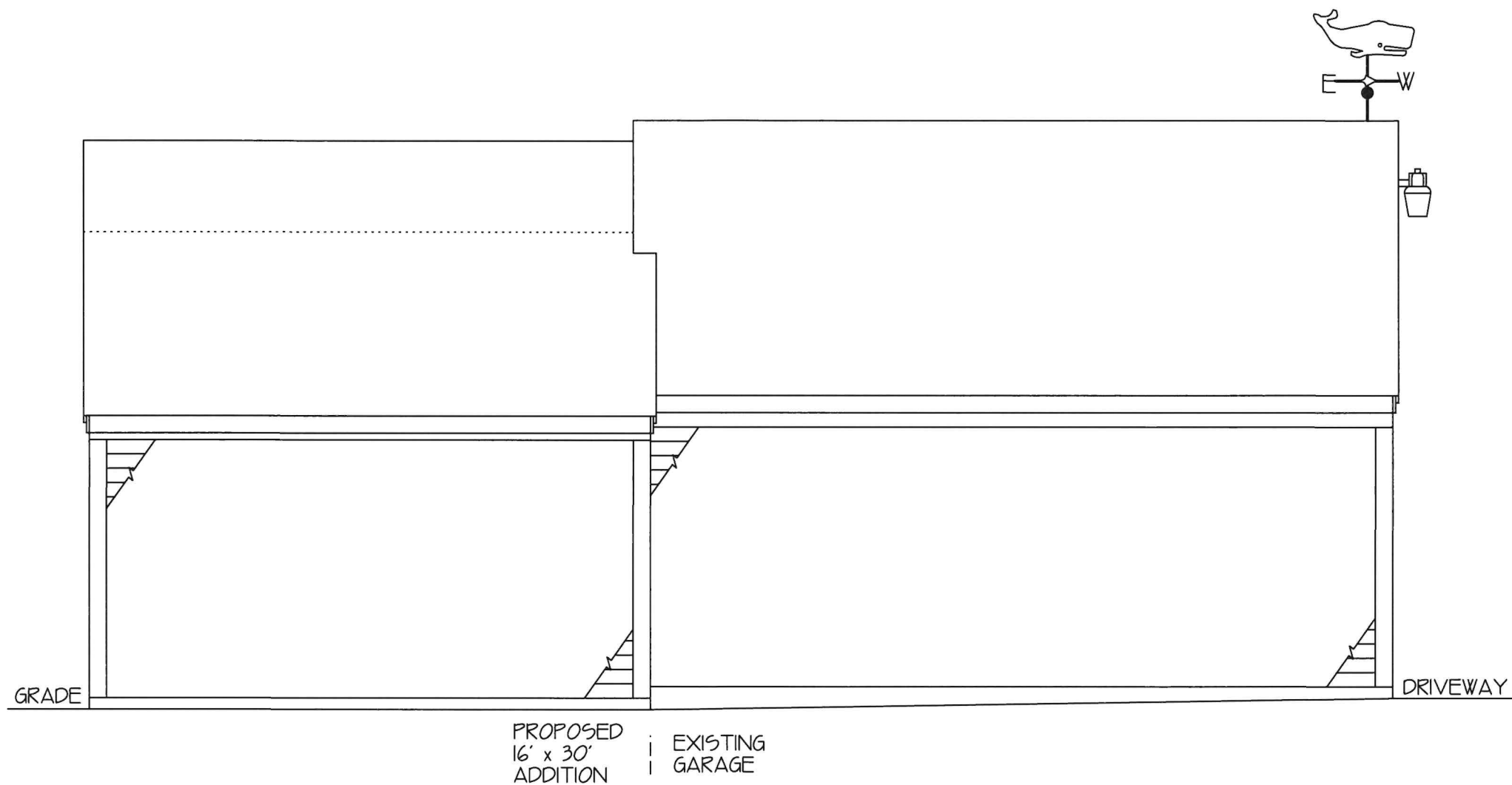
Scale: $\frac{3}{16}" = 1'-0"$

Revision: 0

CONCEPTUAL PLAN

LA-1.1





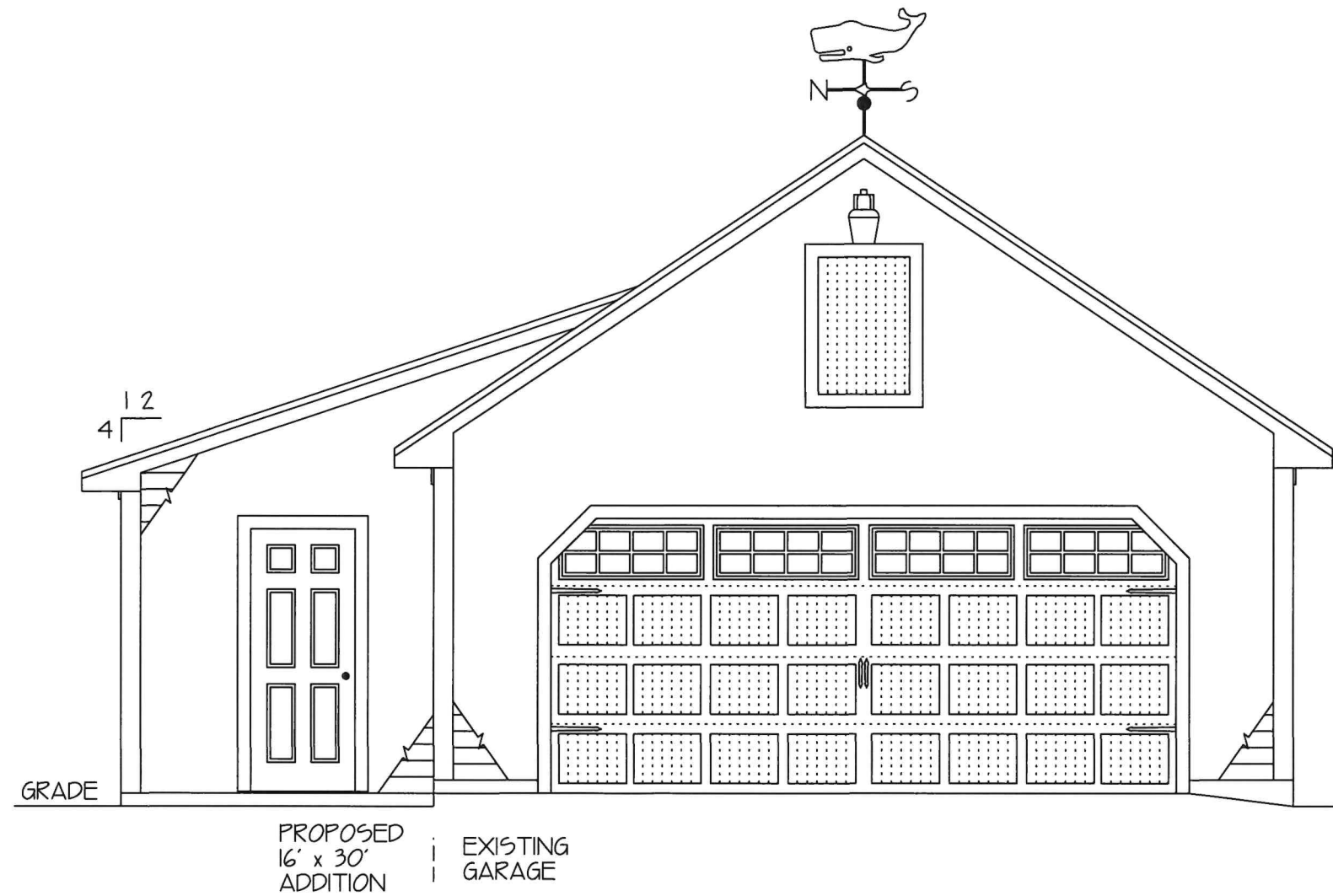
TYPICAL EXTERIOR SPECIFICATIONS
 3 TAB ASPHALT ROOF SHINGLES, RIDGE VENT,
 HARDIPLANK CLAPBOARDS, 1" x 6" CORNER BOARDS,
 1" x 6" FASCIA BOARDS, 1" x 1 2" SOFFIT BOARDS,
 SOFFIT VENTS, 1" x 2" TRIM ON 1" x 6" RAKE BOARDS,
 1" x 4" DOOR CASING, WRAP POSTS & BEAMS (ALL
 TRIM TO BE COMPOSITE)

