

June 3, 2024

Ms. Diane Williamson  
Director of Community Development  
Town of Bristol  
9 Court Street  
Bristol, RI 02809

RE: Bristol Yarn Mill Redevelopment  
Final Plan Application  
A.P. 10 Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76  
Thames and Hope Street  
Bristol, RI

Dear Ms. Williamson:

Fuss & O'Neill has prepared the accompanying Final Plan application on behalf of the applicant Thames Street Nashua LLC (Applicant), for the redevelopment of the Robin Rug mill complex on Thames Street and some additional parcels with frontage on Thames Street and Hope Street. The project includes 127 residential apartment units and approximately 6,300 square feet of leasable space for commercial uses.

The Bristol Planning Board approved the Master Plan for the project, with conditions, on May 12, 2022 (Bristol Land Evidence Book 2172 Page 297). The Bristol Town Council subsequently approved Zoning Modifications and a Zoning Map Change for the project on August 3, 2022 (Bristol Land Evidence Book 2183 Page 272) that adopted the Planning Board's decision with changes to the provision of affordable housing. Those changes include the requirement that 20% of the residential units (i.e., 26 units based on a total unit count of 127 units) shall be designated as affordable (Bristol Zoning Ordinance Section 28-370), three of the units will be located at Lots 49 and 50 on Assessor's Plat 10, ten units will be located within the mill complex on Lots 42, 60, 61, 62, and 73 on Assessor's Plat 10, and 13 units will be provided through a fee-in-lieu of building or designating units within the development.

The Bristol Planning Board approved the Preliminary Plan for the project, with conditions, on July 14, 2023 (Bristol Land Evidence Book 2217 Page 90). The Preliminary Plan approval conditions are listed in *italics* in the section below followed by an explanation of how they have been addressed for Final Plan review.



## **Preliminary Plan Approval Conditions**

- A. Dedication by deed of the parking lot on the northeast corner of Church and Thames Street. Plat 10, Lot 32 to the Town of Bristol for public parking as required by the zoning that there be 10% of the land area set aside for public institutional uses as required by Section 28-284 (g) prior to recording of final plan.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- B. Additional arborvitae evergreen buffer plantings shall be planted on the south side of the Thames Street parking lot to augment the existing row as a visual and noise buffer. The number, height and spacing of plantings shall be shown on the final landscaping plans by the landscape architect and installation of same will be verified in the field by the Town Tree Warden.*

The Enlargement Planting Plan (sheet LP-103) has been updated to show additional arborvitae screening plantings along the south side of the Thames Street parking lot.

- C. A 6-foot tall solid-wall fence shall be installed along the south side of the Thames Street parking lot of a material that blocks headlights and helps mitigate sound. The fence shall NOT be of a stockade design as shown on the preliminary plans. The design of this fence shall be subject to the Historic District Commission review and approval. The Final Plan shall indicate a proposed fence that satisfies these requirements.*

The Site Plan (sheet CS-101) has been revised to show a 6-foot-tall solid wall cedar fence along the property line south of the Thames Street parking lot. A detail has been added to the Details (sheet CD-510) for a 6-foot-tall solid wall cedar fence. The revised fence location was necessary to accommodate the additional buffer plantings and snow storage adjacent to the parking lot. Selective trimming along the south side of the existing Arborvitae trees is necessary to install the fence.

- D. Historic District Commission review and approval shall be required for all details of exterior changes, including without limitation: windows, doors, light fixtures, fences, and signs. These approvals may be obtained in the normal course with HDC and subsequent to the Final Plan and Building Permits.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- E. Submission of a construction schedule that includes showing the planting of the arborvitae and fence installation along the south side of the Thames Street parking lot property prior to any other site work in the parking lot and prior to use of the property as a "laydown area" for construction activities, and such planting and installation shall be completed prior to any other work or use of parking lot as set forth herein.*



The Construction Sequence section of the General Notes and Legend (Sheet CN-001) has been revised on the Final Plan to include installation of the fence and arborvitae screening plantings along the southern property line of the parking lot prior to site work and stockpiling.

- F. Maintenance of all plantings on the properties shall be an obligation of the applicant and shall be included in a deed covenant stipulating time for replacement plantings.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- G. Tree protection shall be installed to protect the existing trees along the property of 82 Thames Street with this detail to be shown on the final plan.*

Protection for the existing trees along the property of 82 Thames Street has been added to the Site Demolition Plan (sheet CP-101) of the Final Plan.

- H. Recommendations of the Conservation Commission on the proposed landscaping including a diversity of street trees along Thames Street, and an increased buffer of arborvitae along the southern property line of the parking lot.*

The proposed street trees along Thames Street shown on the Enlargement Planting Plan (sheet LP-102) have been revised to increase diversity of tree species along the street. The Enlargement Planting Plan (sheet LP-103) has been revised to include additional arborvitae screening plantings along the southern property line of the parking lot.

- I. Payment of the Affordable Housing Fee to the Town for the Affordable Housing Trust Fund to be paid prior to issuance of the first construction building permit.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- J. Final Legal Documents to be reviewed and approved by the Town Solicitor prior to recording of Final Plan including pedestrian and walkway easements; affordable housing deed restriction and monitoring agreement; and deed restriction, running to the Town of Bristol, that no structures be built on the surface parking lot.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- K. All services to the residential units shall be private including recycling and garbage pick-up, snow plowing, driveway, and drainage maintenance. This shall also be a deed covenant in Land Evidence Records and reviewed and approved by the Town Solicitor.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.



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- L. As shown on the preliminary plans, a portion of the walkway along the waterfront shall be within the existing Fire Access easement across the Elk's parking lot to connect to Constitution Street, which has been acknowledged by the Elk's subject to the pedestrian easement which the Town is preparing. The applicant will prepare a CRMC application, as may be needed for the walkway through the parking lot, construct pavement markings and install signage as required.*

The Applicant incorporated a pathway and signage within its access easement across the Elks property in the application to CRMC for State Assent for the Bristol Yarn Mill redevelopment.

- M. CRMC Assent shall be submitted with the Final Plan review application.*

The CRMC Assent is enclosed.

- N. The applicant shall apply to the Town Council for approval for the proposed relocation of the existing Mill building loading space on the west side of Thames Street further north as indicated on the preliminary plans.*

The Applicant will apply to the Town Council as required.

- O. Because ADA-Compliant parking is only being provided inside the building, there shall be no additional charge to residents using such ADA-Compliant parking.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- P. There shall be no activities or amenities provided on the roof of any of the mill buildings.*

No activities or amenities are proposed to be provided on the roof of any of the mill buildings. This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- Q. Final Plan review and approval shall be performed by the Planning Board.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

#### **Clarification of Checklist Items**

- D3. As noted in the conditions of approval section, all legal documents have been provided to the Planning Board's attorney for approval.



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- D15b. Following Final Plan approval and Bristol Historic District Commission and Bristol Historic District Commission approvals, the Applicant will engage a qualified contractor to obtain all necessary connection permits, which will include a service by-pass plan during construction.
- D17. The Applicant asserts no taxes are past due and is in the process of obtaining verification.
- D22. As noted in item #15b above and during the Preliminary Plan review, the Applicant will pursue Bristol Historic District Commission after Final Plan approval.
- E1-4. All fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board. The enclosed estimate of costs for the proposed public improvements was prepared by the Application for the Planning Board's review.
- E7. CRMC is the only outside agency (i.e., agency not within the Town of Bristol jurisdiction) with application fees. Reviews of applications for State Assent may not commence and no Assents shall be issued until application fees have been paid in full. Consultant review fees, if required, will be collected by the Planning Board once the amounts have been determined.
- E8. Mapping fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board.

In addition to the required paper copies of the application documents, an Adobe PDF copy of the complete application will be provided through electronic transmittal. If you have any questions about this application, please contact me at [shawn.martin@fando.com](mailto:shawn.martin@fando.com) or (401) 787-8322.

Sincerely,



Shawn M. Martin, PE

Senior Vice President | Regional Manager

Enclosures: Final Plan Application and Checklist (1 copy)  
CRMC Assent (1 copy)  
USACE Pre-Construction Notification Authorization (1 copy)  
Public Access Easement Plan (1 copy)  
Public Access Easement Description (1 copy)  
Bristol Yarn Mill Roadway Cost Breakdown (1 copy)  
Bristol Yarn Mill Permitting Plan, 28 sheets, Revised 5/29/2024 (6 full-size, 12 reduced copies)

c: Shane Brady, Thames Street Nashua, LLC  
Chris Reynolds, Brady Sullivan  
John McCoy, Bengtson & Jestings LLP



**APPLICATION FORM AND SUBMISSION CHECKLIST FOR  
MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS**

Major Subdivisions - A plan for a **residential** subdivision of land consisting of **more than five lots**; or, a plan for a **nonresidential** subdivision of land.

Major Land Development - A plan for a residential or nonresidential land development project as defined in Article VIII of the Zoning Ordinance.

The completed application form together with the appropriate materials from Items A, B, C, D, and E for either a Master Plan, Preliminary or Final application as indicated on the checklist shall be submitted to the Administrative Officer at least three weeks prior to the regularly scheduled meeting of the Planning Board.

Date Submission Due: \_\_\_\_\_ Planning Board Meeting Date: \_\_\_\_\_

**APPLICATION FORM**

**Type of Application:** Please check one:

☐ **Master Plan** - An overall plan for a proposed project site outlining general, rather than detailed, development intentions. *NOTE:* The entire property under the applicant's ownership shall be shown on the Master Plan with all proposed development indicated, including future phases. Failure to show the entire property and all proposed development may result in forfeiture of future development rights on the property.

☐ **Preliminary** - The stage, following Master Plan, at which time all required detailed engineering drawings and all required State and Federal Permits shall be submitted.

Indicate date of Master Plan Approval: \_\_\_\_\_

Indicate dates of all extensions: \_\_\_\_\_  
\_\_\_\_\_

☒ **Final** - The stage, following Preliminary, which is the last stage of review.

Indicate date of Preliminary Plan Approval: July 13, 2023

Indicate dates of all extensions: \_\_\_\_\_  
\_\_\_\_\_



APPLICATION FORM, CONT.

1. Name of proposed subdivision: Bristol Yarn Mill

2. Name, address and telephone number of property owner (if the owner of record is a corporation, the name and address of the president and secretary):

Thames Street Nashua, LLC  
c/o Shane Brady  
670 N. Commercial Street, Suite 303  
Manchester, NH 03101

3. Name and address and telephone number of applicant, if different from owner: (A written, notarized confirmation from property owner authorizing the applicant to make the submission shall also be submitted):

Same.

4. Plat and lot number(s) of the parcel being subdivided: AP 10, Lots 41, 42, 43, 44, 48, 49, 60, 61, 62, 68, 73, 74, & 76

5. Area of the subdivision parcel(s): 4.8 +/- acres

6. Zoning District: Waterfront PUD, Waterfront, Downtown

7. Names of existing streets within and immediately adjacent to the parcel being subdivided with notation as to whether Town, State or Private. Include right-of-way and pavement widths:

Thames St (Town) 49.5'/28'+/-

Hope St (State) variable (est. >60')/32'+/-

Constitution St (Town) variable (est. >60')/39'+/-

8. Attach a list of the names and current mailing addresses (and on mailing labels) of property owners within notice area radius (See Section 8.5A ) from the current real estate and assessment records of the Town, including plat and lot numbers

Signed by Owner/Applicant: [Signature] Date: 5/31/2024

Notarized:

Subscribed and sworn to before me this 31 day of may, 2024.

Kelly E. Hilson  
NOTARY PUBLIC

KELLY E. HILSON  
Notary Public, State of New Hampshire  
My Commission Expires Febraury 21, 2029



**SUBMISSION CHECKLIST**  
**MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS**

**M** = Master Plan

**P** = Preliminary

**F** = Final

	<b>M</b>	<b>P</b>	<b>F</b>	Applicant ✓	Date & Town Initials
<b>NOTE:</b> All plan sheets must include Title Block as well as items B 1-8 below.	•	•	•		
<b>A. Plan of Existing Conditions</b> - Five (5) blueline or photocopies of a plan at a scale of 1" = 40' (minimum size of 8 1/2" x 11, maximum size of 18" x 24") showing the entire tract under the applicant's ownership as it currently exists, including location and dimension of existing lots, easements and rights-of-way, and all natural and man-made features;	•			✓	
<b>B. Subdivision/Land Development Drawing(s) -</b> <b>Master Plan and Preliminary Plans</b> - Five (5) blueline or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Each sheet shall be a minimum size of 8 1/2" x 11" and a maximum size of 24" x 36" at a scale of 1" = 40', unless determined otherwise at the Pre-Application Conference, with a sufficient number of sheets to clearly show all of the information required. Sheets shall be numbered sequentially (e.g. sheet 1 of 3, 2 of 3, etc. )	•	•		N/A	
<b>Final Plans</b> - Five (5) bluelines or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Upon approval, one (1) reproducible mylar*, six (6) blueline or photocopies, and one electronic AutoCAD file of all plans shall be submitted. Each sheet shall be a maximum size of 24" x 36" at a scale of 1" = 40' [unless otherwise specified by the Planning Board]; two of these sheets shall include the assessor's numbers, signed by the Tax Assessor. <b>The subdivision plans shall contain the following:</b>			•		
1. Name of the proposed subdivision; including phase numbers, if any	•	•	•	✓	
2. Name and address of property owner or applicant;	•	•	•	✓	
3. Name, address and telephone number of person or firm preparing the plan;	•	•	•	✓	
4. Date of plan preparation, with revision date(s) if any;	•	•	•	✓	
5. Graphic scale (1"=40' or larger) and north arrow;	•	•	•	✓	
6. Plat and lot number(s) of the land being subdivided;	•	•	•	✓	
7. Legend showing all symbols;	•	•	•	✓	
8. Zoning districts(s) of the land being subdivided and the abutting and adjacent properties. If more than one district, zoning boundary lines must be shown;	•	•	•	✓	
9. Perimeter boundary lines of the subdivision, drawn so as to distinguish them from other property lines. These shall be marked in the field by survey stakes to identify the limits of the property;	•	•	•	✓	



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10. Names of abutting property owners and property owners across any adjacent streets;	•	•	•	✓	
11. Area of the entire proposed development parcel(s);	•	•	•	✓	
12. Location and number of all proposed lots, with accurate areas, dimensions and angles indicated; including a zoning data table showing calculations necessary to determine conformance to zoning regulations;	•	•		N/A	
13. Location, names, right-of-way and pavement widths of existing and proposed streets within and immediately adjacent to the subdivision parcel;	•	•	•	✓	
14. Location, size and proposed use of existing buildings and structures, including historic designation, if any;	•	•	•	✓	
15. Location of existing utilities including wells and individual sewage disposal systems (abandoned utilities must be shown and noted as such);	•	•	•	✓	
16. Provisions for collecting and discharging stormwater;	•	•		✓	
17. Location, scale, massing, height, (including relationship to existing and proposed grades) and dimensions of proposed structures, if any; including; floor area ratios, lot coverage and total building square footage; this information may be provided on a separate sheet, if necessary;	•	•	•	✓	
18. Location of proposed permanent bounds (documentation that all proposed bounds have been set shall be provided prior to Final plan recording);		•	•	✓	
19. Location of existing environmental features including general soil types, rock outcrops, surface water, wetland areas, wooded areas and major trees twelve (12) inch caliper or larger, and any other significant environmental features, if any;	•	•		✓	
20. Existing contours with minimum intervals of two (2) feet; where any changes in contours are proposed, finished grades must be shown as solid lines. Spot elevations must also be shown with at least two (2) benchmarks referenced;	•	•		✓	
21. Location of any wetlands, watercourses or their buffers (perimeter wetlands) present on the subdivision parcel, as determined by a RIDEM qualified wetlands biologist {in accordance with RIDEM Wetland Regulations};	•			✓	
22. Notation as to flood zone of the property including base flood elevation data;	•	•		✓	
23. Areas of agricultural use, (if any);	•	•		✓	
24. Location of historic cemeteries on or immediately adjacent to the subdivision (if any);	•	•		✓	
25. Location of any unique natural and/or historic features, including stone walls;	•	•		✓	
26. Location, dimension, and area of any land proposed to be set aside as open space, recreation, or drainage or conveyed to the Town for public purposes;	•	•	•	✓	
27. Location and notation of type of proposed easement(s) or existing easement(s) to remain (if any) with accurate dimensions and areas indicated;		•	•	✓	



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28. Notation of special conditions of approval imposed by the Planning Board (if any);		•	•	✓	
29. Notation of any permits and agreements with State and Federal Reviewing agencies (if any);		•	•	✓	
30. A place for signatures of the Planning Board Chair or Designee must be provided on all plans and/or documents to be signed by the Planning Board;	•	•	•	✓	
31. Certification by a Registered Land Surveyor that all interior and perimeter lot lines and street lines of the land being subdivided have been designed to conform to <u>Procedural and Technical Standards for the Practice of Land Surveying in the State of Rhode Island and Providence Plantations</u> , effective April 1, 1994, as amended. Measurement standards for the surveys shall meet the minimum standards for Class I Surveys.		•	•	✓	
C. <b>Construction Drawings</b> - Six (6) blue-line or photocopies of preliminary and final construction plans of street and drainage structures drawn to a minimum scale of 1 inch to 40 feet (1"=40') for referral to the Technical Review Committee. Each sheet shall be no larger than 24 " by 36", and a sufficient number of sheets shall be included to clearly show all of the information required. Sheets shall be numbered sequentially (e.g., sheet 1 of 3, 2 of 3, etc). All construction plans shall be certified as correct (stamped and signed) by a Registered Professional Engineer:		•	•	✓	
1. <u>If street creation or extension is proposed:</u>					
a. <i>Streets Plan and Profile:</i> (minimum scale of 1"=40' horizontal) with profiles (minimum 1"=4' vertical) indicating the street center line, curblines, and the existing elevations of the ground at the street center line, location size, rim and invert elevations of proposed sewer lines, water lines and other underground utilities; and, street cross-sections showing width of right-of-way, roadway; and, if required location and width of sidewalks.					
b. Street plans shall also include all vehicular access to and from the site onto public streets including the size and location of curb cuts, driveways, parking and loading areas and other off-site traffic improvements necessary to ensure public safety; and, stubs for future connections to future streets in adjacent vacant lands. NOTE: The Planning Board may make any referrals and require of the applicant any studies it deems necessary to evaluate traffic and circulation plans.				N/A	



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<b>C. Construction Drawings, cont.</b>		•	•		
2. For phased projects, as-built drawings for the previous phase;		•	•	N/A	
3. Drainage and Utility Plans to show the existing and proposed drainage structures, drainage basin areas, drainage flow paths, and outfalls with water quality measurements, including all utilities such as sewer, water, electric, gas, fire alarm cable, telephone and cable TV, manholes, valves, hydrants. Also included shall be a report summarizing drainage calculations; drainage plans and drainage calculations shall be prepared by a Registered Professional Engineer;		•	•	✓	
4. Additional plans with appropriate construction details and construction notes for street pavement, sidewalk, drainage structures, street lighting, exterior site lighting/photometrics plan (Major Land Developments only), sanitary structures, water line and water line structures, trench excavation, and steep slope excavation, if applicable;		•	•	✓	
5. Grading plans to show proposed contours at two-foot intervals for all grading proposed for on and off-site street construction, drainage facilities, and upon individual lots if part of proposed subdivision improvements;		•	•	✓	
6. Soil erosion and sediment control plan in conformance with Appendix F, if required;		•	•	✓	
7. Landscaping plan as detailed in Appendix F;		•	•	✓	
8. Plans showing street names and hydrant locations approved by the Fire Chief;		•	•	✓	
9. Construction Schedule identifying expected start and finish times for major construction tasks;		•		✓	
10. Temporary improvements, if any, in accordance with Appendix F;	•	•		N/A	
11. A traffic flow plan showing circulation patterns within the development;		•		✓	
12. If any streets, areas, or facilities are to be dedicated to the Town of Bristol, a statement shall be added to all final plat plans stating that such dedication shall not impose any duty or responsibility upon the Town of Bristol to maintain or improve any dedicated streets, areas, or facilities until specifically authorized by the Town Council per Section 6.7 of these regulations.			•	N/A	
<b>D. Supporting Materials:</b>	•	•	•		
1. 12 reduced copies of all plans required in Items A, B, and C above (minimum 8 1/2" x 11" and maximum 11" x 17");	•	•	•		
2. One (1) copy of a narrative report providing the general description of the proposed development and phasing if any, including the proposed financing and present ownership of all of the land included within the development; if the applicant does not own all the land, then explain how it will be assembled or how site control will be achieved;	•			N/A	



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3. One (1) copy of a current deed and an Attorney's certificate certifying title, including encumbrances, easements, and/or temporary or permanent restrictions on the property;		•		✓	
4. A list of consultants (i.e. engineering, planning, environmental) to be used on the project;		•		✓	
5. A vicinity map, (locus map) drawn to a minimum scale of 1" = 400' or as necessary to show the area within one-half mile of the subdivision parcel showing the location of all streets, existing lot lines, and zoning district boundaries. Schools, parks, fire stations and other significant public facilities shall be indicated on the locus map by shading and labeling the specific use;	•			N/A	
6. A list of the names and mailing addresses as shown on the current real estate and assessment records of the Town for the property owners within the notice area; (See Section 8.5) this information shall also be on mailing labels;	•	•		N/A	
7. Low Impact Development (LID) Site Planning and Design strategies and Checklist from the Rhode Island Stormwater Design and Installation Standards Manual. Stormwater designs should meet RI Stormwater Manual Minimum Standards.	•			N/A	
8. A radius map, showing the property within the notice area (See Section 8.5) including: a. the shape, dimension and area of the property; b. the location of all zoning use district boundary lines; c. the assessor's plat and lot numbers; and, d. the general location, shape, use; and if any, historic designation of all existing buildings and structures and improvements; The above information may be shown on an 11" x 17" plan at a scale as appropriate;	•			N/A	
9. Architectural elevations (with measurements as needed for each interpretation) and of all exterior facades of proposed or existing buildings, structures and equipment including type and color of materials to be used; elevations shall be at an appropriate scale as determined at the preapplication stage;	•			N/A	
10. Legal documents describing the property, including proposed easements and rights-of-way, offer to convey public streets, creating Homeowners Association (if appropriate) deed transferring open space, dedications, restrictions, or other required legal documents:					
a. Two draft copies for review by the Planning Board Solicitor;	•			N/A	
b. Two signed final copies;		•			
11. Written confirmation from the RI Department of Environmental Management that the plans of the proposed subdivision, including any required off-site construction, have been reviewed and indicating that the Wetlands Act either does not apply to the proposed site alteration or that approval has been granted for the proposed site alteration;		•		N/A	



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12. In lieu of item 10 above, an affidavit signed by a qualified professional (having minimum qualifications as described by the RIDEM Department of Freshwater Wetlands) stating that there are no freshwater wetlands or their buffers (perimeter wetlands) present on the property being subdivided {in accordance with RIDEM Wetland Regulations};		•		N/A	
13. Preliminary determination from the Coastal Resources Management Council if the parcel to be subdivided is subject to the jurisdiction of this agency;		•		N/A	
14. A Physical Alteration Permit (PAP) issued by the State Department of Transportation for any connection to or construction work within a State highway or State right-of-way (if applicable);		•		N/A	
15. Water Service (if proposed):					
a. Written confirmation that the Bristol County Water Authority has reviewed the plan and is able to provide water service;		•		N/A	
b. A copy of the water contract covering the installation of water service or written confirmation that a contract has been executed or will be executed upon approval by the Planning Board (a copy of the executed contract must be submitted prior to endorsement by the Planning Board);		•			
16. Sewer:					
a. Written confirmation from the Bristol Water Pollution Control Facility certifying that the subdivision can tie into the Bristol Sewer Service; or,		•		N/A	
b. If Individual Sewage Disposal Systems are proposed, either a preliminary subdivision suitability report or a water table verification from the Rhode Island Department of Environmental Management indicating that the soil and water table within the proposed subdivision are suitable for the safe and proper operation of individual sewage disposal systems;		•		N/A	
17. Certification from the Tax Collector that all property taxes are current and that sewer assessments and sewer use fees are paid;		•		In Process	
18. A letter stating it is the intent to complete the required improvements prior to Planning Board endorsement of the final plat or a letter requesting that a security sufficient to cover the cost of required improvements be set by the Planning Board, along with a construction cost estimate for improvements;		•		N/A	
19. Application form;	•	•	•	✓	



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<p>20. Initial written comments on the Master Plan and final written comments on Preliminary from the following agencies:</p> <p>a. _____ Planning Board Engineer Date: _____</p> <p>b. _____ Water Authority Date: _____</p> <p>c. _____ Sewer Department Date: _____</p> <p>d. _____ Building Inspector Date: _____</p> <p>e. _____ Planning Department Date: _____</p> <p>f. _____ Department of Public Works Date: _____</p> <p>g. _____ Fire and Police Date: _____</p> <p>h. _____ Conservation Commission Date: _____</p> <p>i. _____ Other Local Agencies, Specify: _____ Date: _____</p> <p>j. _____ Adjacent Community (Warren) Date: _____</p> <p>k. _____ RI Dept. of Environmental Management Date: _____</p> <p>l. _____ RI Dept. of Transportation Date: _____</p> <p>m. _____ Coastal Resources Date: _____</p> <p>n. _____ Other State Agencies, Specify: _____ Date: _____</p> <p>o. _____ FEMA Date: _____</p> <p>p. _____ Other Federal Agencies, Specify: _____ Date: _____</p> <p><b>NOTE: REFERRALS TO THE ABOVE AGENCIES WILL BE MADE BY PLANNING DEPARTMENT STAFF.</b></p>	•	•		N/A	
21. Report and recommendations from the Technical Review Committee;	•	•		N/A	
22. Approvals from other Town Boards and commissions, as appropriate;		•	•	✓	
23. Approvals from other State Agencies, as appropriate;		•		✓	
24. Such other information as may be required to show that the details of the proposal are in accordance with this section and all other applicable requirements and standards of these Regulations.	•	•	•	✓	
<b>E. Payment of Required Fees</b> - Payment of the following fees or posting of financial guarantees, if required, to be prior to endorsement by the Planning Board:					
1. Application fee;	•	•	•	TBD	
2. Final plat recording fee;			•	TBD	
3. Engineer Review and Inspection Fee;	•	•	•	TBD	
4. Performance guarantee or other financial guarantees (if applicable);			•	TBD	
5. Fees in-lieu of land dedication (if applicable);			•	N/A	
6. Maintenance guarantee for acceptance of public improvements (if applicable);			•	TBD	
7. Receipt that all other fees to outside agencies have been paid by applicant, if any;			•	N/A	
8. Mapping fees shall be paid to the Tax Assessor prior to recording plan.			•	TBD	



**M** = Master Plan

**P** = Preliminary

**F** = Final

<b>Other Requirements:</b> The following items may be required based on the presence of certain site conditions as indicated at the Pre-application or Master Plan stage of review. The applicant shall have any required items prepared by a qualified party.				
1. Fiscal impact statement (see Section 6.6);		•		N/A
2. Completed Environmental Impact Assessment statement for the proposed development (see Section 6.6);		•		N/A
3. Archaeological Study;		•		N/A
4. Traffic Impact Study,		•		N/A
5. Phase 1 Environmental Site Assessment (ESA), conducted by a qualified professional consultant, as may be requested at the pre-application stage. If the Phase 1 indicates suspect environmental site conditions, then a Phase 2 ESA shall be conducted by a qualified professional consultant prior to preliminary plan approval;	•	•		N/A
6. Perspective drawings, view shed maps, line of site diagrams, sketches, renderings, photographs or scale models as needed to illustrate the visual impact on the community;	•			N/A
7. Flood plain compensation calculations;		•		N/A
8. Historic District Commission Certificate of Appropriateness, if the project requires Historic District Commission review and approval.		•		N/A

*\* Mylar plans shall be on polyester film, single matte with a thickness of 3 mils (.003 inches), and must have opacity so as to allow consistent computer scanning. All plans shall be prepared using a compatible ink with excellent cohesiveness which will produce a permanent bond and result in a plan with long term durability. All signatures must be in black India ink or its equal.*





State of Rhode Island  
**Coastal Resources Management Council**  
Oliver H. Stedman Government Center  
4808 Tower Hill Road, Suite 116  
Wakefield, RI 02879-1900

(401) 783-3370  
Fax (401) 783-3767

### **RESIDENTIAL ASSENT**

CRMC File No.: 2023-02-061 CRMC Assent No.: A2023-02-061

Whereas,  
of

Thames Street Nashua, LLC  
670 North Commercial Street  
Manchester, NH 03101

has applied to the Coastal Resources Management Council for assent to: Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans and hereby represents that they are the owner(s) of the riparian rights attached to the property involved and submitted plans of the work to be done.

Now, said Council, having fully considered said application in accordance with all the regulations as set forth in the Administrative Procedures Act does hereby authorize said applicant, subject to the provisions of Title 46, Chapter 23 of the General Laws of Rhode Island, 1956, as amended, and all laws which are or may be in force applicable thereto: **Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans; located at plat 10, lots 41,42,43,44,49,50,60,61,62,68,71,73,74,76; 125 Thames Street, Bristol, RI;** in accordance with said plans submitted to this Council and approved by this Council. All work being permitted must be completed on or before May 28, 2027, after which date this assent is null and void, (unless written application requesting an extension is received by CRMC sixty (60) days prior to expiration date).

Applicant agrees that as a condition to the granting of this assent, members of the Coastal Resources Management Council or its staff shall have access to applicant's property to make on-site inspections to ensure compliance with the assent.

Licensee shall be fully and completely liable to State, and shall waive any claims against State for contribution or otherwise, and shall indemnify, defend, and save harmless State and its agencies, employees, officers, directors, and agents with respect to any and all liability, damages (including damages to land, aquatic life, and other natural resources), expenses, causes of action, suits, claims, costs (including testing, auditing, surveying, and investigating costs), fees (including attorneys' fees and costs), penalties (civil and criminal), and response, cleanup, or remediation costs assessed against or imposed upon Licensee, State, or the Property, as a result of Licensee's control of the Property, or Licensee's use, disposal, transportation, generation and/or sale of Hazardous Substances or that of Licensee's employees, agents, assigns, sublicensees, contractors, subcontractors, permittees, or invitees.



Nothing in this assent shall be construed to impair the legal rights of this granting authority or of any person. By this assent the granting authority by no manner, shape, or form assumes any liability or responsibility implied, or in fact, for the stability or permanence of said project; nor by this assent is there any liability implied or in fact assumed or imposed on the granting authority. Further, the granting authority by its representatives or duly authorized agents shall have the right to inspect said project at all times including, but not limited to, the construction, completion, and all times thereafter.

This Assent is granted with the specific proviso that the construction authorized therein will be maintained in good condition by the owner thereof, his heirs, successors, or assigns.

Permits issued by the CRMC are issued for a finite period of time, confer no property rights, and are valid only with the conditions and stipulations under which they are granted. Permits imply no guarantee of renewal, and may be subject to denial, revocation, or modification.

If this matter appeared before the full Council, a copy of the legal decision from this proceeding may be acquired by contacting the CRMC office in writing.

A copy of this Assent shall be kept on site during construction.

Application for future alteration of the shoreline or other construction or alteration within the CRMC jurisdiction shall be submitted to the CRMC for review prior to commencing such activity.

All applicable policies, prohibitions, and standards of the RICRMP shall be upheld.

All local, state or federal ordinances and regulations must be complied with.

Please be advised that as a further conditions of this Assent, it is hereby stipulated that you and/or your agents shall comply at all times with Federal and State Water Quality Standards and other State standards and regulations regarding water quality, and shall exercise such supervision over and control of these facilities to prevent the dumping or discarding or refuse, sanitary wastes and other pollutants in the tidal waters, either from vessels docked at said facilities or from land adjacent thereto.

No work that involves alteration to wetlands or waters of the United States shall be done under this Assent until the required Federal Permit has been obtained.

Non-compliance with this assent shall result in legal action and/or revocation of this permit.

### CAUTION:

**The limits of authorized work shall be only for that which was approved by the CRMC. Any activities or alterations in which deviate from this assent or what was detailed on the CRMC approved plans will require a separate application and review. Additionally, if the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then this permit may be found to be null and void. Plans for any future alteration of the**



**shoreline or construction or alteration within the 200' zone of CRMC jurisdiction or in coastal waters must be submitted for review to the CRMC prior to commencing such activity.**

**Permits, licenses or easements issued by the Council are valid only with the conditions and stipulation under which they are granted and imply no guarantee of renewal. The initial application or an application for renewal may be subject to denial or modification. If an application is granted, said permit, license and easement may be subject to revocation and/or modification for failure to comply with the conditions and stipulations under which the same was issued or for other good cause.**

**ATTENTION: ALL STRUCTURES AND FILLED AREAS IN THE TIDAL, COASTAL, OR NAVIGABLE WATERS OF THE STATE OF RHODE ISLAND ARE SUBJECT TO:**

1. The Superior Property Rights of the State of Rhode Island in the Submerged and Submersible Lands of the Coastal, Tidal, and Navigable Waters;
2. The Superior Navigation Servitude of the United States;
3. The Police Powers of the State of Rhode Island and the United States to regulate Structures in the Tidal, Coastal, or Navigable Waters.

**THE SUBMERGED AND SUBMERSIBLE LANDS OF THE TIDAL, COASTAL, AND NAVIGABLE WATERS OF THE STATE ARE OWNED BY THE STATE AND HELD IN TRUST FOR THE PUBLIC. CONVEYANCE OF THESE LANDS IS ILLEGAL; TITLES PURPORTING TO TRANSFER SUCH LANDS ARE VOID. ASSENTS THAT INVOLVE THE FILLING OR USE OF THE STATES SUBMERGED LANDS ARE GRANTED WITH THE PROVISIO THAT IT IS SUBJECT TO THE IMPOSITION OF A USAGE FEE TO BE ESTABLISHED BY THE COASTAL RESOURCES MANAGEMENT COUNCIL.**

The lands adjacent to tidal waters and/or access to these lands may be impacted or rendered unusable in the future due to sea level rise, storm surge, and shoreline erosion. Online resources including STORMTOOLS, Shoreline Change Maps, and Sea Levels Affecting Marshes Model (SLAMM) Maps can be accessed through the CRMC website ([www.crmc.ri.gov](http://www.crmc.ri.gov)). The Council recommends the use of these resources to evaluate the flood extent and inundation from sea level rise, storm surge and erosion and damages to land, aquatic life, loss of public access and other natural resources on and near the site of the above assent. The project life may be shortened by these processes and may require additional adaptation measure up to and including relocation of the project. By issuing this assent the granting authority neither explicitly nor implicitly assumes any liability or responsibility for the stability or permanence of said project under future climate and shoreline conditions.

#### **SPECIFIC STIPULATIONS OF APPROVAL**

##### **General Stipulations**

**A. The applicant shall record this assent in its entirety in the land evidence records of the Town of Bristol within thirty (30) days of the date of assent issuance. Certification by the Town Clerk's office that this stipulation has been complied with shall be furnished to**



**Coastal Resources Management Council by the applicant within fifteen (15) days thereafter. Failure to comply with the provision will render this assent null and void.**

B. For the purpose of this permit, the coastal feature shall be the manmade shoreline; and the inland edge of the coastal feature shall be the top of the revetted bank and headwall.

C. The approved plan shall be those entitled "Bristol Yarn Mill, Thames Street & Hope Street, Bristol..AP 10, Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76, Permitting Plan December 6, 2022 Revised March 6, 2024.." total 28 sheets by Shawn M. Martin, RPE and the conservation easement/public access plan shall be Exhibit A entitled "Easement Plan, Bristol Yarn Mill, 125 Thames Street, Lots 42 & 60, Map 10, Town of Bristol.. 2 sheets dated 2-7-24 by Charles E. Lent, PLS. Except as stipulated or modified herein, all details and specifications thereon shall be strictly adhered to. Any and all changes require written approval from this office.

D. Prior to commencement of site alterations, you shall post the CRMC assent card. This assent card must be maintained at the site in a conspicuous location until such time that the project is complete.

E. This lot may be subject to sea level rise in the near and long term and is therefore at increased risk of flooding. The owner is cautioned that the current building codes do not account for sea level rise and is hereby advised that the building should be elevated to the maximum height allowed under zoning ordinance to account for rising sea level in the future.

F. This project required a Coastal Hazards Analysis (CHA) as per the Rhode Island Coastal Resources Management Council's regulations. The Council recommends residential applications meet a minimum of a 30-year design life (longer design life may not meet recommended criteria). Please be advised this project:

- Meets the anticipated 3' design life of Sea Level Rise (SLR), however does not meet the chosen 5' design life (50yr).
- Meets- the accelerated erosion rate.
- Does not meet the recommended Storm Tools Design Elevation (SDE) of 23-25' for 3-5' of SLR.
- CERI modeling indicates the site likely to be Extreme damage (3'SLR)- inundated by 2100 (5'SLR)

G. The owner is bound by the terms of the Conservation Easement/Public Access Easement executed May 2024 and recorded at Book 2244, Pg 165 (9pages) on 5/20/2024 in the Land Evidence Records of the Town of Bristol, RI.

H. This assent requires a setback (Ref. Red Book Section 1.1.9) of 20' feet in width as measured landward from the inland edge of the coastal feature to the existing building.

I. This assent requires a coastal buffer zone (Ref. Red Book Section 1.1.11) of variable width which includes a public accessway, natural buffer zone (restored) and managed buffer vegetation, as shown on the approved plan.



J. Vegetation in the unmanaged portion of the buffer zone shall remain undisturbed following installation.

K. This project is being reviewed under the requirements of the Federal Historic Preservation Tax Incentives Program. Should the project not receive Historic Preservation Certification Part 2, then RIHPHC approval is still required prior to any work on the project.

L. No alterations (vegetative or otherwise) or activities are allowed in the waterway adjacent to the site, excepting repair work on existing outfall per the approved plans.

M. All runoff of surface water into the stipulated coastal buffer zone shall be maintained as sheet flow. No concentrated sources of runoff flow (such as pipes or swales) shall be directed into the buffer zone.

N. All remediation work shall be undertaken in accordance with the RIDEM approval for such.

O. Through coordination with ACOE GP process, the application has been determined to be eligible for ACOE GP approval and a permit will be forwarded directly from the ACOE, no work on-site may commence until such permit is received.

P. This structure shall be connected to and serviced by municipal sewers.

Q. An Environmental Compliance Monitor (ECM) shall be designated to oversee project compliance with the CRMC Assent. The RE (Resident Engineer) shall ensure that one or more inspectors are available as necessary for the project, each inspector must be qualified in the required specialized environmental field (i.e., waste management, coastal wetlands, etc.). Each inspector must have the education and experience in each respective field to properly inspect the project and recommend corrective measures. The RE/ECM shall report site inspections at least once weekly and on an as needed basis during all phases of the project, likely to result in environmental impacts. A dated and signed report shall be completed for the record during each inspection. Each inspection shall identify any environmental issues of concern and any non-compliance with the CRMC Assent and other agency approvals (RI Department of Environmental Management, US Army Corps of Engineers, and US Coast Guard). Subsequent reports shall describe actions and remedies undertaken to rectify these issues and restore project compliance with the CRMC Assent and the approved plans. Where compliance has not been properly achieved, the RE/ECM shall notify the CRMC on a timely basis. In addition, field reports shall be available to be forwarded to the CRMC upon request.

### **Earthwork Stipulations**

A. The Permittee shall construct and maintain all soil erosion, runoff, and sediment control practices in accordance with the CRMC approved site plan (referenced herein).



B. All soil erosion, runoff, sedimentation, and construction activity pollution prevention control measures must be implemented in accordance with CRMC approved site plan (referenced herein) and the approved Soil Erosion and Sediment Control Plan entitled "Soil Erosion and Sediment Control Report, Bristol Yarn Mill...", dated January 31, 2023, by Fuss and O'Neil.

C. Prior to the initiation of site alterations or construction including the mobilization of construction vehicles, equipment or machinery, the Limit of Disturbance (LOD) shall be adequately delineated on site (by survey methods where appropriate). No equipment access, equipment or material storage or other activities including construction vehicle parking shall occur beyond the Limit of Disturbance, even on a temporary basis.

D. Prior to conducting earthwork and other land disturbing activities, erosion, runoff, and sediment control measures shall be installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer's specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). These measures must be maintained until the site is stabilized through the establishment of vegetative cover and/or construction of the approved facilities (buildings, roadways, parking areas, etc.) has stabilized soils sufficiently to prevent erosion and sedimentation.

E. All discharges which result from dewatering operations must flow into pumping settling basins, portable sediment tanks or portable sediment bags which are properly installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer's specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended).

F. Temporary measures shall be installed to protect permanent or long-term stormwater control and treatment measures as they are installed and throughout the construction phase of the project so that they will function properly when they are brought online. Construction activity shall be restricted in areas where infiltration measures are proposed to prevent compaction. In cases where it is not possible to avoid the area, methods shall be taken to restore the infiltration capacity of the soil.

G. All excavated material shall be cast on the upslope side of the excavation to minimize sedimentation. No excavated material shall be stockpiled beyond the Limit of Disturbance (LOD) or in unauthorized locations.

H. All areas of disturbed soil which are impacted by construction, site work and related activities shall be temporarily stabilized throughout the site construction period. Soil stabilization may be achieved through appropriate temporary measures as described by the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). Where the season is not conducive to the establishment of vegetative cover, other temporary measures shall be employed including the application of mulch and/or use of fiber rolls (erosion control blankets, etc.). Temporary erosion, runoff and sediment controls shall be employed and maintained until temporary or permanent vegetative cover can be achieved and/or site improvements such as approved buildings, roadways and parking areas are constructed resulting in a lack of exposed soil.



I. Stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating or other earth disturbance activities have permanently ceased on any portion of the site, or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days. Stabilization must be completed using vegetative stabilization measures or using alternative measures whenever vegetative measures are deemed impracticable or during periods of drought. All disturbed soils exposed prior to October 15th shall be seeded by that date. Any such areas which do not have adequate vegetative stabilization by November 15th must be stabilized through the use of non-vegetative erosion control measures. If work continues within any of these areas during the period from October 15th through April 15th, care must be taken to ensure that only the area required for that day's work is exposed, and all erodible soil must be restabilized within five (5) working days.

J. Construction sites must be inspected by or under the supervision of the owner and operator at least once every seven (7) calendar days and within 24 hours after any storm event which generates at least 0.25 inches of rainfall per 24-hour period and/or after a significant amount of runoff. If an inspection reveals a problem, the operator must initiate work to fix the problem immediately after discovering the problem and complete such work by the close of the next workday, if the problem does not require significant repair or replacement, or if the problem can be corrected through routine maintenance.

K. There shall be no discharge or disposal of toxic waste, hazardous materials, oil, grease and other lubricants, excess fertilizer, pesticides or other chemicals or controlled materials either on site or in any area which may enter a wetland, watercourse, or groundwater. All spills of such materials shall be reported to the RI Department of Environmental Management for appropriate remediation. All used lubricants, excess chemicals, fertilizers, pesticides, etc., shall be removed from the site for transport, handling, and disposal in accordance with all applicable state and federal regulations.

L. All excess excavated materials (soils, rock, gravel, etc.), excess construction materials, demolition debris, temporary erosion, runoff, and sediment control measures, etc., shall be removed from the site for appropriate re-use and/or proper disposal at a suitable upland location or landfill. All toxic materials and waste shall be properly transported and disposed of in accordance with applicable state and federal regulations.

M. Upon the successful stabilization of exposed soils, all temporary (interim) erosion, runoff and sediment control measures as well as pollution prevention measures shall be appropriately decommissioned and removed from the site for re-use and/or for disposal at a suitable, legal upland location or landfill. All temporary sediment basins, sediment traps and channels, etc., shall be removed and/or restored in accordance with the approved site plans.



**Stipulations for Stormwater Management on Projects Other than Individual Single-Family Residential Lot Development:**

- A. The Permittee shall construct the stormwater management practices in accordance with the CRMC approved site plan (referenced herein).
- B. All stormwater management practices shall be operated and maintained in accordance with the Operation and Maintenance (O&M) Plan, entitled "Long-Term Operation and Maintenance Report Bristol Yarn Mill...", dated December 2, 2022, by Fuss and O'Neill.

**Building Stipulations**

- A. All pertinent requirements of the RI State Building Code as administered by the local building official shall be strictly adhered to.

**Buffer Zone Stipulations**

- A. The buffer zone plantings required by this Assent shall be installed coincident with the next available growing season following start of construction.
- B. The applicant is responsible for the survivorship of the plantings for one full growing season. Plants not surviving the first growing season shall be replaced as stated on the approved plans/necessary.
- C. Prior to initiating any work on site, permanent markers at least 24" above grade must be installed along the inland edge of the buffer zone from each affected property boundary to any points in between which provide appropriate angle points necessary to delineate the full limit of the CRMC approved buffer zone. The intent of these markers is to provide permanent reference points on-site which are clear to present and future property owners. Acceptable permanent-type markers include 4" x 4" pressure treated timber posts, galvanized fence posts with cap or granite or concrete bounds. A permanent-type fence at least 24" tall may be substituted for markers where desired.

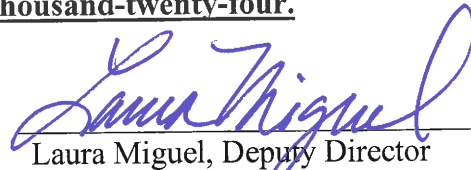
**Beach Replenishment, coir logs, sandbags, snow fence, and signs on beaches Stipulations:**

- A. The public retains all the rights to public access along the shore outlined in the Rhode Island State Constitution.
- B. All work shall be done landward of the high-water line.



Thames Street Nashua, LLC  
CRMC Assent A2023-02-061  
May 28, 2024  
Page Nine

In Witness Whereof, said Coastal Resources Management Council has hereto set their hands and seal this **28<sup>th</sup> day of May in the year two-thousand-twenty-four.**



\_\_\_\_\_  
Laura Miguel, Deputy Director  
Coastal Resources Management Council

/jla





DEPARTMENT OF THE ARMY  
US ARMY CORPS OF ENGINEERS  
NEW ENGLAND DISTRICT  
696 VIRGINIA ROAD  
CONCORD MA 01742-2751

April 8, 2024

Regulatory Division  
File Number NAE-2023-01757  
CRMC No. 2023-02-061

Mr. Shane Brady  
Thames Street Nashua, LLC  
670 N. Commercial Street, Suite 303  
Manchester, NH 03101

sbrady@bradysullivan.com

Mr. Brady:

The U.S. Army Corps of Engineers (USACE) has reviewed your application to the Coastal Resources Management Council (CRMC) to renovate the Bristol Yarn Mill for 127 residential apartment units and approximately leasable space for commercial uses. This project will take place at 125 Thames Street, at the intersection of Thames Street and Hope Street in Bristol, RI, 02908 (41.667197°N, -71.277928°W). The portion of work under USACE jurisdiction is the (existing) seawall repair and reconstruction of the 30" RCP outfall pipe drainage way through the stone masonry portion of seawall. The project will permanently impact a total of 441 linear feet of estuarine intertidal habitat shown on the enclosed (revised) plans titled "Brady Sullivan Properties" on 5 pages dated "March 25, 2024".

Based on the information you have provided, we verify that the Pre-Construction Notification (PCN) activity is authorized under General Permit 2 of the May 6, 2022, federal permits known as the Rhode Island General Permits (GPs). The GPs are available at <https://www.nae.usace.army.mil/Missions/Regulatory/State-General-Permits/Rhode-Island-General-Permit>.

Please review the GPs carefully, in particular the general conditions beginning on page 43, and ensure that you and all personnel performing work authorized by the GPs are fully aware of and comply with its terms and conditions. A copy of the GPs and this verification letter shall be available at the work site as required by General Condition 14.

This authorization expires on May 6, 2027. You must commence or have under contract to commence the work authorized herein by May 6, 2027, and complete the work by May 6, 2028. If not, you must contact this office to determine the need for further authorization and we recommend you contact us *before* the work authorized herein expires. Please contact us immediately if you change the plans or construction methods for work within our jurisdiction as we must approve any changes before you



undertake them. Performing work within our jurisdiction that is not specifically authorized by this determination or failing to comply with the terms and conditions of the GPs may subject you to the enforcement provisions of our regulations.

This authorization does not obviate the need to obtain other federal, state, or local authorizations required by law. Applicants are responsible for applying for and obtaining any other approvals.

This determination becomes valid only after the Rhode Island CRMC issues their required authorization. The CRMC contact information is provided on page 55 of the GPs.

We continually strive to improve our customer service. For us to better serve you, we would appreciate your completing our Customer Service Survey located at <https://regulatory.ops.usace.army.mil/customer-service-survey/>.

Please contact Elizabeth Waterhouse, of my staff, at (978) 318-8943 or [elizabeth.c.waterhouse@usace.army.mil](mailto:elizabeth.c.waterhouse@usace.army.mil) if you have any questions.

Sincerely,

*Kevin R Kotelly*

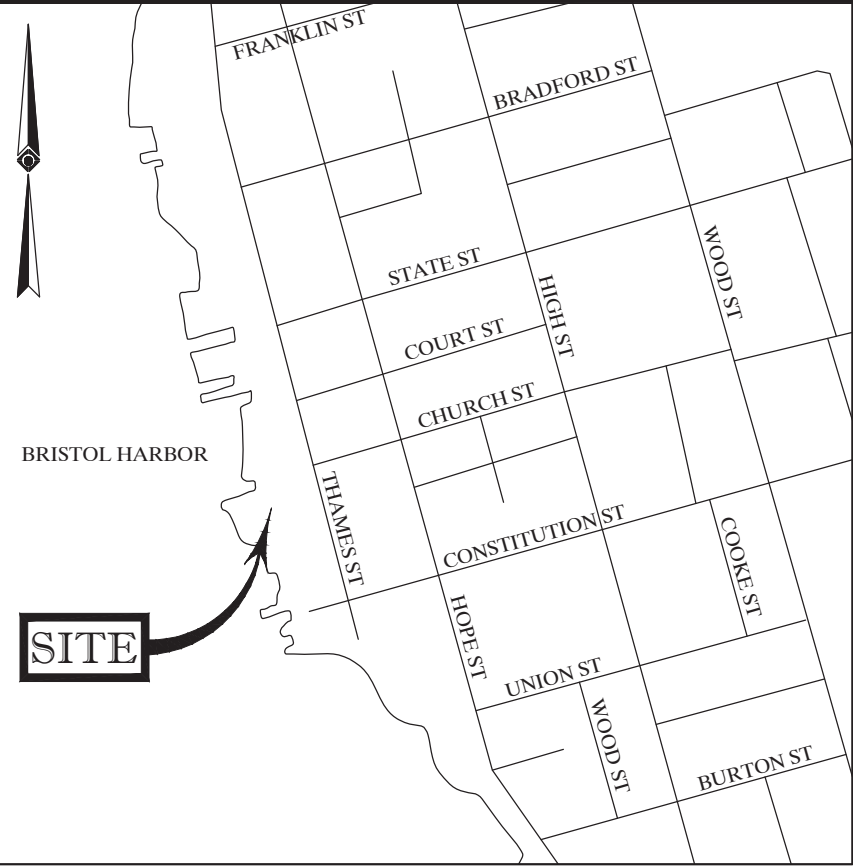
Kevin R. Kotelly, P.E.  
Chief, CT/RI Section  
Regulatory Division

Enclosures

cc:

Shawn Martin, Fuss & O'Neil, Regional Manager; [SMartin@fando.com](mailto:SMartin@fando.com)  
Elizabeth Totten, RI Rhode Island Historical Preservation & Heritage Commission; [elizabeth.totten@preservation.ri.gov](mailto:elizabeth.totten@preservation.ri.gov)  
Neal Personeus, RI DEM, Providence, RI; [neal.personeus@dem.ri.gov](mailto:neal.personeus@dem.ri.gov)  
Lisa Turner, RI CRMC; [ltturner@crmc.ri.gov](mailto:ltturner@crmc.ri.gov)  
Erica Sachs, US EPA, Region 1, Boston, MA; [sachs.eric@epa.gov](mailto:sachs.eric@epa.gov)  
Joseph Bishop, US EPA, Region 1, Boston, MA; [bishop.joseph@epa.gov](mailto:bishop.joseph@epa.gov)  
Sabrina Pereira, NOAA EFH Coordinator; [sabrina.pereira@noaa.gov](mailto:sabrina.pereira@noaa.gov)





LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE

LEGEND

	HYDRANT		DRAINAGE/STORM MANHOLE
	WATER VALVE		ELECTRIC MANHOLE
	UNKNOWN VALVE		SANITARY/SEWER MANHOLE
	GAS VALVE		UNKNOWN MANHOLE
	GAS METER		WATER MANHOLE
	ELECTRIC METER		CATCH BASIN OR INLET
	OVERHEAD WIRES		TREE & TRUNK SIZE
	UTILITY POLE		PARKING SPACE COUNT
	AREA LIGHT		DEPRESSED CURB
	SIGN		SOLID WHITE LINE
	BOLLARD		DOUBLE YELLOW LINE
	CHAIN LINK FENCE		HEIGHT
	DEPRESSED CURB		BUILDING
	EDGE OF CONCRETE		BUILDING FOOTPRINT AREA
	EDGE OF PAVEMENT		DRILL HOLE FOUND
	LANDSCAPED AREA		MASONRY BLOCK WALL
	METAL COVER		TYPICAL

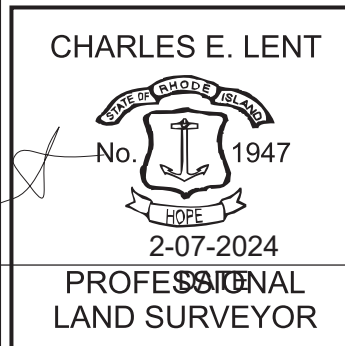
NOTES:

- PROPERTY KNOWN AS LOTS 42 & 60 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
- PROPOSED PUBLIC ACCESS EASEMENT AREA = 8,068± SQ. FT. OR 0.185± ACRES.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATIONS ARE TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
- BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL+12; & ZONE "X" SHADED" (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD); & ZONE "X" UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN); & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL+14 & EL+15) PER REF #2.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A PROPOSED EASEMENT ON THE SUBJECT PARCELS.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: III
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

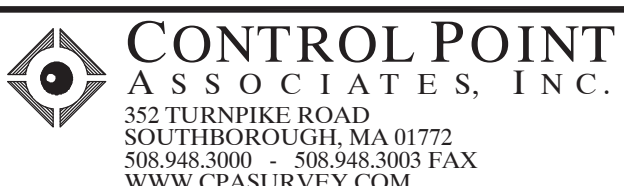
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



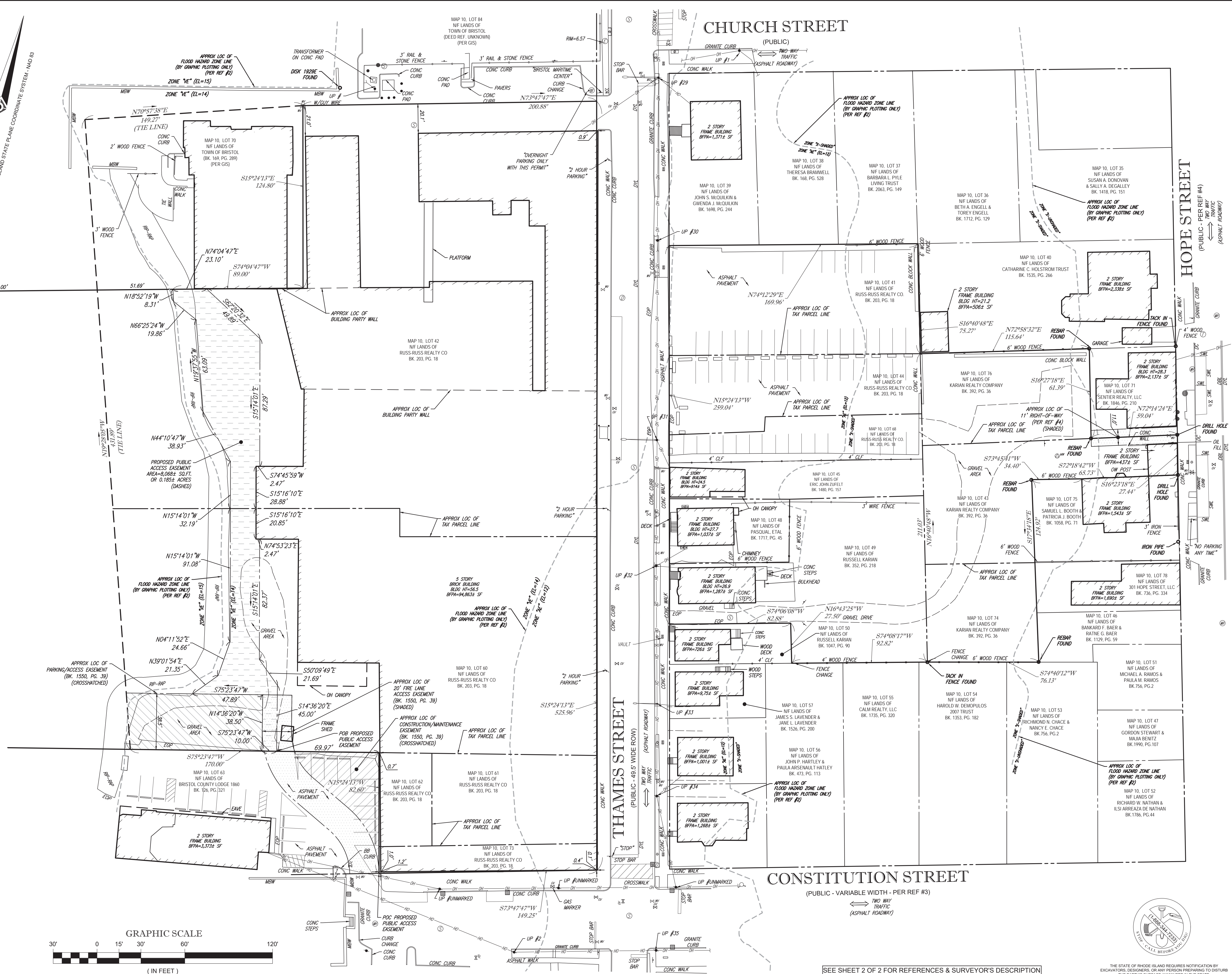
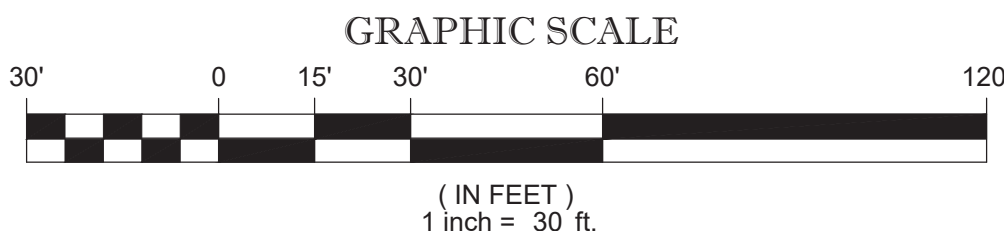
CHARLES E. LENT

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947  
CERTIFICATE OF AUTHORIZATION #A350

FIELD DATE: -  
FIELD BOOK NO: -  
FIELD BOOK PG: -  
FIELD CREW: -  
DRAWN: E.G.F.  
REVIEWED: E.L.O.  
APPROVED: C.E.L.  
DATE: 2-07-2024  
SCALE: 1" = 30'  
FILE NO: 03-210289-00  
DWG. NO: 1 OF 2



ALBANY, NY 518-217-5010  
CHALFONTE, PA 215-712-9800  
HAUPPAUGE, NY 631-580-2665  
MANHATTAN, NY 646-780-0411  
MT LAUREL, NJ 609-857-2099  
WARREN, NJ 908-668-0099



CONSTITUTION STREET  
(PUBLIC - VARIABLE WIDTH - PER REF #3)

SEE SHEET 2 OF 2 FOR REFERENCES & SURVEYOR'S DESCRIPTION

THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

1.

TYPE OF BOUNDARY SURVEY:  
LIMITED CONTENT BOUNDARY SURVEY

MEASUREMENT SPECIFICATION  
I
2.

OTHER TYPE OF SURVEY:  
DATA ACCUMULATION SURVEY

MEASUREMENT SPECIFICATION:  
III
3.

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:  
PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED  
WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

Charles E. Lent

CHARLES E. LENT

PROFESSIONAL  
LAND SURVEYOR

1947

2-07-2024

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947

CERTIFICATE OF AUTHORIZATION #A350

FIELD DATE	EASEMENT PLAN				
-	BRISTOL YARN MILL				
FIELD BOOK NO.	125 THAMES STREET				
-	LOTS 42 & 60, MAP 10				
FIELD BOOK PG.	TOWN OF BRISTOL , BRISTOL COUNTY				
-	STATE OF RHODE ISLAND				
FIELD CREW	<div><div><div><div></div></div></div><div><div>CONTROL POINT ASSOCIATES, INC.</div><div>ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-580-2665 MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099</div></div></div>				
DRAWN:	E.G.F.				
REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.
E.LOC.	C.E.L.	2-07-2024	N/A	03-210289-00	2 OF 2

REFERENCES:

1.

THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
2.

MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND 9ALL JURISDICTIONS), PANEL 14 OF 18", MAP NUMBER 44001C0014H, MAP REVISED, JULY 7, 2014.
3.

MAP ENTITLED "BOUNDARY SURVEY PLAN AP 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
4.

MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
5.

MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALGLET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
6.

MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL RHODE ISLAND", PREPARED BY FUSS & O'NEILL, DATED MAY 7, 2021
7.

MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
8.

MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS 7 O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
9.

RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.
10.

MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BRISTOL YARN MILL, 125 THAMES STREET, LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10, TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021, LAST REVISED OCTOBER 1, 2021, THREE SHEETS.

SURVEYOR'S  
METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT  
LOCATED ON LOTS 42 & 60, MAP 10  
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE:

- A.

NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE:
- B.

SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE:
1.

SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES:
2.

NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE:
3.

SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
4.

NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE:
5.

NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
6.

NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
7.

NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
8.

NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
9.

NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
10.

NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;
11.

NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
12.

NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
13.

SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
14.

SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
15.

SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
16.

SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
17.

SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
18.

NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
19.

SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
20.

SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
21.

SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES





# CONTROL POINT ASSOCIATES, INC.

traditional methods | modern approaches

352 Turnpike Road, Suite 320  
Southborough, MA 01772  
Tel: 508-948-3000  
www.cpasurvey.com

FEBRUARY 7, 2024  
03-210289-00  
PAGE 1 OF 2

## SURVEYOR'S METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT  
LOCATED ON LOTS 42 & 60, MAP 10  
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE;

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE;
  - 1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
  - 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
  - 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
  - 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
  - 5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
  - 6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
  - 7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
  - 8. NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
  - 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
  - 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;

Corporate Headquarters  
35 Technology Drive, Warren, NJ 07059  
Tel: 908.668.0099 Fax: 908.668.9595

Professional Land Surveying, Geospatial and Consulting Services



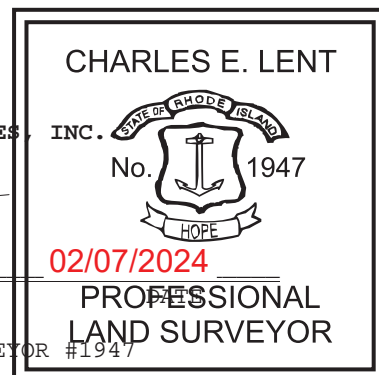
11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
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13. SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
14. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
15. SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
16. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
17. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
18. NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
19. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
20. SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
21. SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

CONTROL POINT ASSOCIATES, INC.

