

June 3, 2024

Ms. Diane Williamson
Director of Community Development
Town of Bristol
9 Court Street
Bristol, RI 02809

RE: Bristol Yarn Mill Redevelopment
Final Plan Application
A.P. 10 Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, and 76
Thames and Hope Street
Bristol, RI

Dear Ms. Williamson:

Fuss & O'Neill has prepared the accompanying Final Plan application on behalf of the applicant Thames Street Nashua LLC (Applicant), for the redevelopment of the Robin Rug mill complex on Thames Street and some additional parcels with frontage on Thames Street and Hope Street. The project includes 127 residential apartment units and approximately 6,300 square feet of leasable space for commercial uses.

The Bristol Planning Board approved the Master Plan for the project, with conditions, on May 12, 2022 (Bristol Land Evidence Book 2172 Page 297). The Bristol Town Council subsequently approved Zoning Modifications and a Zoning Map Change for the project on August 3, 2022 (Bristol Land Evidence Book 2183 Page 272) that adopted the Planning Board's decision with changes to the provision of affordable housing. Those changes include the requirement that 20% of the residential units (i.e., 26 units based on a total unit count of 127 units) shall be designated as affordable (Bristol Zoning Ordinance Section 28-370), three of the units will be located at Lots 49 and 50 on Assessor's Plat 10, ten units will be located within the mill complex on Lots 42, 60, 61, 62, and 73 on Assessor's Plat 10, and 13 units will be provided through a fee-in-lieu of building or designating units within the development.

The Bristol Planning Board approved the Preliminary Plan for the project, with conditions, on July 14, 2023 (Bristol Land Evidence Book 2217 Page 90). The Preliminary Plan approval conditions are listed in italics in the section below followed by an explanation of how they have been addressed for Final Plan review.

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Preliminary Plan Approval Conditions

- A. *Dedication by deed of the parking lot on the northeast corner of Church and Thames Street. Plat 10, Lot 32 to the Town of Bristol for public parking as required by the zoning that there be 10% of the land area set aside for public institutional uses as required by Section 28-284 (g) prior to recording of final plan.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- B. *Additional arborvitae evergreen buffer plantings shall be planted on the south side of the Thames Street parking lot to augment the existing row as a visual and noise buffer. The number, height and spacing of plantings shall be shown on the final landscaping plans by the landscape architect and installation of same will be verified in the field by the Town Tree Warden.*

The Enlargement Planting Plan (sheet LP-103) has been updated to show additional arborvitae screening plantings along the south side of the Thames Street parking lot.

- C. *A 6-foot tall solid-wall fence shall be installed along the south side of the Thames Street parking lot of a material that blocks headlights and helps mitigate sound. The fence shall NOT be of a stockade design as shown on the preliminary plans. The design of this fence shall be subject to the Historic District Commission review and approval. The Final Plan shall indicate a proposed fence that satisfies these requirements.*

The Site Plan (sheet CS-101) has been revised to show a 6-foot-tall solid wall cedar fence along the property line south of the Thames Street parking lot. A detail has been added to the Details (sheet CD-510) for a 6-foot-tall solid wall cedar fence. The revised fence location was necessary to accommodate the additional buffer plantings and snow storage adjacent to the parking lot. Selective trimming along the south side of the existing Arborvitae trees is necessary to install the fence.

- D. *Historic District Commission review and approval shall be required for all details of exterior changes, including without limitation: windows, doors, light fixtures, fences, and signs. These approvals may be obtained in the normal course with HDC and subsequent to the Final Plan and Building Permits.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- E. *Submission of a construction schedule that includes showing the planting of the arborvitaes and fence installation along the south side of the Thames Street parking lot property prior to any other site work in the parking lot and prior to use of the property as a "laydown area" for construction activities, and such planting and installation shall be completed prior to any other work or use of parking lot as set forth herein.*

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The Construction Sequence section of the General Notes and Legend (Sheet CN-001) has been revised on the Final Plan to include installation of the fence and arborvitae screening plantings along the southern property line of the parking lot prior to site work and stockpiling.

- F. Maintenance of all plantings on the properties shall be an obligation of the applicant and shall be included in a deed covenant stipulating time for replacement plantings.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- G. Tree protection shall be installed to protect the existing trees along the property of 82 Thames Street with this detail to be shown on the final plan.*

Protection for the existing trees along the property of 82 Thames Street has been added to the Site Demolition Plan (sheet CP-101) of the Final Plan.

- H. Recommendations of the Conservation Commission on the proposed landscaping including a diversity of street trees along Thames Street, and an increased buffer of arborvitae along the southern property line of the parking lot.*

The proposed street trees along Thames Street shown on the Enlargement Planting Plan (sheet LP-102) have been revised to increase diversity of tree species along the street. The Enlargement Planting Plan (sheet LP-103) has been revised to include additional arborvitae screening plantings along the southern property line of the parking lot.

- I. Payment of the Affordable Housing Fee to the Town for the Affordable Housing Trust Fund to be paid prior to issuance of the first construction building permit.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- J. Final Legal Documents to be reviewed and approved by the Town Solicitor prior to recording of Final Plan including pedestrian and walkway easements; affordable housing deed restriction and monitoring agreement; and deed restriction, running to the Town of Bristol, that no structures be built on the surface parking lot.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

- K. All services to the residential units shall be private including recycling and garbage pick-up, snow plowing, driveway, and drainage maintenance. This shall also be a deed covenant in Land Evidence Records and reviewed and approved by the Town Solicitor.*

Legal documents have been provided by the Applicant's attorney to the Planning Board's attorney.

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- L. As shown on the preliminary plans, a portion of the walkway along the waterfront shall be within the existing Fire Access easement across the Elk's parking lot to connect to Constitution Street, which has been acknowledged by the Elk's subject to the pedestrian easement which the Town is preparing. The applicant will prepare a CRMC application, as may be needed for the walkway through the parking lot, construct pavement markings and install signage as required.*

The Applicant incorporated a pathway and signage within its access easement across the Elks property in the application to CRMC for State Assent for the Bristol Yarn Mill redevelopment.

- M. CRMC Assent shall be submitted with the Final Plan review application.*

The CRMC Assent is enclosed.

- N. The applicant shall apply to the Town Council for approval for the proposed relocation of the existing Mill building loading space on the west side of Thames Street further north as indicated on the preliminary plans.*

The Applicant will apply to the Town Council as required.

- O. Because ADA-Compliant parking is only being provided inside the building, there shall be no additional charge to residents using such ADA-Compliant parking.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- P. There shall be no activities or amenities provided on the roof of any of the mill buildings.*

No activities or amenities are proposed to be provided on the roof of any of the mill buildings. This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

- Q. Final Plan review and approval shall be performed by the Planning Board.*

This condition has been noted under the Preliminary Plan Approval Conditions section of the General Notes and Legend (sheet CN-001) of the Final Plan.

Clarification of Checklist Items

- D3. As noted in the conditions of approval section, all legal documents have been provided to the Planning Board's attorney for approval.

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- D15b. Following Final Plan approval and Bristol Historic District Commission and Bristol Historic District Commission approvals, the Applicant will engage a qualified contractor to obtain all necessary connection permits, which will include a service by-pass plan during construction.
- D17. The Applicant asserts no taxes are past due and is in the process of obtaining verification.
- D22. As noted in item #15b above and during the Preliminary Plan review, the Applicant will pursue Bristol Historic District Commission after Final Plan approval.
- E1-4. All fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board. The enclosed estimate of costs for the proposed public improvements was prepared by the Application for the Planning Board's review.
- E7. CRMC is the only outside agency (i.e., agency not within the Town of Bristol jurisdiction) with application fees. Reviews of applications for State Assent may not commence and no Assents shall be issued until application fees have been paid in full. Consultant review fees, if required, will be collected by the Planning Board once the amounts have been determined.
- E8. Mapping fees due and payable to the Town of Bristol as part of the Final Plan will be paid by the Applicant once the amounts have been calculated by the Planning Board.

In addition to the required paper copies of the application documents, an Adobe PDF copy of the complete application will be provided through electronic transmittal. If you have any questions about this application, please contact me at shawn.martin@fando.com or (401) 787-8322.

Sincerely,



Shawn M. Martin, PE

Senior Vice President | Regional Manager

Enclosures: Final Plan Application and Checklist (1 copy)
CRMC Assent (1 copy)
USACE Pre-Construction Notification Authorization (1 copy)
Public Access Easement Plan (1 copy)
Public Access Easement Description (1 copy)
Bristol Yarn Mill Roadway Cost Breakdown (1 copy)
Bristol Yarn Mill Permitting Plan, 28 sheets, Revised 5/29/2024 (6 full-size, 12 reduced copies)

c: Shane Brady, Thames Street Nashua, LLC
Chris Reynolds, Brady Sullivan
John McCoy, Bengtson & Jestings LLP

**APPLICATION FORM AND SUBMISSION CHECKLIST FOR
MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS**

Major Subdivisions - A plan for a residential subdivision of land consisting of more than five lots; or, a plan for a nonresidential subdivision of land.

Major Land Development - A plan for a residential or nonresidential land development project as defined in Article VIII of the Zoning Ordinance.

The completed application form together with the appropriate materials from Items A, B, C, D, and E for either a Master Plan, Preliminary or Final application as indicated on the checklist shall be submitted to the Administrative Officer at least three weeks prior to the regularly scheduled meeting of the Planning Board.

Date Submission Due: _____ Planning Board Meeting Date: _____

APPLICATION FORM

Type of Application: Please check one:

Master Plan - An overall plan for a proposed project site outlining general, rather than detailed, development intentions. *NOTE:* The entire property under the applicant's ownership shall be shown on the Master Plan with all proposed development indicated, including future phases. Failure to show the entire property and all proposed development may result in forfeiture of future development rights on the property.

Preliminary - The stage, following Master Plan, at which time all required detailed engineering drawings and all required State and Federal Permits shall be submitted.

Indicate date of Master Plan Approval: _____

Indicate dates of all extensions: _____

Final - The stage, following Preliminary, which is the last stage of review.

Indicate date of Preliminary Plan Approval: July 13, 2023

Indicate dates of all extensions: _____

APPLICATION FORM, CONT.

