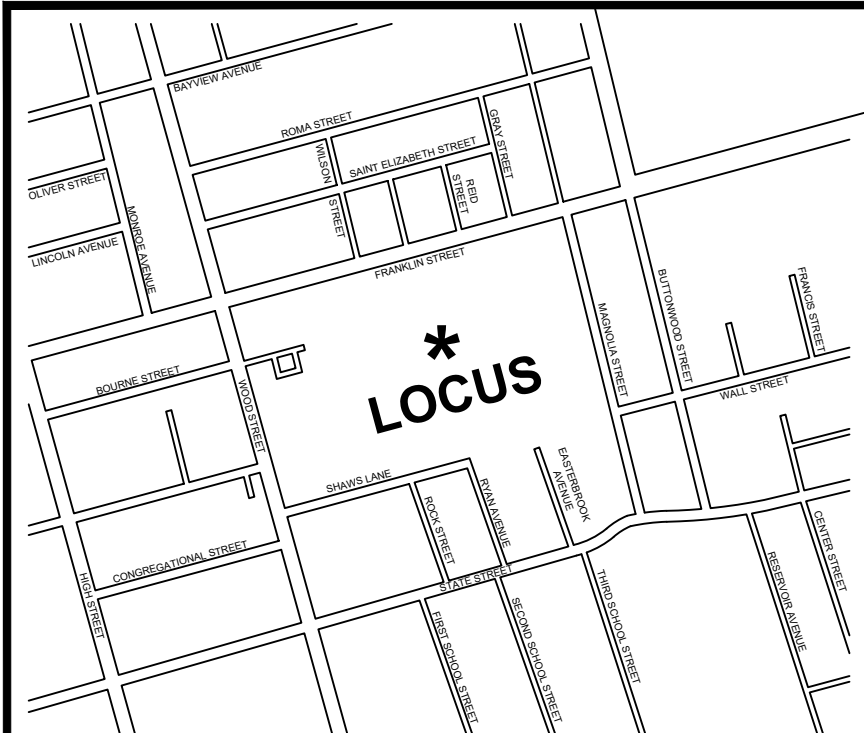




LOCUS MAP

NOT TO SCALE

GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

2. THIS SITE LIES WITHIN ZONE X FLOOD PLAIN AS SHOWN ON THE FIRM MAP FOR THE TOWN OF BRISTOL, RHODE ISLAND COMMUNITY PANEL NUMBER 44001C0014H, MAP DATED 7/7/2014.

3. THERE ARE NO KNOWN EASEMENTS OR RIGHTS OF WAY WITHIN OR ADJACENT TO THIS PARCEL UNLESS OTHERWISE SHOWN. SUCH EASEMENTS COULD EXIST ON THIS PROPERTY AND NOT APPEAR ON THIS PLAN.

4. THE HORIZONTAL DATUM SHOWN HEREIN IS BASED ON RHODE ISLAND STATE PLANE COORDINATES NAD 83 DATUM AND VERTICAL DATUM IS BASED ON NAVD 88 DATUM.

5. THERE ARE EXISTING UNDERGROUND UTILITIES LOCATED WITHIN ALL THE ROADS ALONG THIS PARCELS FRONTAGE.

6. LOT 1 HAS EXISTING ELUR AGREEMENT WITH DEM, NEW PORTION TO BE TRANSFERRED EXCLUDED FROM ELUR AGREEMENT WITH DEM.

REFERENCES:

1. A CERTAIN PLAN ENTITLED "BRISTOL INDUSTRIAL PARK CONDOMINIUM, AP 29 LOT 1, BRISTOL, R.I., SCALE 1"=50", PREPARED BY WATERMAN ENGINEERING" AND IS RECORDED IN THE BRISTOL LAND EVIDENCE RECORDS AS P.C. 213.
2. A CERTAIN PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION AND SURVEY OF LAND FOR THE BRISTOL FOUNDATION AT FRANKLIN STREET IN BRISTOL, R.I., KNOWN AS ELDER CARE II, DATE: 8/14/1998, PREPARED BY LOUIS FEDERICI & ASSOCIATES" AND IS RECORDED IN THE BRISTOL LAND EVIDENCE RECORDS AS P.C. 315.
3. A CERTAIN PLAN ENTITLED "PERIMETER SUBDIVISION AND SURVEY OF LAND DEVELOPMENT CORPORATION (APPLICANT) P.O. BOX 746, BRISTOL, R.I., AT 530 WOOD STREET, BRISTOL, R.I., DATE: 9/15/1996, PREPARED BY LOUIS FEDERICI & ASSOC., AND IS RECORDED IN THE BRISTOL LAND EVIDENCE RECORDS AS P.C. 333.
4. A CERTAIN PLAN ENTITLED "MAJOR SUBDIVISION OF LAND, BRISTOL ASSISTED LIVING FACILITY, BRISTOL INDUSTRIAL PARK, AP 29 LOT 1, BRISTOL, R.I., DATE: SEPT. 1998, SCALE: 1"=20", PREPARED BY WATERMAN ENGINEERING CO. AND IS RECORDED IN THE BRISTOL LAND EVIDENCE RECORDS AS P.C. 353.
5. A CERTAIN PLAN ENTITLED "BRISTOL INDUSTRIAL PARK, 500 WOOD STREET, BRISTOL, R.I., PHASE 1 CONSTRUCTION DOCUMENTS, PREPARED FOR MOSAICO BUSINESS & COMMUNITY DEVELOPMENT CORPORATION, PREPARED BY FUSS & O'NEILL DATE: AUG. 2014 AND IS LOCATED IN THE BRISTOL LAND EVIDENCE RECORDS AS P.C. 650.
6. A CERTAIN PLAN ENTITLED "EXISTING CONDITIONS SITE PLAN, OWNER OF RECORD: WOOD STREET INVESTORS INC., 500 WOOD STREET, BRISTOL, R.I., AP 29 LOT 1 & 2, DATE: APRIL 1, 2010, SCALE: 1"=50", PREPARED BY NARRAGANSETT ENGINEERING INC.
7. A CERTAIN PLAN ENTITLED "UTILITY PLAN, ZELLER RESEARCH LTD., AP 29 LOT 1, 500 WOOD STREET, BRISTOL, R.I., DATE: 1/31/2022, SCALE: 1"=20", PREPARED BY PRINCIPLE COMPANY."

LEGEND

NOT TO SCALE

- BOUNDARY
- BOUNDARY PROPOSED
- BOUNDARY TO BE ABANDONED
- EASEMENT PROPOSED
- EASEMENT EXISTING
- ABUTTER
- MAJOR CONTOUR
- MINOR CONTOUR
- TREELINE
- BUILDING ENVELOPE
- TELECOMMUNICATION LINE
- GAS LINE
- DRAINAGE LINE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- ZONE BOUNDARIES
- IRON PIN
- BOUND
- DRILL HOLE
- WELL
- UTILITY POLE
- WATER VALVE
- GAS VALVE
- HYDRANT

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RIGR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 1 STANDARD/CLASS III TOPO