*Charles E. Lent*

CHARLES E. LENT  
STATE OF RHODE ISLAND  
PROFESSIONAL LAND SURVEYOR #1947





# Bristol Yarn Mill Roadway Cost Breakdown

Description	Unit	Unit Cost	Total
Mill	2560 SY.	\$8.10	\$20,736.00
Drainage Structures	5 EA.	\$6,070.00	\$30,350.00
Drainage Pipe	520 LF.	\$195.00	\$101,660.00
Water Main	815 LF.	\$268.00	\$218,420.00
Hydrants	3 EA.	\$7,740.00	\$23,220.00
Sewer	30 LF.	\$440.00	\$13,200.00
Grainite Curbing	375 LF.	\$60.00	\$22,500.00
Exterior Concrete (Prep)	6,340 SF.	\$5.00	\$31,700.00
Exterior Concrete (Pour)	6,340 SF.	\$12.00	\$76,080.00
Overlay	2,410 SY.	\$15.75	\$37,957.00
Total			\$575,823.00



# BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND

## USACE PERMITTING PLAN

MARCH 25, 2024

PREPARED FOR  
**BRADY SULLIVAN PROPERTIES**  
670 N. COMMERCIAL STREET  
MANCHESTER, NH 03101  
603.622.6223  
WWW.BRADYSULLIVAN.COM



PREPARED BY  
**FUSS & O'NEILL**  
317 IRON HORSE WAY, SUITE 204  
PROVIDENCE, RI 02908  
401.861.3070  
www.fando.com

### SHEET INDEX

<u>SHEET No.</u>	<u>SHEET TITLE</u>
GI-1	COVER SHEET
EX-1	EXISTING CONDITIONS
CS-1	SEAWALL WORK
CD-1	SEAWALL DETAILS
CD-2	SEAWALL DETAILS

### PROJECT TEAM

#### ENVIRONMENTAL:

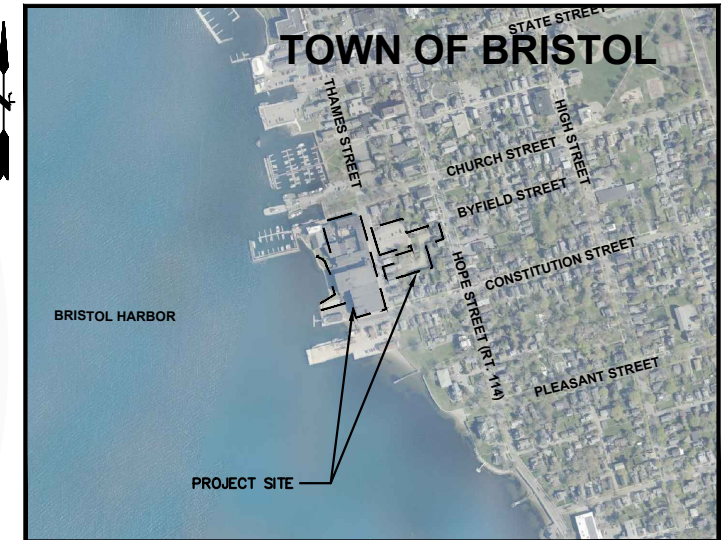
NOBIS GROUP  
18 CHENELL DR  
CONCORD, NH  
03301  
603.224.4182

#### ARCHITECTURAL:

BRADY SULLIVAN  
PROPERTIES  
670 N. COMMERCIAL STREET  
MANCHESTER, NH  
03101  
630.622.6223

#### SURVEYOR:

CONTROL POINT  
ASSOCIATES, INC.  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA  
01772  
508.948.3000



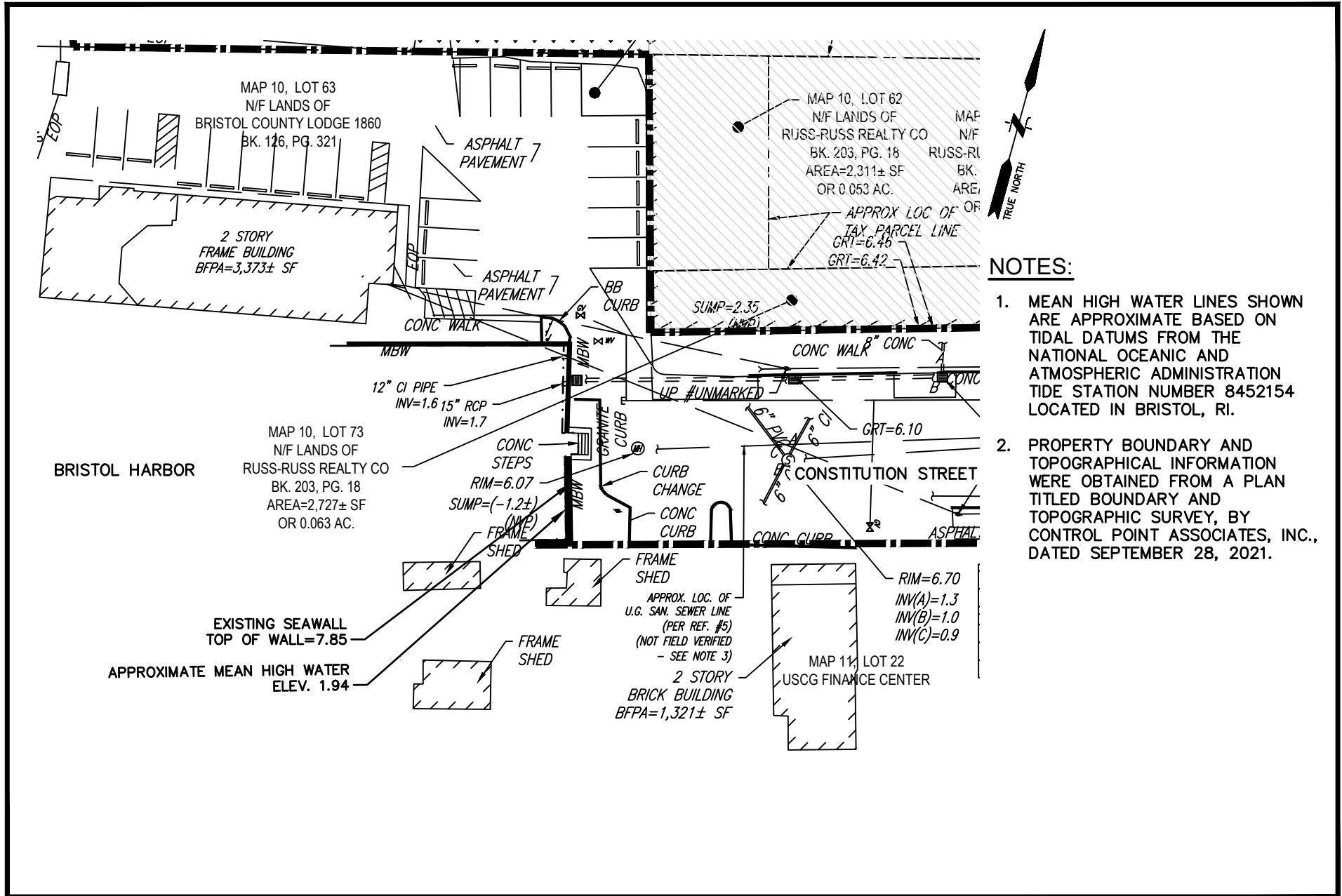
LOCATION MAP

SCALE: 1" = 1000'

PROJ. No.: 20081150.A22  
DATE: MARCH 25, 2024

GI-1





SCALE:
HORZ.: 1"=20'
VERT.:
DATUM:
HORZ.: NAD83
VERT.: NAVD88
0 10 20
GRAPHIC SCALE



**FUSS & O'NEILL**

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BRADY SULLIVAN  
EXISTING CONDITIONS  
BRISTOL YARN MILL

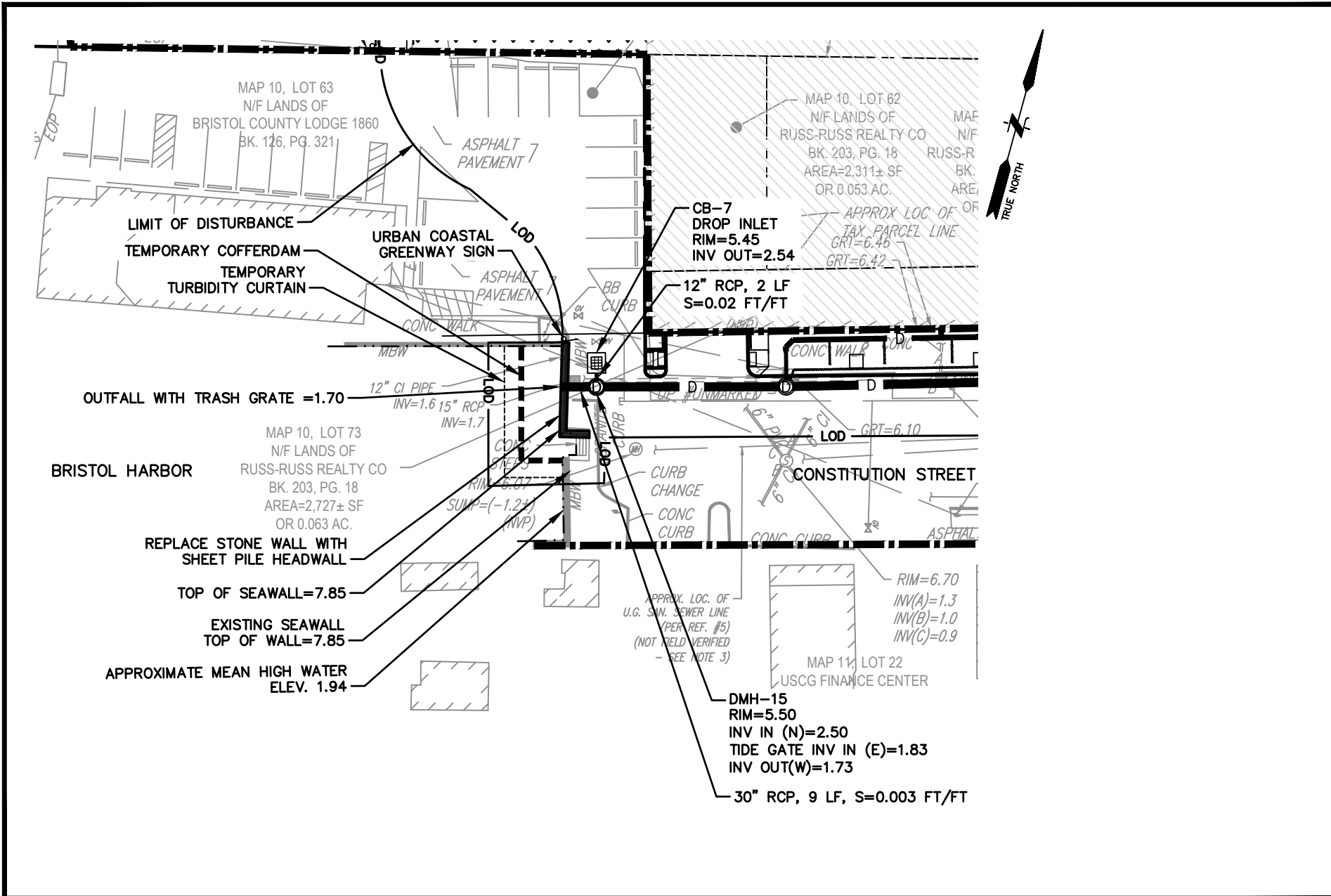
125 THAMES STREET


BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: 3/25/2024

EX-1





SCALE:	
HORZ.:	1"=20'
VERT.:	
DATUM:	
HORZ.:	NAD83
VERT.:	NAVD88
	
GRAPHIC SCALE	



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BRADY SULLIVAN  
SEAWALL WORK  
BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

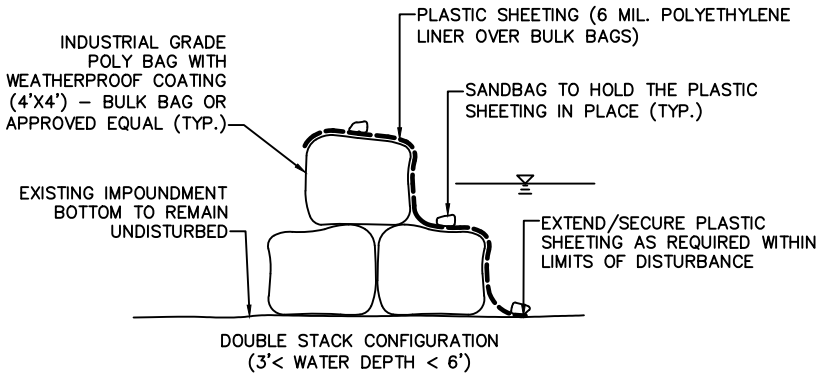
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DATE: 3/25/2024

CS-1



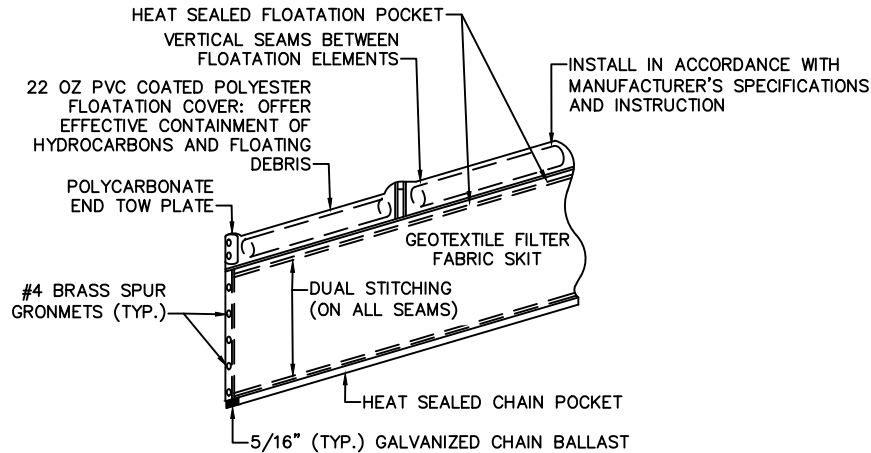






### TEMPORARY COFFERDAM

NOT TO SCALE

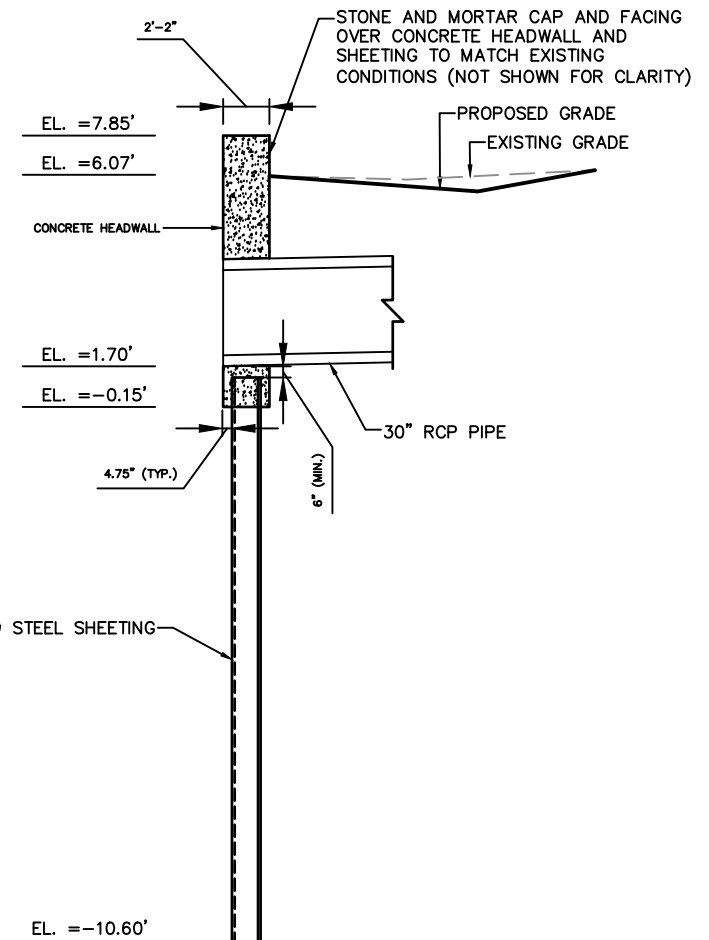


#### NOTES:

1. FLOTATION SIZE (6", 8" OR 12" DIA.) DETERMINED BY SKIRT DEPTH/SITE VARIABLES.
2. OTHER END TYPES AVAILABLE SUCH AS ALUMINUM UNIVERSAL SLIDE OR SLOTTED TUBE.
3. OPTIONAL TOP TENSION CABLE (5/16" TYP.) AVAILABLE FOR INCREASED STRENGTH.

### TEMPORARY TURBIDITY CURTAIN

NOT TO SCALE



### HEADWALL SECTION

NOT TO SCALE

SCALE:
HORZ.:
VERT.:
DATUM:
HORZ.: NAD83
VERT.: NAVD88
0
GRAPHIC SCALE



**FUSS & O'NEILL**

317 IRON HORSE WAY, SUITE 204  
PROVIDENCE, RI 02908  
401.861.3070  
www.fando.com

125 THAMES STREET

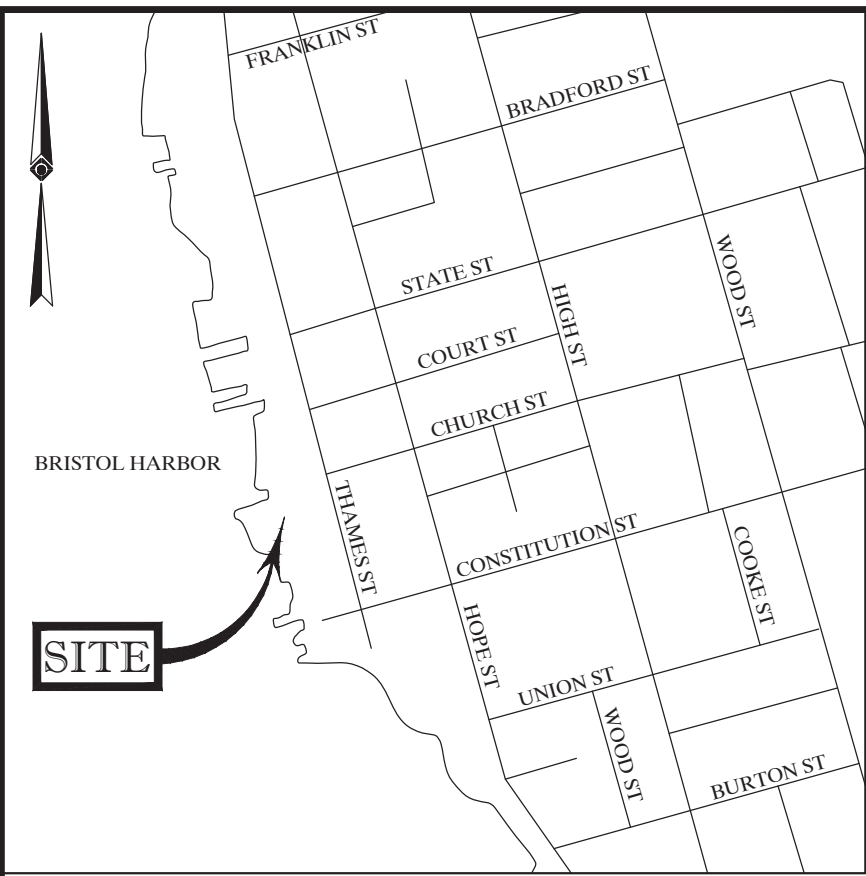
BRADY SULLIVAN  
SEAWALL DETAILS  
BRISTOL YARN MILL

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: 3/25/2024

CD-2





LOCUS MAP  
© 2013 ESRI WORLD STREET MAPS  
NOT TO SCALE

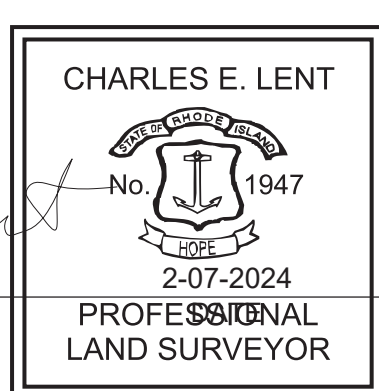
LEGEND	
	HYDRANT
	WATER VALVE
	UNKNOWN VALVE
	GAS VALVE
	GAS METER
	ELECTRIC METER
	OVERHEAD WIRES
	UTILITY POLE
	AREA LIGHT
	SIGN
	BOLLARD
	CHAIN LINK FENCE
	DEPRESSED CURB
	EDGE OF CONCRETE
	EDGE OF PAVEMENT
	LANDSCAPED AREA
	METAL COVER
	① DMH DRAINAGE/STORM MANHOLE
	② EMH ELECTRIC MANHOLE
	③ SMH SANITARY/SEWER MANHOLE
	④ MH UNKNOWN MANHOLE
	⑤ WMH WATER MANHOLE
	CB CATCH BASIN OR INLET
	⑩ TREE & TRUNK SIZE
	PARKING SPACE COUNT
	DEPRESSED CURB
	SWL SOLID WHITE LINE
	DYL DOUBLE YELLOW LINE
	BLDG BUILDING
	BFFA BUILDING FOOTPRINT AREA
	DHF DRILL HOLE FOUND
	MBW MASONRY BLOCK WALL
	(TYP) TYPICAL

- NOTES:
- PROPERTY KNOWN AS LOTS 42 & 60 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
  - PROPOSED PUBLIC ACCESS EASEMENT AREA = 8,068± SQ. FT. OR 0.185± ACRES.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATIONS ARE TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
  - BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL+12; & ZONE "X" SHADED) (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD); & ZONE "X" UNSHADED) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN); & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL+14 & EL+15) PER REF #2.
  - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
  - THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A PROPOSED EASEMENT ON THE SUBJECT PARCELS.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: III
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

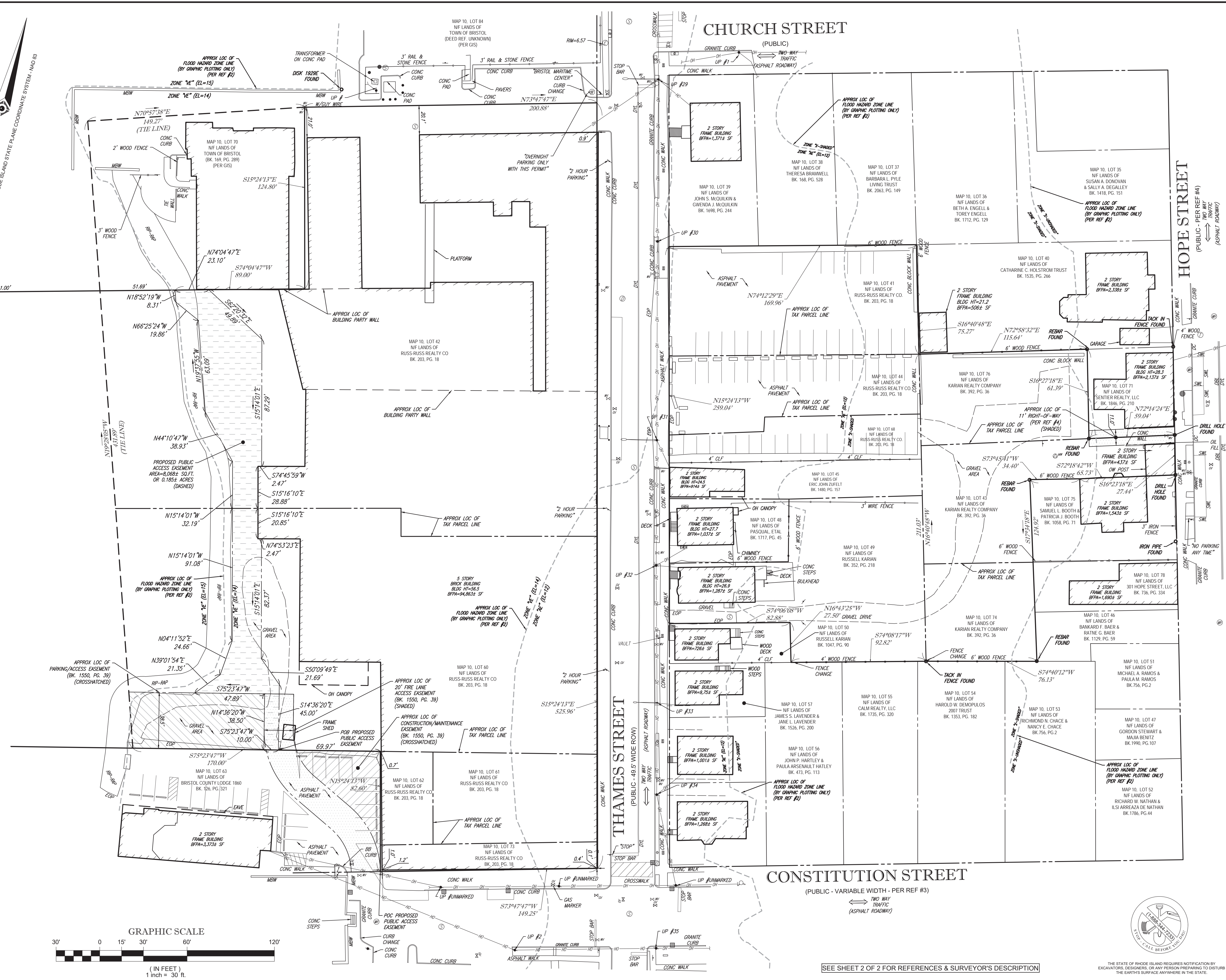
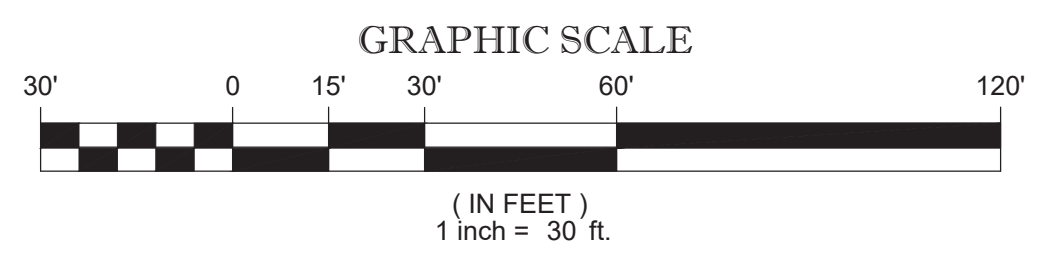


**CHARLES E. LENT**  
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947  
CERTIFICATE OF AUTHORIZATION #A350

FIELD DATE	-
FIELD BOOK NO.	-
FIELD BOOK PG.	-
FIELD CREW	-
DRAWN:	E.G.F.
REVIEWED:	E.L.O.C.
APPROVED:	C.E.L.
DATE	2-07-2024
SCALE	1" = 30'
FILE NO.	03-210289-00
DWG. NO.	1 OF 2

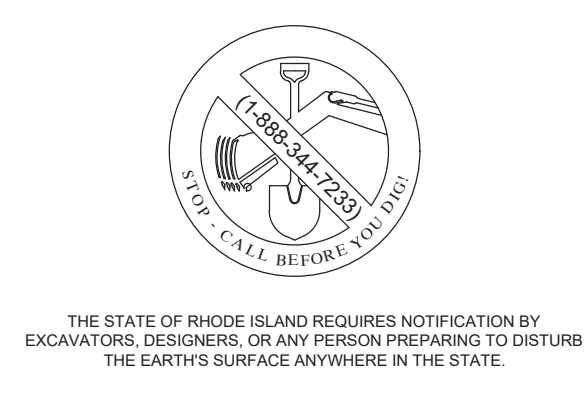
**EASEMENT PLAN**  
**BRISTOL YARN MILL**  
125 THAMES STREET  
LOTS 42 & 60, MAP 10  
TOWN OF BRISTOL, BRISTOL COUNTY  
STATE OF RHODE ISLAND

**CONTROL POINT ASSOCIATES, INC.**  
ALBANY, NY 518-217-5010  
CHALFONTE, PA 215-712-9800  
HATFIELD, MA 617-888-2665  
MANHATTAN, NY 646-780-0411  
MT LAUREL, NJ 609-857-2099  
WARREN, NJ 908-668-0099  
WWW.CPASURVEY.COM



**CONSTITUTION STREET**  
(PUBLIC - VARIABLE WIDTH - PER REF #3)

SEE SHEET 2 OF 2 FOR REFERENCES & SURVEYOR'S DESCRIPTION





CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

1.

TYPE OF BOUNDARY SURVEY:  
LIMITED CONTENT BOUNDARY SURVEY

MEASUREMENT SPECIFICATION  
I
2.

OTHER TYPE OF SURVEY:  
DATA ACCUMULATION SURVEY

MEASUREMENT SPECIFICATION:  
III
3.

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:  
PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED  
WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

Charles E. Lent

CHARLES E. LENT

PROFESSIONAL  
LAND SURVEYOR

1947

2-07-2024

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947

CERTIFICATE OF AUTHORIZATION #A350

FIELD DATE	EASEMENT PLAN				
FIELD BOOK NO.	BRISTOL YARN MILL				
FIELD BOOK PG.	125 THAMES STREET				
	LOTS 42 & 60, MAP 10				
FIELD CREW	TOWN OF BRISTOL , BRISTOL COUNTY				
	STATE OF RHODE ISLAND				
DRAWN:	<div><div><div><div></div></div><div>CONTROL POINT ASSOCIATES, INC.</div></div><div><div>ALBANY, NY 518-217-5010</div><div>CHALFONT, PA 215-712-9800</div><div>HAIPPAUGE, NY 631-580-2665</div><div>MANHATTAN, NY 646-780-0411</div><div>MT LAUREL, NJ 609-857-2099</div><div>WARREN, NJ 908-668-0099</div></div></div>				
E.G.F.	352 TURNPIKE ROAD				
	SOUTHBOROUGH, MA 01772				
	508.948.3000 - 508.948.3003 FAX				
	WWW.CPASURVEY.COM				
REVIEWED:	APPROVED:	DATE	SCALE	FILE NO.	DWG. NO.
E.LOC.	C.E.L.	2-07-2024	N/A	03-210289-00	2 OF 2

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND 9ALL JURISDICTIONS), PANEL 14 OF 18", MAP NUMBER 44001C0014H, MAP REVISED, JULY 7, 2014.
3. MAP ENTITLED "BOUNDARY SURVEY PLAN AP 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
4. MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
5. MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALGLET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
6. MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL RHODE ISLAND", PREPARED BY FUSS & O'NEILL, DATED MAY 7, 2021
7. MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
8. MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS 7 O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
9. RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.
10. MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BRISTOL YARN MILL, 125 THAMES STREET, LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10, TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021, LAST REVISED OCTOBER 1, 2021, THREE SHEETS.

SURVEYOR'S  
METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT  
LOCATED ON LOTS 42 & 60, MAP 10  
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE:

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (N/F LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE:
- B. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE:
1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES:
2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
8. NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;
11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (N/F OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
12. NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES;
13. SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
14. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
15. SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
16. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
17. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
18. NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
19. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
20. SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.69 FEET TO A POINT, THENCE;
21. SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 8,068 SQUARE FEET, 0.185 ACRES





# CONTROL POINT ASSOCIATES, INC.

traditional methods | modern approaches

352 Turnpike Road, Suite 320  
Southborough, MA 01772  
Tel: 508-948-3000  
www.cpasurvey.com

FEBRUARY 7, 2024  
03-210289-00  
PAGE 1 OF 2

## SURVEYOR'S METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT  
LOCATED ON LOTS 42 & 60, MAP 10  
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

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  - 1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES;
  - 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
  - 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
  - 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
  - 5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.66 FEET TO A POINT, THENCE;
  - 6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (N/F LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES;
  - 7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
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  - 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
  - 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;

Corporate Headquarters  
35 Technology Drive, Warren, NJ 07059  
Tel: 908.668.0099 Fax: 908.668.9595

Professional Land Surveying, Geospatial and Consulting Services



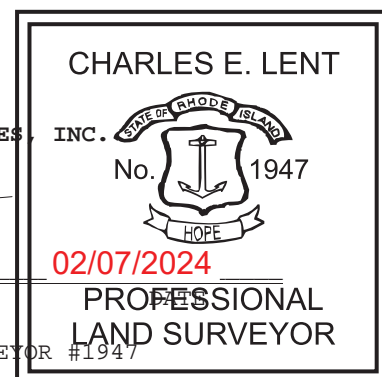
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CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

CONTROL POINT ASSOCIATES, INC.

*Charles E. Lent*

CHARLES E. LENT  
STATE OF RHODE ISLAND  
PROFESSIONAL LAND SURVEYOR #1947





# Bristol Yarn Mill Roadway Cost Breakdown

Description	Unit	Unit Cost	Total
Mill	2560 SY.	\$8.10	\$20,736.00
Drainage Structures	5 EA.	\$6,070.00	\$30,350.00
Drainage Pipe	520 LF.	\$195.00	\$101,660.00
Water Main	815 LF.	\$268.00	\$218,420.00
Hydrants	3 EA.	\$7,740.00	\$23,220.00
Sewer	30 LF.	\$440.00	\$13,200.00
Grainite Curbing	375 LF.	\$60.00	\$22,500.00
Exterior Concrete (Prep)	6,340 SF.	\$5.00	\$31,700.00
Exterior Concrete (Pour)	6,340 SF.	\$12.00	\$76,080.00
Overlay	2,410 SY.	\$15.75	\$37,957.00
Total			\$575,823.00



# BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND  
ASSESSOR'S PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76

## PERMITTING PLAN

DECEMBER 6, 2022

REVISED: MAY 29, 2024

PREPARED FOR  
**BRADY SULLIVAN  
PROPERTIES**

670 N. COMMERCIAL STREET  
MANCHESTER, NH 03101  
603.622.6223  
WWW.BRADYSULLIVAN.COM

**SHEET INDEX**

SHEET No.	SHEET TITLE
GI-001	COVER SHEET
CN-001	GENERAL NOTES AND LEGEND
1 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
2 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
3 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
CP-101	SITE DEMOLITION PLAN
CE-101	SOIL EROSION & SEDIMENTATION CONTROL PLAN
CS-101	SITE PLAN
CS-102	SITE CIRCULATION PLAN
CG-101	GRADING PLAN
CG-102	DRAINAGE PLAN
CU-101	WATER & SEWER PLAN
LP-101 - LP-103	PLANTING PLANS
CD-501 - CD-502	PLANTING DETAILS
CD-503 - CD-511	CIVIL DETAILS
CD-512 - CD-513	LANDSCAPING DETAILS



PREPARED BY  
**FUSS & O'NEILL**

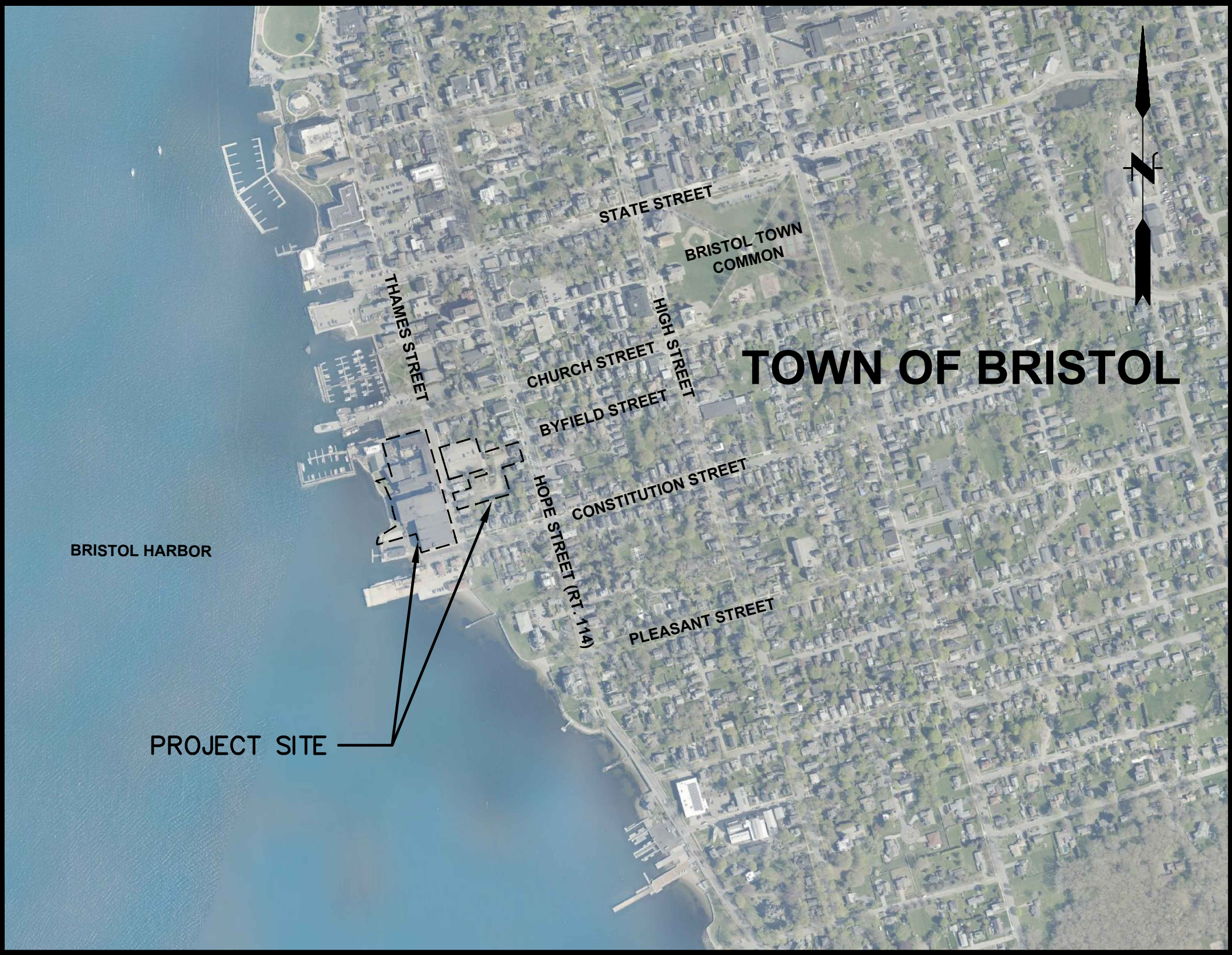
317 IRON HORSE WAY, SUITE 204  
PROVIDENCE, RI 02908  
401.861.3070  
www.fando.com

**CONSULTANTS**

ENVIRONMENTAL:  
NOBIS GROUP  
18 CHENELL DR  
CONCORD, NH  
03301  
603.224.4182

ARCHITECTURAL:  
BRADY SULLIVAN  
PROPERTIES  
670 N. COMMERCIAL STREET  
MANCHESTER, NH  
03101  
630.622.6223

SURVEYOR:  
CONTROL POINT  
ASSOCIATES, INC.  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA  
01772  
508.948.3000



LOCATION MAP  
SCALE: 1" = 500'



**PLANNING BOARD APPROVAL**

PLANNING BOARD CHAIR OR DESIGNEE DATE

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

GI-001

SHEET 1 OF 28



LEGEND

EXIST	PROP	EXIST	PROP
PROPERTY LINE/RIGHT-OF-WAY		DRAINAGE LINE	
CENTERLINE		SEWER LINE	
LIMIT OF DISTURBANCE		OVERHEAD ELECTRIC, TELEPHONE & FIRE ALARM	
EASEMENT		WATER LINE	
BUILDING SETBACK		FIRE PROTECTION LINE	
STATE HIGHWAY BASELINE		GAS LINE	
BASELINE		UNDERGROUND ELECTRIC	
ZONING LINE		TELEPHONE LINE	
EDGE OF WATER		CABLE TV	
WETLAND LINE		ELECTRIC, TELEPHONE & CABLE TV LINES	
BUFFER ZONE		CATCH BASIN	
WETLAND SYMBOL		DOUBLE CATCH BASIN	
GRAVEL ROAD		DRAIN INLET	
EDGE OF PAVEMENT		DRAIN MANHOLE	
BITUMINOUS CURB		TRENCH DRAIN	
CONCRETE CURB		PLUG/STUB	
PRECAST CONC. CURB		FLARED END SECTION	
VERT. GRAN. CURB		HEADWALL	
LIMIT OF CURB TYPE		GREASE TRAP	
SAW CUT		CONTROL STRUCTURE	
MATCH LINE			
SOLID WHITE LINE		CLEAN OUT	
BROKEN WHITE LINE		WATER GATE	
SOLID YELLOW LINE		WATER SHUTOFF	
SOLID WHITE CHANNELIZING LINE		REDUCER	
SOLID YELLOW CHANNELIZING LINE		TEE	
DOUBLE YELLOW LINE		TAPPING SLEEVE, VALVE, & BOB RISER	
STOP LINE		SIAMSE CONNECTION (FIRE DEPARTMENT CONNECTION)	
STOP LINE		FIRE HYDRANT	
GUARD RAIL		WATER METER	
PRESSURE REDUCER		WELL	
WIRE FENCE			
CHAIN LINK FENCE		GAS GATE	
TREE LINE			
SHRUB LINE		GAS METER	
STONE WALL			
RETAINING WALL		ELECTRIC MANHOLE	
MINOR CONTOUR			
MAJOR CONTOUR		ELECTRIC BOX	
TOP OF SLOPE			
BOTTOM OF SLOPE		TRANSFORMER	
BUILDING			
BOLLARD		FLOOD LIGHT	
SIGN			
DOUBLE SIGN		LIGHT POLE (1 LUMINAIRES)	
PARKING METER		LIGHT POLE (2 LUMINAIRES)	
		LIGHT POLE (3 LUMINAIRES)	
		LIGHT POLE (4 LUMINAIRES)	
		WALL PACK	
PARKING COUNT			
CROSSWALK		TELEPHONE MANHOLE	
CONC. PAVEMENT			
NORMAL PAVEMENT		SIGNAL BOX	
HEAVY DUTY PAVEMENT			
ADA OR ACCESSIBLE RAMP		FIRE ALARM CONTROL PANEL	
HANDICAP PARKING			
VAN-ACCESSIBLE HANDICAP PARKING		UTILITY POLE	
		GUY POLE	
		HAND HOLE	
		PULL BOX	
TOP & BOTTOM ELEVATION			
SPOT ELEVATION w/LEADER		TELEPHONE MANHOLE	
SPOT ELEVATION			
SOIL BORING		SIGNAL BOX	
MONITORING WELL			
TEST PIT LOCATION		FIRE ALARM CONTROL PANEL	
IRON PIPE			
IRON PIN		UTILITY POLE	
DRILL HOLE		GUY POLE	
MONUMENT		HAND HOLE	
MAIL BOX		PULL BOX	
CONTROL POINT			
SILT FENCE			
HAYBALES			
HAYBALE CHECK DAMS			

GENERAL NOTES

1. REFERENCES:  
A. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "STATE STANDARD SPECIFICATIONS" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.  
B. THE STATE OF RHODE ISLAND STANDARD DETAILS, 2015 EDITION, AND ALL CURRENT REVISIONS, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "STATE STANDARD DETAILS" OR "R.I. STD. ##" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND STANDARD DETAILS.  
C. THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, 2016 EDITION, REVISIONS AND ALL CURRENT ADDENDA ARE MADE A PART HEREOF, AS IF ATTACHED HERETO. ALL REFERENCES TO "SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" SHALL REFER TO THE LATEST EDITION OF THE STATE OF RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK.  
D. THE STATE OF RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL, COASTAL MANAGEMENT PROGRAM "RED BOOK" (650-RICP-20-00-01), 2022 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.  
E. THE STATE OF RHODE ISLAND COASTAL RESOURCES MANAGEMENT COUNCIL, COASTAL MANAGEMENT PROGRAM "METRO BAY REGION SPECIAL AREA MANAGEMENT PLAN" (650-RICP-20-00-5), 2022 EDITION, REVISIONS AND ALL CURRENT ADDENDA, ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.  
F. THE SITE-SPECIFIC SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC PLAN) PREPARED BY FUSS & O'NEILL, INC., DATED NOVEMBER 4, 2022, IS MADE A PART HEREOF, AS IF ATTACHED HERETO.  
2. EXISTING CONDITIONS:  
A. SURVEY: PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION WERE OBTAINED FROM A PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021."  
B. FLOOD ZONE: THE SUBJECT SITE LIES WITHIN ZONE "AE", A SPECIAL FLOOD HAZARD AREA SUBJECT TO INUNDATION BY 1% ANNUAL-CHANCE FLOOD EVENT, WITH BASE FLOOD ELEVATION OF 12 FT.; & ZONE "VE", A SPECIAL FLOOD ZONE AREA, WITH BASE FLOOD ELEVATION OF 14 FT. & ZONE "X", WITH 0.2% ANNUAL CHANCE FLOOD HAZARD, AREA OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH LESS THAN ONE FOOT OR WITH DRAINAGE AREAS OF LESS THAN ONE SQUARE MILE, PER FLOOD INSURANCE RATE MAP (FIRM) 44001C0014H, EFFECTIVE JULY 7, 2014.  
C. UTILITIES: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE ONLY AND HAVE NOT YET BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.  
3. MATERIAL:  
A. CURBING: CURBING SHALL BE GRANITE (R.I. STD. 7.3.0), CONCRETE (R.I. STD. 7.1.0) OR BITUMINOUS BERM (R.I. STD. 7.5.1) AND IN ACCORDANCE WITH SECTION M.09 OF THE STATE STANDARD SPECIFICATIONS.  
B. BITUMINOUS CONCRETE PAVEMENT: BITUMINOUS PAVEMENTS SHALL MEET REQUIREMENTS OF PART 400 OF THE STATE STANDARD SPECIFICATIONS.  
C. CEMENT CONCRETE SIDEWALKS: ALL PORTLAND CEMENT CONCRETE USED IN THE CONSTRUCTION OF THE CEMENT CONCRETE SIDEWALKS SHALL BE CLASS A(AE) AND CONFORM TO THE REQUIREMENTS AS SET FORTH IN SUBSECTIONS 601.01.1 AND 601.03.1 OF THE STATE STANDARD SPECIFICATIONS.  
D. SIGNAGE: ALL SIGNAGE SHALL MEET MUTCD REQUIREMENTS AND COMPLY WITH STANDARDS IN RIDOT SECTIONS T.15. AND M-16.  
4. UTILITIES:  
A. STORM DRAINAGES: STORM DRAIN PIPING SHALL BE SMOOTH LINED BE DOUBLE-WALL HIGH DENSITY POLYETHYLENE PIPE, (n=0.012) WITH WATER TIGHT JOINTS. THE SIZES OF ALL PIPES ARE NOTED ON THE PLANS.  
ALL CATCH BASINS SHALL BE PRECAST CONCRETE, AS SPECIFIED ON THE DETAIL SHEETS, WITH BICYCLE SAFE GRATES, R.I. STANDARD 6.3.2, OR APPROVED EQUAL.  
B. SEWER: ALL SEWER PIPE, UNLESS OTHERWISE SPECIFIED, SHALL BE POLYVINYL CHLORIDE (SDR 35).  
CLEAN OUTS SHALL BE INSTALLED WHERE THE DISTANCE FROM THE BUILDING TO THE MAIN SEWER IS GREATER THAN 100 FEET OR WHERE BENDS GREATER THAN 45° ARE PROPOSED. CLEAN OUTS SHALL BE MADE BY INSTALLING "Y" AND ONE-EIGHTH BENDS OF THE SAME DIAMETER AS THE BUILDING SEWER, OR A MAXIMUM OF FOUR INCHES. THE CLEAN OUT SHALL BE BROUGHT UP FROM THE BUILDING SEWER TO FINISH GRADE WITH A ROADWAY BOX.  
SEWER INSTALLATION PRACTICES AND APPURTENANCES SHALL BE IN ACCORDANCE WITH TOWN OF BRISTOL DPW STANDARDS.  
C. GAS AND ELECTRIC: COORDINATE AND INSTALL GAS, ELECTRIC, AND COMMUNICATIONS UTILITIES IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE APPROPRIATE UTILITY COMPANIES.  
D. WATER:  
1.1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE BRISTOL COUNTY WATER AUTHORITY 48 HOURS PRIOR TO ANY DESIRED VALVE OPERATIONS REQUIRED. THE BCWA WILL FURNISH PERSONNEL TO OPERATE ALL VALVES IN THE SYSTEM WITHOUT COST TO THE CONTRACTOR. ONLY BCWA PERSONNEL WILL OPERATE EXISTING WATER LINE VALVES OR HYDRANTS. THE CONTRACTOR IS ADVISED THAT TOTAL SHUTDOWN OF SOME VALVES OR CONNECTIONS MAY NOT BE POSSIBLE. THIS MAY REQUIRE THAT SIDE-LINE WATER MAIN AND VALVES BE REPLACED UNDER CONDITIONS REQUIRING ADEQUATE DEWATERING MEASURES BY THE CONTRACTOR. NO SEPARATE PAYMENT WILL BE MADE FOR DEWATERING. THE CONTRACTOR WILL BE RESPONSIBLE FOR REALLOCATING RESOURCES (I.E., LABOR AND EQUIPMENT) AT THEIR OWN COST TO ALTERNATE WORK AREAS IN THE EVENT A SHUTDOWN IS NOT OBTAINED.  
1.2. ALL NEW DUCTILE IRON MAIN SHALL CONFORM TO AWWA C151, BE ZINC COATED PER ISO 8179-1, DOUBLE THICKNESS CEMENT LINED, CLASS 52 PIPE, AND SHALL BE MANUFACTURED IN THE USA. DUCTILE IRON PIPE FITTINGS SHALL BE AWWA C219 BE AWWA C219 WITH 304 STAINLESS STEEL HARDWARE. PROPER USE OF THRUST BLOCKS AND/OR RESTRAINED JOINTS ARE REQUIRED AT ALL FITTINGS, VALVES AND HYDRANTS. RESTRAINED COUPLINGS SHALL BE MEGA-COUPLING SERIES 3800, OR APPROVED EQUAL.  
1.3. ALL NEW DUCTILE IRON MAIN AND FITTINGS SHALL BE WRAPPED IN V-BIO POLYETHYLENE ENCASEMENT MEETING AWWA C105/A21.5. THIS INCLUDES ANY NEW MAIN AND COUPLINGS INSTALLED IN A LINING ACCESS PIT, AT HYDRANT BRANCH TEES, ETC.  
1.4. DUCTILE IRON GATE VALVES SHALL BE AWWA C509, OPEN RIGHT, MECHANICAL JOINT, WITH TYPE 304 STAINLESS STEEL HARDWARE, AND SHALL BE MUELLER A-2362-23 OR APPROVED EQUAL.  
1.5. HYDRANTS SHALL HAVE A 5 1/4" MAIN VALVE OPENING WITH 6" MECHANICAL JOINT BASE. THE OPERATING NUT SHALL BE 1 3/8" POINT TO FLAT PENTAGON, OPEN LEFT. HYDRANTS INSTALLED IN BRISTOL SHALL HAVE 2 1/2" HOSE NOZZLES (G.A.N.S THREAD) AND A 4" PUMPER NOZZLE (G.A.-7-465 THREAD). ALL HYDRANTS SHALL HAVE TWO COATS OF FACTORY APPLIED GLOSS EXTERIOR ALKID ENAMEL PAINT. BARREL SHALL BE SAFETY YELLOW. BONNET AND ALL CAPS SHALL BE SILVER ALUMINUM. HYDRANTS SHALL BE MUELLER SUPER CENTURIUM 280 OR AMERICAN DARLING B-84-B, NO SUBSTITUTION. ALL NEW HYDRANTS INSTALLED SHALL BE AT THE CORRECT BURY DEPTH PER THE MANUFACTURER'S INSTRUCTIONS TO PROVIDE FOR PROPER EFFECTIVENESS OF THE BREAKAWAY COUPLING.  
1.6. WHEREVER NEW MAINS, VALVES, HYDRANTS, SERVICES, APPURTENANCES, ETC., ARE TO BE LAID IN THE SAME LOCATION AS THE EXISTING MAINS, VALVES, HYDRANTS, SERVICES, APPURTENANCES, ETC., THE EXISTING MAIN AND ALL APPURTENANCES SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR AT NO ADDITIONAL COST TO BCWA.  
1.7. THE CONTRACTOR WILL BE REQUIRED TO INSTALL OR REPLACE SEVERAL WATER SERVICES AS PART OF THE WORK. TYPICAL NEW SERVICE TAPS SHALL BE INSTALLED USING 1" COPORATIONS, 1" TYPE K COPPER SERVICE TUBING AND 1" CURB STOPS AND BOXES. THE CONTRACTOR SHALL CONNECT ALL NEW CURB STOPS TO THE EXISTING SERVICE LINE.  
1.8. THE CONTRACTOR IS REQUIRED TO PROVIDE UNINTERRUPTED WATER SERVICE DURING CONSTRUCTION. IF A WATER SHUTDOWN IS REQUIRED, THE SHUTDOWN SHALL BE NO LONGER THAN SIX HOURS AND SHALL BE COORDINATED WITH THE BCWA NO LESS THAN 48 HOURS IN ADVANCE. BCWA WILL NOTIFY CUSTOMERS OF SCHEDULED SHUTDOWNS AT LEAST 24 HOURS IN ADVANCE. THE CONTRACTOR SHOULD FIELD VERIFY ALL VALVE LOCATIONS NEEDED FOR PROPER SHUT DOWN OF THE WORK AREA.  
1.9. WHERE REQUIRED, THE CONTRACTOR SHALL MAINTAIN WATER SERVICE TO CUSTOMERS THROUGH THE USE OF TEMPORARY BYPASS PIPING. THE CONTRACTOR SHALL PREPARE THE PROPOSED BYPASS PIPING PLANS FOR ALL STAGES OF THE PROJECT AND SUBMIT THESE PLANS FOR APPROVAL TO THE BCWA AND THE LOCAL FIRE CHIEF. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE HOMEOWNERS FOR THE INSTALLATION OF THE BYPASS PIPING CONNECTIONS. HOSE CONNECTIONS SHALL BE MADE USING "Y" CONNECTIONS TO ALLOW HOMEOWNER USE OF THE HOSE BIB DURING CONSTRUCTION. EXISTING WATER SERVICES SHALL BE LOCATED BY BCWA IN THE FIELD. ALL EXISTING FIRE HYDRANTS AND PRIVATE FIRE SERVICES IN THE WORK AREA MUST BE KEPT LINE AS PART OF THE BYPASS SYSTEM. THE CONTRACTOR SHOULD NOTE THAT BRISTOL UTILIZES NON-STANDARD PUMPER NOZZLES.  
1.10. THE CONTRACTOR SHALL UTILIZE A SEPARATE, TEMPORARY PIPING SYSTEM FOR FLUSHING, FILLING, TESTING AND CHLORINATION OF VARIOUS SIZE WATER MAINS. A REDUCED PRESSURE ZONE DEVICE SHALL BE INSTALLED IN THE TEMPORARY PIPING SYSTEM TO ENSURE THAT NO WATER IS ALLOWED TO RETURN TO THE SUPPLY LINE. FIRE HYDRANTS MAY NOT BE USED FOR SAMPLING POINTS BUT MAY BE UTILIZED AS A FEED SOURCE IF PROPERLY FLUSHED AND THE ABOVE TEMPORARY PIPING SYSTEM INSTALLED. THE REDUCED PRESSURE ZONE

GENERAL CONSTRUCTION REQUIREMENTS

1. THE SITE IS A REGULATED SITE UNDER THE RIDEM "RULES AND REGULATIONS FOR THE INVESTIGATION AND REMEDIATION OF HAZARDOUS MATERIALS RELEASES" ("REMEDIACTION REGULATIONS"), AND A SITE-SPECIFIC REMEDIAL ACTION WORK PLAN (RAWP). COMPLY WITH THE RAWP AND RIDEM OFFICE OF WASTE MANAGEMENT REQUIREMENTS FOR ALL LAND DISTURBANCE ACTIVITIES AND CONSTRUCTION. ALL EXCESS EXCAVATED MATERIALS, EXCESS FILL, EXCESS CONSTRUCTION MATERIALS, AND DEBRIS SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS, AND RAWP.  
1.1. ALL EXISTING SOIL AT THE SITE IS CONSIDERED TO BE REGULATED SOIL, FALLS UNDER RIDEM JURISDICTION, AND AT THE END OF THE PROJECT, SHOULD BE COVERED BY A SOIL CAP, ALL EXCAVATED ON-SITE SOIL TO BE REMOVED FROM THE SITE BY THE CONTRACTOR MUST BE MANAGED IN ACCORDANCE WITH THE RAWP AND DISPOSED OF AT A RIDEM-APPROVED FACILITY.  
1.2. PRIOR TO IMPORTATION TO THE SITE, ALL EARTHEN MATERIAL, INCLUDING BUT NOT LIMITED TO BACKFILL, BEDDING, BORROW, GRANULAR MATERIAL, FILL, GRAVEL BORROW, AND GRAVEL BASE, MUST BE LABORATORY ANALYZED AND APPROVED AS CLEAN FILL BY THE ENGINEER IN ACCORDANCE WITH THE RAWP.  
2. THE SITE IS REGULATED UNDER OSHA 29 CFR 1910.120 AND 1926.65. ALL CONTRACTORS AND WORKERS SHALL MAINTAIN COMPLIANCE WITH HAZARDOUS WASTE OPERATIONS AND EMERGENCY RESPONSE (HAZWOPER) TRAINING AND CERTIFICATION REQUIREMENTS.  
3. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND FOLLOWING A SITE-SPECIFIC HEALTH AND SAFETY PLAN (HASP) IN ACCORDANCE WITH OSHA 29 CFR 1910.120. A COPY MUST BE MAINTAINED ON-SITE AT ALL TIMES AND BE AVAILABLE FOR EXAMINATION BY THE OWNER AND ENGINEER, IF REQUESTED. THE SITE IS REGULATED UNDER OSHA 29 CFR 1910.120 AND 1926.65. ALL CONTRACTORS AND WORKERS SHALL MAINTAIN COMPLIANCE WITH HAZARDOUS WASTE OPERATIONS AND EMERGENCY RESPONSE (HAZWOPER) TRAINING AND CERTIFICATION REQUIREMENTS.  
4. DISCHARGES FROM CONSTRUCTION SITE ARE REGULATED BY THE RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT RHODE ISLAND POLLUTANT DISCHARGE SYSTEM ELIMINATION (RIDPDES) PROGRAM. THE PROJECT SHALL COMPLY WITH THE CONDITIONS OF THE RIDPDES GENERAL PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION SITE RUNOFF, AND THE TOWN OF BRISTOL CODE OF ORDINANCES, CHAPTER 29 ARTICLE III "SOIL EROSION, RUNOFF AND SEDIMENT CONTROL".  
5. VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY AND CONFIRM ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS ARE CONSISTENT. NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.  
6. OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS WITH THE LOCAL AND STATE MUNICIPALITY. ALL WORK SHALL BE PAID BY OWNER. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED AND THE CONTRACTOR HAS SUPPLIED THE REQUIRED NOTICES.  
7. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.  
8. DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER/OWNER.  
9. CONTACT "DIG SAFE" AT 1-888-344-7233, 72 HOURS PRIOR, EXCLUDING WEEKENDS AND HOLIDAYS, TO ANY EXCAVATION PERFORMED ON SITE.  
10. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES AND NOTIFY OWNER/ENGINEER OF ANY DISCREPANCIES FROM CONTRACT DOCUMENTS. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATIONS REQUIRED PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING, AT HIS/HER EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.  
11. AN APPROVED SET OF PLANS, SIGNED SOIL EROSION AND SEDIMENT CONTROL PLAN (AKA STORMWATER POLLUTION PREVENTION PLAN), AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.  
12. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.  
13. IDENTIFY TREES TO BE REMOVED PRIOR TO CONSTRUCTION AND MARK THEM WITH CONSTRUCTION TAPE FOR REVIEW BY THE OWNER/ENGINEER. TREES AND OTHER EXISTING VEGETATION SHALL BE RETAINED WHEREVER FEASIBLE. DO NOT REMOVE TREES UNTIL REVIEWED AND APPROVED BY THE OWNER/ENGINEER.  
14. PROVIDE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS.  
15. RESTORE HARDSCAPE IMPROVEMENTS WITH MATCHING MATERIALS (I.E. ANY PAVEMENT, WALKS, CURBS, ETC.) THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.  
16. RESTORE DISTURBED LANDSCAPE AREAS TO ORIGINAL CONDITION (I.E. SEEDED, SODDED, PLANTED) UNLESS OTHERWISE DIRECTED WITHIN CONTRACT DOCUMENTS.  
17. ADJUST UTILITY COVERS, GRATES, AND HAND HOLES TO FINISH GRADE.  
18. ALL EXCESS EXCAVATED MATERIALS, EXCESS FILL, EXCESS CONSTRUCTION MATERIALS, DEBRIS, AND WASTE SHALL BE REMOVED FROM THE SITE AND SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS.  
19. DO NOT CLOSURE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND UTILITIES WITHOUT APPROPRIATE PERMITS.  
20. WORK IS RESTRICTED TO THE HOURS OF 7 AM TO 5 PM ON MONDAY THROUGH FRIDAY, EXCLUDING HOLIDAYS, UNLESS OTHERWISE APPROVED BY THE OWNER.

PRELIMINARY PLAN APPROVAL CONDITIONS

IN ADDITION TO THE CONDITIONS OF MASTER PLAN APPROVAL AND THE ZONING MAP AMENDMENT, THE PROPOSED DEVELOPMENT SHALL BE SUBJECT TO THE FOLLOWING ADDITIONAL CONDITIONS:  
1. DEDICATION BY DEED OF THE PARKING LOT ON THE NORTHEAST CORNER OF CHURCH AND THAMES STREET, PLAT 10, LOT 32 TO THE TOWN OF BRISTOL FOR PUBLIC PARKING AS REQUIRED BY THE ZONING THAT THERE BE 10% OF THE LAND AREA TO BE SET ASIDE FOR PUBLIC INSTITUTIONAL USES AS REQUIRED BY SECTION 28-284 (g) PRIOR TO RECORDING OF FINAL PLAN.  
2. ADDITIONAL ARBORVITAE EVERGREEN BUFFER PLANTINGS SHALL BE PLANTED ON THE SOUTH SIDE OF THE THAMES STREET PARKING LOT TO AUGMENT THE EXISTING ROW AS A VISUAL AND NOISE BUFFER. THE NUMBER, HEIGHT AND SPACING OF PLANTINGS SHALL BE SHOWN ON THE LANDSCAPING PLANS BY THE LANDSCAPE ARCHITECT AND INSTALLATION OF THE SAME WILL BE VERIFIED IN THE FIELD BY THE TOWN TREE WARDEN.  
3. A 6-FOOT TALL SOLID-WALL FENCE SHALL BE INSTALLED ALONG THE SOUTH SIDE OF THE THAMES STREET PARKING LOT OF A MATERIAL THAT BLOCKS HEADLIGHTS AND HELPS MITIGATE SOUND. THE FENCE SHALL NOT BE OF STOCKADE DESIGN AS SHOWN ON THE PRELIMINARY PLANS. THE DESIGN OF THIS FENCE SHALL BE SUBJECT TO THE HISTORIC DISTRICT COMMISSION REVIEW AND APPROVAL. THE FINAL PLAN SHALL INDICATE A PROPOSED FENCE THAT SATISFIES THESE REQUIREMENTS.  
4. HISTORIC DISTRICT COMMISSION REVIEW AND APPROVAL SHALL BE REQUIRED FOR ALL DETAILS OF EXTERIOR CHANGES, INCLUDING WITHOUT LIMITATION: WINDOWS, DOORS, LIGHT FIXTURES, FENCES, AND SIGNS. THESE APPROVALS MAY BE OBTAINED IN THE NORMAL COURSE WITH HDC AND SUBSEQUENT TO THE FINAL PLAN AND BUILDING PERMITS.  
5. SUBMISSION OF A CONSTRUCTION SCHEDULE THAT INCLUDES SHOWING THE PLANTING OF THE ARBORVITAE AND FENCE INSTALLATION ALONG THE SOUTH SIDE OF THE THAMES STREET PARKING LOT PROPERTY PRIOR TO ANY OTHER SITE WORK IN THE PARKING LOT AND PRIOR TO USE OF THE PROPERTY AS A "LAYDOWN AREA" FOR CONSTRUCTION ACTIVITIES, AND SUCH PLANTING AND INSTALLATION SHALL BE COMPLETED PRIOR TO ANY OTHER WORK OR USE OF PARKING LOT AS SET FORTH HEREIN.  
6. MAINTENANCE OF ALL PLANTINGS ON THE PROPERTIES SHALL BE AN OBLIGATION OF THE APPLICANT AND SHALL BE INCLUDED IN A DEED COVENANT STIPULATING TIME FOR REPLACEMENT PLANTINGS.  
7. TREE PROTECTION TO BE INSTALLED TO PROTECT THE EXISTING TREES ALONG THE PROPERTY OF 82 THAMES STREET WITH THIS DETAIL TO BE SHOWN ON THE FINAL PLAN.  
8. RECOMMENDATIONS OF THE CONSERVATION COMMISSION ON THE PROPOSED LANDSCAPING INCLUDING A DIVERSITY OF STREET TREES ALONG THAMES STREET, AND AN INCREASED BUFFER OF ARBORVITAE ALONG THE SOUTHERN PROPERTY LINE OF THE PARKING LOT.

