

APPLICATION FORM AND SUBMISSION CHECKLIST FOR PREAPPLICATION CONFERENCE AND CONCEPT REVIEW

Preapplication Conference - An initial meeting between developers and the Town which affords developers the opportunity to present their proposals informally and to receive comments and directions from the Town and other agencies.

Concept Plan - A drawing with accompanying information showing the basic elements of a proposed land development plan or subdivision as used for pre-application meeting and early discussions, and classification of the project within the approval process.

The following completed application form and Items A, B, and C from the attached checklist shall be submitted to the Administrative Officer for a meeting with the Technical Review Committee (TRC).

Date of Submission 11/20/24 TRC Meeting Date 12/3/24

APPLICATION FORM

1. Name, address, and telephone number of the property owner: Fair Wind Properties LLC, P.O. Box 333, 401-263-6372
2. Name, address and telephone number of the applicant (If different from owner, a written, notarized confirmation from the property owner authorizing the applicant to make this submission shall also be submitted): _____
3. Assessor's plat and lot number(s): _____
4. Zoning district(s), including any special Town or State overlay districts (i.e. Historic District, CRMC Jurisdiction, etc.): R-10
5. Area of the parcel: 2.2 Acres
6. Proposed number of buildable lots, dwellings or other proposed improvements: 17 Additional Units + Office above Garage.
7. Name and owner of existing streets or rights-of-way adjacent to the parcel:

A list showing the names and addresses of all abutting and adjacent property owners shall be attached to this application.

Signature of Owner/Applicant  Date 11/20/24

Notarized:

Subscribed and sworn to before me this _____ day of _____, 20____.

NOTARY PUBLIC

SUBMISSION CHECKLIST

PREAPPLICATION CONFERENCE AND CONCEPT REVIEW

Date &
Initials of
Reviewer

A. Plan of Existing Conditions - Five (5) blue-line or photocopies of the subject property no larger than 24" x 36" as it currently exists including locations and dimensions of existing lots if the proposed subdivision constitutes a replat or if the development consists of several lots and all natural features such as existing contours at five (5) foot intervals.	
B. Concept Plans - Five (5) blue-line or photocopies no larger than 24" x 36" of the concept plan for the development showing, at a minimum, the following information:	
1. Name of proposed subdivision or development;	11/20 DF
2. Name and address of the property owner and applicant;	11/20 DF
3. Name, address, and telephone number of preparer;	11/20 DF
4. Date plan prepared, with revision date(s) (if any):	11/20 DF
5. Graphic scale and north arrow;	11/20 DF
6. Assessor's Plat and lot number(s) of the subject property;	11/20 DF
7. Zoning district(s) of the subject property. If more than one district, zoning boundary lines must be shown;	11/20 DF
8. Perimeter boundary lines of the entire tract under the applicant's ownership;	11/20 DF
9. Area of the subject property and proposed number of buildable lots, dwellings or other proposed improvements;	11/20 DF
10. Location, names, and pavement and right-of-way widths of existing streets adjacent to the subject property;	11/20 DF
11. Names of abutting property owners and property owners immediately across any adjacent streets;	11/20 DF
12. Location and dimension of existing easements and rights-of-way adjacent to or within the subject property, if any;	11/20 DF
13. Notation of existing ground cover and approximate location of wooded areas (if any);	11/20 DF
14. Approximate location of wetlands, watercourses or coastal features, and other significant natural or manmade features (i.e. stone walls) within and immediately adjacent to the subdivision parcel, if any;	11/20 DF
15. Location and approximate size of existing buildings on or immediately adjacent to the subject property, if any; including, historic designation, if applicable;	11/20 DF
16. Proposed improvements including streets, lots, lot lines with approximate lot areas and dimensions and building envelopes;	11/20 DF
17. A notation of the existing on-site utilities (gas, water, sewer, electric), if any;	11/20 DF
18. Proposed connections with existing water supply and sanitary sewer systems, or a notation that wells and ISDS are proposed;	11/20 DF
19. Provisions for collecting and discharging stormwater;	11/20 DF

SUBMISSION CHECKLIST, CONT.

Date &
Initials of
Reviewer

20. Notation on the plan if the subject property is located within any of the following areas: Town Overlay Districts, Special Flood Hazard Areas, or Coastal Resources Management Council jurisdiction.	11/20 DF
C. Supporting Materials -	
1. One (1) copy of a narrative report providing the general description of the existing physical environment and existing use(s) of the property; and, the general description of the uses and type of development proposed by the applicant;	11/20 DF
2. A reduced copy of plans required in Items A and B above (minimum size 8 1/2" x 11", maximum size 11"x 17");	
3. Completed Application Form.	11/20 DF

Comparison Narrative

Original Plan Vs Proposed

TRC Members,

Here are the major differences from what we originally proposed versus what we have now. The changes are based on the last TRC meeting and the discussions we have had with Jim Houle and TRC Members. We are looking at mostly 3 bedroom units on this plan vs 3 and 4 bedroom units. We have also reduced the building sizes reducing our overall building coverage. The garages will remain and we will also add a bunch of storage space for tenants on the ground floor.

We will also be going from 23 units to 20 units. This will round out the ratio for affordable units and is needed to make the numbers work.

	Current Units	Original Design	New Design	Difference from Original Design
Total 4 bedroom Units	1	11	1	-10
Total 3 Bedroom Units	2	12	19	+6
Total 2 Bedroom Units	0	0	0	0
Total Units:	3	23	20	-3
Total Beds:	10	80	58	-22
Total Baths:	5	65	56	-9

Highlights of changes to the design

- 5 out of the 20 units will be affordable units. These units will be allocated in the new units proposed.
 - 5 - 3 bedroom units
- Adding 3 new buildings instead of 5 and reducing the overall footprint of the units has led to reducing the overall building lot coverage from 23.1% to 16.2% (Reduction of 6.9%) the maximum building coverage for the zone is 25%.

- Reducing the overall building footprint of the entire project by 6,420sq ft. This amounts to eliminating approximately 2 full buildings of the original building footprint from the site plan (the town asked for 2 buildings to be removed)
- Going from 80 bedrooms total including the current 3 family to 58 bedrooms including the current 3 family (reduction of 22). Again this reduction in bedroom count is equivalent to eliminating the 2 buildings that was discussed at the last TRC meeting.
- We will also reduce the bathroom count by 9.

This is the only way we can make the project work financially with reducing the bedroom count on the site unless we do a single apartment building. I have looked at the numbers many ways and this is our best option given the cost increases and the current conditions on interest rates, materials and labor. I think it will also allow for us to add some green areas in front of the buildings adding to the overall aesthetics of the community. Every unit has a little patio area so we will forgo the picnic area.

Even with the reduced footprint of each building, the design offers an open concept on the first floor. This results in a more spacious atmosphere. The ground floor also incorporates in-unit laundry. The units are a desirable townhouse style, side by side units, making them more attractive than the traditional stacked multi family living. This does take up a larger footprint on the site and is more costly, but is healthier for the renter. In previous research, I read that stacked living led to a lot more noise and disturbances between tenants. Less disturbances among tenants allows for a healthier environment for all.



ZONING CRITERIA

R10 ZONING	
ZONING DISTRICT	R10
MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH	50'
MINIMUM LOT FRONTAGE	80'
MINIMUM SIDE YARD SETBACK	5'
MINIMUM REAR YARD SETBACK	15'
MINIMUM LOT COVERAGE	30%
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

PROPOSED CONDITIONS PLAN



PRINCIPE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5395
www.PrincipleEngineering.com

MASTER PLAN SUBMISSION
FOR A
COMPREHENSIVE PERMIT APPLICATION
OF
"FAIR WIND VILLAGE"

SURVEY REFERENCE:
U.S. PLAN ENTITLED "EXISTING CONDITIONS PLAN"

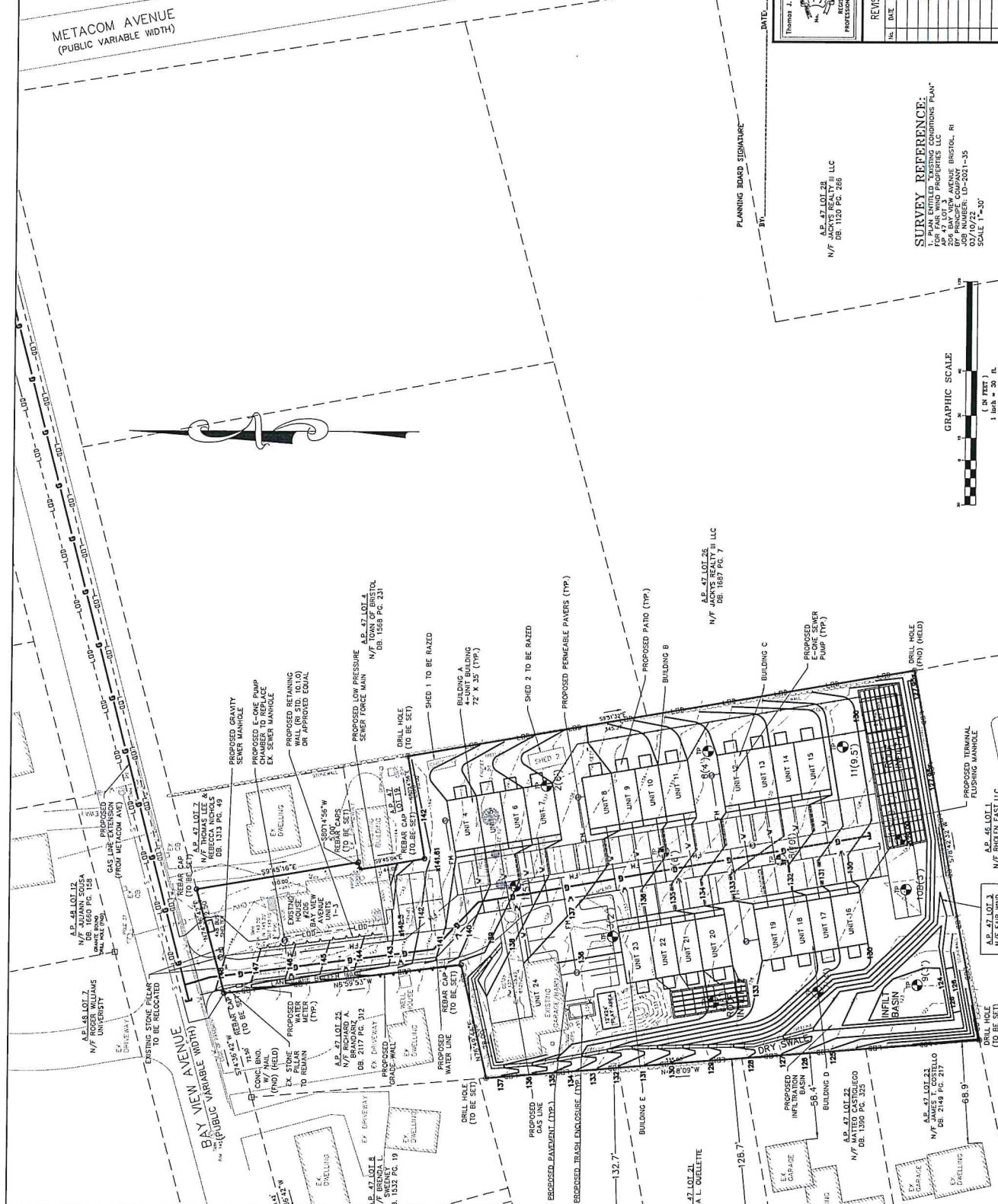
SURVEY REFERENCE:
1. PLAN ENTITLED "EXISTING CONDITIONS PLAN"
FOR FAY LIND PROPERTIES LLC
AP 47 LOT 3
206 BAY VIEW AVENUE BRISTOL, RI
JOHN PRINCIPLE COMPANY
JOB NUMBER: LD-2021-35
03/10/22
SCALE 1"=30'

BY PRINCIPLE CO
JOB NUMBER: L
03/10/22
SCALE 1"=30'

[illegible]

GRAPHIC SCALE

(IN FEET)
inch = 30 ft.



METACOM AVENUE
(PUBLIC VARIABLE WIDTH)

ZONING CRITERIA

MINIMUM LOT AREA	MINIMUM LOT WIDTH	MINIMUM FRONT YARD SETBACK	MINIMUM SIDE YARD SETBACK	MINIMUM REAR YARD SETBACK	MINIMUM LOT BUILDING COVERAGE	MAXIMUM BUILDING HEIGHT
10,000 SQ. FT.	80 FT.	30 FT.	30 FT.	30 FT.	35%	35' (ACCESSORY 20')

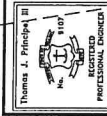
OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

PROPOSED CONDITIONS PLAN



MASTER PLAN SUBMISSION
COMPREHENSIVE PERMIT APPLICATION
"FAIR WIND VILLAGE"
206 BAY VIEW AVENUE
BRISTOL, RHODE ISLAND

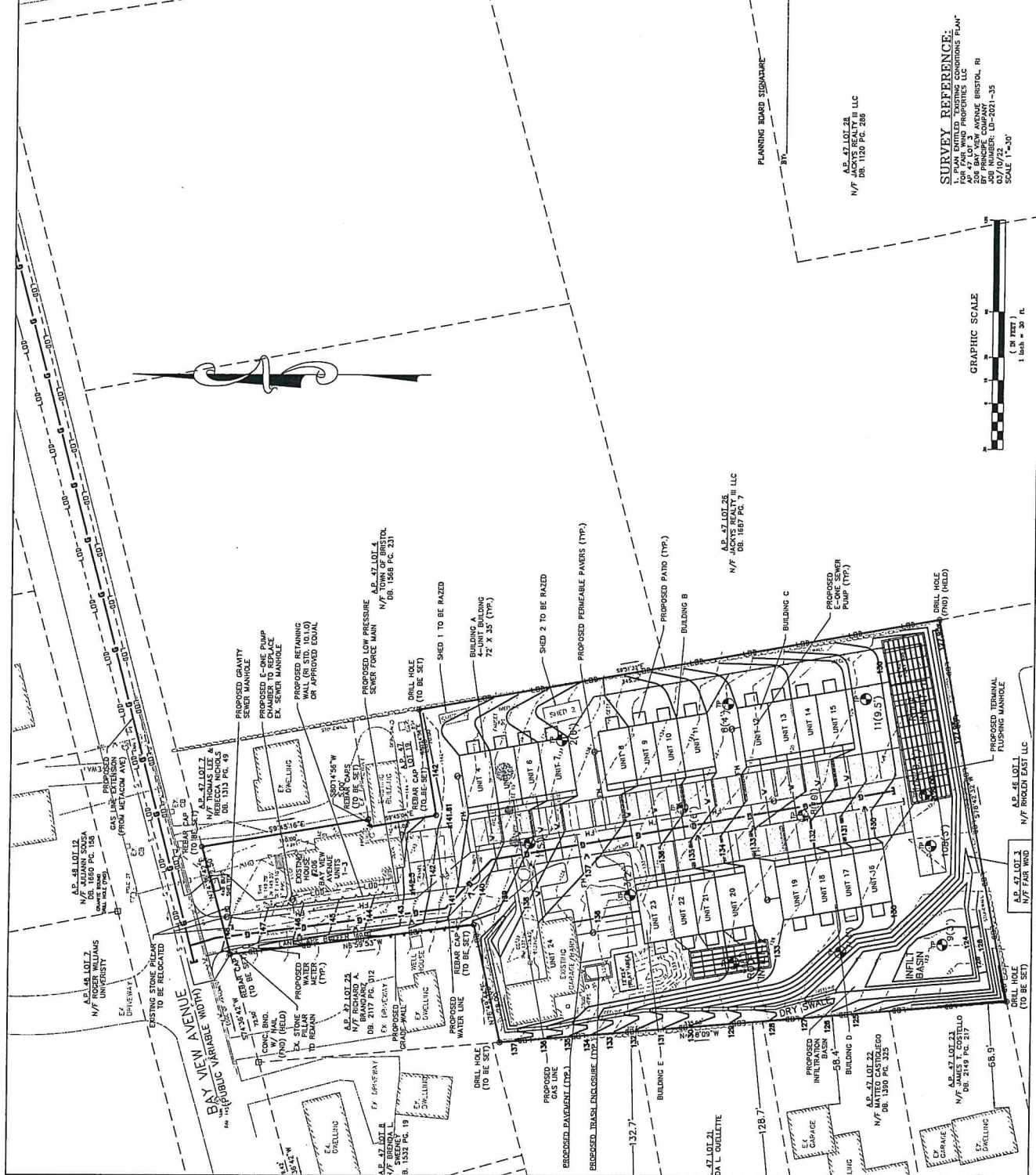
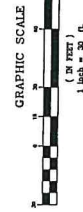
SCALE: 1" = 30'
DRAWN BY: NEC | DESIGN BY: NEC | CHECKED BY: TFP
DATE: 11/04/22 | SHEET NO: 5 of 10
PROJECT NO: LD-2021-35



REVISIONS	
NO.	DATE

A.P. 47 LOT 26
N/F JACKSONS REALTY III LLC
DB. 1120 PG. 285

SURVEY REFERENCE:
1. PLAN ENTITLED "EXISTING CONDITIONS PLAN"
FOR FAIR WIND PROPERTIES LLC
206 BAY VIEW AVENUE BRISTOL, RI
02809
DATE: 03/10/22
JOB NUMBER: LD-2021-35
SCALE: 1"=30'



METACOM AVENUE
(PUBLIC VARIABLE WIDTH)

ZONING CRITERIA

R10 ZONING	R10 ZONING
ZONING DISTRICT	R10
MINIMUM LOT AREA	800 SQ. FT.
MINIMUM LOT WIDTH	30'
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	30'
MINIMUM REAR YARD SETBACK	30'
MINIMUM LOT BUILDING COVERAGE	35%
MINIMUM BUILDING HEIGHT	35' (ACCESSORY 30')

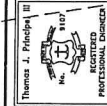
OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

PROPOSED CONDITIONS PLAN



MASTER PLAN SUBMISSION
COMPREHENSIVE PERMIT APPLICATION
"FAIR WIND VILLAGE"
A.P. 47 LOT 3
2006 BAY AVENUE
BRISTOL, RHODE ISLAND