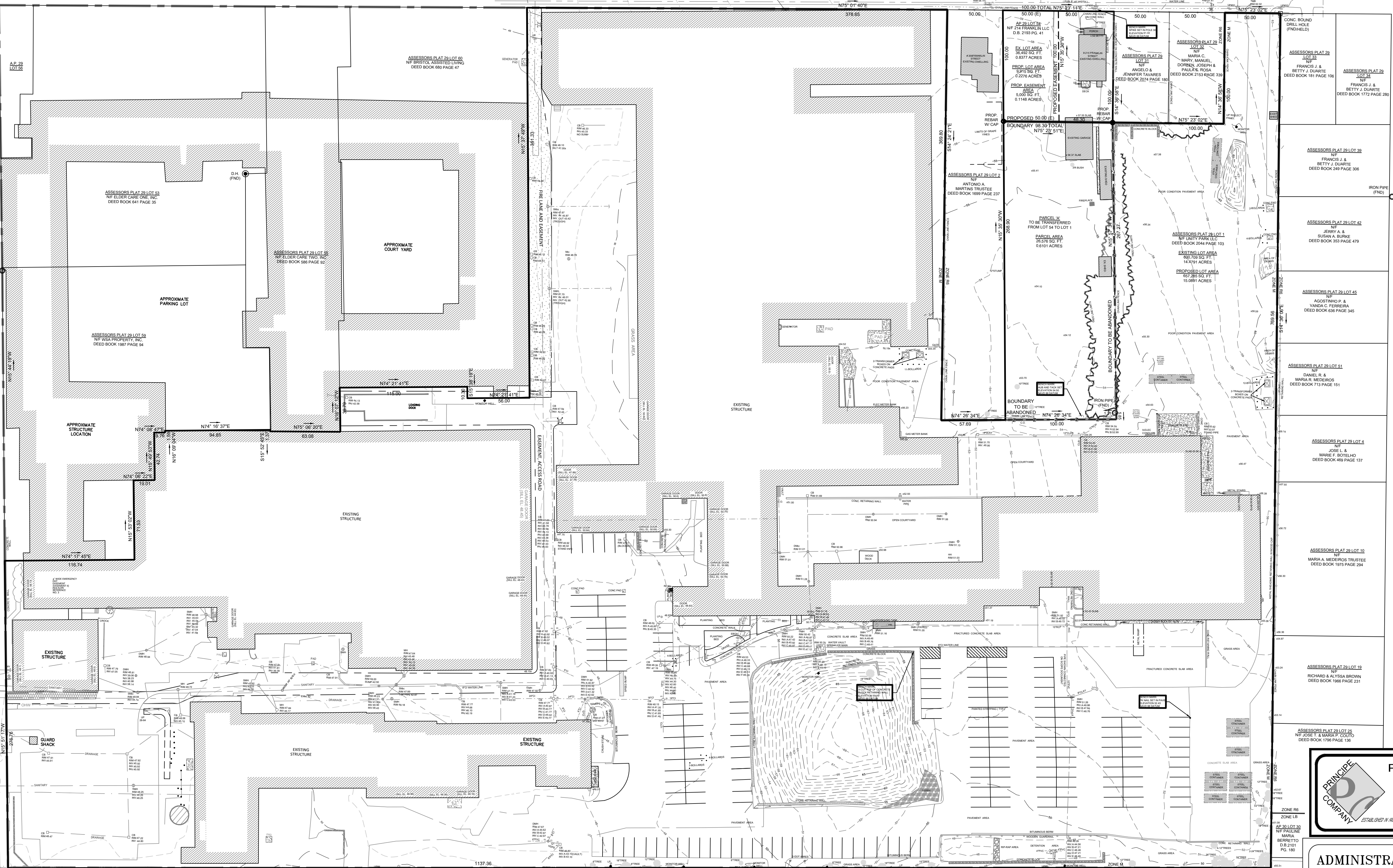
PURPOSE OF SURVEY: ADMINISTRATIVE SUBDIVISION AND PROPOSED EASEMENT

BY: *Stephen T. Long* DATE: 8/2/2025

STEPHEN T. LONG, PLS NO. 1930

DEED REFERENCES:

- DEED BOOK 79 PAGE 1
- DEED BOOK 129 PAGE 488
- DEED BOOK 137 PAGES 363-365
- DEED BOOK 216 PAGES 487, 489
- DEED BOOK 233 PAGES 332-334, 347-348
- DEED BOOK 268 PAGES 307-314
- DEED BOOK 269 PAGE 255
- DEED BOOK 288 PAGE 580
- DEED BOOK 340 PAGES 219-223
- DEED BOOK 596 PAGES 82-90
- DEED BOOK 641 PAGES 51, 58, 72, 73, 77, 80, 82
- DEED BOOK 680 PAGES 32, 38-39, 43-44
- DEED BOOK 683 PAGE 282
- DEED BOOK 1243 PAGES 6-9
- DEED BOOK 1364 PAGES 40-45



SHAWS LANE
(PUBLIC RIGHT OF WAY)

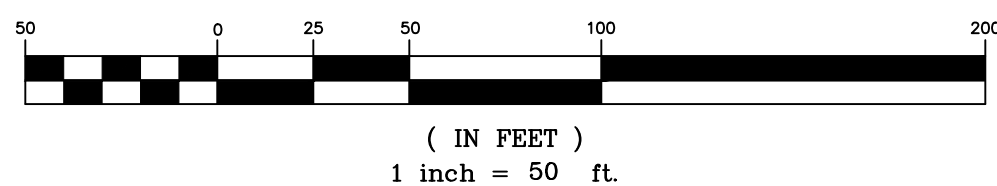
ROCK STREET
(PUBLIC RIGHT OF WAY)

RYAN AVENUE
(PUBLIC RIGHT OF WAY)

EASTBROOKS AVENUE
(PUBLIC RIGHT OF WAY)

MAGNOLIA STREET
(PUBLIC RIGHT OF WAY)

GRAPHIC SCALE



ZONING CRITERIA

ZONING DISTRICT: ZONE M
MINIMUM LOT AREA: 20,000 SQ. FT.
MINIMUM LOT FRONTAGE/WIDTH: 100'
MINIMUM FRONT YARD SETBACK: 30'
MINIMUM SIDE YARD SETBACK: 25'
MINIMUM REAR YARD SETBACK: 20'
MAXIMUM BUILDING COVERAGE: 50%
MAXIMUM BUILDING HEIGHT: 35'
(SEE ZONING REGULATION FOR THE SPECIFICS OF THIS PARCEL)
(BUILDING SETBACKS SHOWN MUST BE REVIEWED BY THE TOWN - OFFICIAL FOR ACCURACY AND COMPLIANCE)