1. Name of proposed subdivision: Bristol Yarn Mill

2. Name, address and telephone number of property owner (if the owner of record is a corporation, the name and address of the president and secretary):

Thames Street Nashua, LLC
c/o Shane Brady
670 N. Commercial Street, Suite 303
Manchester, NH 03101

3. Name and address and telephone number of applicant, if different from owner: (A written, notarized confirmation from property owner authorizing the applicant to make the submission shall also be submitted):

Same.

4. Plat and lot number(s) of the parcel being subdivided: AP 10, Lots 41, 42, 43, 44, 48, 49, 60, 61, 62, 68, 73, 74, & 76

5. Area of the subdivision parcel(s): 4.8 +/- acres

6. Zoning District: Waterfront PUD, Waterfront, Downtown

7. Names of existing streets within and immediately adjacent to the parcel being subdivided with notation as to whether Town, State or Private. Include right-of-way and pavement widths:

Thames St (Town) 49.5'/28'+/-

Hope St (State) variable (est. >60')/32'+/-

Constitution St (Town) variable (est. >60')/39'+/-

8. Attach a list of the names and current mailing addresses (and on mailing labels) of property owners within notice area radius (See Section 8.5A) from the current real estate and assessment records of the Town, including plat and lot numbers

Signed by Owner/Applicant: [Signature] Date: 5/31/2024

Notarized:

Subscribed and sworn to before me this 31 day of may, 2024.

Kelly E. Hilson
NOTARY PUBLIC

KELLY E. HILSON
Notary Public, State of New Hampshire
My Commission Expires Febraury 21, 2029

**SUBMISSION CHECKLIST
MAJOR LAND DEVELOPMENTS AND MAJOR SUBDIVISIONS**

M = Master Plan
P = Preliminary
F = Final

	M	P	F	Applicant ✓	Date & Town Initials
NOTE: All plan sheets must include Title Block as well as items B 1-8 below.	•	•	•		
A. Plan of Existing Conditions - Five (5) blueline or photocopies of a plan at a scale of 1" = 40' (minimum size of 8 1/2" x 11, maximum size of 18" x 24") showing the entire tract under the applicant's ownership as it currently exists, including location and dimension of existing lots, easements and rights-of-way, and all natural and man-made features;	•			✓	
B. Subdivision/Land Development Drawing(s) - Master Plan and Preliminary Plans - Five (5) blueline or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Each sheet shall be a minimum size of 8 1/2" x 11" and a maximum size of 24" x 36" at a scale of 1" = 40', unless determined otherwise at the Pre-Application Conference, with a sufficient number of sheets to clearly show all of the information required. Sheets shall be numbered sequentially (e.g. sheet 1 of 3, 2 of 3, etc.)	•	•		N/A	
Final Plans - Five (5) bluelines or photocopies shall be submitted for distribution to and review by the Technical Review Committee. Upon approval, one (1) reproducible mylar*, six (6) blueline or photocopies, and one electronic AutoCAD file of all plans shall be submitted. Each sheet shall be a maximum size of 24" x 36" at a scale of 1" = 40' [unless otherwise specified by the Planning Board]; two of these sheets shall include the assessor's numbers, signed by the Tax Assessor. The subdivision plans shall contain the following:			•		
1. Name of the proposed subdivision; including phase numbers, if any	•	•	•	✓	
2. Name and address of property owner or applicant;	•	•	•	✓	
3. Name, address and telephone number of person or firm preparing the plan;	•	•	•	✓	
4. Date of plan preparation, with revision date(s) if any;	•	•	•	✓	
5. Graphic scale (1"=40' or larger) and north arrow;	•	•	•	✓	
6. Plat and lot number(s) of the land being subdivided;	•	•	•	✓	
7. Legend showing all symbols;	•	•	•	✓	
8. Zoning districts(s) of the land being subdivided and the abutting and adjacent properties. If more than one district, zoning boundary lines must be shown;	•	•	•	✓	
9. Perimeter boundary lines of the subdivision, drawn so as to distinguish them from other property lines. These shall be marked in the field by survey stakes to identify the limits of the property;	•	•	•	✓	

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10. Names of abutting property owners and property owners across any adjacent streets;	•	•	•	✓	
11. Area of the entire proposed development parcel(s);	•	•	•	✓	
12. Location and number of all proposed lots, with accurate areas, dimensions and angles indicated; including a zoning data table showing calculations necessary to determine conformance to zoning regulations;	•	•		N/A	
13. Location, names, right-of-way and pavement widths of existing and proposed streets within and immediately adjacent to the subdivision parcel;	•	•	•	✓	
14. Location, size and proposed use of existing buildings and structures, including historic designation, if any;	•	•	•	✓	
15. Location of existing utilities including wells and individual sewage disposal systems (abandoned utilities must be shown and noted as such);	•	•	•	✓	
16. Provisions for collecting and discharging stormwater;	•	•		✓	
17. Location, scale, massing, height, (including relationship to existing and proposed grades) and dimensions of proposed structures, if any; including; floor area ratios, lot coverage and total building square footage; this information may be provided on a separate sheet, if necessary;	•	•	•	✓	
18. Location of proposed permanent bounds (documentation that all proposed bounds have been set shall be provided prior to Final plan recording);		•	•	✓	
19. Location of existing environmental features including general soil types, rock outcrops, surface water, wetland areas, wooded areas and major trees twelve (12) inch caliper or larger, and any other significant environmental features, if any;	•	•		✓	
20. Existing contours with minimum intervals of two (2) feet; where any changes in contours are proposed, finished grades must be shown as solid lines. Spot elevations must also be shown with at least two (2) benchmarks referenced;	•	•		✓	
21. Location of any wetlands, watercourses or their buffers (perimeter wetlands) present on the subdivision parcel, as determined by a RIDEM qualified wetlands biologist {in accordance with RIDEM Wetland Regulations};	•			✓	
22. Notation as to flood zone of the property including base flood elevation data;	•	•		✓	
23. Areas of agricultural use, (if any);	•	•		✓	
24. Location of historic cemeteries on or immediately adjacent to the subdivision (if any);	•	•		✓	
25. Location of any unique natural and/or historic features, including stone walls;	•	•		✓	
26. Location, dimension, and area of any land proposed to be set aside as open space, recreation, or drainage or conveyed to the Town for public purposes;	•	•	•	✓	
27. Location and notation of type of proposed easement(s) or existing easement(s) to remain (if any) with accurate dimensions and areas indicated;		•	•	✓	

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28. Notation of special conditions of approval imposed by the Planning Board (if any);		•	•	✓	
29. Notation of any permits and agreements with State and Federal Reviewing agencies (if any);		•	•	✓	
30. A place for signatures of the Planning Board Chair or Designee must be provided on all plans and/or documents to be signed by the Planning Board;	•	•	•	✓	
31. Certification by a Registered Land Surveyor that all interior and perimeter lot lines and street lines of the land being subdivided have been designed to conform to <u>Procedural and Technical Standards for the Practice of Land Surveying in the State of Rhode Island and Providence Plantations</u> , effective April 1, 1994, as amended. Measurement standards for the surveys shall meet the minimum standards for Class I Surveys.		•	•	✓	
C. Construction Drawings - Six (6) blue-line or photocopies of preliminary and final construction plans of street and drainage structures drawn to a minimum scale of 1 inch to 40 feet (1"=40') for referral to the Technical Review Committee. Each sheet shall be no larger than 24 " by 36", and a sufficient number of sheets shall be included to clearly show all of the information required. Sheets shall be numbered sequentially (e.g., sheet 1 of 3, 2 of 3, etc). All construction plans shall be certified as correct (stamped and signed) by a Registered Professional Engineer:		•	•	✓	
1. <u>If street creation or extension is proposed:</u> a. <i>Streets Plan and Profile:</i> (minimum scale of 1"=40' horizontal) with profiles (minimum 1"=4' vertical) indicating the street center line, curblines, and the existing elevations of the ground at the street center line, location size, rim and invert elevations of proposed sewer lines, water lines and other underground utilities; and, street cross-sections showing width of right-of-way, roadway; and, if required location and width of sidewalks. b. Street plans shall also include all vehicular access to and from the site onto public streets including the size and location of curb cuts, driveways, parking and loading areas and other off-site traffic improvements necessary to ensure public safety; and, stubs for future connections to future streets in adjacent vacant lands. NOTE: The Planning Board may make any referrals and require of the applicant any studies it deems necessary to evaluate traffic and circulation plans.				N/A	

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C. Construction Drawings, cont.					
2. For phased projects, as-built drawings for the previous phase;		•	•		N/A
3. Drainage and Utility Plans to show the existing and proposed drainage structures, drainage basin areas, drainage flow paths, and outfalls with water quality measurements, including all utilities such as sewer, water, electric, gas, fire alarm cable, telephone and cable TV, manholes, valves, hydrants. Also included shall be a report summarizing drainage calculations; drainage plans and drainage calculations shall be prepared by a Registered Professional Engineer;		•	•		✓
4. Additional plans with appropriate construction details and construction notes for street pavement, sidewalk, drainage structures, street lighting, exterior site lighting/photometrics plan (Major Land Developments only), sanitary structures, water line and water line structures, trench excavation, and steep slope excavation, if applicable;		•	•		✓
5. Grading plans to show proposed contours at two-foot intervals for all grading proposed for on and off-site street construction, drainage facilities, and upon individual lots if part of proposed subdivision improvements;		•	•		✓
6. Soil erosion and sediment control plan in conformance with Appendix F, if required;		•	•		✓
7. Landscaping plan as detailed in Appendix F;		•	•		✓
8. Plans showing street names and hydrant locations approved by the Fire Chief;		•	•		✓
9. Construction Schedule identifying expected start and finish times for major construction tasks;		•			✓
10. Temporary improvements, if any, in accordance with Appendix F;	•	•			N/A
11. A traffic flow plan showing circulation patterns within the development;		•			✓
12. If any streets, areas, or facilities are to be dedicated to the Town of Bristol, a statement shall be added to all final plat plans stating that such dedication shall not impose any duty or responsibility upon the Town of Bristol to maintain or improve any dedicated streets, areas, or facilities until specifically authorized by the Town Council per Section 6.7 of these regulations.			•		N/A
D. Supporting Materials:		•	•	•	
1. 12 reduced copies of all plans required in Items A, B, and C above (minimum 8 1/2" x 11" and maximum 11" x 17");		•	•	•	
2. One (1) copy of a narrative report providing the general description of the proposed development and phasing if any, including the proposed financing and present ownership of all of the land included within the development; if the applicant does not own all the land, then explain how it will be assembled or how site control will be achieved;	•				N/A