PROPOSED 16' x 30' ADDITION

MR. & MRS. GABLINSKE

FRONT / NORTH ELEVATION

DATE: 4 - 3 - 2 6 SCALE: 1/4" = 1'-0" PAGE: 1 OF 8



TYPICAL EXTERIOR SPECIFICATIONS
 3 TAB ASPHALT ROOF SHINGLES, RIDGE VENT,
 HARDIPLANK CLAPBOARDS, 1" x 6" CORNER BOARDS,
 1" x 6" FASCIA BOARDS, 1" x 1 2" SOFFIT BOARDS,
 SOFFIT VENTS, 1" x 2" TRIM ON 1" x 6" RAKE BOARDS,
 1" x 4" DOOR CASING, WRAP POSTS & BEAMS (ALL
 TRIM TO BE COMPOSITE)

PROPOSED 16' x 30' ADDITION

MR. & MRS. GABLINSKE

RIGHT / WEST ELEVATION

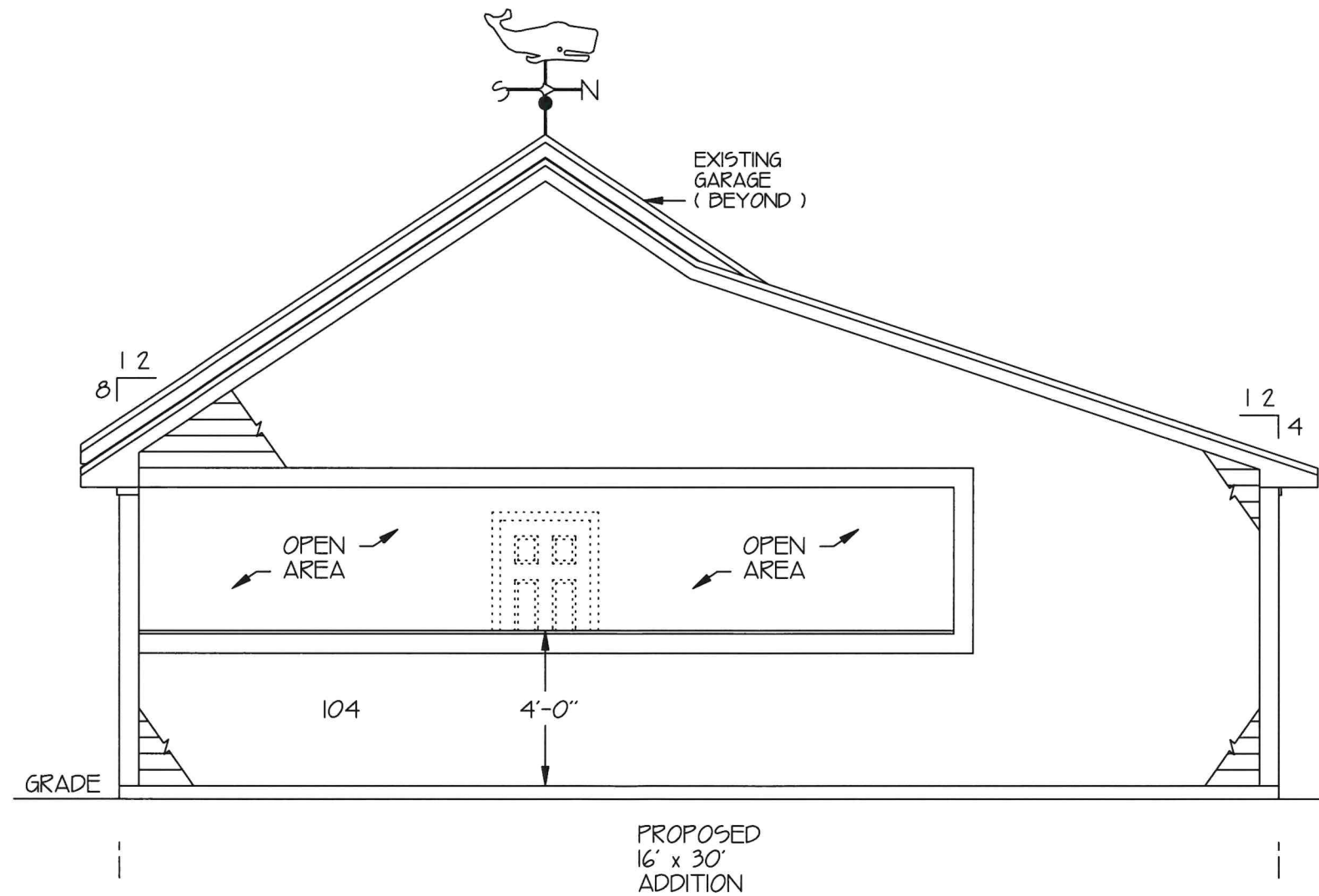
DATE: 4 - 3 - 2 6 SCALE: 1/4" = 1'-0" PAGE: 2 OF 8



EXISTING : PROPOSED
GARAGE : 16' x 30'
 : ADDITION

TYPICAL EXTERIOR SPECIFICATIONS
3 TAB ASPHALT ROOF SHINGLES, RIDGE VENT,
HARDIPLANK CLAPBOARDS, 1" x 6" CORNER BOARDS,
1" x 6" FASCIA BOARDS, 1" x 1 2" SOFFIT BOARDS,
SOFFIT VENTS, 1" x 2" TRIM ON 1" x 6" RAKE BOARDS,
1" x 4" DOOR CASING, WRAP POSTS & BEAMS (ALL
TRIM TO BE COMPOSITE)

PROPOSED 16' x 30' ADDITION		
MR. & MRS. GABLINSKE		
REAR / SOUTH ELEVATION		
DATE: 4 - 2 - 26	SCALE: 1/4" = 1'-0"	PAGE: 3 OF 8



KEY NOTE:

104 2" x 4" x 4'-0" HIGH HALF WALL W/ 1" x 6" COMPOSITE CAP.