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9 2/2/2024 FINAL PLAN  
8 11/7/2023 RESPONSE TO BCWA COMMENTS  
7 10/13/2023 RESPONSE TO BCWA COMMENTS  
6 9/8/23 BCWA SUBMITTAL  
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4 5/19/23 RESPONSE TO TRC AND PARE COMMENTS  
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11 5/29/2024 REISSUE FINAL PLAN  
10 3/6/2024 RESPONSE TO CRMC COMMENTS  
9 2/2/2024 FINAL PLAN  
8 11/7/2023 RESPONSE TO BCWA COMMENTS  
7 10/13/2023 RESPONSE TO BCWA COMMENTS  
6 9/8/23 BCWA SUBMITTAL  
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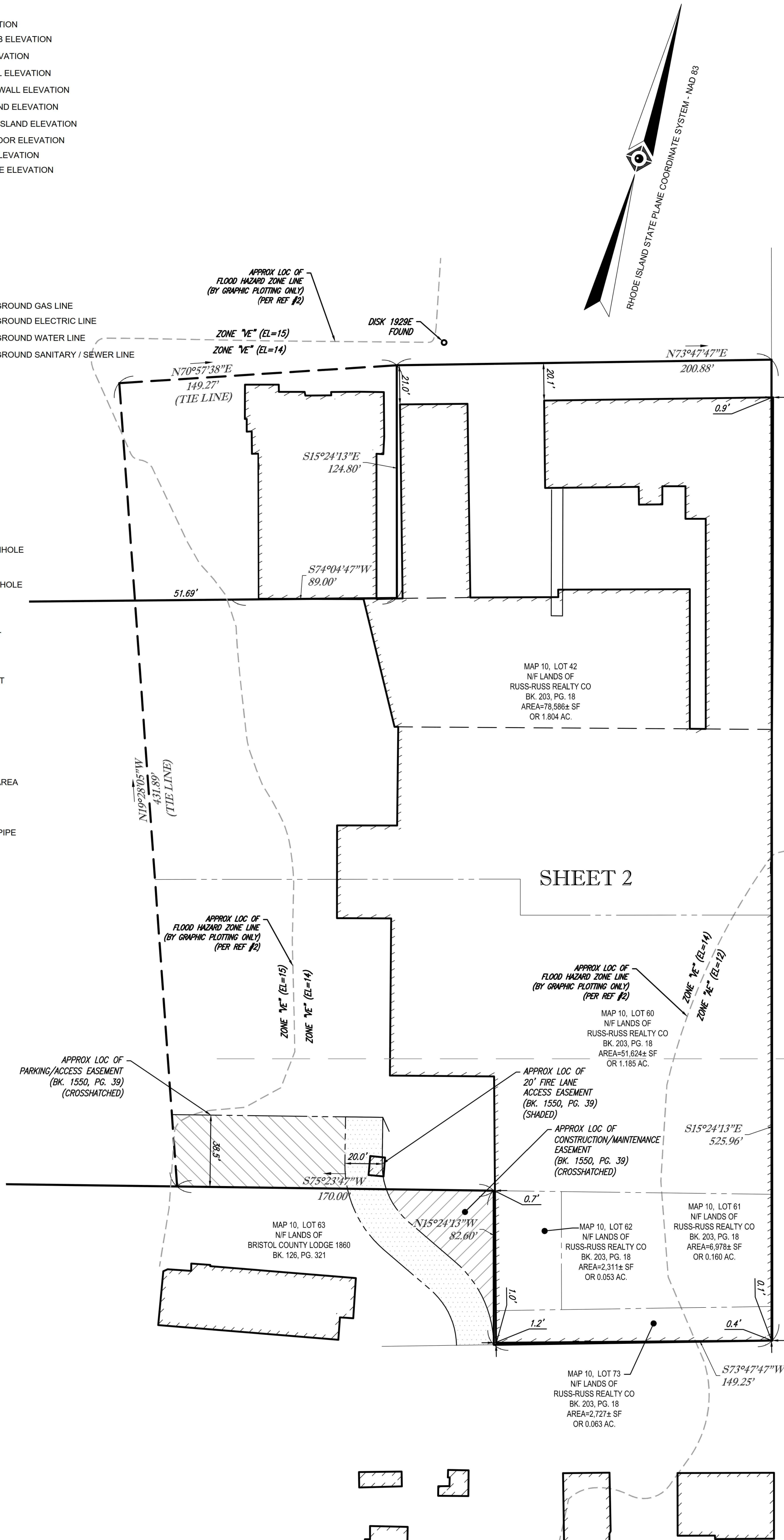
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- LEGEND
- 124 --- EXISTING CONTOUR  
--- 125 ---  
X 123.45 EXISTING SPOT ELEVATION  
X 123.45 EXISTING TOP OF CURB ELEVATION  
X 122.95 EXISTING GUTTER ELEVATION  
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X 123.45 EXISTING DOOR SILL ELEVATION  
X 125.45 EXISTING LEGAL GRADE ELEVATION  
HYDRANT  
WATER VALVE  
UNKNOWN VALVE  
GAS VALVE  
GAS METER  
ELECTRIC METER  
OVERHEAD WIRES  
APPROX. LOC. UNDERGROUND GAS LINE  
APPROX. LOC. UNDERGROUND ELECTRIC LINE  
APPROX. LOC. UNDERGROUND WATER LINE  
APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE  
UTILITY POLE  
AREA LIGHT  
SIGN  
BOLLARD  
CHAIN LINK FENCE  
DEPRESSED CURB  
EDGE OF CONCRETE  
EDGE OF PAVEMENT  
LANDSCAPED AREA  
METAL COVER  
TYPICAL  
DRAINAGE/STORM MANHOLE  
ELECTRIC MANHOLE  
SANITARY/SEWER MANHOLE  
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CATCH BASIN OR INLET  
TREE & TRUNK SIZE  
PARKING SPACE COUNT  
DEPRESSED CURB  
SOLID WHITE LINE  
DOUBLE YELLOW LINE  
HEIGHT  
BUILDING  
BUILDING FOOTPRINT AREA  
NO VISIBLE PIPE  
DRILL HOLE FOUND  
POLYVINYL CHLORIDE PIPE  
CAST IRON PIPE  
DUCTILE IRON PIPE  
INVERT ELEVATION  
GRATE ELEVATION  
MASONRY BLOCK WALL



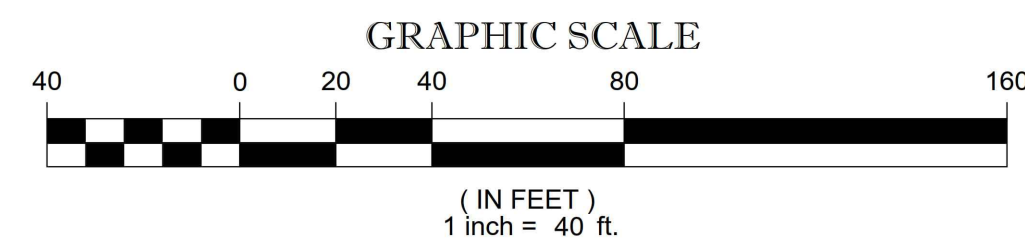
THAMES STREET  
(PUBLIC - 49.5' WIDE ROW)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

CHURCH STREET  
(PUBLIC)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

HOPE STREET  
(PUBLIC - PER REF #4)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

BYFIELD STREET  
(PUBLIC)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)

CONSTITUTION STREET  
(PUBLIC - VARIABLE WIDTH - PER REF #3)  
TWO WAY TRAFFIC  
(ASPHALT ROADWAY)



REFERENCES:

- THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND GALL JURISDICTIONS, PANEL 14 OF 18", MAP NUMBER 44001C0014H, MAP REVISED, JULY 7, 2014.
- MAP ENTITLED "BOUNDARY SURVEY PLAN AP 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
- MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL, RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
- MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALIGET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
- MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL, RHODE ISLAND", PREPARED BY FUSS & O'NEILL, DATED MAY 7, 2021
- UNDERGROUND GAS MAPPING OF 125 THAMES STREET, PROVIDED BY NATIONAL GRID.
- UNDERGROUND ELECTRIC MAPPING IN THE AREA PROVIDED BY NATIONAL GRID.
- MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
- MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS & O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
- RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.

NOTES:

- PROPERTY KNOWN AS LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74 & 76 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
- LOT 41 AREA = 12,854 SQUARE FEET OR 0.295 ACRES  
LOT 42 AREA = 78,586 SQUARE FEET OR 1.804 ACRES  
LOT 43 AREA = 8,896 SQUARE FEET OR 0.203 ACRES  
LOT 44 AREA = 7,939 SQUARE FEET OR 0.182 ACRES  
LOT 45 AREA = 4,410 SQUARE FEET OR 0.101 ACRES  
LOT 48 AREA = 3,583 SQUARE FEET OR 0.082 ACRES  
LOT 49 AREA = 13,800 SQUARE FEET OR 0.319 ACRES  
LOT 60 AREA = 51,624 SQUARE FEET OR 1.185 ACRES  
LOT 61 AREA = 6,978 SQUARE FEET OR 0.160 ACRES  
LOT 62 AREA = 2,311 SQUARE FEET OR 0.053 ACRES  
LOT 68 AREA = 4,613 SQUARE FEET OR 0.106 ACRES  
LOT 73 AREA = 2,727 SQUARE FEET OR 0.063 ACRES  
LOT 74 AREA = 5,098 SQUARE FEET OR 0.117 ACRES  
LOT 76 AREA = 7,177 SQUARE FEET OR 0.165 ACRES  
TOTAL AREA = 210,656 SQUARE FEET OR 4.835 ACRES
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBLUT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.

THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:

QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.

QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.

QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.

QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EQUIPMENT EXCAVATION OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.

- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL=12), & ZONE "X SHADED" (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), & ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL=14 & EL=15) PER REF #2.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.

TEMPORARY BENCH MARKS SET:

TBM-A: X-CUT ON BONNET BOLT OF FIRE HYDRANT ALONG EASTERLY LINE OF THAMES STREET AT ELEVATION = 9.38'

TBM-B: X-CUT ON BONNET BOLT OF FIRE HYDRANT ALONG NORTHERLY LINE OF CONSTITUTION STREET AT ELEVATION = 14.46'

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

1	UPDATED PER RECEIPT OF CLIENT COMMENTS	---	A.L.S.	C.E.L.	10-01-2021
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 45B-RICR-00-00-1.3 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION  
COMPREHENSIVE BOUNDARY SURVEY
- OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:  
DATA ACQUISITION SURVEY III  
(TOPOGRAPHIC SURVEY)  
VERTICAL CONTROL STANDARD V-3  
TOPOGRAPHIC SURVEY ACCURACY T-2
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:  
PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947  
CERTIFICATE OF AUTHORIZATION #A350

10-01-2021  
DATE  
SHEET 3 OF 27

FIELD DATE 8-18-2021	BOUNDARY & TOPOGRAPHIC SURVEY	
FIELD BOOK NO 21-10 MA	BRISTOL YARN MILL	
FIELD BOOK PGS 11-14	125 THAMES STREET LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10 TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND	
FIELD CREW B.S.B & J.D.O.	CONTROL POINT ASSOCIATES, INC.	
DRAWN: N.I.G.	352 TURNPIKE ROAD SOUTH BOKROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM	
REVIEWED: B.A.V.	APPROVED: C.E.L.	DATE 9-28-2021
SCALE 1" = 40'		FILE NO. 03-012089-00
DWG. NO. 1 OF 3		

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



- LEGEND
- 124 --- EXISTING CONTOUR
  - 125 --- EXISTING CONTOUR
  - X 123.45 EXISTING SPOT ELEVATION
  - X TC 123.45 EXISTING TOP OF CURB ELEVATION
  - X G 122.95 EXISTING GUTTER ELEVATION
  - X TW 122.85 EXISTING TOP OF WALL ELEVATION
  - X BW 122.85 EXISTING BOTTOM OF WALL ELEVATION
  - X TI 123.45 EXISTING TOP OF ISLAND ELEVATION
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  - X FF 123.45 EXISTING FINISHED FLOOR ELEVATION
  - X DS 123.45 EXISTING DOOR SILL ELEVATION
  - X LG 125.45 EXISTING LEGAL GRADE ELEVATION
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  - WATER VALVE
  - UNKNOWN VALVE
  - GAS VALVE
  - GAS METER
  - ELECTRIC METER
  - OVERHEAD WIRES
  - APPROX. LOC. UNDERGROUND GAS LINE
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  - APPROX. LOC. UNDERGROUND WATER LINE
  - APPROX. LOC. UNDERGROUND SANITARY/SEWER LINE
  - UTILITY POLE
  - AREA LIGHT
  - SIGN
  - BOLLARD
  - CLF CHAIN LINK FENCE
  - DC DEPRESSIONED CURB
  - EDC EDGE OF CONCRETE
  - ESP EDGE OF PAVEMENT
  - LSA LANDSCAPED AREA
  - MC METAL COVER
  - TPY TYPICAL
  - DMH DRAINAGE/STORM MANHOLE
  - EMH ELECTRIC MANHOLE
  - SMH SANITARY/SEWER MANHOLE
  - UMH UNKNOWN MANHOLE
  - WMH WATER MANHOLE
  - CB CATCH BASIN OR INLET
  - TREE & TRUNK SIZE
  - PARKING SPACE COUNT
  - DEPRESSIONED CURB
  - SWL SOLID WHITE LINE
  - DYL DOUBLE YELLOW LINE
  - HT HEIGHT
  - BLDG BUILDING
  - BFFPA BUILDING FOOTPRINT AREA
  - NVP NO VISIBLE PIPE
  - DHF DRILL HOLE FOUND
  - PVC POLYVINYL CHLORIDE PIPE
  - CI CAST IRON PIPE
  - DI DUCTILE IRON PIPE
  - INV INVERT ELEVATION
  - GRT GRATE ELEVATION
  - MEW MASONRY BLOCK WALL

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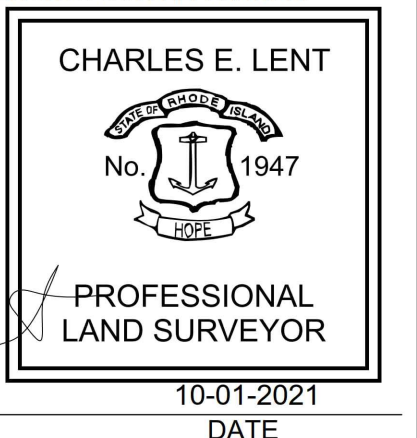
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No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
1	UPDATED PER RECEIPT OF CLIENT COMMENTS	--	A.L.S.	C.E.L.	10-01-2021

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-001.3 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

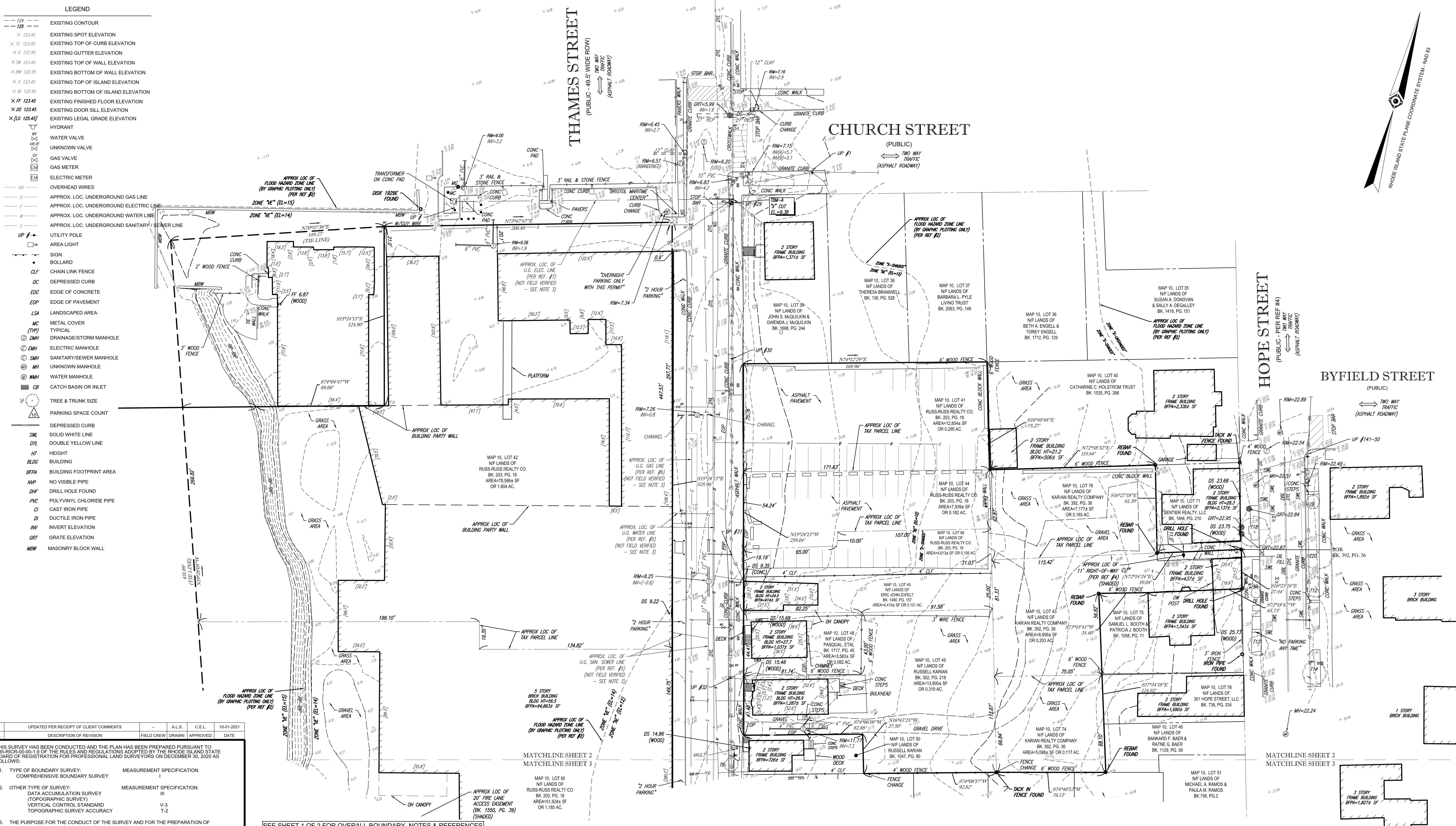
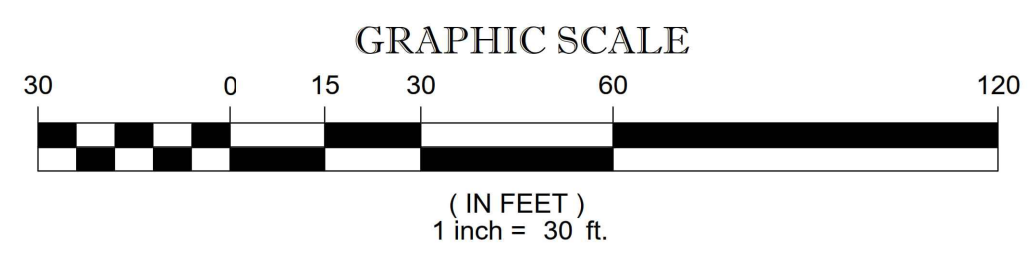
- TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION: COMPREHENSIVE BOUNDARY SURVEY
- OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION: DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY) VERTICAL CONTROL STANDARD: T-3 TOPOGRAPHIC SURVEY ACCURACY: T-2
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



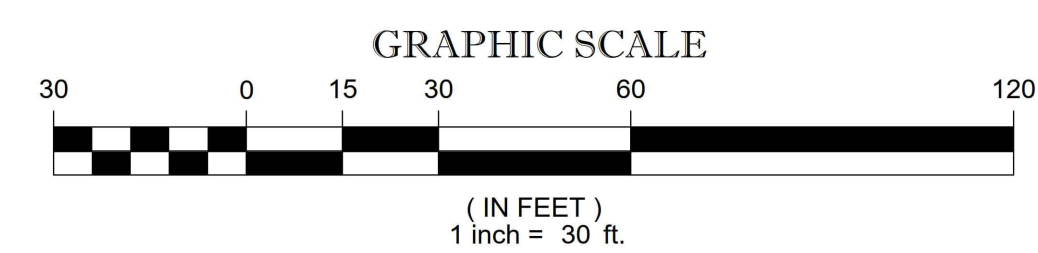
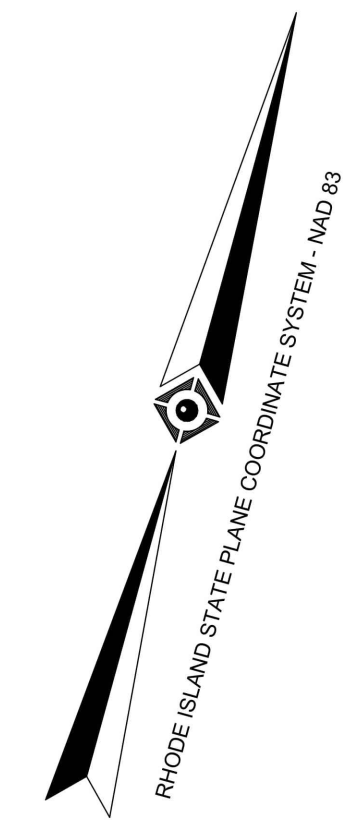
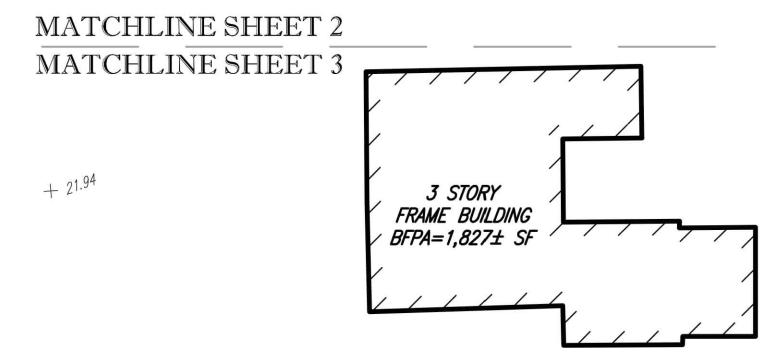
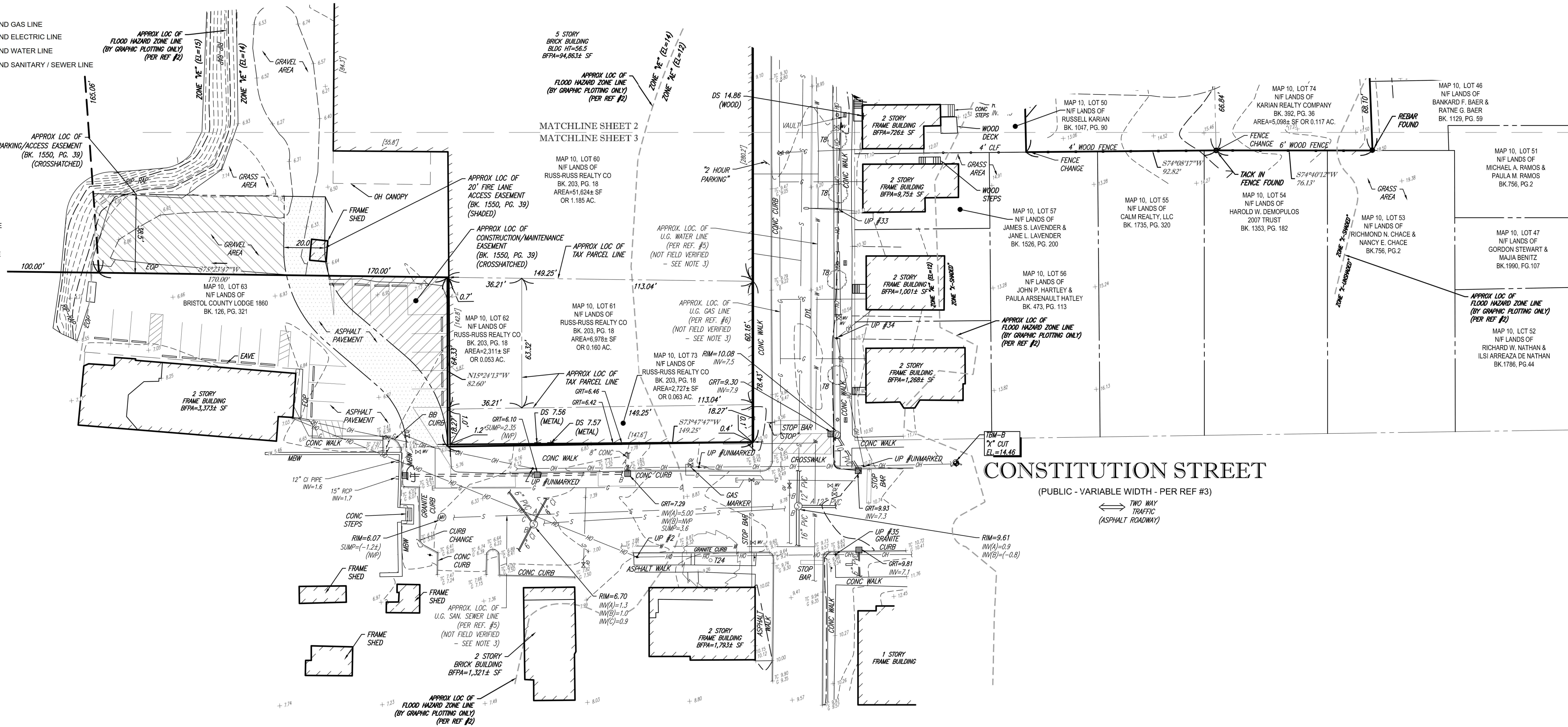
CHARLES E. LENT  
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947  
CERTIFICATE OF AUTHORIZATION #A350

FIELD DATE 8-18-2021	BOUNDARY & TOPOGRAPHIC SURVEY BRISTOL YARN MILL
FIELD BOOK NO. 21-10 MA	125 THAMES STREET LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10
FIELD BOOK PG. 11-14	TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND
FIELD CREW B.S.B. & J.D.O.	CONTROL POINT ASSOCIATES, INC.
DRAWN: N.I.G.	ALBANY, NY 518-217-0010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-580-2645 MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARRICK, NJ 908-668-0099
REVIEWED: B.A.V.	APPROVED: C.E.L.
DATE 9-28-2021	SCALE 1" = 30'
FILE NO. 03-210289-00	DWS. NO. 2 OF 3





- LEGEND
- 124 --- EXISTING CONTOUR  
--- 125 --- EXISTING CONTOUR  
X 123.45 EXISTING SPOT ELEVATION  
X TC 123.45 EXISTING TOP OF CURB ELEVATION  
X G 122.95 EXISTING GUTTER ELEVATION  
X TW 123.45 EXISTING TOP OF WALL ELEVATION  
X BW 122.85 EXISTING BOTTOM OF WALL ELEVATION  
X TI 123.45 EXISTING TOP OF ISLAND ELEVATION  
X BI 122.95 EXISTING BOTTOM OF ISLAND ELEVATION  
X FF 123.45 EXISTING FINISHED FLOOR ELEVATION  
X DS 123.45 EXISTING DOOR SILL ELEVATION  
X LG 125.45 EXISTING LEGAL GRADE ELEVATION  
HYDRANT  
WATER VALVE  
UNKNOWN VALVE  
GAS VALVE  
GAS METER  
ELECTRIC METER  
OVERHEAD WIRES  
APPROX. LOC. UNDERGROUND GAS LINE  
APPROX. LOC. UNDERGROUND ELECTRIC LINE  
APPROX. LOC. UNDERGROUND WATER LINE  
APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE  
UTILITY POLE  
AREA LIGHT  
SIGN  
BOLLARD  
CHAIN LINK FENCE  
DEPRESSED CURB  
EDGE OF CONCRETE  
EDGE OF PAVEMENT  
LANDSCAPED AREA  
METAL COVER  
TYPICAL  
DRAINAGE/STORM MANHOLE  
ELECTRIC MANHOLE  
SANITARY/SEWER MANHOLE  
UNKNOWN MANHOLE  
WATER MANHOLE  
CATCH BASIN OR INLET  
TREE & TRUNK SIZE  
PARKING SPACE COUNT  
DEPRESSED CURB  
SOLID WHITE LINE  
DOUBLE YELLOW LINE  
HEIGHT  
BUILDING  
BUILDING FOOTPRINT AREA  
NO VISIBLE PIPE  
DRILL HOLE FOUND  
POLYVINYL CHLORIDE PIPE  
CAST IRON PIPE  
DUCTILE IRON PIPE  
INVERT ELEVATION  
GRATE ELEVATION  
MASONRY BLOCK WALL



FIELD DATE 8-18-2021	<b>BOUNDARY &amp; TOPOGRAPHIC SURVEY</b> <b>BRISTOL YARN MILL</b> 125 THAMES STREET LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10 TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND				
FIELD BOOK NO. 21-10 MA					
FIELD BOOK PG. 11-14					
FIELD CREW B.S.B. & J.D.O.					
DRAWN: N.I.G.	<b>CONTROL POINT ASSOCIATES, INC.</b> ALBANY, NY 518-217-5010 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WWW.CPASURVEY.COM	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUTPAULGE, NY 615-880-2645 MANHATTAN, NY 646-780-0411 MT LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099			
REVIEWED: B.A.V.	APPROVED: C.E.L.	DATE 9-28-2021	SCALE 1" = 30'	FILE NO. 03-210289-00	DWG. NO. 3 OF 3

1	UPDATED PER RECEIPT OF CLIENT COMMENTS	---	A.L.S.	C.E.L.	10-01-2021
No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 455-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION  
COMPREHENSIVE BOUNDARY SURVEY
- OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:  
DATA ACCUMULATION SURVEY III  
(TOPOGRAPHIC SURVEY)  
VERTICAL CONTROL STANDARD V-3  
TOPOGRAPHIC SURVEY ACCURACY T-2
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:  
PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

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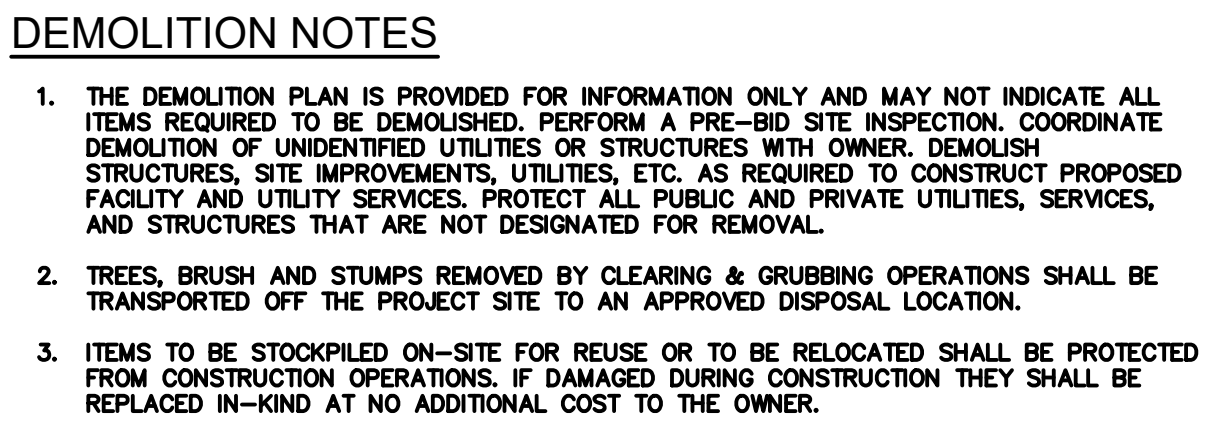
**CHARLES E. LENT**  
No. 1947  
PROFESSIONAL LAND SURVEYOR  
10-01-2021  
DATE  
SHEET 5 OF 27

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



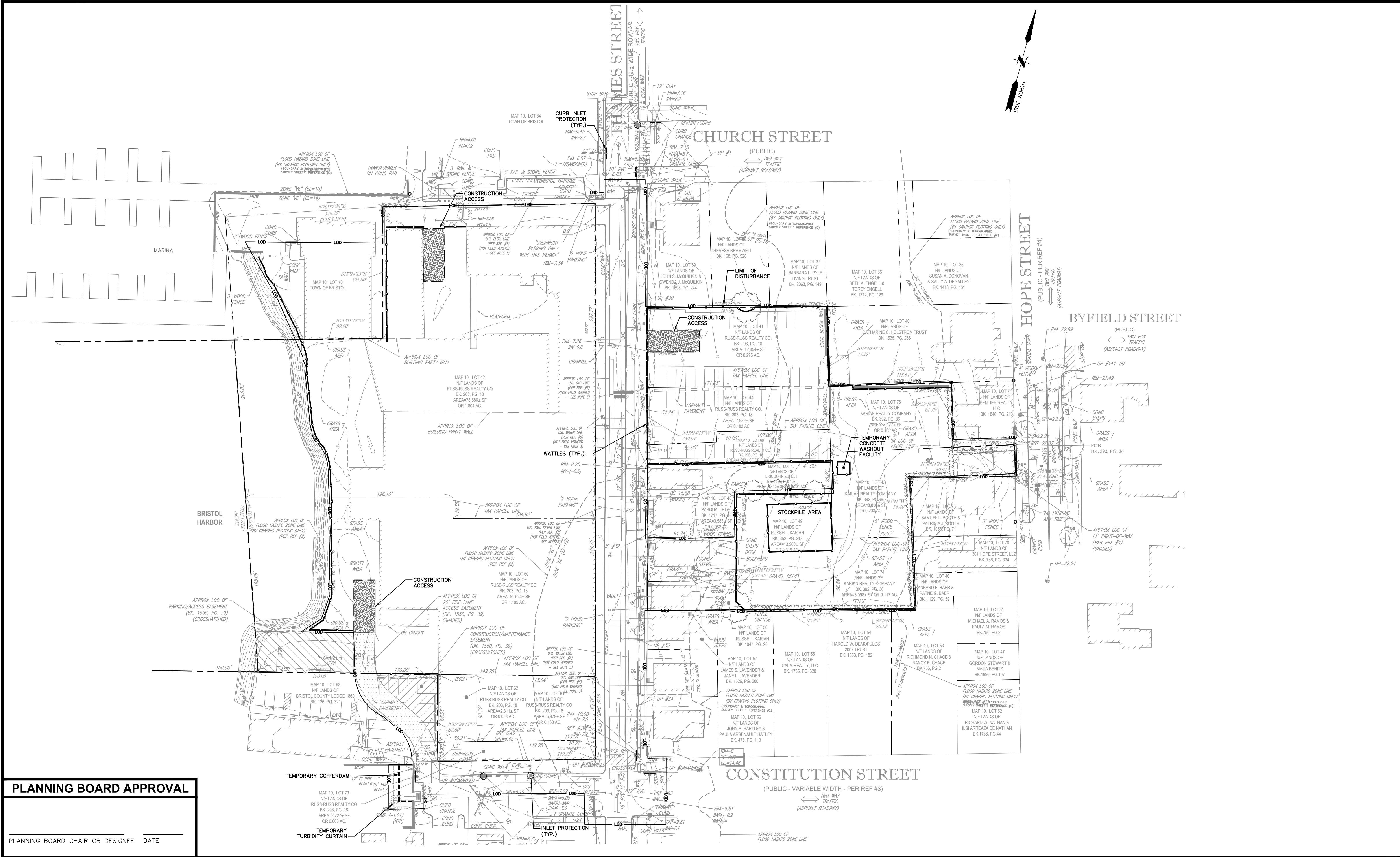


PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

**CP-101**

SHEET 6 OF 28





PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE      DATE

11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
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7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
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5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL

SEAL

SHAWN M. MARTIN

No. 1487

REGISTERED PROFESSIONAL ENGINEER (CIVIL)

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

f

FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204  
PROVIDENCE, RI 02908  
401.861.3070  
www.fando.com

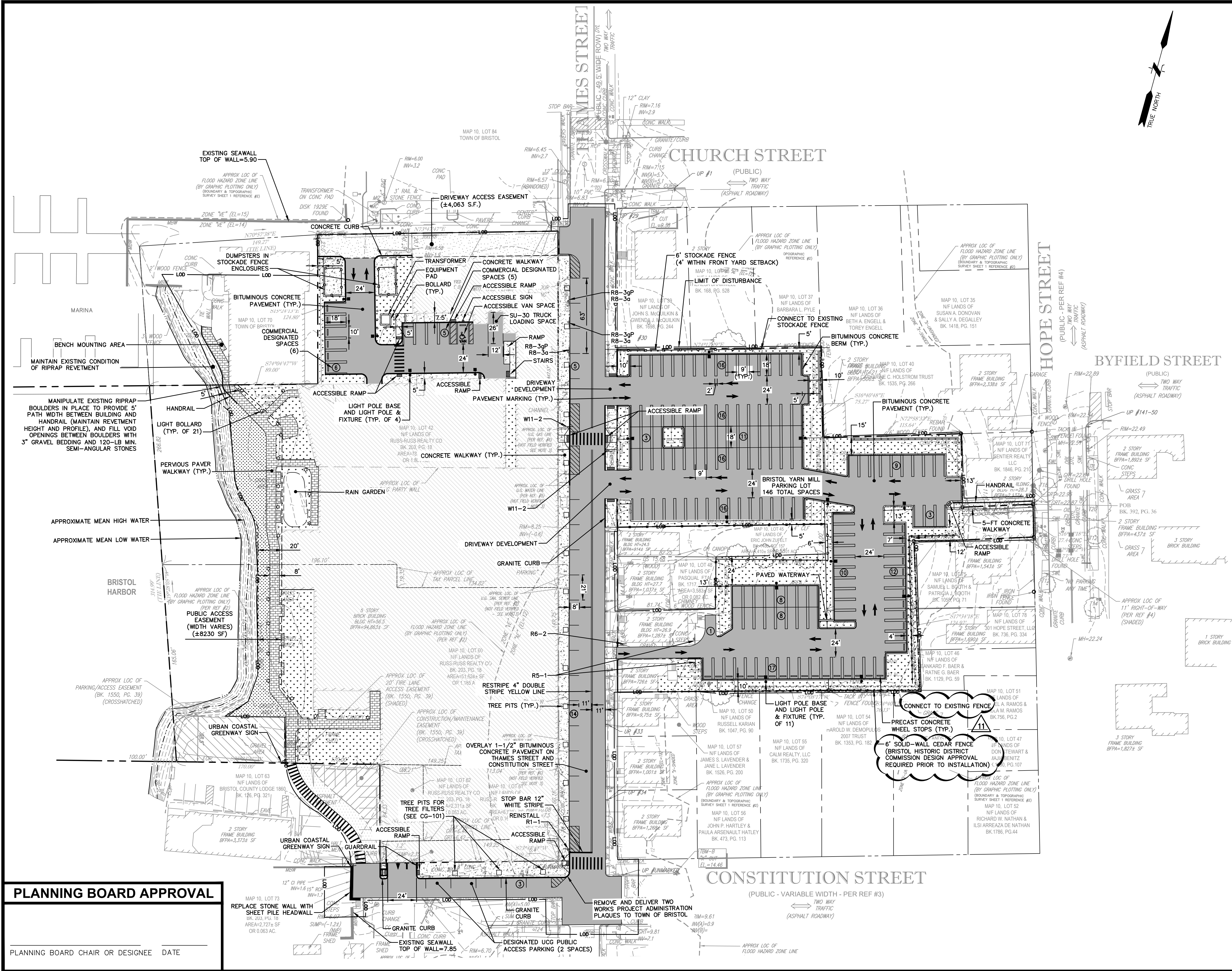
BRADY SULLIVAN PROPERTIES, LLC  
SOIL EROSION AND SEDIMENTATION  
CONTROL PLAN  
BRISTOL YARN MILL  
125 THAMES STREET  
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

CE-101

SHEET 7 OF 28





ZONING DIMENSION TABLE				
CRITERIA	REQUIRED PER ZONING DISTRICT			PROPOSED
	W	D	WPUD	(BUILDING SITE - LOTS 42,60,61,62,73)
MINIMUM LOT AREA		5,000 SF		142,226± SF (3.265 AC)
MINIMUM LOT AREA PER DWELLING UNIT	4,000 SF	2,500 SF	N/A	N/A
MINIMUM FRONTAGE		50'		149.25' CONSTITUTION STREET (MIN.)
MINIMUM LOT WIDTH		50'		149.25' CONSTITUTION STREET (MIN.)
FRONT SETBACK		0'		-0.90'
SIDE SETBACK		0'		0.0'
REAR SETBACK		10'		30±' (TO APPROX. MEAN HIGH WATER)
MAX. BUILDING HEIGHT		35' (3 STORIES)		55' MAX.-4 STORIES (EXISTING)
MAX. LOT COVERAGE BY STRUCTURES		70%		83,153 S.F./142,226 S.F. = 58.5% (PROP.) 87,296 S.F./142,226 S.F. = 61.4% (EXIST.)
MAX. TOTAL COVERAGE	85%	95%	N/A	97,606 S.F./142,226 S.F. = 68.6%
MAX. FLOOR AREA RATIO	1.5	1.4	N/A	227,286 S.F./142,226 S.F. = 1.6±
IMPERVIOUS COVER		PARKING LOT SITE		51,237 S.F./66,327 S.F. = 77.2%

- NOTES:
1. MILL BUILDING PROPERTIES COMBINED AREA IS APPROXIMATELY 142,226 SQUARE FEET.
  2. TOTAL LAND AREA INCLUDED IN REDEVELOPMENT IS APPROXIMATELY 227,286 SQUARE FEET.
  3. ALL PROJECT PARCELS ARE LOCATED WITHIN TOWN OF BRISTOL HISTORIC DISTRICT.

PARKING SUMMARY				
	USE	REQUIRED	PROPOSED	
RESIDENTIAL PARKING SPACES (ON-SITE)		127	125	
RESIDENTIAL PARKING SPACES (OFF-SITE)		0	143	
COMMERCIAL PARKING SPACES (ON-SITE)		11	11	
317 HOPE STREET (LOT 71) - ZONE D	RES/COMM	0	0	
325 HOPE STREET (LOT 43) - ZONE D	COMM	0	0	
60 THAMES STREET (LOT 50) - ZONE W	SF RES	1	1	
70 THAMES STREET (LOT 49) - ZONE W	MF RES	2	2	
TOTAL PARKING SPACES:		141	282	
RESIDENTIAL PARKING REQUIREMENT:				
1 SPACE/D.U. (127 RESIDENTIAL W AND REHAB LDP ZONES)				
COMMERCIAL PARKING REQUIREMENT:				
1 SPACE/600 S.F. GFA (0 SPACES REQ'D FOR RESIDENTIAL, OFFICE, SERVICE, RETAIL, OR INSTITUTIONS WITHIN D ZONE) (6,479 S.F. / 600 S.F. = 11 SPACES)				
LOADING SPACE REQUIREMENT:				
1 SPACE/3,000-19,999 S.F. OF GFA (6,479 S.F. = 1 SPACE)				
NOTES:				
1. PARKING AND LOADING REQUIREMENTS SHALL COMPLY WITH ARTICLE VII SEC. 28-251.				
2. ON-STREET PARKING IS NOT INCLUDED IN THE CALCULATIONS.				
3. THERE ARE 30 TOTAL COMPACT VEHICLE PARKING SPACES, 9 DESIGNATED MOTORCYCLE SPACES AND 24 BICYCLE SPACES WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET. COMPACT PARKING SPACES ACCOUNTS FOR 10.6% OF TOTAL PARKING COUNT. MOTORCYCLE AND BICYCLE PARKING IS NOT INCLUDED IN THE CALCULATIONS.				
4. 5 ADA SPACES AND 2 ADA VAN SPACES ARE PROVIDED FOR RESIDENTIAL UNITS WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET.				

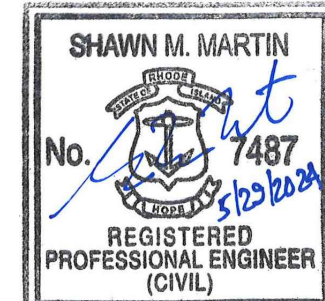
NOTE:  
MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.

## PLANNING BOARD APPROVAL

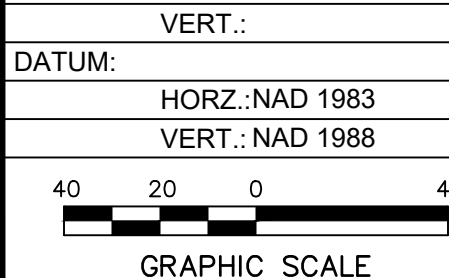
PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



SCALE:



**FUSS & O'NEILL**  
317 IRON HORSE WAY, SUITE 204  
PROVIDENCE, RI 02908  
401.861.3070  
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SITE PLAN

BRISTOL YARN MILL

125 THAMES STREET

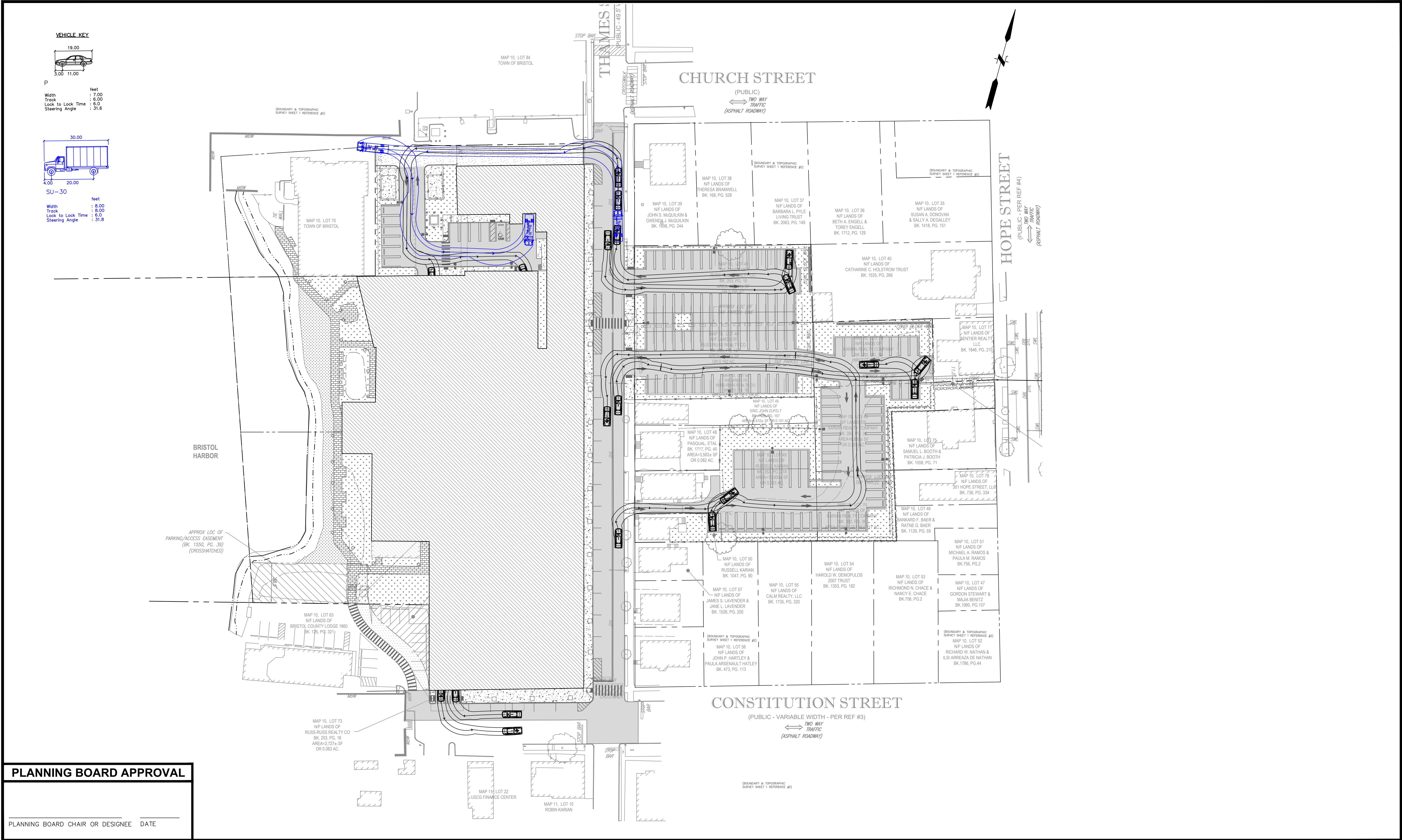
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

CS-101

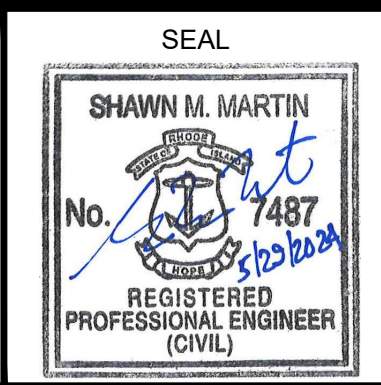
SHEET 8 OF 28





No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
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10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
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3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



SEAL

SCALE:  
HORIZ.: 1"= 40'  
VERT.:  
DATING:  
HORIZ.: NAD 1983  
VERT.: NAD 1988  
GRAPHIC SCALE

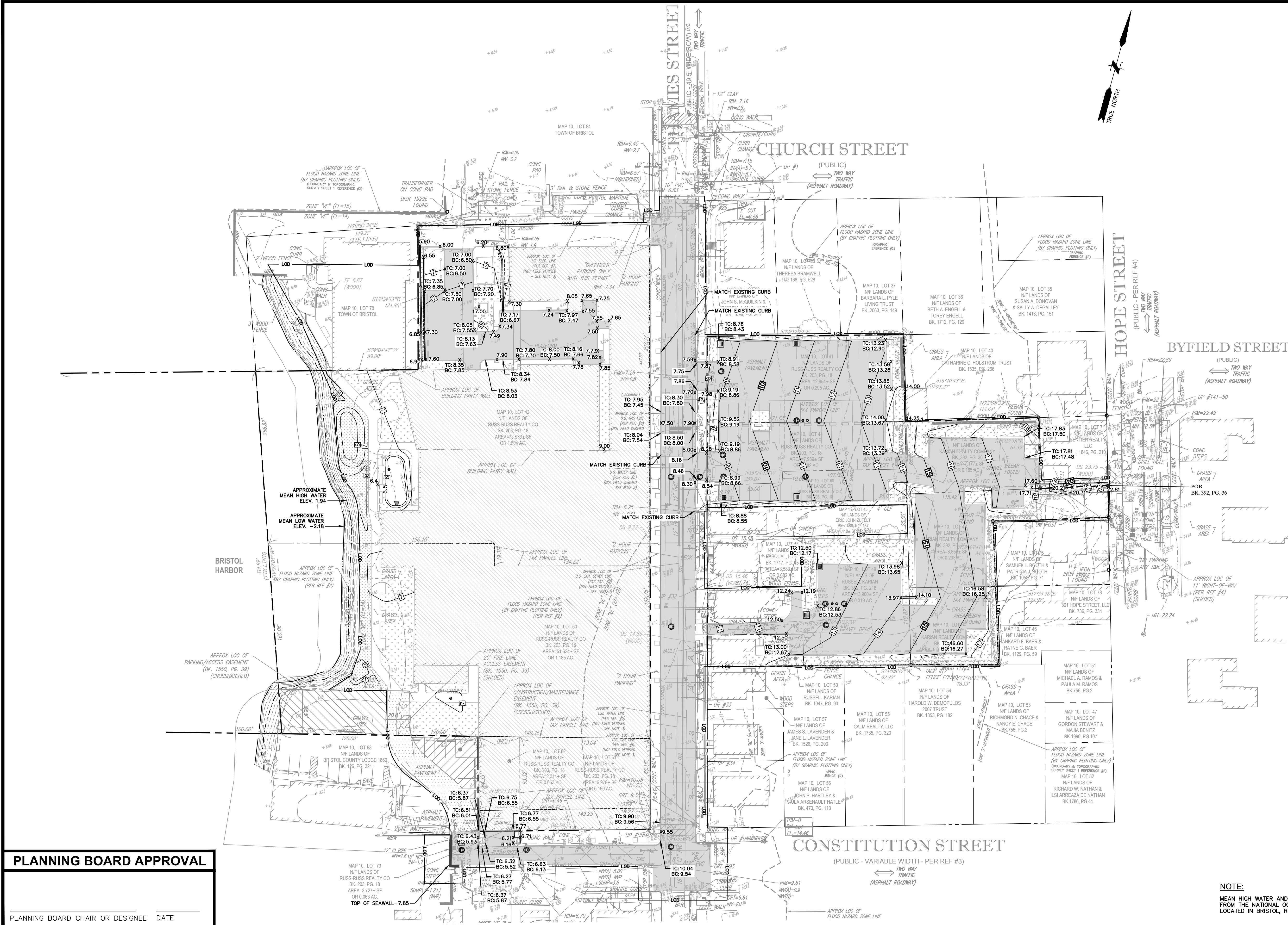
**f** **FUSS & O'NEILL**  
317 IRON HORSE WAY, SUITE 204  
PROVIDENCE, RI 02908  
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BRADY SULLIVAN PROPERTIES, LLC  
SITE CIRCULATION PLAN  
BRISTOL YARN MILL  
125 THAMES STREET  
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022  
**CS-102**  
SHEET 9 OF 28



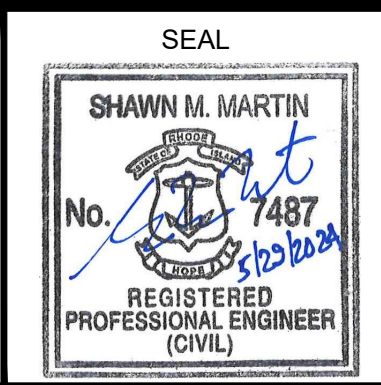
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NOTE:  
MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
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3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



SEAL

SCALE:  
HORIZ.: 1"= 40'  
VERT.:  
DATUM:  
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VERT.: NAD 1988  
GRAPHIC SCALE

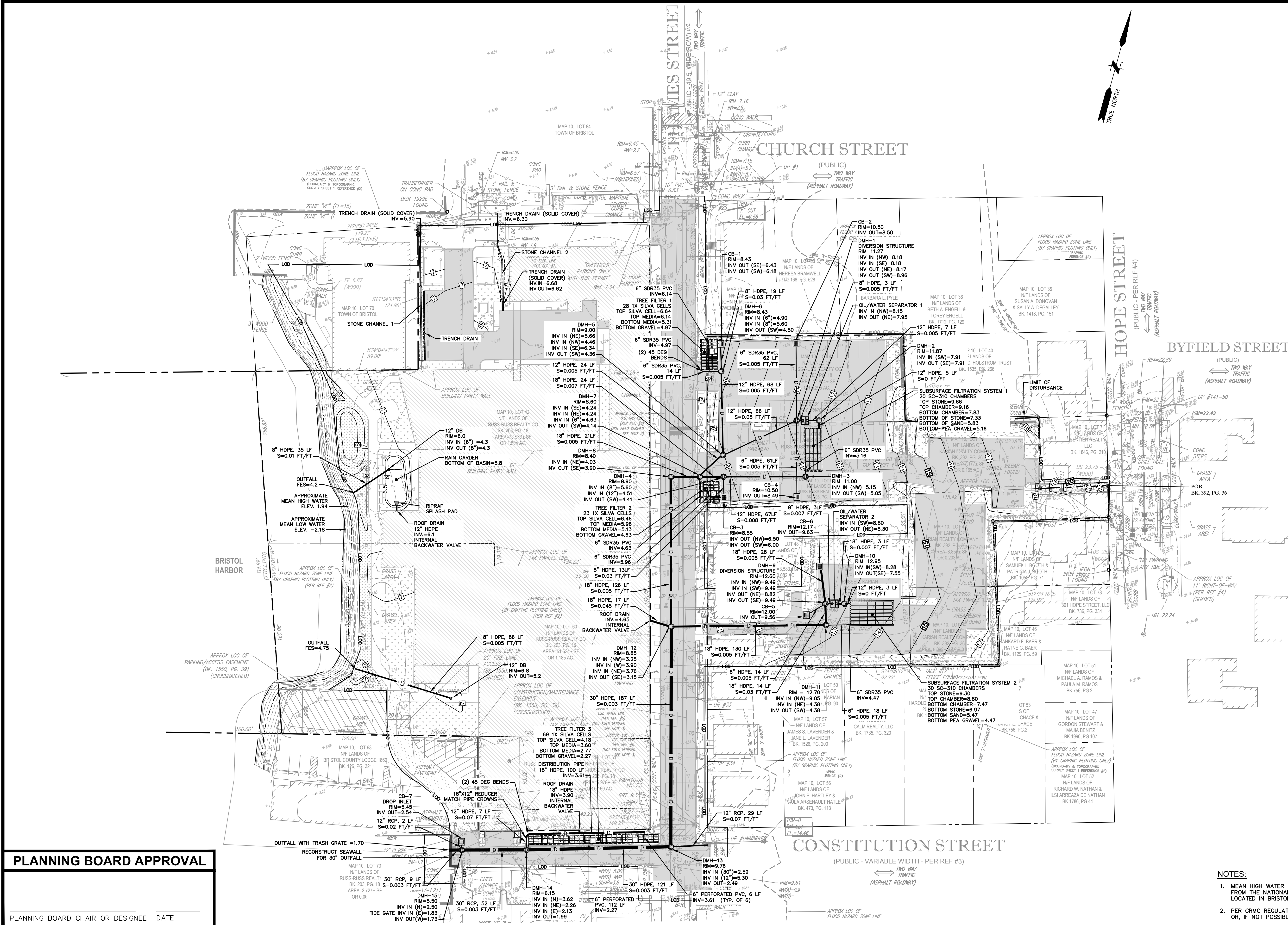


BRADY SULLIVAN PROPERTIES, LLC  
GRADING PLAN  
BRISTOL YARN MILL  
125 THAMES STREET  
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022  
CG-101  
SHEET 10 OF 28



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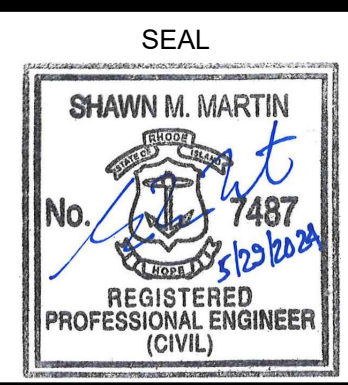
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

- NOTES:
- MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.
  - PER CRMC REGULATIONS, OUTFALL WORK SHALL PROCEED FROM THE SHORELINE TOWARD THE UPLAND OR, IF NOT POSSIBLE, FLOWS SHALL BE DIVERTED AREAS UNTIL STABILIZATION IS COMPLETED.

11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



SEAL

SCALE:

HORIZ.: 1"= 40'

VERT.:

DATUM:

HORIZ.: NAD 1983

VERT.: NAD 1988

GRAPHIC SCALE

FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204  
PROVIDENCE, RI 02908  
401.861.3070  
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

DRAINAGE PLAN

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

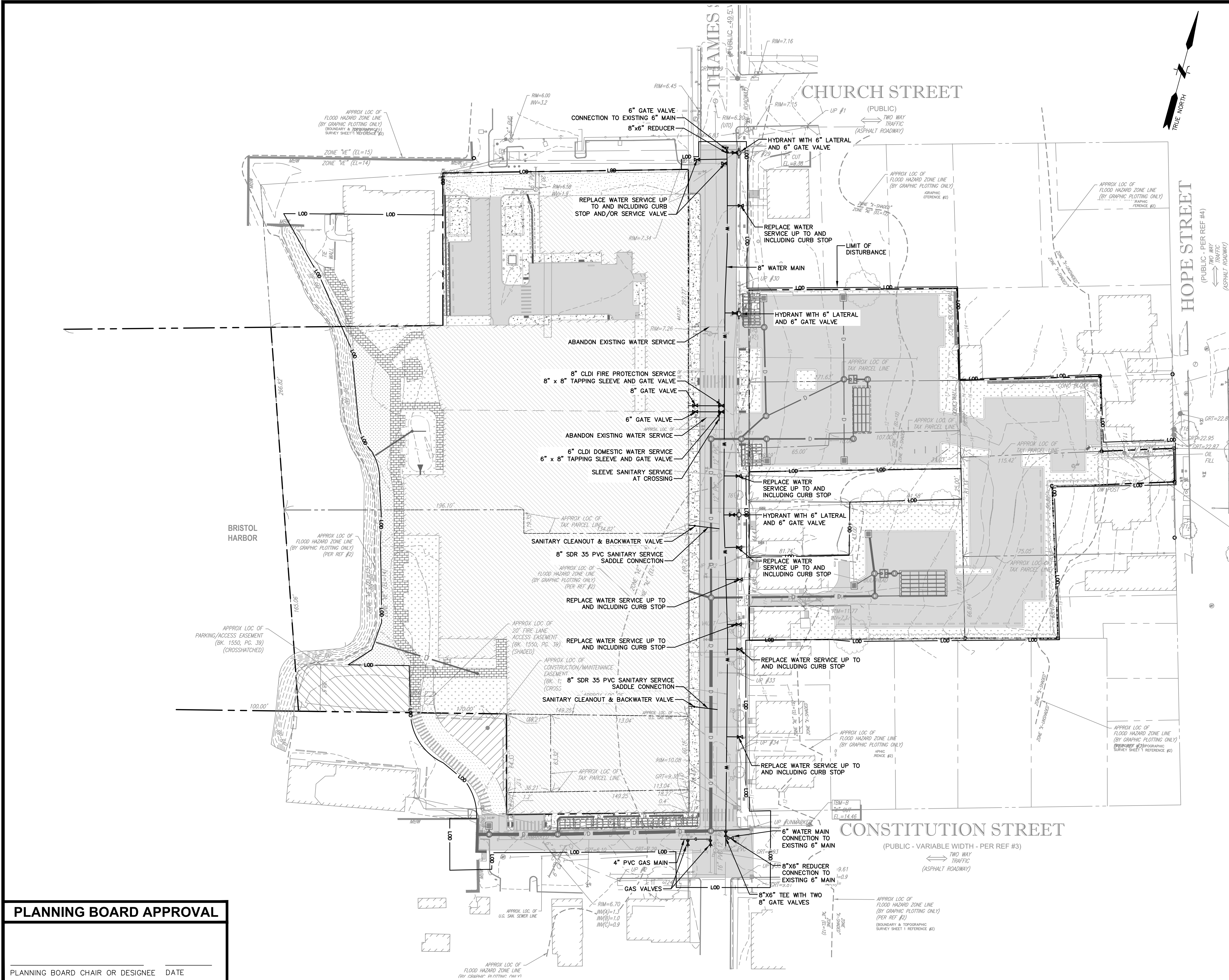
PROJ. No.: 20061150.A22

DATE: DECEMBER 6, 2022

CG-102

SHEET 11 OF 28





- NOTES:**
1. EXISTING BCWA WATER DISTRIBUTION SYSTEM MUST BE PROPERLY RESTRAINED AT THE LIMITS OF WORK DURING CONSTRUCTION.
  2. WATER MAIN SHALL BE ZINC COATED, CLASS 52, V-BIO POLYETHYLENE-WRAPPED DUCTILE IRON PIPE.
  3. EXISTING SERVICES GREATER THAN 1" SHALL BE REPLACED WITH THE SAME SIZE NEW SERVICE, INCLUDING THE TEE AND/OR CORPORATION STOP, THE SERVICE PIPE, AND THE SHUTOFF VALVE AND/OR CURB STOP. ALL EXISTING ¾" AND 1" SERVICES WITHIN THE PROJECT SHALL BE REPLACED WITH 1" TYPE K COPPER SERVICE TUBING, AND 1" CURB STOPS AND BOXES.
  4. EXISTING HYDRANTS WITHIN PROJECT AREA SHALL BE REPLACED WITH NEW HYDRANTS.