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3. One (1) copy of a current deed and an Attorney's certificate certifying title, including encumbrances, easements, and/or temporary or permanent restrictions on the property;		•		✓	
4. A list of consultants (i.e. engineering, planning, environmental) to be used on the project;		•		✓	
5. A vicinity map, (locus map) drawn to a minimum scale of 1" = 400' or as necessary to show the area within one-half mile of the subdivision parcel showing the location of all streets, existing lot lines, and zoning district boundaries. Schools, parks, fire stations and other significant public facilities shall be indicated on the locus map by shading and labeling the specific use;	•			N/A	
6. A list of the names and mailing addresses as shown on the current real estate and assessment records of the Town for the property owners within the notice area; (See Section 8.5) this information shall also be on mailing labels;	•	•		N/A	
7. Low Impact Development (LID) Site Planning and Design strategies and Checklist from the Rhode Island Stormwater Design and Installation Standards Manual. Stormwater designs should meet RI Stormwater Manual Minimum Standards.	•			N/A	
8. A radius map, showing the property within the notice area (See Section 8.5) including: a. the shape, dimension and area of the property; b. the location of all zoning use district boundary lines; c. the assessor's plat and lot numbers; and, d. the general location, shape, use; and if any, historic designation of all existing buildings and structures and improvements; The above information may be shown on an 11" x 17" plan at a scale as appropriate;	•			N/A	
9. Architectural elevations (with measurements as needed for each interpretation) and of all exterior facades of proposed or existing buildings, structures and equipment including type and color of materials to be used; elevations shall be at an appropriate scale as determined at the preapplication stage;	•			N/A	
10. Legal documents describing the property, including proposed easements and rights-of-way, offer to convey public streets, creating Homeowners Association (if appropriate) deed transferring open space, dedications, restrictions, or other required legal documents:					
a. Two draft copies for review by the Planning Board Solicitor;	•			N/A	
b. Two signed final copies;		•			
11. Written confirmation from the RI Department of Environmental Management that the plans of the proposed subdivision, including any required off-site construction, have been reviewed and indicating that the Wetlands Act either does not apply to the proposed site alteration or that approval has been granted for the proposed site alteration;		•		N/A	

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12. In lieu of item 10 above, an affidavit signed by a qualified professional (having minimum qualifications as described by the RIDEM Department of Freshwater Wetlands) stating that there are no freshwater wetlands or their buffers (perimeter wetlands) present on the property being subdivided {in accordance with RIDEM Wetland Regulations};		•	N/A	
13. Preliminary determination from the Coastal Resources Management Council if the parcel to be subdivided is subject to the jurisdiction of this agency;		•	N/A	
14. A Physical Alteration Permit (PAP) issued by the State Department of Transportation for any connection to or construction work within a State highway or State right-of-way (if applicable);		•	N/A	
15. Water Service (if proposed):				
a. Written confirmation that the Bristol County Water Authority has reviewed the plan and is able to provide water service;		•	N/A	
b. A copy of the water contract covering the installation of water service or written confirmation that a contract has been executed or will be executed upon approval by the Planning Board (a copy of the executed contract must be submitted prior to endorsement by the Planning Board);		•		
16. Sewer:				
a. Written confirmation from the Bristol Water Pollution Control Facility certifying that the subdivision can tie into the Bristol Sewer Service; or,		•	N/A	
b. If Individual Sewage Disposal Systems are proposed, either a preliminary subdivision suitability report or a water table verification from the Rhode Island Department of Environmental Management indicating that the soil and water table within the proposed subdivision are suitable for the safe and proper operation of individual sewage disposal systems;		•	N/A	
17. Certification from the Tax Collector that all property taxes are current and that sewer assessments and sewer use fees are paid;		•	In Process	
18. A letter stating it is the intent to complete the required improvements prior to Planning Board endorsement of the final plat or a letter requesting that a security sufficient to cover the cost of required improvements be set by the Planning Board, along with a construction cost estimate for improvements;		•	N/A	
19. Application form;	•	•	•	✓

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<p>20. Initial written comments on the Master Plan and final written comments on Preliminary from the following agencies:</p> <p>a. _____ Planning Board Engineer Date: _____</p> <p>b. _____ Water Authority Date: _____</p> <p>c. _____ Sewer Department Date: _____</p> <p>d. _____ Building Inspector Date: _____</p> <p>e. _____ Planning Department Date: _____</p> <p>f. _____ Department of Public Works Date: _____</p> <p>g. _____ Fire and Police Date: _____</p> <p>h. _____ Conservation Commission Date: _____</p> <p>i. _____ Other Local Agencies, Specify: _____ Date: _____</p> <p>j. _____ Adjacent Community (Warren) Date: _____</p> <p>k. _____ RI Dept. of Environmental Management Date: _____</p> <p>l. _____ RI Dept. of Transportation Date: _____</p> <p>m. _____ Coastal Resources Date: _____</p> <p>n. _____ Other State Agencies, Specify: _____ Date: _____</p> <p>o. _____ FEMA Date: _____</p> <p>p. _____ Other Federal Agencies, Specify: _____ Date: _____</p> <p>NOTE: REFERRALS TO THE ABOVE AGENCIES WILL BE MADE BY PLANNING DEPARTMENT STAFF.</p>	•	•		N/A	
21. Report and recommendations from the Technical Review Committee;	•	•		N/A	
22. Approvals from other Town Boards and commissions, as appropriate;		•	•	✓	
23. Approvals from other State Agencies, as appropriate;		•		✓	
24. Such other information as may be required to show that the details of the proposal are in accordance with this section and all other applicable requirements and standards of these Regulations.	•	•	•	✓	
E. Payment of Required Fees - Payment of the following fees or posting of financial guarantees, if required, to be prior to endorsement by the Planning Board:					
1. Application fee;	•	•	•	TBD	
2. Final plat recording fee;			•	TBD	
3. Engineer Review and Inspection Fee;	•	•	•	TBD	
4. Performance guarantee or other financial guarantees (if applicable);			•	TBD	
5. Fees in-lieu of land dedication (if applicable);			•	N/A	
6. Maintenance guarantee for acceptance of public improvements (if applicable);			•	TBD	
7. Receipt that all other fees to outside agencies have been paid by applicant, if any;			•	N/A	
8. Mapping fees shall be paid to the Tax Assessor prior to recording plan.			•	TBD	

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Other Requirements: The following items may be required based on the presence of certain site conditions as indicated at the Pre-application or Master Plan stage of review. The applicant shall have any required items prepared by a qualified party.				
1. Fiscal impact statement (see Section 6.6);		•		N/A
2. Completed Environmental Impact Assessment statement for the proposed development (see Section 6.6);		•		N/A
3. Archaeological Study;		•		N/A
4. Traffic Impact Study,		•		N/A
5. Phase 1 Environmental Site Assessment (ESA), conducted by a qualified professional consultant, as may be requested at the pre-application stage. If the Phase 1 indicates suspect environmental site conditions, then a Phase 2 ESA shall be conducted by a qualified professional consultant prior to preliminary plan approval;	•	•		N/A
6. Perspective drawings, view shed maps, line of site diagrams, sketches, renderings, photographs or scale models as needed to illustrate the visual impact on the community;	•			N/A
7. Flood plain compensation calculations;		•		N/A
8. Historic District Commission Certificate of Appropriateness, if the project requires Historic District Commission review and approval.		•		N/A

** Mylar plans shall be on polyester film, single matte with a thickness of 3 mils (.003 inches), and must have opacity so as to allow consistent computer scanning. All plans shall be prepared using a compatible ink with excellent cohesiveness which will produce a permanent bond and result in a plan with long term durability. All signatures must be in black India ink or its equal.*



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 116
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-3767

RESIDENTIAL ASSENT

CRMC File No.: 2023-02-061 CRMC Assent No.: A2023-02-061

Whereas, Thames Street Nashua, LLC
of 670 North Commercial Street
Manchester, NH 03101

has applied to the Coastal Resources Management Council for assent to: Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans and hereby represents that they are the owner(s) of the riparian rights attached to the property involved and submitted plans of the work to be done.

Now, said Council, having fully considered said application in accordance with all the regulations as set forth in the Administrative Procedures Act does hereby authorize said applicant, subject to the provisions of Title 46, Chapter 23 of the General Laws of Rhode Island, 1956, as amended, and all laws which are or may be in force applicable thereto: **Construct and maintain a mixed use redevelopment, consisting of 127 residential units, commercial space, parking, public access, buffer zone restoration, site remediation and stormwater management; Repair existing seawall and outfall, all per the approved plans; located at plat 10, lots 41,42,43,44,49,50,60,61,62,68,71,73,74,76; 125 Thames Street, Bristol, RI;** in accordance with said plans submitted to this Council and approved by this Council. All work being permitted must be completed on or before **May 28, 2027**, after which date this assent is null and void, (unless written application requesting an extension is received by CRMC sixty (60) days prior to expiration date).

Applicant agrees that as a condition to the granting of this assent, members of the Coastal Resources Management Council or its staff shall have access to applicant's property to make on-site inspections to ensure compliance with the assent.

Licensee shall be fully and completely liable to State, and shall waive any claims against State for contribution or otherwise, and shall indemnify, defend, and save harmless State and its agencies, employees, officers, directors, and agents with respect to any and all liability, damages (including damages to land, aquatic life, and other natural resources), expenses, causes of action, suits, claims, costs (including testing, auditing, surveying, and investigating costs), fees (including attorneys' fees and costs), penalties (civil and criminal), and response, cleanup, or remediation costs assessed against or imposed upon Licensee, State, or the Property, as a result of Licensee's control of the Property, or Licensee's use, disposal, transportation, generation and/or sale of Hazardous Substances or that of Licensee's employees, agents, assigns, sublicensees, contractors, subcontractors, permittees, or invitees.

