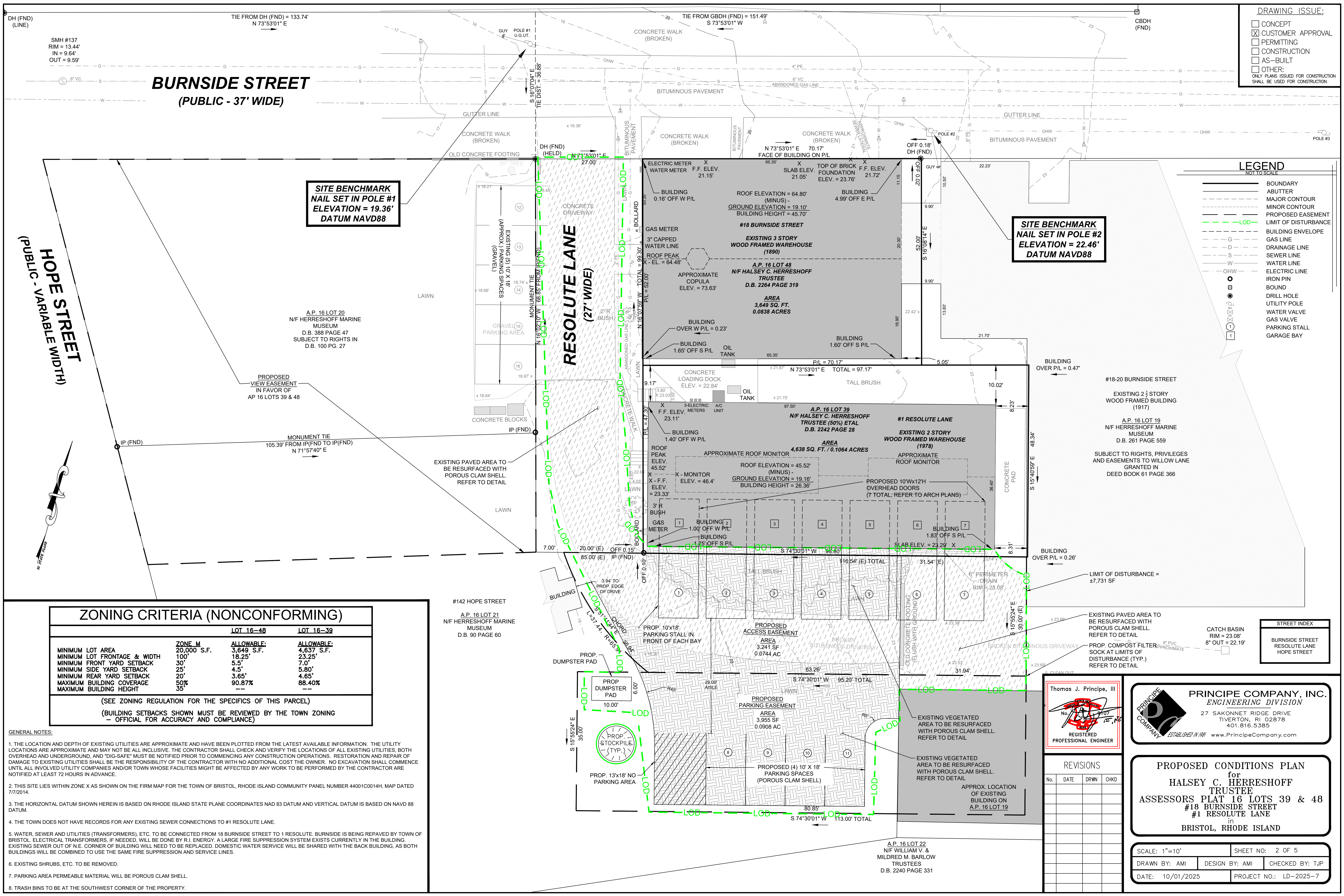




DRAWING ISSUE:

- ☐ CONCEPT
- ☒ CUSTOMER APPROVAL
- ☐ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

LEGEND
NOT TO SCALE

- BOUNDARY
- ABUTTER
- MAJOR CONTOUR
- MINOR CONTOUR
- PROPOSED EASEMENT
- LIMIT OF DISTURBANCE
- BUILDING ENVELOPE
- GAS LINE
- DRAINAGE LINE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- IRON PIN
- BOUND
- DRILL HOLE
- UTILITY POLE
- WATER VALVE
- GAS VALVE
- PARKING STALL
- GARAGE BAY