TYPICAL EXTERIOR SPECIFICATIONS
 3 TAB ASPHALT ROOF SHINGLES, RIDGE VENT,
 HARDIPLANK CLAPBOARDS, 1" x 6" CORNER BOARDS,
 1" x 6" FASCIA BOARDS, 1" x 1 2" SOFFIT BOARDS,
 SOFFIT VENTS, 1" x 2" TRIM ON 1" x 6" RAKE BOARDS,
 1" x 4" DOOR CASING, WRAP POSTS & BEAMS (ALL
 TRIM TO BE COMPOSITE)

PROPOSED 16' x 30' ADDITION

MR. & MRS. GABLINSKE

LEFT / EAST ELEVATION

DATE: 4 - 3 - 2 6 SCALE: 1/4" = 1'-0" PAGE: 4 OF 8

TYPICAL POOL HOUSE ROOF RAFTER CONSTRUCTION
2" x 8" RIDGE BOARD, RIDGE VENT, 2" x 6"
@ 16" O.C. RAFTERS, SIMPSON H2.5 HURRICANE
TIE (EACH RAFTER), 2" x 10" x 18'-0" @ 16"
O.C. RAFTER TIES, 5/8" T+G "ADVANTECH" OSB
ROOF SHEATHING, FELT PAPER, 3 TAB ASPHALT
ROOF SHINGLES & (APPLY ICE / WATER SHIELD
BARRIER ALONG THE EAVES) (SEE APPENDIX
"AA" FOR CODE DETAILS)

TYPICAL OPEN SPACE ROOF RAFTER CONSTRUCTION
2" x 10" NAILER BOARD, 2" x 6" @ 16" O.C.
RAFTERS, SIMPSON H2.5 HURRICANE TIE (EACH
RAFTER), 2" x 4" x 2'-2"H SUPPORT WALL, 5/8"
T+G "ADVANTECH" OSB ROOF SHEATHING, FELT
PAPER, 3 TAB ASPHALT ROOF SHINGLES &
(APPLY ICE / WATER SHIELD BARRIER ALONG
THE EAVES) (SEE APPENDIX "AA" FOR CODE
DETAILS)

TYPICAL SOFFIT CONSTRUCTION
2" x 6" SUB-FASCIA BOARD, 1" x 6" FASCIA
BOARD, 1" x 12" SOFFIT BOARD, SOFFIT VENTS
& 4" x 5" ALUMINUM GUTTERS + DOWNSPOUTS
(ALL TRIM TO BE COMPOSITE)

TYPICAL POOL HOUSE CEILING CONSTRUCTION
2" x 10" x 18' @ 16" O.C. RAFTER TIES +
LOWER RAFTERS, 1" x 3" @ 16" O.C. FURRING
& WAINSCOTTING

TYPICAL OPEN SPACE CEILING CONSTRUCTION
2" x 6" @ 16" O.C. CEILING JOISTS, 1" x 3" @
16" O.C. FURRING & 1/2" IMPERIAL BOARD +
PLASTER

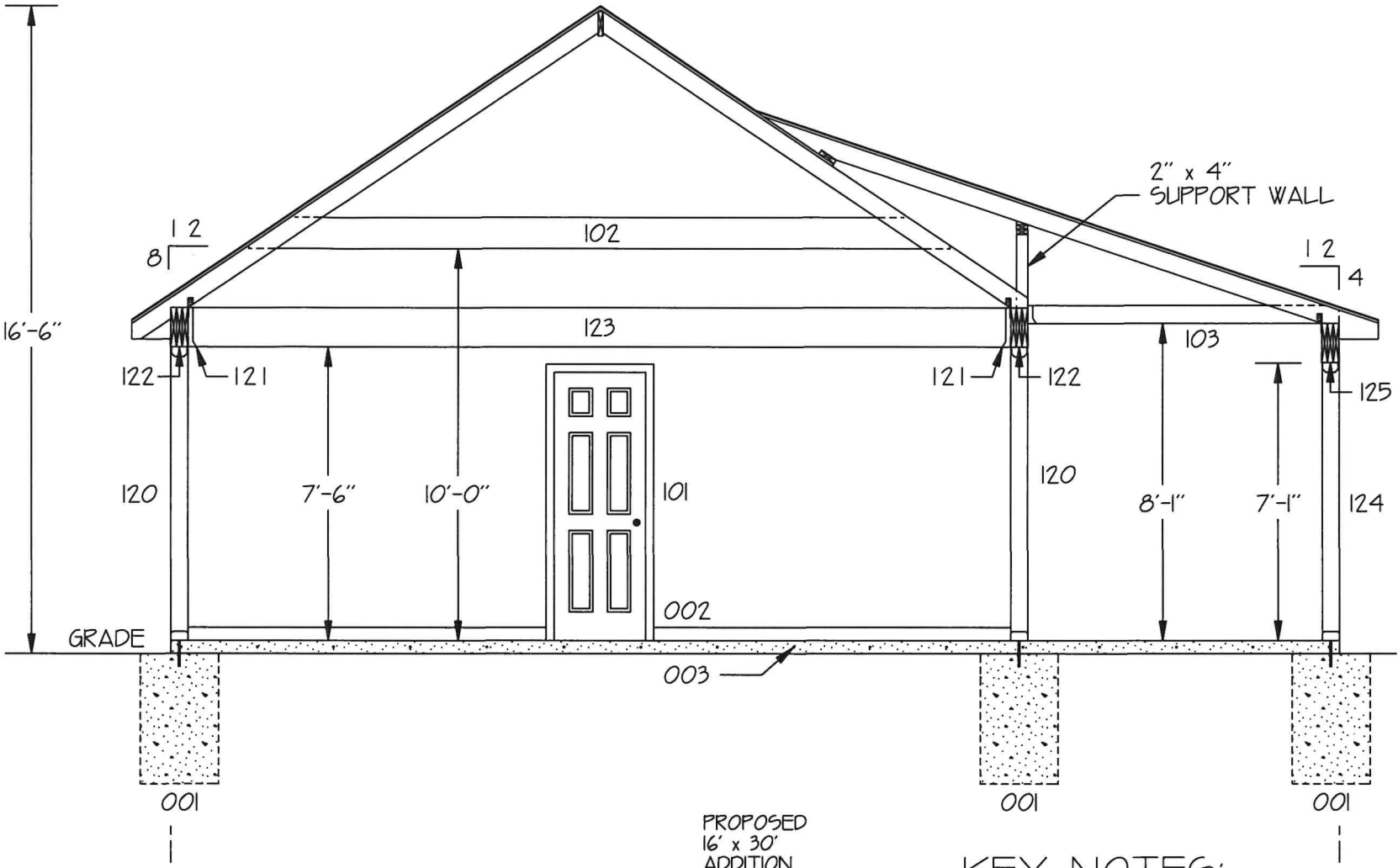
TYPICAL EXTERIOR WALL CONSTRUCTION
2" x 4" @ 16" O.C. STUDS, W/ 1/2" CDX PLY-
SCORE SHEATHING, TYPAR VAPOR PAPER,
HARDIPLANK CLAPBOARD, (2) - 2" x 4" TOP
PLATES, 2" x 4" BOTTOM PLATE, 2" x 4" P.T.
SILL PLATE & SILL INSULATION W/ FLASHING
(SEE APPENDIX "AA" FOR CODE DETAILS)

TYPICAL INTERIOR WALL CONSTRUCTION
2" x 4" @ 16" O.C. STUDS & 1/2" IMPERIAL
BOARD + PLASTER

TYPICAL PIER CONSTRUCTION
24"W x 24"L x 40"D CONCRETE (2500 PSI)
PIERS (TYPICAL OF 4)

TYPICAL ADDITION SLAB CONSTRUCTION
4" CONCRETE SLAB (3000 PSI), 8"
COMPACTED GRAVEL & 24" x 24" O.C. #4
REBAR (MASONRY DRILL INTO EXISTING
GARAGE FOUNDATION)

TYPICAL MEASUREMENTS FOR CONSTRUCTION
FIELD VERIFY ALL MEASUREMENTS. VERIFY
NEW ADDITION ROOF PITCH TO MATCH
EXISTING GARAGE ROOF PITCH & TRIMS.
ADDITION SLAB TO MATCH EXISTING
GARAGE SLAB