SCALE: 1" = 30'	SHEET NO. 5 of 10
DRAWN BY: NEC	DESIGN BY: NEC
DATE: 11/04/22	CHECKED BY: T.P.
	PROJECT NO.: UD-2021-35

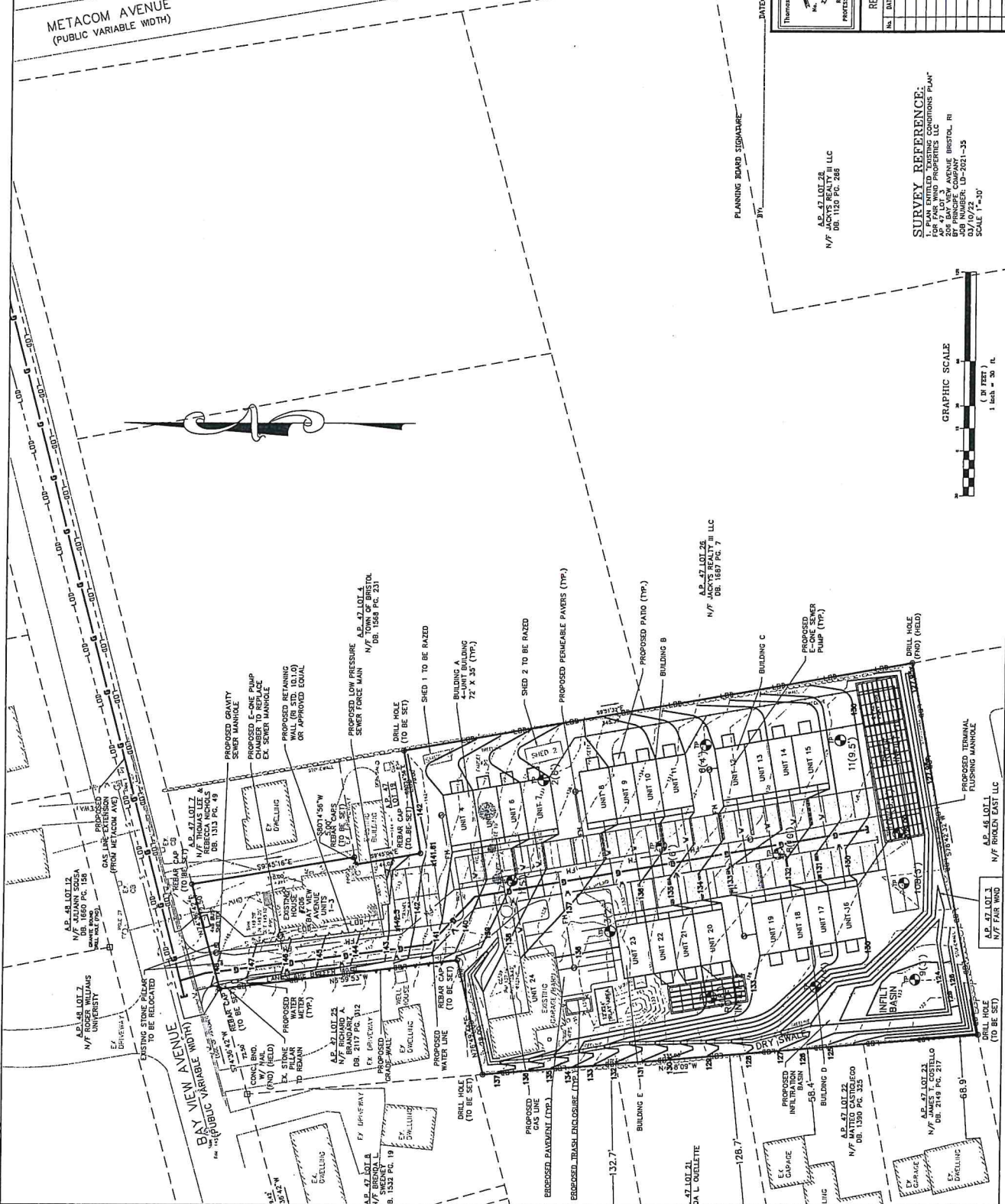


REVISIONS	
NO.	DATE

A.P. 47 LOT 26
N/F JACOBS REALTY III LLC
DB. 1120 PG. 285

SURVEY REFERENCE:
A.P. 47 LOT 26
FOR FAIR WIND PROPERTIES LLC
2006 BAY AVENUE BRISTOL, RI
BY JACOBUS REALTY III LLC
JOB NUMBER: UD-2021-35
03/10/22
SCALE 1" = 30'

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft.



THIS SURVEY HAS BEEN COMPLETED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE LAND SURVEYING ACT OF 1966, AS AMENDED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 23, 2015 AS FOLLOWS:

THE SURVEY IS LIMITED TO THE CONTENT OF THE BOUNDARY SURVEY MAPS, BEING A PROFESSIONAL CLASS 1 STANDARD

PURPOSE OF SURVEY: EXISTING CONDITIONS

DATE: 07/27/2022

BY: ROBERT A. THERIEN, PLS. NO. 7239



GENERAL NOTES:

1. DEED REFERENCE: BK 2147, PG 134.
2. THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE.
3. SOILS ON SITE ARE CLASSIFIED AS CANTON-URBAN LAND, COMPLEX, VERY ROCKY (CC) AND PITTSBORO SILT LOAM, 0 TO 3 PERCENT SLOPES (Pma) AS IDENTIFIED BY THE USDA SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
4. THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE PROPERTY.
5. THERE ARE NO WETLANDS OR OR IN THE VICINITY OF THE PROJECT.
6. THERE ARE NO HISTORIC CEMETERIES PRESENT ON THE SUBJECT PARCEL. IT IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DEFINED BY THE TOWN OF BRISTOL WEB GIS MAPS.
7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CRMC.
8. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OWT'S CRITICAL RESOURCE AREA AS DEFINED BY RIDEM.
9. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
10. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE ROUTE 136 OVERLAY PER BRISTOL GIS.
11. THE SUBJECT PARCEL IS LOCATED WITHIN THE UPPER EAST PASSAGE HISTORIC DISTRICT.
12. THE DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
13. THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
14. THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN AQUIFER PROTECTION AREA, WELLHEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
15. THERE ARE NO CONSTITUTIONAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
16. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE OBSERVED AND FOLLOWED AT ALL TIMES. THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
17. THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

ZONING CRITERIA

RTD ZONING	RTD ZONING
MINIMUM LOT AREA	8100 SQ. FT.
MINIMUM LOT WIDTH	40.00 FT.
MINIMUM FRONT YARD SETBACK	30 FT.
MINIMUM SIDE YARD SETBACK	10 FT.
MINIMUM REAR YARD SETBACK	10 FT.
MINIMUM LOT BUILDING COVERAGE	25%
MINIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

EXISTING CONDITIONS PLAN



PRINCÍPE COMPANY, INC.
ENGINEERING DIVISION
PO BOX 298
WALTON, MA 01979
TEL: 978-932-7978
FAX: 978-932-7979
www.principesurveying.com

**PRE APPLICATION SUBMISSION
COMPREHENSIVE PERMIT APPLICATION
OF
"FAIR WIND VILLAGE"
206 BAY VIEW AVENUE
BRISTOL, RHODE ISLAND**

SCALE: 1" = 30'	SHEET NO. 2 of 4
DRAWN BY: NEC	DESIGN BY: NEC
DATE: 05/25/22	CHECKED BY: JAR
	PROJECT NO: UD-2021-35

REVISIONS			
NO.	DATE	BY	APP.
1.	05/25/22	JAR	TP

LEGE DETAILS

- DATE: 07/27/2022
- TH. 1. LEDEGE @ 5 FT
 - TH. 2. LEDEGE @ 6 FT
 - TH. 3. LEDEGE @ 2 FT
 - TH. 4. NO LEDEGE
 - TH. 5. LEDEGE @ 6 FT
 - TH. 6. LEDEGE @ 4 FT
 - TH. 7. LEDEGE @ 4 FT
 - TH. 8. NO LEDEGE
 - TH. 9. LEDEGE @ 3 FT
 - TH. 10A. NO LEDEGE
 - TH. 10B. 8.5 FT DEEP
 - TH. 10C. LEDEGE @ 3 FT
 - TH. 11. NO LEDEGE
 - TH. 12. 9.3 FT DEEP

AP-47 LOT 1
N/F FAIR WIND
DB: 2147 PG. 344
LOT 1 AREA
92.00 SQ. FT.
2.1270 ACRES

AP-46 LOT 1
N/F RICHEN EAST LLC
DB: 2147 PG. 344
LOT 1 AREA
92.00 SQ. FT.
2.1270 ACRES

AP-47 LOT 2
N/F BRANDON L
DB: 2117 PG. 312
LOT 2 AREA
92.00 SQ. FT.
2.1270 ACRES

AP-47 LOT 3
N/F BRANDON L
DB: 2117 PG. 312
LOT 3 AREA
92.00 SQ. FT.
2.1270 ACRES

AP-47 LOT 4
N/F BRANDON L
DB: 2117 PG. 312
LOT 4 AREA
92.00 SQ. FT.
2.1270 ACRES

AP-47 LOT 5
N/F BRANDON L
DB: 2117 PG. 312
LOT 5 AREA
92.00 SQ. FT.
2.1270 ACRES

AP-47 LOT 6
N/F BRANDON L
DB: 2117 PG. 312
LOT 6 AREA
92.00 SQ. FT.
2.1270 ACRES

AP-47 LOT 7
N/F BRANDON L
DB: 2117 PG. 312
LOT 7 AREA
92.00 SQ. FT.
2.1270 ACRES

ROBERTSON & THOMSON
 No. 1732
 1880
 1880

GRAPHIC SCALE
(IN FEET)
1 inch = 30 ft

LEDGE TESTS:
DATE: 07/27/2022

R10 ZONING	
ZONING DISTRICT	R10
MINIMUM LOT AREA	10,000 SQ. FT.
MINIMUM LOT WIDTH	80'
MINIMUM LOT DEPTH	80'
MINIMUM LOT FRONTAGE	50'
MINIMUM SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	15'
MINIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

EXISTING CONDITIONS PLAN

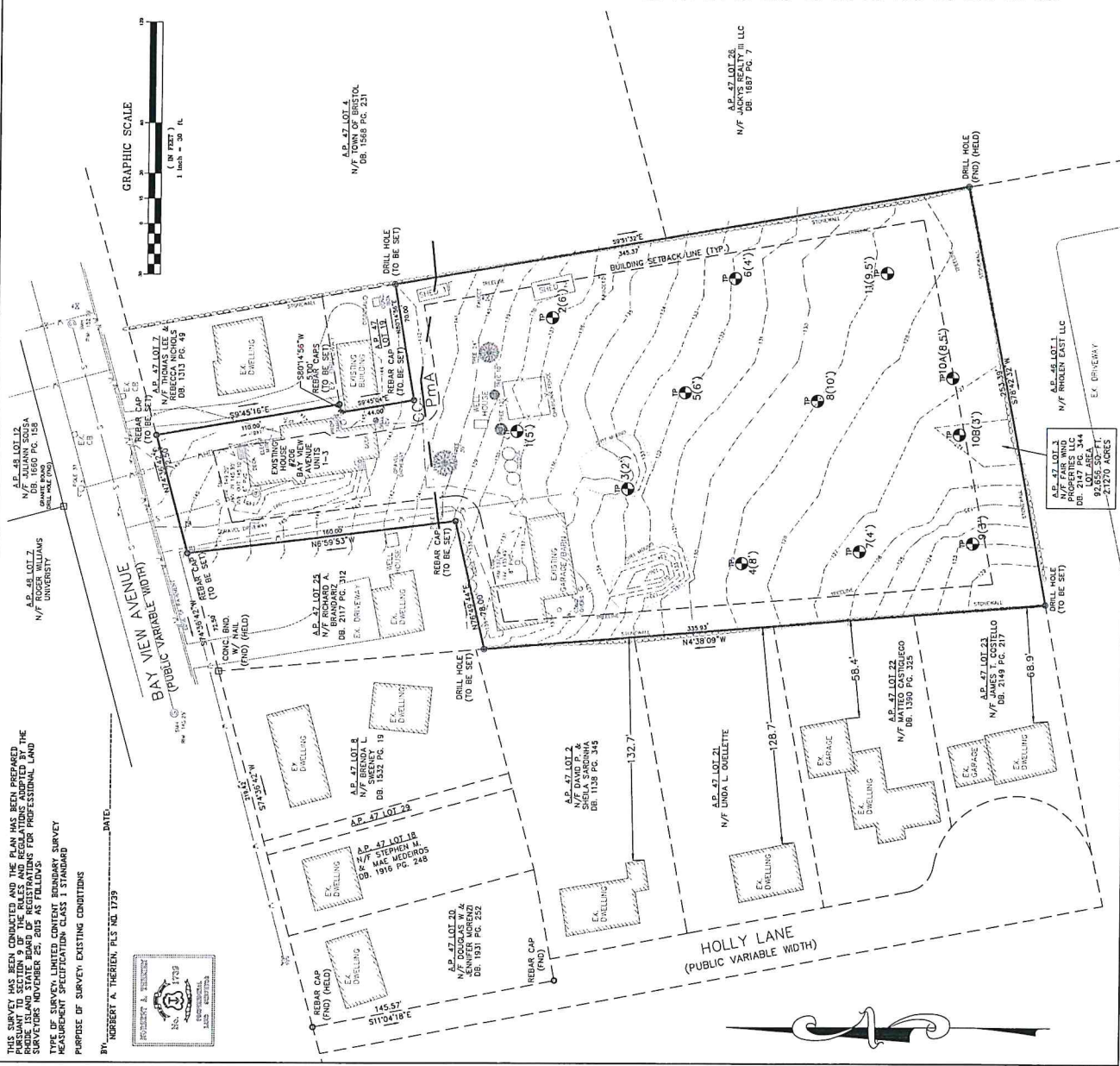


PRINCIPLE COMPANY, INC.
ENGINEERING DIVISION
PO BOX 238
TIVERTON, RI 02878
401-816-5385
www.PrincipleEngineering.com

**PRE APPLICATION SUBMISSION
FOR A
COMPREHENSIVE PERMIT APPLICATION**

OF
"FAIR WIND VILLAGE"
A.P. 47 LOT 3
in
66 BAY VIEW AVENUE
BRISTOL RHODE ISLAND

SCALE: 1" = 30'	SHEET NO.: 2 of 4	
DRAWN BY: NEC	DESIGN BY: NEC	CHECKED BY: JAR
DATE: 05/25/22		PROJECT NO.: LD-2021-35



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED BY THE SURVEYOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE BRIDGE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:
TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
PURPOSE OF SURVEY: EXISTING CONDITIONS

DATE: 11/23/2015
BY: ROBERT A. THORIN, PLS NO. 1739



GENERAL NOTES:

1. DEED REFERENCE: BK 2147, PG 344.
2. THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE.
3. SOILS ON SITE ARE CLASSIFIED AS CANTON-URBAN LAND, COMPLEX, VERY ROCKY (CC) AND PITTSBORO SILT LOAM, 0 TO 3 PERCENT SLOPES (Pma) AS IDENTIFIED BY THE USDA SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
4. THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE PROPERTY.
5. THERE ARE NO WETLANDS OR IN THE VICINITY OF THE PROJECT.
6. THERE ARE NO HISTORIC CEMETERIES PRESENT ON THE SUBJECT PARCEL. IT IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DEFINED BY THE TOWN OF BRISTOL WEB GIS MAPS.
7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CRM.
8. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OWT'S CRITICAL RESOURCE AREA.
9. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
10. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE ROUTE 136 OVERLAY PER BRISTOL GIS.
11. THE SUBJECT PARCEL IS LOCATED WITHIN THE UPPER EAST PASSAGE WATERSHED DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
12. THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
13. THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN AQUIFER CHARGE AREA, WELL-HEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
14. THERE ARE NO COASTAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
15. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE OBSERVED AND RESPECTED AT ALL TIMES. THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO INVOLVED UTILITY COMPANIES. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
16. THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

ZONING CRITERIA

ZONING DISTRICT	R10
MINIMUM LOT WIDTH	20,000 SQ. FT.
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	15'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	25' (ACCESSORY 20')

LEGE TESTS

DATE: 07/27/2022

TH	LEGE	TESTS
TH 1	LEGE	5 FT
TH 2	LEGE	6 FT
TH 3	LEGE	2 FT
TH 4	LEGE	8 FT DEEP
TH 5	LEGE	6 FT
TH 6	LEGE	4 FT
TH 7	LEGE	4 FT
TH 8	LEGE	4 FT
TH 9	LEGE	3 FT
TH 10	LEGE	3 FT
TH 11	LEGE	3 FT
TH 12	LEGE	3 FT
TH 13	LEGE	3 FT
TH 14	LEGE	3 FT
TH 15	LEGE	3 FT
TH 16	LEGE	3 FT
TH 17	LEGE	3 FT
TH 18	LEGE	3 FT
TH 19	LEGE	3 FT
TH 20	LEGE	3 FT
TH 21	LEGE	3 FT
TH 22	LEGE	3 FT
TH 23	LEGE	3 FT
TH 24	LEGE	3 FT
TH 25	LEGE	3 FT
TH 26	LEGE	3 FT
TH 27	LEGE	3 FT
TH 28	LEGE	3 FT
TH 29	LEGE	3 FT
TH 30	LEGE	3 FT
TH 31	LEGE	3 FT
TH 32	LEGE	3 FT
TH 33	LEGE	3 FT
TH 34	LEGE	3 FT
TH 35	LEGE	3 FT
TH 36	LEGE	3 FT
TH 37	LEGE	3 FT
TH 38	LEGE	3 FT
TH 39	LEGE	3 FT
TH 40	LEGE	3 FT
TH 41	LEGE	3 FT
TH 42	LEGE	3 FT
TH 43	LEGE	3 FT
TH 44	LEGE	3 FT
TH 45	LEGE	3 FT
TH 46	LEGE	3 FT
TH 47	LEGE	3 FT
TH 48	LEGE	3 FT
TH 49	LEGE	3 FT
TH 50	LEGE	3 FT
TH 51	LEGE	3 FT
TH 52	LEGE	3 FT
TH 53	LEGE	3 FT
TH 54	LEGE	3 FT
TH 55	LEGE	3 FT
TH 56	LEGE	3 FT
TH 57	LEGE	3 FT
TH 58	LEGE	3 FT
TH 59	LEGE	3 FT
TH 60	LEGE	3 FT
TH 61	LEGE	3 FT
TH 62	LEGE	3 FT
TH 63	LEGE	3 FT
TH 64	LEGE	3 FT
TH 65	LEGE	3 FT
TH 66	LEGE	3 FT
TH 67	LEGE	3 FT
TH 68	LEGE	3 FT
TH 69	LEGE	3 FT
TH 70	LEGE	3 FT
TH 71	LEGE	3 FT
TH 72	LEGE	3 FT
TH 73	LEGE	3 FT
TH 74	LEGE	3 FT
TH 75	LEGE	3 FT
TH 76	LEGE	3 FT
TH 77	LEGE	3 FT
TH 78	LEGE	3 FT
TH 79	LEGE	3 FT
TH 80	LEGE	3 FT
TH 81	LEGE	3 FT
TH 82	LEGE	3 FT
TH 83	LEGE	3 FT
TH 84	LEGE	3 FT
TH 85	LEGE	3 FT
TH 86	LEGE	3 FT
TH 87	LEGE	3 FT
TH 88	LEGE	3 FT
TH 89	LEGE	3 FT
TH 90	LEGE	3 FT
TH 91	LEGE	3 FT
TH 92	LEGE	3 FT
TH 93	LEGE	3 FT
TH 94	LEGE	3 FT
TH 95	LEGE	3 FT
TH 96	LEGE	3 FT
TH 97	LEGE	3 FT
TH 98	LEGE	3 FT
TH 99	LEGE	3 FT
TH 100	LEGE	3 FT