Nothing in this assent shall be construed to impair the legal rights of this granting authority or of any person. By this assent the granting authority by no manner, shape, or form assumes any liability or responsibility implied, or in fact, for the stability or permanence of said project; nor by this assent is there any liability implied or in fact assumed or imposed on the granting authority. Further, the granting authority by its representatives or duly authorized agents shall have the right to inspect said project at all times including, but not limited to, the construction, completion, and all times thereafter.

This Assent is granted with the specific proviso that the construction authorized therein will be maintained in good condition by the owner thereof, his heirs, successors, or assigns.

Permits issued by the CRMC are issued for a finite period of time, confer no property rights, and are valid only with the conditions and stipulations under which they are granted. Permits imply no guarantee of renewal, and may be subject to denial, revocation, or modification.

If this matter appeared before the full Council, a copy of the legal decision from this proceeding may be acquired by contacting the CRMC office in writing.

A copy of this Assent shall be kept on site during construction.

Application for future alteration of the shoreline or other construction or alteration within the CRMC jurisdiction shall be submitted to the CRMC for review prior to commencing such activity.

All applicable policies, prohibitions, and standards of the RICRMP shall be upheld.

All local, state or federal ordinances and regulations must be complied with.

Please be advised that as a further conditions of this Assent, it is hereby stipulated that you and/or your agents shall comply at all times with Federal and State Water Quality Standards and other State standards and regulations regarding water quality, and shall exercise such supervision over and control of these facilities to prevent the dumping or discarding or refuse, sanitary wastes and other pollutants in the tidal waters, either from vessels docked at said facilities or from land adjacent thereto.

No work that involves alteration to wetlands or waters of the United States shall be done under this Assent until the required Federal Permit has been obtained.

Non-compliance with this assent shall result in legal action and/or revocation of this permit.

CAUTION:

The limits of authorized work shall be only for that which was approved by the CRMC. Any activities or alterations in which deviate from this assent or what was detailed on the CRMC approved plans will require a separate application and review. Additionally, if the information provided to the CRMC for this review is inaccurate or did not reveal all necessary information or data, then this permit may be found to be null and void. Plans for any future alteration of the

shoreline or construction or alteration within the 200' zone of CRMC jurisdiction or in coastal waters must be submitted for review to the CRMC prior to commencing such activity.

Permits, licenses or easements issued by the Council are valid only with the conditions and stipulation under which they are granted and imply no guarantee of renewal. The initial application or an application for renewal may be subject to denial or modification. If an application is granted, said permit, license and easement may be subject to revocation and/or modification for failure to comply with the conditions and stipulations under which the same was issued or for other good cause.

ATTENTION: ALL STRUCTURES AND FILLED AREAS IN THE TIDAL, COASTAL, OR NAVIGABLE WATERS OF THE STATE OF RHODE ISLAND ARE SUBJECT TO:

1. The Superior Property Rights of the State of Rhode Island in the Submerged and Submersible Lands of the Coastal, Tidal, and Navigable Waters;
2. The Superior Navigation Servitude of the United States;
3. The Police Powers of the State of Rhode Island and the United States to regulate Structures in the Tidal, Coastal, or Navigable Waters.

THE SUBMERGED AND SUBMERSIBLE LANDS OF THE TIDAL, COASTAL, AND NAVIGABLE WATERS OF THE STATE ARE OWNED BY THE STATE AND HELD IN TRUST FOR THE PUBLIC. CONVEYANCE OF THESE LANDS IS ILLEGAL; TITLES PURPORTING TO TRANSFER SUCH LANDS ARE VOID. ASSENTS THAT INVOLVE THE FILLING OR USE OF THE STATES SUBMERGED LANDS ARE GRANTED WITH THE PROVISIO THAT IT IS SUBJECT TO THE IMPOSITION OF A USAGE FEE TO BE ESTABLISHED BY THE COASTAL RESOURCES MANAGEMENT COUNCIL.

The lands adjacent to tidal waters and/or access to these lands may be impacted or rendered unusable in the future due to sea level rise, storm surge, and shoreline erosion. Online resources including STORMTOOLS, Shoreline Change Maps, and Sea Levels Affecting Marshes Model (SLAMM) Maps can be accessed through the CRMC website (www.crmc.ri.gov). The Council recommends the use of these resources to evaluate the flood extent and inundation from sea level rise, storm surge and erosion and damages to land, aquatic life, loss of public access and other natural resources on and near the site of the above assent. The project life may be shortened by these processes and may require additional adaptation measure up to and including relocation of the project. By issuing this assent the granting authority neither explicitly nor implicitly assumes any liability or responsibility for the stability or permanence of said project under future climate and shoreline conditions.

SPECIFIC STIPULATIONS OF APPROVAL

General Stipulations

A. The applicant shall record this assent in its entirety in the land evidence records of the Town of Bristol within thirty (30) days of the date of assent issuance. Certification by the Town Clerk's office that this stipulation has been complied with shall be furnished to

Coastal Resources Management Council by the applicant within fifteen (15) days thereafter. Failure to comply with the provision will render this assent null and void.

B. For the purpose of this permit, the coastal feature shall be the manmade shoreline; and the inland edge of the coastal feature shall be the top of the revetted bank and headwall.

C. The approved plan shall be those entitled “Bristol Yarn Mill, Thames Street & Hope Street, Bristol..AP 10, Lots 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76, Permitting Plan December 6, 2022 Revised March 6, 2024..” total 28 sheets by Shawn M. Martin, RPE and the conservation easement/public access plan shall be Exhibit A entitled “Easement Plan, Bristol Yarn Mill, 125 Thames Street, Lots 42 & 60, Map 10, Town of Bristol.. 2 sheets dated 2-7-24 by Charles E. Lent, PLS. Except as stipulated or modified herein, all details and specifications thereon shall be strictly adhered to. Any and all changes require written approval from this office.

D. Prior to commencement of site alterations, you shall post the CRMC assent card. This assent card must be maintained at the site in a conspicuous location until such time that the project is complete.

E. This lot may be subject to sea level rise in the near and long term and is therefore at increased risk of flooding. The owner is cautioned that the current building codes do not account for sea level rise and is hereby advised that the building should be elevated to the maximum height allowed under zoning ordinance to account for rising sea level in the future.

F. This project required a Coastal Hazards Analysis (CHA) as per the Rhode Island Coastal Resources Management Council’s regulations. The Council recommends residential applications meet a minimum of a 30-year design life (longer design life may not meet recommended criteria). Please be advised this project:

- Meets the anticipated 3’ design life of Sea Level Rise (SLR), however does not meet the chosen 5’ design life (50yr).
- Meets- the accelerated erosion rate.
- Does not meet the recommended Storm Tools Design Elevation (SDE) of 23-25’ for 3-5’ of SLR.
- CERI modeling indicates the site likely to be Extreme damage (3’SLR)- inundated by 2100 (5’SLR)

G. The owner is bound by the terms of the Conservation Easement/Public Access Easement executed May 2024 and recorded at Book 2244, Pg 165 (9pages) on 5/20/2024 in the Land Evidence Records of the Town of Bristol, RI.

H. This assent requires a setback (Ref. Red Book Section 1.1.9) of 20’ feet in width as measured landward from the inland edge of the coastal feature to the existing building.

I. This assent requires a coastal buffer zone (Ref. Red Book Section 1.1.11) of variable width which includes a public accessway, natural buffer zone (restored) and managed buffer vegetation, as shown on the approved plan.

J. Vegetation in the unmanaged portion of the buffer zone shall remain undisturbed following installation.

K. This project is being reviewed under the requirements of the Federal Historic Preservation Tax Incentives Program. Should the project not receive Historic Preservation Certification Part 2, then RIHPHC approval is still required prior to any work on the project.

L. No alterations (vegetative or otherwise) or activities are allowed in the waterway adjacent to the site, excepting repair work on existing outfall per the approved plans.

M. All runoff of surface water into the stipulated coastal buffer zone shall be maintained as sheet flow. No concentrated sources of runoff flow (such as pipes or swales) shall be directed into the buffer zone.

N. All remediation work shall be undertaken in accordance with the RIDEM approval for such.

O. Through coordination with ACOE GP process, the application has been determined to be eligible for ACOE GP approval and a permit will be forwarded directly from the ACOE, no work on-site may commence until such permit is received.

P. This structure shall be connected to and serviced by municipal sewers.

Q. An Environmental Compliance Monitor (ECM) shall be designated to oversee project compliance with the CRMC Assent. The RE (Resident Engineer) shall ensure that one or more inspectors are available as necessary for the project, each inspector must be qualified in the required specialized environmental field (i.e., waste management, coastal wetlands, etc.). Each inspector must have the education and experience in each respective field to properly inspect the project and recommend corrective measures. The RE/ECM shall report site inspections at least once weekly and on an as needed basis during all phases of the project, likely to result in environmental impacts. A dated and signed report shall be completed for the record during each inspection. Each inspection shall identify any environmental issues of concern and any non-compliance with the CRMC Assent and other agency approvals (RI Department of Environmental Management, US Army Corps of Engineers, and US Coast Guard). Subsequent reports shall describe actions and remedies undertaken to rectify these issues and restore project compliance with the CRMC Assent and the approved plans. Where compliance has not been properly achieved, the RE/ECM shall notify the CRMC on a timely basis. In addition, field reports shall be available to be forwarded to the CRMC upon request.

Earthwork Stipulations

A. The Permittee shall construct and maintain all soil erosion, runoff, and sediment control practices in accordance with the CRMC approved site plan (referenced herein).

B. All soil erosion, runoff, sedimentation, and construction activity pollution prevention control measures must be implemented in accordance with CRMC approved site plan (referenced herein) and the approved Soil Erosion and Sediment Control Plan entitled “Soil Erosion and Sediment Control Report, Bristol Yarn Mill...,” dated January 31, 2023, by Fuss and O’Neil.

C. Prior to the initiation of site alterations or construction including the mobilization of construction vehicles, equipment or machinery, the Limit of Disturbance (LOD) shall be adequately delineated on site (by survey methods where appropriate). No equipment access, equipment or material storage or other activities including construction vehicle parking shall occur beyond the Limit of Disturbance, even on a temporary basis.

D. Prior to conducting earthwork and other land disturbing activities, erosion, runoff, and sediment control measures shall be installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer’s specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). These measures must be maintained until the site is stabilized through the establishment of vegetative cover and/or construction of the approved facilities (buildings, roadways, parking areas, etc.) has stabilized soils sufficiently to prevent erosion and sedimentation.