PLANNING BOARD APPROVAL	
PLANNING BOARD CHAIR OR DESIGNEE	DATE

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3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL	SEAL

SCALE:	HORIZ.: 1"= 40'
	VERT.:
DATUM:	HORIZ.: NAD 1983
	VERT.: NAD 1988
GRAPHIC SCALE	

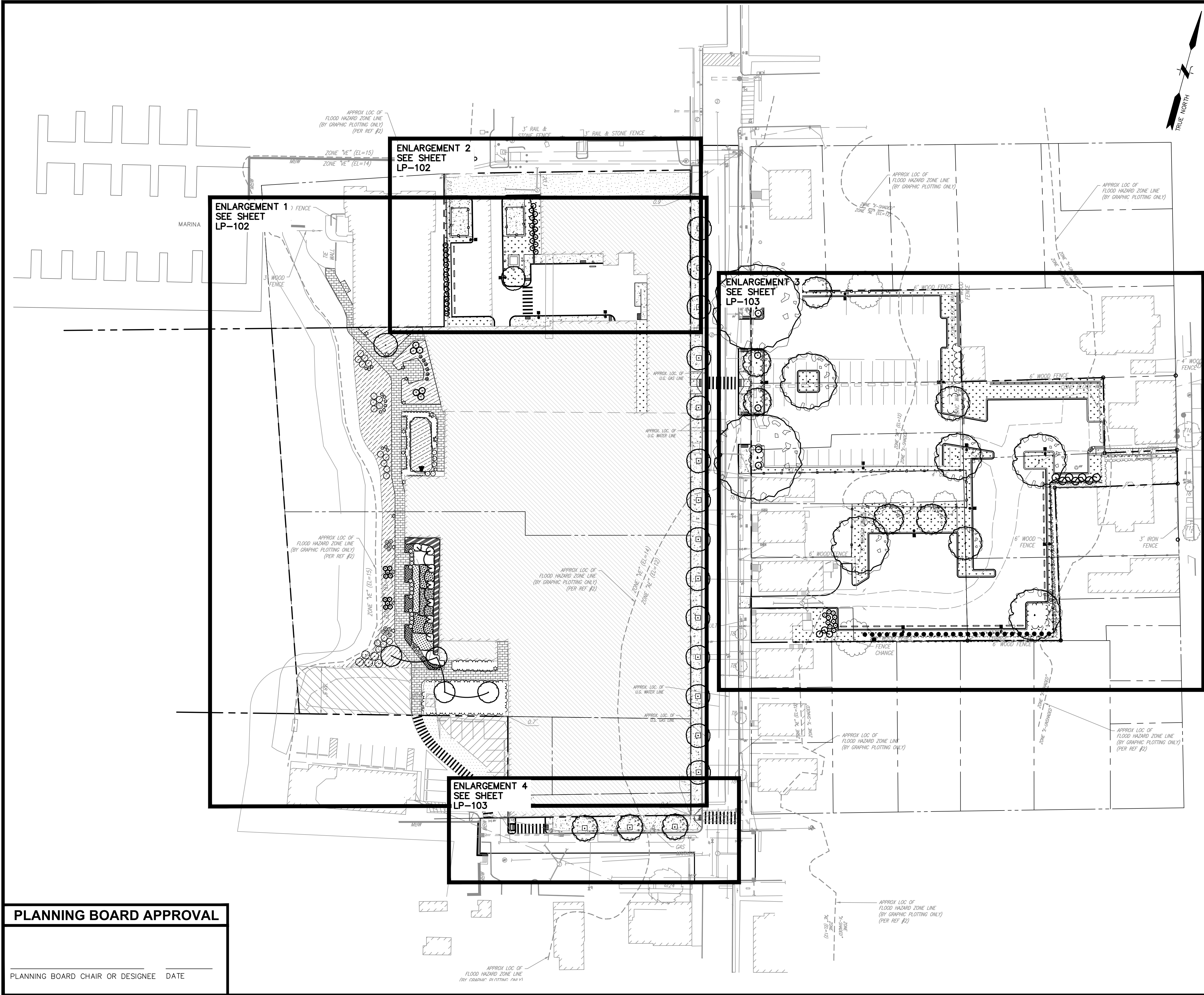
	<b>FUSS &amp; O'NEILL</b>
317 IRON HORSE WAY, SUITE 204 PROVIDENCE, RI 02908 401.861.3070 www.fando.com	

BRADY SULLIVAN PROPERTIES, LLC	
WATER AND SEWER PLAN	
BRISTOL YARN MILL	
125 THAMES STREET	BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022
<b>CU-101</b>
SHEET 12 OF 28



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MS VIEW: LAYER STATE: Plotter: NONE CTB File: FO.STB



PLANTING NOTES

1. CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
2. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS. TREES SHALL BE TAGGED AND SUBMITTED TO L.A. THROUGH PHOTO SUBMISSION OR FIELD VISIT FOR SELECTION APPROVAL. TREES SHALL BE FIELD DUG.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL AT HIS OWN EXPENSE.
8. ALL SHRUB AND GROUNDCOVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOD AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD. WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
10. A SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.
11. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
12. ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
13. ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
15. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
16. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
17. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

LEGEND

LAWN SEED MIX

NATURAL COASTAL BUFFER RESTORATION SEED MIX

WETLAND MEADOW SEED MIX

MULCH

BUILDING

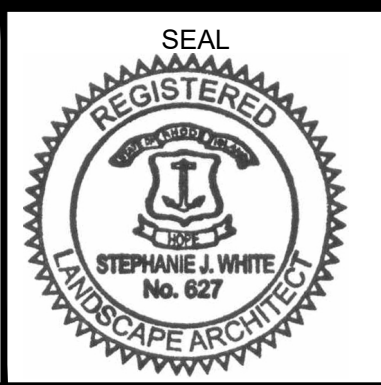
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE

DATE

11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



SEAL

SCALE:

HORZ.: 1"= 40'

VERT.:

DATUM:

HORZ.:NAD 1983

VERT.: NAD 1988

4020040

GRAPHIC SCALE

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PROVIDENCE, RI 02908  
401.861.3070  
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

PLANTING PLAN

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22

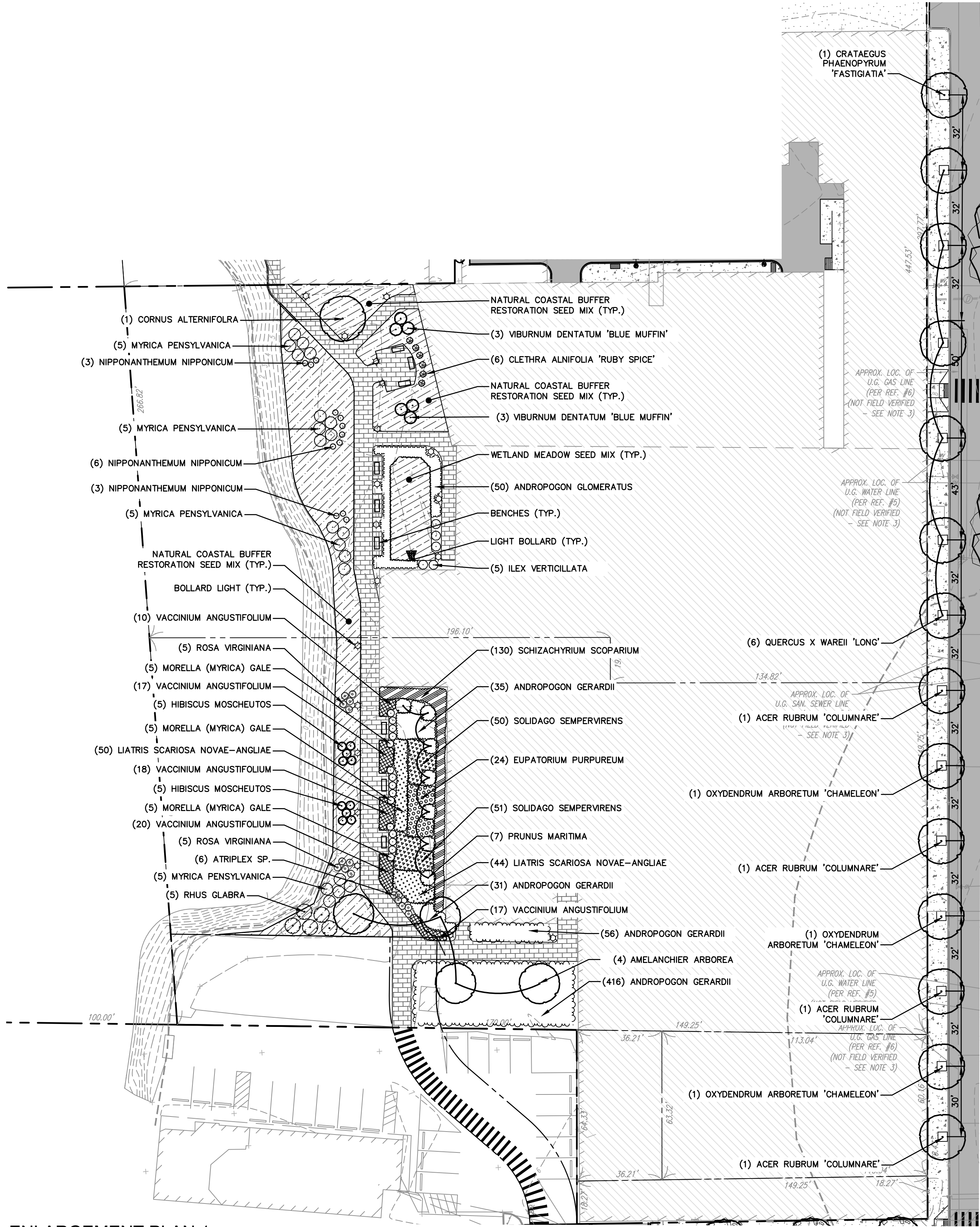
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LP-101

SHEET 13 OF 28



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MS VIEW: Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB



ENLARGEMENT PLAN 1  
SCALE: 1" = 30'

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
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6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

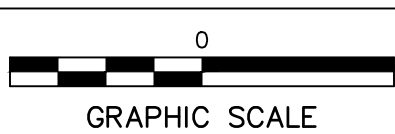


SCALE:

HORIZ.: AS NOTED  
VERT.:

DATUM:

HORIZ.: NAD 1983  
VERT.: NAD 1988



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BRADY SULLIVAN PROPERTIES, LLC

ENLARGEMENT PLANTING PLAN

BRISTOL YARN MILL

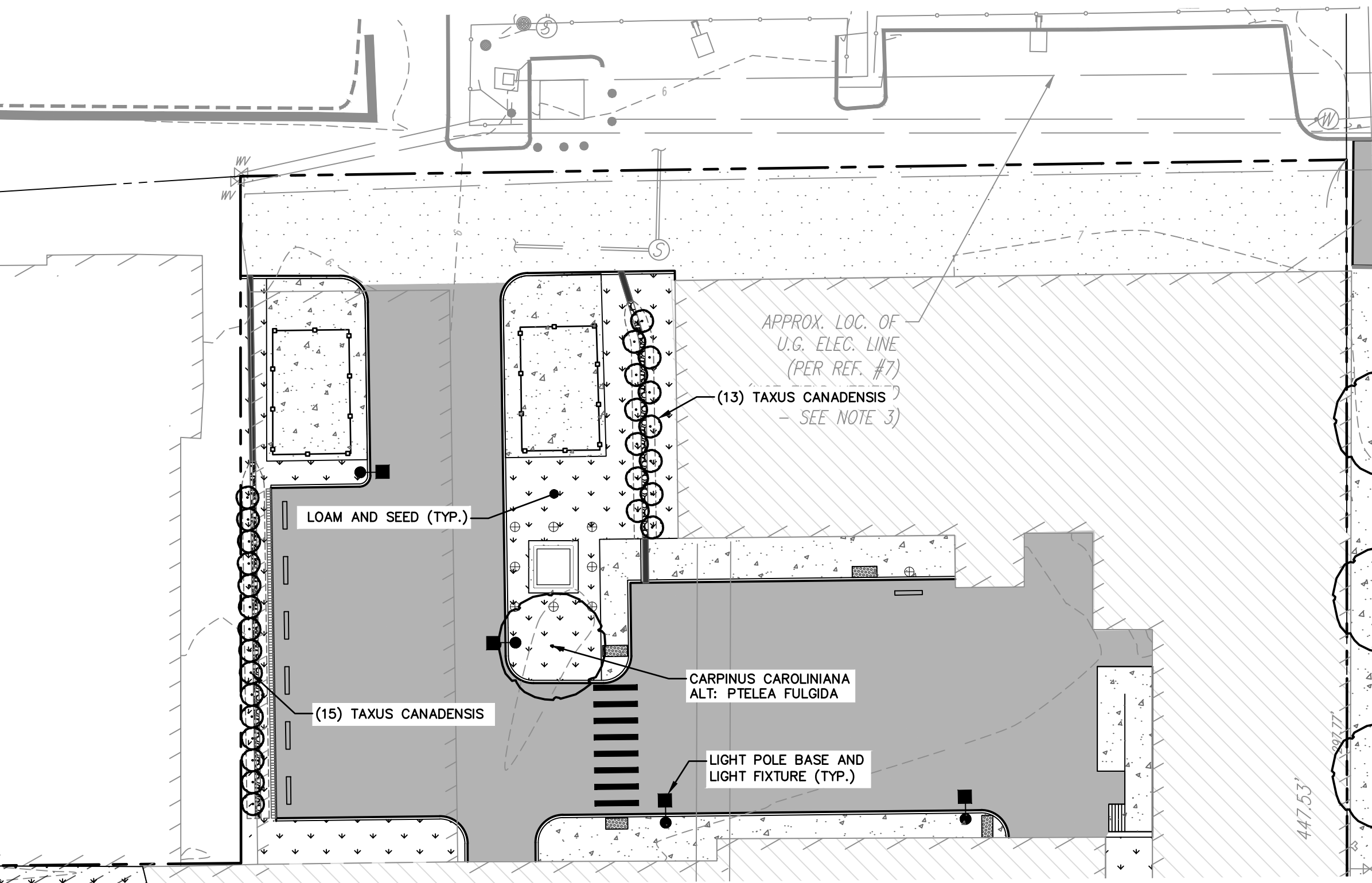
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

LP-102

SHEET 14 OF 28



ENLARGEMENT PLAN 2  
SCALE: 1" = 20'

PLANT LIST

BOTANICAL NAME

COMMON NAME

QTY.

SIZE

ENLARGEMENT 2

TREES

CARPINUS CAROLINIANA AMERICAN HORNBEAM 1 3.5" CALIPER

SHRUBS

TAXUS CANADENSIS AMERICAN YEW 28 1 GAL.

ENLARGEMENT 1

TREE

ACER RUBRUM 'COLUMNARE'	COLUMNARE RED MAPLE	4	1.5-2" CALIPER
CORNUS ALTERNIFLORA	PAGODA DOGWOOD	1	3.5" CALIPER
CRATAEGUS PHAENOPYRUM 'FASTIGIATA'	FASTIGIATA WASHINGTON HAWTHORN	1	1.5-2" CALIPER
OXYDENDRUM ARBORETUM 'CHAMELEON'	CHAMELEON SOURWOOD	3	1.5-2" CALIPER
QUERCUS X WAREII 'LONG'	FASTIGIATE OAK	6	1.5-2" CALIPER

SHRUBS

AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	4	6-8' B&B
ATRIPLEX SP.	SALT BUSH	6	2 GAL.
CLETHRA ALNIFOLIA 'RUBY SPICE'	SWEET PEPPERBUSH	6	3 GAL.
ILEX VERTICILLATA	WINTERBERRY	5	3 GAL.
MORELLA (MYRICA) GALE	SWEET GALE	15	3 GAL.
MYRICA PENSYLVANICA	BAYBERRY	20	MIXED
NIPPONANTHEMUM NIPPONICUM	NIPPON DAISY	12	2 GAL.
PRUNUS MARITIMA	BEACH PLUM	7	3 GAL.
RHUS GLABRA	SMOOTH SUMAC	5	3 GAL.
ROSA VIRGINIANA	VIRGINIA ROSE	10	2 GAL.
VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	82	2 GAL.
VIBURNUM DENTATUM 'BLUE MUFFIN'	ARROWWOOD VIBURNUM	6	3'-4" B&B

PERENNIALS/GRASSES

ANDROPOGON GERARDII	BIG BLUESTEM	538	2 GAL.
ANDROPOGON GLOMERATUS	BUSH BLUESTEM	50	2 GAL.
EUPATORIUM PURPUREUM	JOE PYE WEED	24	2 GAL.
HIBISCUS MOSCHEUTOS VAR.	SWAMP ROSA MALLOW	10	3 GAL.
LIATRIS SCARIOS A NOVAE-ANGLIAE	NEW ENGLAND BLAZING STAR	94	2 GAL.
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	130	2 GAL.
SOLIDAGO SEMPERVIRENS	SEASIDE GOLDENROD	51	2 GAL.

NOTES:

- ALL PLANTS TO BE LAID OUT IN FIELD AND PLACEMENT TO BE APPROVED PRIOR TO FINAL INSTALLATION BY L.A. AND OWNER.
- INFILL ALL THE AREAS BETWEEN THE PLANTS ON THE WEST SIDE OF THE PUBLIC ACCESS WALKWAY WITH NATURAL BUFFER RESTORATION SEED MIX OR APPROVED EQUAL.
- SEEDING RATE: 35 POUNDS PER ACRE
- MOW ONCE ANNUALLY AFTER OCTOBER 1 OR PRIOR TO APRIL 15
- SEED MIX INCLUDES: COMMON EASTERN WILD-RYE (ELYMUS VIRGINICUS), CREEPING RED FESCUE (FESTUCA RUBRA), BIG BLUE-STEM (ANDROPOGON GERARDII), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), INDIAN GRASS (SORGHASTRUM NUTANS), SWITCH GRASS (PANICUM VIRGATUM), SAND DROPS (SPOROBOLUS CRYPTANDRUS), SMOOTH CORDGRASS (SPARTINA ALTERNIFLORA)






PLANNING BOARD CHAIR OR DESIGNEE	DATE
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3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS		KLM	SMM
No.	DATE	DESCRIPTION		DESIGNER	REVIEWER



SCALE:	
HORIZ.:	1" = 20'
VERT.:	
DATUM:	
HORIZ.:	NAD 1983
VERT.:	NAD 1988
	
GRAPHIC SCALE	



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125 THAMES STREET

BRISTOL, RHODE ISLAND

LP-103

SHEET 15 OF 28



BOTANICAL NAME

<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>QTY.</u>	<u>SIZE</u>
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### ENLARGEMENT 3

TREES

CARPINUS CAROLINIANA SPP. VIRGINIANA	AMERICAN HORNBEEAM	2	3.5"	CALIPER
CELTIS OCCIDENTALIS	COMMON HACKBERRY	1	3.5"	CALIPER
CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	3	3.5"	CALIPER
GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE	2	3.5"	CALIPER
NYSSA SYLVATICA	BLACK GUM	2	3.5"	CALIPER
PLATANUS OCCIDENTALIS	COMMON SYCAMORE	2	3.5"	CALIPER
QUERCUS COCCINEA	SCARLET OAK	1	3.5"	CALIPER
THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	27	4'-5"	
ULMUS AMERICAN 'NEW HARMONY'	NEW HARMONY AMERICAN ELM	1	3.5"	CALIPER

SHRUBS

ASCLEPIAS SYRIACA	COMMON MILKWEED	12	2 GAL.
CEANOTHUS AMERICANUS	NEW JERSEY TEA	7	2 GAL.
VIBURNUM DENTATUM VAR. LUCIDUM	SMOOTH ARROWWOOD VIBURNUM	3	3'-4' B&B
VERBENA HASTATA	BLUE VERVAIN	5	3 GAL.
VIBURNUM NUDUM VAR. CASSINOIDES	WITHE ROD VIBURNUM	4	3'-4' B&B

PERENNIALS/GRASSES

GERANIUM MACULATUM	SPOTTED CRANE'S BILL	1100	22 FLATS
HIBISCUS MOSCHEUTOS	SWAMP ROSE MALLOW	3	2 GAL.
SPIREA TOMENTOSA	STEEPLEBUSH	5	2 GAL.

### ENLARGEMENT 4

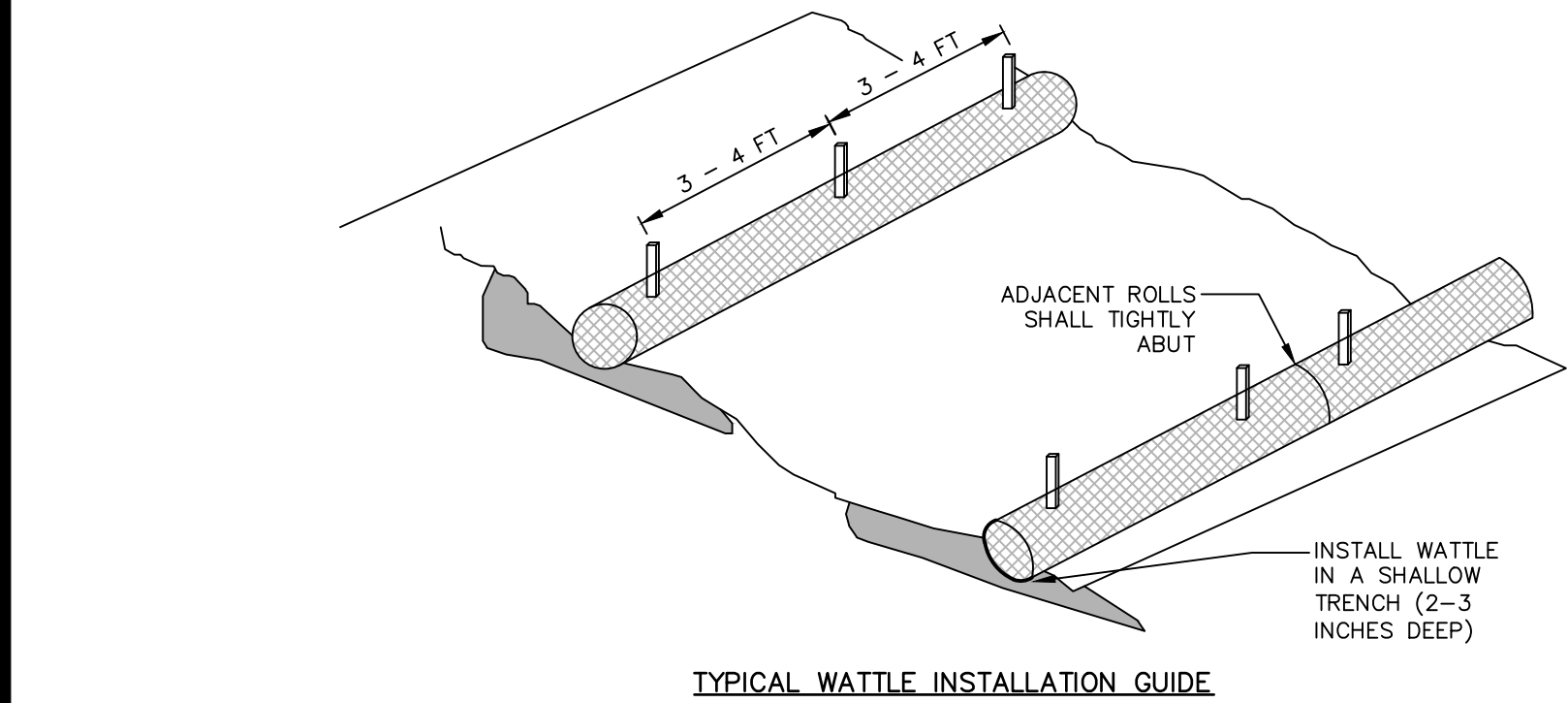
TREES

ZELKOVA SERRATA	JAPANESE ZELKOVA	3	3.5" CALIPER
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NOTE:  
ALL PLANTS TO BE LAID OUT IN FIELD AND PLACEMENT TO BE APPROVED PRIOR TO FINAL  
INSTALLATION BY L.A. AND OWNER.



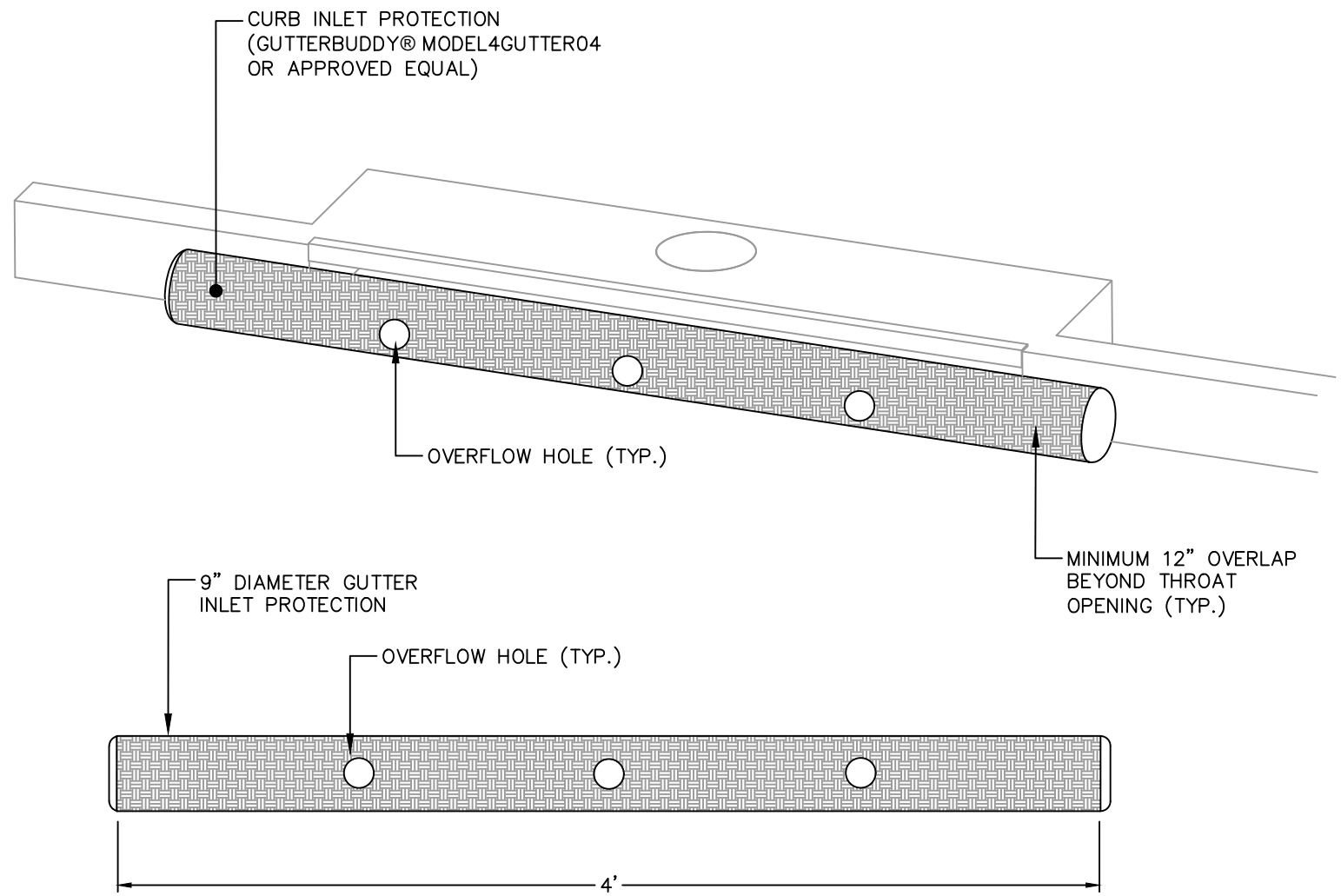
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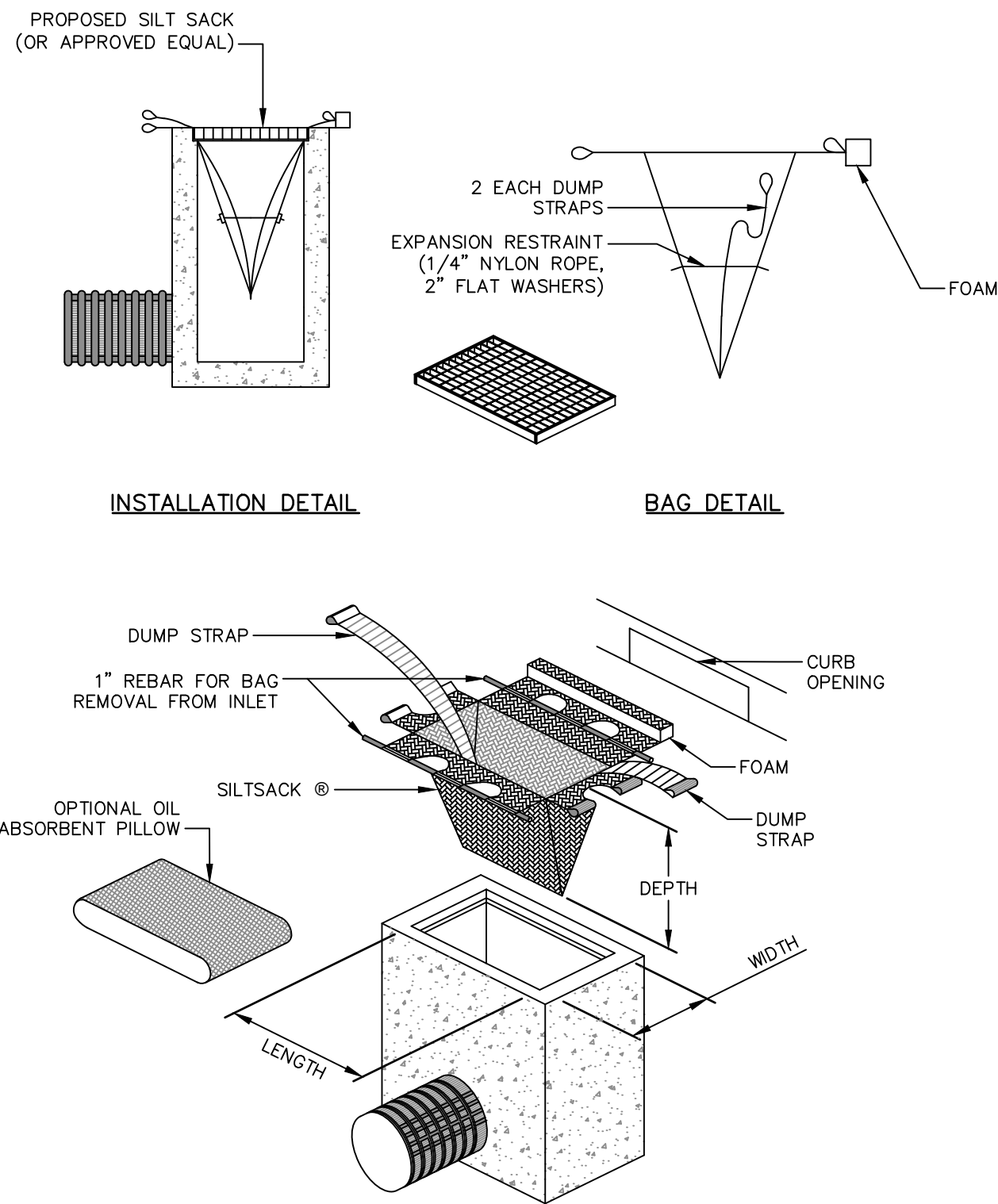
NOTES:

1. WATTLES SHALL BE TRENCHED APPROXIMATE 2-3 INCHES AND STAKED SUCH THAT WATTLES DIRECTLY CONTACT SOIL AND PRECLUDE UNDERMINING OR BLOWOUTS. THE TRENCH SHALL BE APPROXIMATELY 9 INCHES WIDE. STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE WATTLE AT A SPACING OF 3-4 FEET ON CENTER AND NO GREATER THAN 6" FROM THE EACH END OF THE WATTLE. STAKES SHALL BE 1-INCH BY 1-INCH WOODEN STAKES WITH A LENGTH OF 18 INCHES. COMPACT SOIL EXCAVATED TO CREATE TRENCH ON UPHILL SIDE.
2. ENDS OF ADJACENT WATTLES SHALL BE TIGHTLY BUTTED OR OVERLAPPED SO THAT NO OPENING EXISTS FOR WATER TO PASS THROUGH. WATTLES SHALL BE FREE OF DAMAGE OR DEFECTS WHEN DELIVERED TO THE SHIPPER. NO VEHICLES SHALL BE DRIVEN OVER WATTLES.
3. WATTLES SHALL BE 12-INCH SEDIMAX-FR™ FILTRATION ROLL MANUFACTURED BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

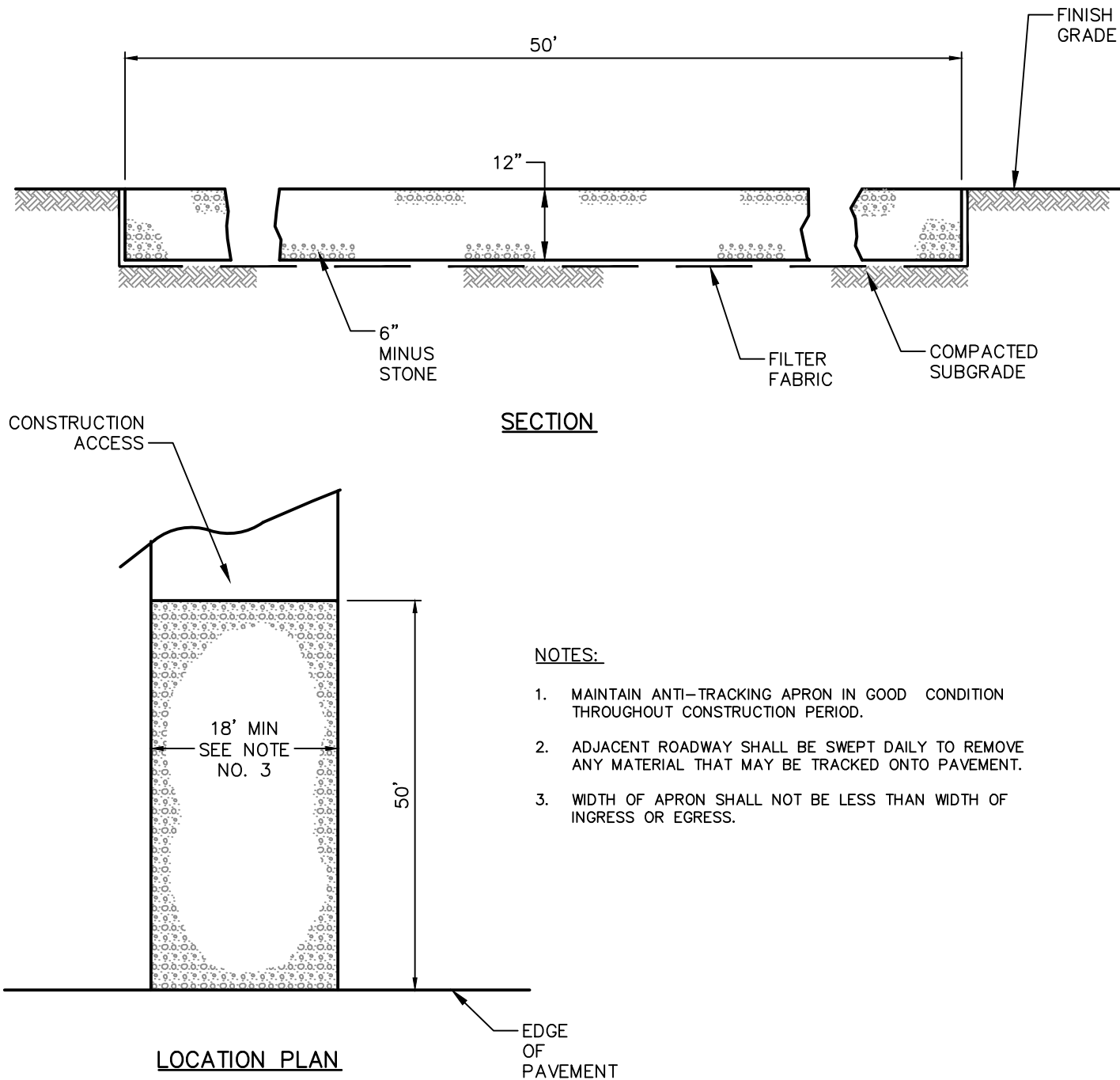
WATTLES  
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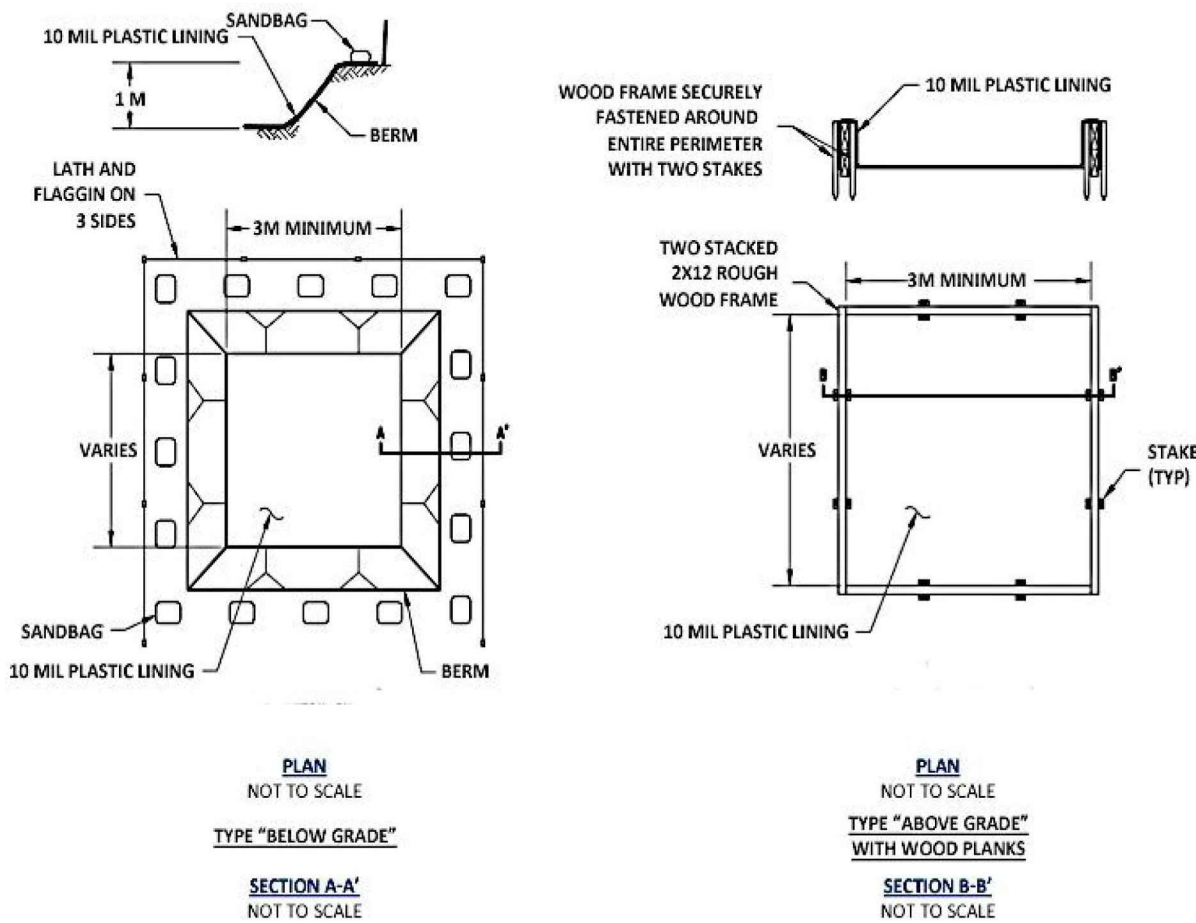
CURB INLET PROTECTION  
NOT TO SCALE



CATCH BASIN INLET PROTECTION  
NOT TO SCALE



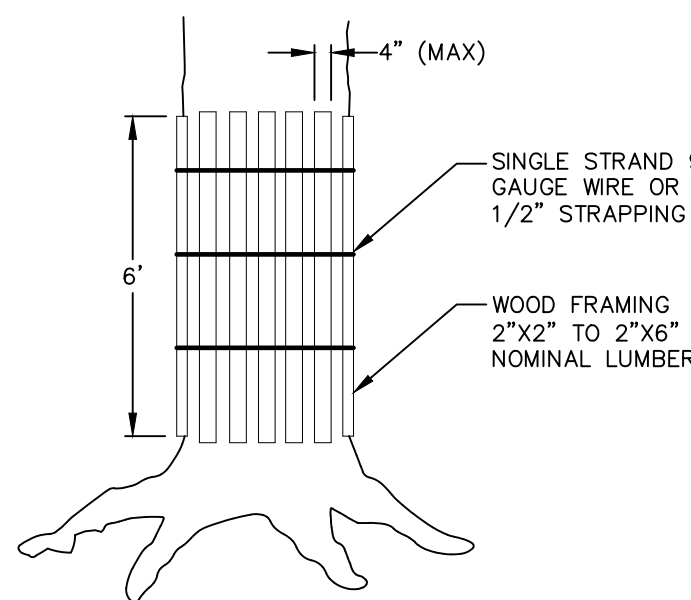
CONSTRUCTION ACCESS  
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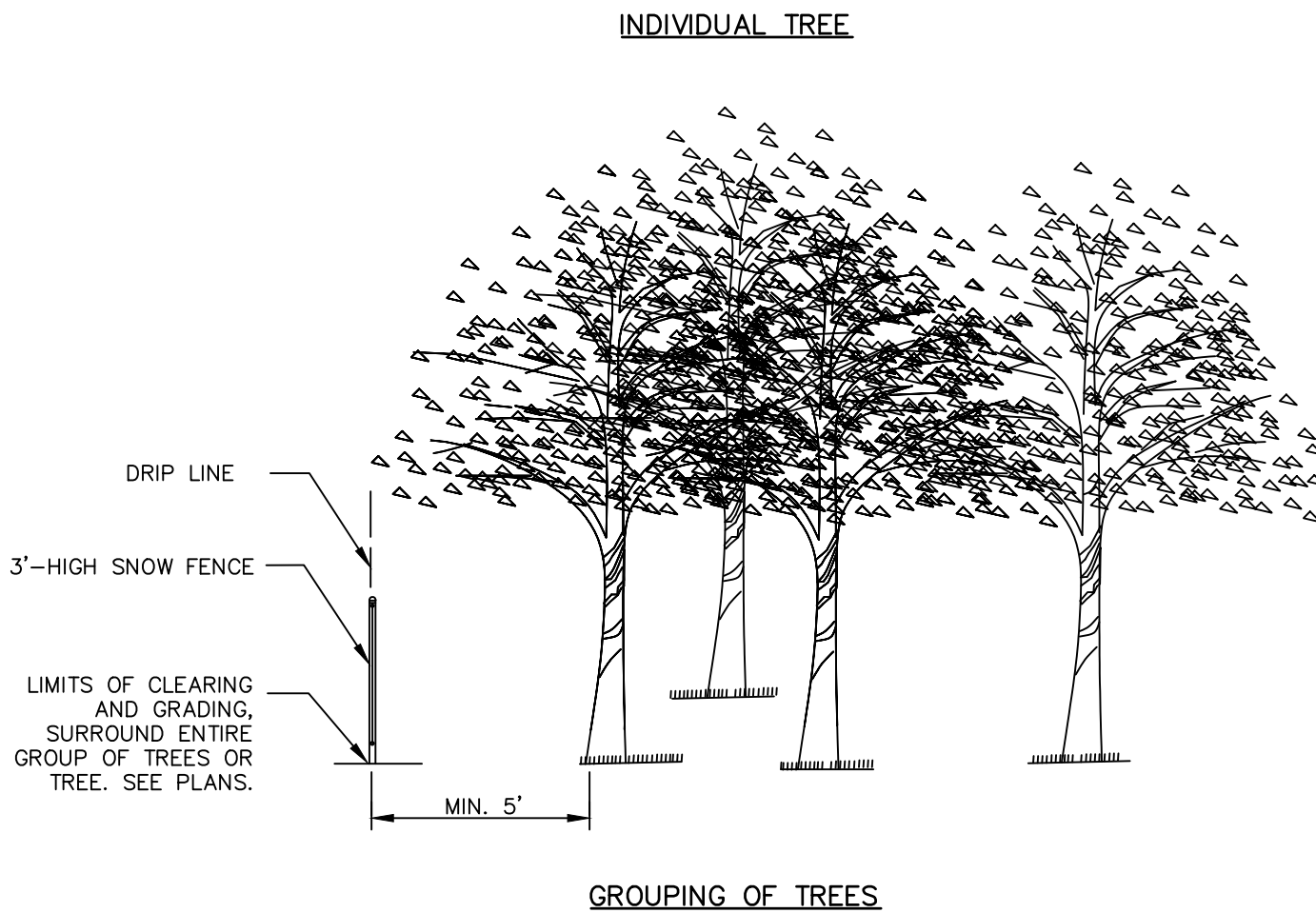
- NOTES:
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
  2. FOR REFERENCE PURPOSES ONLY. NOT FOR CONSTRUCTION PURPOSES.

REFERENCE:  
RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, ISSUED 1989 (REVISED 2014)

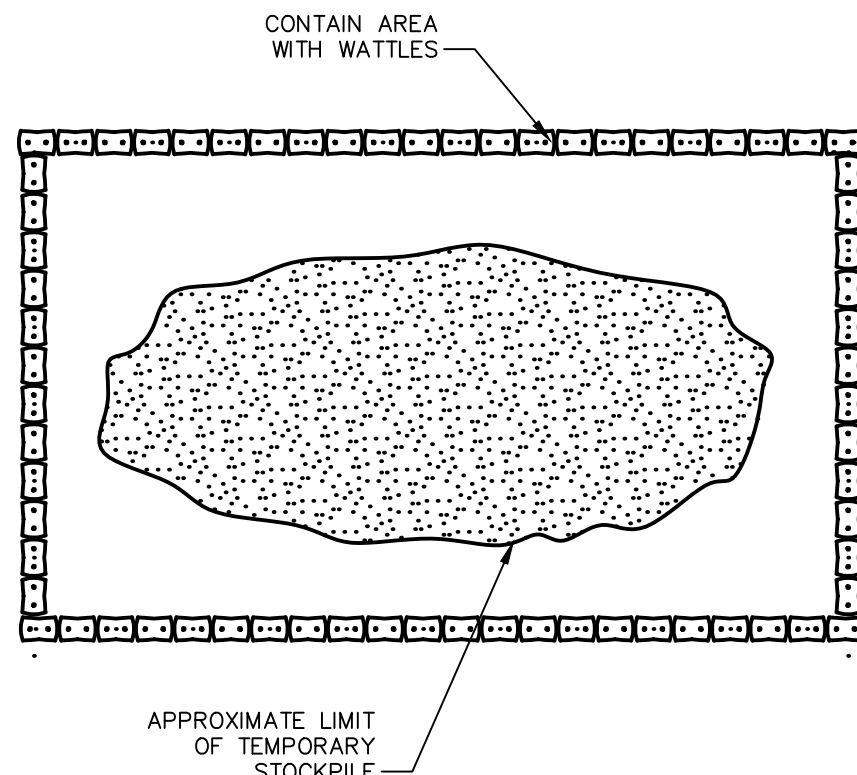
TEMPORARY CONCRETE WASHOUT FACILITY  
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NOTE:  
SHALL BE IN ACCORDANCE WITH SECTION L11 OF THE STANDARD SPECIFICATIONS.



TREE PROTECTION  
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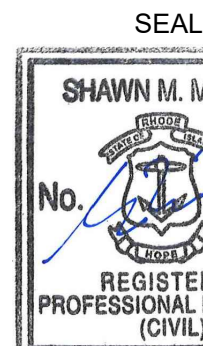
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PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
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SEAL



SCALE:

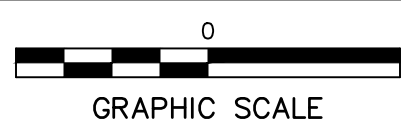
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

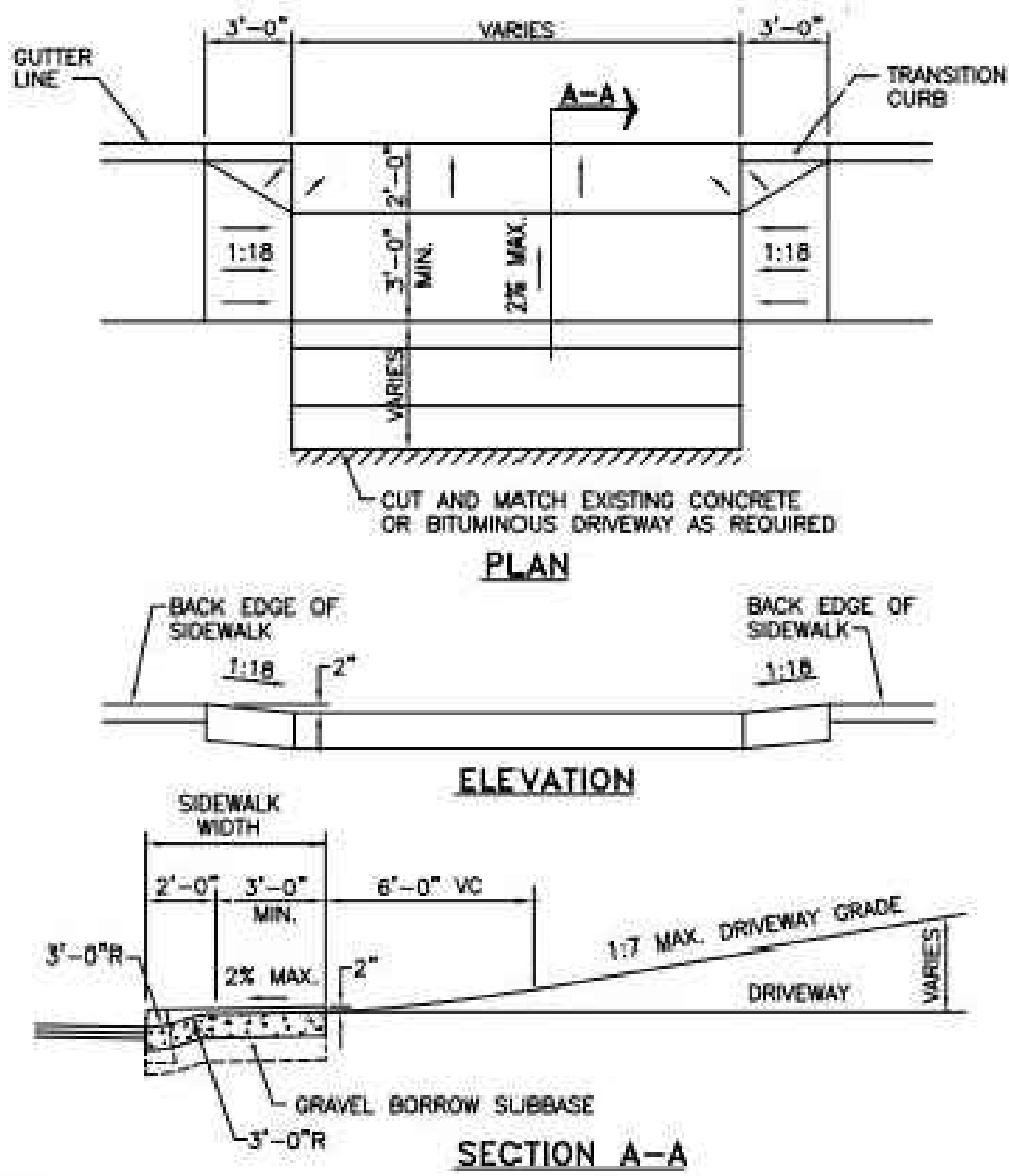
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DATE: DECEMBER 6, 2022

**CD-501**

SHEET 16 OF 28



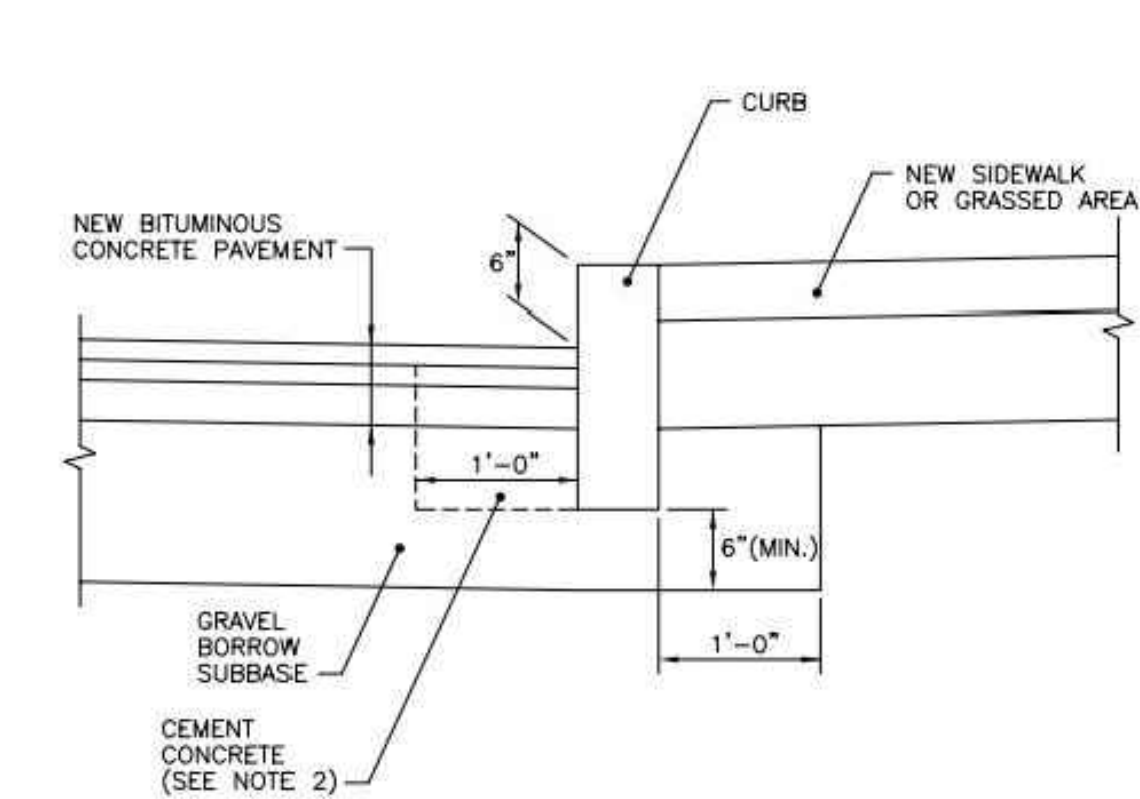
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MS VIEW: Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB



**NOTES:**  
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.  
2. WHEN DRIVEWAY IS BELOW BACK EDGE OF SIDEWALK PROFILE, DIST. 43.4.1 MUST BE USED.