OWNER/APPLICANT
FAIR WIND
PROPERTIES, LLC
PO BOX 333
BRISTOL, RI 02809

EXISTING CONDITIONS PLAN

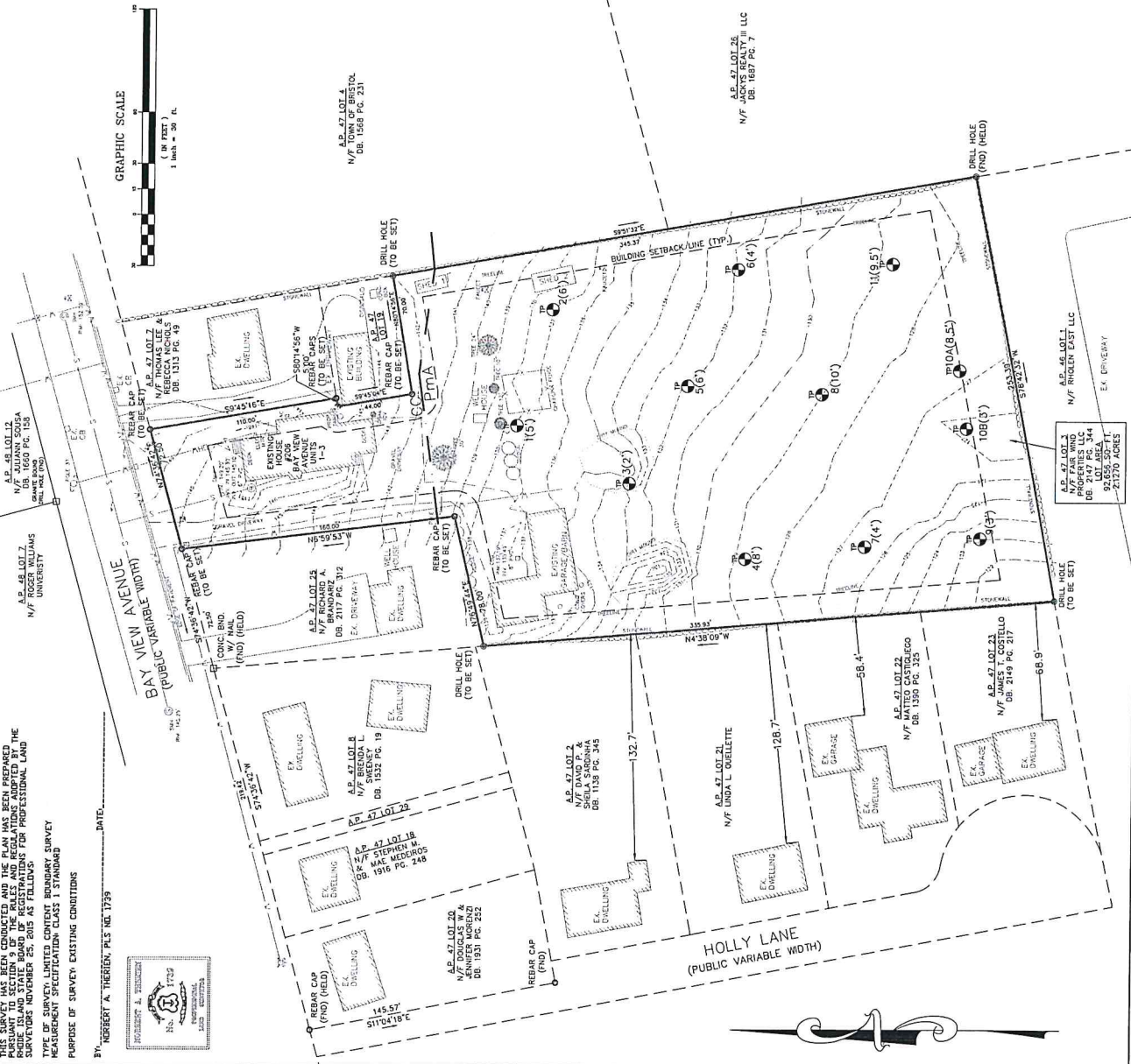


PRE APPLICATION SUBMISSION
COMPREHENSIVE PERMIT APPLICATION
"FAIR WIND VILLAGE"
206 BAY VIEW AVENUE
BRISTOL, RHODE ISLAND

SCALE: 1" = 30'
DRAWN BY: NEC
DESIGN BY: NEC
CHECKED BY: JAR
DATE: 05/25/22
SHEET NO. 2 of 4
PROJECT NO. LD-2021-35

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED BY THE ENGINEER AND THE SURVEYOR IN ACCORDANCE WITH THE REQUIREMENTS OF THE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:
 TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 PURPOSE OF SURVEY: EXISTING CONDITIONS

DATE: 07/27/2022



GENERAL NOTES:

1. DEED REFERENCE: BK 2147, PG 104-105
2. THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE
3. SOILS ON SITE ARE CLASSIFIED AS CANTON-URBAN LAND COMPLEX, VERY ROCKY (CC) AND PITTSBORO SILT LOAM, 0 TO 3 PERCENT SLOPES (Pma) AS IDENTIFIED BY THE USDA SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
4. THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE SUBJECT PROPERTY.
5. THERE ARE NO HISTORIC OR IN THE VICINITY OF THE PROJECT AREAS.
6. THERE ARE NO HISTORIC CENTERS PRESENT ON THE SUBJECT PARCEL. IT IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DENIED BY THE TOWN OF BRISTOL WEB GIS MAPS.
7. THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CMAC.
8. THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OWT'S CRITICAL RESOURCE AREA.
9. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
10. THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE ROUTE 136 OVERLAY PER BRISTOL GIS.
11. THE SUBJECT PARCEL IS LOCATED WITHIN THE UPPER EAST PASSAGE WATER SHED.
12. THE DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
13. THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
14. THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN AQUIFER RECHARGE AREA, WELLHEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
15. THERE ARE NO COASTAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
16. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE OBSERVED AND RESPECTED. ANY CONFLICTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
17. THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

ZONING CRITERIA

ZONING DISTRICT	R10 ZONING
MINIMUM LOT WIDTH	80,000 SQ. FT.
MINIMUM LOT DEPTH	80,000 SQ. FT.
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	15'
MAXIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

LEDGE TESTS:

DATE: 07/27/2022

TH	LEDGE	TH	LEDGE
TH 1	LEDGE @ 5 FT	TH 7	LEDGE @ 4 FT
TH 2	LEDGE @ 6 FT	TH 8	NO LEDGE
TH 3	LEDGE @ 2 FT	TH 9	LEDGE @ 3 FT
TH 4	NO LEDGE	TH 10A	NO LEDGE
TH 5	LEDGE @ 6 FT	TH 10B	8.5 FT DEEP
TH 6	LEDGE @ 4 FT	TH 10C	LEDGE @ 3 FT
TH 7	LEDGE @ 4 FT	TH 11	NO LEDGE
TH 8	NO LEDGE		9.5 FT DEEP
TH 9	LEDGE @ 3 FT		

OWNER/APPLICANT
 FAIR WIND
 PROPERTIES, LLC
 PO BOX 333
 BRISTOL, RI 02809

EXISTING CONDITIONS PLAN



PRINCIPLE COMPANY, INC.
 ENGINEERING DIVISION
 PO BOX 298
 BRISTOL, RI 02809
 TEL: 401-816-3333
 FAX: 401-816-3333

REVISIONS

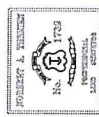
NO.	DATE	BY	CHKD	TP
1.	07/27/22	ME		

PRE APPLICATION SUBMISSION
 COMPREHENSIVE PERMIT APPLICATION
 "FAIR WIND VILLAGE"
 206 BAY VIEW AVENUE
 BRISTOL, RHODE ISLAND

SCALE: 1" = 30'
 DRAWN BY: NEC
 DESIGNED BY: NEC
 CHECKED BY: JAR
 DATE: 05/25/22
 SHEET NO. 2 of 4
 PROJECT NO: LD-2021-35

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENGINEERING DIVISION OF THE BRISTOL TOWN BOARD OF REGISTRARS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:
 TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 PURPOSE OF SURVEY: EXISTING CONDITIONS

DATE: 07/27/2022
 BY: ROBERT A. THORNTON, PLS NO. 1729



GRAPHIC SCALE
 1 inch = 20 ft.
 (8 FEET)

- GENERAL NOTES:**
- DEED REFERENCE: BK 2147, PG 345
 - THIS SUBJECT PARCEL IS NOT LOCATED WITHIN A FLOOD ZONE
 - SOILS ON SITE ARE CLASSIFIED AS CANTON-URBAN LAND, COMPLEX, VERY ROCKY (CC) AND PITTSBORO SILT LOAM, 0 TO 3 PERCENT SLOPES (PMA) AS IDENTIFIED BY THE USDA RI SOIL SURVEY. THERE ARE NO AREAS OF PRIME AGRICULTURAL SOIL AND/OR FARMLAND SOILS ON THE PROPERTY.
 - THERE ARE NO AREAS OF EXISTING, ACTIVE AGRICULTURAL USE ON THE SUBJECT PROPERTY.
 - THERE ARE NO HISTORIC CHANGES PRESENT ON THE SUBJECT PARCEL. IT IS NOT LOCATED WITHIN A NATURAL HERITAGE AREA AS DEFINED BY THE TOWN OF BRISTOL WEB GIS MAPS.
 - THE SUBJECT PARCEL IS NOT LOCATED WITHIN ANY SPECIAL AREA MANAGEMENT PLAN OF THE RI CRM.
 - THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN OWT'S CRITICAL RESOURCE AREA.
 - THE SUBJECT PARCEL IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED AS DEFINED BY RIDEM.
 - THE SUBJECT PARCEL IS NOT LOCATED WITHIN THE UPPER EAST PASSAGE PER BRISTOL GIS.
 - THE SUBJECT PARCEL IS LOCATED WITHIN THE UPPER EAST PASSAGE WATERSHED DEVELOPMENT PARCEL IS NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
 - THE SUBJECT PROPERTY IS NOT SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY A FULL EXAMINATION OF THE TITLE.
 - THE SUBJECT PARCEL IS NOT CONSIDERED TO BE WITHIN AN AQUIFER RECHARGE AREA, WELLHEAD PROTECTION OR GROUNDWATER PROTECTION AREA.
 - THERE ARE NO CONSTAAL FEATURES WITHIN 200 FEET OF THE SUBJECT PARCEL.
 - THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY CONTRACTORS SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE OBSERVED TO AVOID ANY CONSTRUCTION OPERATIONS.
 - NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
 - THE APPLICANT AND/OR THEIR REPRESENTATIVE AND THEIR ENGINEER HAVE WALKED THE SITE OF THE PROPOSED PROJECT.

ZONING CRITERIA

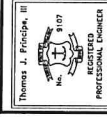
ZONING DISTRICT	R10 ZONING
MINIMUM LOT WIDTH	40,000 SQ. FT.
MINIMUM FRONT YARD SETBACK	30'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	15'
MINIMUM LOT BUILDING COVERAGE	25%
MAXIMUM BUILDING HEIGHT	35' (ACCESSORY 20')

LEDGE TESTS:
 DATE: 07/27/2022

TH 1	LEDGE @ 5 FT
TH 2	LEDGE @ 6 FT
TH 3	LEDGE @ 2 FT
TH 4	LEDGE @ 8 FT DEEP
TH 5	LEDGE @ 6 FT
TH 6	LEDGE @ 4 FT
TH 7	LEDGE @ 4 FT
TH 8	NO LEDGE
TH 9	NO LEDGE
TH 10	LEDGE @ 3 FT
TH 11	NO LEDGE
TH 12	9.5 FT DEEP

OWNER/APPLICANT
 FAIR WIND
 PROPERTIES, LLC
 PO BOX 333
 BRISTOL, RI 02809

EXISTING CONDITIONS PLAN



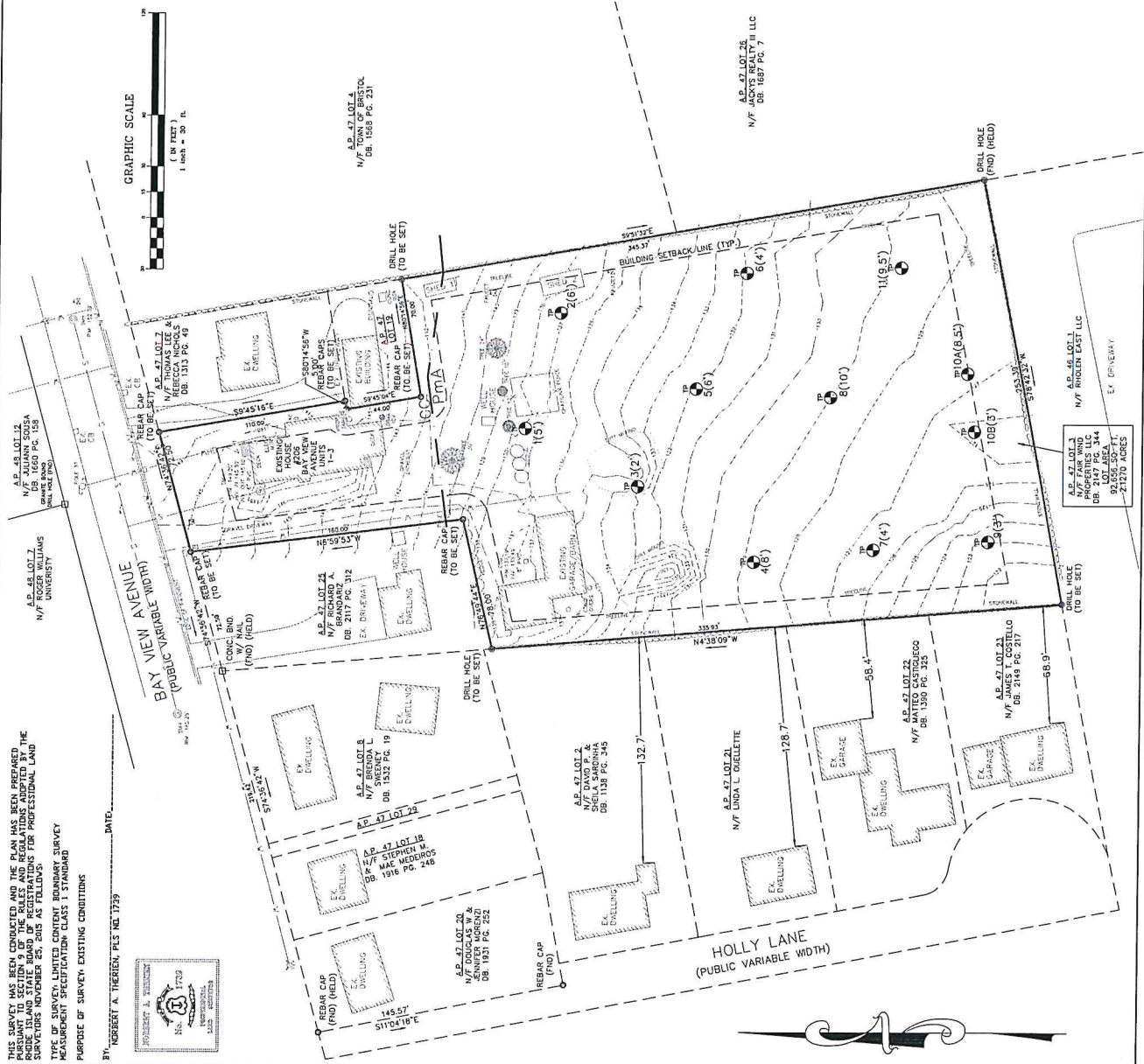
PRINCIPLE COMPANY, INC.
 ENGINEERING DIVISION
 1000 ROUTE 1
 PO BOX 298
 BRISTOL, RI 02809
 TEL: 401-861-5355
 FAX: 401-861-5355
 www.PrincipleEngineering.com

PRE APPLICATION SUBMISSION
 COMPREHENSIVE PERMIT APPLICATION
 OF
 "FAIR WIND VILLAGE"
 206 BAY VIEW AVENUE
 BRISTOL, BRIDGE ISLAND

SCALE: 1" = 30'
 SHEET NO. 2 of 4
 DRAWN BY: NEC
 CHECKED BY: JAR
 DATE: 05/25/22
 PROJECT NO: LD-2021-35

REVISIONS

NO.	DATE	BY	CHKD	TP
1	06/07/22	JAR		



A KEYED NOTES

B

PLAN LEGEND

- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD
- COLUMN LOCATION
- CASEWORK
- SMOKE DETECTOR - INTERCONNECTED
- HEAT DETECTOR - HARDWIRED AND INTERCONNECTED
- FIRE RATED DOOR
- 60 MIN W/ CLOSER

C

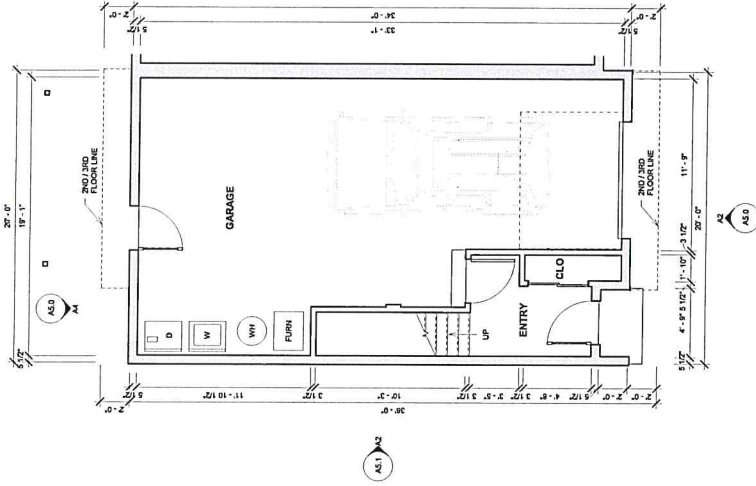
GENERAL NOTES

1. REVEAL ALL DIMENSIONS IN THE FIELD. DO NOT SCALE.
2. ALL INTERIOR WALLS 2x4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE REQUIREMENTS.
3. ALL SILL JOISTS 4" O.C. WALL UNLESS NOTED OTHERWISE.
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
5. PROVIDE UNADORNED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE. BUILDING DEPT.
6. PROTECT IN PLACE ALL EXISTING FEATURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNFINISHED AREAS. PATCH SHALL BE MATCHED TO WHETHER SHOWN ON THE DRAWING OR NOT.
8. PATCH PAINT AND REFINISH ALL EXISTING WALLS, CEILING, FLOORS, AND BASEBOARDS. PATCHED MATERIALS SHALL BE DAMAGED PART OF REPAIR.
9. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. ALL NEW WORK SHALL BE AS SHOWN AND INTENDED TO SERVE AS GENERAL GUIDELINES.
10. DIMENSIONS SHOWN ARE FROM FACE OF STUDOR OR FINISH SURFACE UNLESS OTHERWISE NOTED. UNLESS OTHERWISE NOTED.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS.
13. HVAC SYSTEM TO BE DESIGN BUILT. PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. COVER ALL WALLS AND CEILING WITH 1/2" THICK GYPSUM BOARD. PATCH AND REFINISH ALL EXISTING WALLS, CEILING, FLOORS, AND BASEBOARDS. PATCHED MATERIALS SHALL BE DAMAGED PART OF REPAIR.
17. ALL APPLIANCES PROVIDED BY OWNER. INSTALLED BY CONTRACTOR.
18. RECONNECT EXISTING FEATURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
19. PROVIDE DIMMERS AS DIRECTED BY OWNER.
20. ALL LOW VOLTAGE WIRING SHALL BE CONCEALED IN WALLS OR FLOORS. NOT SHOWN. STARTING TO ALL LOW VOLTAGE WIRING FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.