SITE BENCHMARK
NAIL SET IN POLE #1
ELEVATION = 19.36'
DATUM NAVD88

SITE BENCHMARK
NAIL SET IN POLE #2
ELEVATION = 22.46'
DATUM NAVD88

ZONING CRITERIA (NONCONFORMING)			
	LOT 16-48	LOT 16-39	
MINIMUM LOT AREA	20,000 S.F.	3,649 S.F.	ALLOWABLE: 4,637 S.F.
MINIMUM LOT FRONTAGE & WIDTH	100'	18.25'	18.25' S.F.
MINIMUM FRONT YARD SETBACK	30'	5.5'	7.0'
MINIMUM SIDE YARD SETBACK	25'	4.5'	5.80'
MINIMUM REAR YARD SETBACK	20'	3.65'	4.65'
MAXIMUM BUILDING COVERAGE	50%	90.87%	88.40%
MAXIMUM BUILDING HEIGHT	35'	--	--
(SEE ZONING REGULATION FOR THE SPECIFICS OF THIS PARCEL)			
(BUILDING SETBACKS SHOWN MUST BE REVIEWED BY THE TOWN ZONING - OFFICIAL FOR ACCURACY AND COMPLIANCE)			

- GENERAL NOTES:**
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
 - THIS SITE LIES WITHIN ZONE X AS SHOWN ON THE FIRM MAP FOR THE TOWN OF BRISTOL, RHODE ISLAND COMMUNITY PANEL NUMBER 44001C0014H, MAP DATED 7/17/2014.
 - THE HORIZONTAL DATUM SHOWN HEREIN IS BASED ON RHODE ISLAND STATE PLANE COORDINATES NAD 83 DATUM AND VERTICAL DATUM IS BASED ON NAVD 88 DATUM.
 - THE TOWN DOES NOT HAVE RECORDS FOR ANY EXISTING SEWER CONNECTIONS TO #1 RESOLUTE LANE.
 - WATER, SEWER AND UTILITIES (TRANSFORMERS), ETC. TO BE CONNECTED FROM 18 RESOLUTE. BURNSIDE IS BEING REPAVED BY TOWN OF BRISTOL. ELECTRICAL TRANSFORMERS, IF NEEDED, WILL BE DONE BY R.I. ENERGY. A LARGE FIRE SUPPRESSION SYSTEM EXISTS CURRENTLY IN THE BUILDING. EXISTING SEWER OUT OF N.E. CORNER OF BUILDING WILL NEED TO BE REPLACED. DOMESTIC WATER SERVICE WILL BE SHARED WITH THE BACK BUILDING, AS BOTH BUILDINGS WILL BE COMBINED TO USE THE SAME FIRE SUPPRESSION AND SERVICE LINES.
 - EXISTING SHRUBS, ETC. TO BE REMOVED.
 - PARKING AREA PERMEABLE MATERIAL WILL BE POROUS CLAM SHELL.
 - TRASH BINS TO BE AT THE SOUTHWEST CORNER OF THE PROPERTY.

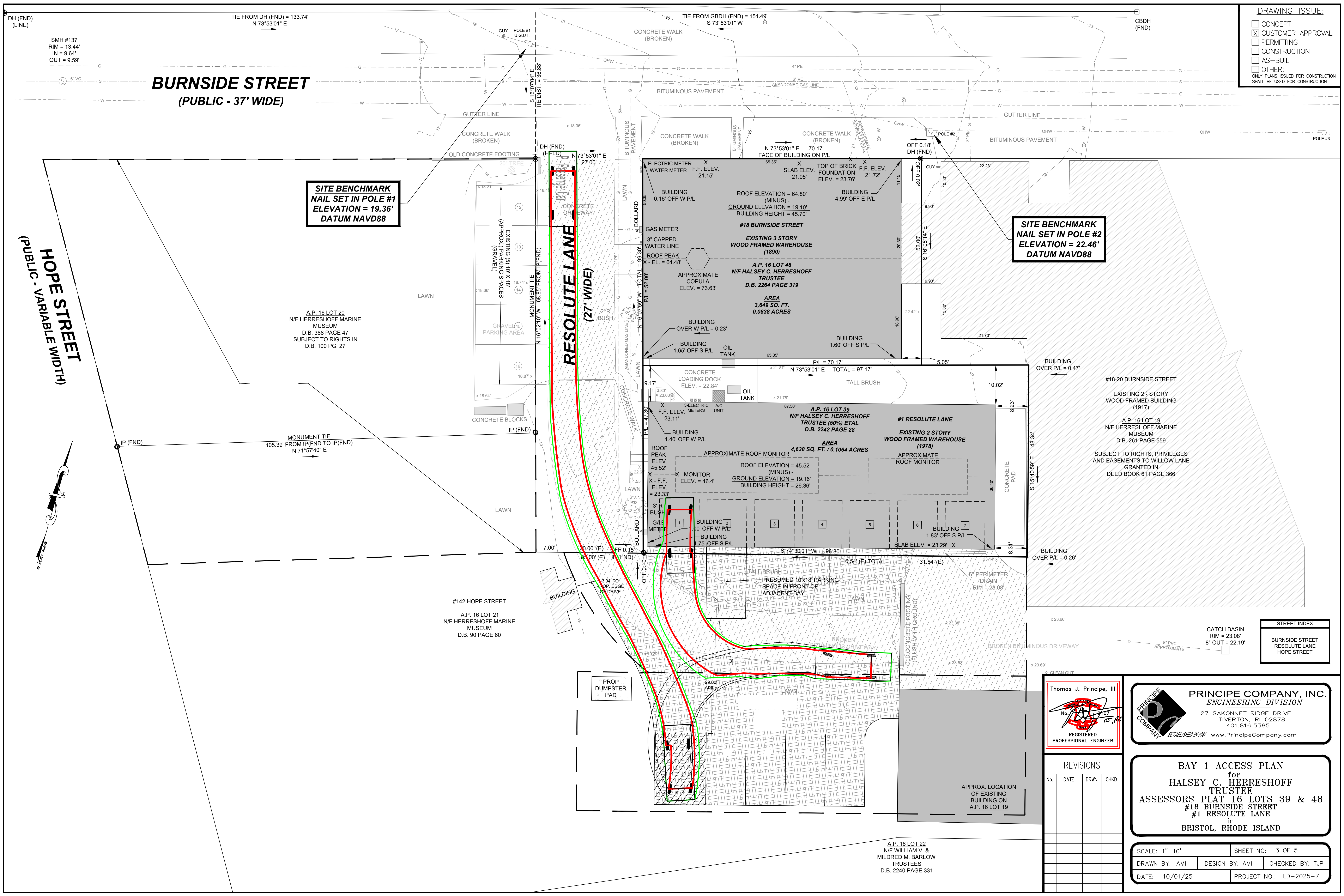
Thomas J. Principe, III
No. 10107
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
www.PrincipeCompany.com