STRUCTURAL - TO BE SIZED BY OTHERS

- 120 5 1/4" x 5 1/4" x 7'-6" VERSA-LAM COLUMN
W/ SIMPSON POST TO BEAM CONNECTOR
& POST ANCHOR BASE (ALL FASTENERS
TO BE GALVANIZED)
- 121 SIMPSON CONCEALED HANGER FOR (3) -
1-3/4" x 11 7/8" "LVL" (BEAM ABOVE).
- 122 (3) - 1-3/4" x 11 7/8" "LVL" (BEAM
ABOVE) (16'-0" OVERALL LENGTH).
- 123 (3) - 1-3/4" x 11 7/8" "LVL" (BEAM
ABOVE) (21'-1" OVERALL LENGTH).
- 124 5 1/4" x 5 1/4" x 7'-1" VERSA-LAM COLUMN
W/ SIMPSON POST TO BEAM CONNECTOR
& POST ANCHOR BASE (ALL FASTENERS
TO BE GALVANIZED)
- 125 (3) - 1-3/4" x 11 7/8" "LVL" (BEAM
ABOVE) (16'-4" OVERALL LENGTH).

KEY NOTES:

- 001 24"W x 24"L x 40"D CONCRETE PIERS
(TYPICAL OF 4).
- 002 MASONRY SAW CUT FOUNDATION FOR
NEW 2668 DOOR.
- 003 24" x 24" O.C. #4 REBAR (MASONRY
DRILL INTO EXISTING GARAGE FOUNDATION).
- 101 REMOVE EXISTING WINDOW, HEADER & 2" x 4"
WALL. INSTALL NEW (2) - 2" x 6" HEADER
(ABOVE) & 2668 DOOR.
- 102 DIRECTION OF 2" x 10" @ 16" O.C. RAFTER
TIES (ABOVE).
- 103 DIRECTION OF 2" x 6" @ 16" O.C. CEILING
JOISTS (ABOVE).

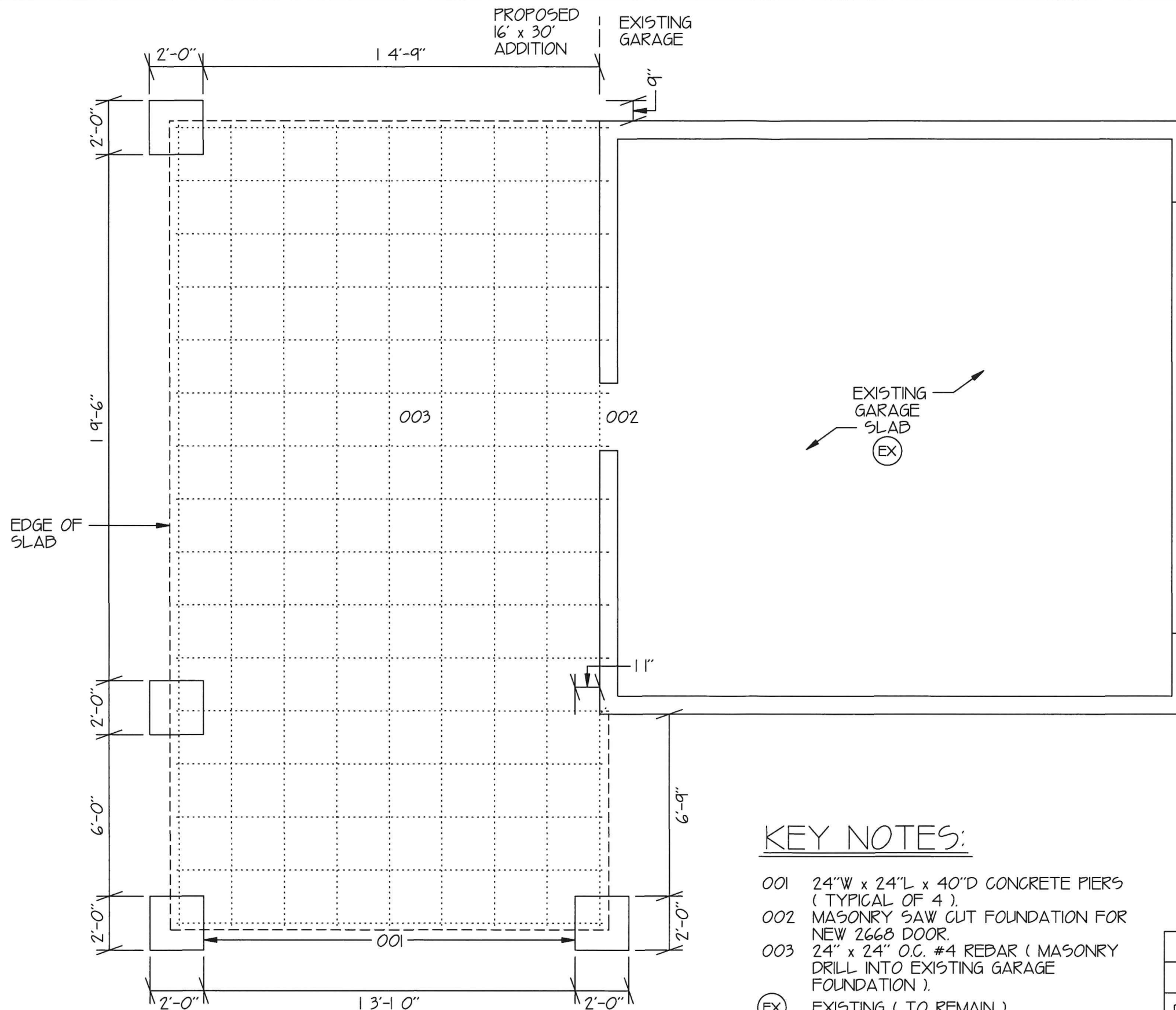
PROPOSED 16' x 30' ADDITION

MR. & MRS. GABLINSKE

CROSS-SECTION PLAN

LEFT / EAST ELEVATION

DATE: 4-3-26 SCALE: 1/4" = 1'-0" PAGE: 5 OF 8



KEY NOTES:

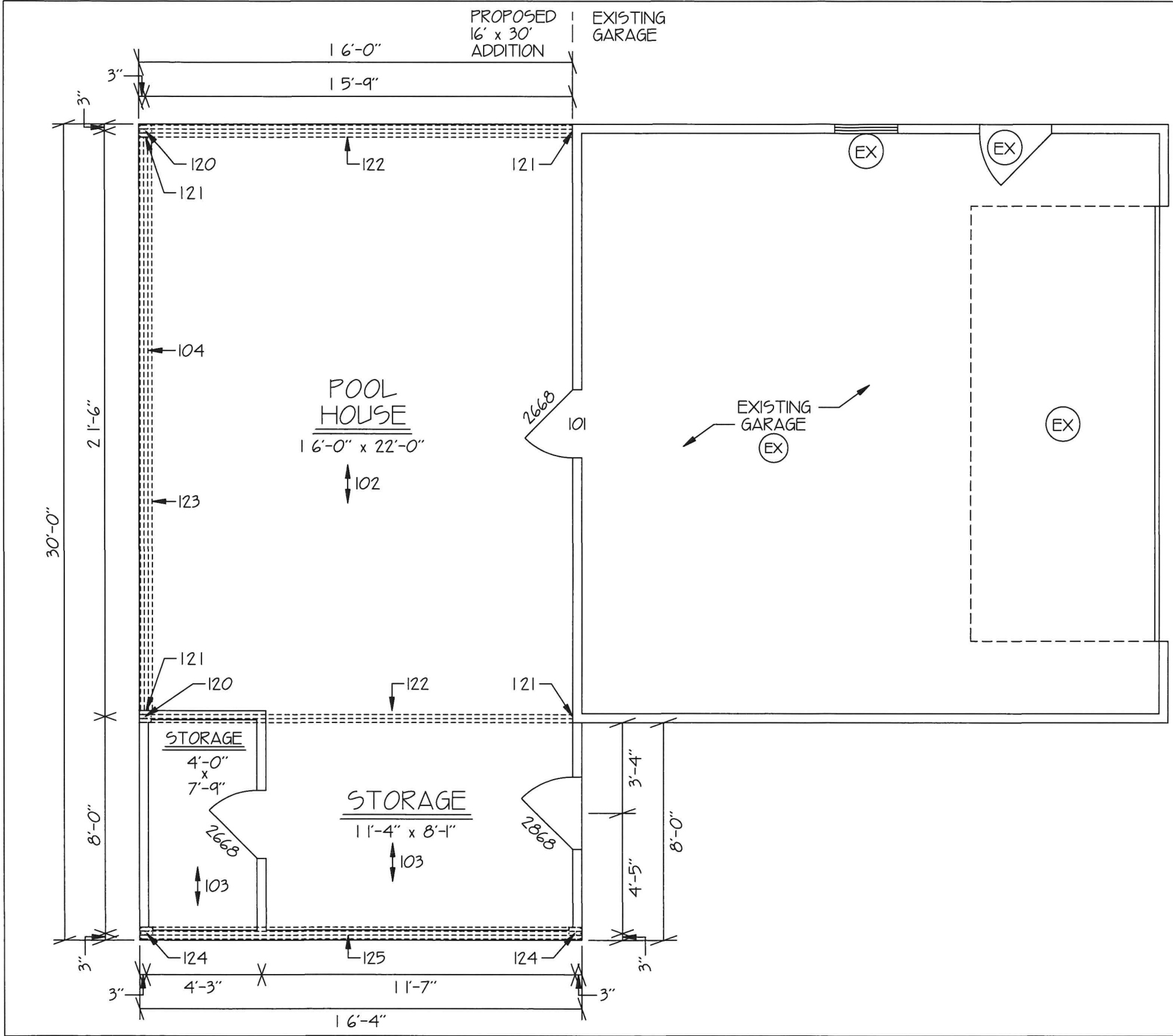
- 001 24"W x 24"L x 40"D CONCRETE PIERS (TYPICAL OF 4).
- 002 MASONRY SAW CUT FOUNDATION FOR NEW 2668 DOOR.
- 003 24" x 24" O.C. #4 REBAR (MASONRY DRILL INTO EXISTING GARAGE FOUNDATION).
- (EX) EXISTING (TO REMAIN).

PROPOSED 16' x 30' ADDITION

MR. & MRS. GABLINSKE

FOUNDATION PLAN

DATE: 4 - 3 - 26 SCALE: 1/4" = 1'-0" PAGE: 6 OF 8



KEY NOTES:

- 101 REMOVE EXISTING WINDOW, HEADER & 2" x 4" WALL. INSTALL NEW (2) - 2" x 6" HEADER (ABOVE) & 2668 DOOR.
- 102 DIRECTION OF 2" x 1 0" @ 1 6" O.C. RAFTER TIES (ABOVE).
- 103 DIRECTION OF 2" x 6" @ 1 6" O.C. CEILING JOISTS (ABOVE).
- 104 2" x 4" x 4'-0" HIGH HALF WALL W/ 1" x 6" COMPOSITE CAP.
- (EX) EXISTING (TO REMAIN).

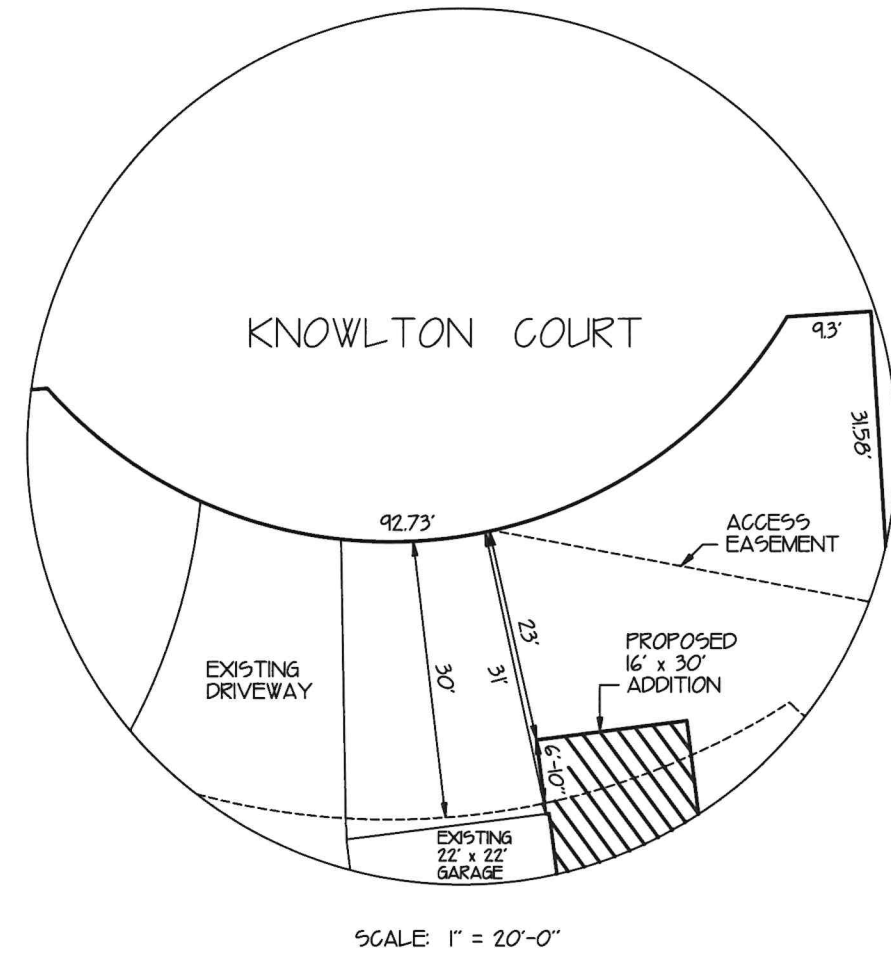
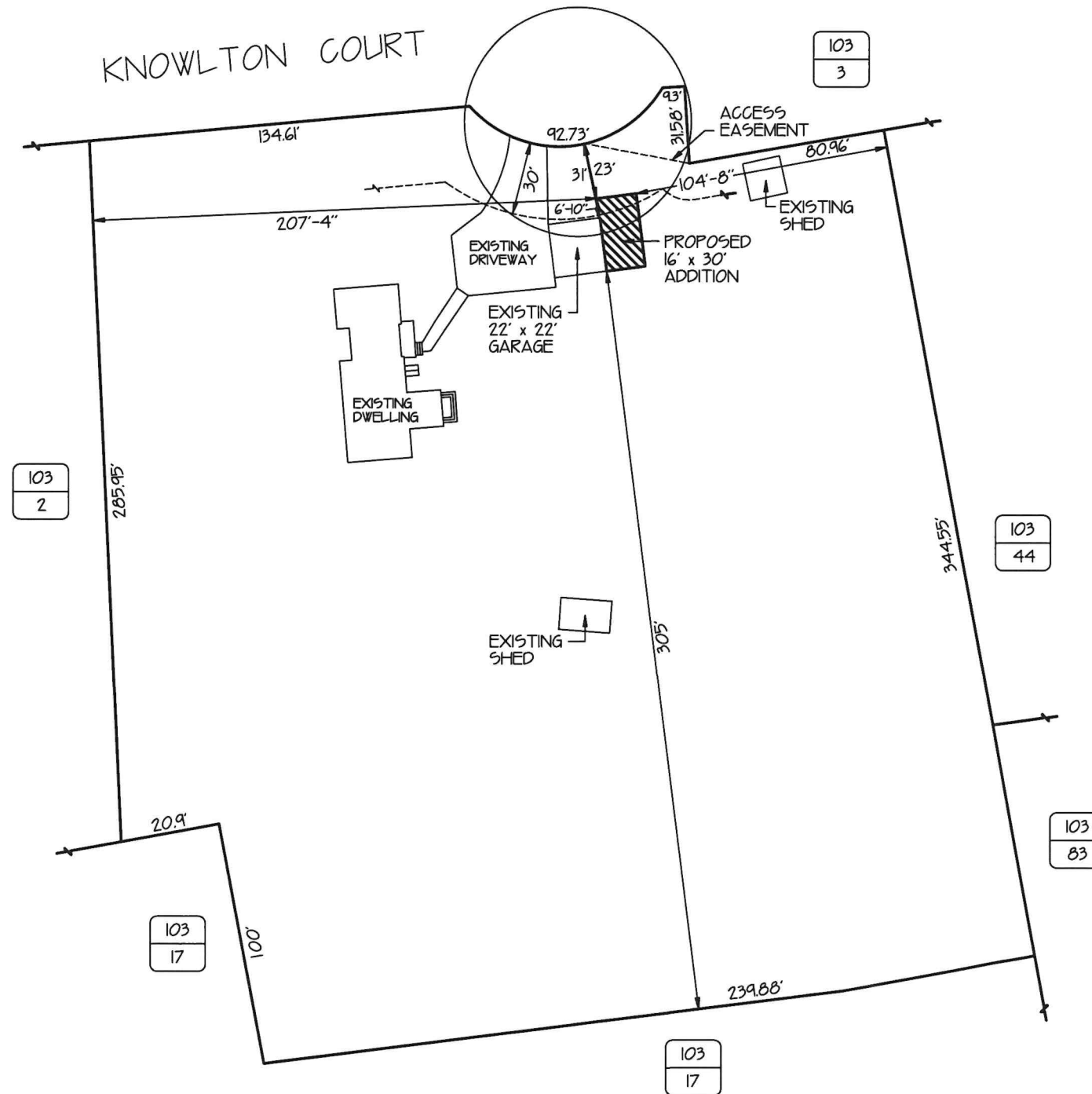
NOTES:

- 1. FIELD VERIFY ALL DOOR MEASUREMENTS & CASINGS.
- 2. VERIFY W/ THE HOMEOWNERS REMODEL SPECIFICATIONS LIST.
- 3. FIELD VERIFY ALL MEASUREMENTS.

STRUCTURAL - TO BE SIZED BY OTHERS

- 120 5 1/4" x 5 1/4" x 7'-6" VERSA-LAM COLUMN W/ SIMPSON POST TO BEAM CONNECTOR & POST ANCHOR BASE (ALL FASTENERS TO BE GALVANIZED)
- 121 SIMPSON CONCEALED HANGER FOR (3) - 1-3/4" x 11 7/8" "LVL" (BEAM ABOVE).
- 122 (3) - 1-3/4" x 11 7/8" "LVL" (BEAM ABOVE) (1 6'-0" OVERALL LENGTH).
- 123 (3) - 1-3/4" x 11 7/8" "LVL" (BEAM ABOVE) (2 1'-1" OVERALL LENGTH).
- 124 5 1/4" x 5 1/4" x 7'-1" VERSA-LAM COLUMN W/ SIMPSON POST TO BEAM CONNECTOR & POST ANCHOR BASE (ALL FASTENERS TO BE GALVANIZED)
- 125 (3) - 1-3/4" x 11 7/8" "LVL" (BEAM ABOVE) (1 6'-4" OVERALL LENGTH).