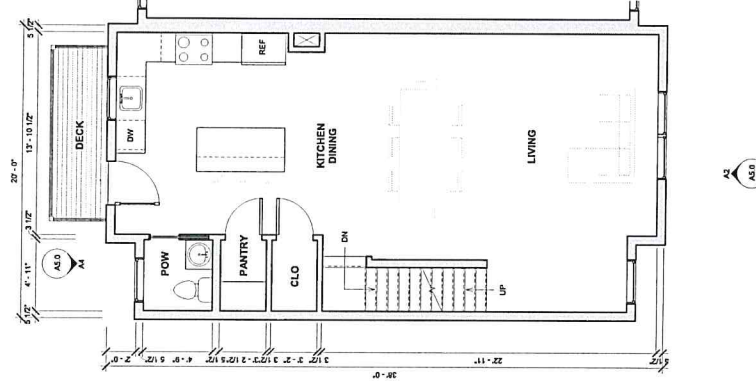
D

GENERAL NOTES

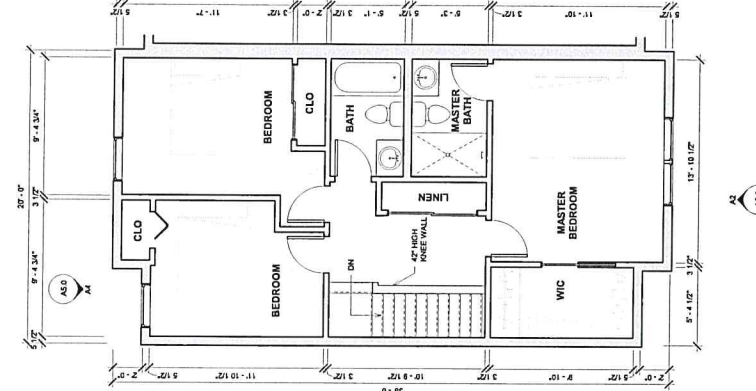
1. REVEAL ALL DIMENSIONS IN THE FIELD. DO NOT SCALE.
2. ALL INTERIOR WALLS 2x4 AT 16" O.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATES. SEE REQUIREMENTS.
3. ALL SILL JOISTS 4" O.C. WALL UNLESS NOTED OTHERWISE.
4. CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
5. PROVIDE UNADORNED AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE. BUILDING DEPT.
6. PROTECT IN PLACE ALL EXISTING FEATURES AND SURFACES SCHEDULED TO REMAIN.
7. PATCH AND REPAIR EXISTING WALLS LOCATED IN UNFINISHED AREAS. PATCH SHALL BE MATCHED TO WHETHER SHOWN ON THE DRAWING OR NOT.
8. PATCH PAINT AND REFINISH ALL EXISTING WALLS, CEILING, FLOORS, AND BASEBOARDS. PATCHED MATERIALS SHALL BE DAMAGED PART OF REPAIR.
9. PLANS DO NOT FULLY REPRESENT ALL NEW WORK. ALL NEW WORK SHALL BE AS SHOWN AND INTENDED TO SERVE AS GENERAL GUIDELINES.
10. DIMENSIONS SHOWN ARE FROM FACE OF STUDOR OR FINISH SURFACE UNLESS OTHERWISE NOTED. UNLESS OTHERWISE NOTED.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE. LOCATE NEW ELECTRICAL DEVICES PER NEC REQUIREMENTS & REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS.
13. HVAC SYSTEM TO BE DESIGN BUILT. PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOLID WOOD BLOCKING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. COVER ALL WALLS AND CEILING WITH 1/2" THICK GYPSUM BOARD. PATCH AND REFINISH ALL EXISTING WALLS, CEILING, FLOORS, AND BASEBOARDS. PATCHED MATERIALS SHALL BE DAMAGED PART OF REPAIR.
17. ALL APPLIANCES PROVIDED BY OWNER. INSTALLED BY CONTRACTOR.
18. RECONNECT EXISTING FEATURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
19. PROVIDE DIMMERS AS DIRECTED BY OWNER.
20. ALL LOW VOLTAGE WIRING SHALL BE CONCEALED IN WALLS OR FLOORS. NOT SHOWN. STARTING TO ALL LOW VOLTAGE WIRING FOR LOCATIONS OF ALL LOW VOLTAGE WIRING.



A1 - FLOOR PLAN - 1ST FL
1/4" = 1'-0"



B1 - FLOOR PLAN - 2ND FL
1/4" = 1'-0"



C1 - FLOOR PLAN - 3RD FL
1/4" = 1'-0"

OPT 10

A4.1

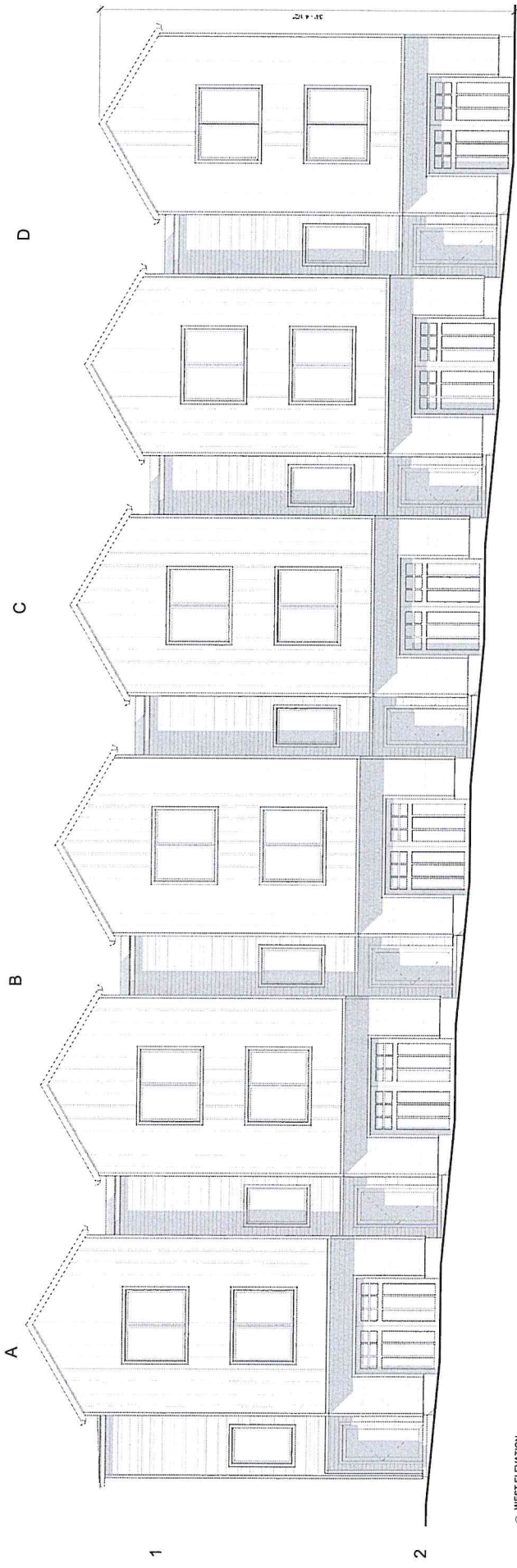
206 Bayview Ave
Bristol, RI 02809
PROJECT NUMBER: 23031

PLAN 1ST FL, 2ND FL
& 3RD FL

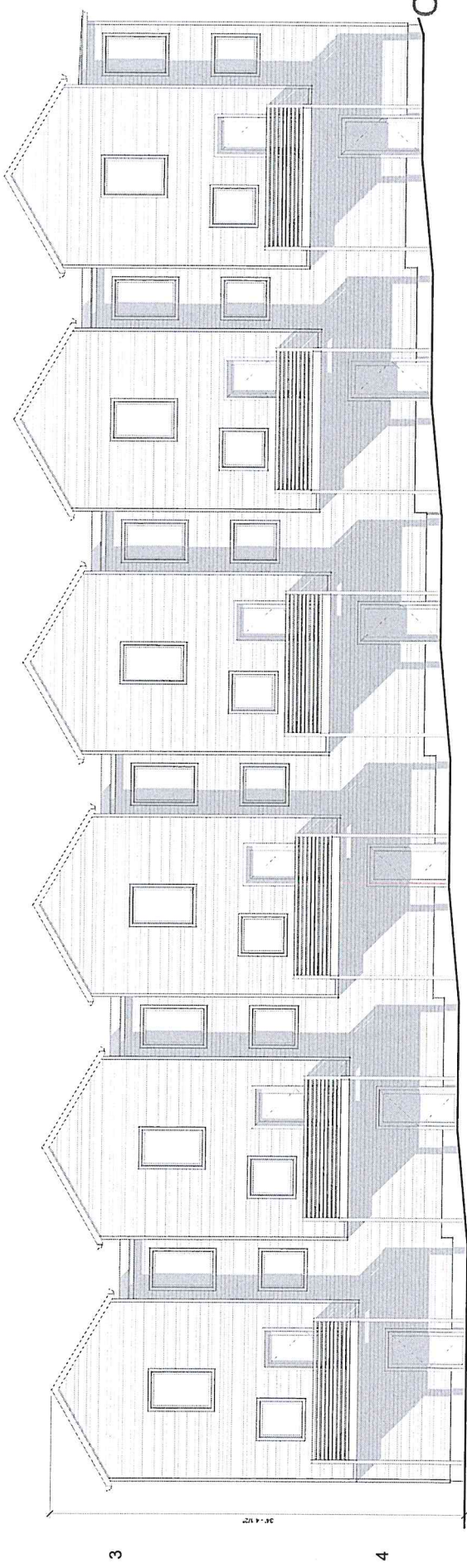
REV. #	DATE	ISSUED FOR
2024-10-23	OWNERS REVIEW	

David Sisson Architecture PC
245 Nathan Ave
Bristol, RI 02809
www.davidssissonarchitecture.com 401-595-7074

REV #	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	



WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

D

C

B

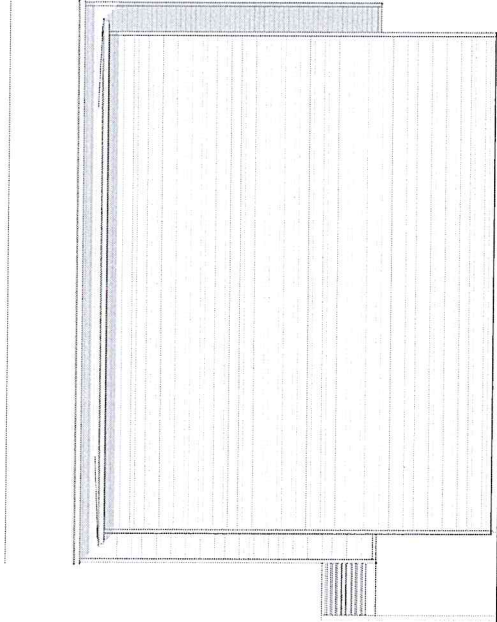
A

1

2

3

4



NORTH ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"

David Sisson Architecture PC

145 Tannock Ave

East Providence RI 02914

www.ds-arch.com info@ds-arch.com 401-695-0700

REV #	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	

PROJECT NUMBER: 23031
206 Bayview Ave
Bristol, RI 02809

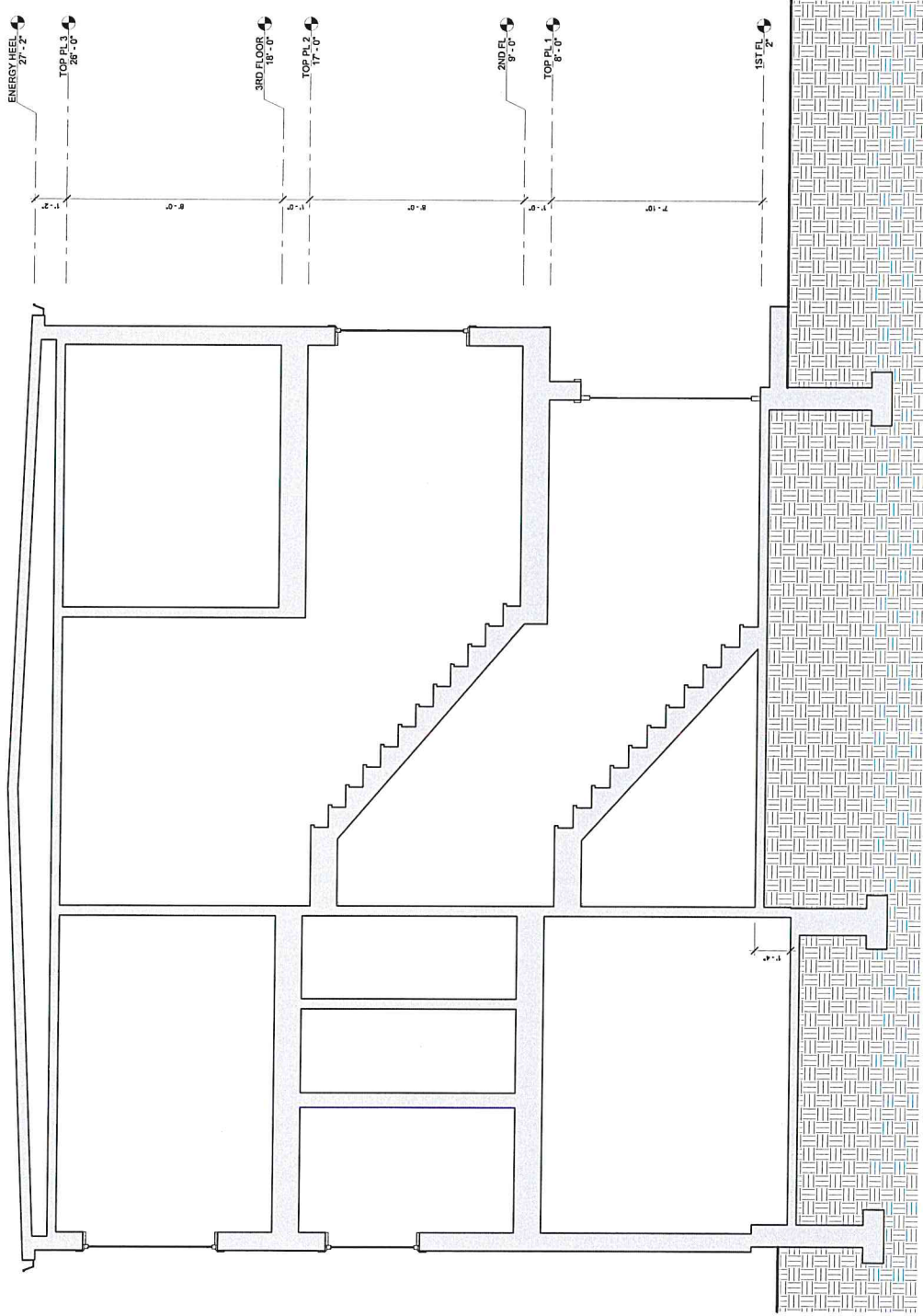
ELEVATIONS

OPT 10

A5.1

A B C D

KEYED NOTES



SECTION 1
1/2" = 1'-0"

A6.0

OPT 10

SECTIONS

206 Bayview Ave
Bristol, RI 02809

PROJECT NUMBER: 23031

REV. #	DATE	ISSUED FOR
1	2024-10-23	OWNER REVIEW

David Sasson Architecture PC
345 Tannan Ave
East Providence RI 02914
www.ds-arch.com info@ds-arch.com 401-595-7070