REVISIONS			
No.	DATE	DRWN	CHKD

PROPOSED CONDITIONS PLAN
for
HALSEY C. HERRESHOFF
TRUSTEE
ASSESSORS PLAT 16 LOTS 39 & 48
#18 BURNSIDE STREET
#1 RESOLUTE LANE
in
BRISTOL, RHODE ISLAND

SCALE: 1"=10'		SHEET NO: 2 OF 5	
DRAWN BY: AMI	DESIGN BY: AMI	CHECKED BY: TJP	
DATE: 10/01/2025		PROJECT NO.: LD-2025-7	



DRAWING ISSUE:

- ☐ CONCEPT
- ☒ CUSTOMER APPROVAL
- ☐ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

**SITE BENCHMARK
NAIL SET IN POLE #2
ELEVATION = 22.46'
DATUM NAVD88**

**SITE BENCHMARK
NAIL SET IN POLE #1
ELEVATION = 19.36'
DATUM NAVD88**

STREET INDEX

BURNSIDE STREET
RESOLUTE LANE
HOPE STREET

Thomas J. Principe, III
No. 7107
REGISTERED
PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
www.PrincipeCompany.com

REVISIONS

No.	DATE	DRWN	CHKD

BAY 1 ACCESS PLAN
for
HALSEY C. HERRESHOFF TRUSTEE
ASSESSORS PLAT 16 LOTS 39 & 48
#18 BURNSIDE STREET
#1 RESOLUTE LANE
in
BRISTOL, RHODE ISLAND