PROPOSED 16' x 30' ADDITION		
MR. & MRS. GABLINSKE		
FLOOR PLAN		
DATE: 4-3-26	SCALE: 1/4" = 1'-0"	PAGE: 7 OF 8



6 KNOWLTON COURT
 PLAT 103
 LOT 14
 2.71 ACRES ±

PROPOSED 16' x 30' ADDITION

MR. & MRS. GABLINSKE

SITE PLAN

DATE: 4-3-26 SCALE: 1" = 60'-0" PAGE: 8 OF 8



6 Knowlton Ct. - 300' Radius

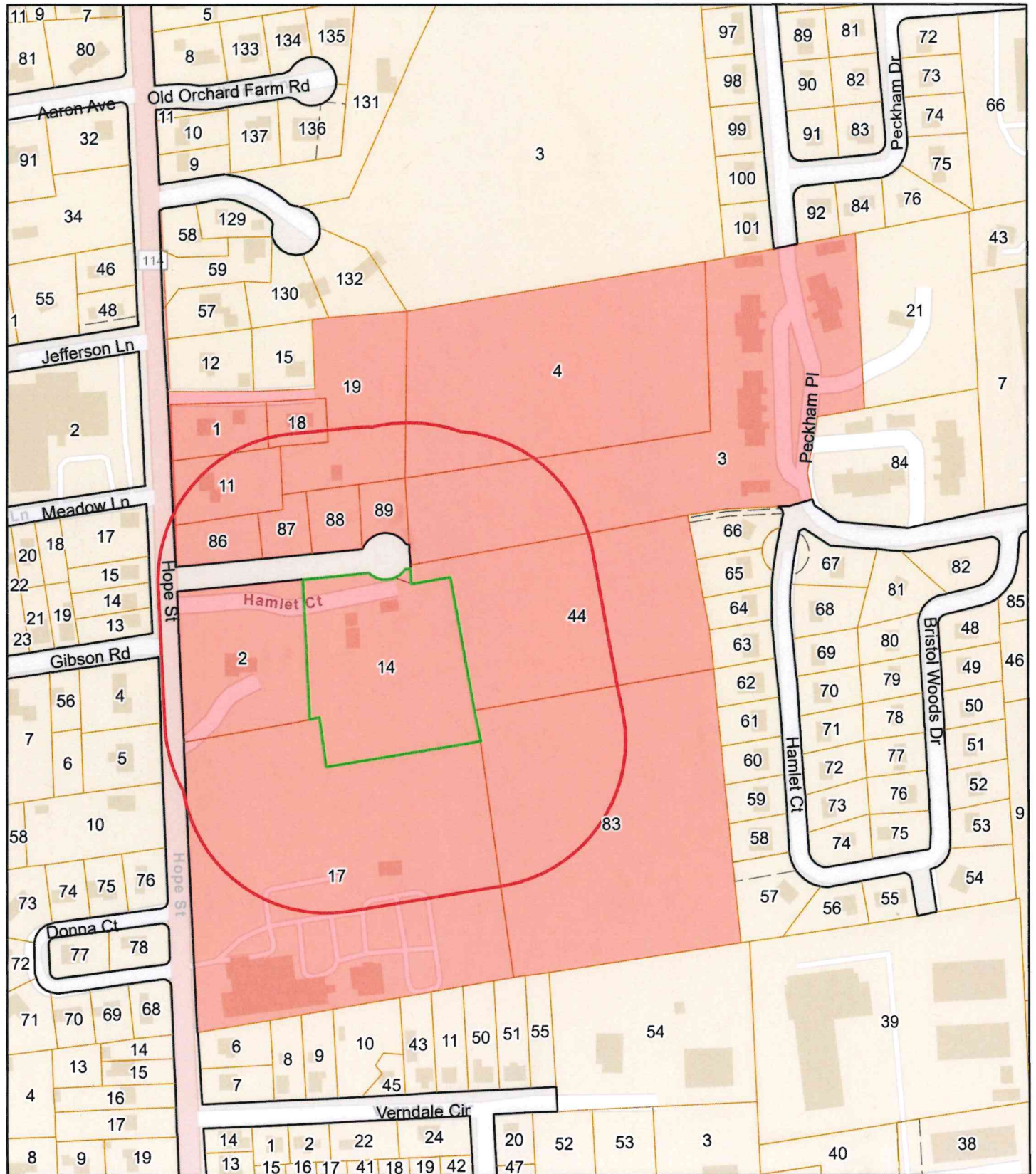
Town of Bristol, RI

1 inch = 282 Feet



www.cai-tech.com

August 13, 2026



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300 feet Abutters List Report

Bristol, RI
August 13, 2026

Subject Property:

Parcel Number: 103-14
CAMA Number: 103-14
Property Address: 6 KNOWLTON CT

Mailing Address: GABLINSKE, DOUGLAS W. & PATRICIA
B. TE
6 KNOWLTON CT
BRISTOL, RI 02809

Abutters:

Parcel Number: 103-1
CAMA Number: 103-1
Property Address: 1222 HOPE ST

Mailing Address: SYLVESTER, JAMES J II & MADALENA
TE
1224 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-11
CAMA Number: 103-11
Property Address: 1220 HOPE ST

Mailing Address: ASCIOLA, JOSEPH P. & ERIN TE
1220 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-14
CAMA Number: 103-14
Property Address: 6 KNOWLTON CT

Mailing Address: GABLINSKE, DOUGLAS W. & PATRICIA
B. TE
6 KNOWLTON CT
BRISTOL, RI 02809

Parcel Number: 103-17
CAMA Number: 103-17
Property Address: 1180 HOPE ST

Mailing Address: BRISTOL COUNTY MED ASSOC INC.
1180 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-17
CAMA Number: 103-17
Property Address: 1180 HOPE ST

Mailing Address: BRISTOL COUNTY MED ASSOC INC.
1180 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-18
CAMA Number: 103-18
Property Address: 1224 HOPE ST

Mailing Address: SYLVESTER, JAMES J II & MADALENA
TE
1224 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-19
CAMA Number: 103-19
Property Address: HOPE ST

Mailing Address: SYLVESTER, JAMES J II & MADALENA
TE
1224 HOPE ST
BRISTOL, RI 02809

Parcel Number: 103-2
CAMA Number: 103-2
Property Address: 1200 HOPE ST

Mailing Address: INFINITY 1217, LLC
545 CAMP DIXIE RD
PASCOAG, RI 02859

Parcel Number: 103-3
CAMA Number: 103-3-001
Property Address: C-1 BRISTOL WOODS DR

Mailing Address: HAWK, DAVID Q. & HAWK, JANET L.
TRUSTEES
331 JACK NICKLAUS DR
LAKEWAY, TX 78738

Parcel Number: 103-3
CAMA Number: 103-3-002
Property Address: C-2 BRISTOL WOODS DR

Mailing Address: NOBLE, JOHN A. & POISSON, PHYLLIS
C-2 BRISTOL WOODS DR
BRISTOL, RI 02809



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8/13/2026

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Page 1 of 4



300 feet Abutters List Report

Bristol, RI
August 13, 2026

Parcel Number: 103-3
CAMA Number: 103-3-003
Property Address: C-3 BRISTOL WOODS DR

Mailing Address: BILOTTI, JACQUELYN
3 BRISTOL WOODS DR # C 3
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-004
Property Address: C-4 BRISTOL WOODS DR

Mailing Address: USTUNKOK, OKAN MUALLA TE
C-4 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-005
Property Address: C-5 BRISTOL WOODS DR

Mailing Address: SILVIA, STEVEN R. & HOPPS, PETER C.
TRUSTEES
C-5 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-006
Property Address: C-6 BRISTOL WOODS DR

Mailing Address: MORAIS, MARIO B & LENTINI, ANDREA
R TE
C-6 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-007
Property Address: C-8 BRISTOL WOODS DR

Mailing Address: DREW, LANA M & DAVID J JT
C-8 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-008
Property Address: D-1 BRISTOL WOODS DR

Mailing Address: SILVA, DENISE A.
1D BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-009
Property Address: D-2 BRISTOL WOODS DR

Mailing Address: CHALMERS PATRICIA E
D2 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-010
Property Address: D-3 BRISTOL WOODS DR

Mailing Address: GERARDI, FRANK W & BRENDA E TE
490 THAMES ST
NEWPORT, RI 02840

Parcel Number: 103-3
CAMA Number: 103-3-011
Property Address: D-4 BRISTOL WOODS DR

Mailing Address: RIDDER, ELISABETH ANNE
D-4 BRISTOL WOODS DR
BRISTOL, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-012
Property Address: D-5 BRISTOL WOODS DR

Mailing Address: MILFORD NATIONAL BANK & TRUST
TRUSTEE-C/O ROCKLAND TRUST
BANKL
300 EAST MAIN ST
MILFORD, MA 01757

Parcel Number: 103-3
CAMA Number: 103-3-013
Property Address: D-6 BRISTOL WOODS DR

Mailing Address: JONES, JOSEPH HUW & JONES,
SANDRA LEE TE
D-6 BRISTOL WOODS DR
Bristol, RI 02809

Parcel Number: 103-3
CAMA Number: 103-3-014
Property Address: D-8 BRISTOL WOODS DR