A

B

C

D

ZONING TABLE

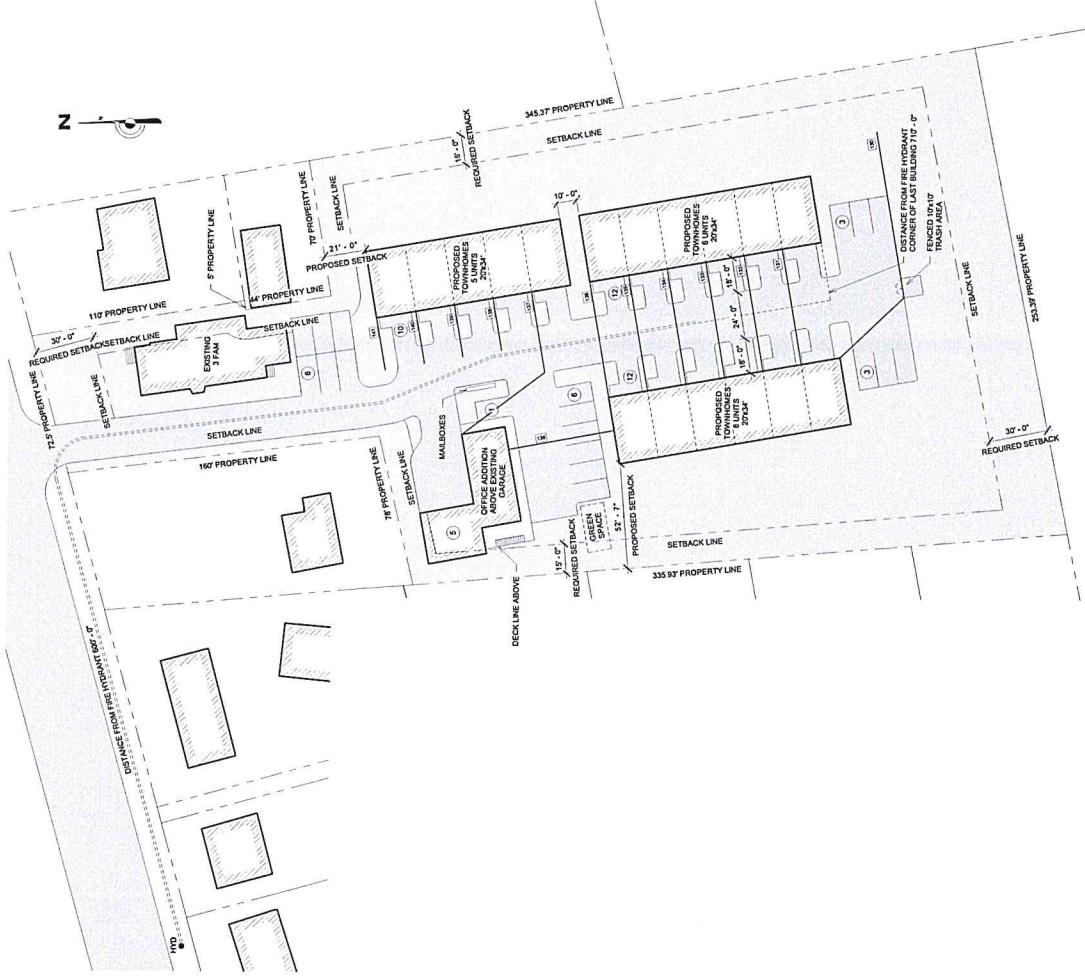
PLAT = 47

LOT = 3

ZONE = R-10

ITEM	REQUIRED	PROVIDED
LOT SIZE	10,000 SF / DWELLING UNIT	92,656 SF
LOT FRONTAGE	60'	100'
FRONT SETBACK	30'	30'
SIDE SETBACK	15'	15'
REAR SETBACK	30'	30'
HEIGHT	35'	35'
LOT BUILDING COVERAGE	25% (25,164 SF)	16.2% (14,933 SF)

PARKING REQUIREMENTS:
(2) SPACES PER DWELLING UNIT (40) REQUIRED
(1) PER 300 GSF FOR OFFICE (5) REQUIRED
(50) PARKING SPACES PROVIDED



© SITE - PROPOSED
1" = 30'-0"

SITE PLAN

206 Bayview Ave
BRIDGE, RI 02809
PROJECT NUMBER: 20031

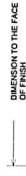
REV. #	DATE	ISSUED FOR
1	2024.10.23	OWNER REVIEW

David Sisson Architecture PC
3415 Tenthon Ave
East Providence, RI 02914
Phone: 401-595-7070
Fax: 401-595-7071
www.david-sisson.com

A0.1

OPT 10

PLAN LEGEND



GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN THE FIELD DO NOT SCALE DRAWINGS.
2. PROVIDE INTERIOR WALLS 2X AT 6" O.C. UNLESS NOTED OTHERWISE. PROVIDE EXTERIOR WALLS 4" AT 6" O.C. UNLESS NOTED OTHERWISE.
3. ALL DOOR LAMBS 4" OF WALL UNLESS NOTED OTHERWISE.
4. CENTER DOORS AT WALL UNLESS NOTED OTHERWISE.
5. PROVIDE CONCRETE FOUNDATION 12" MIN. THICK AND 6" MIN. DEEP. PROVIDE 12" MIN. THICK CONCRETE SLAB AND DETAILERS WITH BATTERY BACKUP PER CODE REQUIREMENTS.
6. PROVIDE 6" MIN. THICK CONCRETE SLAB AS DICTATED BY THE LOCAL BUILDING DEPT.
7. 6" PROTECT IN PLACE ALL EXISTING UTILITIES AND SURFACES SCHEDULED TO REMAIN.
8. PROVIDE 12" MIN. THICK CONCRETE WALLS LOCATED IN UNFINISHED ATTIC OR CRAWL SPACE. PROVIDE 12" MIN. THICK CONCRETE WALLS ON THE DOWNGROSS OR NOT, WHENEVER DOWN ON THE DOWNGROSS OR NOT.
9. PATCH PAINT AND REFINISH ALL EXISTING WALLS, MATERIALS IN PLACE WHEN DAMAGED PART POINT OF DAMAGE IS NOTED.
10. 8" MIN. DOOR THICKLY REINFORCED ALL NEWWORK. THE CONSTRUCTION DOCUMENTS ARE INTENDED TO BE USED AS GENERAL GUIDELINES.
11. PROVIDE ELECTRICAL PER STATE ELECTRICAL CODE REQUIREMENTS. PROVIDE POWER FOR ALL APPLIANCES AND LIGHTS. PROVIDE 120V/240V PER NEW REQUIREMENTS & OWNER'S REQUIREMENTS.
12. PROVIDE PLUMBING PER STATE PLUMBING CODE REQUIREMENTS.
13. PROVIDE 1/2" MIN. THICK DESIGN BULD, PROVIDE PER STATE CODE REQUIREMENTS.
14. PROVIDE SOFT WOOD FLOORING AS REQUIRED.
15. PROVIDE FIRE EXTINGUISHERS PER CODE AND PER REQUIREMENTS OF THE BUILDING OFFICIAL.
16. PROVIDE 1/2" MIN. THICK CONCRETE SLAB WITH ALL EXPOSED REINFORCING BARS. PROVIDE 1/2" MIN. THICK CONCRETE SLAB WITH ALL EXPOSED REINFORCING BARS. PROVIDE 1/2" MIN. THICK CONCRETE SLAB WITH ALL EXPOSED REINFORCING BARS.
17. COVER ALL WALLS AND CEILINGS WITH THICK GYPSUM BOARD. PROVIDE 1/2" MIN. THICK CONCRETE SLAB WITH ALL EXPOSED REINFORCING BARS.
18. PROVIDE WALLS AND FLOOR REINFORCING GYPSUM BOARD AT BATHROOMS UNLESS NOTED OTHERWISE.
19. ALL APPLIANCES PROVIDED BY OWNER, SWITCHED BY CONTRACTOR.
20. PROVIDE 1/2" MIN. THICK CONCRETE SLAB WITH ALL EXPOSED REINFORCING BARS AS REQUIRED IN THE FIELD.
21. PROVIDE DIMMERS AS DIRECTED BY OWNER.
22. 2X WALL, TELEPHONE AND OTHER LOW VOLTAGE WIRING TO BE DONE BY OTHERS. PROVIDE 1/2" MIN. THICK CONCRETE SLAB WITH ALL EXPOSED REINFORCING BARS. PROVIDE 1/2" MIN. THICK CONCRETE SLAB WITH ALL EXPOSED REINFORCING BARS. PROVIDE 1/2" MIN. THICK CONCRETE SLAB WITH ALL EXPOSED REINFORCING BARS.

David Sisson Architecture PC
345 Taunton Ave
East Providence RI 02914
www.ds-art.com info@ds-art.com 401-595-7070

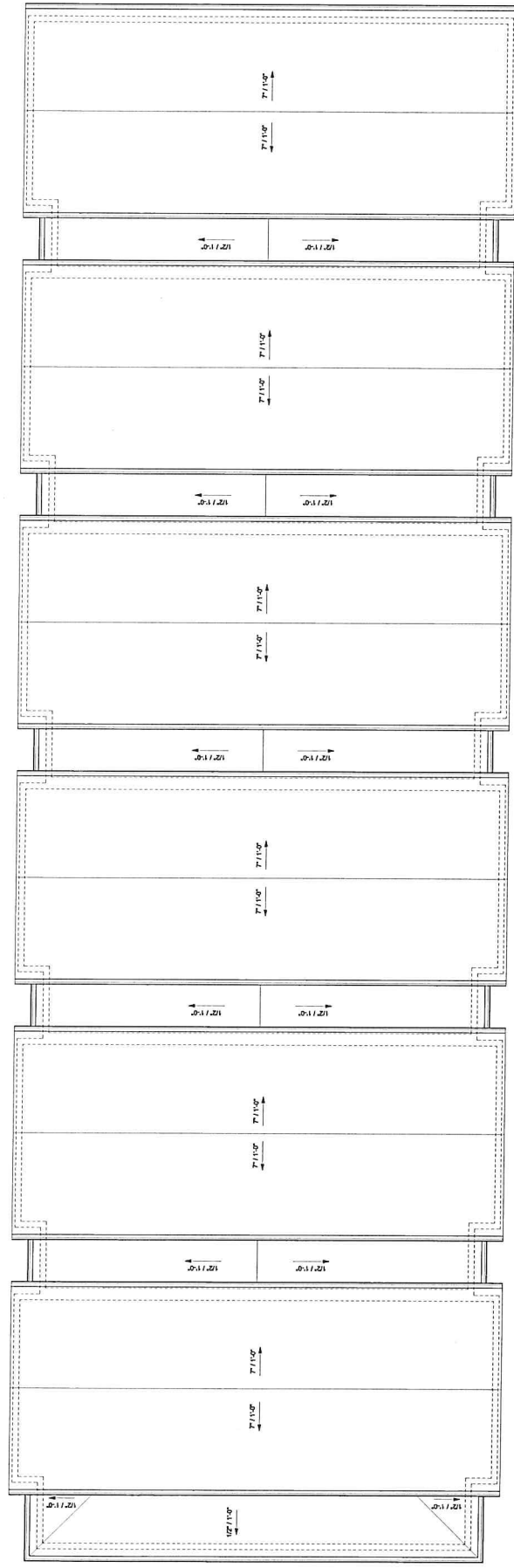
REV.#	DATE:	ISSUED FOR:
	2024-10-23	OWNER REVIEW