SCALE: 1"=10'		SHEET NO: 3 OF 5	
DRAWN BY: AMI	DESIGN BY: AMI	CHECKED BY: TJP	
DATE: 10/01/25		PROJECT NO.: LD-2025-7	

A.P. 16 LOT 22
N/F WILLIAM V. &
MILDRED M. BARLOW
TRUSTEES
D.B. 2240 PAGE 331

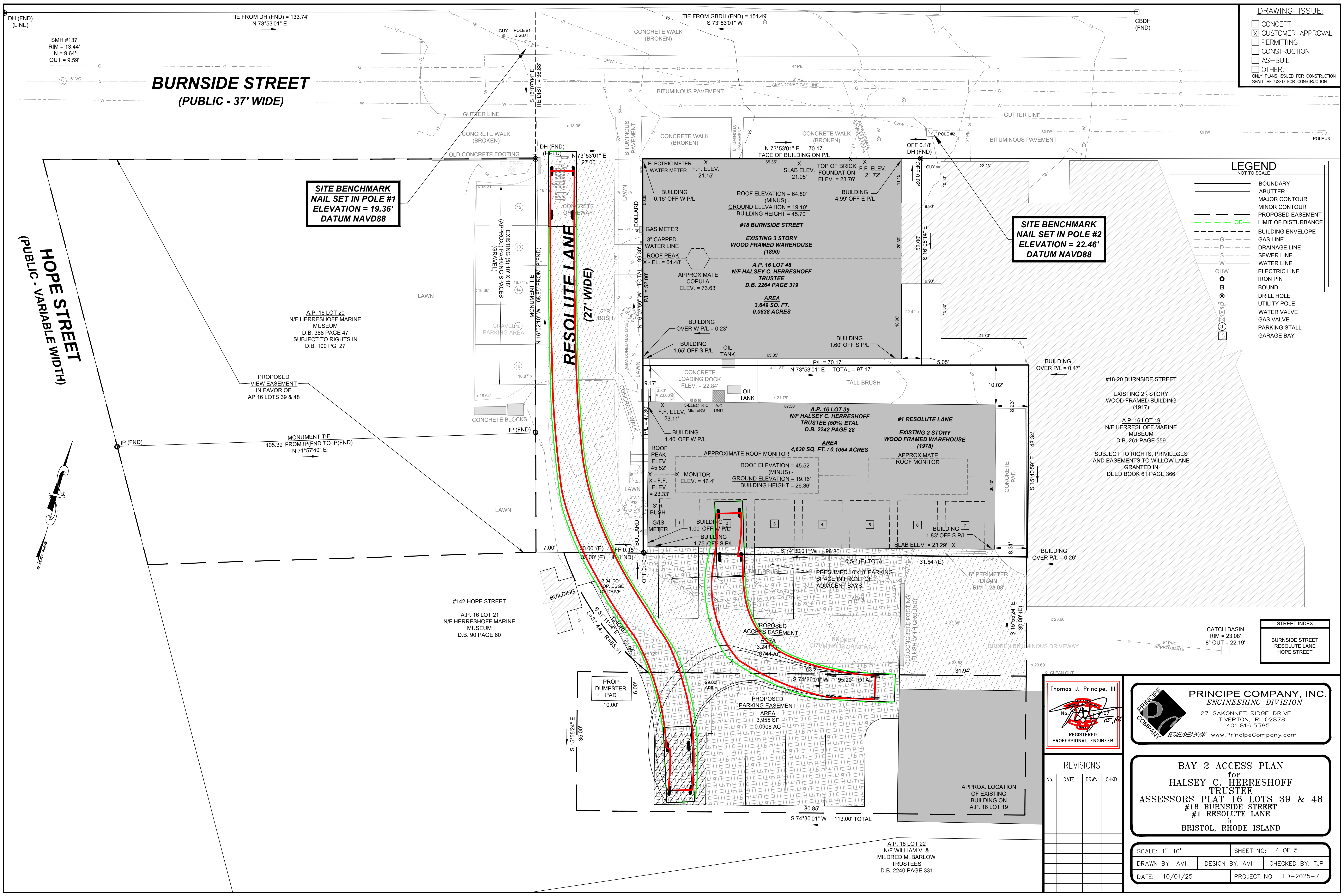
#142 HOPE STREET
A.P. 16 LOT 21
N/F HERRESHOFF MARINE
MUSEUM
D.B. 90 PAGE 60

#18-20 BURNSIDE STREET
EXISTING 2 1/2 STORY
WOOD FRAMED BUILDING
(1917)
A.P. 16 LOT 19
N/F HERRESHOFF MARINE
MUSEUM
D.B. 261 PAGE 559
SUBJECT TO RIGHTS, PRIVILEGES
AND EASEMENTS TO WILLOW LANE
GRANTED IN
DEED BOOK 61 PAGE 366

HOPE STREET
(PUBLIC - VARIABLE WIDTH)

BURNSIDE STREET
(PUBLIC - 37' WIDE)

RESOLUTE LANE
(27' WIDE)



DRAWING ISSUE:

- ☐ CONCEPT
- ☒ CUSTOMER APPROVAL
- ☐ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER

ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

LEGEND
NOT TO SCALE

- BOUNDARY
- ABUTTER
- MAJOR CONTOUR
- MINOR CONTOUR
- PROPOSED EASEMENT
- LIMIT OF DISTURBANCE
- BUILDING ENVELOPE
- GAS LINE
- DRAINAGE LINE
- SEWER LINE
- WATER LINE
- ELECTRIC LINE
- IRON PIN
- BOUND
- DRILL HOLE
- UTILITY POLE
- WATER VALVE
- GAS VALVE
- PARKING STALL
- GARAGE BAY

STREET INDEX

- BURNSIDE STREET
- RESOLUTE LANE
- HOPE STREET

Thomas J. Principe, III
No. 12345
REGISTERED PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
www.PrincipeCompany.com

REVISIONS			
No.	DATE	DRWN	CHKD

BAY 2 ACCESS PLAN
for
HALSEY C. HERRESHOFF TRUSTEE
ASSESSORS PLAT 16 LOTS 39 & 48
#18 BURNSIDE STREET
#1 RESOLUTE LANE
in
BRISTOL, RHODE ISLAND

SCALE: 1"=10'

SHEET NO: 4 OF 5

DRAWN BY: AMI DESIGN BY: AMI CHECKED BY: TJP

DATE: 10/01/25 PROJECT NO.: LD-2025-7

HOPE STREET
(PUBLIC - VARIABLE WIDTH)

BURNSIDE STREET
(PUBLIC - 37' WIDE)