Mailing Address: JOHNSON, GAIL A. TRUSTEE GAIL A.
JOHNSON TRUST
BRISTOL WOODS DR UNIT D8
BRISTOL, RI 02809



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8/13/2026

Page 2 of 4



300 feet Abutters List Report

Bristol, RI
August 13, 2026

Parcel Number: 103-3 CAMA Number: 103-3-015 Property Address: E-1 BRISTOL WOODS DR	Mailing Address: TULENFELD, ROSA 2030 SOUTH OCEAN DR UNIT 1124 HALLANDALE, FL 33009
Parcel Number: 103-3 CAMA Number: 103-3-016 Property Address: E-2 BRISTOL WOODS DR	Mailing Address: VIEIRA, GEORGE DEBORAH TE E2 BRISTOL WOODS DR BRISTOL, RI 02809
Parcel Number: 103-3 CAMA Number: 103-3-017 Property Address: E-3 BRISTOL WOODS DR	Mailing Address: ROSSI, MARIE CLAUDE LIFE EST ROSSI, KATHARINE E-3 BRISTOL WOODS DR BRISTOL, RI 02809
Parcel Number: 103-3 CAMA Number: 103-3-018 Property Address: E-4 BRISTOL WOODS DR	Mailing Address: TABOR, WARNER H III E-4 BRISTOL WOODS DR BRISTOL, RI 02809
Parcel Number: 103-3 CAMA Number: 103-3-019 Property Address: E-5 BRISTOL WOODS DR	Mailing Address: FAY, LEILA J. E-5 BRISTOL WOODS DR BRISTOL, RI 02809
Parcel Number: 103-3 CAMA Number: 103-3-020 Property Address: E-6 BRISTOL WOODS DR	Mailing Address: BELLAFATTO, JOHN A. E-6 BRISTOL WOODS DR. BRISTOL, RI 02809
Parcel Number: 103-3 CAMA Number: 103-3-021 Property Address: E-7 BRISTOL WOODS DR	Mailing Address: RODERICK, ELAINE S. TRUSTEE E-7 BRISTOL WOODS DR BRISTOL, RI 02809
Parcel Number: 103-3 CAMA Number: 103-3-022 Property Address: E-8 BRISTOL WOODS DR	Mailing Address: WALKER, DEBORAH I. E-8 BRISTOL WOODS BRISTOL, RI 02809
Parcel Number: 103-3 CAMA Number: 103-3-023 Property Address: E-10 BRISTOL WOODS DR	Mailing Address: RECUPERO, JOSEPH J. & PATRICIA R. TE E-10 BRISTOL WOODS DR BRISTOL, RI 02809
Parcel Number: 103-3 CAMA Number: 103-3-024 Property Address: E-12 BRISTOL WOODS DR	Mailing Address: CASTRO, ELISIO & ARMINDA P TE E-12 BRISTOL WOODS DR BRISTOL, RI 02809
Parcel Number: 103-4 CAMA Number: 103-4 Property Address: HOPE ST	Mailing Address: KLEIN, DOUGLAS C. JR & SARAH TE 3 OLD ORCHARD FARM RD BRISTOL, RI 02809
Parcel Number: 103-44 CAMA Number: 103-44 Property Address: HAMLET CT	Mailing Address: TOWN OF BRISTOL 10 COURT ST BRISTOL, RI 02809



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8/13/2026

Page 3 of 4



300 feet Abutters List Report

Bristol, RI
August 13, 2026

Parcel Number: 103-83
CAMA Number: 103-83
Property Address: HAMLET CT

Mailing Address: TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

Parcel Number: 103-86
CAMA Number: 103-86
Property Address: 1 KNOWLTON CT

Mailing Address: WERNECKE, JOEL A. & JIN Y. TE
1 KNOWLTON CT
BRISTOL, RI 02809

Parcel Number: 103-87
CAMA Number: 103-87
Property Address: 3 KNOWLTON CT

Mailing Address: A.G. CONSTRUCTION, INC.
P.O. BOX 600
PORTSMOUTH, RI 02871

Parcel Number: 103-88
CAMA Number: 103-88
Property Address: 5 KNOWLTON CT

Mailing Address: LANCASTER, MICHAEL HANLON &
ROBIN NEWCOMER TE
5 KNOWLTON CT
BRISTOL, RI 02809

Parcel Number: 103-89
CAMA Number: 103-89
Property Address: 7 KNOWLTON CT

Mailing Address: JABOUR, KATHY A.
7 KNOWLTON CT
BRISTOL, RI 02809



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8/13/2026

Page 4 of 4

A.G. CONSTRUCTION, INC.
P.O. BOX 600
PORTSMOUTH, RI 02871

GERARDI, FRANK W &
BRENDA E TE
490 THAMES ST
NEWPORT, RI 02840

NOBLE, JOHN A. &
POISSON, PHYLLIS
C-2 BRISTOL WOODS DR
BRISTOL, RI 02809

ASCIOLA, JOSEPH P. & ERIN
1220 HOPE ST
BRISTOL, RI 02809

HAWK, DAVID Q. & HAWK, JA
331 JACK NICKLAUS DR
LAKEWAY, TX 78738

RECUPERO, JOSEPH J. & PAT
E-10 BRISTOL WOODS DR
BRISTOL, RI 02809

BELLAFATTO, JOHN A.
E-6 BRISTOL WOODS DR.
BRISTOL, RI 02809

INFINITY 1217, LLC
545 CAMP DIXIE RD
PASCOAG, RI 02859

RIDDER, ELISABETH ANNE
D-4 BRISTOL WOODS DR
BRISTOL, RI 02809

BILOTTI, JACQUELYN
3 BRISTOL WOODS DR # C 3
BRISTOL, RI 02809

JABOUR, KATHY A.
7 KNOWLTON CT
BRISTOL, RI 02809

RODERICK, ELAINE S. TRUST
E-7 BRISTOL WOODS DR
BRISTOL, RI 02809

BRISTOL COUNTY MED ASSOC
1180 HOPE ST
BRISTOL, RI 02809

JOHNSON, GAIL A. TRUSTEE
GAIL A. JOHNSON TRUST
BRISTOL WOODS DR UNIT D8
BRISTOL, RI 02809

ROSSI, MARIE CLAUDE LIFE
ROSSI, KATHARINE
E-3 BRISTOL WOODS DR
BRISTOL, RI 02809

CASTRO, ELISIO & ARMINDA
E-12 BRISTOL WOODS DR
BRISTOL, RI 02809

JONES, JOSEPH HUW &
JONES, SANDRA LEE TE
D-6 BRISTOL WOODS DR
Bristol, RI 02809

SILVA, DENISE A.
1D BRISTOL WOODS DR
BRISTOL, RI 02809

CHALMERS PATRICIA E
D2 BRISTOL WOODS DR
BRISTOL, RI 02809

KLEIN, DOUGLAS C. JR & SA
3 OLD ORCHARD FARM RD
BRISTOL, RI 02809

SILVIA, STEVEN R. & HOPPS
C-5 BRISTOL WOODS DR
BRISTOL, RI 02809

DREW, LANA M & DAVID J J
C-8 BRISTOL WOODS DR
BRISTOL, RI 02809

LANCASTER, MICHAEL HANLON
5 KNOWLTON CT
BRISTOL, RI 02809

SYLVESTER, JAMES J II &
MADALENA TE
1224 HOPE ST
BRISTOL, RI 02809

FAY, LEILA J.
E-5 BRISTOL WOODS DR
BRISTOL, RI 02809

MILFORD NATIONAL BANK & T
TRUSTEE-C/O ROCKLAND TRUS
300 EAST MAIN ST
MILFORD, MA 01757

SYLVESTER, JAMES J II &
MADALENA TE
1224 HOPE ST
BRISTOL, RI 02809

GABLINSKE, DOUGLAS W. & P
6 KNOWLTON CT
BRISTOL, RI 02809

MORAIS, MARIO B &
LENTINI, ANDREA R TE
C-6 BRISTOL WOODS DR
BRISTOL, RI 02809

SYLVESTER, JAMES J II & M
1224 HOPE ST
BRISTOL, RI 02809

TABOR, WARNER H III
E-4 BRISTOL WOODS DR
BRISTOL, RI 02809

TOWN OF BRISTOL
10 COURT ST
BRISTOL, RI 02809

TULENFELD, ROSA
2030 SOUTH OCEAN DR UNIT 1124
HALLANDALE, FL 33009

USTUNKOK, OKAN
MUALLA TE
C-4 BRISTOL WOODS DR
BRISTOL, RI 02809

VIEIRA, GEORGE
DEBORAH TE
E2 BRISTOL WOODS DR
BRISTOL, RI 02809

WALKER, DEBORAH I.
E-8 BRISTOL WOODS
BRISTOL, RI 02809

WERNECKE, JOEL A. & JIN Y
1 KNOWLTON CT
BRISTOL, RI 02809