206 Bayview Ave
Bristol, RI 02809
PROJECT NUMBER: 23031

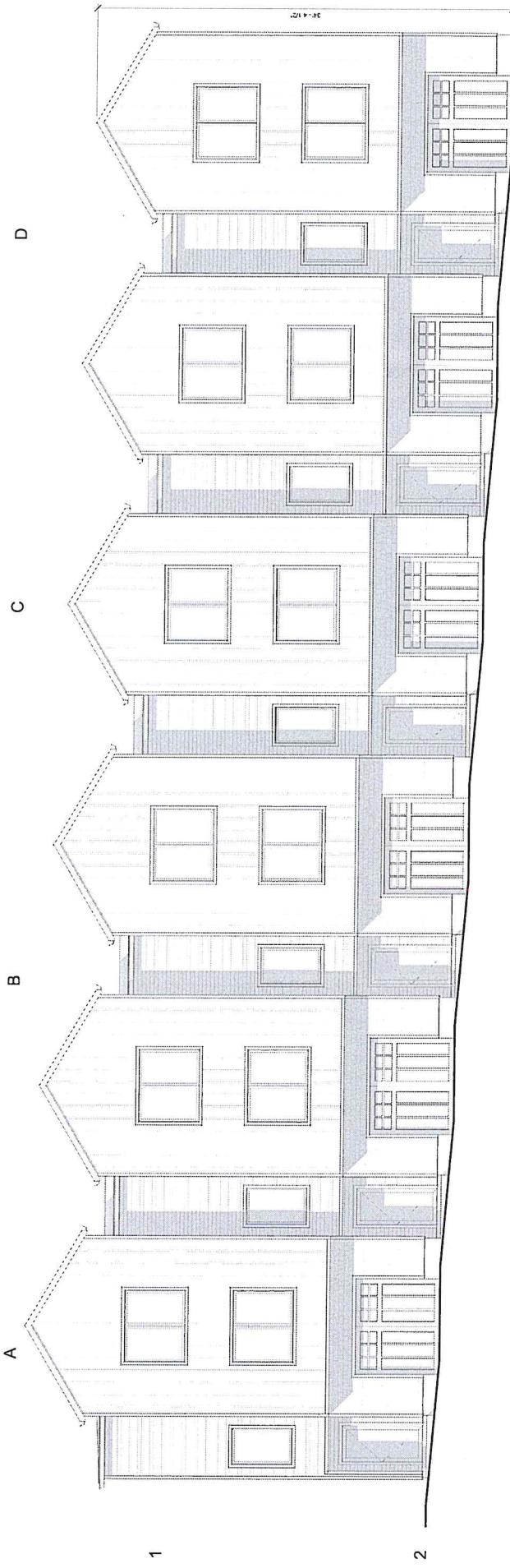
PLANS - ROOF

OPT 10

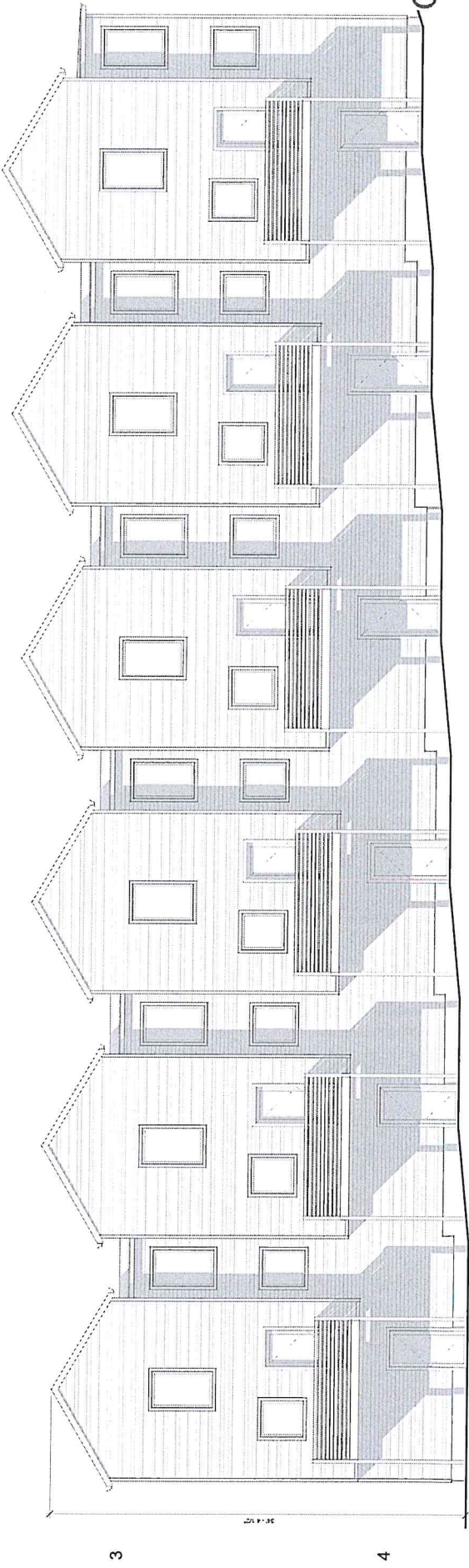
A4.2



REV. #	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	



WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

4

3

2

1

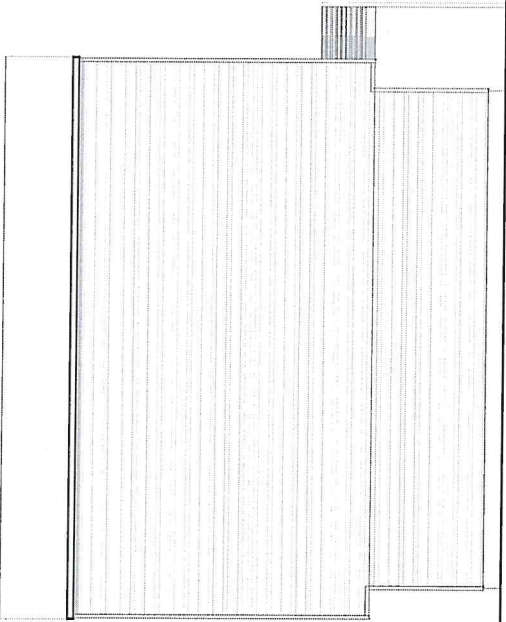
A

B

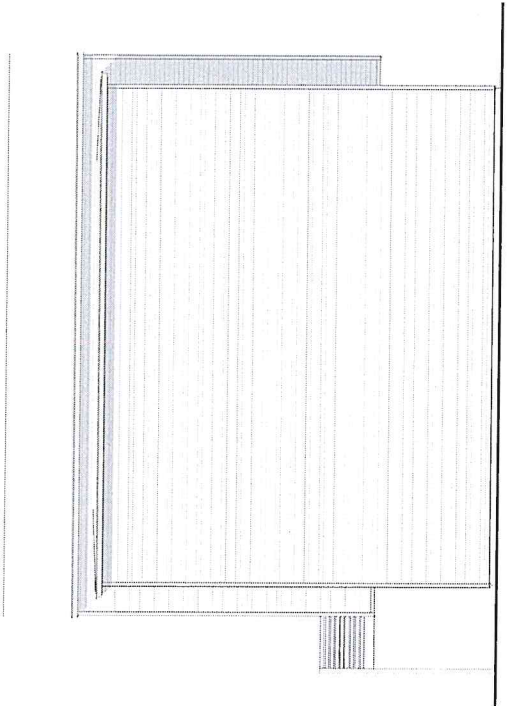
C

D

3 SOUTH ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



A5.1

OPT 10

ELEVATIONS

206 Bayview Ave
Bristol, RI 02809

PROJECT NUMBER: 23031

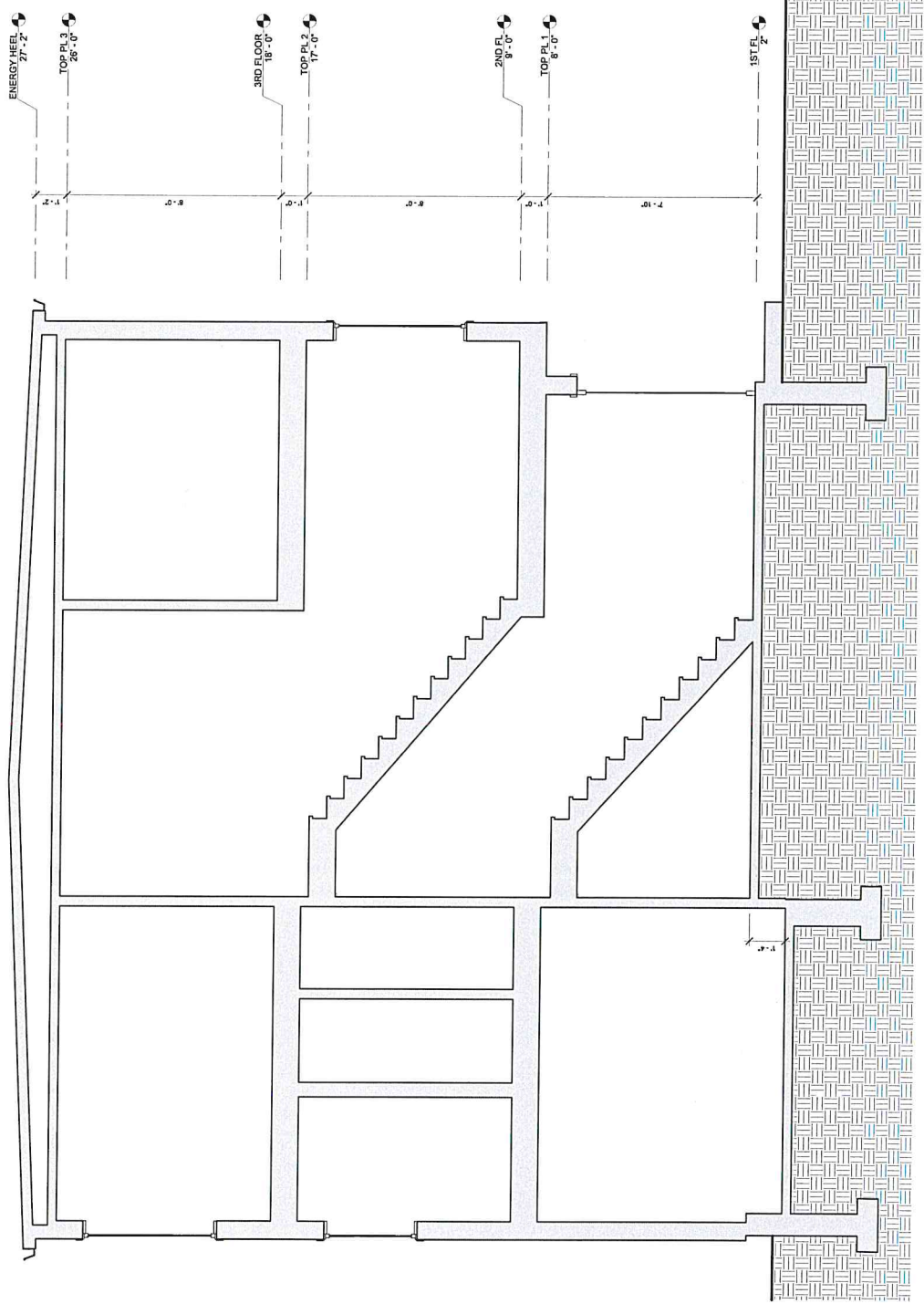
REV. # DATE: ISSUED FOR:

2024-10-23 OWNER REVIEW

David Sasson Architecture PC
245 Tannan Ave
East Providence RI 02914
www.ds-arch.com info@ds-arch.com 401-955-7070

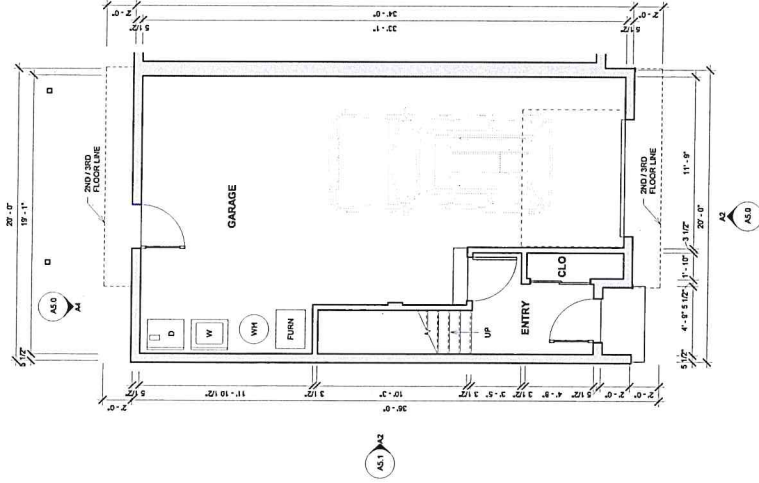
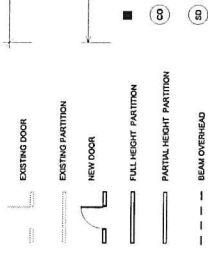
A B C D

KEYED NOTES

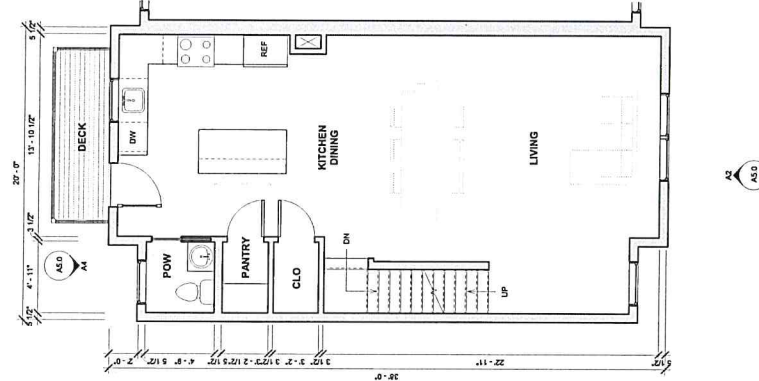


SECTION 1
1/2" = 1'-0"

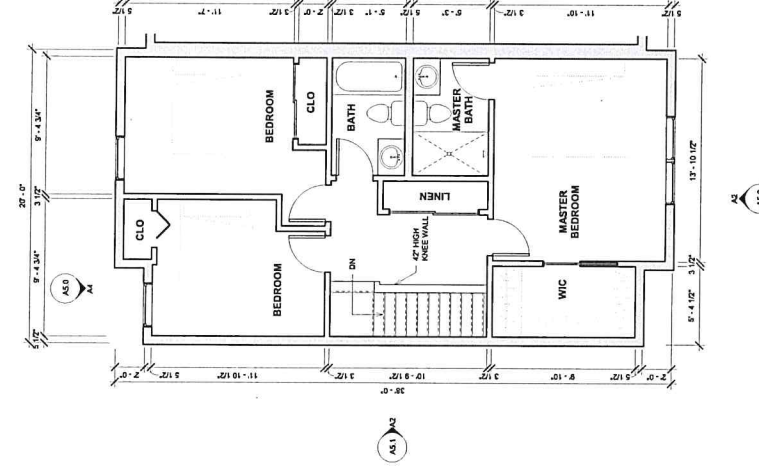
PLAN LEGEND



A4 FLOOR PLAN - 1ST FL
1/4" = 1'-0"



B4 FLOOR PLAN - 2ND FL
8/1/05 - 41.05



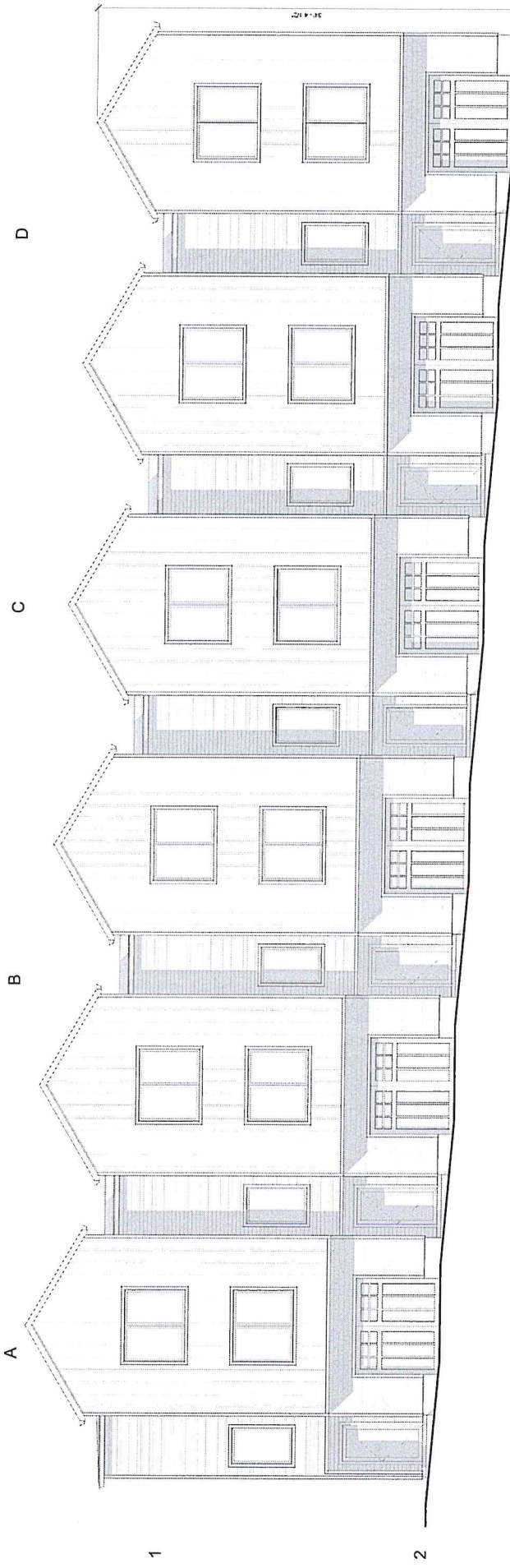
FLOOR PLAN - 3RD FL

GENERAL NOTES

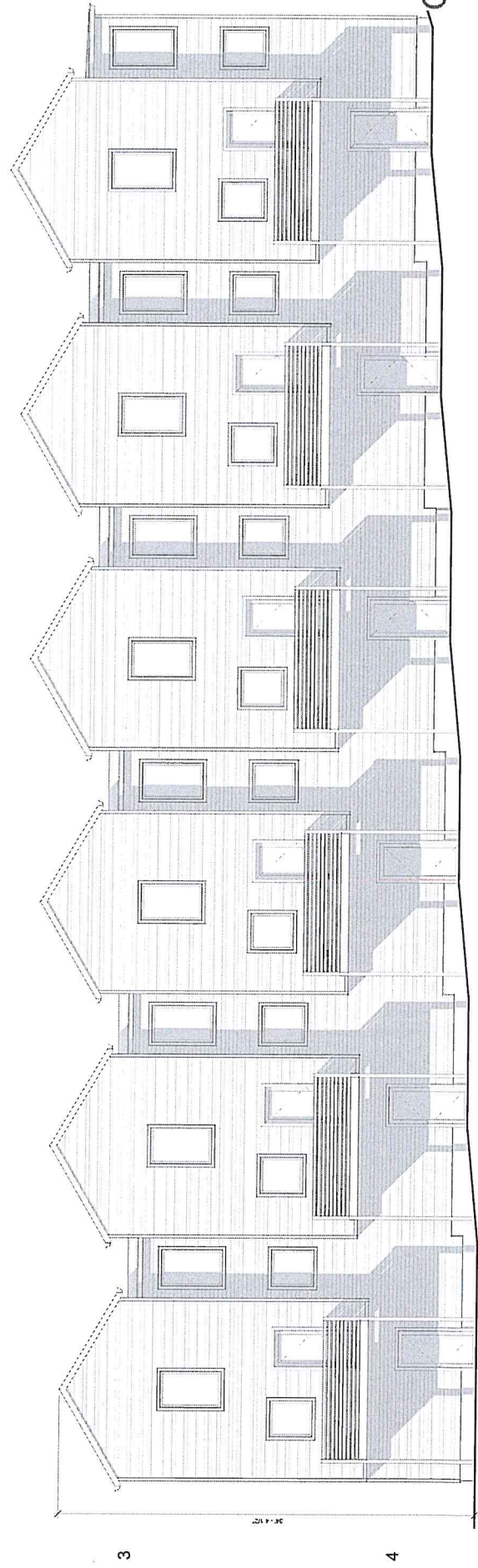
- [illegible]

□

- [illegible]



WEST ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

OPT 10

ELEVATIONS

A5.1

206 Bayview Ave
Bristol, RI 02809

PROJECT NUMBER: 22031

REV. #	DATE	ISSUED FOR
2022-10-23	OWNER REVIEW	

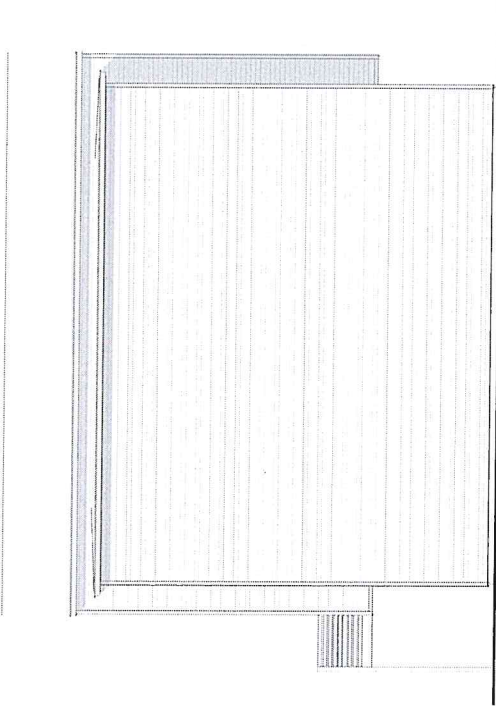
245 Thurston Ave
East Providence RI 02914
www.ds-arch.com info@ds-arch.com 401-955-7070
david sisson architecture pc

D

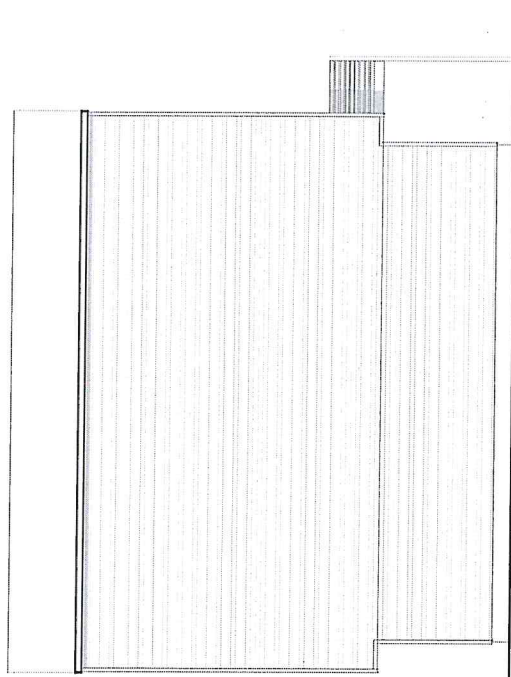
C

B

A



3. NORTH ELEVATION
1/4" = 1'-0"



4. SOUTH ELEVATION
1/4" = 1'-0"

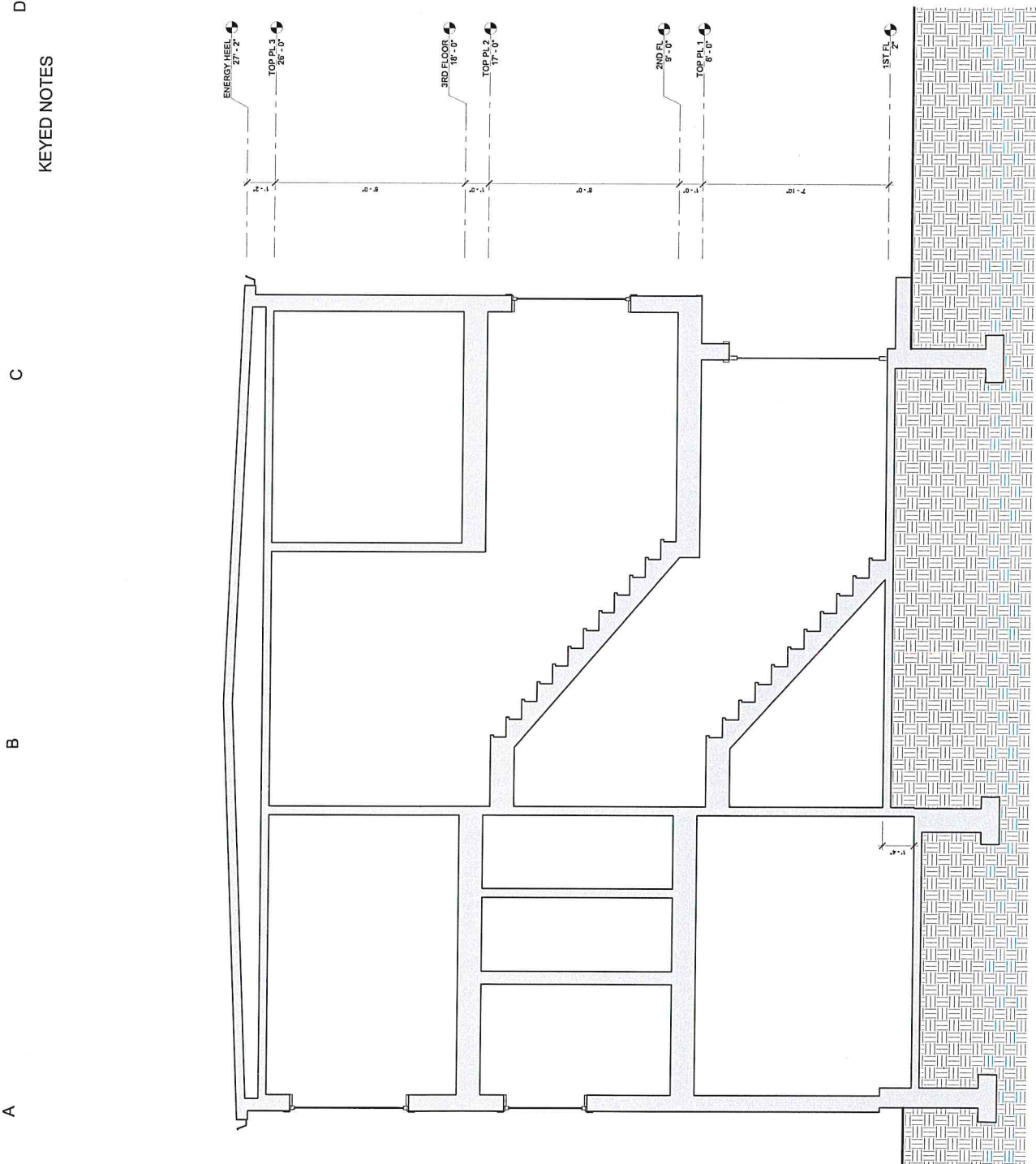
1

2

3

4

SECTION 1
1/2" = 1'-0"