#### DRIVEWAY DEVELOPMENT

NOT TO SCALE



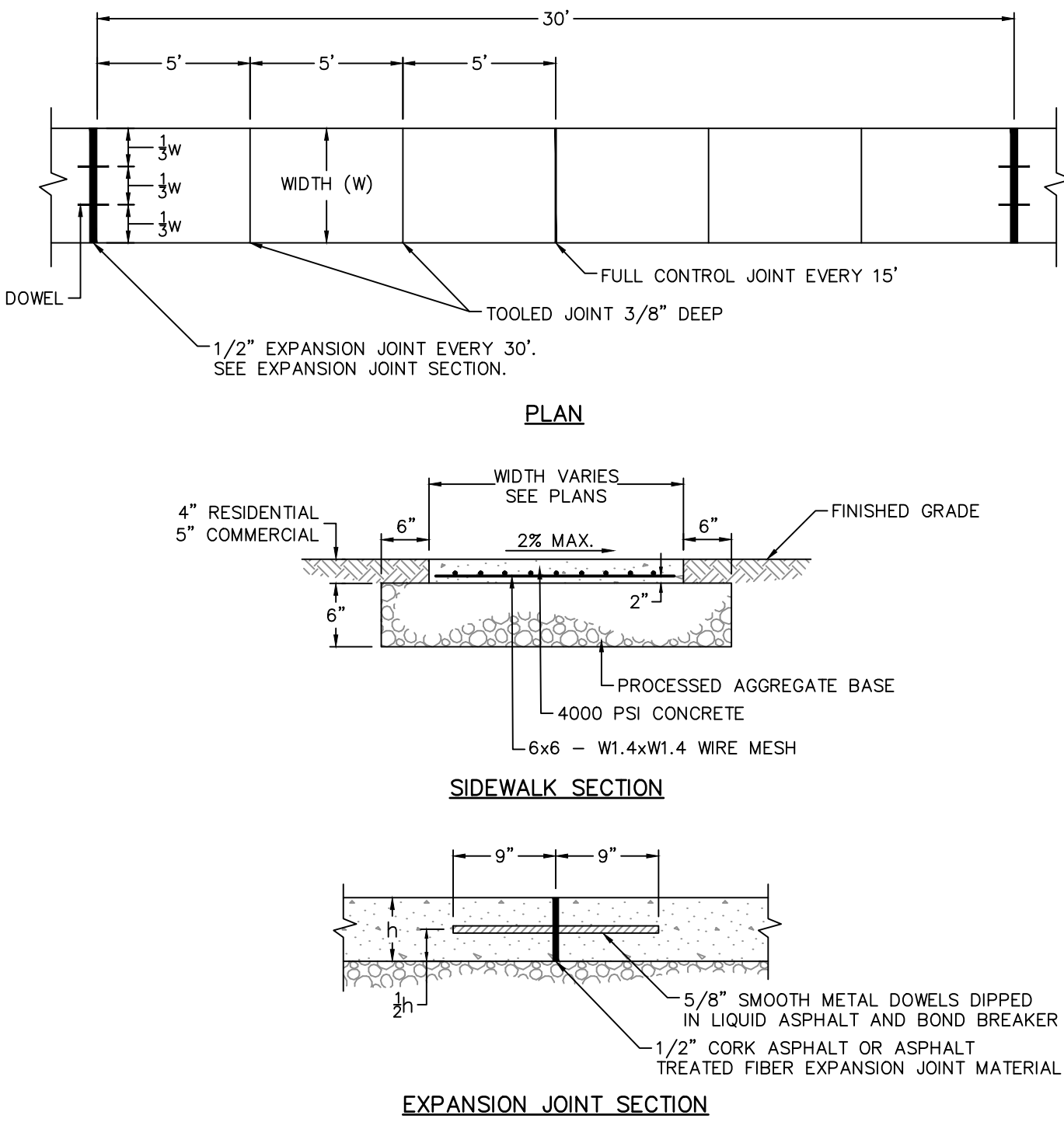
**NOTES:**  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.  
2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

#### CURB SETTING

NOT TO SCALE

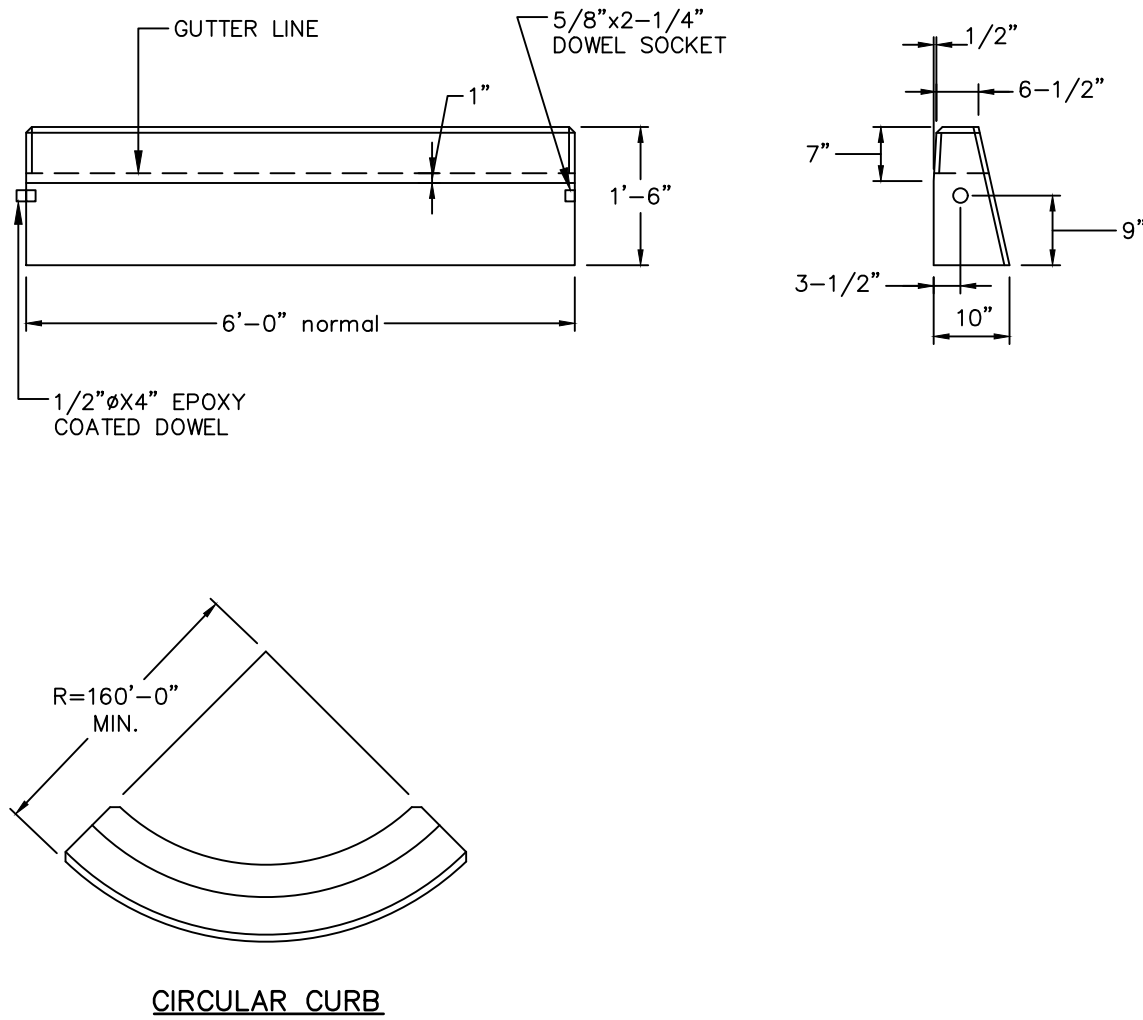
#### PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE



#### CONCRETE SIDEWALK

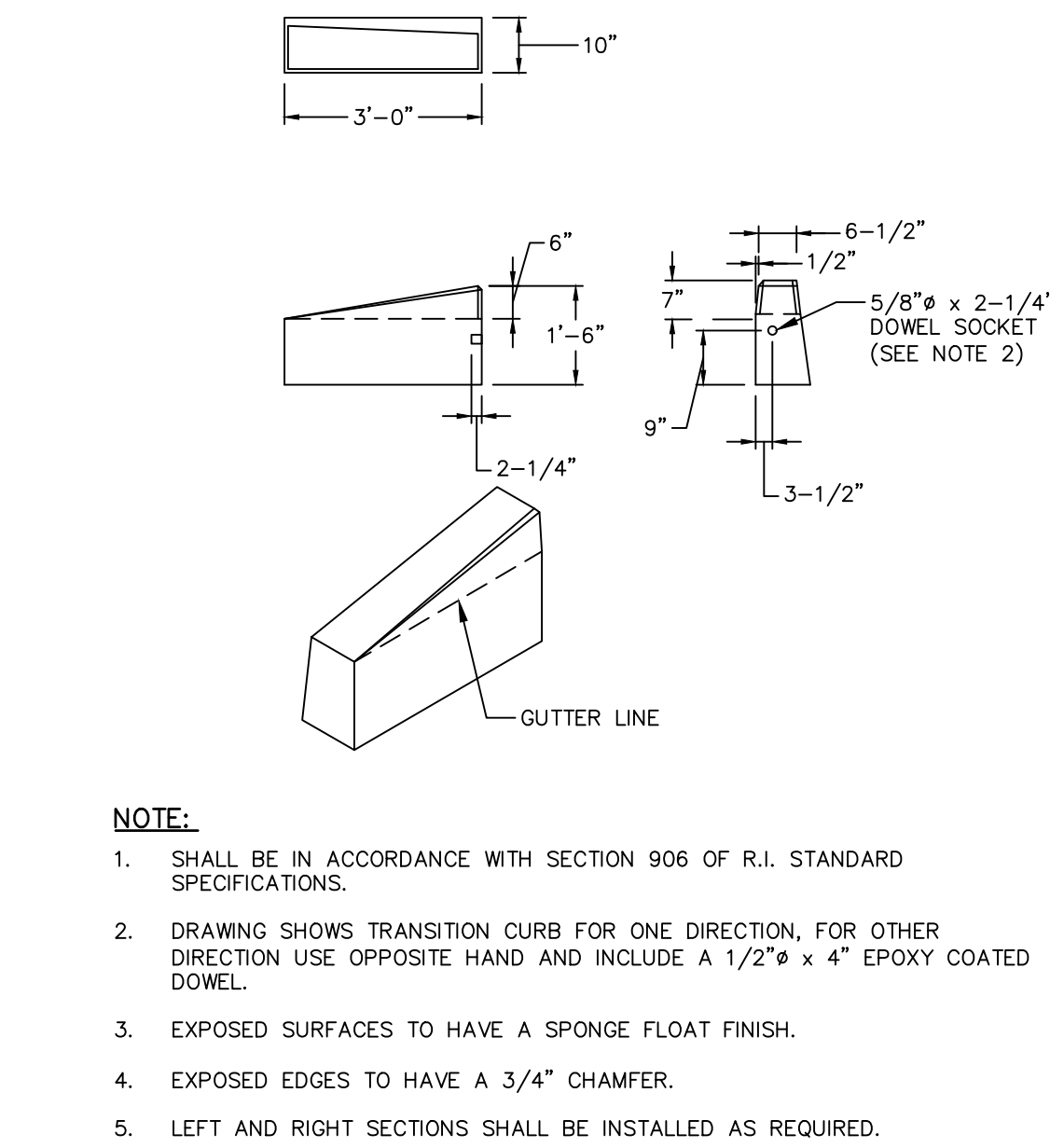
NOT TO SCALE



**NOTE:**  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.  
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".  
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.  
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.  
5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

#### CONCRETE CURB

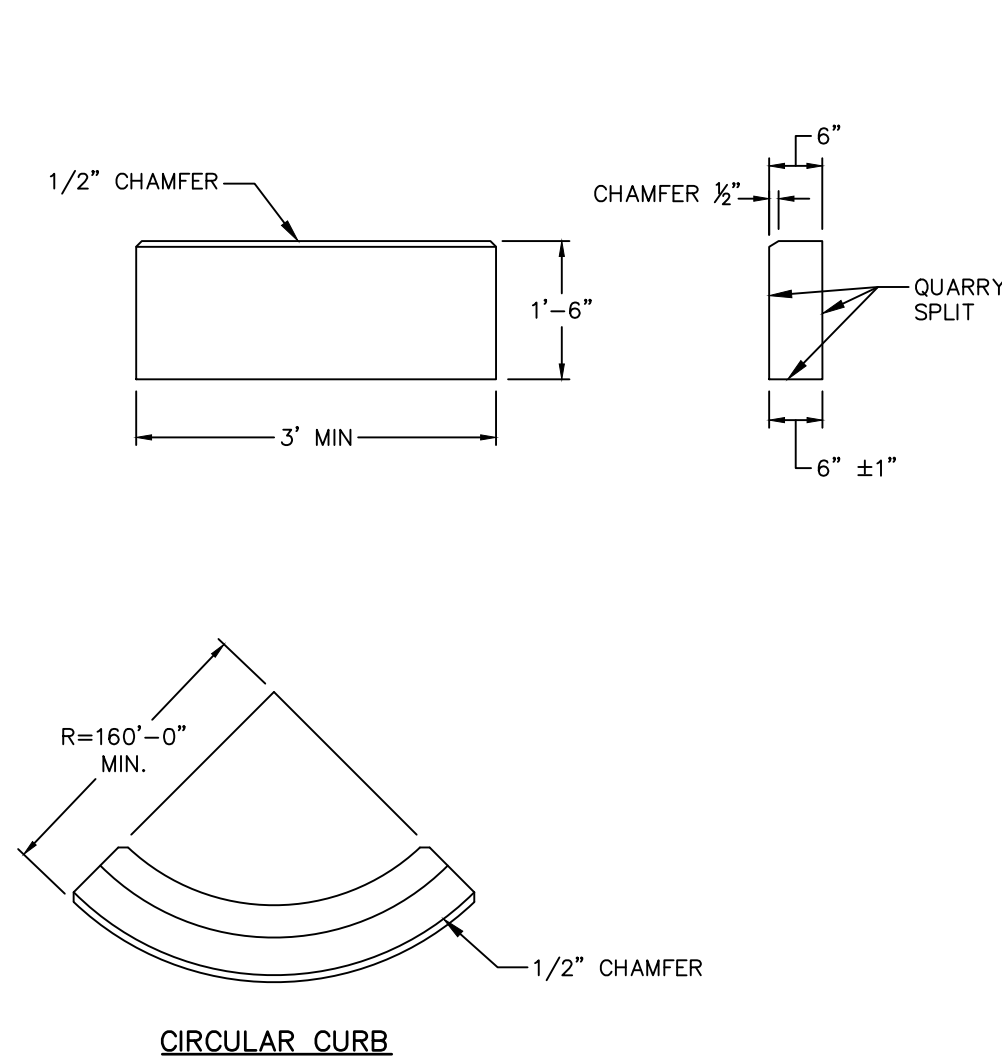
NOT TO SCALE



**NOTE:**  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.  
2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.  
3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.  
4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.  
5. LEFT AND RIGHT SECTIONS SHALL BE INSTALLED AS REQUIRED.

#### GRANITE TRANSITION CURB

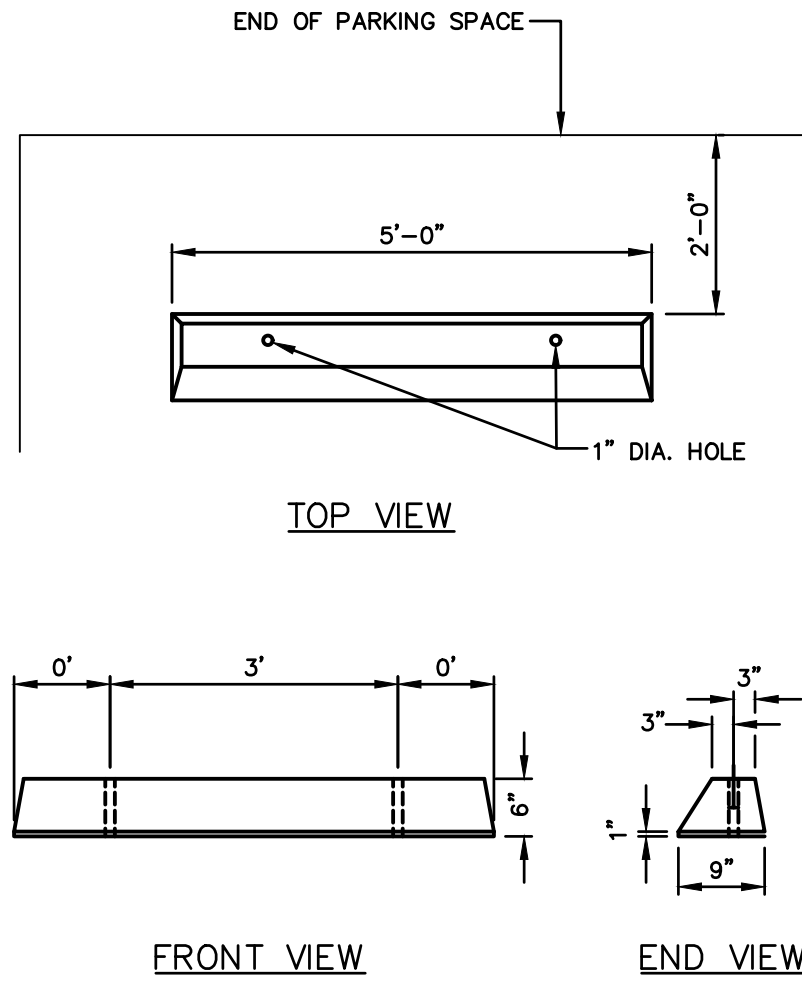
NOT TO SCALE



**NOTE:**  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.  
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.  
3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".  
4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.

#### GRANITE CURB

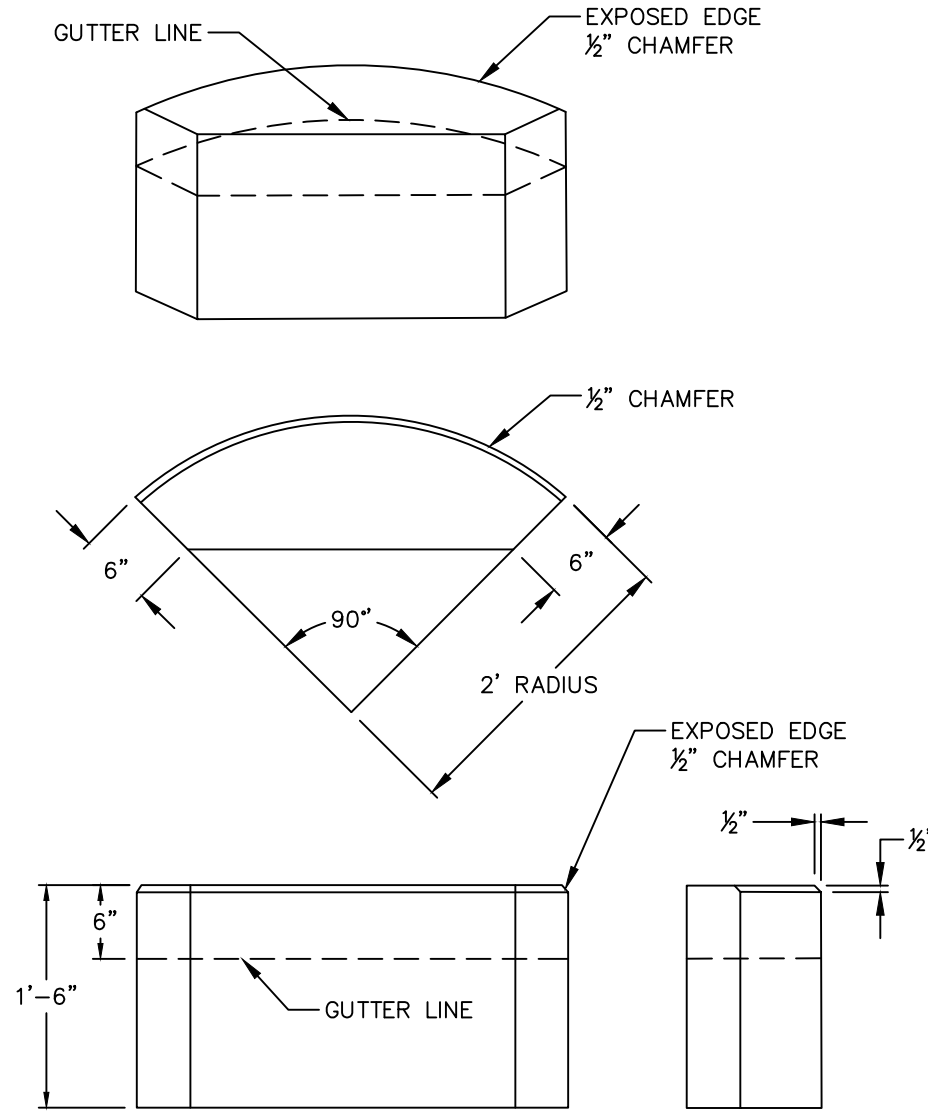
NOT TO SCALE



**NOTES:**  
1. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.  
2. EACH PRECAST CONCRETE CAR STOP SHALL BE FURNISHED WITH TWO 3/4" x 18" STEEL RODS.  
3. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

#### PRECAST CONCRETE WHEEL STOPS

NOT TO SCALE



**NOTES:**  
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.  
2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

#### GRANITE RADIUS CURB

NOT TO SCALE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL



SCALE:

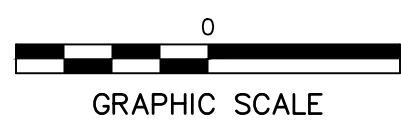
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VERT.:

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

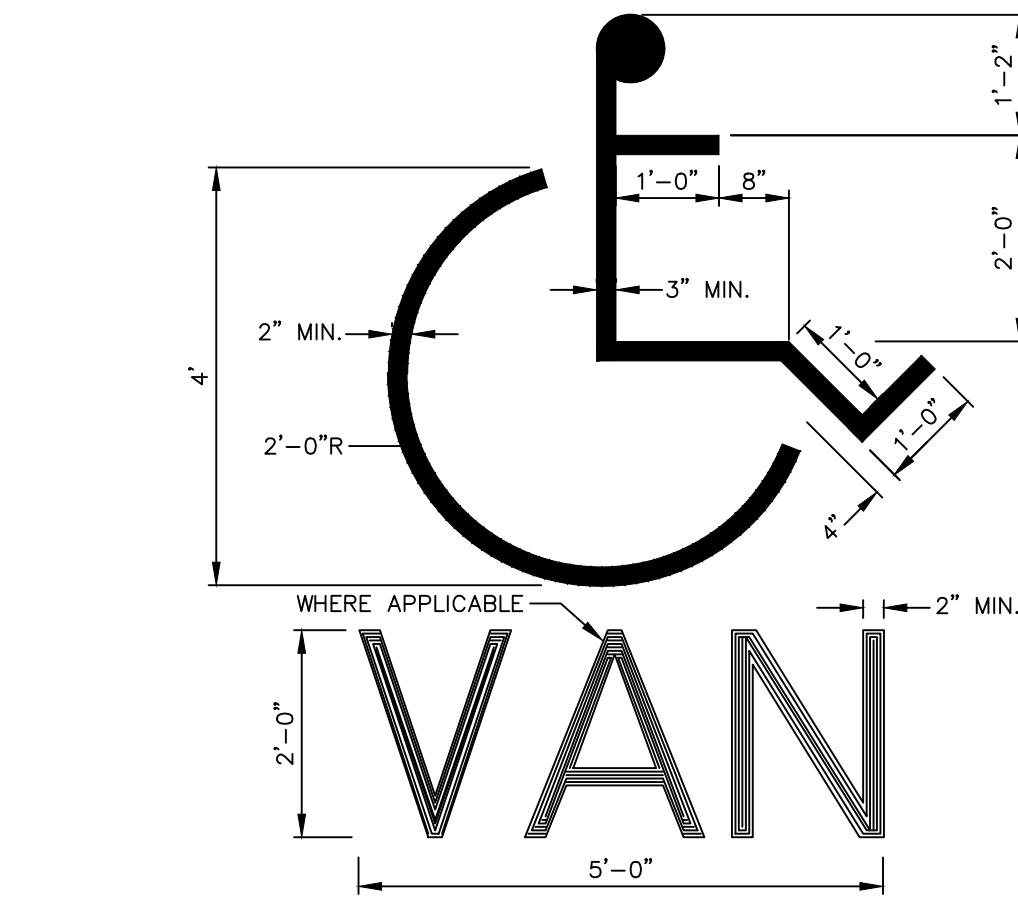
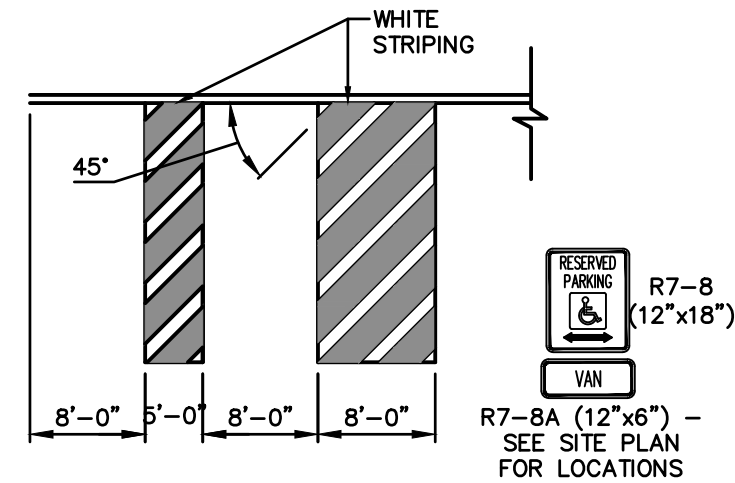
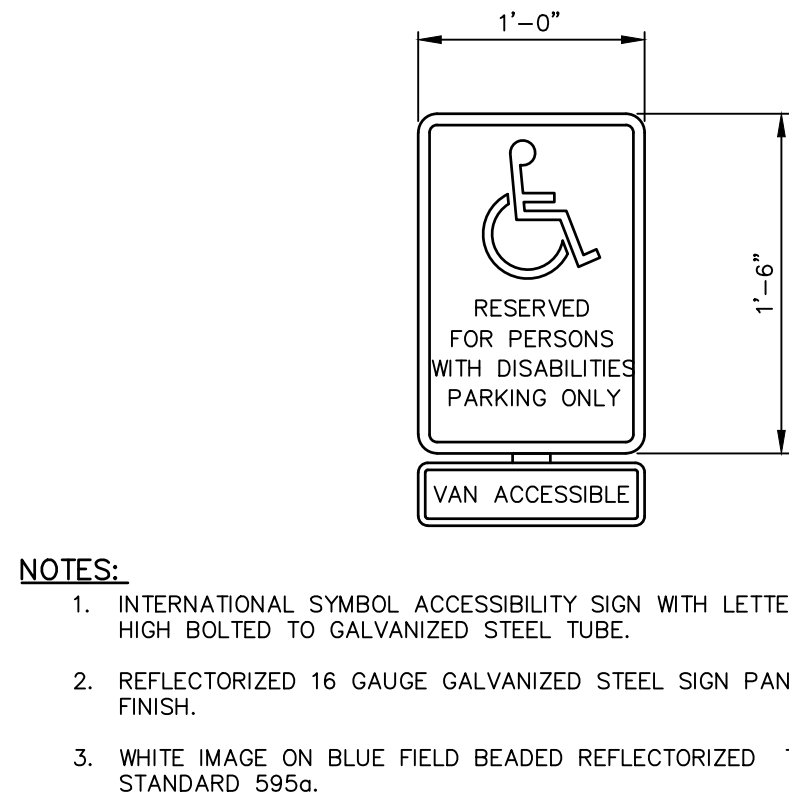
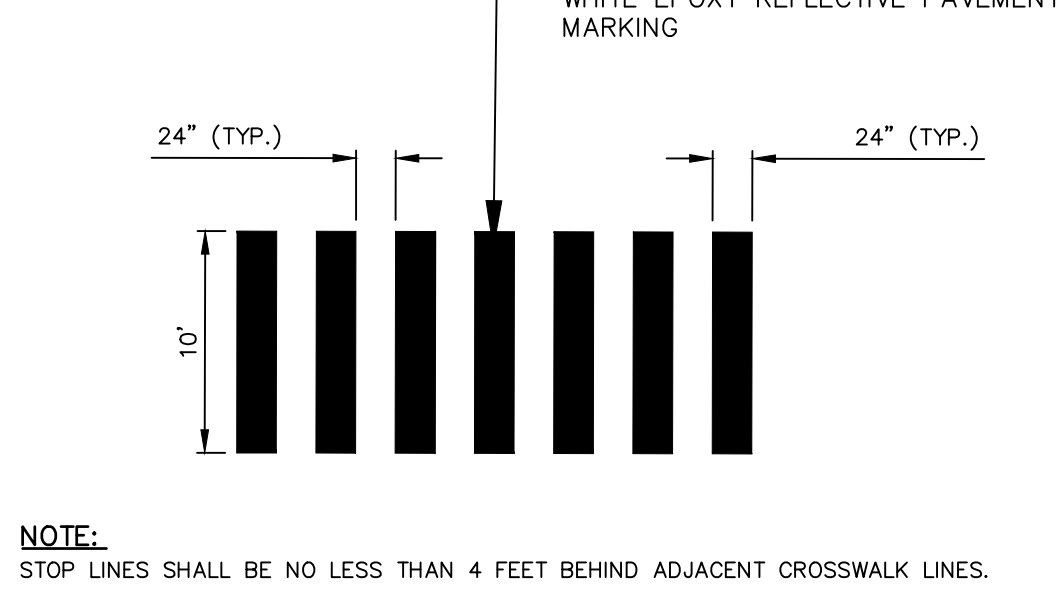
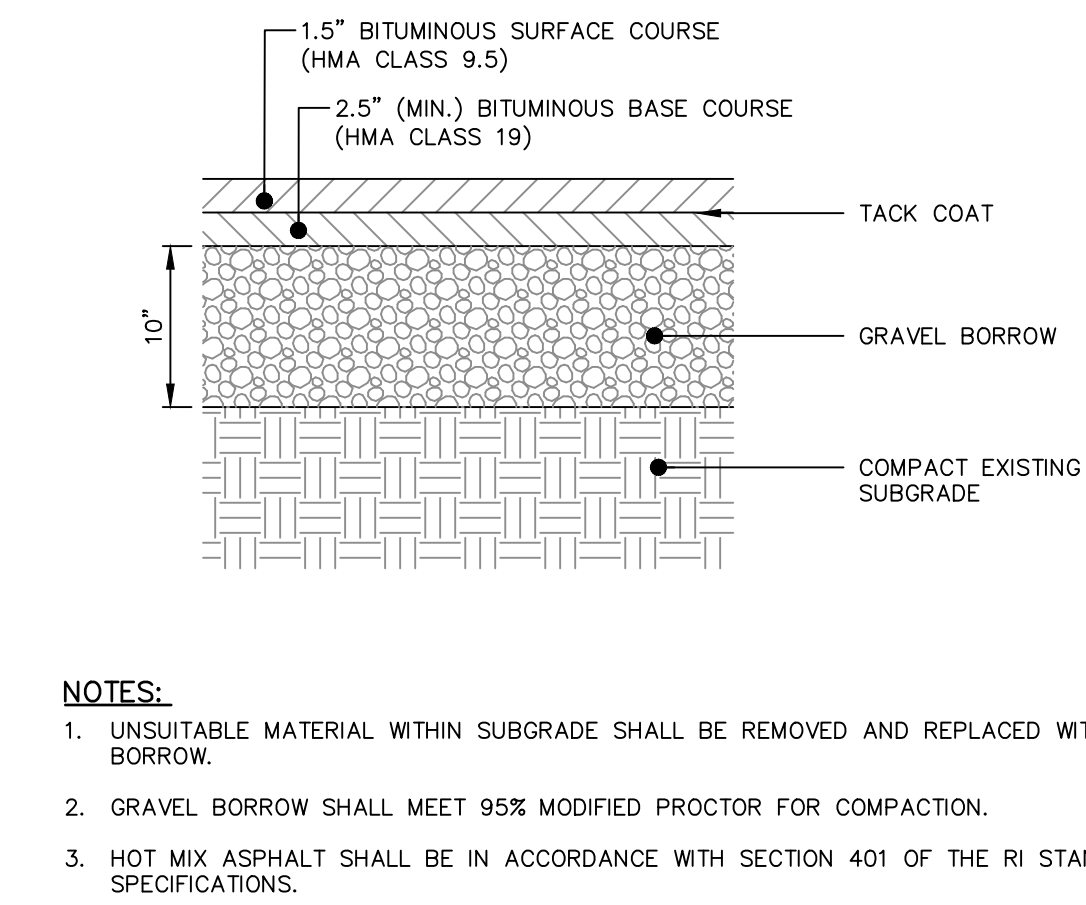
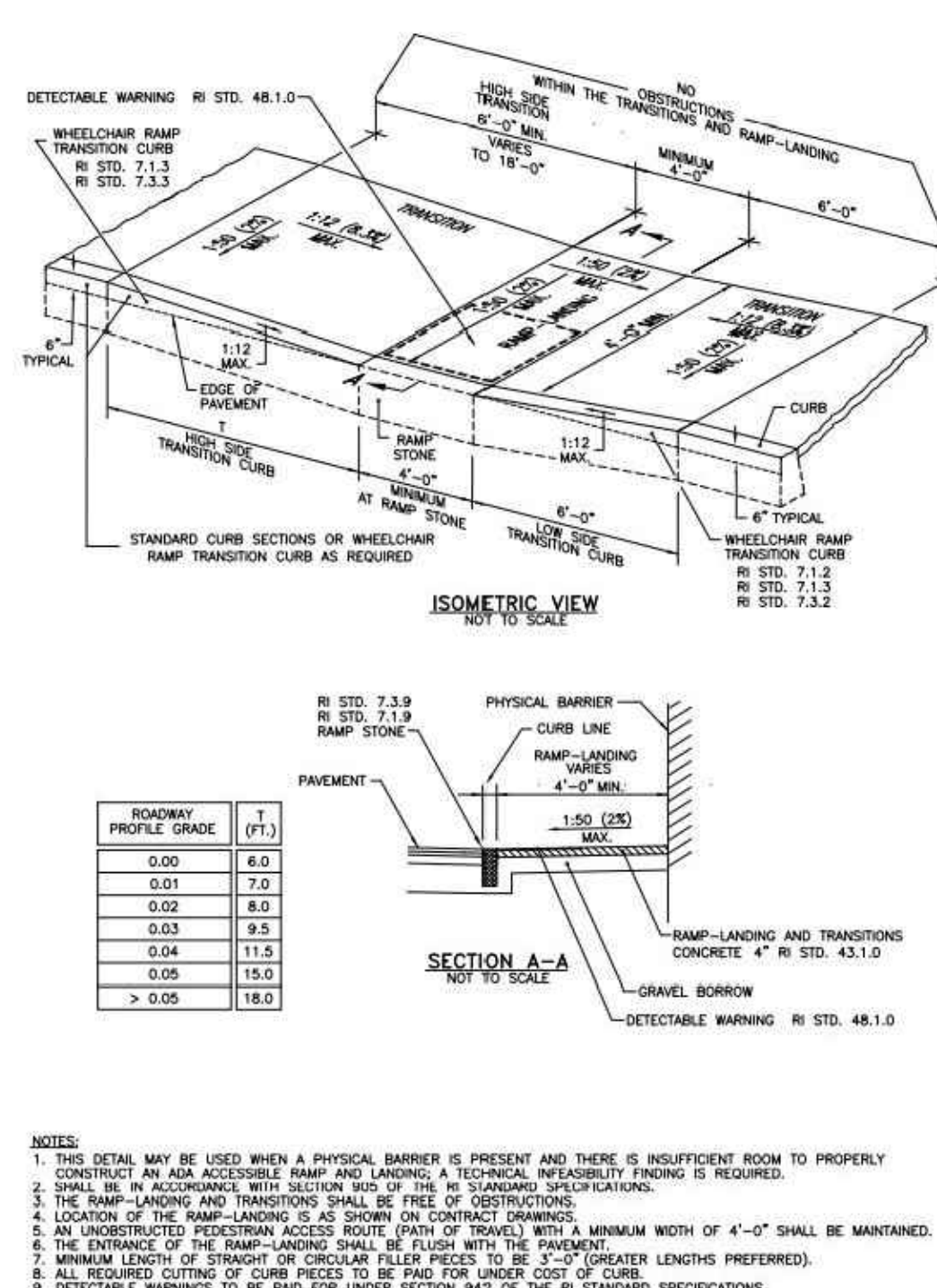
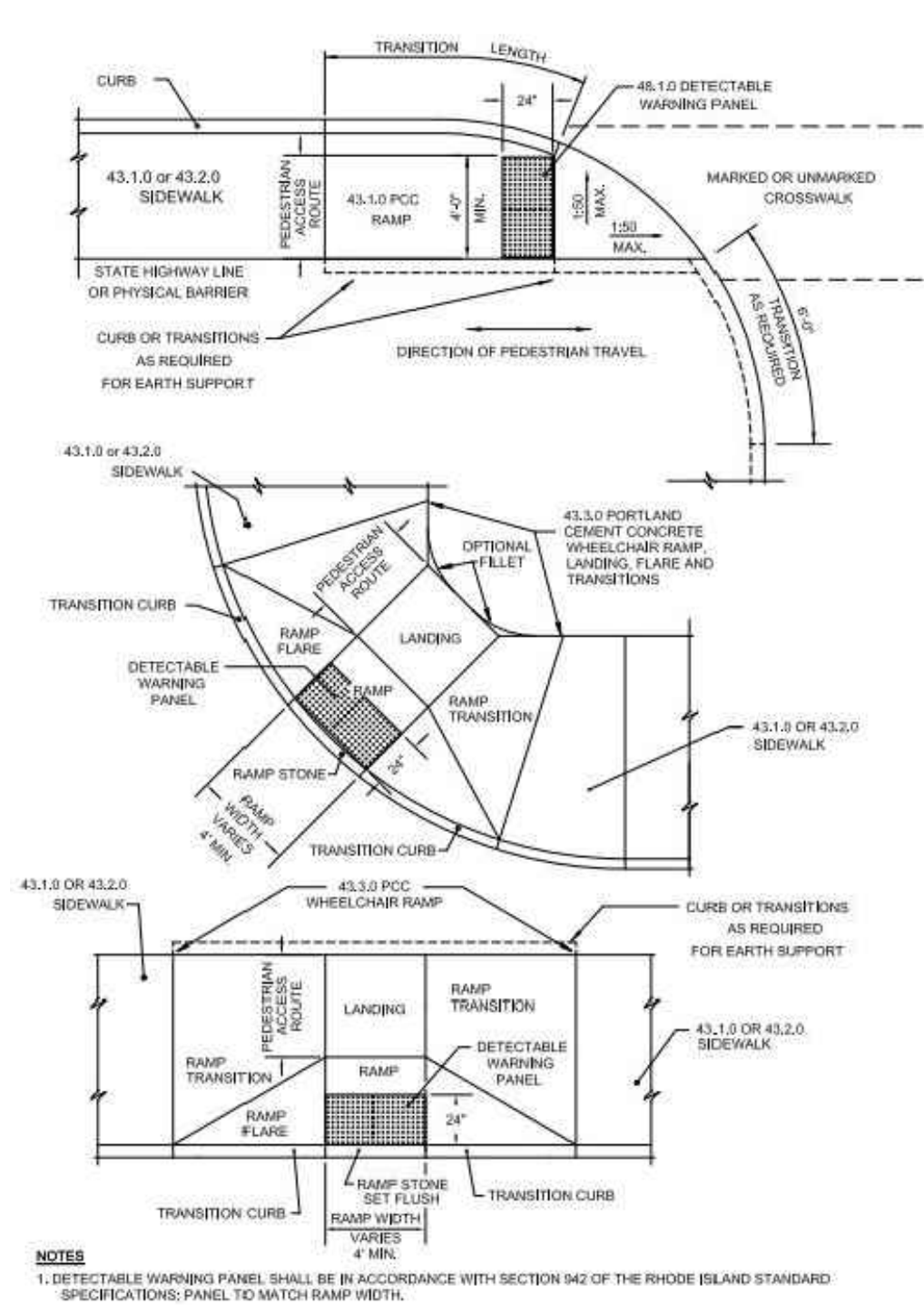
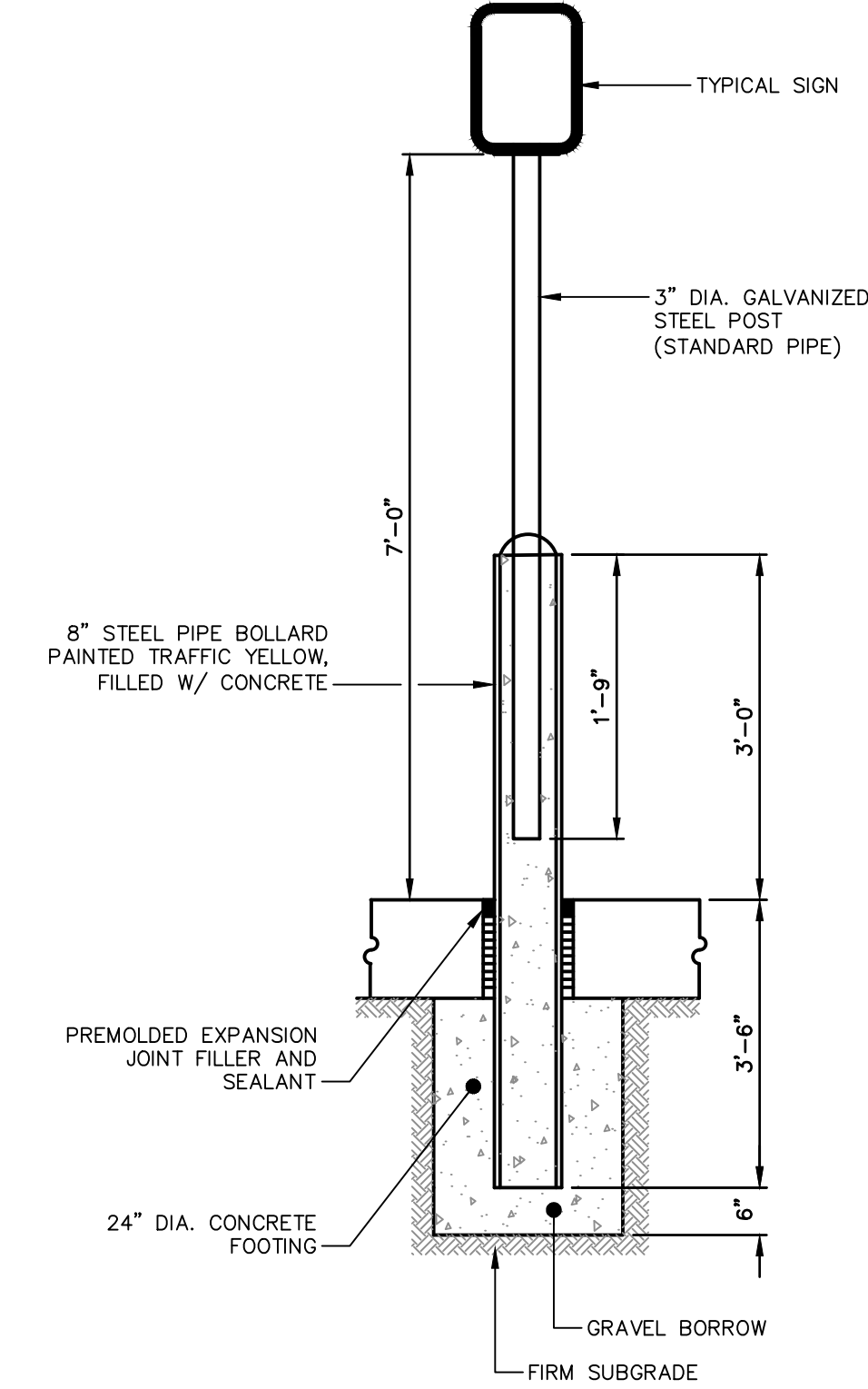
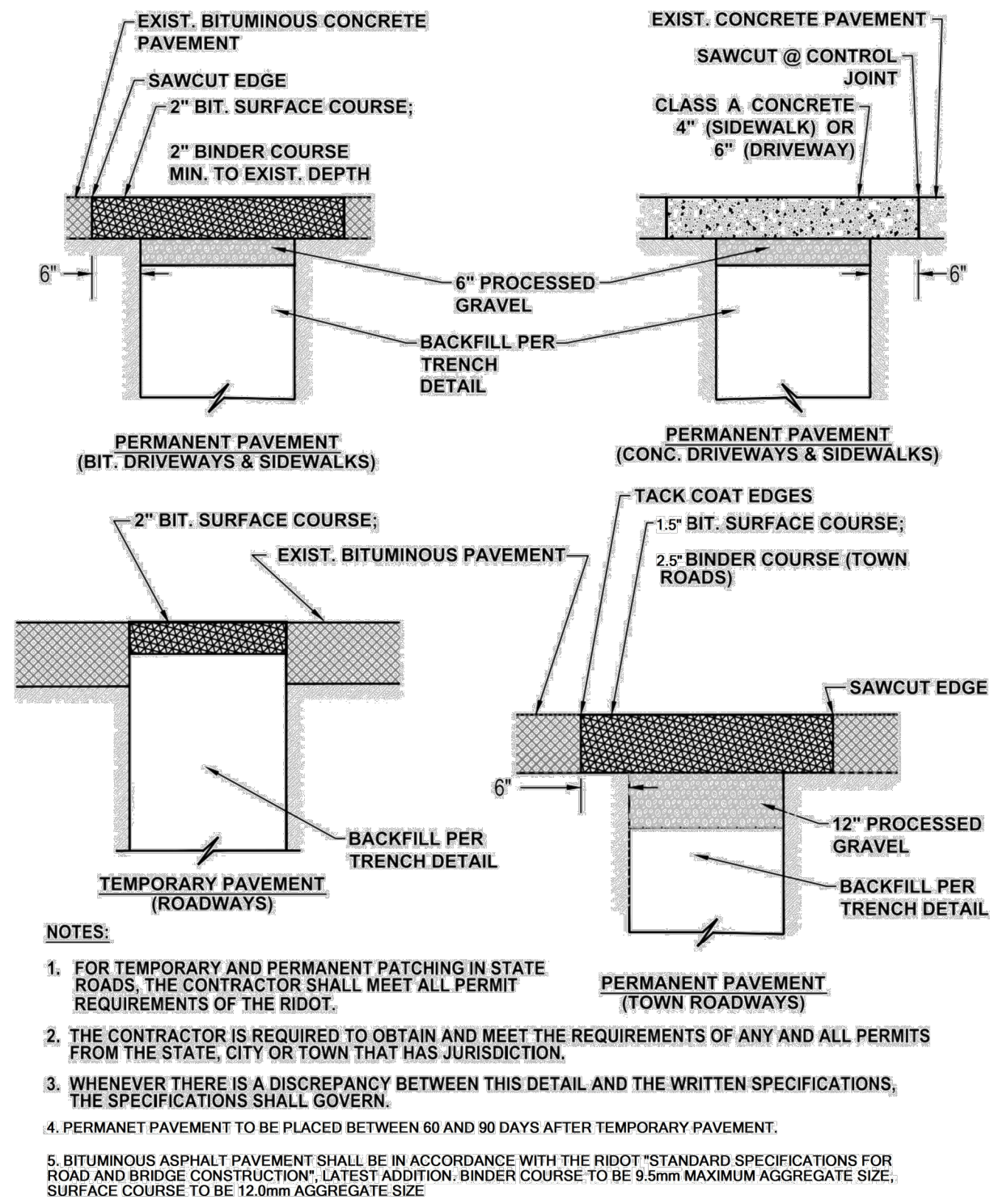
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

**CD-502**

SHEET 17 OF 28



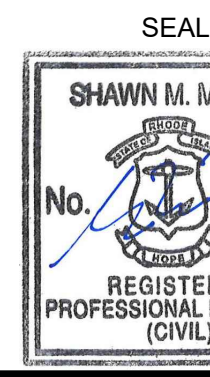


## PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

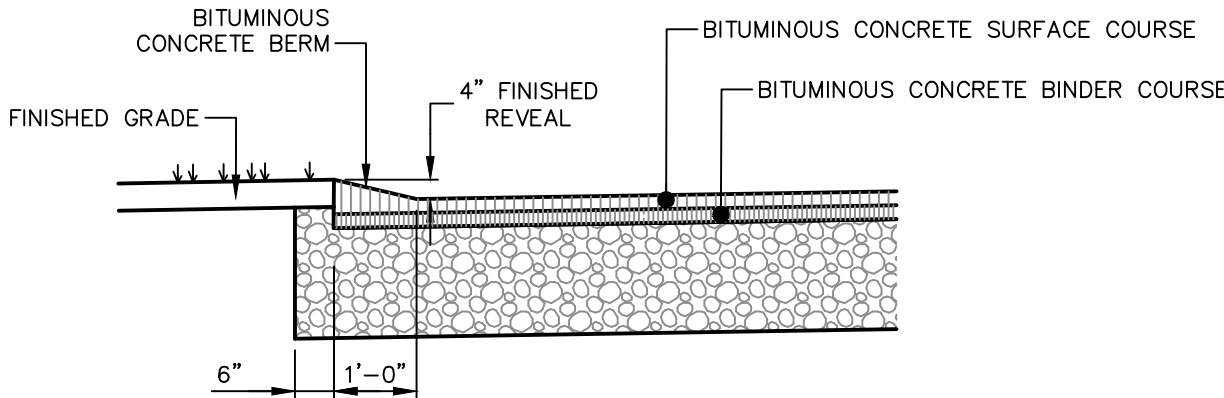
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11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
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4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



## BITUMINOUS CONCRETE BERM

NOT TO SCALE



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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

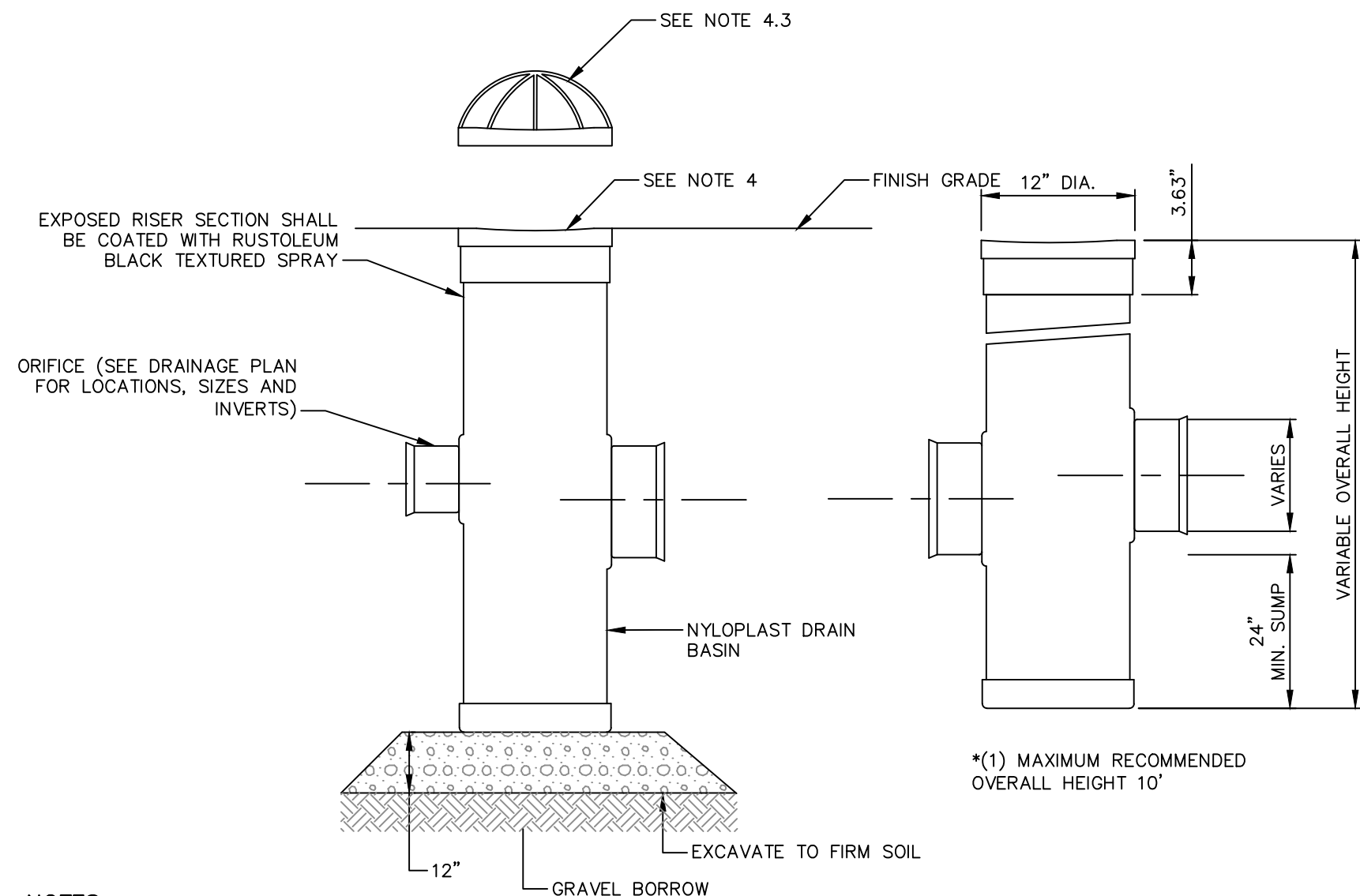
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

**CD-503**

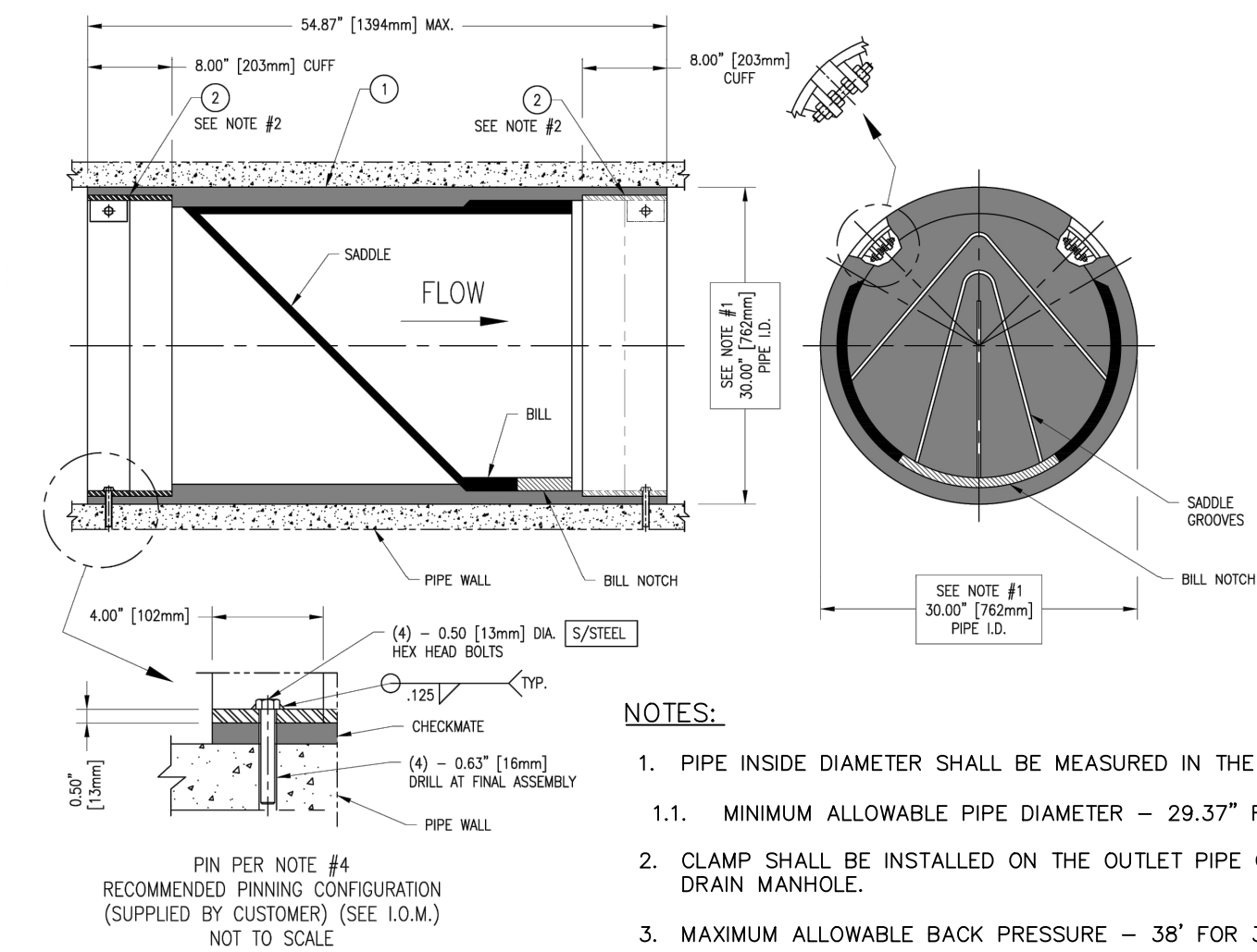
SHEET 18 OF 28





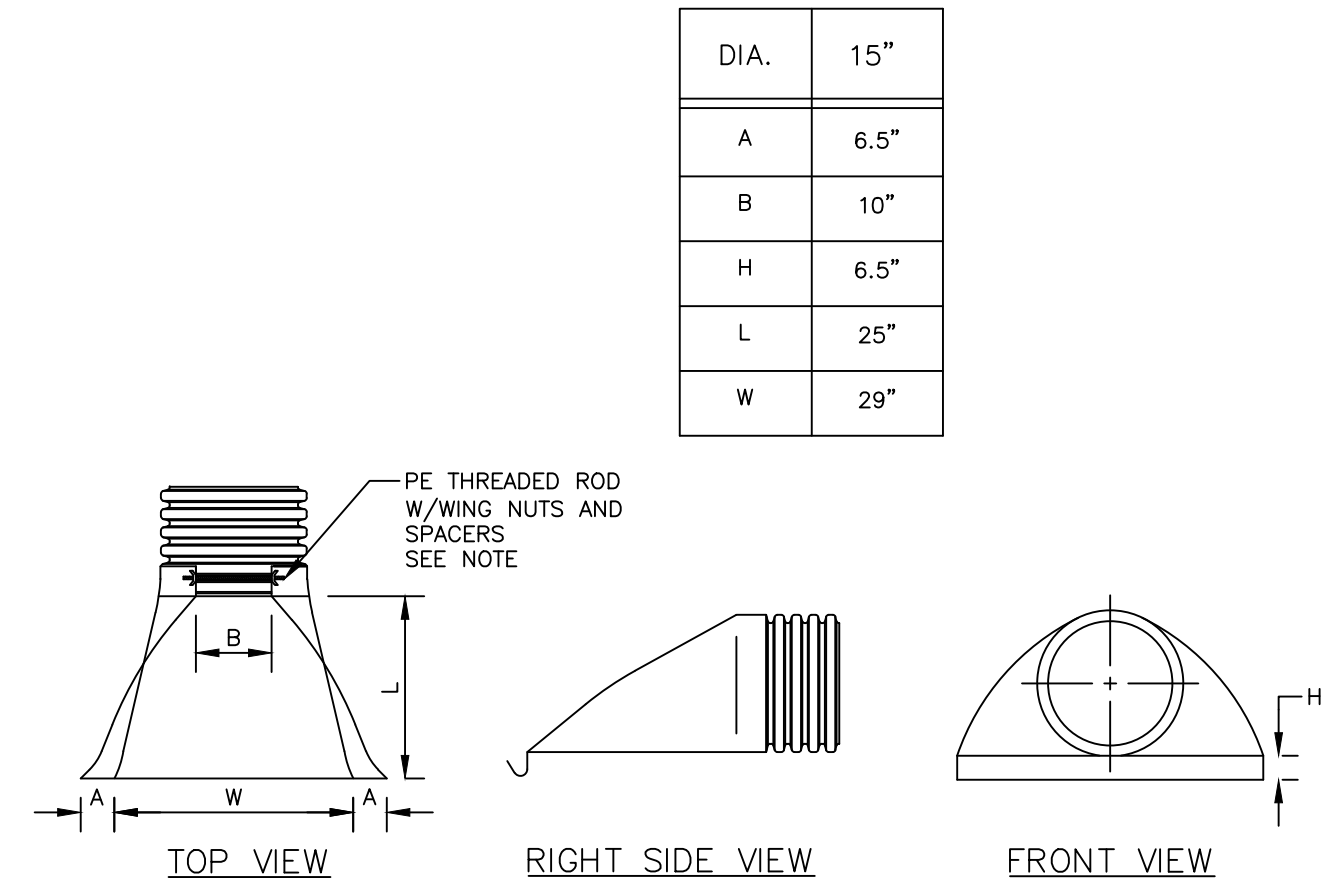
- NOTES:
- SEE DRAINAGE FOR PIPE SIZE, PIPE, MATERIAL, AND INVERTS.
  - GRAVEL BORROW SHALL BE COMPACTED TO 95-PERCENT MODIFIED PROCTOR.
  - GRAVEL BORROW SHALL CONFORM TO M.01.09, TABLE 1, COLUMN 1A OF THE STANDARD SPECIFICATIONS.

DRAIN BASIN  
NOT TO SCALE



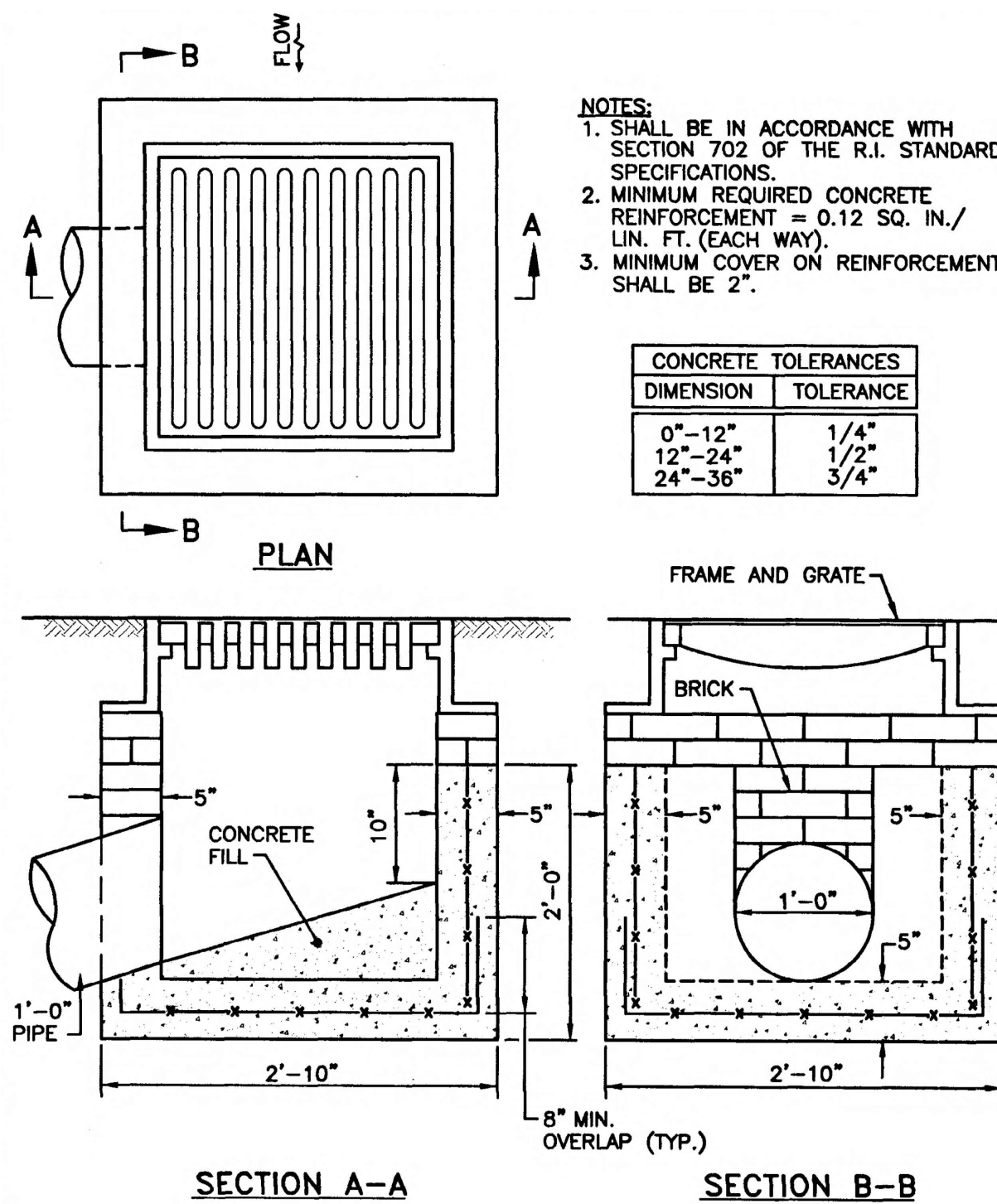
- NOTES:
- PIPE INSIDE DIAMETER SHALL BE MEASURED IN THE FIELD.
    - MINIMUM ALLOWABLE PIPE DIAMETER - 29.37" FOR 30" NOMINAL
  - CLAMP SHALL BE INSTALLED ON THE OUTLET PIPE OF THE PROPOSED DRAIN MANHOLE.
  - MAXIMUM ALLOWABLE BACK PRESSURE - 38" FOR 30" NOMINAL
  - IT IS RECOMMEND TO BOLT OR PIN CHECKMATE TO PIPE AS SHOWN, 4 PLACES 90° APART.
  - TIDE GATE VALVE SHALL BE CHECKMATE ULTRAFLEX SLIP-IN INLINE CHECK VALVE MANUFACTURED BY TIDFLEX TECHNOLOGIES OR APPROVED EQUAL.

TIDE VALVE  
NOT TO SCALE

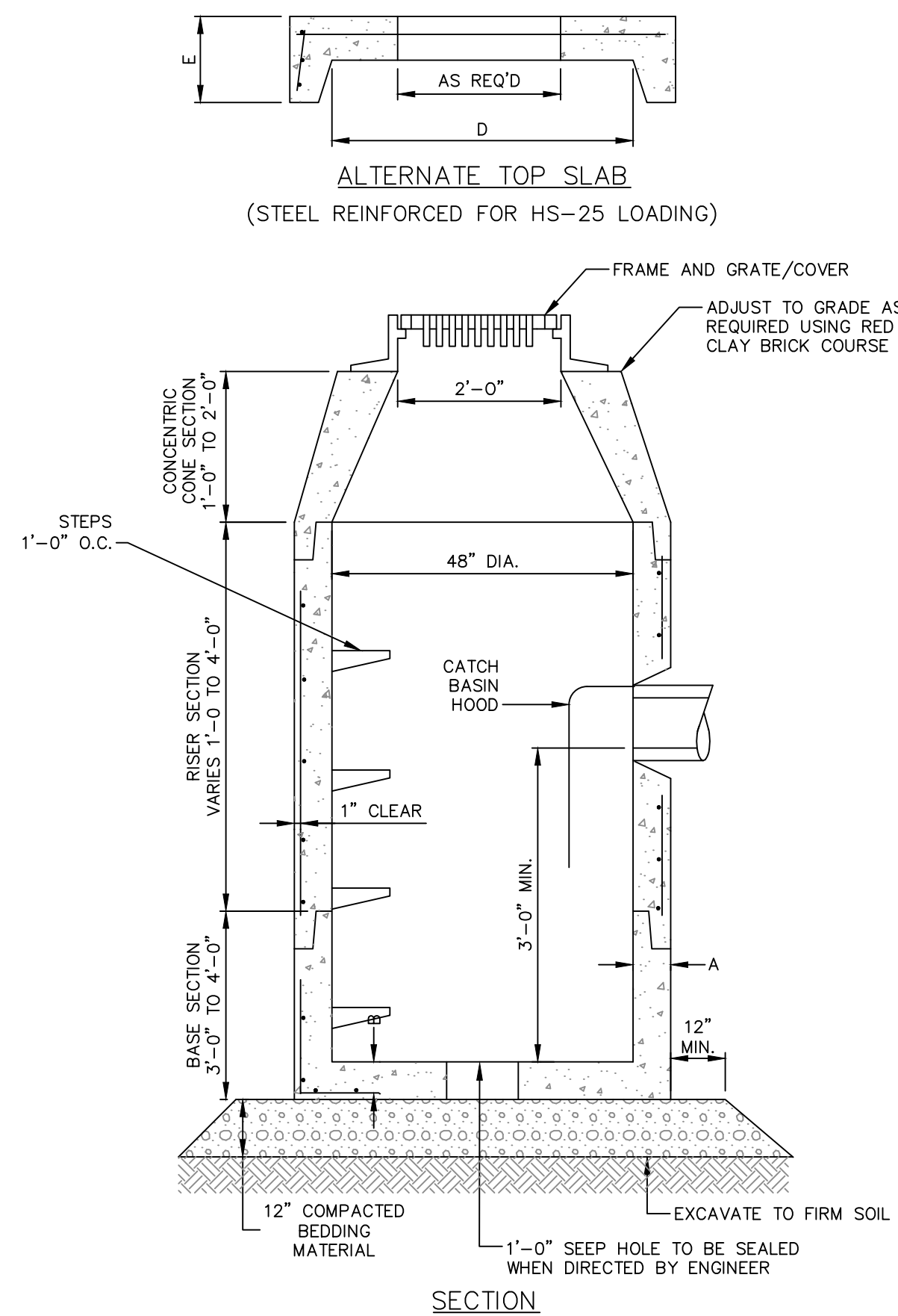


- NOTES:
- SHALL BE MANUFACTURED WITH POLYETHYLENE RESINS AS DESCRIBED AND DEFINED IN ASTM D3350.
  - WHEN PROVIDED, THE METAL THREADED FASTENING ROD SHALL BE STAINLESS STEEL

HDPE FLARED END SECTION  
NOT TO SCALE

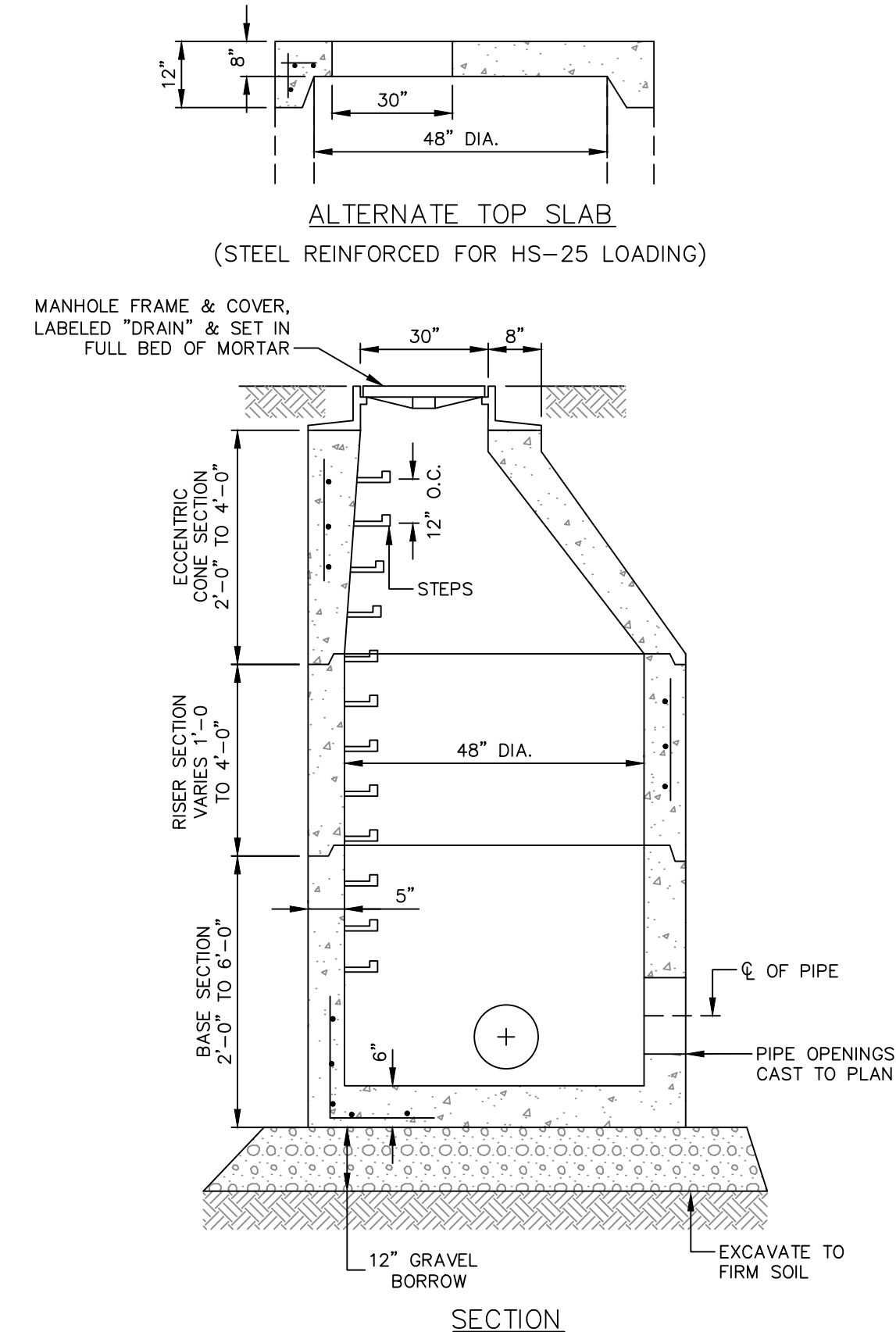


PRECAST CONCRETE DROP INLET  
(R.I. STD. 4.5.0)  
NOT TO SCALE



CATCH BASIN  
NOT TO SCALE

- NOTES:
- FRAME AND GRATE SHALL BE R.I. STD. 6.3.0 OR APPROVED EQUAL.
  - INLET CATCH BASIN SHALL INCLUDE GRANITE APRON STONE PER PROVIDENCE STANDARD 7.3.7P, AND BE INSTALLED IN ACCORDANCE WITH INLET/APRON STONE REVEAL PER PROVIDENCE STANDARD 60.4.0P.
  - INLET CATCH BASIN SHALL HAVE 4' SUMP.
  - FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
  - REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
    - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
    - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
  - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
  - ONE POUR MONOLITHIC BASE SECTION.
  - PROVIDE ASTM C923 RESILIENT CONNECTORS CAST OR FITTED INTO MANHOLE WALLS FOR EACH PIPE CONNECTION.
  - JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
  - CATCH BASIN DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE" SECTION.
  - CATCH BASIN STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
  - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.