E. All discharges which result from dewatering operations must flow into pumping settling basins, portable sediment tanks or portable sediment bags which are properly installed and maintained in accordance with good engineering practices including the applicable details found in the manufacturer’s specifications and/or in the Rhode Island Soil Erosion and Sediment Control Handbook (as amended).

F. Temporary measures shall be installed to protect permanent or long-term stormwater control and treatment measures as they are installed and throughout the construction phase of the project so that they will function properly when they are brought online. Construction activity shall be restricted in areas where infiltration measures are proposed to prevent compaction. In cases where it is not possible to avoid the area, methods shall be taken to restore the infiltration capacity of the soil.

G. All excavated material shall be cast on the upslope side of the excavation to minimize sedimentation. No excavated material shall be stockpiled beyond the Limit of Disturbance (LOD) or in unauthorized locations.

H. All areas of disturbed soil which are impacted by construction, site work and related activities shall be temporarily stabilized throughout the site construction period. Soil stabilization may be achieved through appropriate temporary measures as described by the Rhode Island Soil Erosion and Sediment Control Handbook (as amended). Where the season is not conducive to the establishment of vegetative cover, other temporary measures shall be employed including the application of mulch and/or use of fiber rolls (erosion control blankets, etc.). Temporary erosion, runoff and sediment controls shall be employed and maintained until temporary or permanent vegetative cover can be achieved and/or site improvements such as approved buildings, roadways and parking areas are constructed resulting in a lack of exposed soil.

I. Stabilization of disturbed areas must, at a minimum, be initiated immediately whenever any clearing, grading, excavating or other earth disturbance activities have permanently ceased on any portion of the site, or temporarily ceased on any portion of the site and will not resume for a period exceeding 14 calendar days. Stabilization must be completed using vegetative stabilization measures or using alternative measures whenever vegetative measures are deemed impracticable or during periods of drought. All disturbed soils exposed prior to October 15th shall be seeded by that date. Any such areas which do not have adequate vegetative stabilization by November 15th must be stabilized through the use of non-vegetative erosion control measures. If work continues within any of these areas during the period from October 15th through April 15th, care must be taken to ensure that only the area required for that day's work is exposed, and all erodible soil must be restabilized within five (5) working days.

J. Construction sites must be inspected by or under the supervision of the owner and operator at least once every seven (7) calendar days and within 24 hours after any storm event which generates at least 0.25 inches of rainfall per 24-hour period and/or after a significant amount of runoff. If an inspection reveals a problem, the operator must initiate work to fix the problem immediately after discovering the problem and complete such work by the close of the next workday, if the problem does not require significant repair or replacement, or if the problem can be corrected through routine maintenance.

K. There shall be no discharge or disposal of toxic waste, hazardous materials, oil, grease and other lubricants, excess fertilizer, pesticides or other chemicals or controlled materials either on site or in any area which may enter a wetland, watercourse, or groundwater. All spills of such materials shall be reported to the RI Department of Environmental Management for appropriate remediation. All used lubricants, excess chemicals, fertilizers, pesticides, etc., shall be removed from the site for transport, handling, and disposal in accordance with all applicable state and federal regulations.

L. All excess excavated materials (soils, rock, gravel, etc.), excess construction materials, demolition debris, temporary erosion, runoff, and sediment control measures, etc., shall be removed from the site for appropriate re-use and/or proper disposal at a suitable upland location or landfill. All toxic materials and waste shall be properly transported and disposed of in accordance with applicable state and federal regulations.

M. Upon the successful stabilization of exposed soils, all temporary (interim) erosion, runoff and sediment control measures as well as pollution prevention measures shall be appropriately decommissioned and removed from the site for re-use and/or for disposal at a suitable, legal upland location or landfill. All temporary sediment basins, sediment traps and channels, etc., shall be removed and/or restored in accordance with the approved site plans.

Stipulations for Stormwater Management on Projects Other than Individual Single-Family Residential Lot Development:

- A. The Permittee shall construct the stormwater management practices in accordance with the CRMC approved site plan (referenced herein).
- B. All stormwater management practices shall be operated and maintained in accordance with the Operation and Maintenance (O&M) Plan, entitled “Long-Term Operation and Maintenance Report Bristol Yarn Mill...,” dated December 2, 2022, by Fuss and O’Neill.

Building Stipulations

- A. All pertinent requirements of the RI State Building Code as administered by the local building official shall be strictly adhered to.

Buffer Zone Stipulations

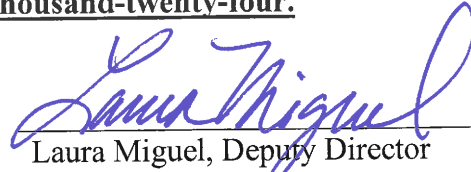
- A. The buffer zone plantings required by this Assent shall be installed coincident with the next available growing season following start of construction.
- B. The applicant is responsible for the survivorship of the plantings for one full growing season. Plants not surviving the first growing season shall be replaced as stated on the approved plans/necessary.
- C. Prior to initiating any work on site, permanent markers at least 24" above grade must be installed along the inland edge of the buffer zone from each affected property boundary to any points in between which provide appropriate angle points necessary to delineate the full limit of the CRMC approved buffer zone. The intent of these markers is to provide permanent reference points on-site which are clear to present and future property owners. Acceptable permanent-type markers include 4" x 4" pressure treated timber posts, galvanized fence posts with cap or granite or concrete bounds. A permanent-type fence at least 24" tall may be substituted for markers where desired.

Beach Replenishment, coir logs, sandbags, snow fence, and signs on beaches Stipulations:

- A. The public retains all the rights to public access along the shore outlined in the Rhode Island State Constitution.
- B. All work shall be done landward of the high-water line.

Thames Street Nashua, LLC
CRMC Assent A2023-02-061
May 28, 2024
Page Nine

In Witness Whereof, said Coastal Resources Management Council has hereto set their hands and seal this **28th day of May in the year two-thousand-twenty-four.**



Laura Miguel, Deputy Director
Coastal Resources Management Council

/jla



DEPARTMENT OF THE ARMY
US ARMY CORPS OF ENGINEERS
NEW ENGLAND DISTRICT
696 VIRGINIA ROAD
CONCORD MA 01742-2751

April 8, 2024

Regulatory Division
File Number NAE-2023-01757
CRMC No. 2023-02-061

Mr. Shane Brady
Thames Street Nashua, LLC
670 N. Commercial Street, Suite 303
Manchester, NH 03101

sbrady@bradysullivan.com

Mr. Brady:

The U.S. Army Corps of Engineers (USACE) has reviewed your application to the Coastal Resources Management Council (CRMC) to renovate the Bristol Yarn Mill for 127 residential apartment units and approximately leasable space for commercial uses. This project will take place at 125 Thames Street, at the intersection of Thames Street and Hope Street in Bristol, RI, 02908 (41.667197°N, -71.277928°W). The portion of work under USACE jurisdiction is the (existing) seawall repair and reconstruction of the 30" RCP outfall pipe drainage way through the stone masonry portion of seawall. The project will permanently impact a total of 441 linear feet of estuarine intertidal habitat shown on the enclosed (revised) plans titled "Brady Sullivan Properties" on 5 pages dated "March 25, 2024".

Based on the information you have provided, we verify that the Pre-Construction Notification (PCN) activity is authorized under General Permit 2 of the May 6, 2022, federal permits known as the Rhode Island General Permits (GPs). The GPs are available at <https://www.nae.usace.army.mil/Missions/Regulatory/State-General-Permits/Rhode-Island-General-Permit>.

Please review the GPs carefully, in particular the general conditions beginning on page 43, and ensure that you and all personnel performing work authorized by the GPs are fully aware of and comply with its terms and conditions. A copy of the GPs and this verification letter shall be available at the work site as required by General Condition 14.

This authorization expires on May 6, 2027. You must commence or have under contract to commence the work authorized herein by May 6, 2027, and complete the work by May 6, 2028. If not, you must contact this office to determine the need for further authorization and we recommend you contact us *before* the work authorized herein expires. Please contact us immediately if you change the plans or construction methods for work within our jurisdiction as we must approve any changes before you

undertake them. Performing work within our jurisdiction that is not specifically authorized by this determination or failing to comply with the terms and conditions of the GPs may subject you to the enforcement provisions of our regulations.

This authorization does not obviate the need to obtain other federal, state, or local authorizations required by law. Applicants are responsible for applying for and obtaining any other approvals.

This determination becomes valid only after the Rhode Island CRMC issues their required authorization. The CRMC contact information is provided on page 55 of the GPs.

We continually strive to improve our customer service. For us to better serve you, we would appreciate your completing our Customer Service Survey located at <https://regulatory.ops.usace.army.mil/customer-service-survey/>.

Please contact Elizabeth Waterhouse, of my staff, at (978) 318-8943 or elizabeth.c.waterhouse@usace.army.mil if you have any questions.