SECTIONS

206 Bayview Ave

BRIDGE, RI 02809

PROJECT NUMBER: 23031

REV. # DATE: ISSUED FOR: OWNER REVIEW

2024-10-23

David Sisson Architecture PC
345 Thurston Ave
East Providence RI 02914
www.ds-a-arch.com info@ds-a-arch.com 401-555-7070

A6.0

OPT 10

A

ZONING TABLE

PLAT=47

LOT=3

ZONE=R-10

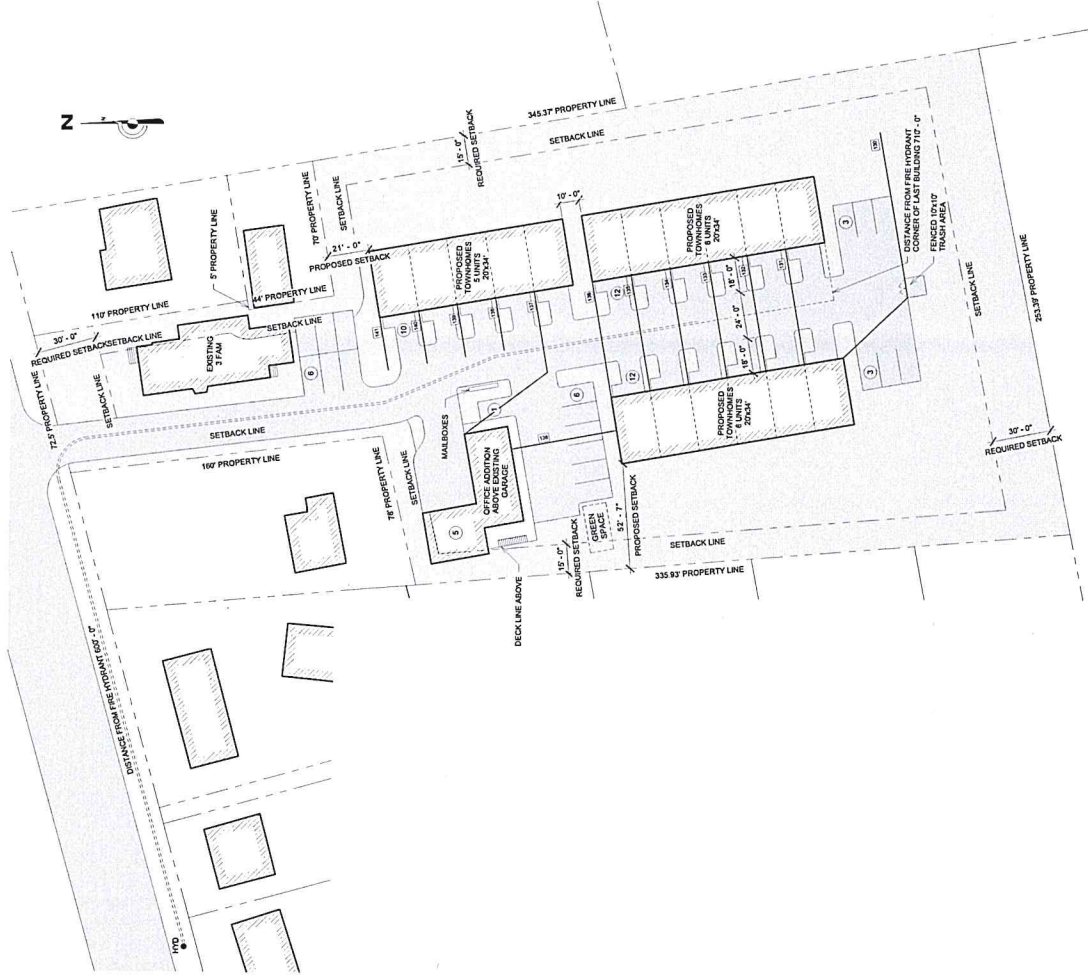
ITEM	REQUIRED	PROVIDED
LOT SIZE	10,000 SF / DWELLING UNIT	92,656 SF
LOT FRONTAGE	60'	
FRONT SETBACK	30'	
SIDE SETBACK	15'	
REAR SETBACK	30'	
HEIGHT	35'	
LOT BUILDING COVERAGE	25% (23,164 SF)	16.2% (14,933 SF)

PARKING REQUIREMENTS:
(2) SPACES PER DWELLING UNIT (40) REQUIRED
(1) PER 300 GSF FOR OFFICE, (5) REQUIRED
(50) PARKING SPACES PROVIDED

B

C

D



CA SITE - PROPOSED
1" = 30'-0"

SITE PLAN

206 Bayview Ave
BRIDGE, NJ 02809
PROJECT NUMBER: 23031

REV. # DATE
2024-10-25 OWNER REVIEW
ISSUED FOR

David Sisson Architecture PC
245 Tenthon Ave
East Providence, RI 02914
Phone: 401-955-1070
Fax: 401-955-1071
www.ds-a.com

OPT 10

A0.1

A5.0

OPT 10

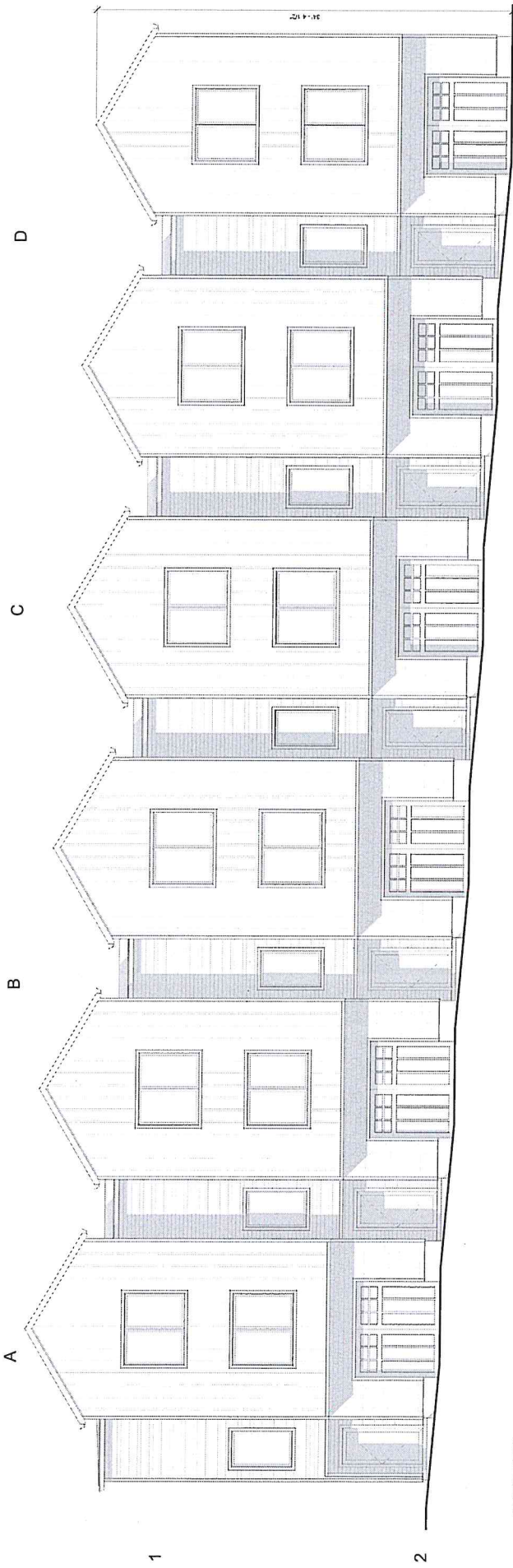
ELEVATIONS

206 Bayview Ave
Bridgewater, RI 02809

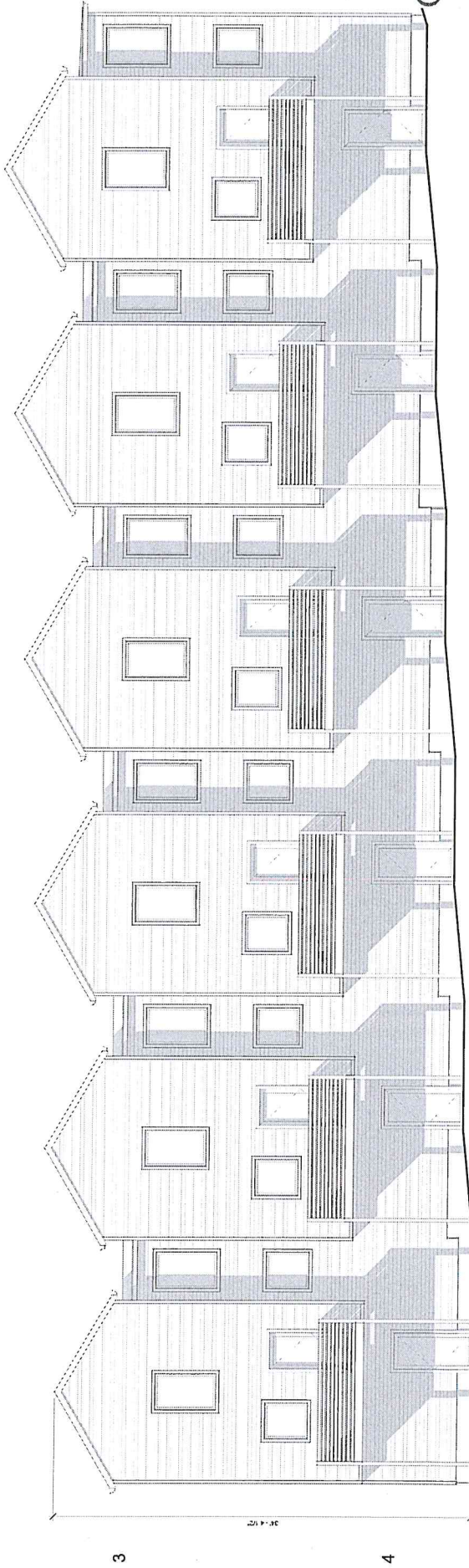
PROJECT NUMBER: 23031

REV. # DATE
2024-10-23
ISSUED FOR: OWNER REVIEW

DAVID SSSON ARCHITECTURE PC
1651 Providence Ave
Bridgewater, RI 02809
www.ds-arch.com info@ds-arch.com 401-595-1070



A2 WEST ELEVATION
1/4" = 1'-0"



A3 EAST ELEVATION
1/4" = 1'-0"

A

B

C

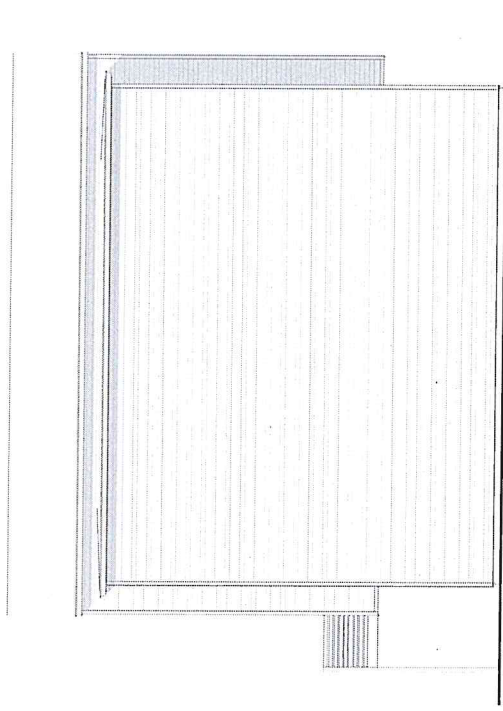
D

1

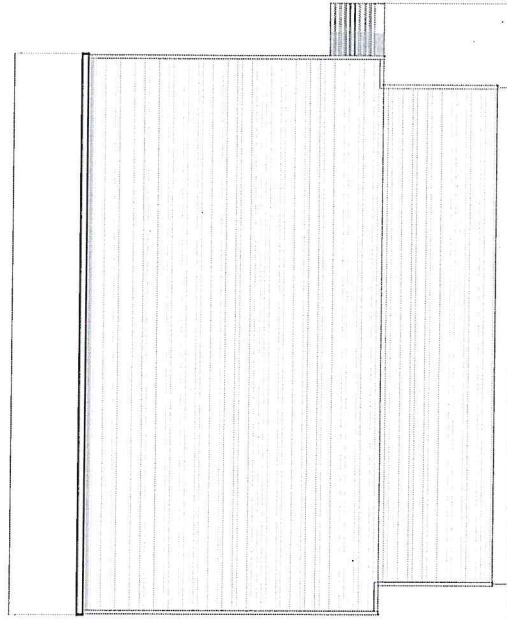
2

3

4



NORTH ELEVATION
1/4" = 1'-0"



SOUTH ELEVATION
1/4" = 1'-0"

245 Tansun Ave
East Providence RI 02914
www.ds-arch.com info@ds-arch.com 401-555-7070

david sisson architecture pc

REV. #	DATE	ISSUED FOR:
2024-10-23	OWNER REVIEW	

206 Bayview Ave
Dedham, RI 02809
PROJECT NUMBER: 23031

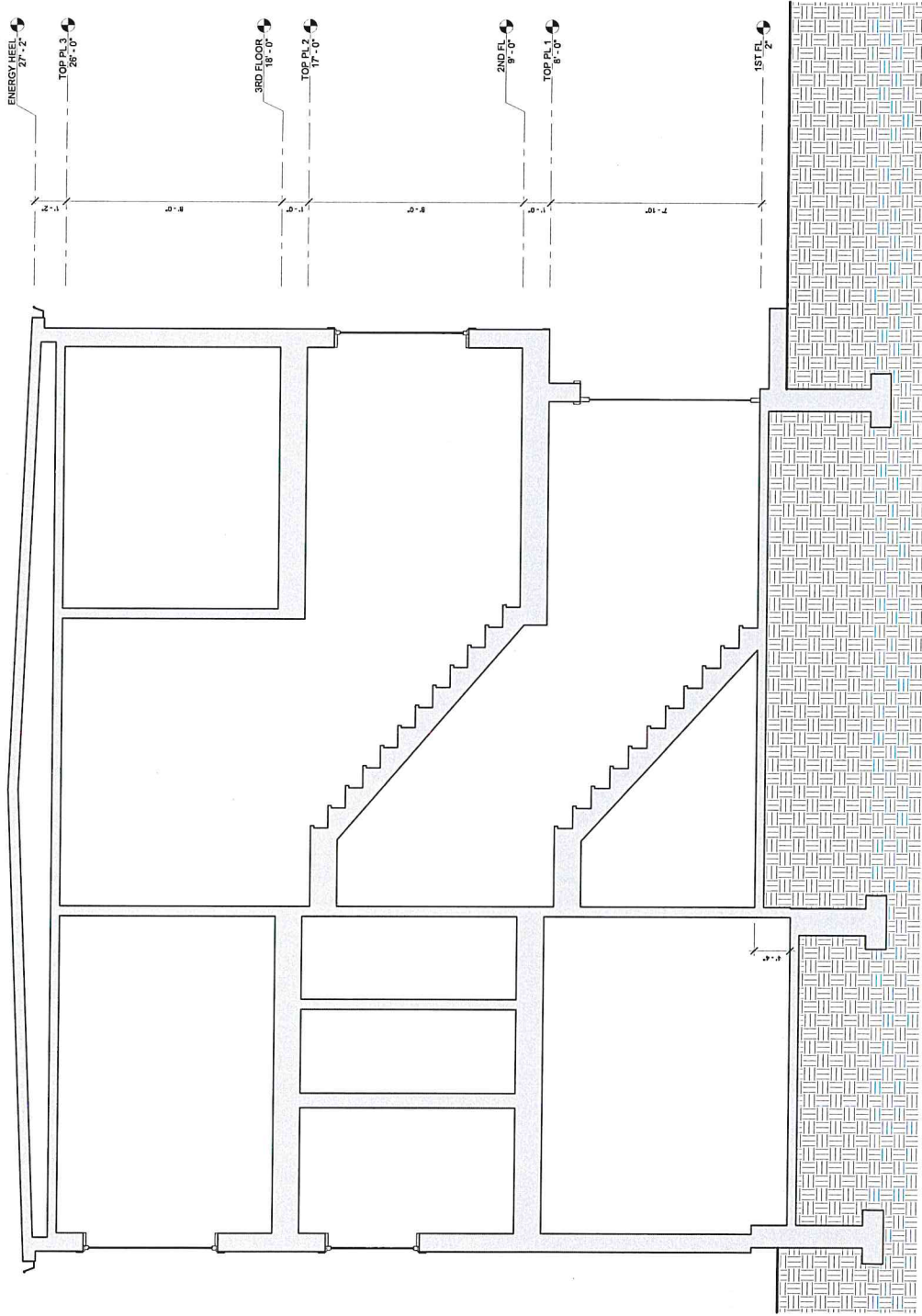
ELEVATIONS

OPT 10

A5.1

A B C D

KEYED NOTES



SECTION 1
1/2" = 1'-0"