DRAIN MANHOLE  
NOT TO SCALE

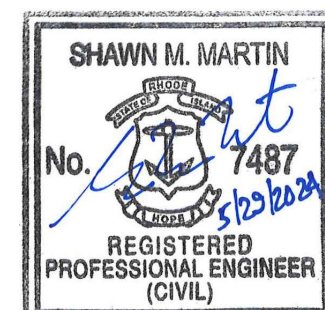
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL



SCALE:

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22

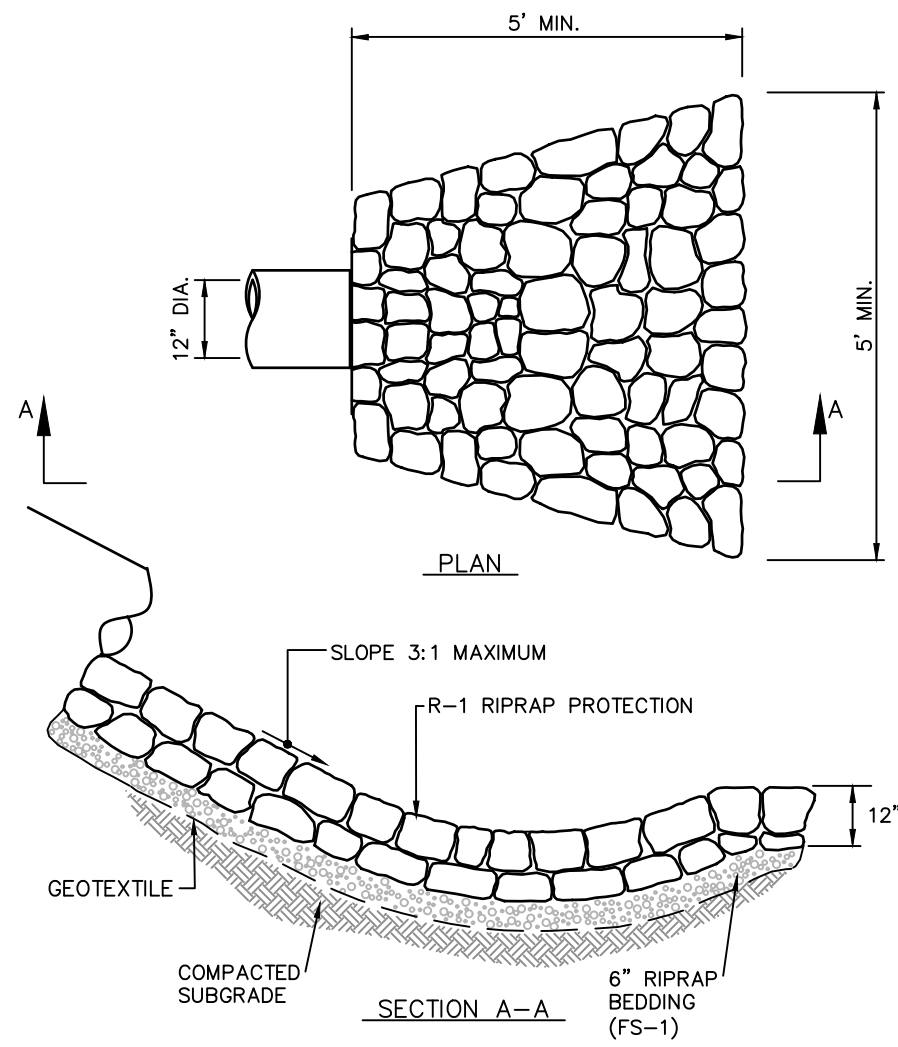
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CD-504

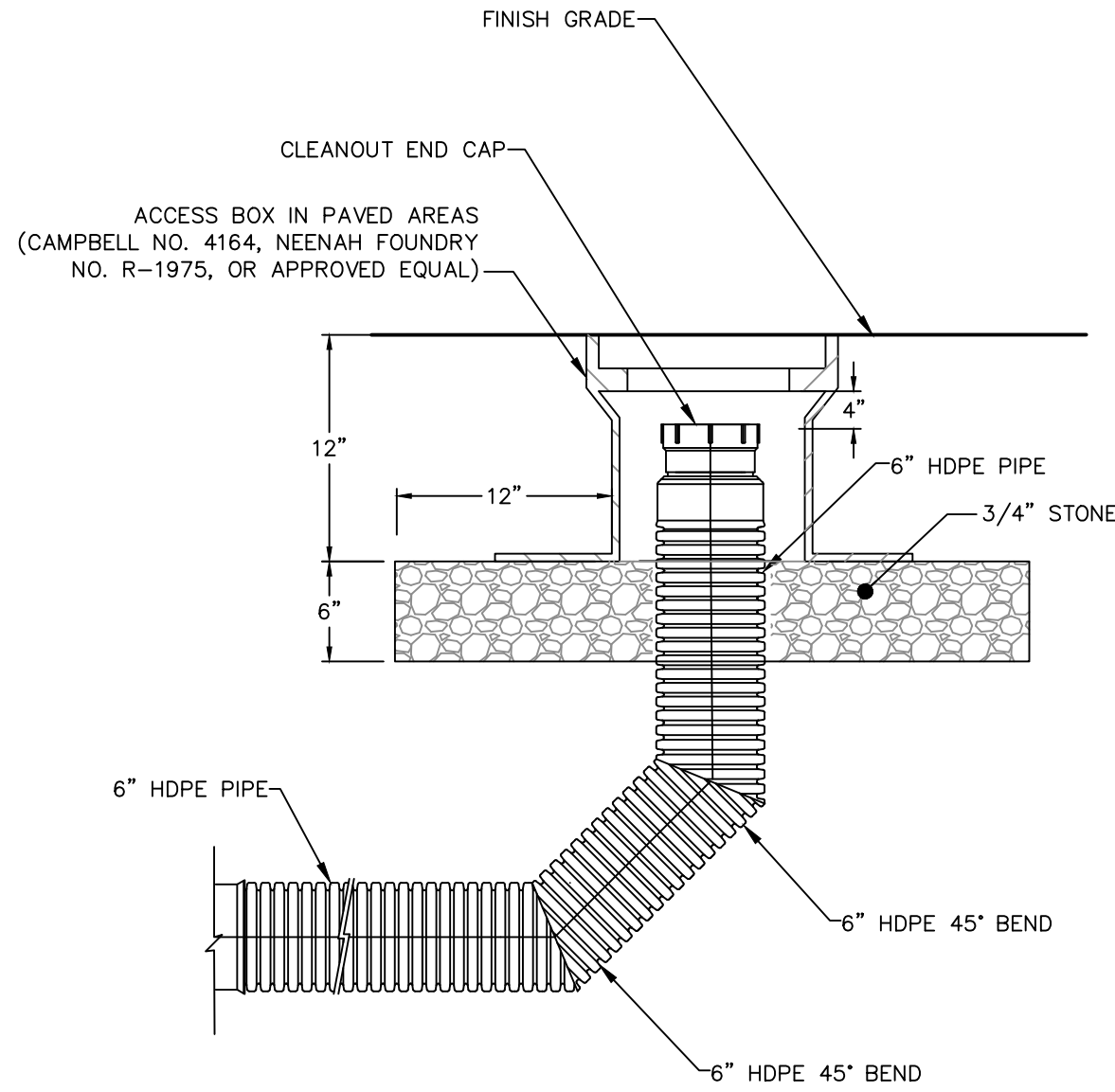
SHEET 19 OF 28



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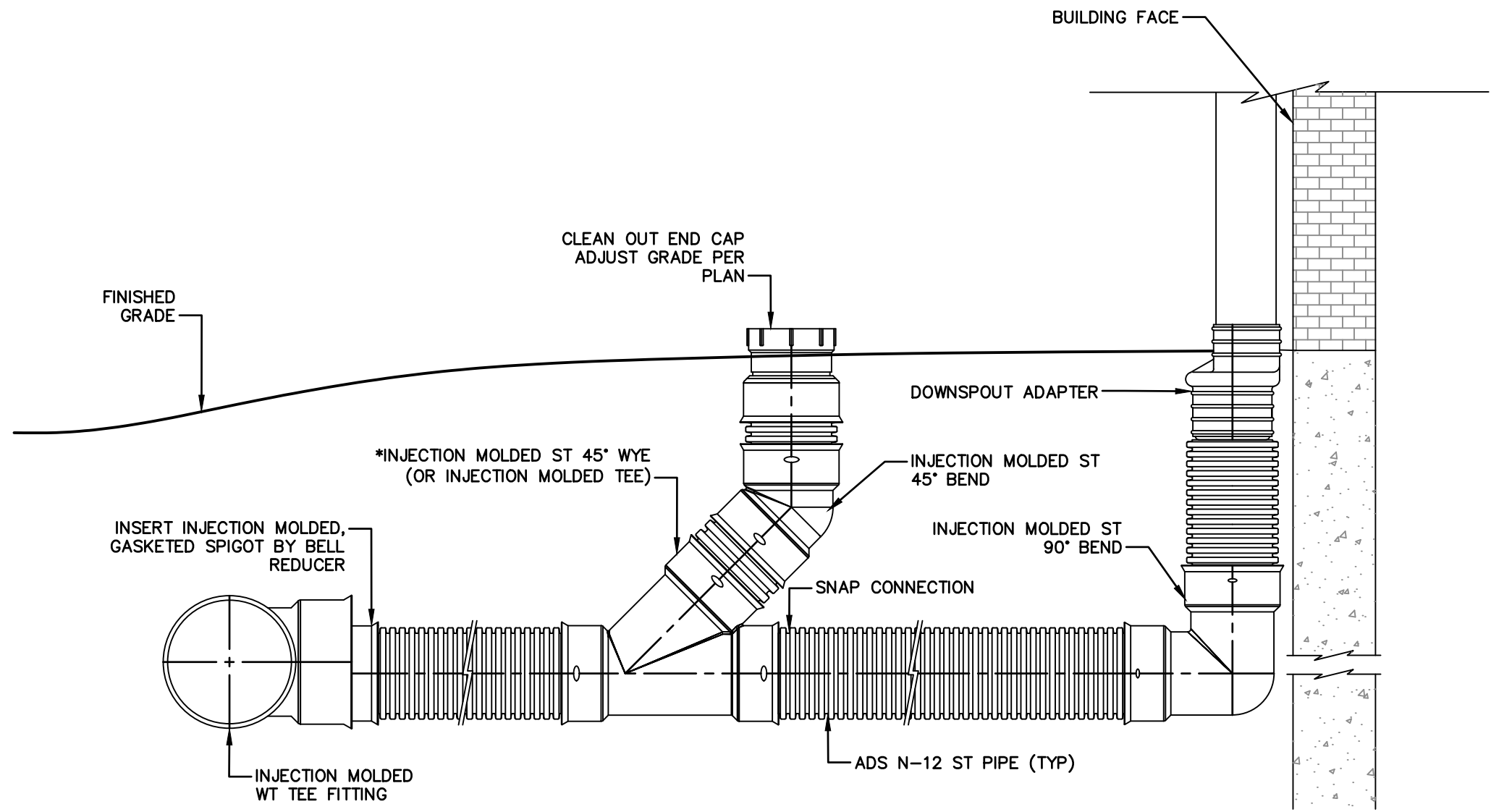


RIPRAP SPLASH PAD  
NOT TO SCALE

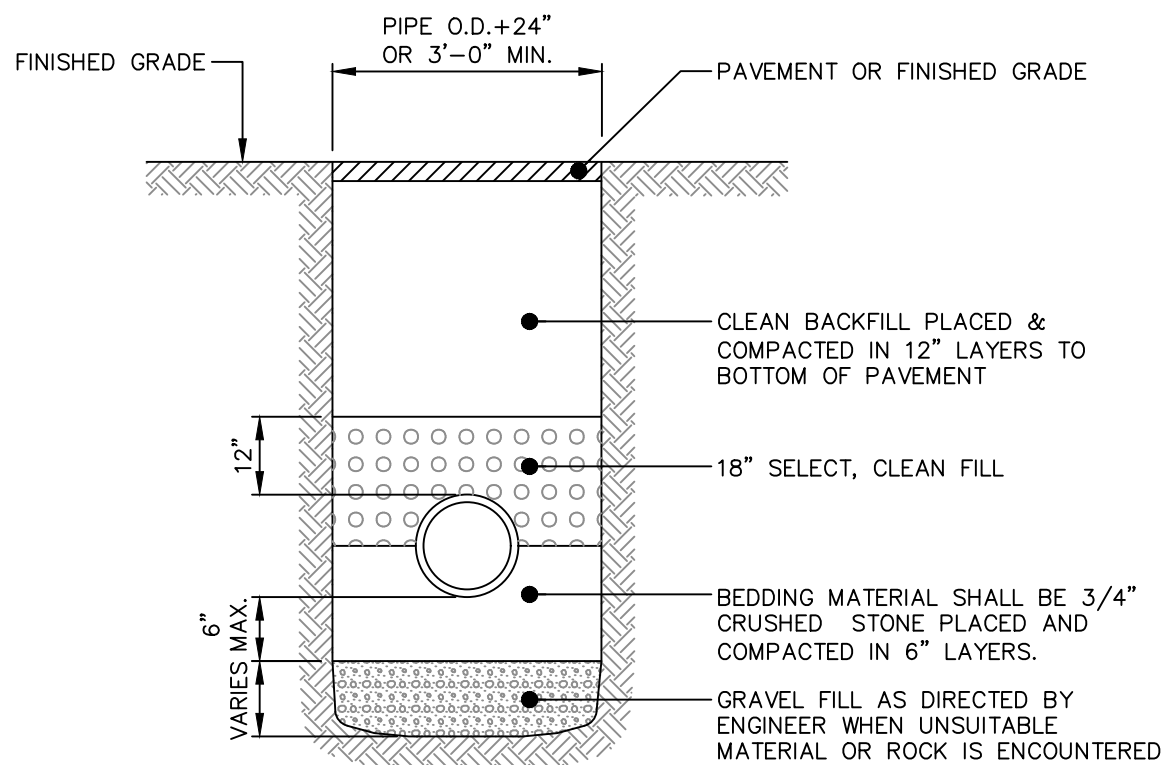


- NOTE:
1. IN UNPAVED AREAS, CLEANOUT CAP SHALL BE BURIED 3 INCHES.
  2. ACCESS BOX IN PAVED AREAS SHALL HAVE 9.5" SOLID COVER WITH LETTERING "CLEANOUT".
  3. IN-LINE CLEANOUTS SHALL HAVE TEE WYE IN LIEU OF TWO 45 DEGREE BENDS.

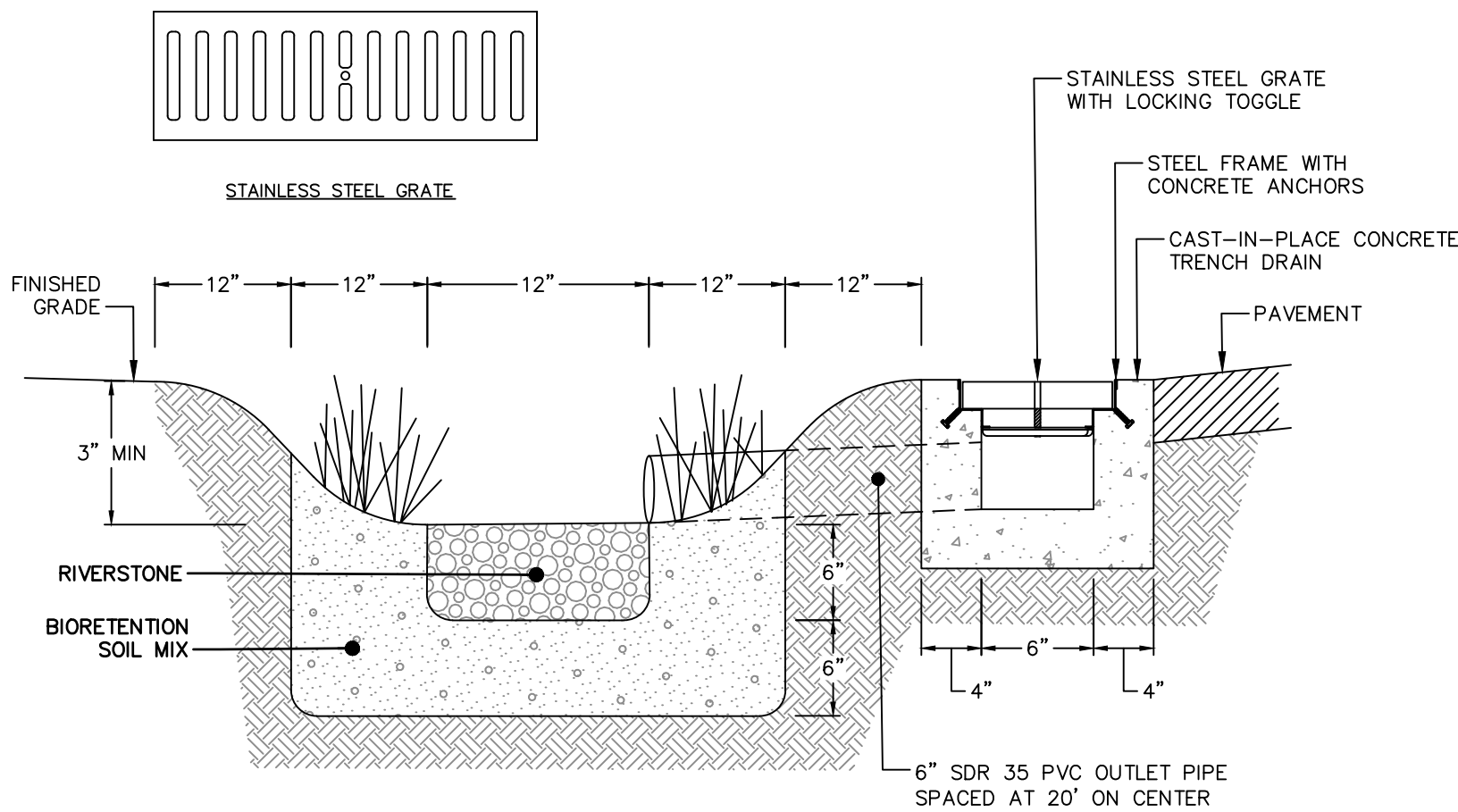
STORM DRAIN CLEANOUT  
NOT TO SCALE



DOWNSPOUT CONNECTION  
NOT TO SCALE

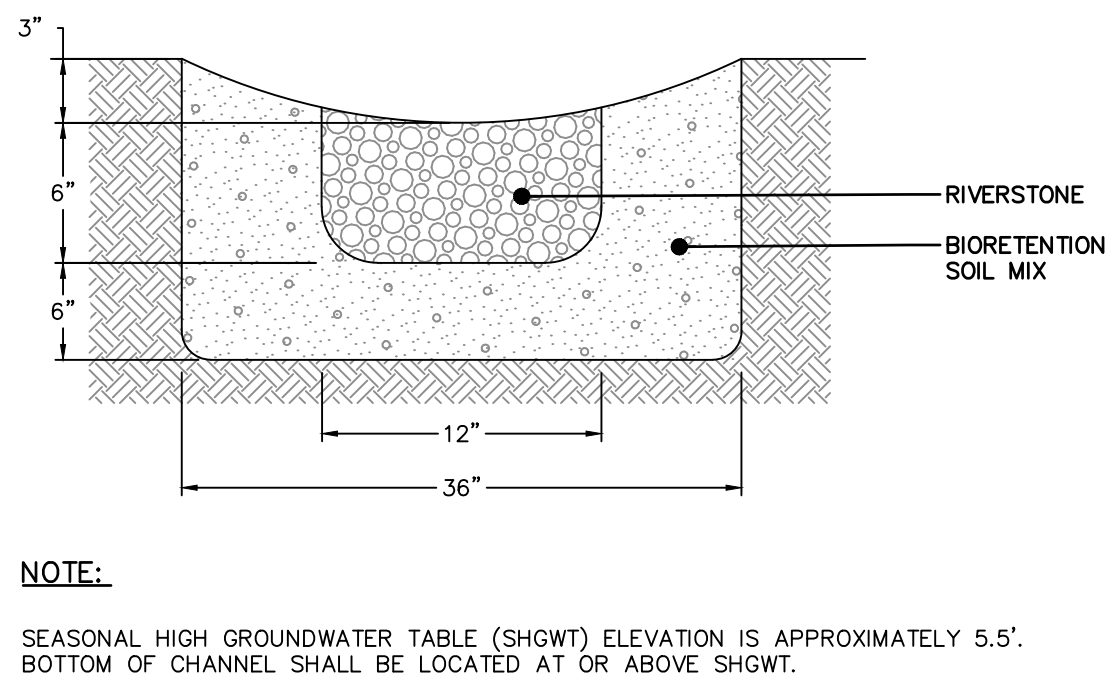


STORM DRAIN TRENCH  
NOT TO SCALE



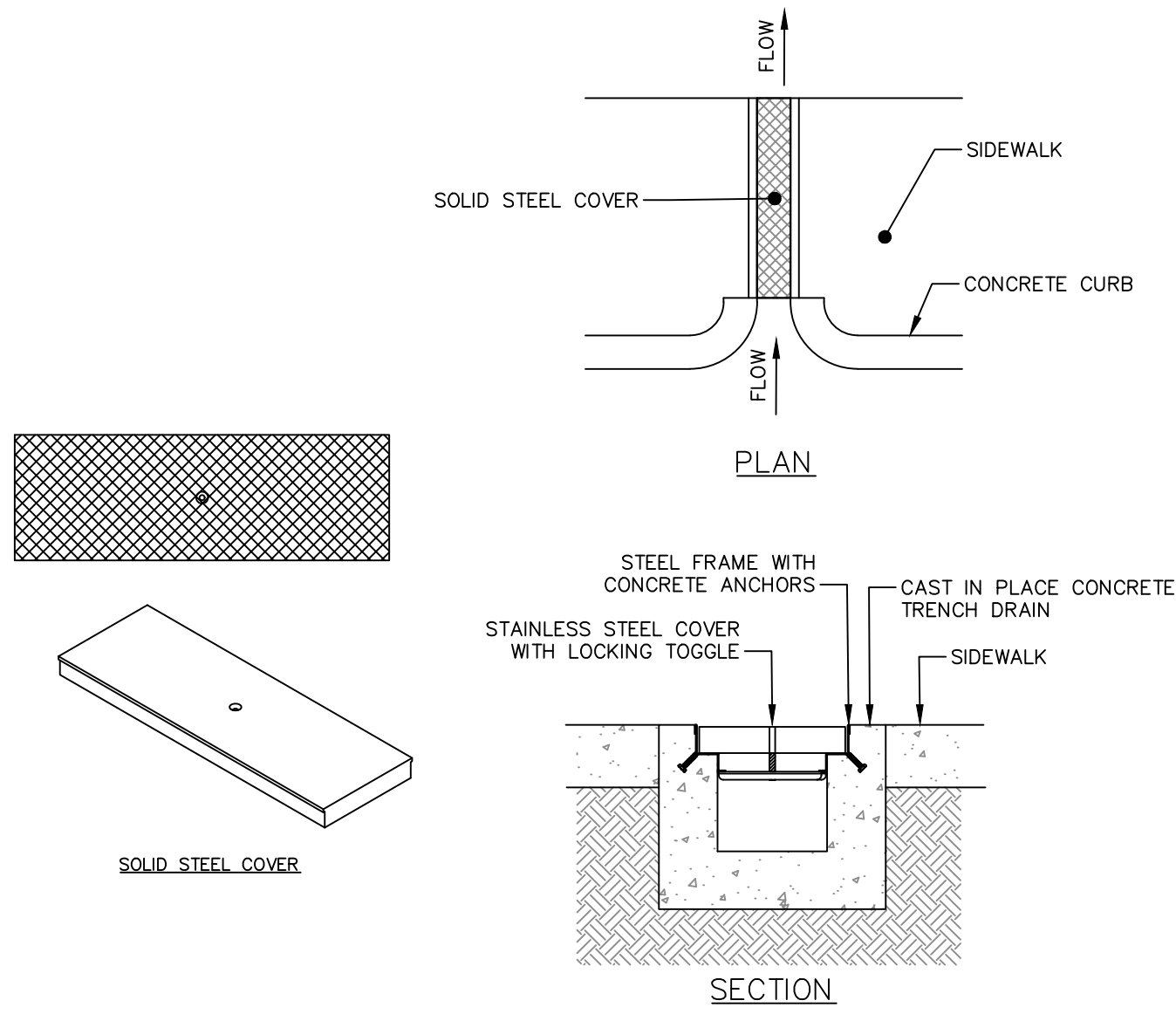
- NOTE:
- SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'.  
BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 1  
NOT TO SCALE



- NOTE:
- SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'.  
BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 2  
NOT TO SCALE



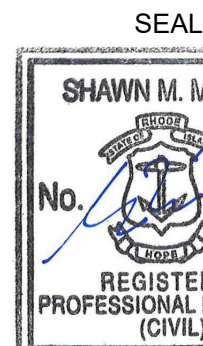
TRENCH DRAIN (SOLID COVER)  
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



SCALE:
HORZ.: AS NOTED
VERT.:
DATUM:
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GRAPHIC SCALE



BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

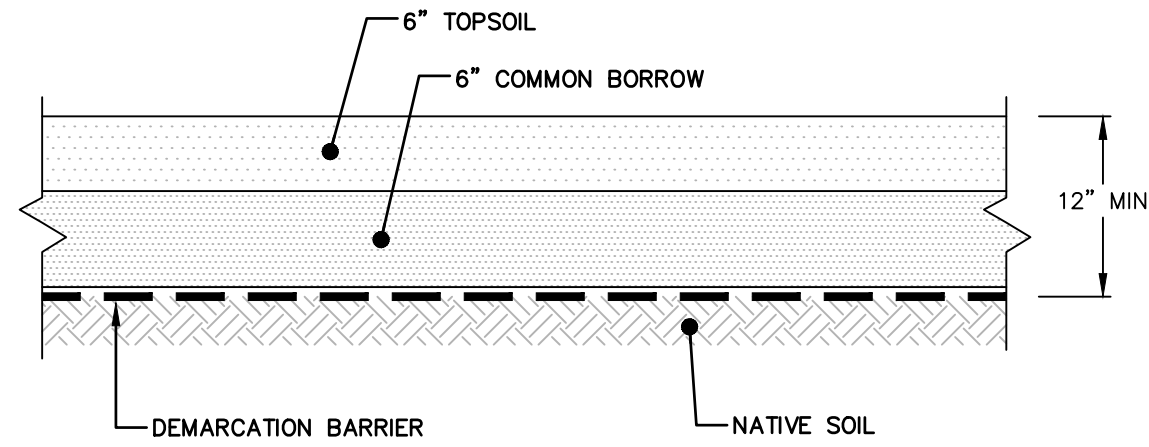
PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

CD-505

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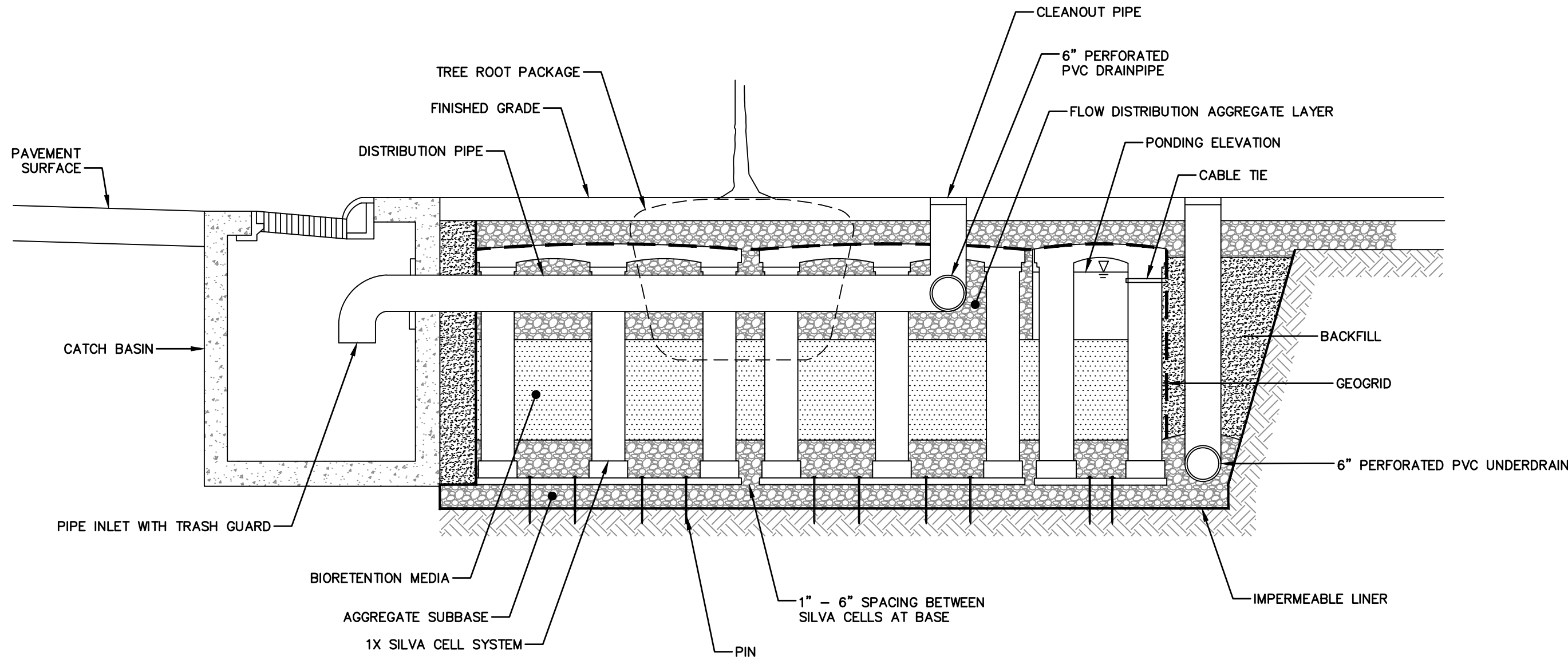
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NOTES:

- IMPORTED CLEAN SOIL MUST BE LABORATORY TESTED TO DEMONSTRATE COMPLIANCE WITH THE REMEDIAL ACTION WORK PLAN.
- REUSE TOPSOIL ON-SITE. VERIFY SUITABILITY OF STOCKPILED TOPSOIL TO PRODUCE LOAM. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEOUS MATERIALS HARMFUL TO PLANT GROWTH.
- SUPPLEMENT WITH IMPORTED OR MANUFACTURED LOAM FROM OFF-SITE. SOURCES WHEN QUANTITIES ARE INSUFFICIENT, OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED CONSTRUCTION OR MINING SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP.
- LOAM OR RESPREAD TOPSOIL SHALL CONFORM TO ASTM D5268, WITH PH BETWEEN 5.5 AND 7, A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER AND FREE OF OTHER EXTRANEOUS MATERIALS. SHALL NOT BE OBTAINED FROM AGRICULTURAL LAND, BOGS, OR MARSHES.
- ALL SURFACED AREAS OR DISTURBED AREAS NOT SPECIFIED ON THE PLANS SHALL RECEIVE 4 INCHES OF LOAM OR RESPREAD TOPSOIL, SEED, MULCH, AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CLEAN SOIL SHALL ONLY BE IMPORTED WHERE CURRENT CAP MATERIAL DOES NOT MEET CAP REQUIREMENT OF 24-INCHES.
- SEE LANDSCAPE PLANS FOR FINISH SURFACE TREATMENTS.
- SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.

SOIL CAP  
NOT TO SCALE

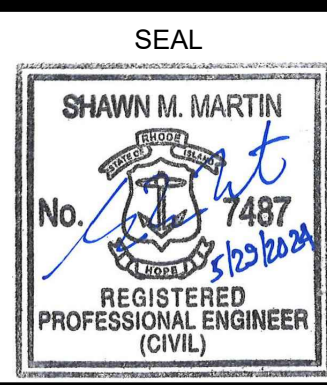


TREE FILTER 1 & 2  
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER



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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

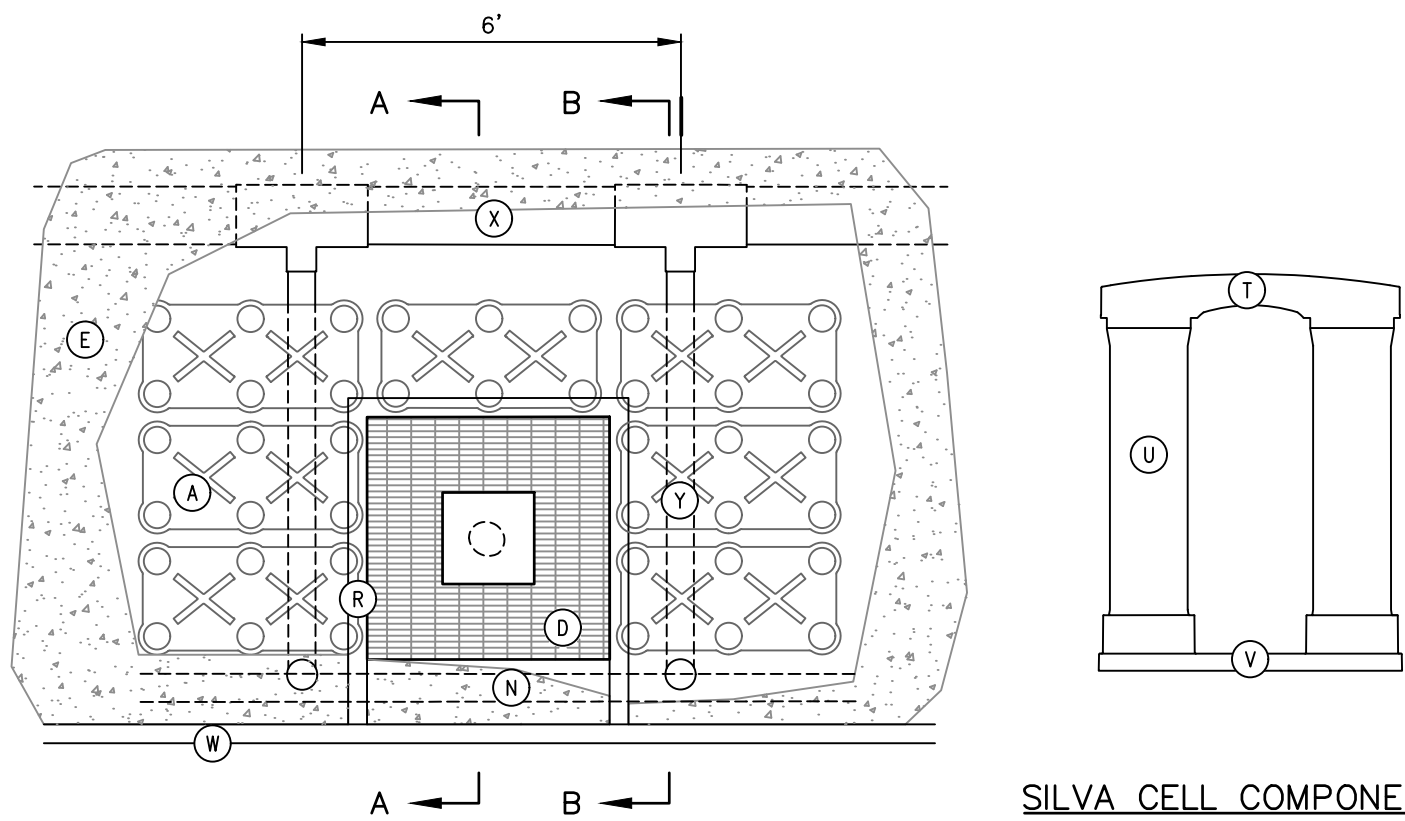
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
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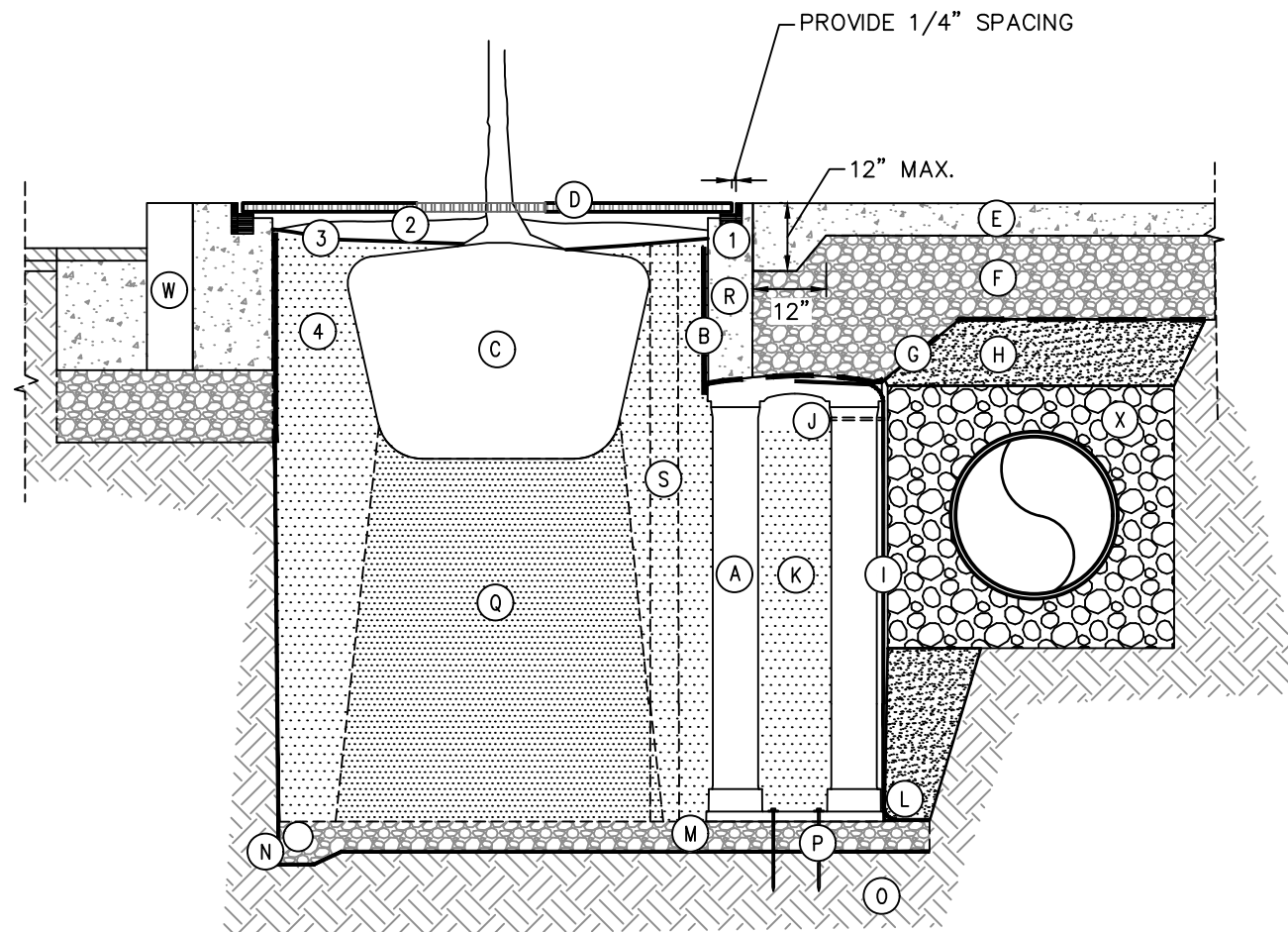
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SHEET 21 OF 28

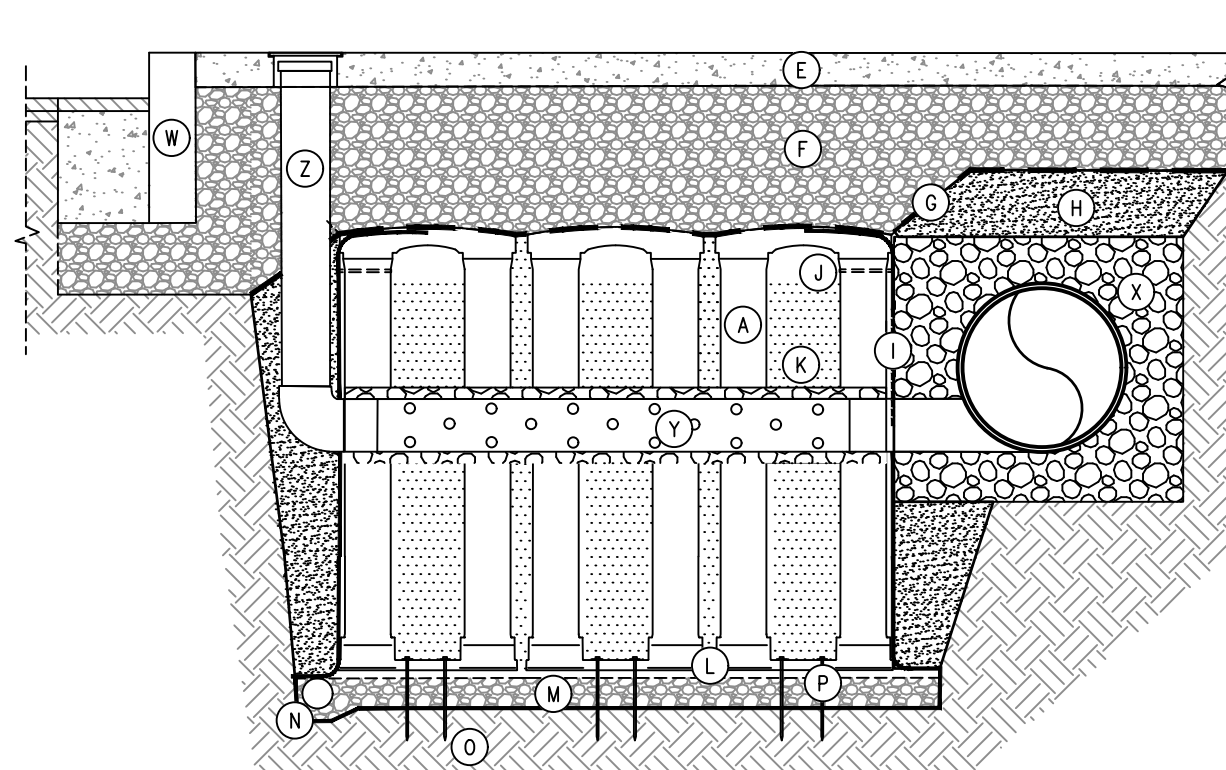


SILVA CELL COMPONENTS

PLAN



SECTION A-A



SECTION B-B

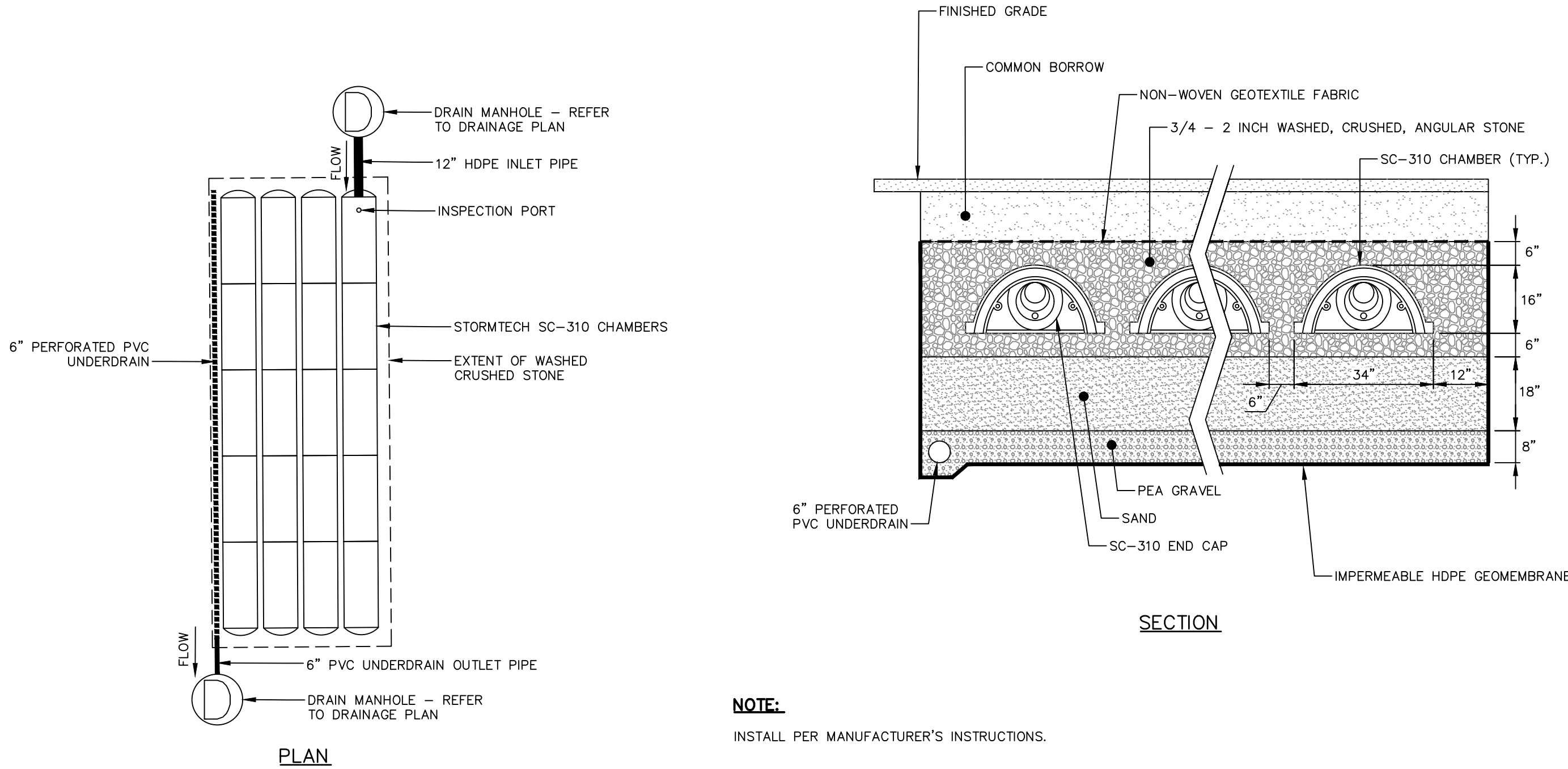
KEY PLAN

- (A) SILVA CELL 2 SYSTEM (DECK, BASE, AND POSTS).
- (B) DEEPROOT ROOT BARRIER DEEPROOT ROOT BARRIER INSTALLED TO A DEPTH 18 INCHES BELOW TOP OF TREE PIT.
- (C) TREE ROOT PACKAGE, SIZE VARIES. REMOVE ALL TWINE & STRAPS. CUT AND REMOVE BURLAP AND WIRE CAGE FROM TOP 1/2 OF BALL. REMOVE ALL SYNTHETIC MATERIALS.
- (D) TREE GRATE ASSEMBLY WITH CONCRETE ANCHOR.
- (E) EXPOSED AGGREGATE CONCRETE SIDEWALK WITH HAUNCHED EDGE
- (F) GRAVEL BORROW COURSE. GRAVEL BORROW, 18-INCH DEPTH ABOVE SILVA CELLS. TRANSITION TO STANDARD GRAVEL BORROW DEPTH PER CONCRETE SIDEWALK DETAIL.
- (G) GEOTEXTILE TO EDGE OF EXCAVATION.
- (H) BACKFILL, TO WITHIN 4-6" BELOW TOP OF SILVA CELL DECKS. INSTALL IN 8" LIFTS, EACH COMPACTED TO 95% MODIFIED PROCTOR.
- (I) IMPERMEABLE LINER.
- (J) CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
- (K) PLANTING SOIL TO 7" BELOW DECK, MANUALLY COMPACTED TO APPROXIMATE 70% MODIFIED PROTOR.
- (L) 1" - 6" SPACING BETWEEN SILVA CELLS AT BASE.
- (M) 4" MIN. GRAVEL BORROW, COMPACTED TO 95% MODIFIER MODIFIED PROCTOR.
- (N) 6" PERFORATED PVC UNDERDRAIN PIPE, 0.0 FT/FT SLOPE.
- (O) SUBGRADE, COMPACTED TO 95% MODIFIED PROCTOR.
- (P) PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
- (Q) PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% MODIFIED PROCTOR.
- (R) 18-INCH CAST-IN-PLACE CONCRETE CURB TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.
- (S) 4" PERFORATED PVC INSPECTION RISER TO PROVIDE FOR MONITORING OF SOIL MOISTURE.
- (T) SILVA CELL DECK
- (U) SILVA CELL POST
- (V) SILVA CELL BASE
- (W) 18-INCH GRANITE CURB IN EXISTING PAVEMENT
- (X) 18" X 6" HDPE MANIFOLD, 0.0 FT/FT SLOPE, INSTALL PER STORM DRAIN TRENCH DETAIL.
- (Y) 6" PERFORATED PVC PIPE, 0.0 FT/FT SLOPE, ENCASED IN 3" OF CLEAN, WASHED, 1" DIAMETER CRUSHED STONE. PERFORATIONS MUST FACE DOWN.
- (Z) 6" SOLID PVC CLEANOUT, CAPPED, WITH ROUND, HEAVY-DUTY CAST IRON FRAME AND COVER.
- (1) SQUARE FRAME FRAME SET IN CONTINUOUS 4"x6" CONCRETE RING. INSURE PROPER EQUAL SLOPES ON ALL SIDES TO PROVIDE CONSISTENT SEAT FOR TREE GRATES. VARIATIONS OR WOBBLING GRATES WILL NOT BE PERMITTED
- (2) ORGANIC MULCH
- (3) WEED BARRIER
- (4) BACKFILL WITH PLANTING SOIL MIXTURE IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. DO NOT TAMP. (SEE TREE PLANTING DETAILS)

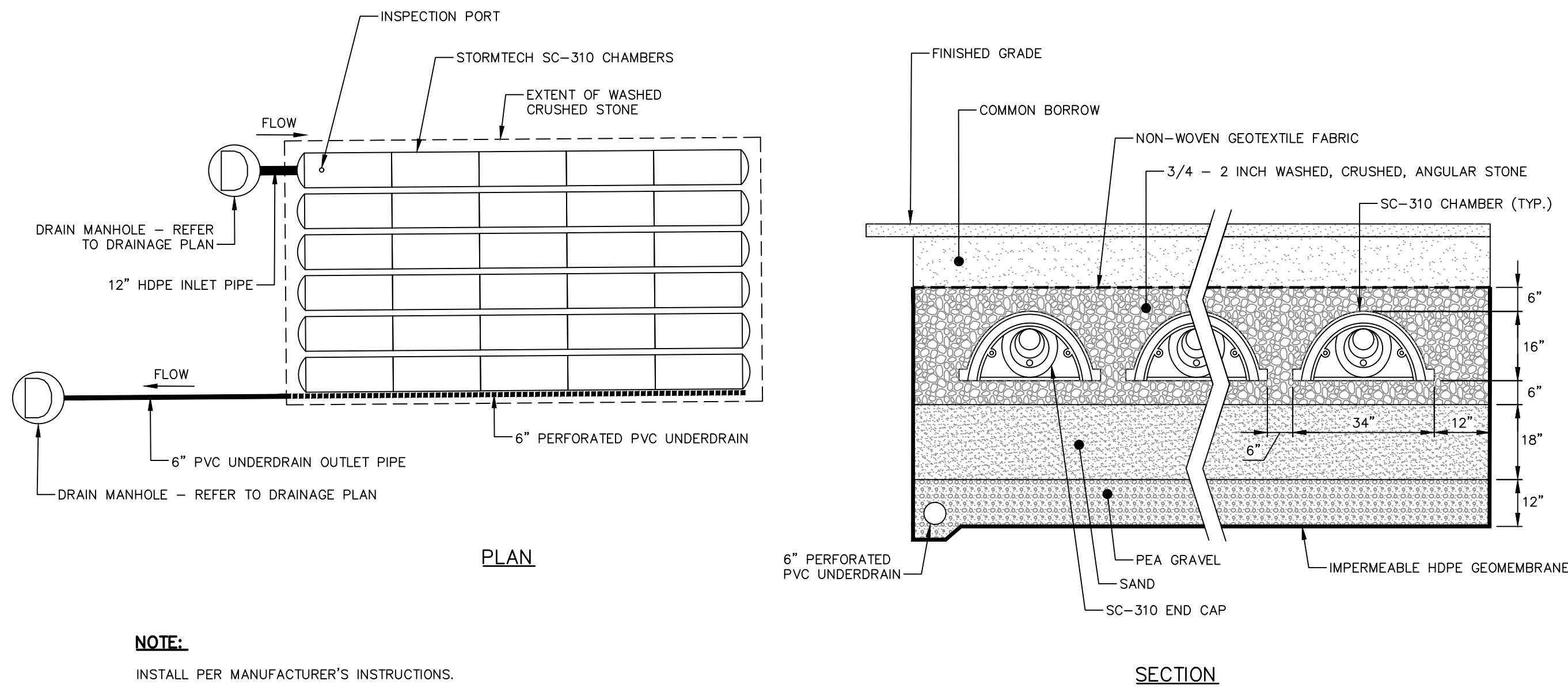
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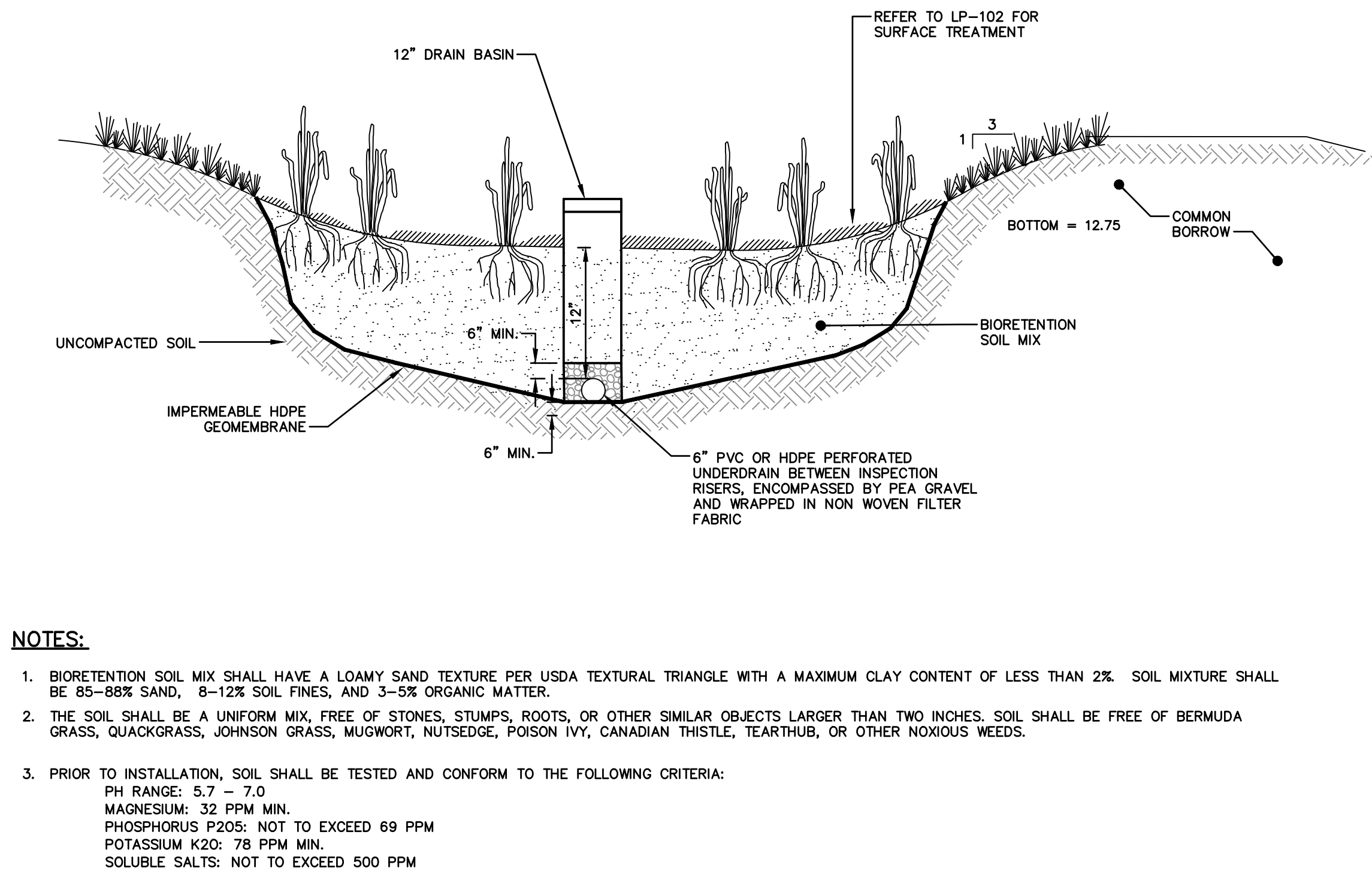
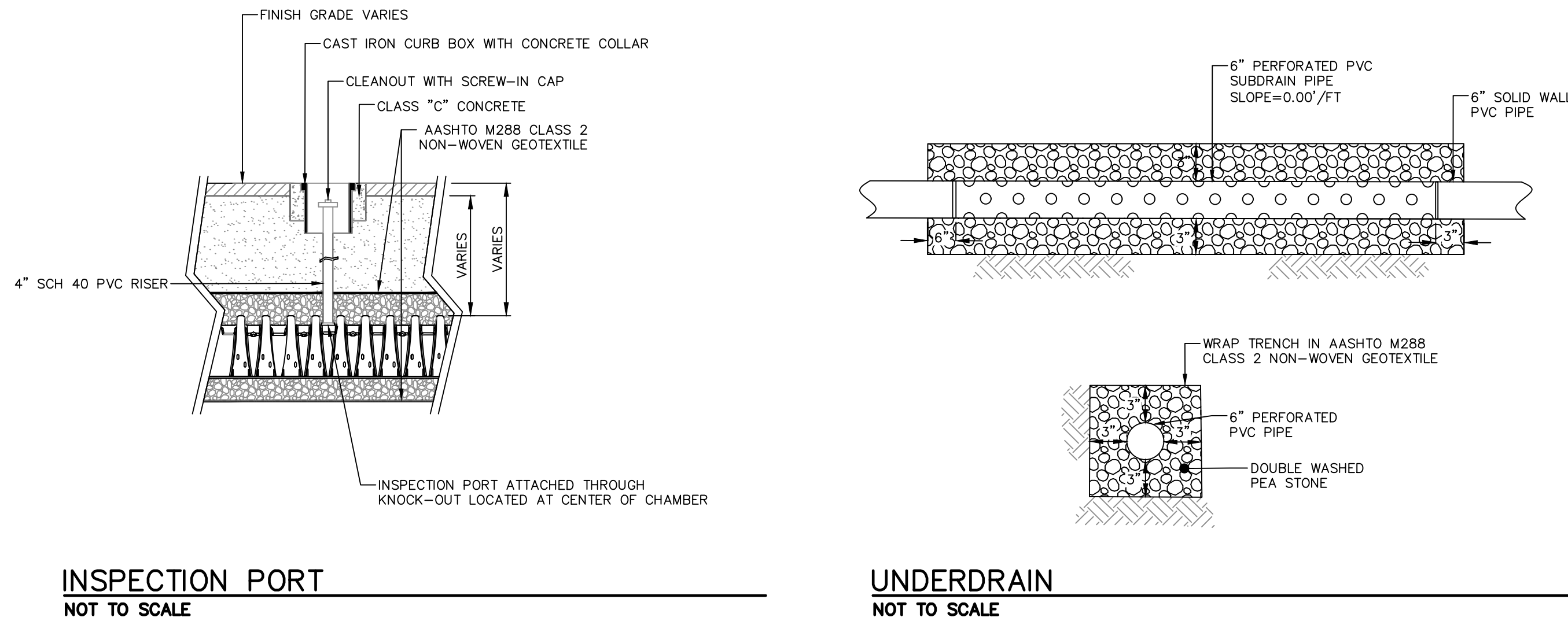
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SUBSURFACE FILTRATION SYSTEM 1  
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SUBSURFACE FILTRATION SYSTEM 2  
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RAIN GARDEN  
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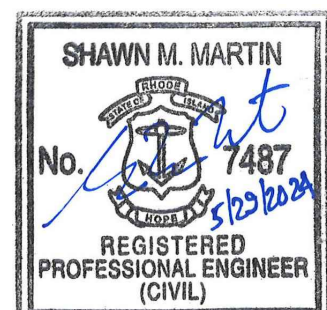
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