Sincerely,

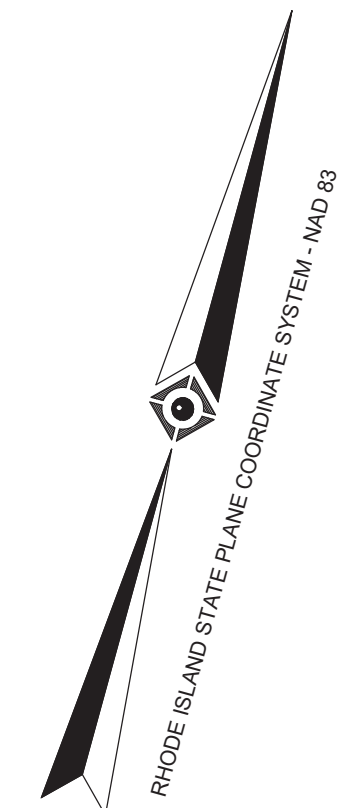
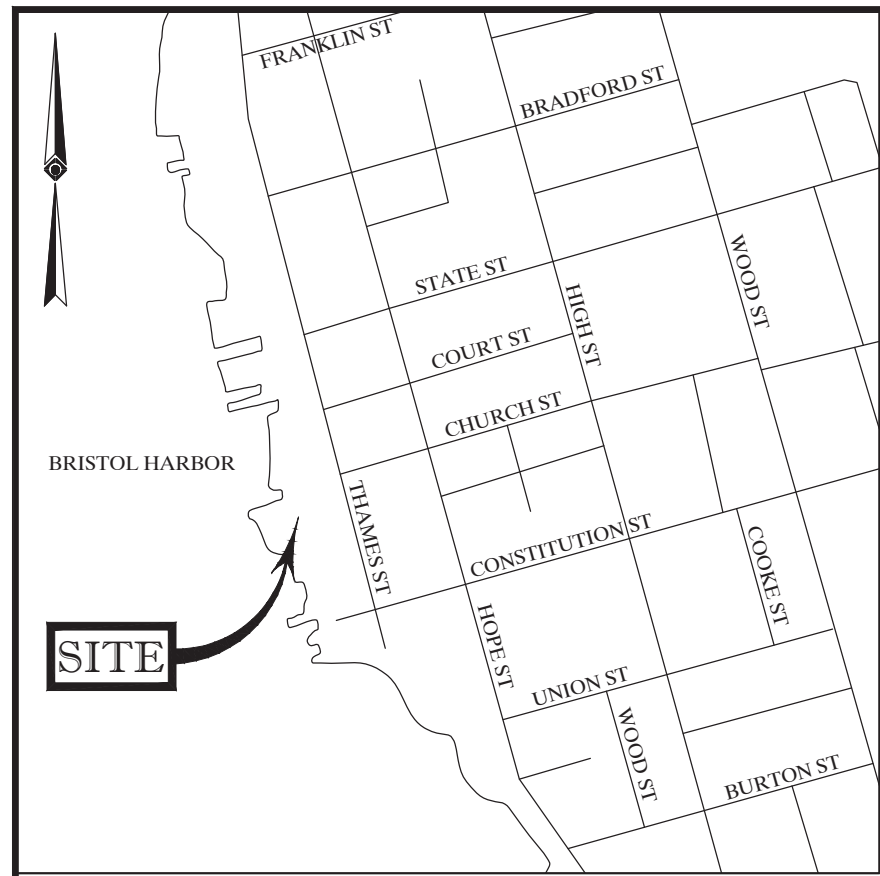
Kevin R Kotelly

Kevin R. Kotelly, P.E.
Chief, CT/RI Section
Regulatory Division

Enclosures

cc:

Shawn Martin, Fuss & O'Neil, Regional Manager; SMartin@fando.com
Elizabeth Totten, RI Rhode Island Historical Preservation & Heritage Commission; elizabeth.totten@preservation.ri.gov
Neal Personesus, RI DEM, Providence, RI; neal.personesus@dem.ri.gov
Lisa Turner, RI CRMC; lturner@crmc.ri.gov
Erica Sachs, US EPA, Region 1, Boston, MA; sachs.eric@epa.gov
Joseph Bishop, US EPA, Region 1, Boston, MA; bishop.joseph@epa.gov
Sabrina Pereira, NOAA EFH Coordinator; sabrina.pereira@noaa.gov



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

LEGEND

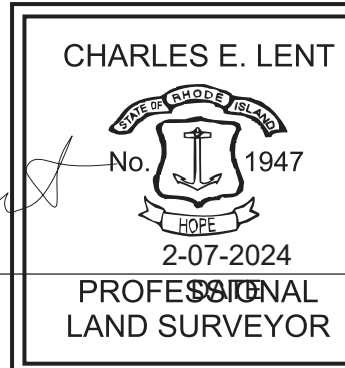
	HYDRANT		DRAINAGE/STORM MANHOLE
	WATER VALVE		ELECTRIC MANHOLE
	UNKNOWN VALVE		SANITARY/SEWER MANHOLE
	GAS VALVE		UNKNOWN MANHOLE
	GAS METER		WATER MANHOLE
	ELECTRIC METER		CATCH BASIN OR INLET
	OVERHEAD WIRES		TREE & TRUNK SIZE
	UTILITY POLE		PARKING SPACE COUNT
	AREA LIGHT		DEPRESSED CURB
	SIGN		SOLID WHITE LINE
	BOLLARD		DOUBLE YELLOW LINE
	CHAIN LINK FENCE		HEIGHT
	DEPRESSED CURB		BUILDING
	EDGE OF CONCRETE		BUILDING FOOTPRINT AREA
	EDGE OF PAVEMENT		DRILL HOLE FOUND
	LANDSCAPED AREA		MASONRY BLOCK WALL
	METAL COVER		TYPICAL

- NOTES:
- PROPERTY KNOWN AS LOTS 42 & 60 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
 - PROPOSED PUBLIC ACCESS EASEMENT AREA = 8,068± SQ. FT. OR 0.185± ACRES.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATIONS ARE TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
 - BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL+12), & ZONE "X SHADDED" (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), & ZONE "X UNSHADDED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL+14 EL+15) PER REF #2.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A PROPOSED EASEMENT ON THE SUBJECT PARCELS.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-001.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION: III
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

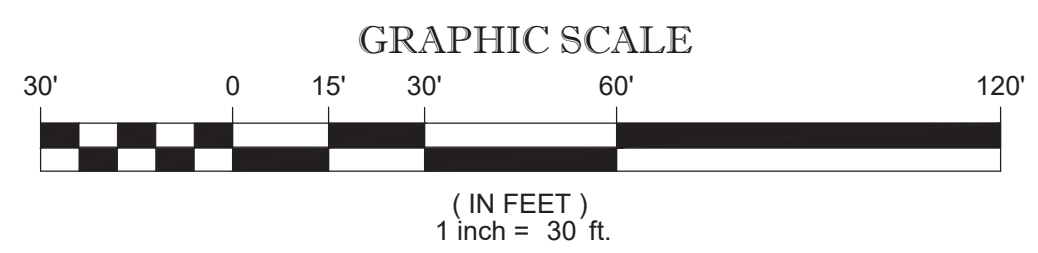
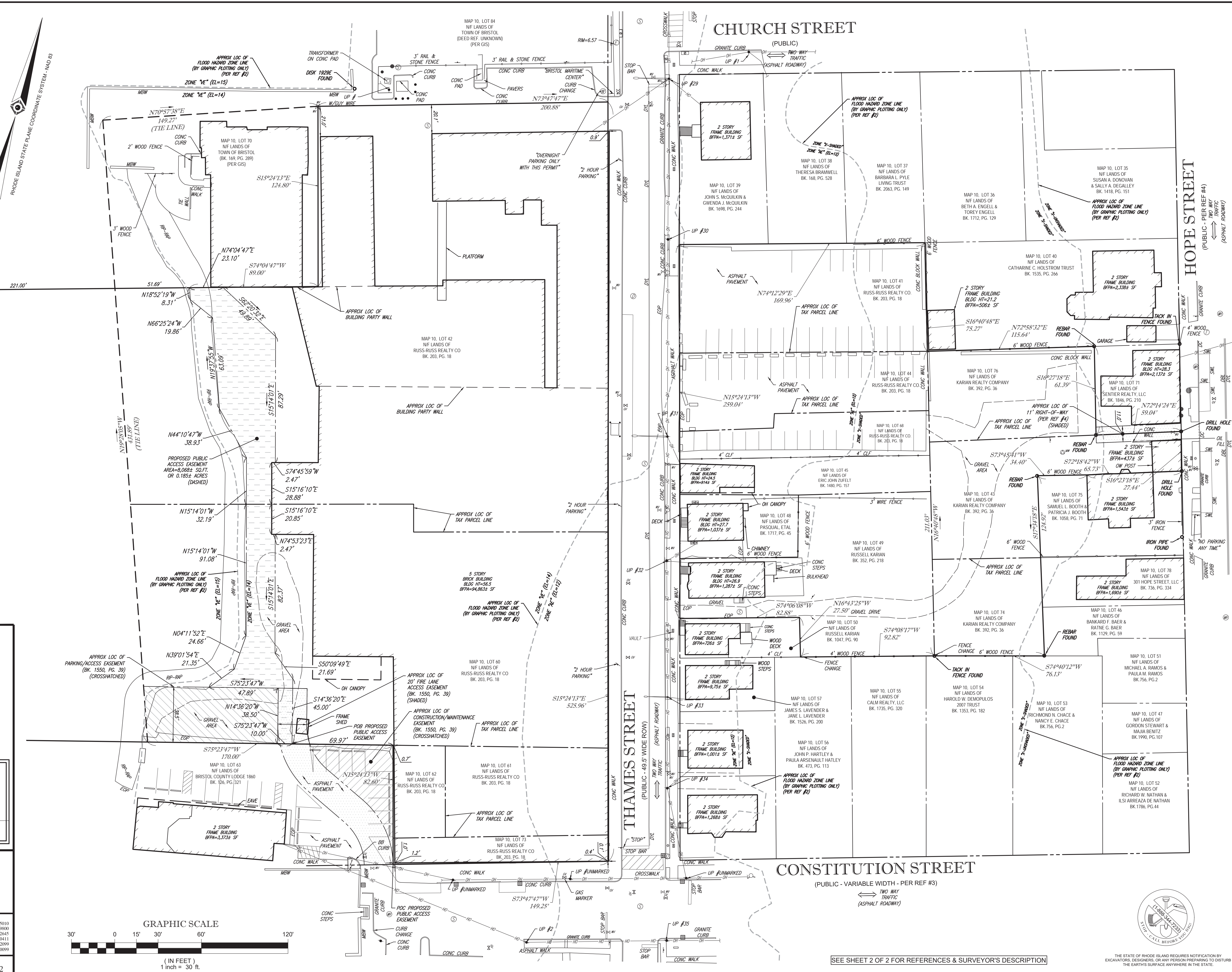
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

EASEMENT PLAN
BRISTOL YARN MILL
125 THAMES STREET
LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY
STATE OF RHODE ISLAND

FIELD DATE			
FIELD BOOK NO.			
FIELD BOOK PG.			
FIELD CREW			
DRAWN	E.G.F.		
REVIEWED	C.E.L.		
APPROVED	DATE	SCALE	FILE NO.
C.E.L.	2-07-2024	1" = 30'	03-210289-00
DWG. NO.	1 OF 2		



SEE SHEET 2 OF 2 FOR REFERENCES & SURVEYOR'S DESCRIPTION

THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND 9ALL JURISDICTIONS), PANEL 14 OF 18", MAP NUMBER 44001C03014H, MAP REVISED, JULY 7, 2014.
3. MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
4. MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL, RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
5. MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALGLET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
6. MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL RHODE ISLAND", PREPARED BY: FUSS & O'NEILL, DATED MAY 7, 2021
7. MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
8. MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS & O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
9. RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.
10. MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BRISTOL YARN MILL, 125 THAMES STREET, LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10, TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021, LAST REVISED OCTOBER 1, 2021, THREE SHEETS.