SITE BENCHMARK
NAIL SET IN POLE #1
ELEVATION = 19.36'
DATUM NAVD88

SITE BENCHMARK
NAIL SET IN POLE #2
ELEVATION = 22.46'
DATUM NAVD88

#142 HOPE STREET
A.P. 16 LOT 21
N/F HERRESHOFF MARINE MUSEUM
D.B. 90 PAGE 60

A.P. 16 LOT 22
N/F WILLIAM V. & MILDRED M. BARLOW TRUSTEES
D.B. 2240 PAGE 331

#18-20 BURNSIDE STREET
EXISTING 2 1/2 STORY WOOD FRAMED BUILDING (1917)
A.P. 16 LOT 19
N/F HERRESHOFF MARINE MUSEUM
D.B. 261 PAGE 559
SUBJECT TO RIGHTS, PRIVILEGES AND EASEMENTS TO WILLOW LANE GRANTED IN DEED BOOK 61 PAGE 366

PROP DUMPSTER PAD
10.00'

PROPOSED PARKING EASEMENT
AREA
3,955 SF
0.0908 AC

PROPOSED ACCESS EASEMENT
AREA
3,241 SF
0.0744 AC

APPROX. LOCATION OF EXISTING BUILDING ON A.P. 16 LOT 19

1. DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME SUCH AS THE INACTIVE WINTER SEASON.
2. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDS OR PROTECTED BY SOIL DATE, FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH R.I. STD SPECIFICATION N 18.
4. THE SEED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
5. THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING PERMANENT SEEDING MIXTURES:

<u>MIXTURE:</u>	<u>% BY WEIGHT:</u>
RED FESCUE	75
KENTUCKY BLUEGRASS	15
COLONIAL BENTGRASS	5
PERENNIAL RYEGRASS	5
<u>TOTAL:</u>	100 lbs/Ac.

<u>MIXTURE:</u>	<u>% BY WEIGHT:</u>
RED FESCUE	75
COLONIAL BENTGRASS	5
PERENNIAL RYEGRASS	5
BIRDSFOOT TREFOIL	15
<u>TOTAL:</u>	<u>100 lbs/Ac.</u>

8. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP MINIMIZE THE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED:

MIXTURE:	lbs./1,000 S.F.
ANNUAL RYEGRASS	1.0 - 1.5
PERENNIAL RYEGRASS	1.0 - 1.5
SUDAN GRASS	0.7 - 1.0
MILLET	0.7 - 1.0
WINTER RYE	3.0
OATS	0.5 - 5.0
WEeping COVER GRASS	0.5 - 5.0

15. THE DRAINAGE SYSTEM SHALL RECEIVE ONE FINAL CLEANING PRIOR TO ACCEPTANCE TO THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.

1. PRIOR TO ANY CLEARING AND GRUBBING OR ANY ROUGH GRADING, TEMPORARY HAYBALES AND SANDBAGS SHALL BE PLACED OUTSIDE THE LIMITS OF CONSTRUCTION AS PER THE PLANS (I.E. ALONG ROADWAYS, STREAM BANKS, CRITICAL AREAS, ETC.).

4. TEMPORARY HAYBALES AND SANDBAGS ALONG AND AT THE ENDS OF ROADWAYS MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION.

5. HAYBALES LOCATED AT DRAINAGE OUTLETS MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

1. RIP RAP SPLASH PADS SHALL BE INSTALLED AT THE OUTLETS FOR ALL CULVERTS DISCHARGING INTO A WATERWAY.

3. ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL BE SEEDED AND PROTECTED WITH A FIBER MULCH.

4. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.

5. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.

TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.

7. ADDITIONAL HAYBALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT.

8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE AND DETENTION FACILITIES AS SCHEDULED FOR EACH FACILITY (SEE DETENTION BASIN MAINTENANCE, THIS SHEET).

9. REFERENCE THE "R.I. SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE U.S. DEPT. OF AGRICULTURE, SOIL CONSERVATION SERVICE, 1989, AS A GUIDE.

1. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH ANY APPLICABLE LOCAL, STATE AND FEDERAL LAWS GOVERNING HIS INTENDED ACTIVITIES. OSHA REGULATIONS ARE APPLICABLE OF PROJECT SITE CONDITIONS AND ACTIVITIES.

2. ALL CONSTRUCTION WILL BE UNDERTAKEN IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE TOWN OF BRISTOL.

3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN THE INTEGRITY OF ALL EXISTING UTILITIES, STRUCTURES, AND ABUTTING PROPERTIES. THE COST OF ANY REPAIR OR REPLACEMENT OF DAMAGED ITEMS SHALL BE BORNE BY THE CONTRACTOR.

4. IF THE MUNICIPALITY REQUIRES A PROJECT PRE-CONSTRUCTION CONFERENCE, THE PROJECT DEVELOPER AND THE CONTRACTOR WILL ATTEND AND WILL PROVIDE ALL REQUESTED MATERIALS PRIOR TO COMMENCING ANY WORK.