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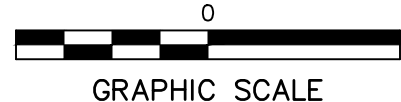
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

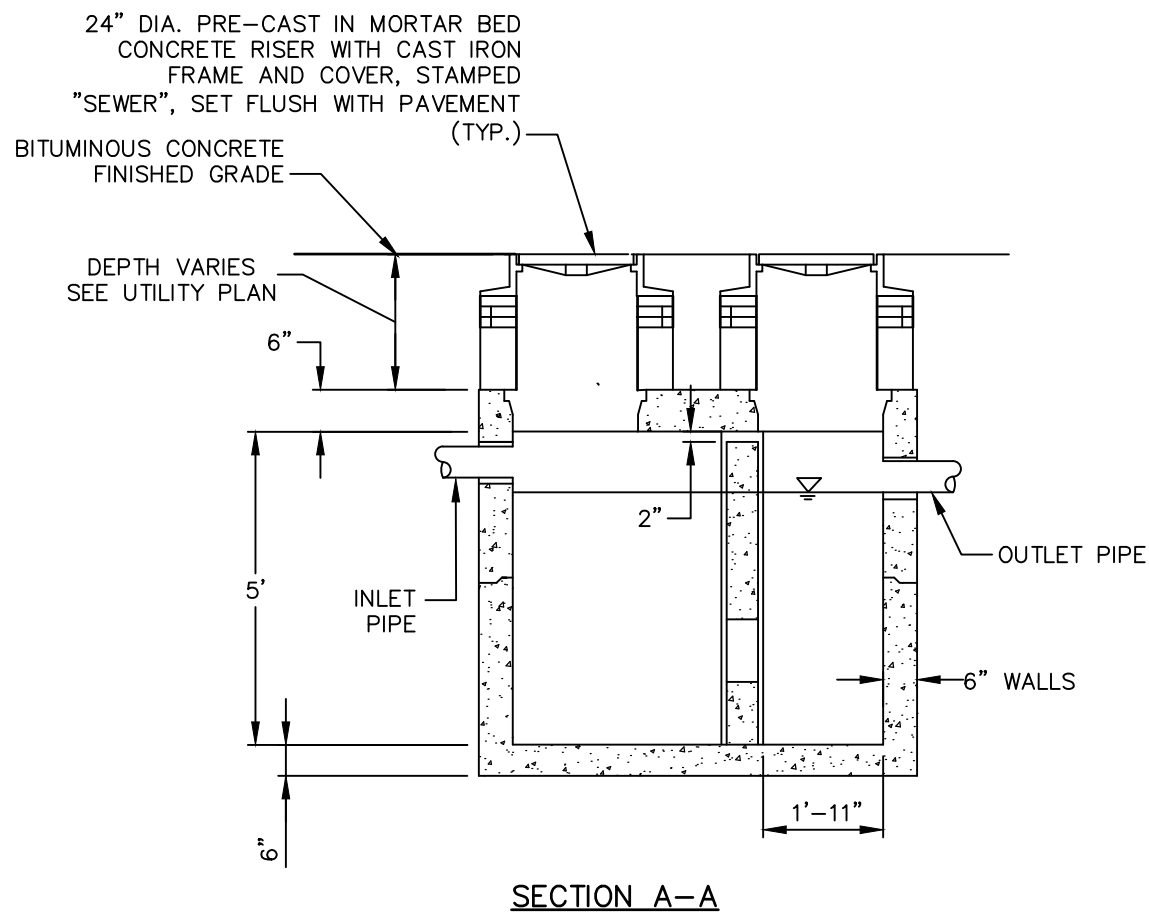
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DATE: DECEMBER 6, 2022

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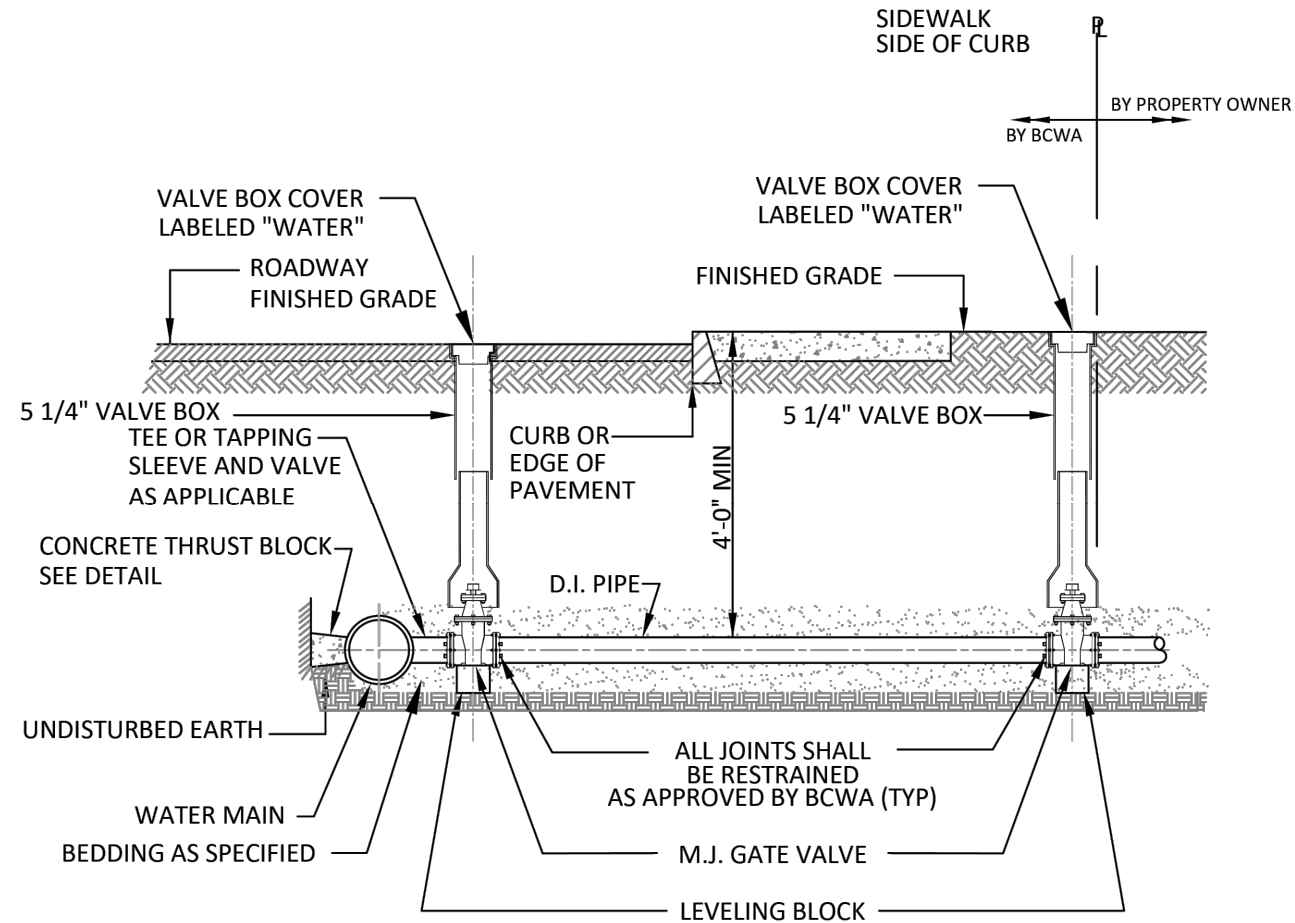
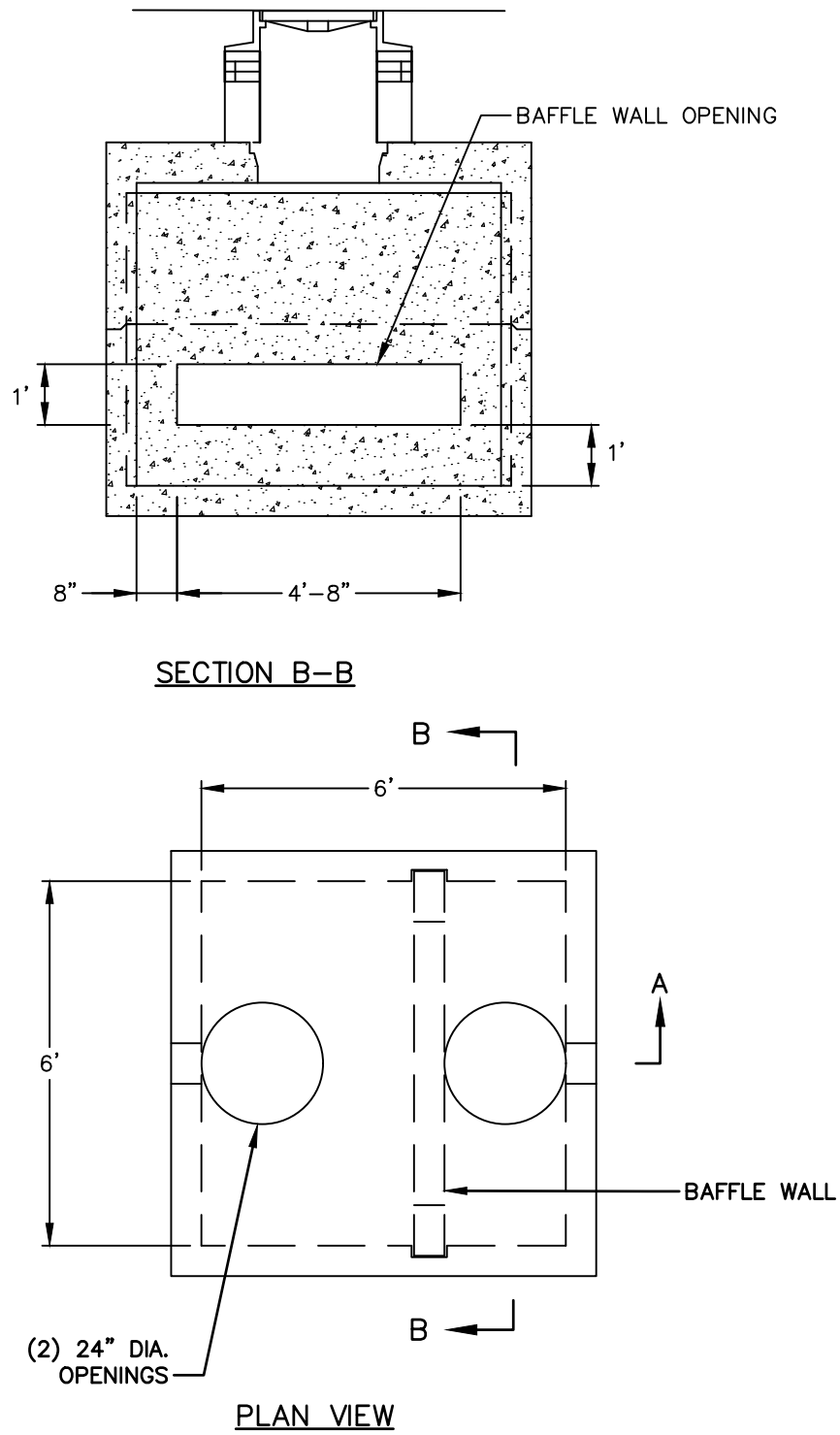
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- NOTES:
- VOLUME SHALL BE 1,000 GALLONS.
  - CONCRETE : 5,000 P.S.I. MINIMUM STRENGTH @ 28 DAYS
  - STEEL REINFORCING ASTM A-615, GRADE 60
  - COVER TO STEEL 1" MINIMUM
  - TANKS SHALL MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING
  - EARTH COVER 0 MIN. TO 5 FEET MAX
  - EARTH COVER 0 MIN. TO 5 FEET MAX

### OIL/WATER SEPARATOR

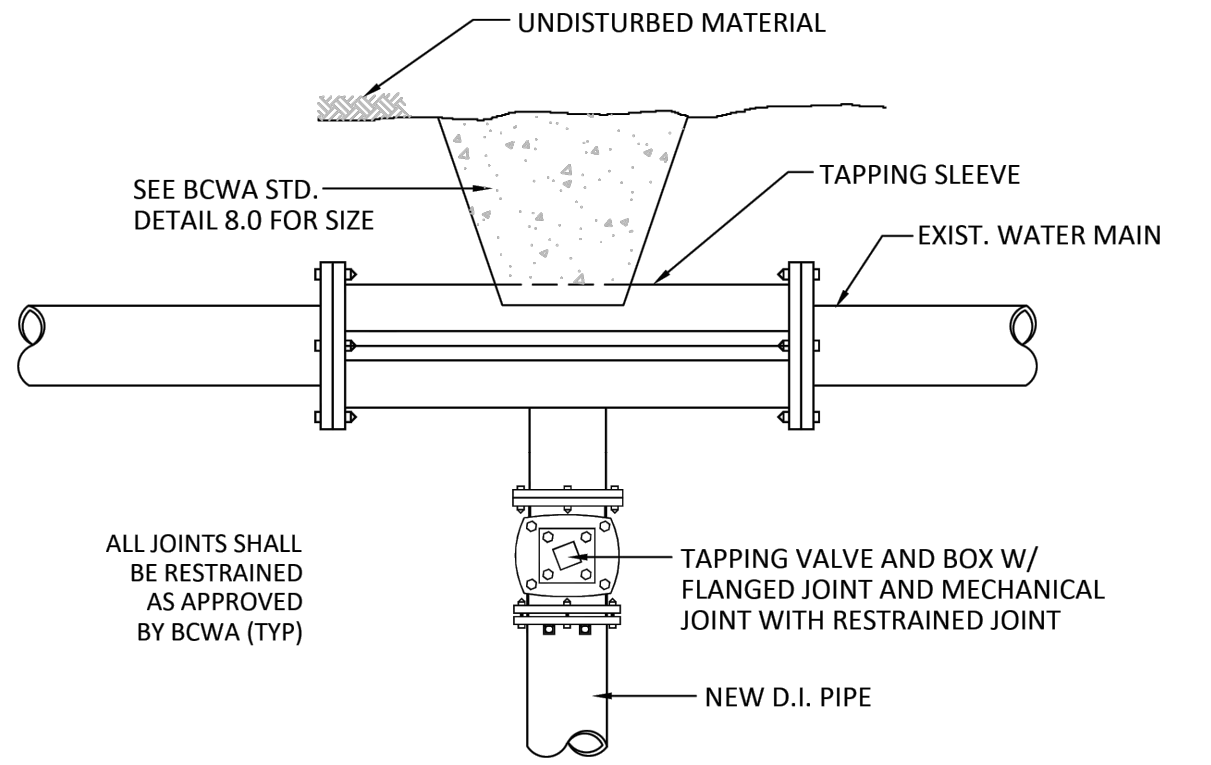
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- NOTE:
- ALL SERVICE MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
  - SERVICE LINE FROM GATE BOX TO BUILDING SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
  - TAPPING SLEEVE TO BE PRESSURE TESTED PRIOR TO INSTALLATION.
  - STREET SIDE OF SERVICE TO BE INSTALLED FIRST, LOCATION TO BE DETERMINED BY BCWA.
  - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

### SERVICE CONNECTION 4 INCHES & GREATER (BCWA DETAIL 10C)

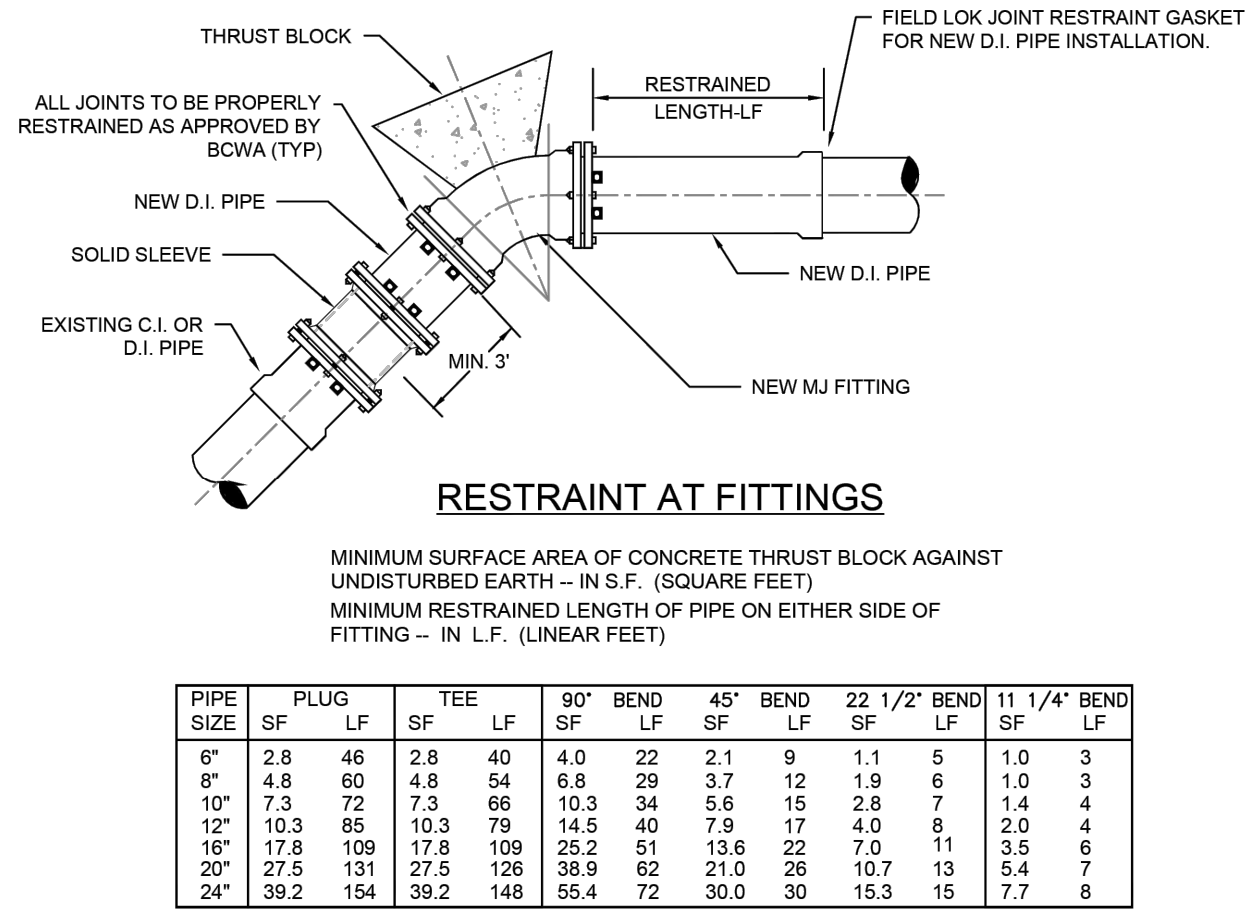
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- NOTE:
- TAPPING SLEEVE, VALVE AND PIPE TO BE DISINFECTED WITH CHLORINE SOLUTION PRIOR TO INSTALL.
  - TAPPING SLEEVE TO BE PRESSURE TESTED USING AIR PRIOR TO TAPPING PIPE.
  - ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
  - THRUST BLOCK PER BCWA SPECIFICATIONS. SEE BCWA STD. DETAIL 8.0.
  - ALL WORK AND MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
  - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

### TAPPING SLEEVE AND VALVE (BCWA DETAIL 3)

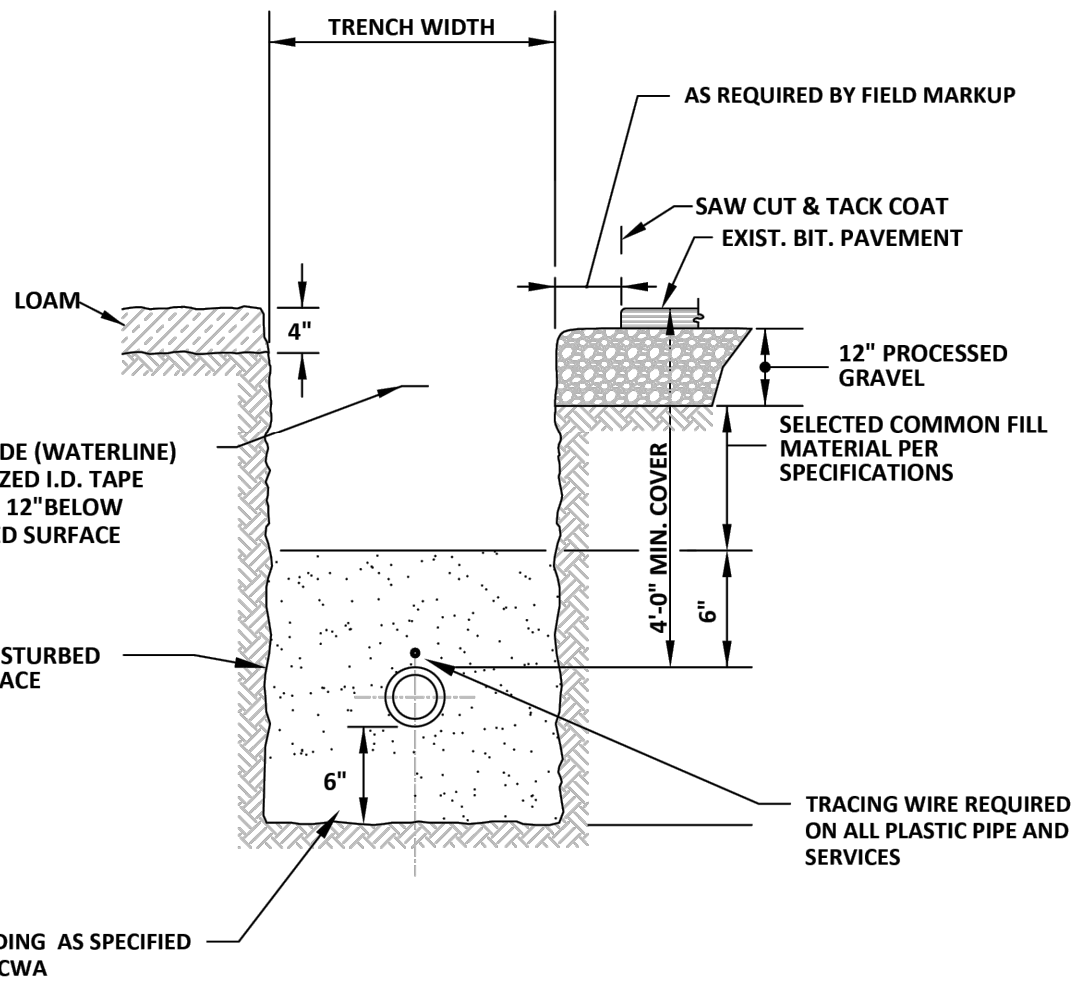
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- RESTRAINT AT FITTINGS
- MINIMUM SURFACE AREA OF CONCRETE THRUST BLOCK AGAINST UNDISTURBED EARTH - IN S.F. (SQUARE FEET)
- MINIMUM RESTRAINED LENGTH OF PIPE ON EITHER SIDE OF FITTING - IN L.F. (LINEAR FEET)
- | PIPE SIZE | PLUG SF | TEE SF | 90° BEND SF | 45° BEND SF | 22 1/2° BEND SF | 11 1/4° BEND SF |
|-----------|---------|--------|-------------|-------------|-----------------|-----------------|
| 6"        | 2.8     | 4.6    | 2.8         | 4.0         | 2.2             | 1.1             |
| 8"        | 4.8     | 6.0    | 4.8         | 6.4         | 3.7             | 1.9             |
| 10"       | 7.3     | 7.2    | 7.3         | 6.6         | 5.6             | 2.8             |
| 12"       | 10.3    | 8.5    | 10.3        | 7.9         | 7.9             | 4.0             |
| 16"       | 17.8    | 10.9   | 17.8        | 10.9        | 25.2            | 13.6            |
| 20"       | 27.5    | 13.1   | 27.5        | 12.6        | 38.9            | 21.0            |
| 24"       | 39.2    | 15.4   | 39.2        | 14.8        | 55.4            | 30.0            |
1. ALL CONCRETE TO BE CLASS B (AE)
2. THE "SF" VALUES IN THE ABOVE TABLE ARE BASED ON 3000 p.s.f. SOIL BEARING CAPACITY, 150 p.s.i. TEST PRESSURE AND A 1.5 FACTOR OF SAFETY.
3. THE "LF" VALUES IN THE ABOVE TABLE ARE BASED ON A TYPE 3 LAYING CONDITION, A SAND SILT SOIL DESIGNATION, A 5 FOOT RUN LENGTH, 150 p.s.i. TEST PRESSURE AND A 1.5 FACTOR OF SAFETY AS USED IN THE "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" COMPUTER PROGRAM BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION.
4. IF SOIL CONDITIONS OR EXCAVATION LIMITS ENCOUNTERED DURING CONSTRUCTION MAKE IT UNFEASIBLE TO PLACE THRUST BLOCKS AGAINST UNDISTURBED EARTH OF THE PROPER BEARING CAPACITY, THE CONTRACTOR SHALL DESIGN AND PLACE SPECIAL REACTION BLOCKS OF SUFFICIENT WEIGHT TO RESIST FULL THRUST UNDER ALL CONDITIONS. THE DESIGN SHALL BE SUBJECT TO BCWA APPROVAL.
5. MINIMUM SURFACE AREAS SHALL BE INCREASED BY 50% IF DEEMED NECESSARY BY THE ENGINEER.
6. A MECHANICAL JOINT RESTRAINT SYSTEM MUST BE USED FOR VERTICAL BENDS.
7. AT THE DISCRETION OF THE ENGINEER, A JOINT RESTRAINT SYSTEM MAY BE SUBSTITUTED FOR OR USED IN COMBINATION WITH PROPER THRUST BLOCKING.
8. A 48 HR. CURING PERIOD MUST BE GIVEN BEFORE FULL LINE PRESSURE CAN BE APPLIED TO NEW CONCRETE THRUST BLOCKS.
9. THRUST BLOCK DESIGN FOR PIPE LARGER THAN 24" SHALL BE REVIEWED ON AN INDIVIDUAL BASIS BY THE BCWA.
10. THE RESTRAINED LENGTH IS BASED ON DUCTILE IRON PIPE WITH 4 FOOT COVER. IF THE DEPTH VARIES, OR THE DUCTILE IRON PIPE IS POLY WRAPPED THE RESTRAINED LENGTH MUST BE RE-CALCULATED.
11. WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

### CONCRETE THRUST BLOCK AND RESTRAINTS AT FITTINGS (BCWA DETAIL 8)

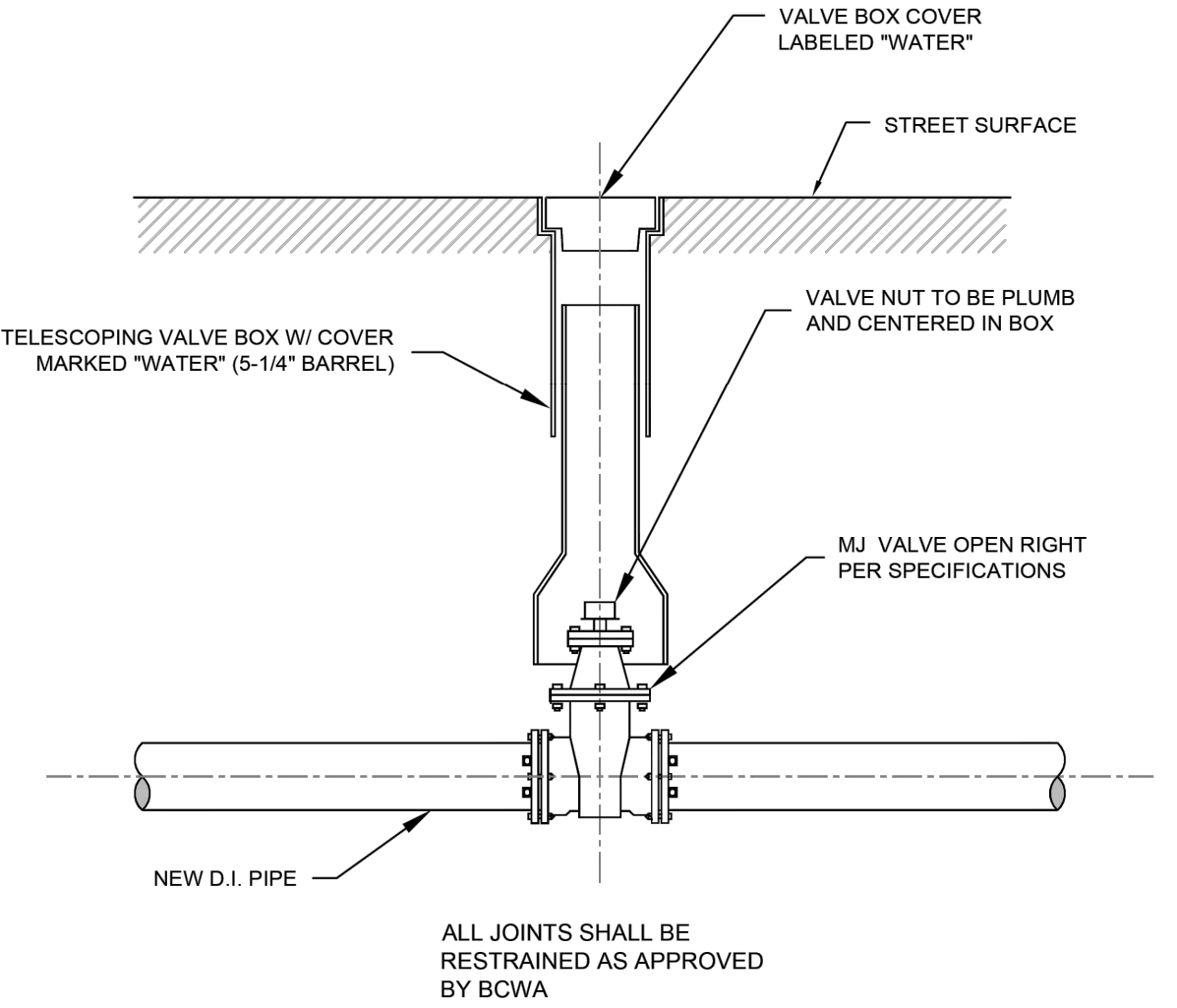
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- NOTES:
- ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS AND SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
  - ROADWAY AND SIDEWALK RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH ALL MUNICIPAL OR RIDOT PERMIT REQUIREMENTS.
  - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

### WATER TRENCH (BCWA DETAIL 1)

NOT TO SCALE



- NOTE:
- ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
  - ALL WORK AND MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
  - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

### GATE VALVE (BCWA DETAIL 3B)

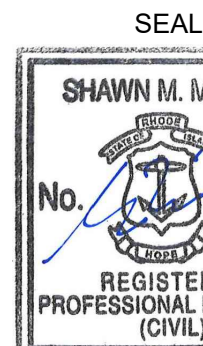
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### PLANNING BOARD APPROVAL

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

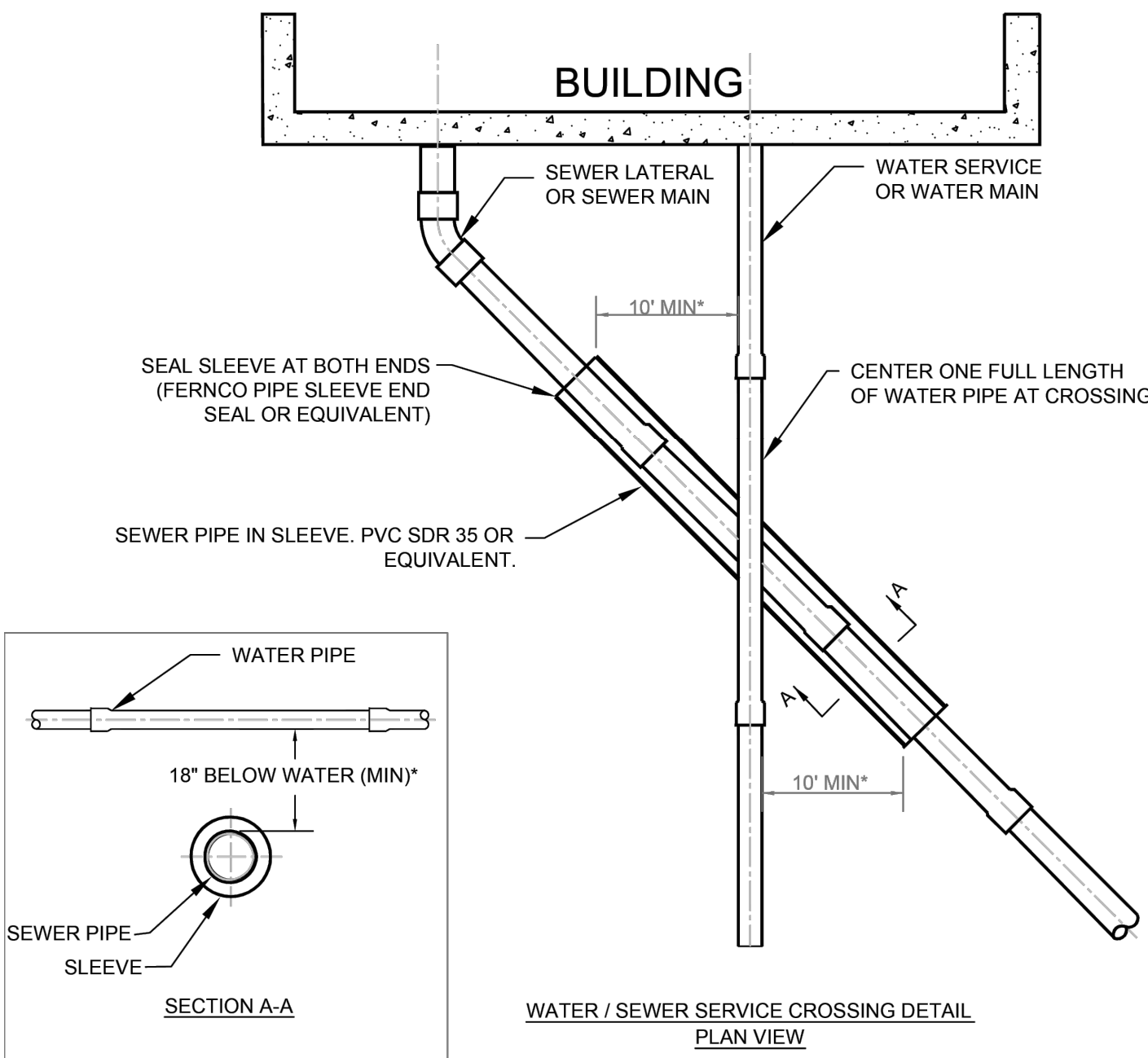
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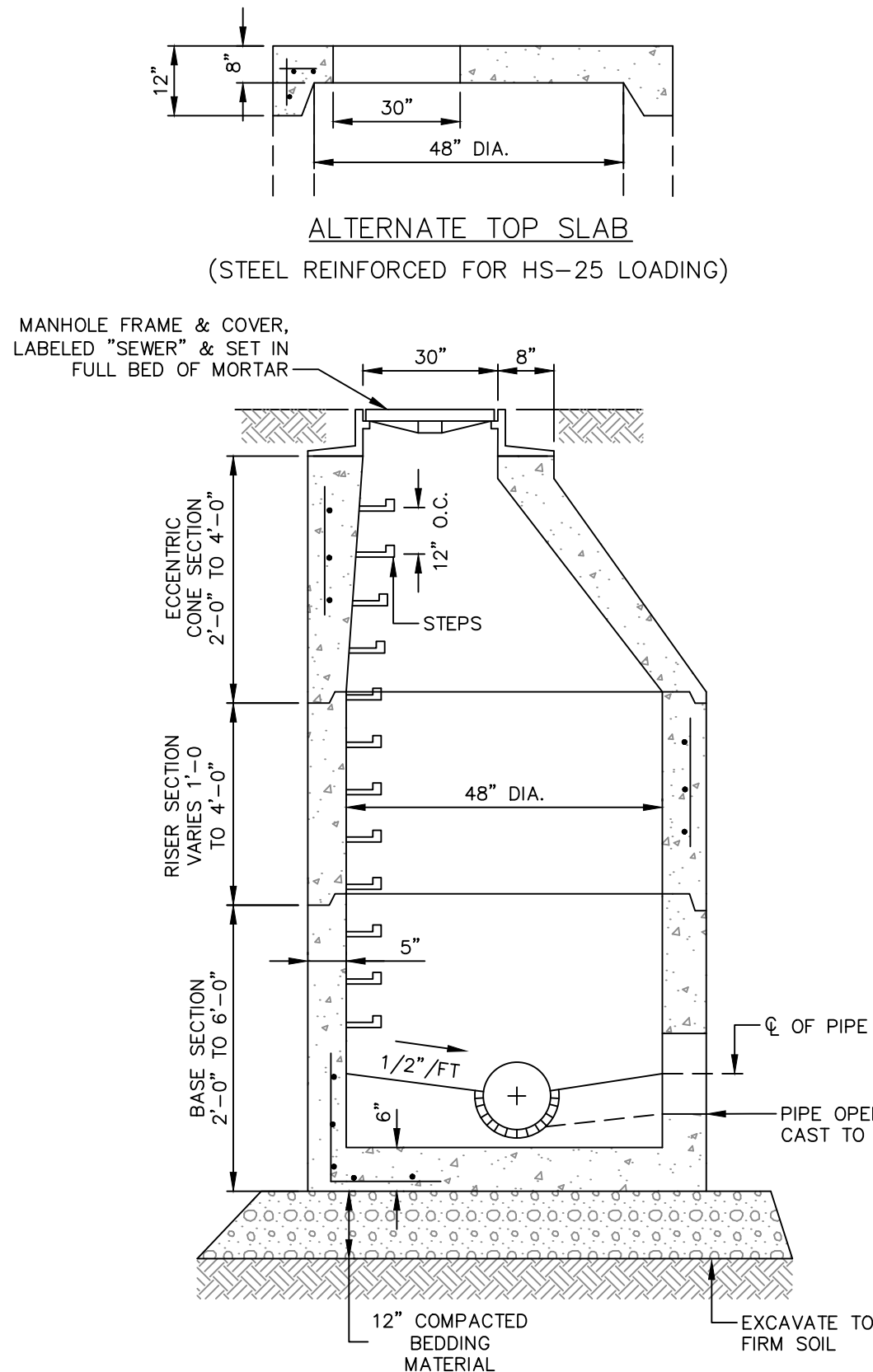
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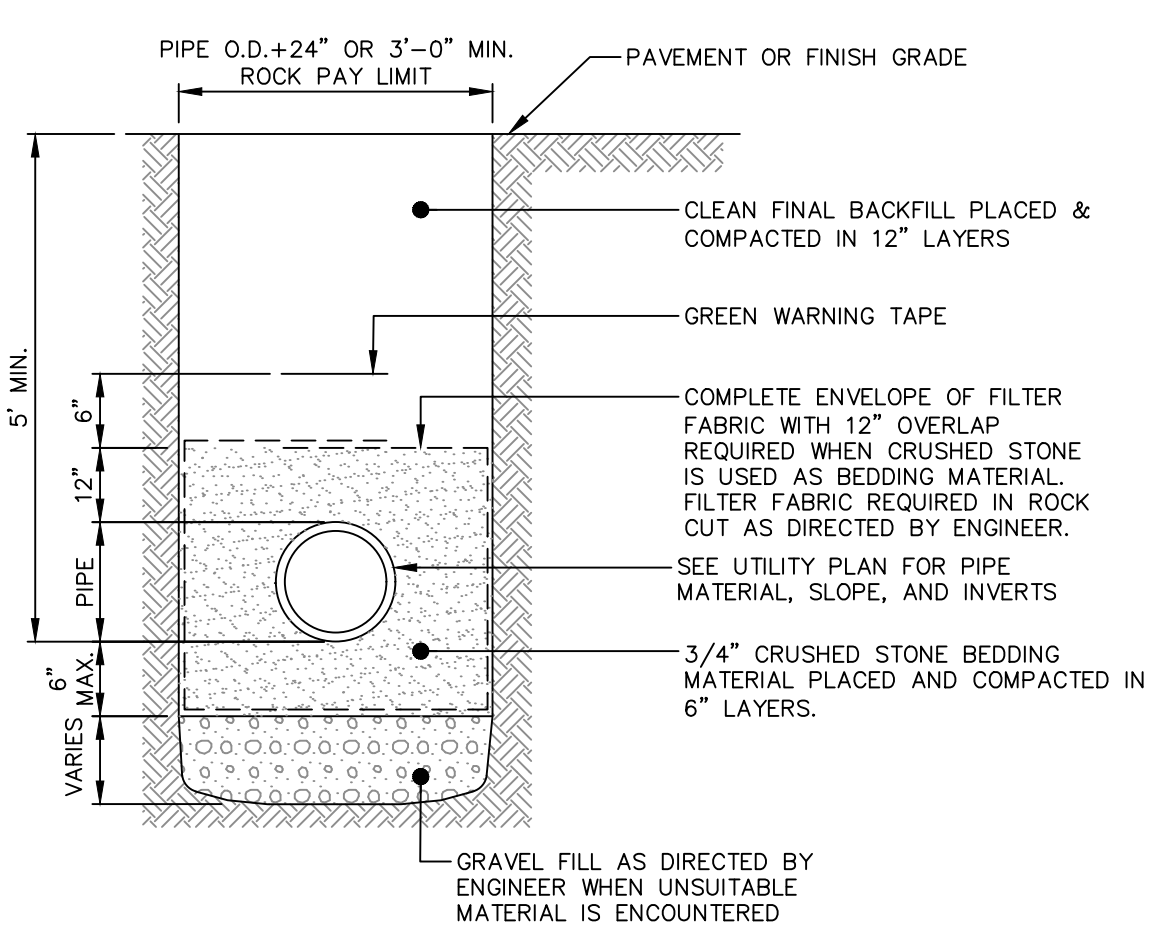


WATER & SEWER SERVICE CROSSING (BCWA DETAIL 9A)  
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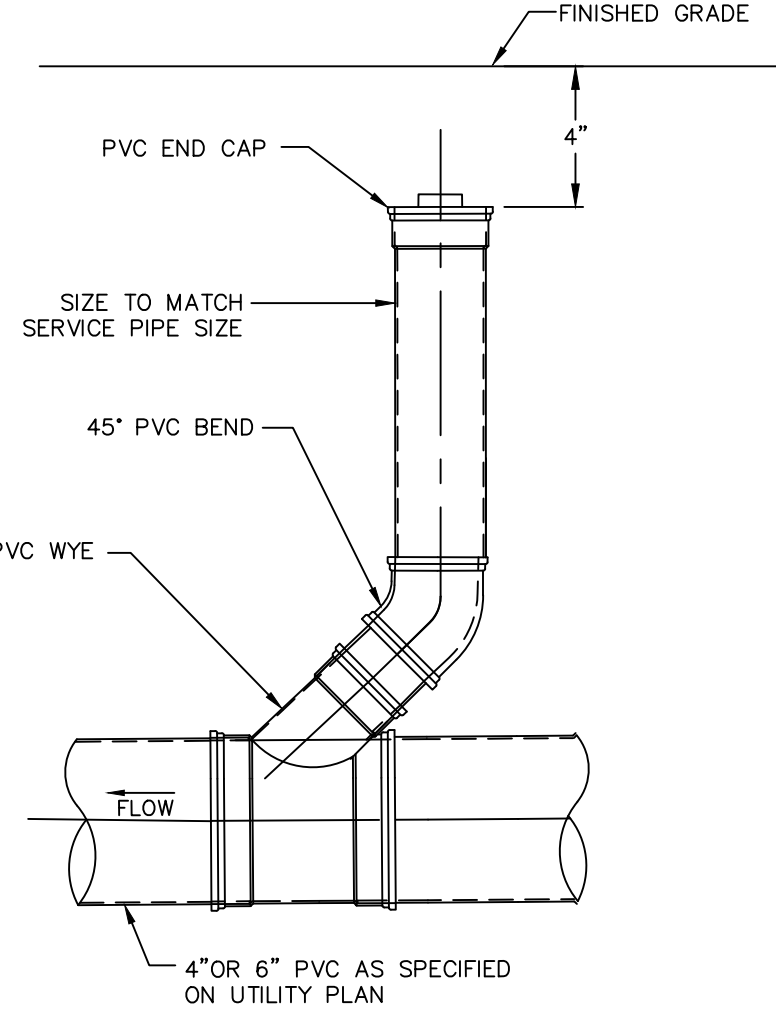
SECTION  
SEWER MANHOLE  
NOT TO SCALE

- NOTES:**
1. FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "SEWER"
  2. FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
  3. REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
    - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
    - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
  4. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
  5. ONE POUR MONOLITHIC BASE SECTION.
  6. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
  7. JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
  8. MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
  9. MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
  10. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
  11. INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.



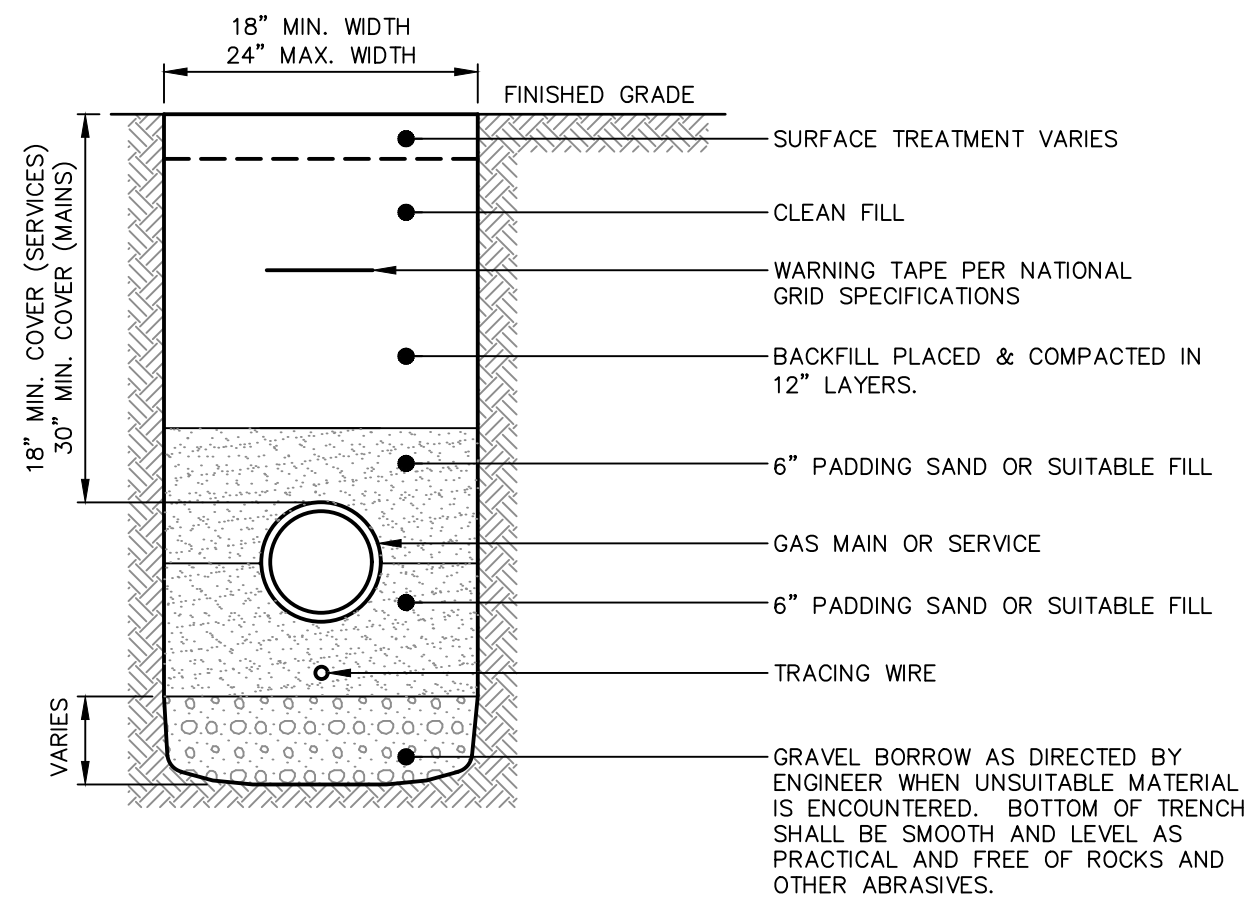
- NOTES:**
1. SEWER TO BE INSULATED WITH 2" RIGID FOAM WHEN LESS THAN 4' COVER IS PROVIDED.

SEWER TRENCH  
NOT TO SCALE



- NOTE:**
- IN PAVED AREAS, TURN ADJUSTABLE CLEAN-OUT WITH CAST IRON FRAME AND COVER SHALL BE USED IN LIEU OF PVC END CAP.

SEWER CLEANOUT  
NOT TO SCALE



- NOTES:**
1. BEDDING MATERIAL AND INITIAL BACKFILL SHALL BE CLEAN, FREE OF DEBRIS AND RUBBLE, AND FREE OF MATERIALS WHICH MAY CAUSE POLLUTION OF GROUNDWATER.
  2. SPOIL SHOULD BE SET BACK A MINIMUM OF TWO (2) FEET IN ACCORDANCE WITH OSHA REGULATIONS.
  3. GAS SERVICE MUST HAVE A MINIMUM HORIZONTAL SEPARATION OF THREE (3) FEET FROM PARALLEL UTILITIES. A ONE FOOT SEPARATION MUST BE MAINTAINED WHEN CROSSING OTHER UTILITIES.
  4. THE MAXIMUM TRENCH DEPTH FOR GAS MAINS IS 48-INCHES WHILE THE MAXIMUM TRENCH DEPTH FOR SERVICES IS 36-INCHES.

GAS TRENCH  
NOT TO SCALE

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SEAL

SEAL



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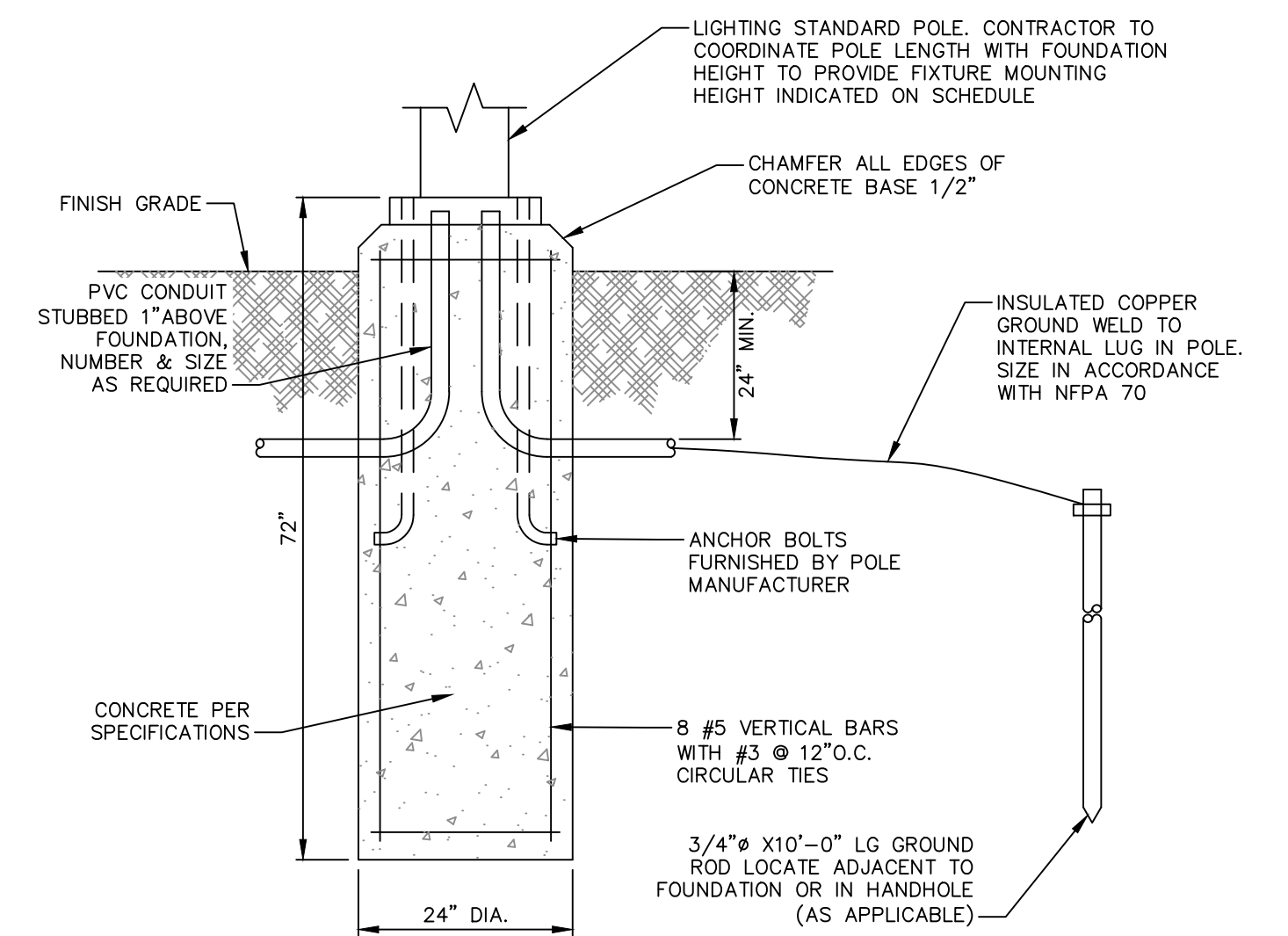
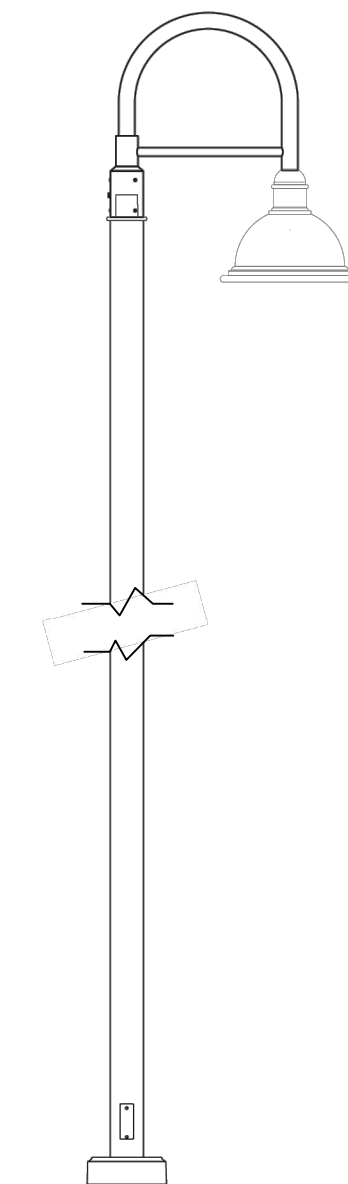
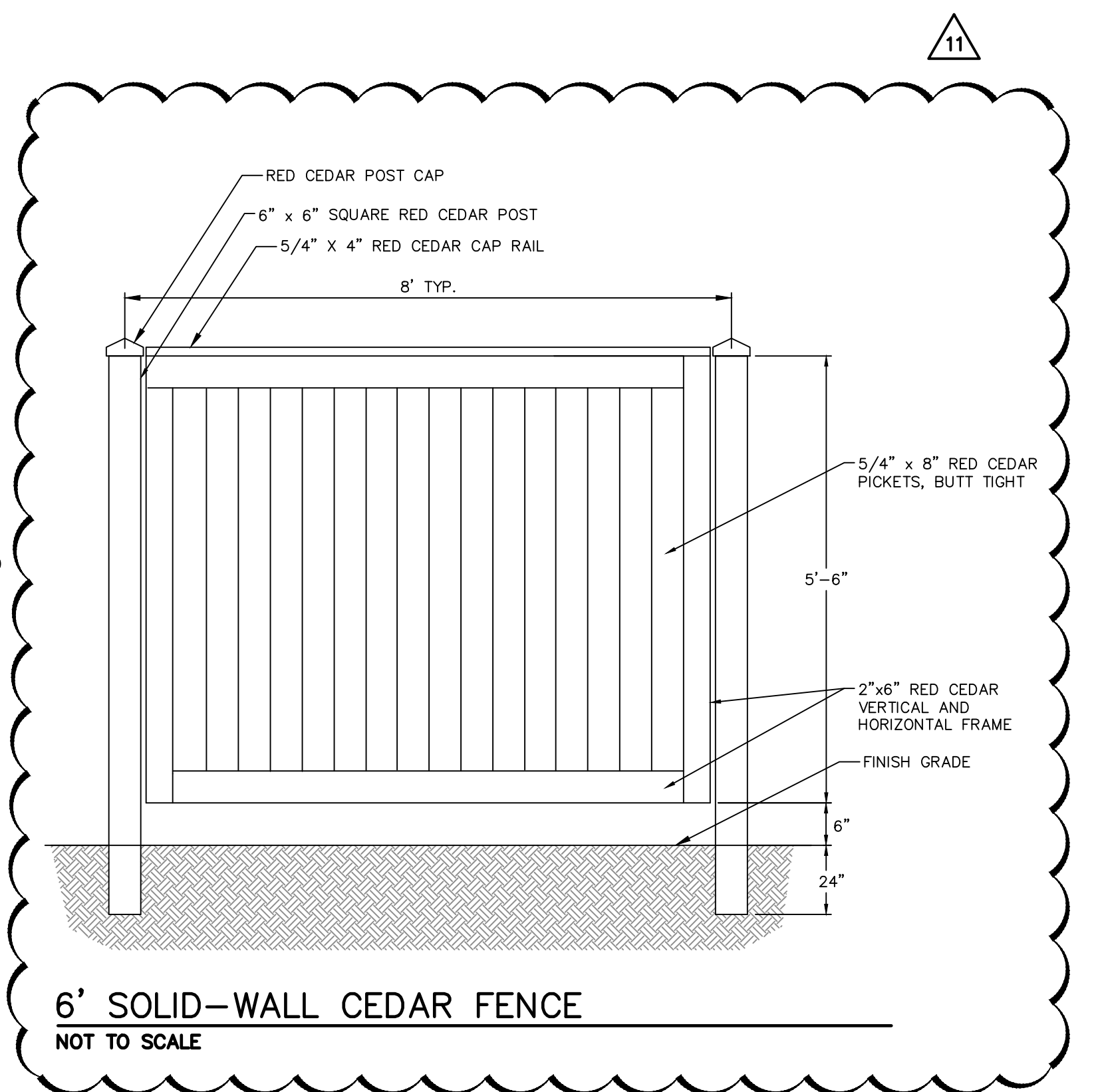
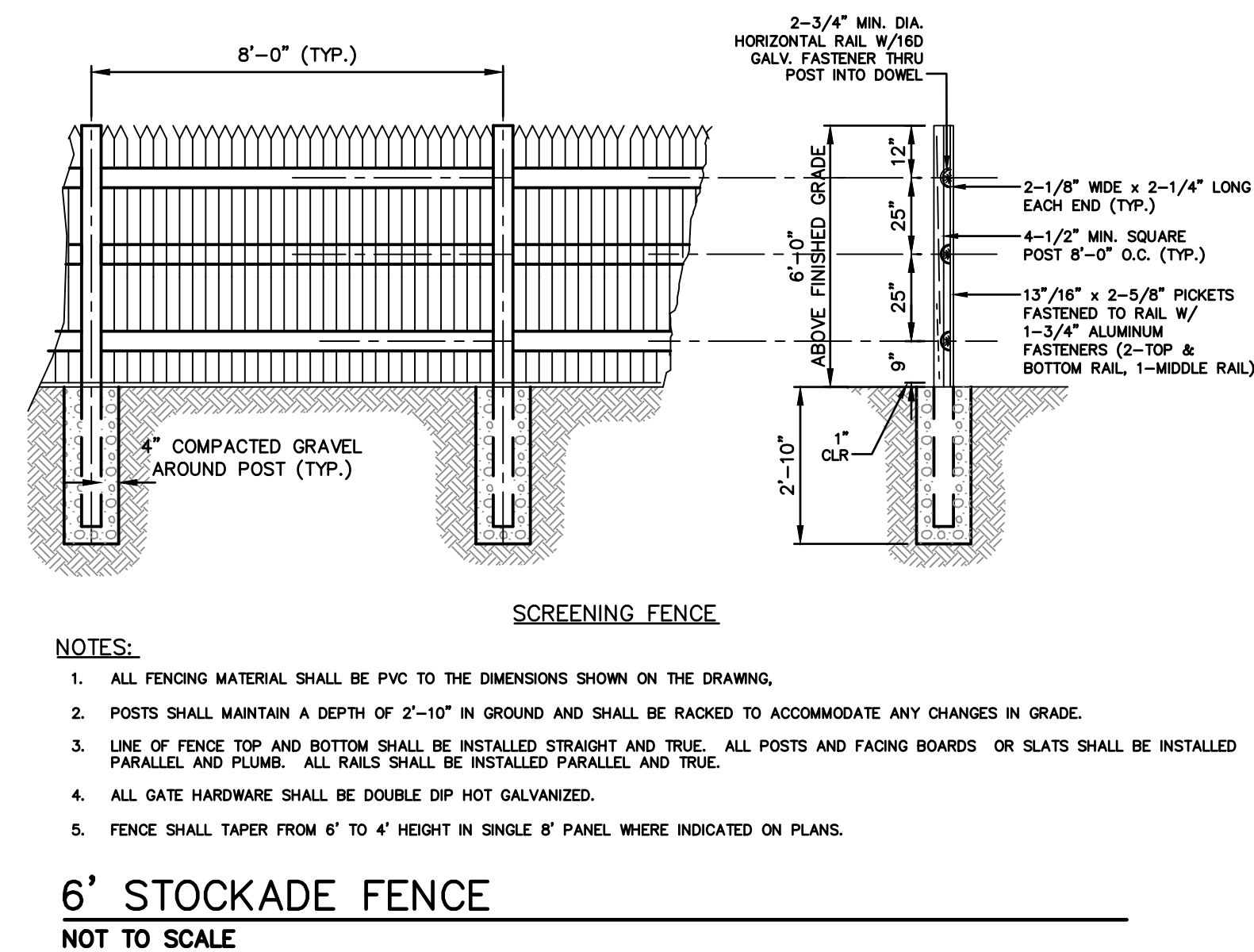
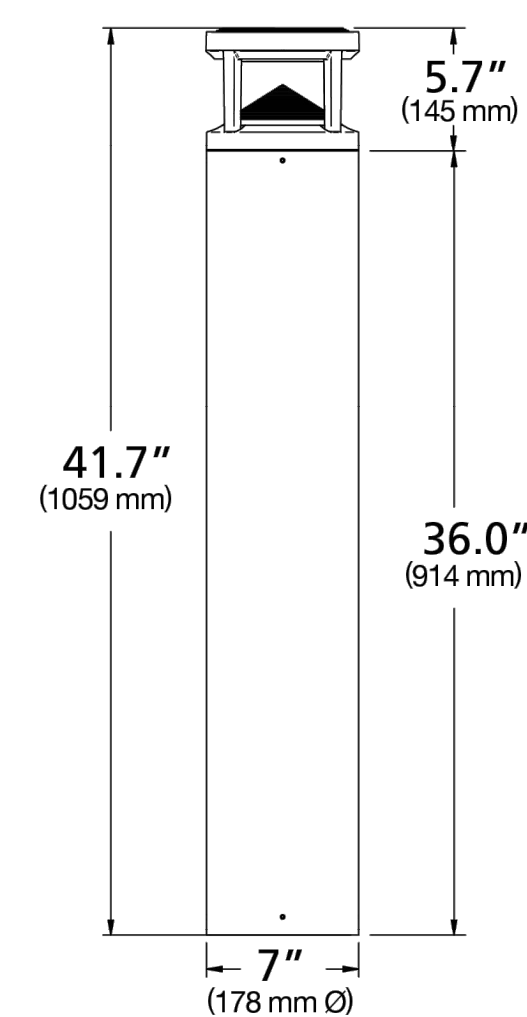
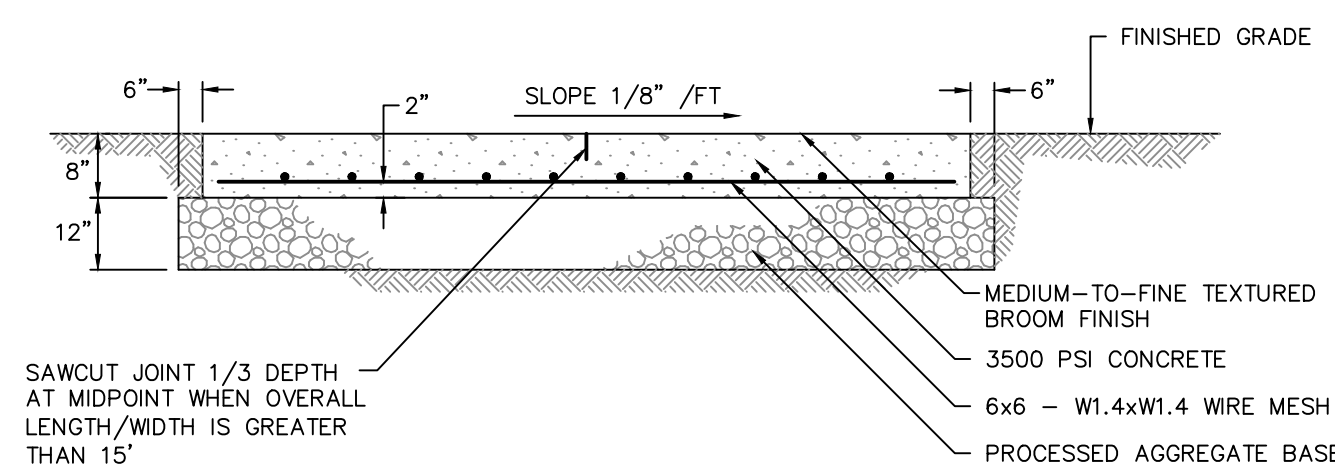
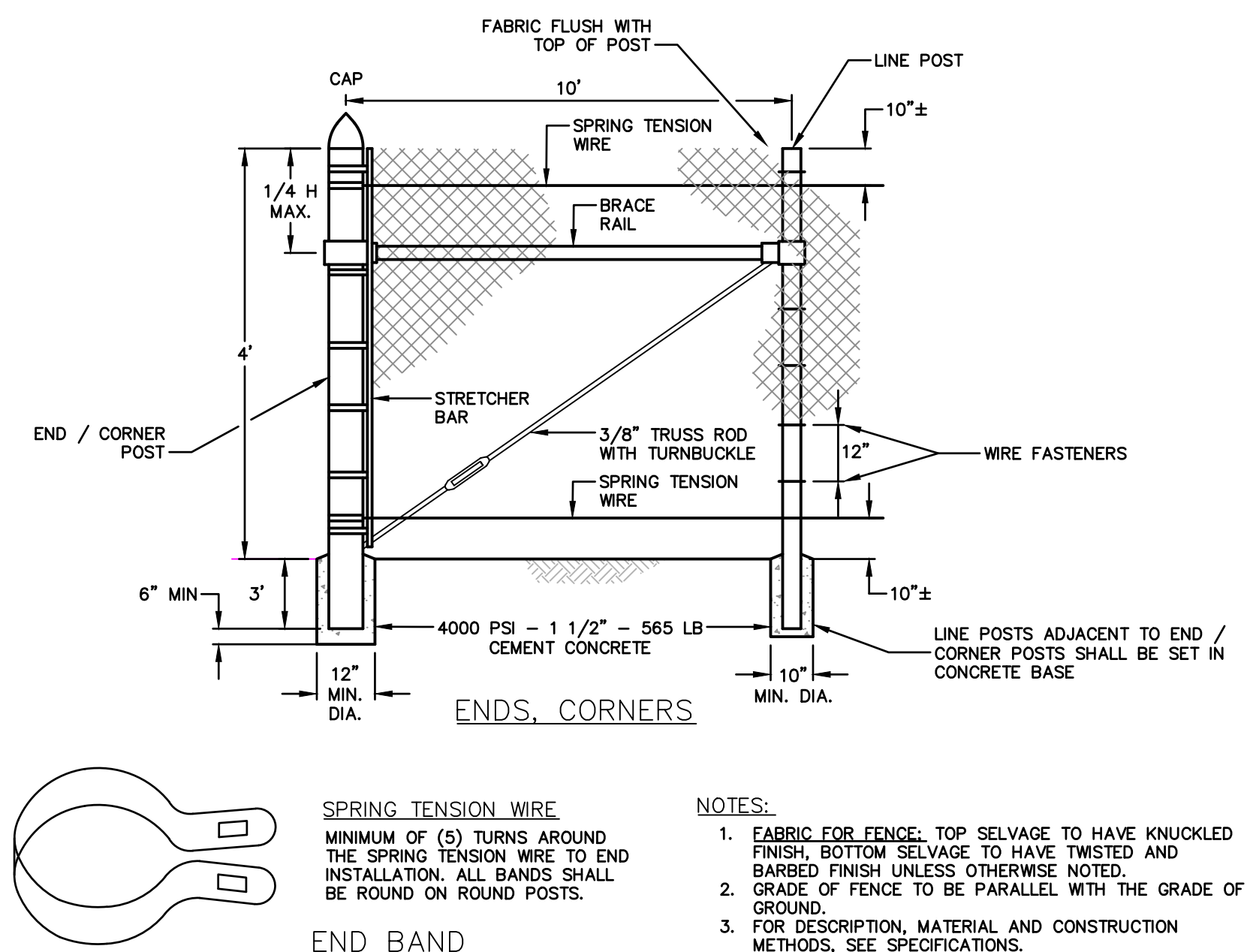
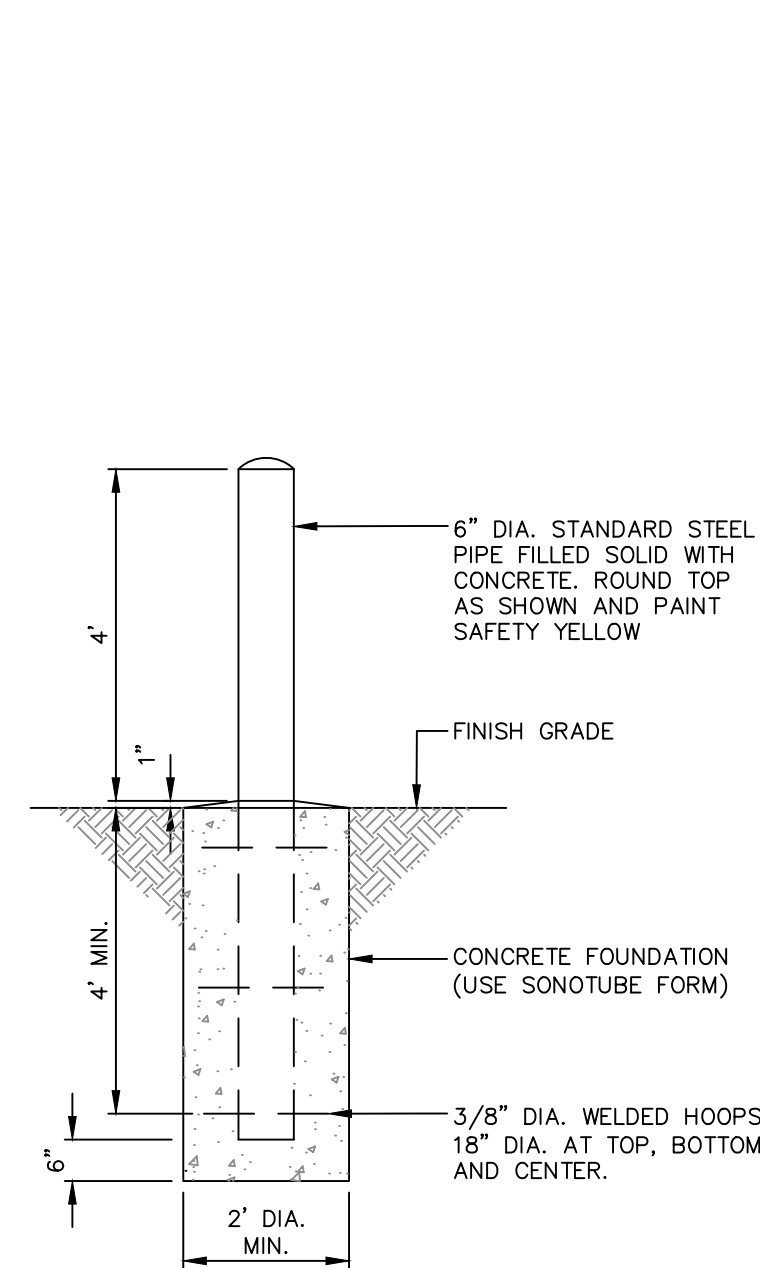
BRISTOL, RHODE ISLAND