SURVEYOR'S METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (NF OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (NF OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (NF OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE:

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (NF LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE:
 1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE:
 1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES:
 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.68 FEET TO A POINT, THENCE;
 6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (NF LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES:
 7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 8. NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;
 11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (NF OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
 12. NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES:
 13. SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
 14. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
 15. SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 16. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES:
 17. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
 18. NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 19. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
 20. SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.09 FEET TO A POINT, THENCE;
 21. SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

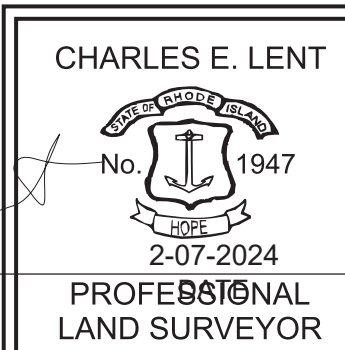
CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

SEE SHEET 1 OF 2 FOR NOTES, OVERALL BOUNDARY & SITE FEATURES

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION I
2. OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION III
3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

FIELD DATE	EASEMENT PLAN		
FIELD BOOK NO.	BRISTOL YARN MILL		
FIELD BOOK PG.	125 THAMES STREET		
FIELD CREW	LOTS 42 & 60, MAP 10		
DRAWN	TOWN OF BRISTOL, BRISTOL COUNTY		
E.G.F.	STATE OF RHODE ISLAND		
REVIEWED	APPROVED	DATE	SCALE
E.LOC.	C.E.L.	2-07-2024	N/A
			FILE NO.
			03-210289-00
			DWG. NO.
			2 OF 2

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Charles E. Lent

CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5010
CHALFONT, PA 215-712-9800
HAIPPAUGE, NY 631-586-2645
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2099
WARREN, NJ 908-668-0099
352 TURNPIKE ROAD
SOUTH BOKULGH, MA 01772
508.948.3000 - 508.948.3003 FAX
WWW.CPASURVEY.COM



FEBRUARY 7, 2024
03-210289-00
PAGE 1 OF 2

**SURVEYOR'S
METES AND BOUNDS DESCRIPTION**

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

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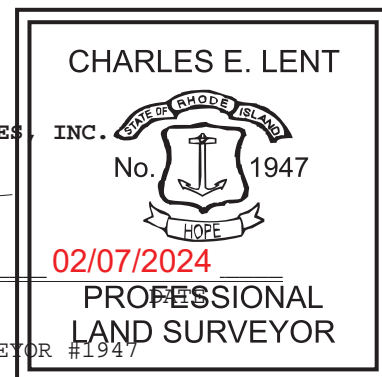
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CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

CONTROL POINT ASSOCIATES, INC.

Charles E. Lent

CHARLES E. LENT
STATE OF RHODE ISLAND
PROFESSIONAL LAND SURVEYOR #1947



Bristol Yarn Mill Roadway Cost Breakdown

Description	Unit	Unit Cost	Total
Mill	2560 SY.	\$8.10	\$20,736.00
Drainage Structures	5 EA.	\$6,070.00	\$30,350.00
Drainage Pipe	520 LF.	\$195.00	\$101,660.00
Water Main	815 LF.	\$268.00	\$218,420.00
Hydrants	3 EA.	\$7,740.00	\$23,220.00
Sewer	30 LF.	\$440.00	\$13,200.00
Grainite Curbing	375 LF.	\$60.00	\$22,500.00
Exterior Concrete (Prep)	6,340 SF.	\$5.00	\$31,700.00
Exterior Concrete (Pour)	6,340 SF.	\$12.00	\$76,080.00
Overlay	2,410 SY.	\$15.75	\$37,957.00
Total			\$575,823.00

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BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND

USACE PERMITTING PLAN

MARCH 25, 2024

PREPARED FOR
BRADY SULLIVAN PROPERTIES
670 N. COMMERCIAL STREET
MANCHESTER, NH 03101
603.622.6223
WWW.BRADYSULLIVAN.COM



PREPARED BY
FUSS & O'NEILL
317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
401.861.3070
www.fando.com

SHEET INDEX

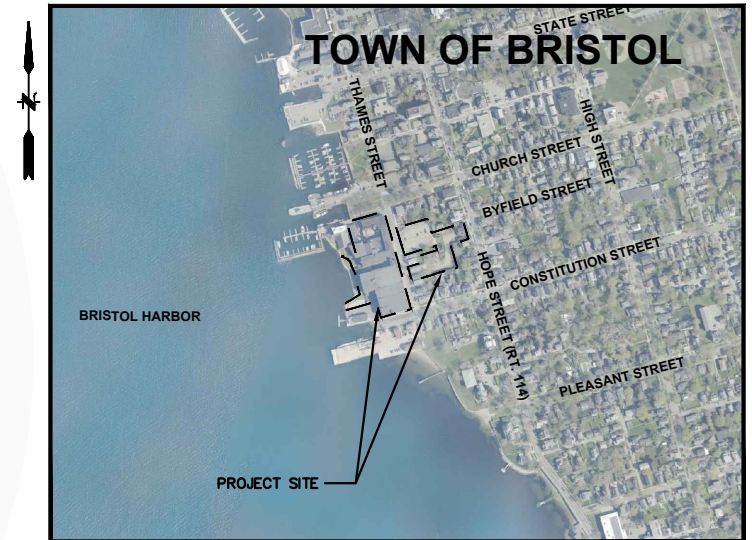
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GI-1	COVER SHEET
EX-1	EXISTING CONDITIONS
CS-1	SEAWALL WORK
CD-1	SEAWALL DETAILS
CD-2	SEAWALL DETAILS

PROJECT TEAM

ENVIRONMENTAL:
NOBIS GROUP
18 CHENELL DR
CONCORD, NH
03301
603.224.4182

ARCHITECTURAL:
BRADY SULLIVAN
PROPERTIES
670 N. COMMERCIAL STREET
MANCHESTER, NH
03101
630.622.6223

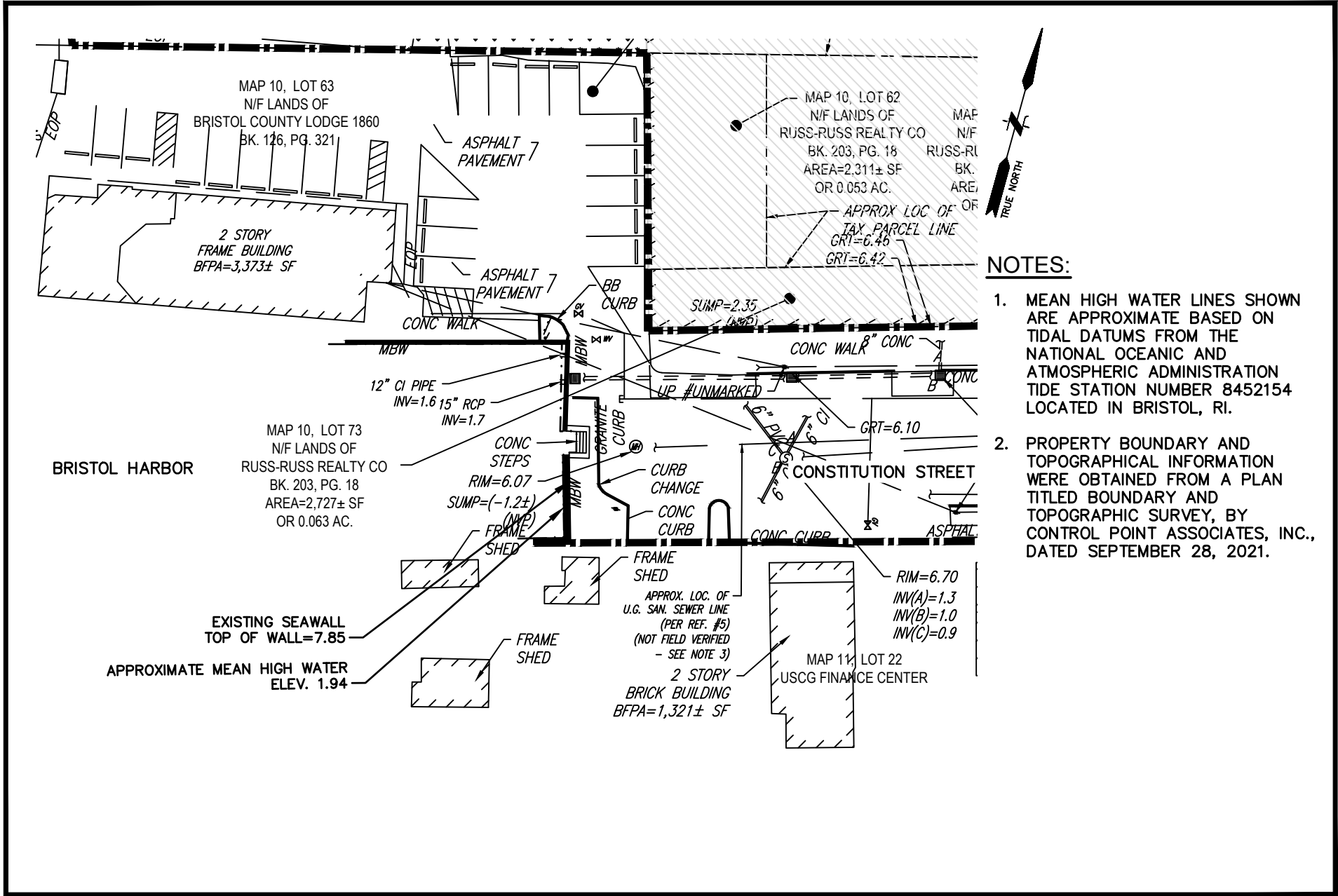
SURVEYOR:
CONTROL POINT
ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBOROUGH, MA
01772
508.948.3000



LOCATION MAP
SCALE: 1" = 100'

PROJ. No.: 20061150A22
DATE: MARCH 25, 2024

GI-1



NOTES:

1. MEAN HIGH WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.
2. PROPERTY BOUNDARY AND TOPOGRAPHICAL INFORMATION WERE OBTAINED FROM A PLAN TITLED BOUNDARY AND TOPOGRAPHIC SURVEY, BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021.