5. IF CEMENT CONCRETE MIX TRUCKS ARE TO BE WASHED OUT ON SITE, THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND MAINTAINING A WASH OUT AREA WITH APPROPRIATE PROTECTION CONTROLS.

6. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON-ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THIS MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE

7. CONTRACTOR TO VERIFY BENCHMARK AND EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION AND SHAPE ENGINEER OF ANY DISCREPANCIES.

1. PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING, DEMOLITION OR EARTHWORK ACTIVITY, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE PLANS ARE TO BE INSTALLED BY THE CONTRACTOR.

2. CONSTRUCTION ACCESS STABILIZATION ENTRANCE PADS ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE GRUBBING OR EARTHWORK ACTIVITY.

3. EXISTING CATCH BASINS ARE TO BE PROTECTED WITH HAY BALES AND/OR SILT SACS PRIOR TO THE START OF SITE GRUBBING EARTHWORK OR UNDERGROUND UTILITY AND DRAINAGE INFRASTRUCTURE INSTALLATION TO SERVE THE DEVELOPMENT SITE.

4. THE PROJECT CONSTRUCTION SEQUENCE, TO THE EXTENT PRACTICAL, SHOULD REQUIRE THE INSTALLATION OF DOWN GRADE AND OFF SITE STORM DRAINAGE SYSTEM IMPROVEMENTS BEFORE THE START OF SITE GRUBBING AND EARTHWORK ACTIVITY.

5. TEMPORARY SITE SLOPE TREATMENTS FOR SOIL STABILIZATION SHALL CONSIST OF HAY, STRAW, FIBER MULCH, RIP RAP OR PROTECTIVE COVERS SUCH AS MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, AND EXCELSIOR OR EQUAL PRODUCTS). THESE AND OTHER ACCEPTABLE MEASURES SHALL BE INCORPORATED INTO THE SITE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.

6. CONSTRUCTION SITES ARE DYNAMIC, THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND OR MOVEMENT AND MAINTENANCE OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL MEASURES AS NEEDED TO MAXIMIZE THE INTENT OF THE PLAN FOR ALL SITE CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION, MAINTENANCE, REPAIR, AND REPLACEMENT OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL DEVICES UNTIL AN ACCEPTABLE PERMANENT VEGETATIVE GROWTH IS ESTABLISHED. THE CONTRACTOR SHALL MAINTAIN A DETAILED LOG OF ALL EROSION CONTROL INSPECTIONS, COMPLAINTS RELATED TO EROSION OR SEDIMENT, AND CORRECTIVE REMEDIAL MEASURES TAKEN THROUGHOUT THE COURSE OF THE PROJECT CONSTRUCTION.

8. SOIL EROSION AND SEDIMENT CONTROL IS NOT LIMITED TO DAMAGES CAUSED BY WATER BUT ALSO INCLUDES EROSION AND SEDIMENT RESULTING FROM WINDS. MEASURES, SUCH AS TEMPORARY GROUND COVERS, WATER AND CALCIUM APPLICATIONS ARE TO BE UNDERTAKEN AS NEEDED TO MINIMIZE WIND RELATED SOIL AND DUST CONTROL.

9. STOCK PILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. STOCK PILES SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%). STOCK PILES SHALL BE SURROUNDED ON THE DOWN GRADIENT OF THE EXISTING GROUND SURFACE BY HAY BALES OR SILT FENCE. THE STOCK PILES SHALL ALSO BE SEEDED OR STABILIZED IN SOME MANNER TO PREVENT SOIL EROSION.

10. THE SMALLEST POSSIBLE SITE AREAS SHALL BE DISTURBED OR EXPOSED AT ONE TIME AND DENUDED SLOPES OR WORK AREAS SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS INACTIVE PERIODS OR SITE WORK SHUT DOWNS.

11. TO THE EXTENT POSSIBLE, ALL DISTURBED AREAS MUST BE SEEDED OR STABILIZED WITHIN THE CONSTRUCTION SEASON. STABILIZATION OF ONE FORM OR ANOTHER SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.

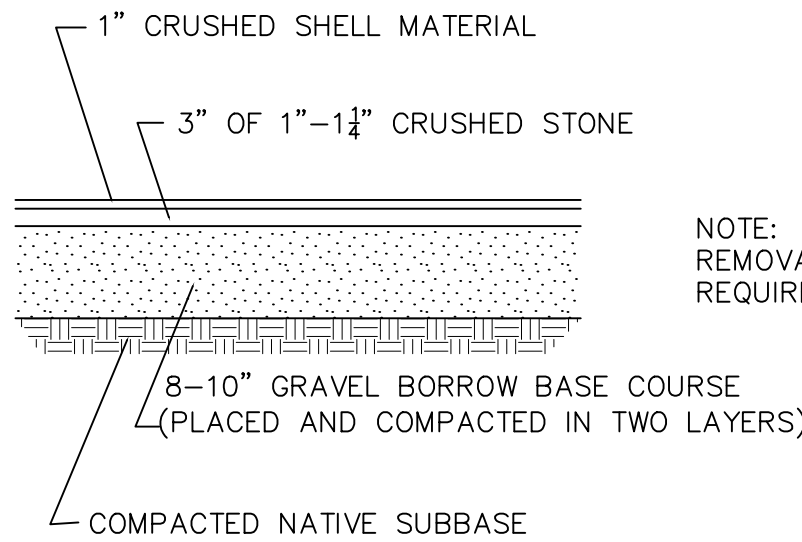
12. EXPOSED STEEP OR LONG SLOPES SHOULD BE TREATED WITH "CRIMPING" OR "TRACKING" TO REDUCE EROSION AND SEDIMENT AND TO TACK DOWN SEEDING OR MULCH APPLICATIONS.