ZONING CRITERIA

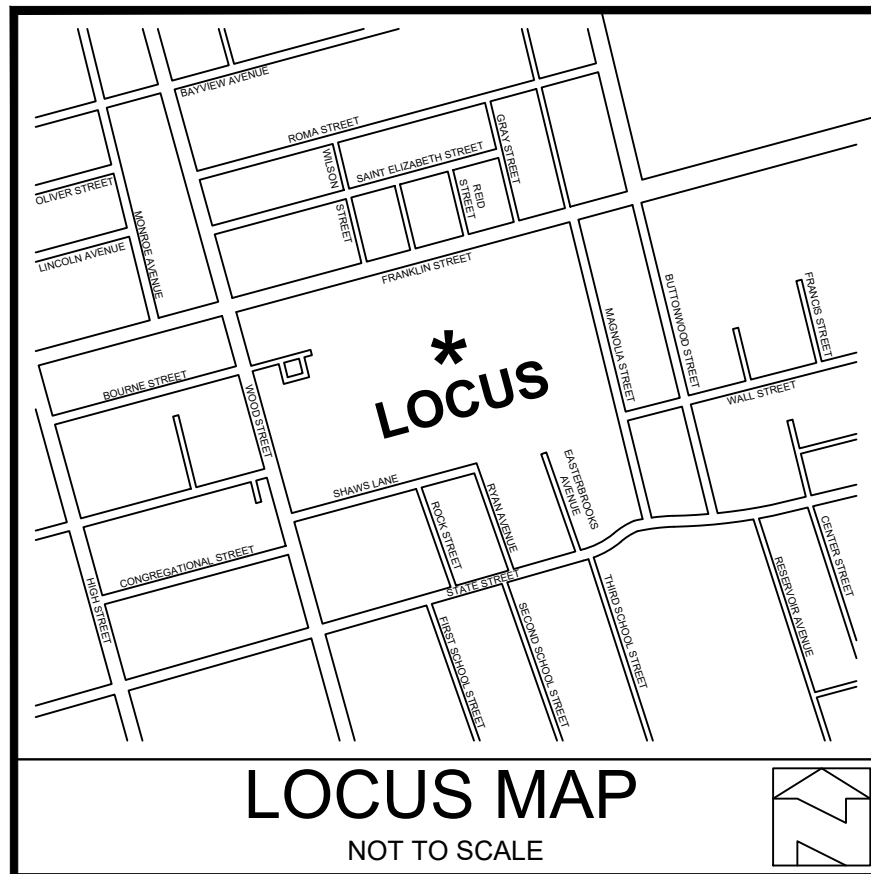
ZONING DISTRICT: ZONE R6
MINIMUM LOT AREA: 6,000 SQ. FT.
MINIMUM LOT FRONTAGE/WIDTH: 60'
MINIMUM FRONT YARD SETBACK: 20'
MINIMUM SIDE YARD SETBACK: 10'
MINIMUM REAR YARD SETBACK: 20'
MAXIMUM BUILDING COVERAGE: 30% RESIDENTIAL (35% OTHER USE)
MAXIMUM BUILDING HEIGHT: 35' (ACCESSORY 20')
(SEE ZONING REGULATION FOR THE SPECIFICS OF THIS PARCEL)
(BUILDING SETBACKS SHOWN MUST BE REVIEWED BY THE TOWN - OFFICIAL FOR ACCURACY AND COMPLIANCE)



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SURVEYING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5355
SURVEY@PRINCIPLEENGINEERING.COM
PRINCIPLEENGINEERING.COM

ADMINISTRATIVE SUBDIVISION PLAN
FOR
UNITY PARK LLC
ASSESSORS PLAT 29 LOT 1
#500 WOOD STREET
AND
214 FRANKLIN LLC
ASSESSORS PLAT 29 LOT 54
#214 FRANKLIN STREET
IN
BRISTOL, RHODE ISLAND

SCALE: 1"=50'
SHEET NO: 1 OF 2
DRAWN BY: WCR DESIGN BY: CHECKED BY: STL
DATE: 8-29-2025 PROJECT NO.: SVY-2022-10



GENERAL NOTES:

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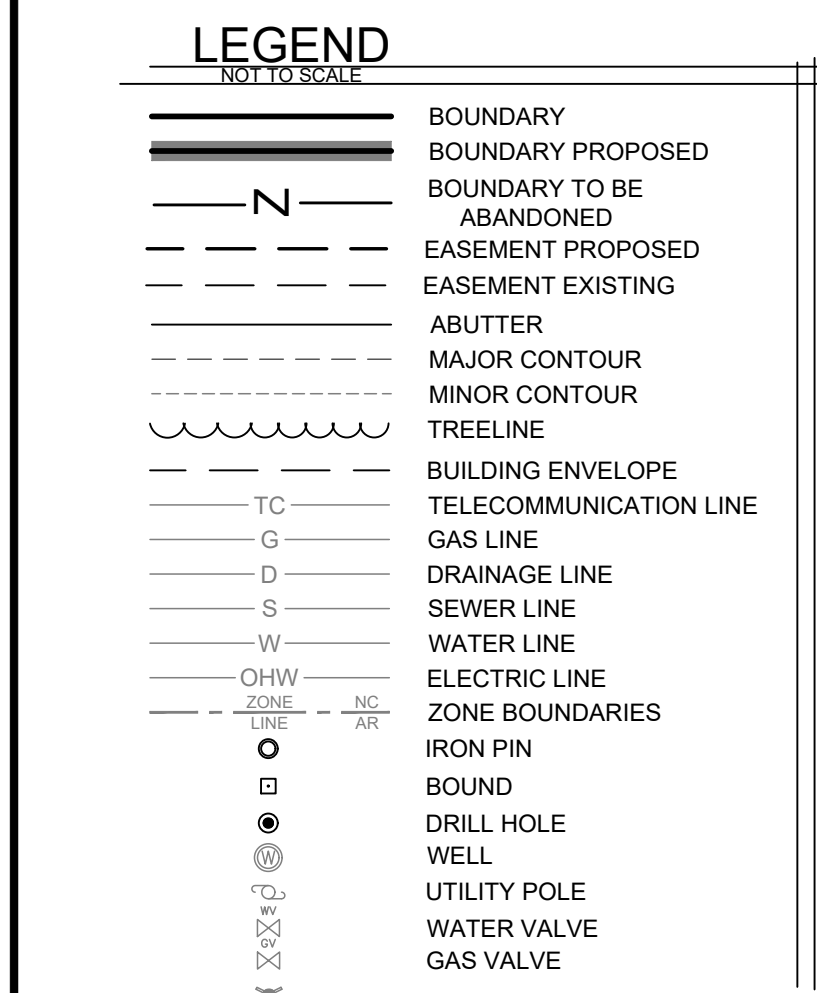
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THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RIGR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