A6.0

OPT 10

SECTIONS

206 Bayview Ave
Bristol, RI 02809

PROJECT NUMBER: 23031

REV. #	DATE	ISSUED FOR	OWNER REVIEW
1	10-24-10	10-24-10	10-24-10
2	10-24-10	10-24-10	10-24-10
3	10-24-10	10-24-10	10-24-10
4	10-24-10	10-24-10	10-24-10
5	10-24-10	10-24-10	10-24-10
6	10-24-10	10-24-10	10-24-10
7	10-24-10	10-24-10	10-24-10
8	10-24-10	10-24-10	10-24-10
9	10-24-10	10-24-10	10-24-10
10	10-24-10	10-24-10	10-24-10

DAVID SASSON ARCHITECTURE PC
345 FARMER AVE
PROVIDENCE, RI 02914
WWW.DSARCH.COM INFO@DSARCH.COM 401.955.7070

A

ZONING TABLE

PLAT = 47

LOT = 3

ZONE = R-10

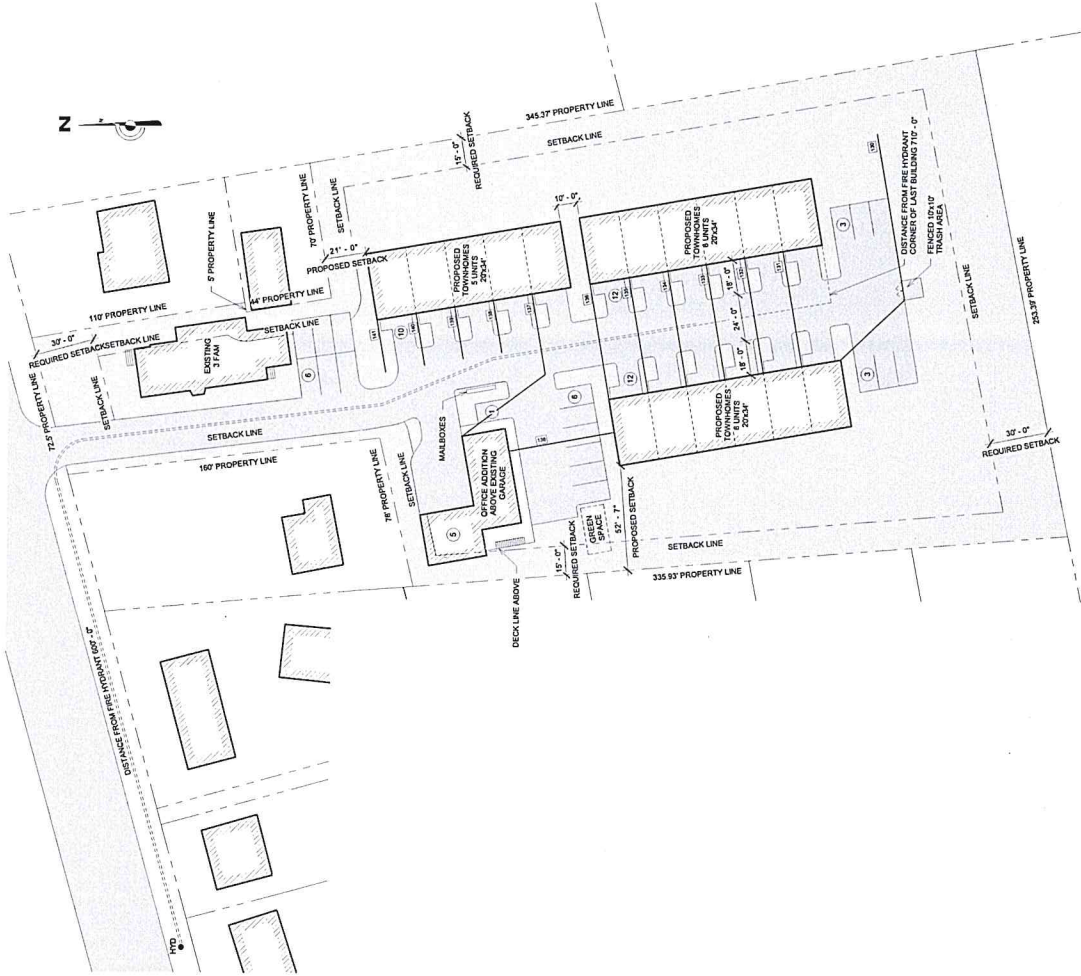
ITEM	REQUIRED	PROVIDED
LOT SIZE	10,000 SF / DWELLING UNIT	92,656 SF
LOT FRONTAGE	80'	
FRONT SETBACK	30'	
SIDE SETBACK	15'	
REAR SETBACK	30'	
HEIGHT	35'	
LOT BUILDING COVERAGE	25% (23,164 SF)	18.2% (14,933 SF)

PARKING REQUIREMENTS:
(2) SPACES PER DWELLING UNIT (40) REQUIRED
(1) PER 300 GSF FOR OFFICE, (5) REQUIRED
(50) PARKING SPACES PROVIDED

B

C

D



© SITE - PROPOSED
1" = 30'-0"

David Sisson Architecture PC
345 Turnpike Ave
Bristol, RI 02809
www.ds-a.com info@ds-a.com 401-595-7070

REV. #	DATE	ISSUED FOR
001	10/23	OWNER REVIEW

206 Bayview Ave
Bristol, RI 02809
PROJECT NUMBER: 23031

SITE PLAN

OPT 10

A0.1

A
KEYED NOTES

B

C

D

David Sisson Architecture PC
10000 15th Avenue NW
Suite 100
Edmonton, Alberta T6A 1K6
Canada
Tel: 780.441.1111
Fax: 780.441.1112
www.davidssisonarchitecture.com

REV.	DATE	BY	DESCRIPTION
1	2024-10-23	DAVID SISSON	ISSUED FOR PERMIT

PROJECT NUMBER: 23031
206 Bayview Ave
Bldg. Rm 02509

PLAN 1ST FL, 2ND FL
& 3RD FL

OPT 10

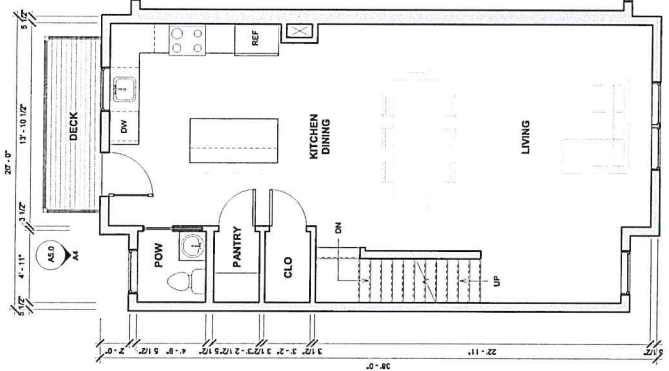
A4.1

PLAN LEGEND

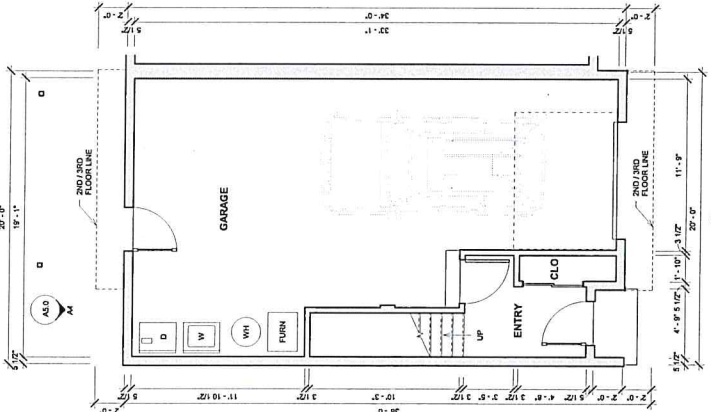
- EXISTING DOOR
- EXISTING PARTITION
- NEW DOOR
- FULL HEIGHT PARTITION
- PARTIAL HEIGHT PARTITION
- BEAM OVERHEAD

GENERAL NOTES

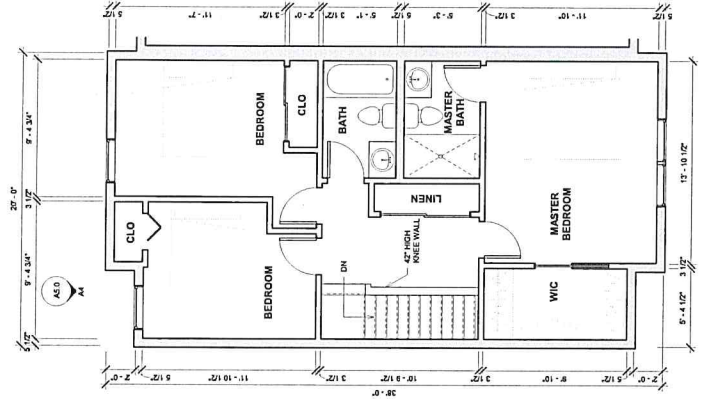
- VERIFY ALL DIMENSIONS IN THE FIELD. DO NOT SCALE.
- ALL INTERIOR WALLS SHALL BE 1/2" G.C. UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATE. SEE SCHEDULE 1.
- ALL EXTERIOR WALLS SHALL BE 16" CMU UNLESS NOTED OTHERWISE. PROVIDE DOUBLE TOP PLATE. SEE SCHEDULE 1.
- CENTER DOORS IN WALL UNLESS NOTED OTHERWISE.
- PROVIDE HARDWARE AND INTERCONNECTED SMOKE AND CO DETECTORS WITH BATTERY BACKUP PER CODE REQUIREMENTS OF THE BUILDING OFFICIAL.
- PROTECT IN PLACE ALL EXISTING FEATURES AND SURFACES SCHEDULED TO REMAIN.
- PATCH AND REPAIR EXISTING WALLS LOCATED IN AREAS TO BE REMOVED OR RECONSTRUCTED. PATCHES SHALL BE MATCHED TO EXISTING MATERIALS AND FINISHES. PATCHES SHALL BE REPAIR.
- PATCH PAINT AND REFINISH ALL EXISTING WALLS, CEILING, FLOORS, AND TRIM TO MATCH EXISTING MATERIALS AND FINISHES. PATCHES SHALL BE REPAIR.
- PLANS DO NOT FULLY REPRESENT ALL NEW WORK. PROVIDE ALL NEW WORK AS NOTED ON THE PLANS. PROVIDE ALL NEW WORK AS NOTED ON THE PLANS.
- RECONNECT EXISTING FIXTURES TO NEW SWITCH LOCATIONS AS REQUIRED IN THE FIELD.
- PROVIDE DIMMERS AS DIRECTED BY OWNER.
- 22.1V GAVY, TELEPHONE AND OTHER LOW VOLTAGE WIRING SHALL BE INSTALLED IN CONFORMANCE WITH THE BUILDING OFFICIAL FOR LOCATIONS OF ALLOW VOLTAGE WIRING.



B. FLOOR PLAN - 2ND FL
1/4" = 1'-0"



A4. FLOOR PLAN - 1ST FL
1/4" = 1'-0"



C. FLOOR PLAN - 3RD FL
1/4" = 1'-0"

REV. #	DATE	ISSUED FOR
2024-10-23	OWNER REVIEW	

A B C D

1

2

WEST ELEVATION
1/4" = 1'-0"

3

4

EAST ELEVATION
1/4" = 1'-0"

OPT 10

ELEVATIONS

A5.1

206 Bayview Ave
Bristol, RI 02809

PROJECT NUMBER: 23031

REV. #	DATE	ISSUED FOR
1	2024-10-23	OWNER REVIEW
2		
3		
4		
5		
6		
7		
8		
9		
10		

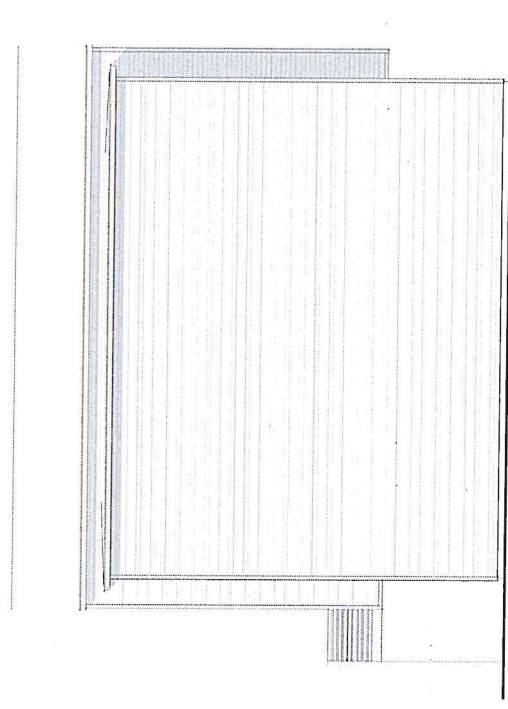
david sasson architecture pc
345 Tannan Ave
East Providence, RI 02914
www.ds-arch.com info@ds-arch.com 401-555-7070

D

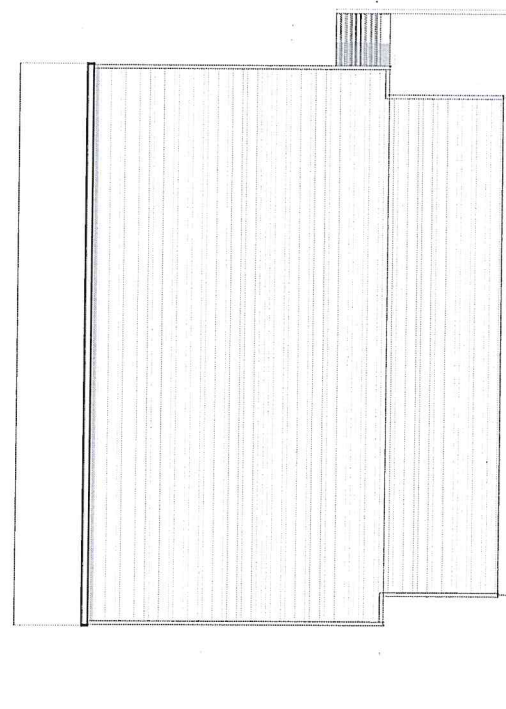
C

B

A

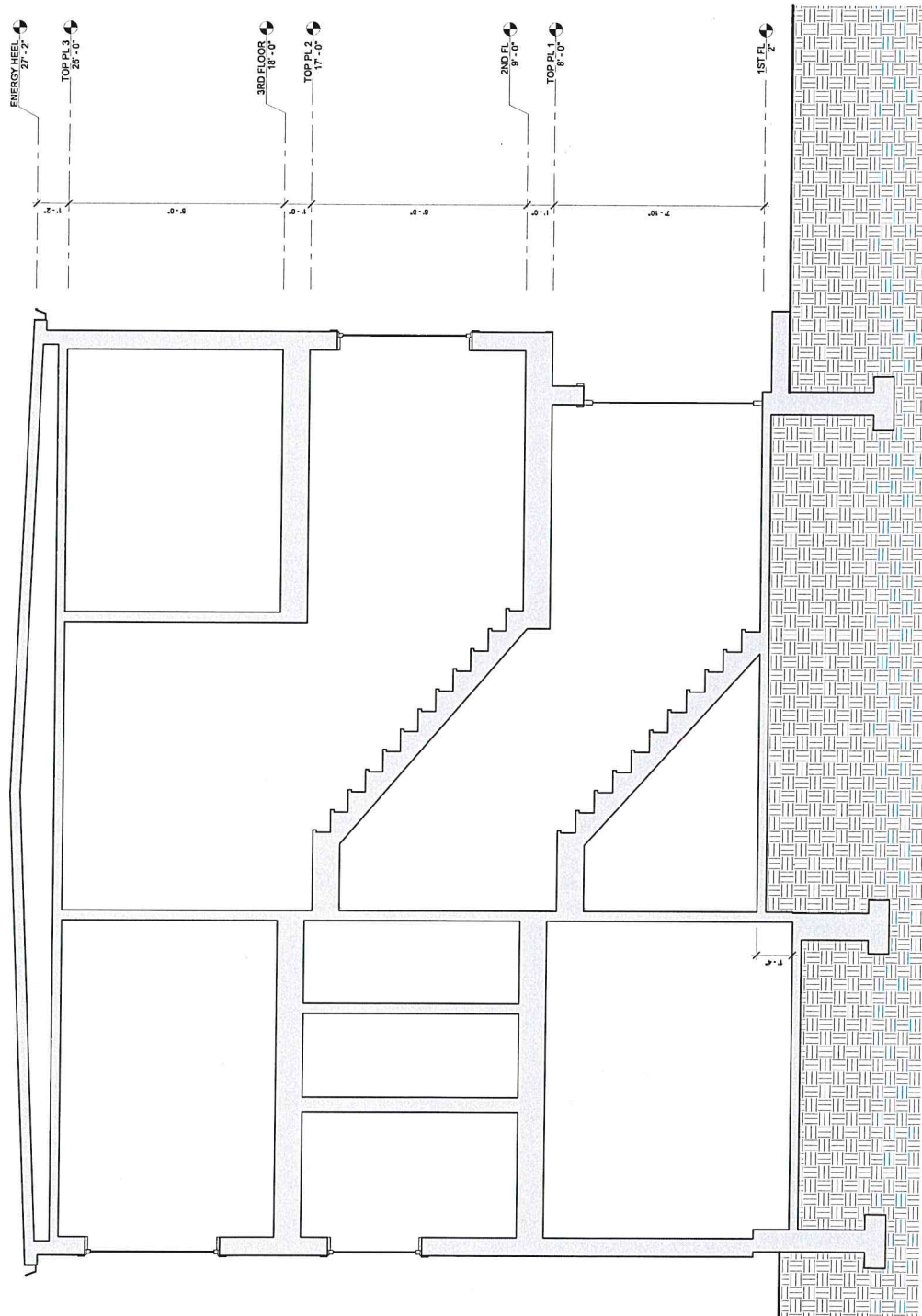


North Elevation
1/4" = 1'-0"



South Elevation
1/4" = 1'-0"

SECTION 1
1/2" = 1'-0"



KEYED NOTES

A B C D

A6.0

OPT 10

SECTIONS

206 Bayview Ave

Bristol, RI 02809

PROJECT NUMBER: 23031

REV. #	DATE	ISSUED FOR
2024.10.23	OWNER REVIEW	

david saisson architecture pc
345 Tenthon Ave
East Providence, RI 02914
www.ds-arch.com info@ds-arch.com 401-595-7070