13. IF CONCRETE IS TO BE USED ON SITE, THE CONTRACTOR MUST ESTABLISH AND MAINTAIN SPECIFIC WASHOUT AREAS FOR THE CONCRETE TRUCKS WITH APPROPRIATE PROTECTION CONTROLS.

14. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON-SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THIS MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.

15. EXISTING TREES AND VEGETATION WILL BE RETAINED WHENEVER FEASIBLE.

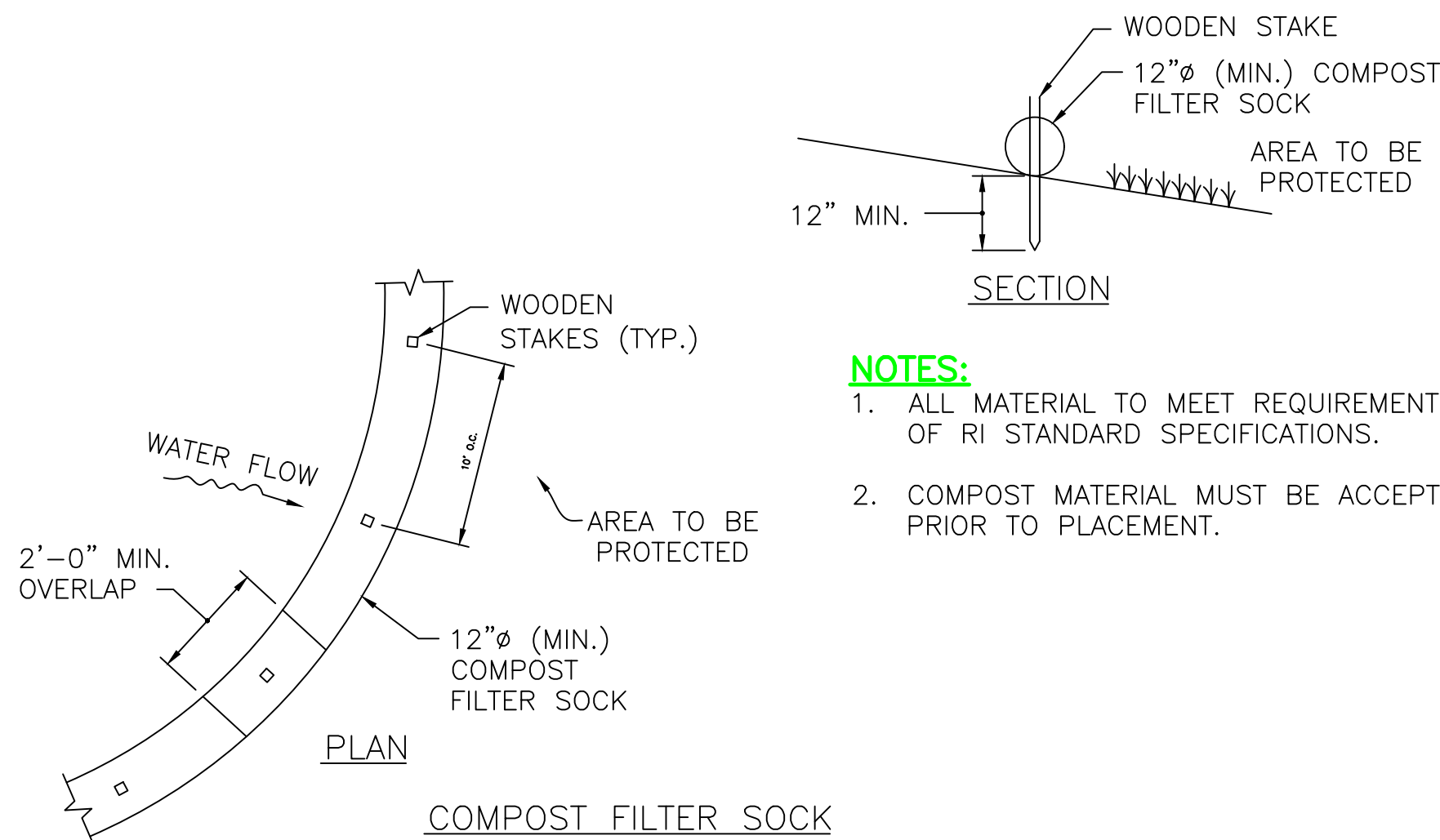
16. SITE SOIL EROSION AND SOIL STABILIZATION AND SEDIMENT CONTROLS MUST CONFORM TO ALL REQUIREMENTS OF THE APPLICABLE LOCAL COMMUNITY ORDINANCES AND STATE REGULATIONS.