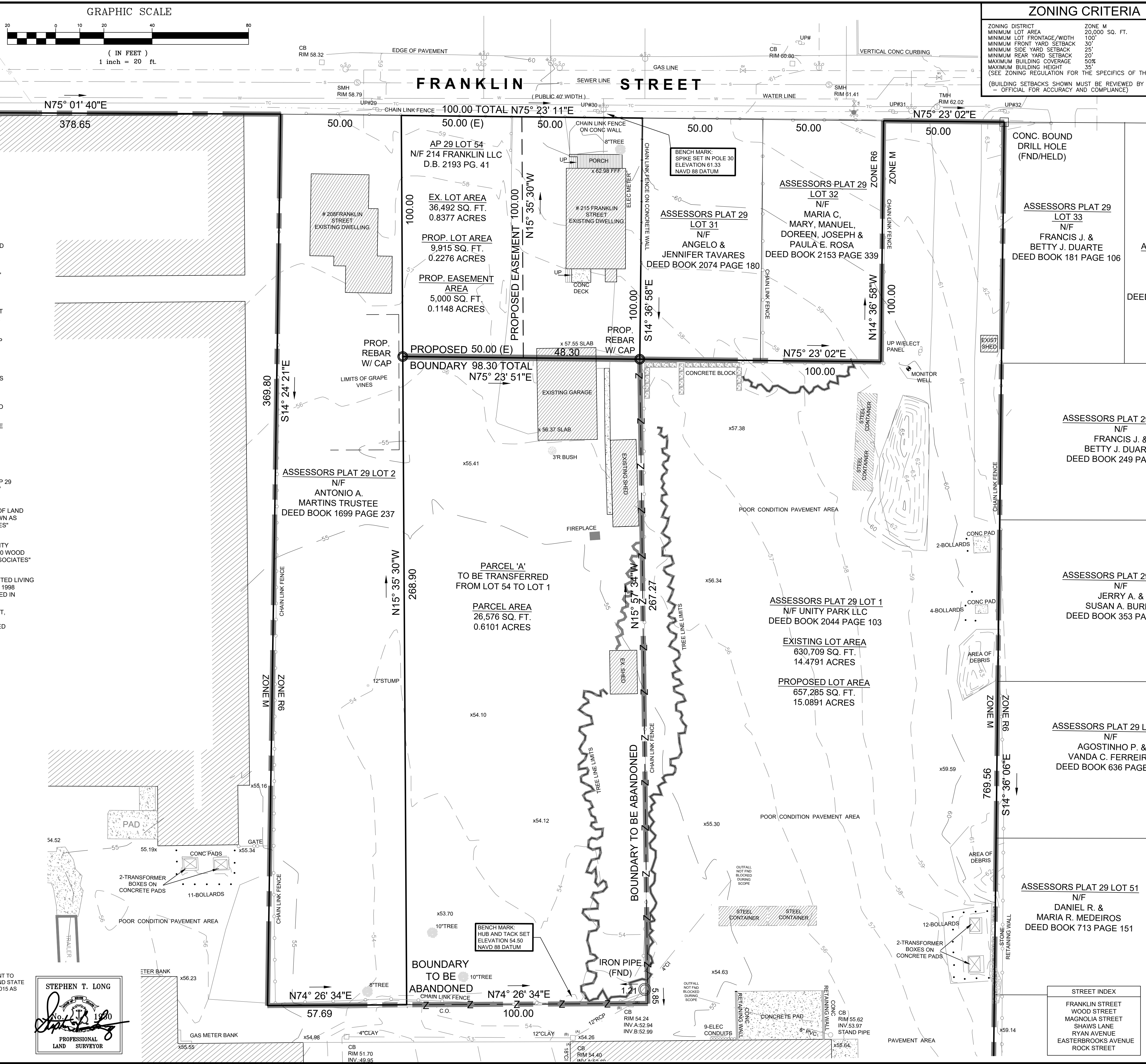
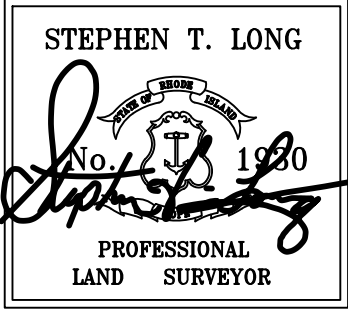
TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY

MEASUREMENT SPECIFICATION: CLASS I STANDARD/CLASS III TOPO

PURPOSE OF SURVEY: ADMINISTRATIVE SUBDIVISION AND PROPOSED EASEMENT

BY: *Stephen T. Long* DATE: 8/2/2025

STEPHEN T. LONG, PLS NO. 1930



ZONING CRITERIA

ZONING DISTRICT	ZONE M
MINIMUM LOT AREA	20,000 SQ. FT.
MINIMUM LOT FRONTAGE/WIDTH	100'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	25'
MINIMUM REAR YARD SETBACK	20'
MAXIMUM BUILDING COVERAGE	50%
MAXIMUM BUILDING HEIGHT	35'

(SEE ZONING REGULATION FOR THE SPECIFICS OF THIS PARCEL)

(BUILDING SETBACKS SHOWN MUST BE REVIEWED BY THE TOWN - OFFICIAL FOR ACCURACY AND COMPLIANCE)

ZONING CRITERIA

ZONING DISTRICT	ZONE R6
MINIMUM LOT AREA	6,000 SQ. FT.
MINIMUM LOT FRONTAGE/WIDTH	60'
MINIMUM FRONT YARD SETBACK	20'
MINIMUM SIDE YARD SETBACK	10'
MINIMUM REAR YARD SETBACK	10'
MAXIMUM BUILDING COVERAGE	30% RESIDENTIAL (35% OTHER USE)
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

(SEE ZONING REGULATION FOR THE SPECIFICS OF THIS PARCEL)

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ADMINISTRATIVE SUBDIVISION PLAN
FOR
UNITY PARK LLC
ASSESSORS PLAT 29 LOT 1
#500 WOOD STREET
AND
214 FRANKLIN LLC
ASSESSORS PLAT 29 LOT 54
#214 FRANKLIN STREET
IN
BRISTOL, RHODE ISLAND

SCALE: 1"=20'		SHEET NO: 2 OF 2	
DRAWN BY: WCR	DESIGN BY:	CHECKED BY: STL	
DATE: 8-29-2025		PROJECT NO.: SVY-2022-10	