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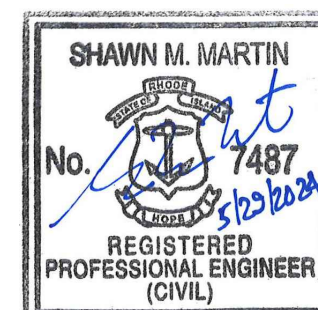


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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

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## DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

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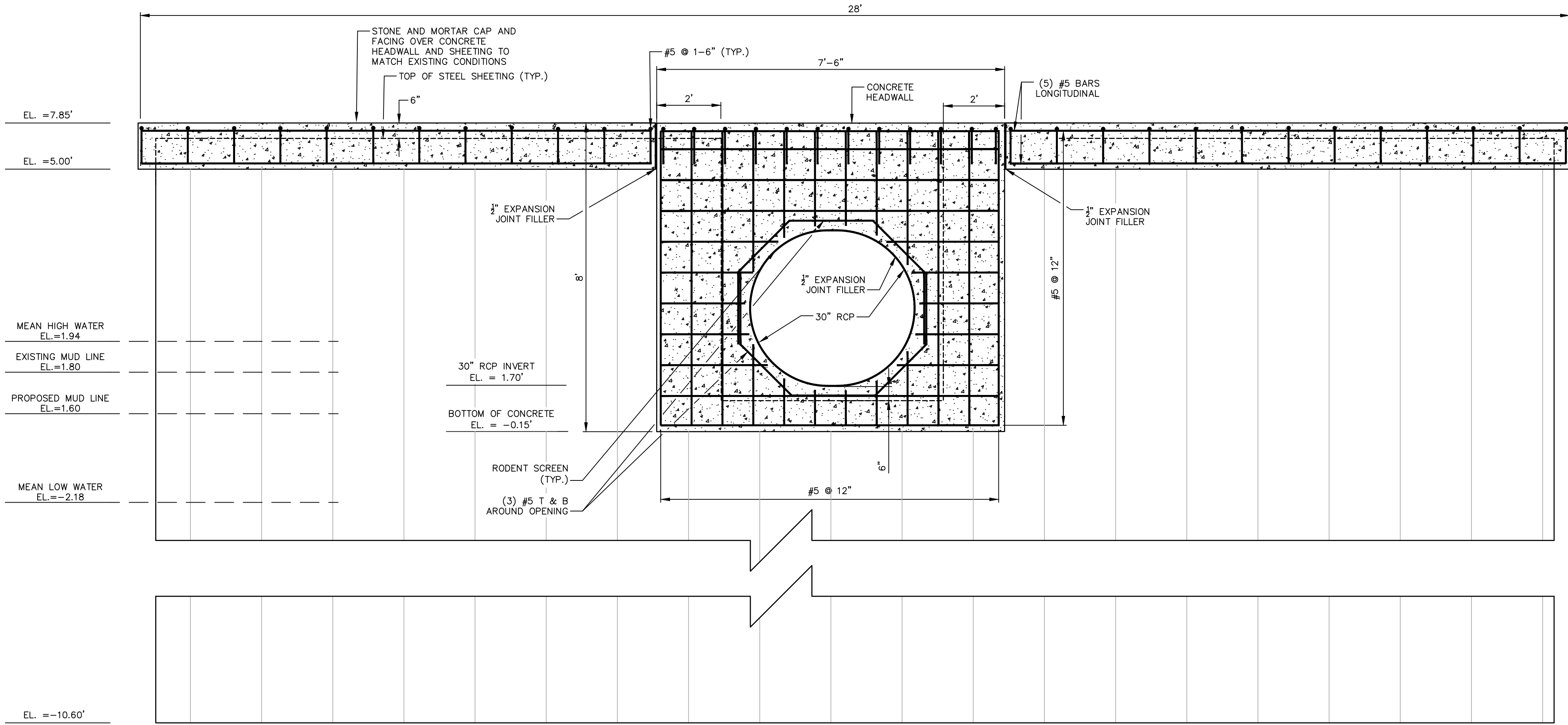
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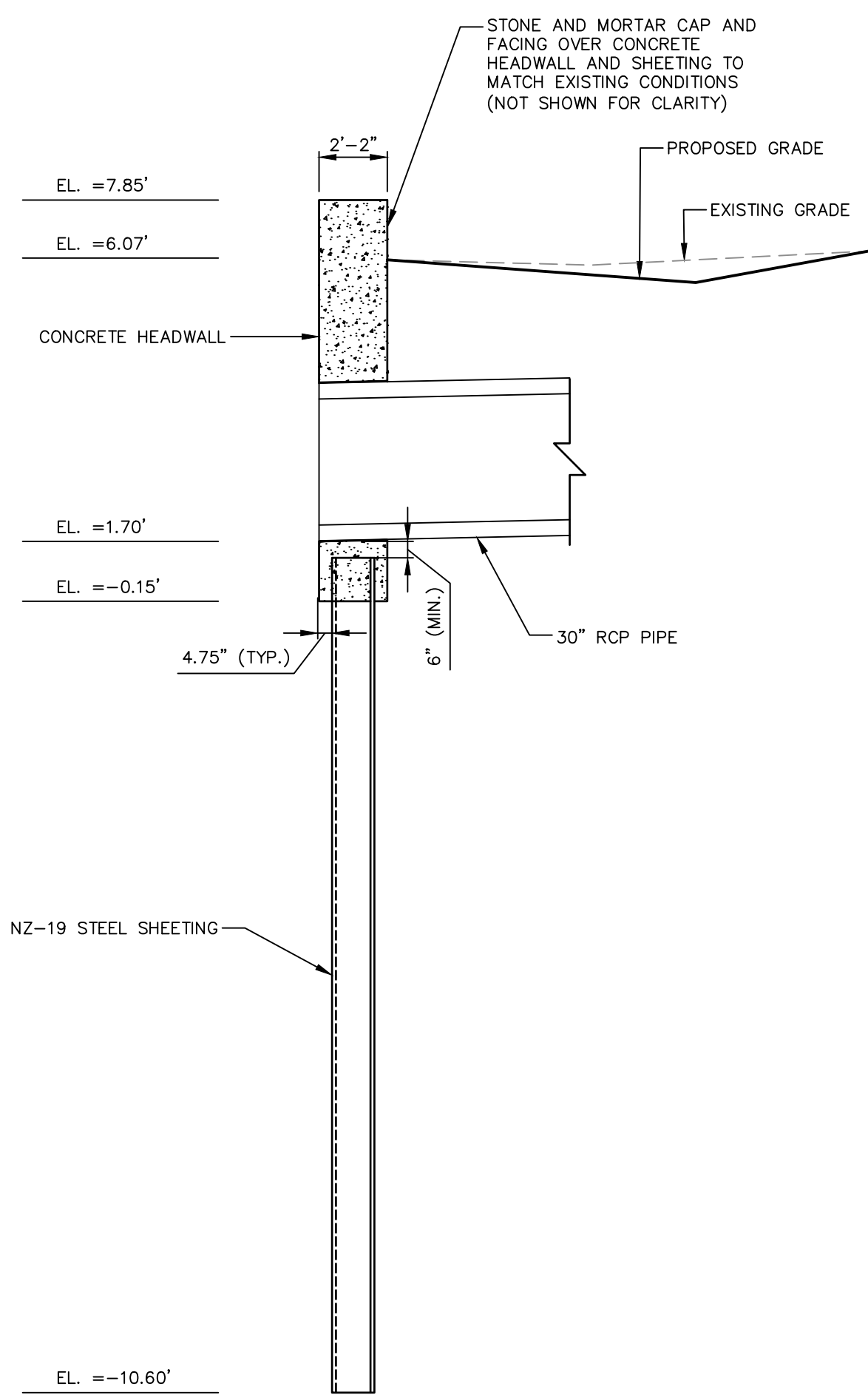
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- NOTES:**
- BACKFILL SHALL BE LESS 10 PERCENT SILT CONTENT.
  - CEMENT SHALL BE TYPE 2 OR TYPE 5 AIR ENTRAINING PORTLAND CEMENT OR AN EQUIVALENT
  - CONTRACTOR SHALL PREPARE AND SUBMIT A SHOP DRAWING FOR THE FINAL DESIGN OF THE SEAWALL AND WATER MANAGEMENT SYSTEM FOR ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
  - DESIGN SUBMITTALS SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND AND SHALL COMPLY WITH ALL RIDEM, CRMC, AND USACE REGULATIONS AND PERMIT CONDITIONS.
  - FILLING, GRADING, DREDGING, EXPANSION, OR ANY OTHER ACTIVITY NOT AUTHORIZED BY RIDEM, CRMC, OR USACE IS PROHIBITED.

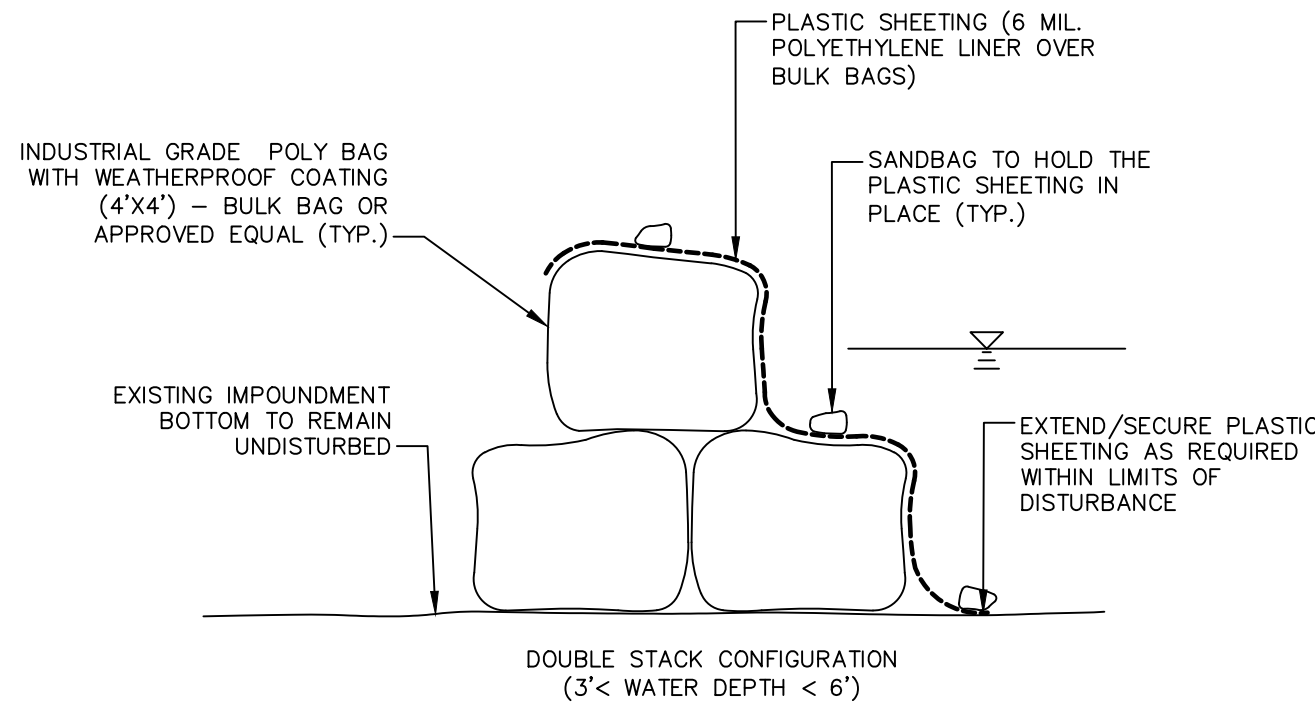
## HEADWALL PROFILE

NOT TO SCALE



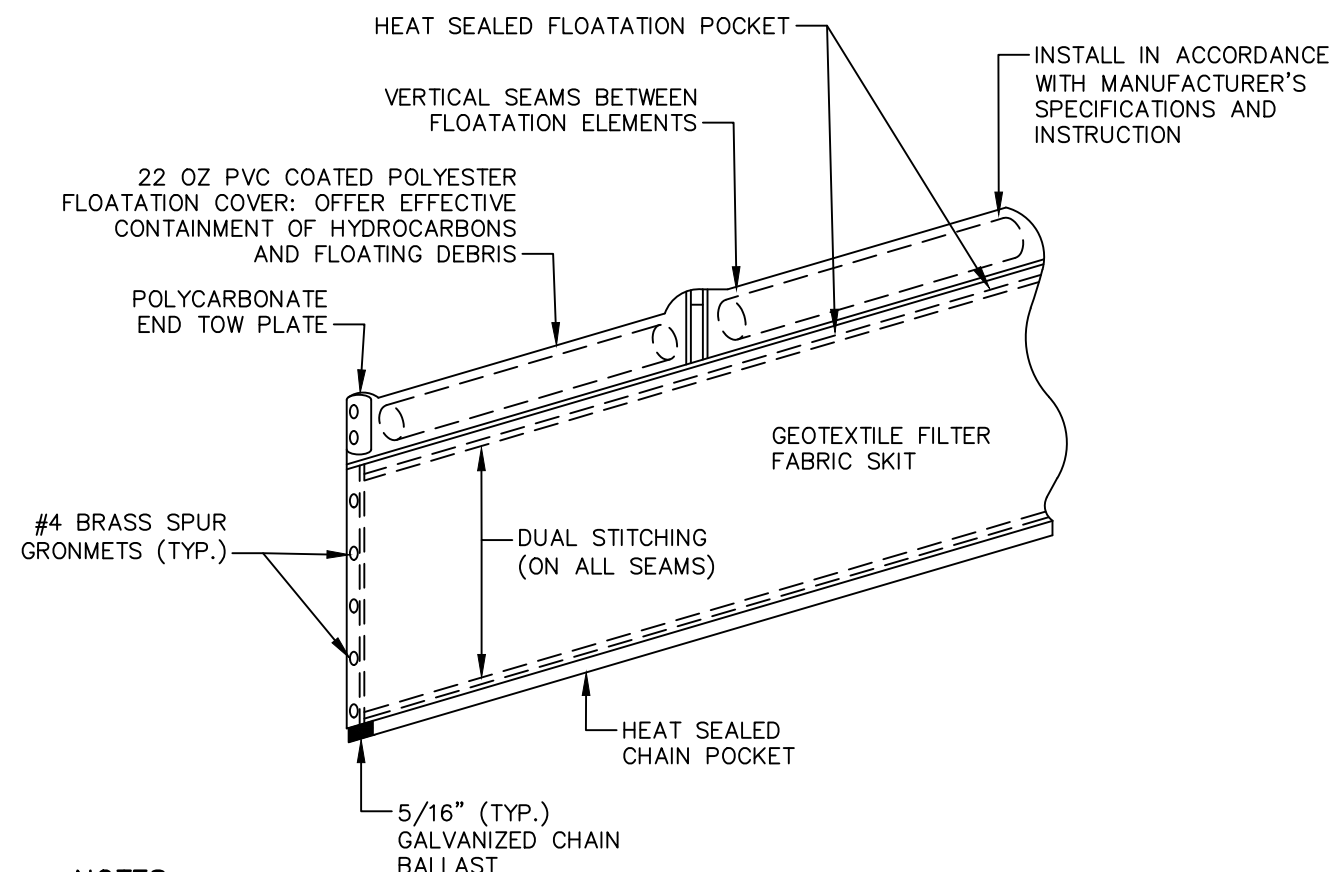
## HEADWALL SECTION

NOT TO SCALE



## TEMPORARY COFFERDAM

NOT TO SCALE



- NOTES:**
- FLOATATION SIZE (6", 8" OR 12" DIA.) DETERMINED BY SKIRT DEPTH/SITE VARIABLES.
  - OTHER END TYPES AVAILABLE SUCH AS ALUMINUM UNIVERSAL SLIDE OR SLOTTED TUBE.
  - OPTIONAL TOP TENSION CABLE (5/16" TYP.) AVAILABLE FOR INCREASED STRENGTH.

## TEMPORARY TURBIDITY CURTAIN

NOT TO SCALE

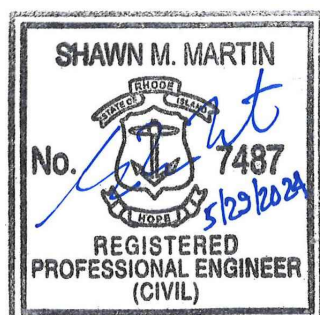
## PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
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7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL

SEAL



SCALE:

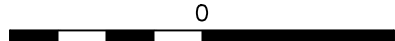
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DATUM:

HORZ.:

VERT.:



GRAPHIC SCALE



**FUSS & O'NEILL**

317 IRON HORSE WAY, SUITE 204  
PROVIDENCE, RI 02908  
401.861.3070  
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

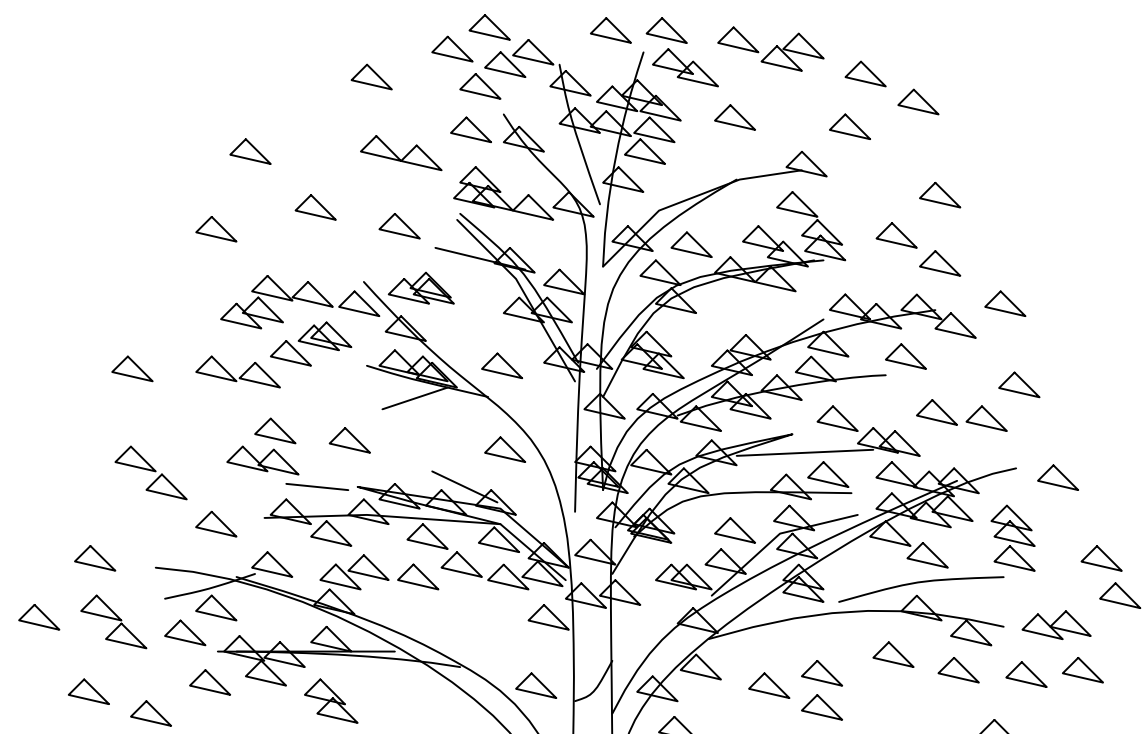
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

**CD-511**

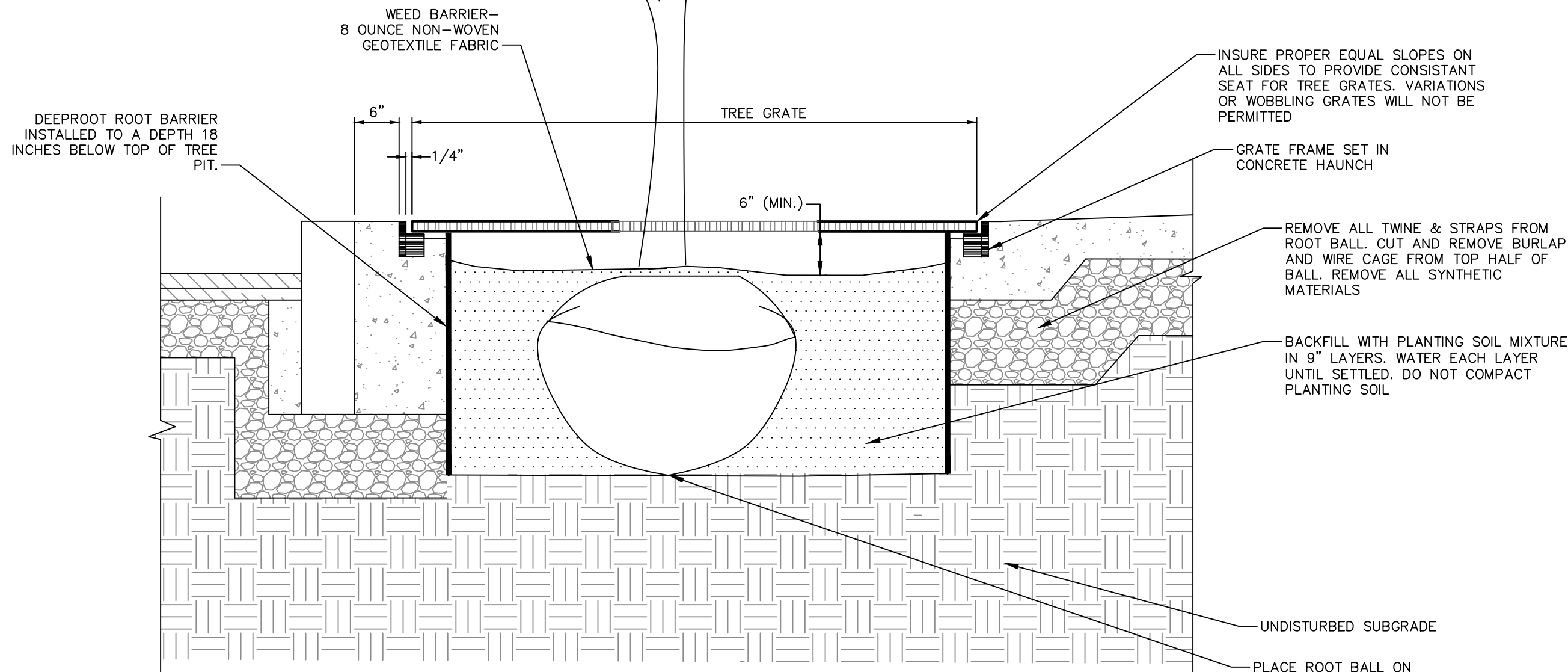
SHEET 26 OF 28





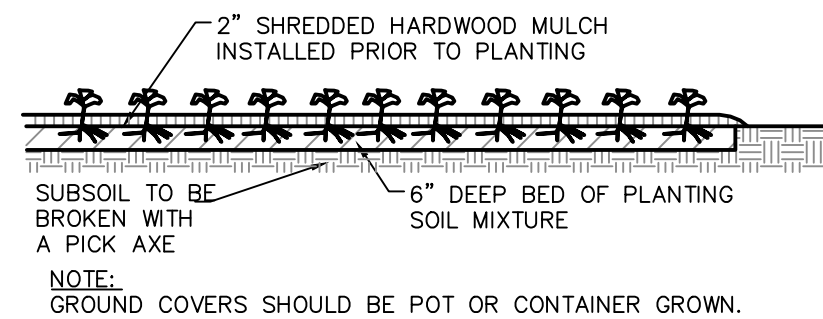
COMPANY: IRON AGE DESIGNS OR APPROVED EQUAL.  
TREE GRATE: 5'X5' INTERLAKEN  
TREE GRATE FINISH: BAKED OIL  
TELEPHONE: (877)-418-3568  
WWW.IRONAGEGRATES.COM

\* INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



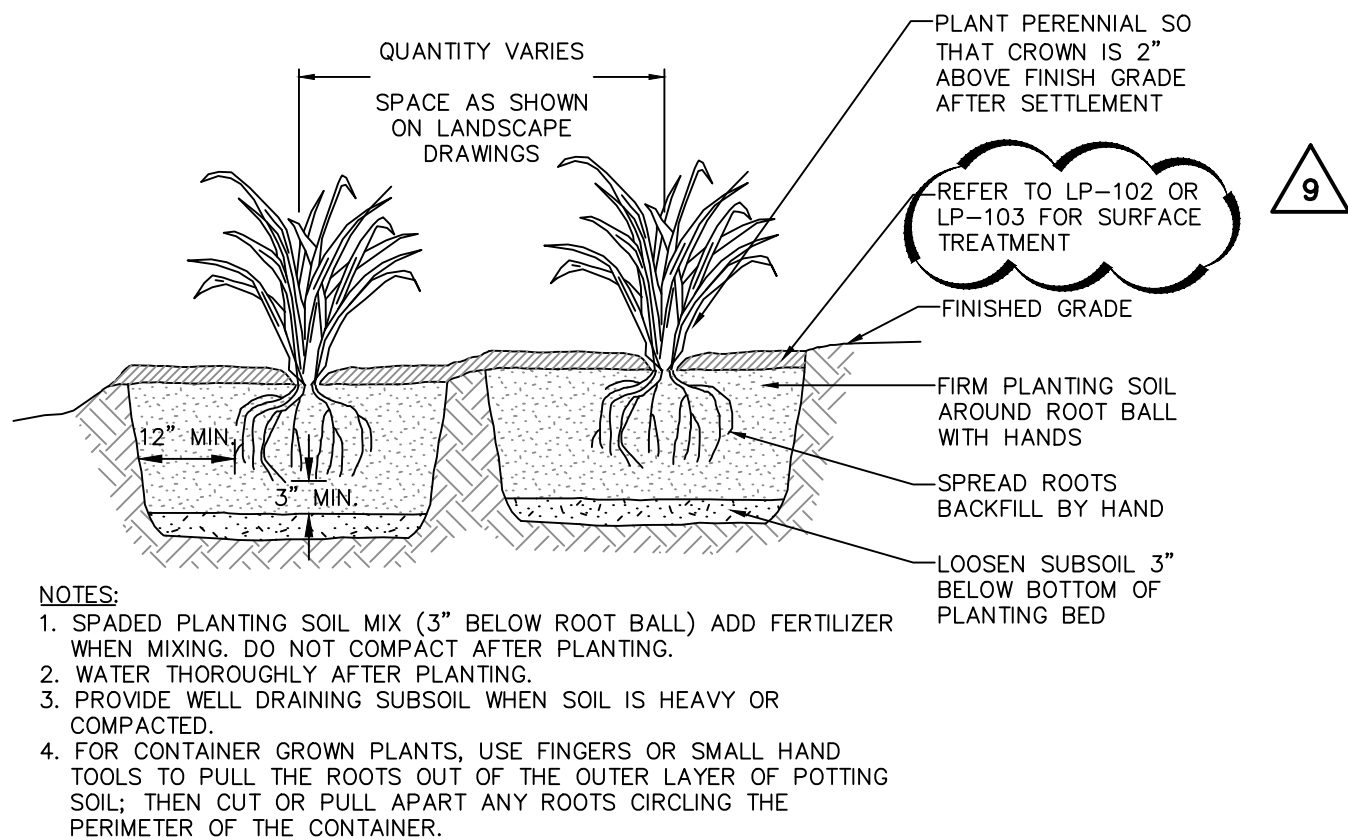
#### PLANTING SOIL NOTES

- SOIL MATERIAL:
  - PLANTING SOIL SHALL HAVE A SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE PER USDA TEXTURAL TRIANGLE. MAXIMUM CLAY CONTENT IS <15%; SOIL MIXTURE SHALL BE 50-60% SAND; 20-30% PINE BARK MULCH; AND 20-30% TOPSOIL.
  - THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMLUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUWORT, NUTSEGE, POISON IVY, CANADIAN THISTLE, TEARTHUB, OR OTHER NOXIOUS WEEDS.
  - SOIL MIXTURE SHALL HAVE 3-5% ORGANIC MATTER BY VOLUME.
- LABORATORY TESTING:
  - SOIL MUST BE TESTED AND APPROVED AS CLEAN FILL IN ACCORDANCE WITH THE REMEDIAL ACTION WORK PLAN (RAWP) PRIOR TO IMPORTATION TO THE SITE.
  - A TEXTURAL ANALYSIS IS REQUIRED TO ENSURE THE SOIL MEETS THE FOLLOWING SPECIFICATIONS.
    - PH RANGE 5.2 - 7.0
    - MAGNESIUM NOT TO EXCEED 32 PPM
    - PHOSPHORUS P205 NOT TO EXCEED 69 PPM
    - POTASSIUM K20 NOT TO EXCEED 78 PPM
    - SOLUBLE SALTS NOT TO EXCEED 500 PPM
- SOIL MAY BE MODIFIED TO ADJUST PH (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.

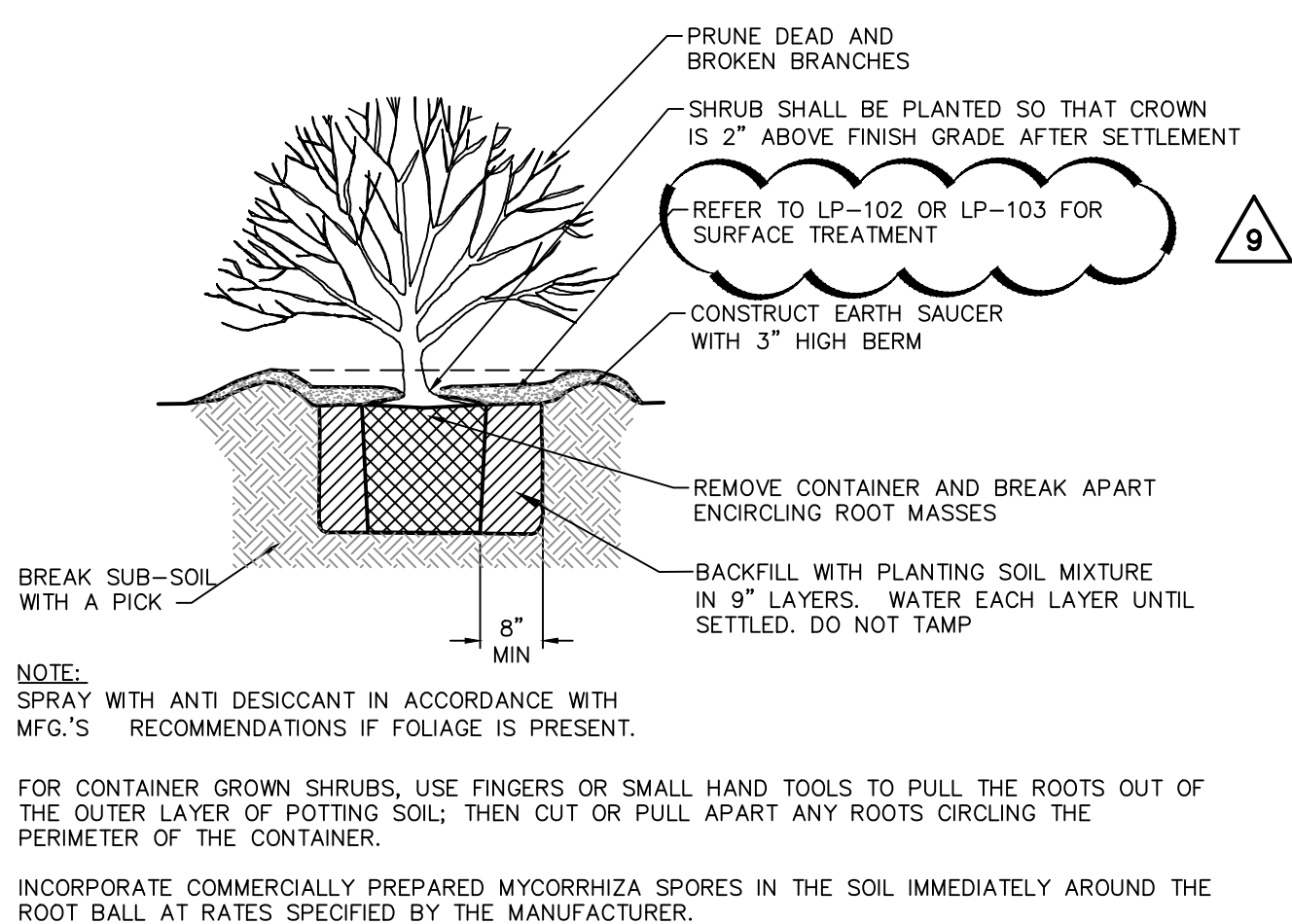


#### TREE PIT NOT TO SCALE

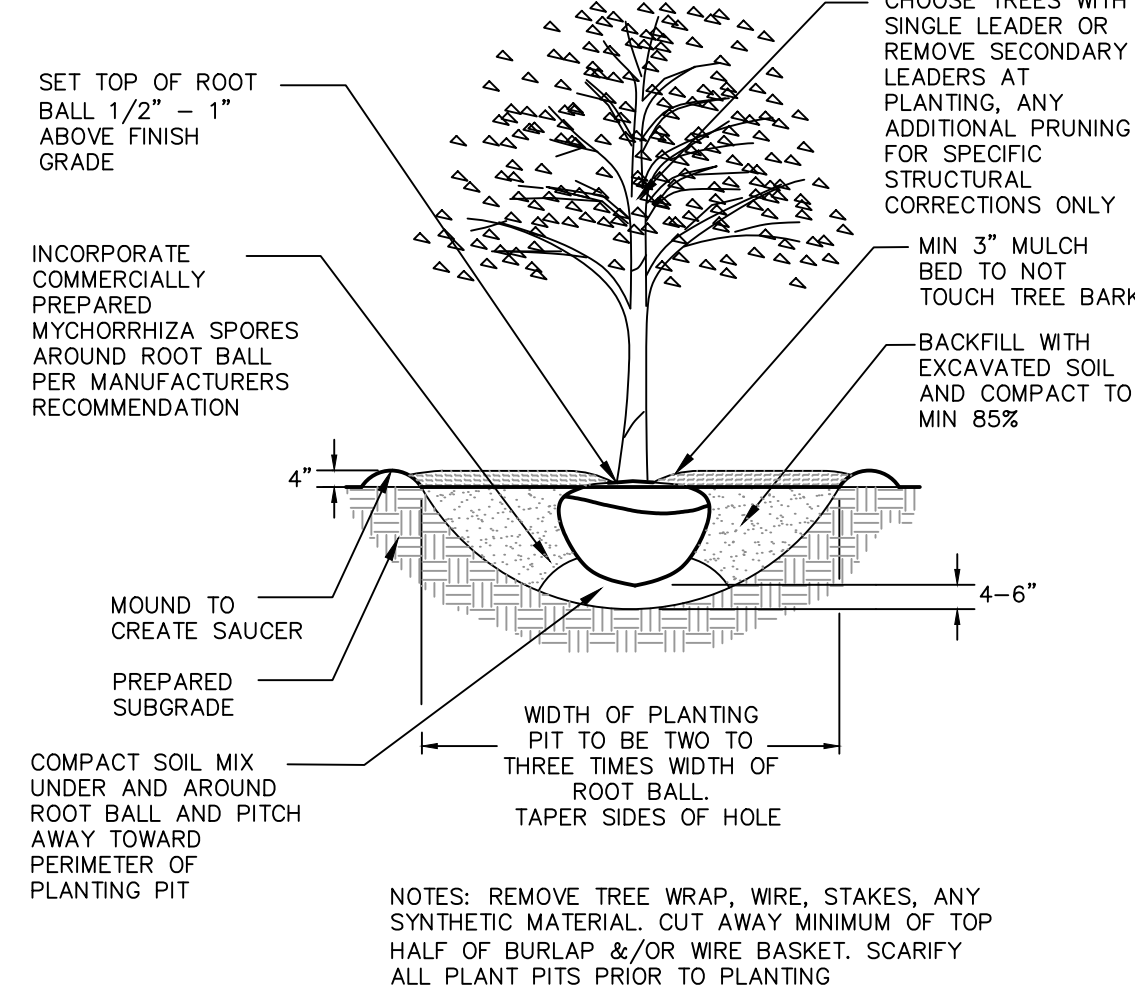
#### GROUNDCOVER/ANNUAL PLUG PLANTING NOT TO SCALE



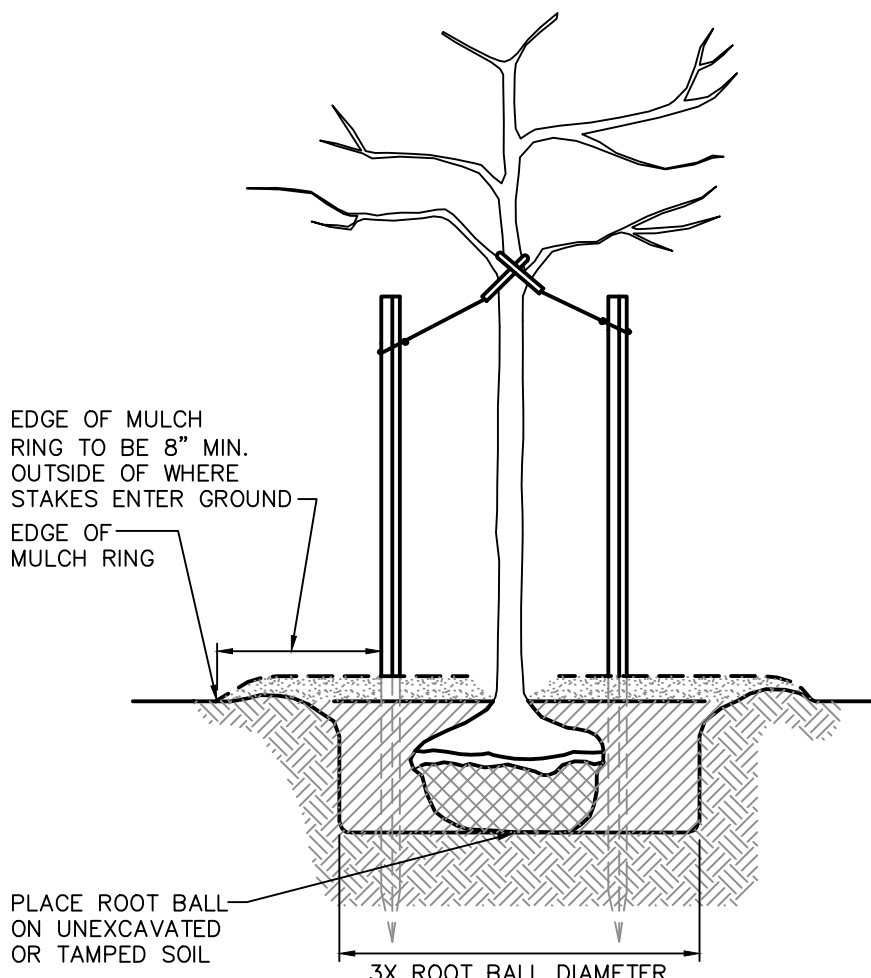
#### ORNAMENTAL PERENNIALS NOT TO SCALE



#### SHRUB PLANTING NOT TO SCALE



#### TREE PLANTING NOT TO SCALE



#### STAKE DETAIL NOT TO SCALE

#### PLANNING BOARD APPROVAL

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SEAL



SCALE:

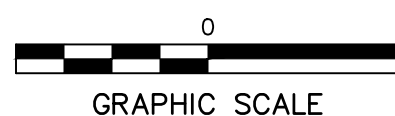
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BRADY SULLIVAN PROPERTIES, LLC

LANDSCAPING DETAILS

BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22  
DATE: DECEMBER 6, 2022

**CD-512**

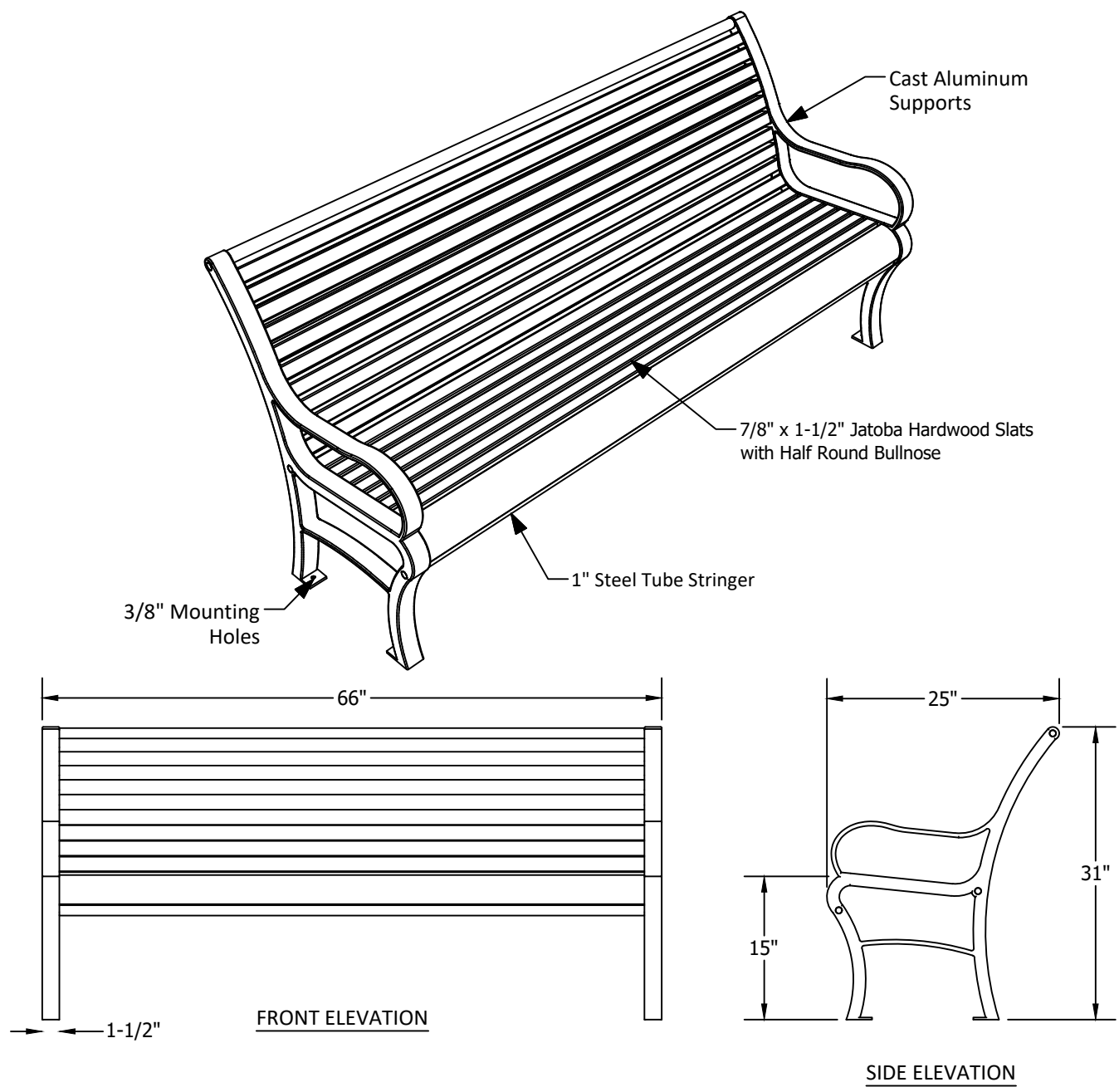
SHEET 27 OF 28



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MS VIEW: LAYER STATE: Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB

**Brentwood Bench  
BNBR-6-BR-W**

**CANTERBURY DESIGNS**  
5632 W. Washington Blvd. | Los Angeles, CA 90016 | 323.936.7111  
Website: www.canterbury-designs.com | E-mail: info@canterbury-designs.com

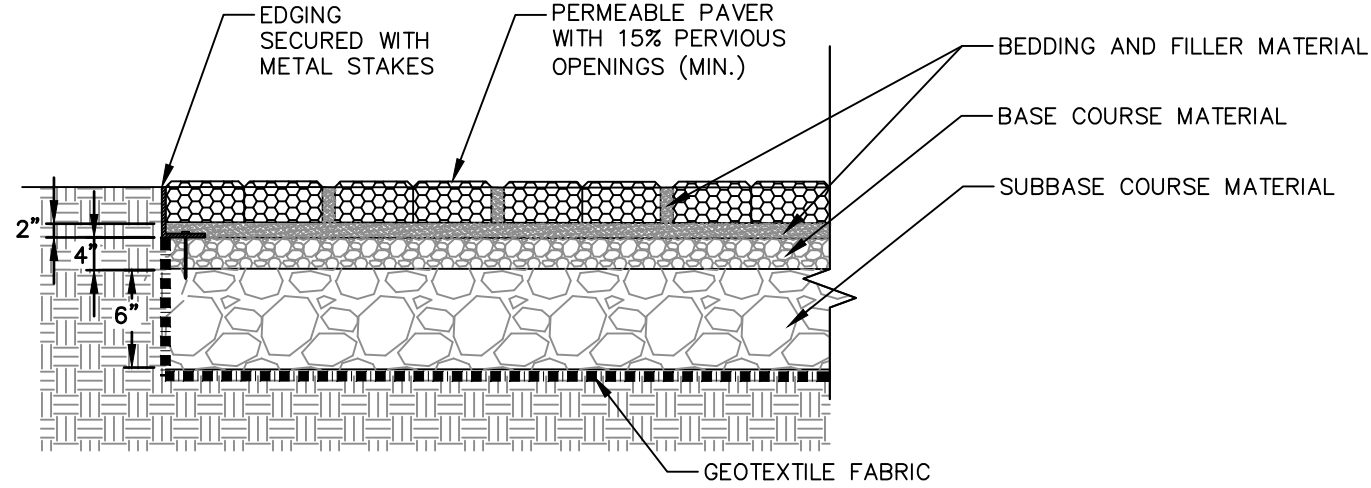


**NOTES:**

1. All metal components are sandblasted, cleaned, and finished with zinc epoxy primer and polyester powder coat.
2. Mounting holes are 3/8\"/>

**BENCH**

NOT TO SCALE

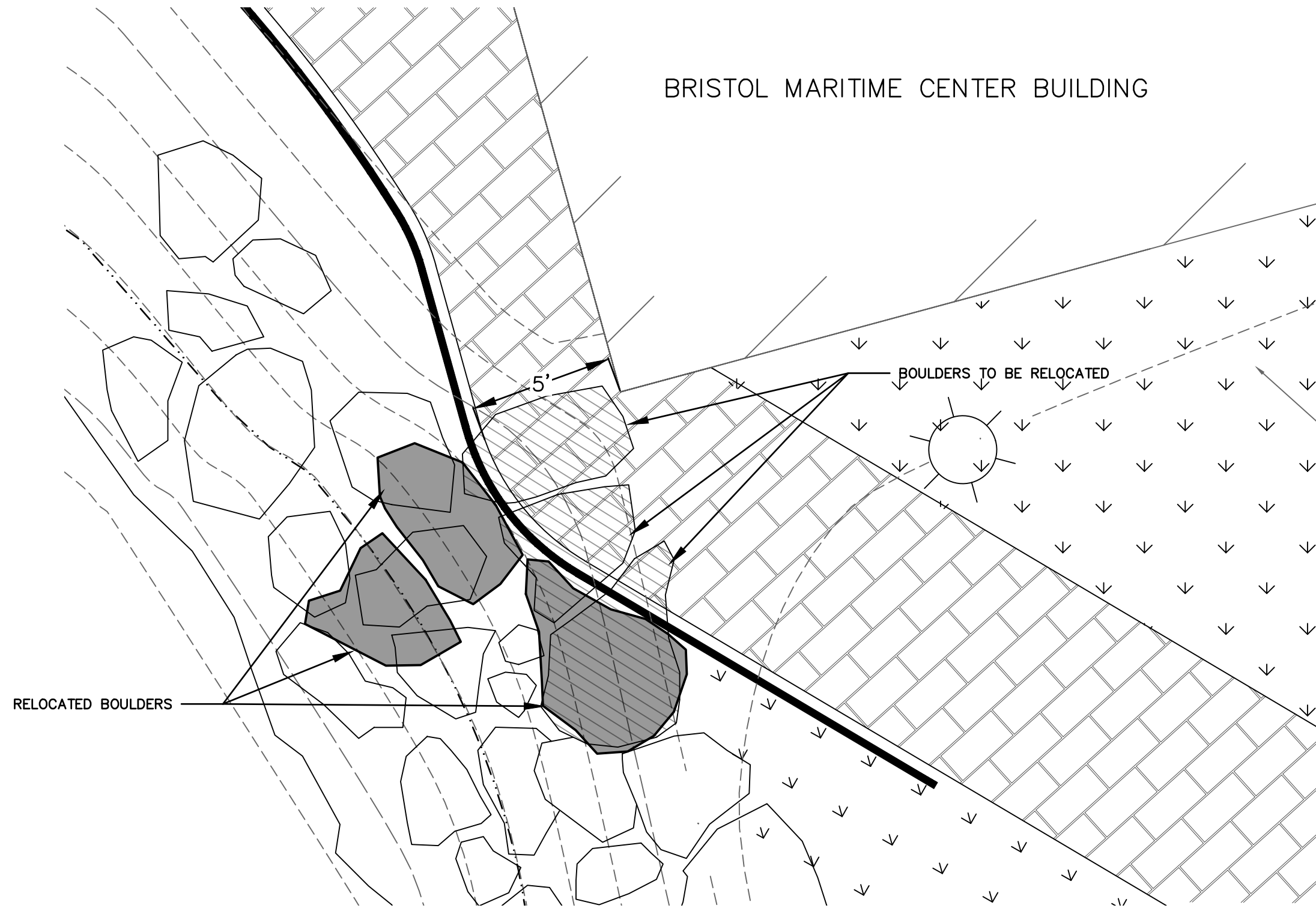


**NOTES:**

1. BEDDING AND FILLER MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 6 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS. COMPACT BEDDING AND FILLER MATERIAL WITH A 5,000 LB. PLATE COMPACTOR.
2. BASE COURSE MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 5 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS.
3. SUBBASE COURSE MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 2 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS.
4. GEOTEXTILE FABRIC SHALL BE NON-WOVEN FILAMENT POLYPROPYLENE WITH MINIMUM PUNCTURE STRENGTH OF 120 POUNDS.

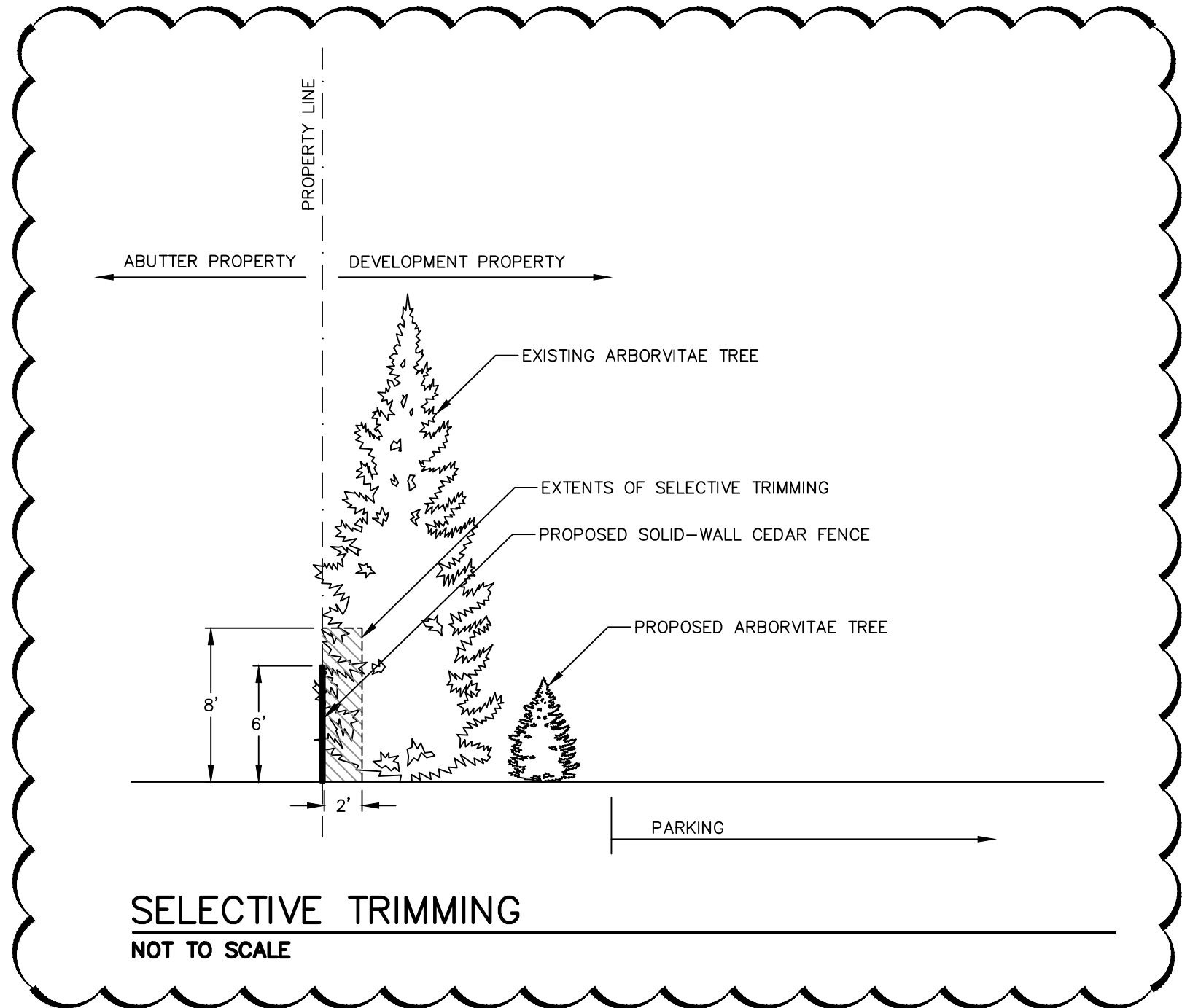
**PERVIOUS PAVER WALKWAY**

NOT TO SCALE



**PERVIOUS PAVER WALKWAY AT BRISTOL MARITIME CENTER BUILDING**

NOT TO SCALE



**SELECTIVE TRIMMING**

NOT TO SCALE

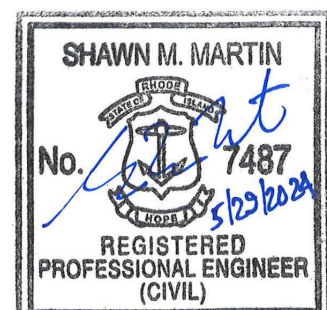
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SEAL

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**CD-513**

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