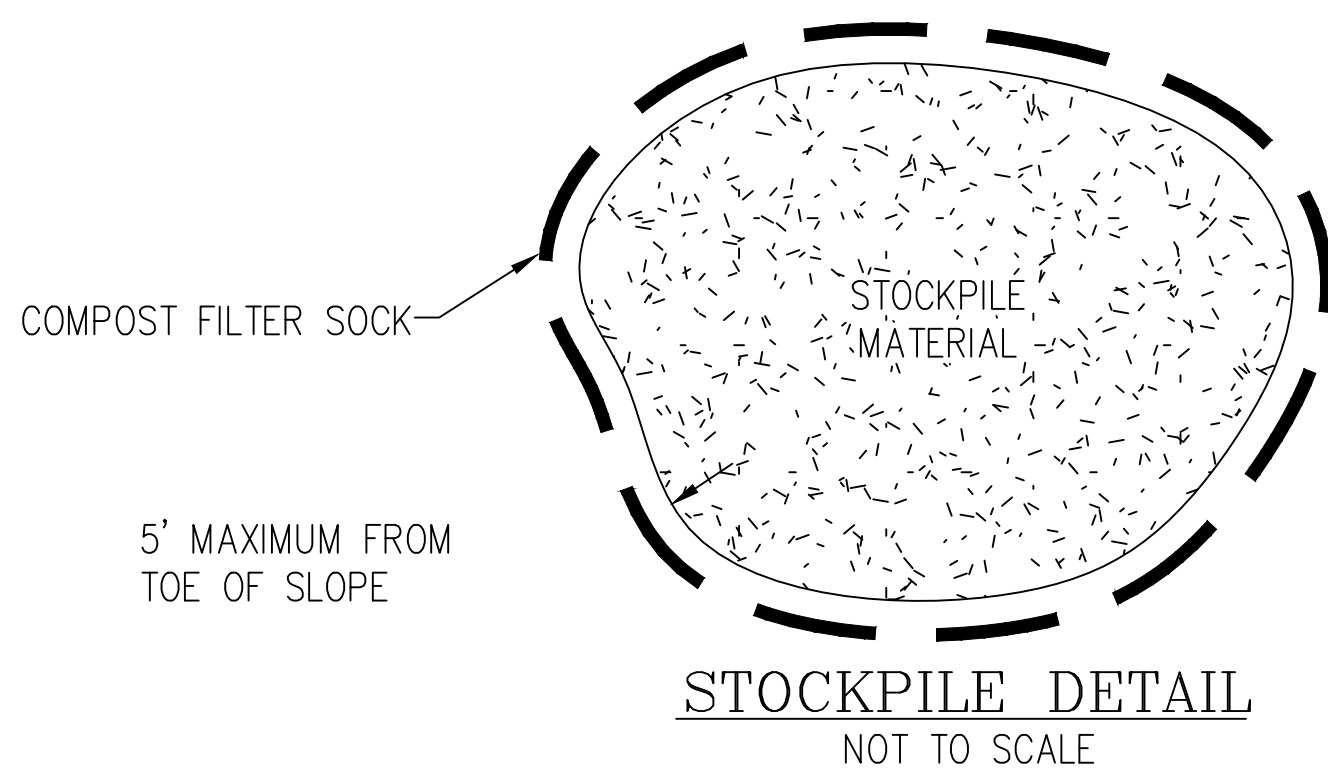
NOTE: IN AREAS OF EXISTING PAVEMENT
REMOVAL, PROVIDE COMPACTED FILL AS
REQUIRED TO REACH REQUIRED SUBBASE DEPTH

POROUS CLAM SHELL
TYPICAL CROSS SECTION

NOT TO SCALE



PERIMETER EROSION CONTROLS
NOT TO SCALE



Thomas J. Principe, III



REGISTERED
PROFESSIONAL ENGINEER



PRINCIPLE COMPANY, INC.
ENGINEERING DIVISION

27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385

ESTABLISHED IN 1981 www.PrincipeCompany.com

REVISIONS

No.	DATE	DRWN	CHKD

PROPOSED CONDITIONS PLAN

for
HALSEY C. HERRESHOFF
TRUSTEE

ASSESSORS PLAT 16 LOTS 39 & 48
#18 BURNSIDE STREET
#1 RESOLUTE LANE
in
BRISTOL, RHODE ISLAND

SCALE: AS NOTED

DRAWN BY: AMI

DATE: 10/01/25

SHEET NO: 5 OF 5

DESIGN BY: AMI

PROJECT NO.: LD-2025-7