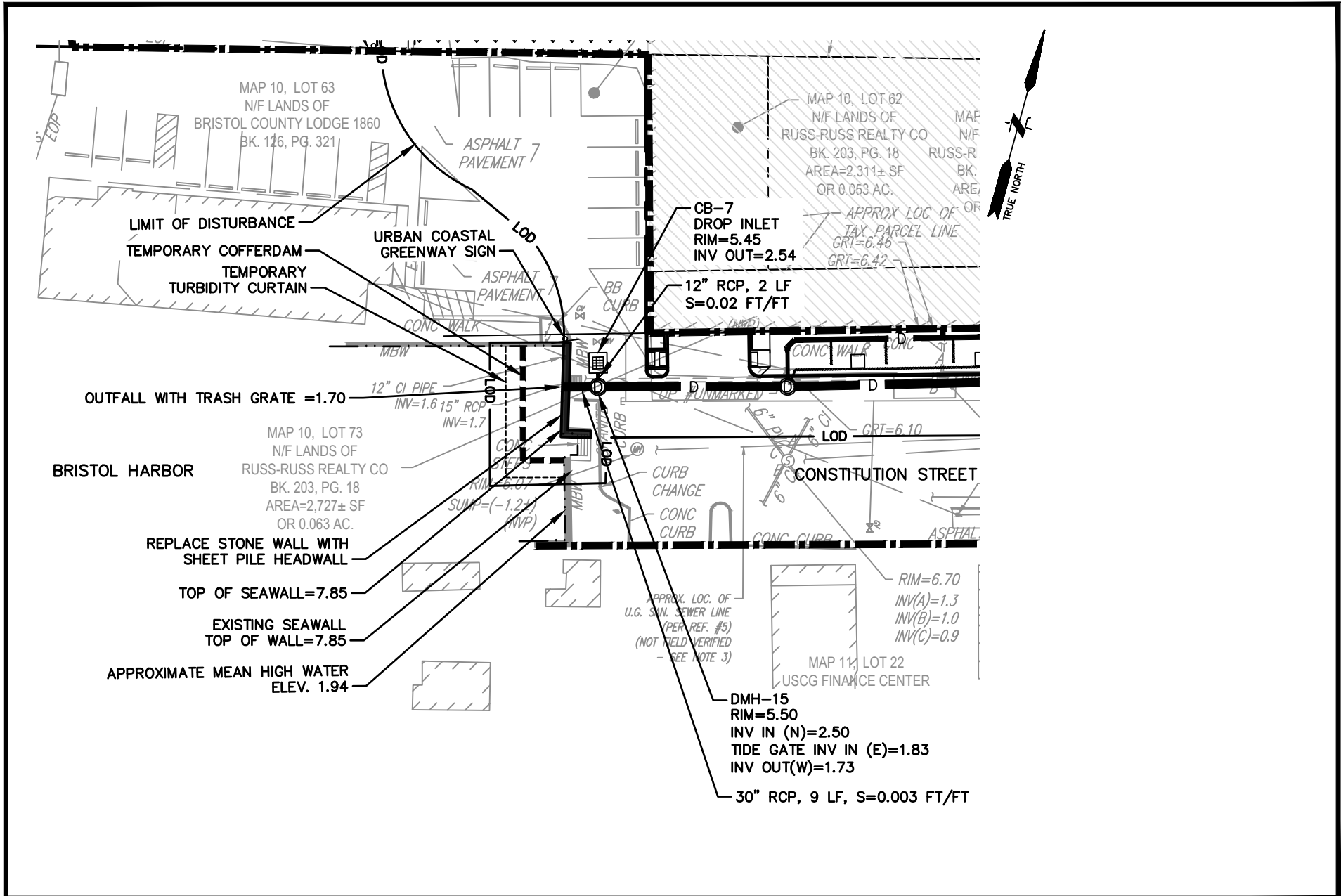
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HORZ.:	1"=20'
VERT.:	
DATUM:	
HORZ.:	NAD83
VERT.:	NAVD88
GRAPHIC SCALE	

FUSS & O'NEILL
 317 IRON HORSE WAY, SUITE 204
 PROVIDENCE, RI 02908
 401.861.3070
 www.fando.com

BRADY SULLIVAN
 EXISTING CONDITIONS
 BRISTOL YARN MILL
 125 THAMES STREET
 BRISTOL, RHODE ISLAND

PROJ. No.: 20061150_A22
DATE: 3/25/2024
EX-1

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 LAYER STATE:



SCALE:
HORZ.: 1"=20'
VERT.:
DATUM:
HORZ.: NAD83
VERT.: NAVD88
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GRAPHIC SCALE



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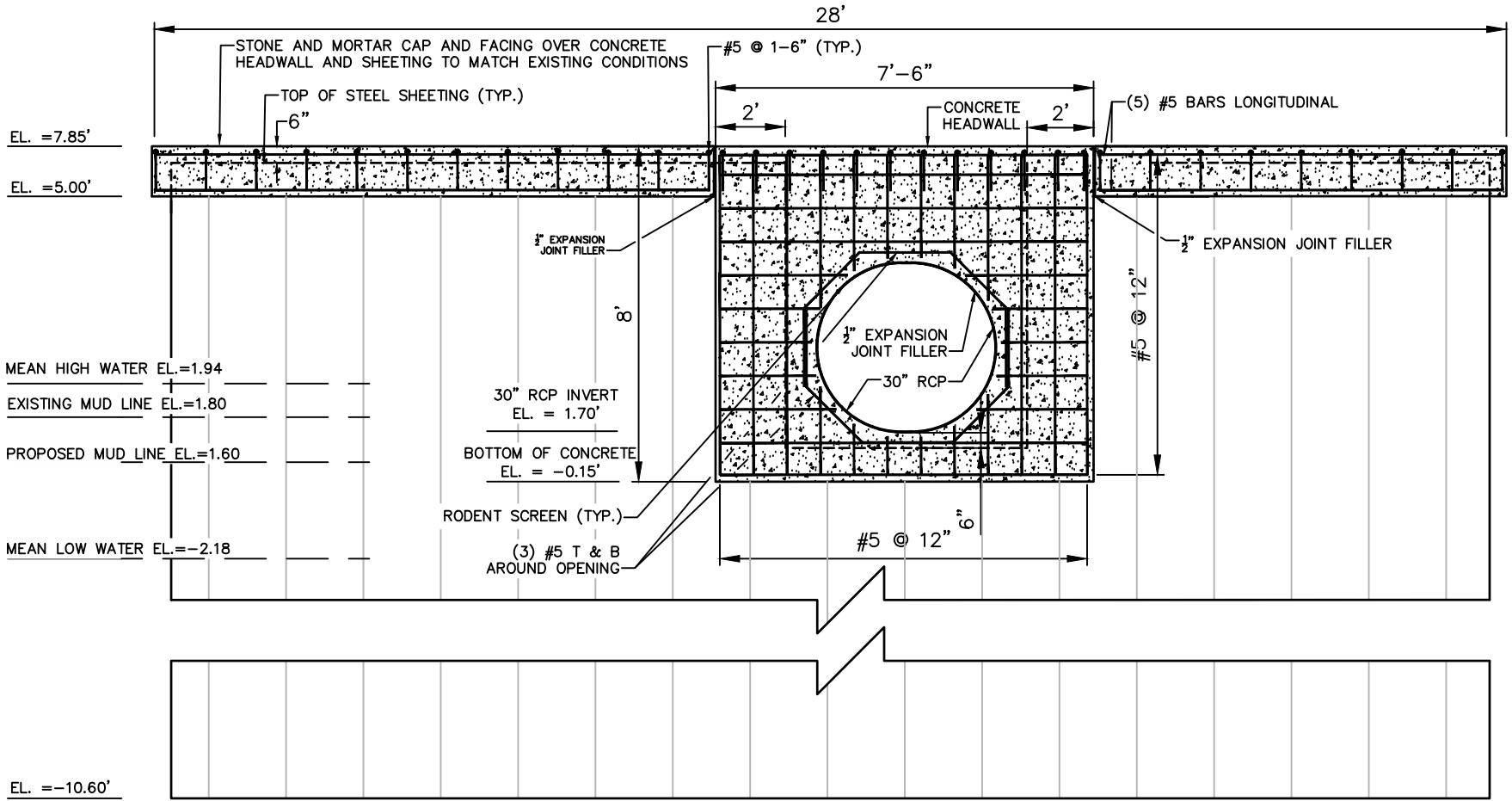
BRADY SULLIVAN
 SEAWALL WORK
 BRISTOL YARN MILL

125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150_A22
DATE: 3/25/2024
CS-1

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 LAYER STATE:



NOTES:

1. BACKFILL SHALL BE LESS 10 PERCENT SILT CONTENT.
2. CEMENT SHALL BE TYPE 2 OR TYPE 5 AIR ENTRAINING PORTLAND CEMENT OR AN EQUIVALENT
3. CONTRACTOR SHALL PREPARE AND SUBMIT A SHOP DRAWING FOR THE FINAL DESIGN OF THE SEAWALL AND WATER MANAGEMENT SYSTEM FOR ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
4. DESIGN SUBMITTALS SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND AND SHALL COMPLY WITH ALL RIDEM, CRMC, AND USACE REGULATIONS AND PERMIT CONDITIONS.
5. FILLING, GRADING, DREDGING, EXPANSION, OR ANY OTHER ACTIVITY NOT AUTHORIZED BY RIDEM, CRMC, OR USACE IS PROHIBITED.

HEADWALL PROFILE

NOT TO SCALE

SCALE:
HORZ.:
VERT.:
DATUM:
HORZ.: NAD83
VERT.: NAVD88
0
GRAPHIC SCALE



FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
 PROVIDENCE, RI 02908
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125 THAMES STREET

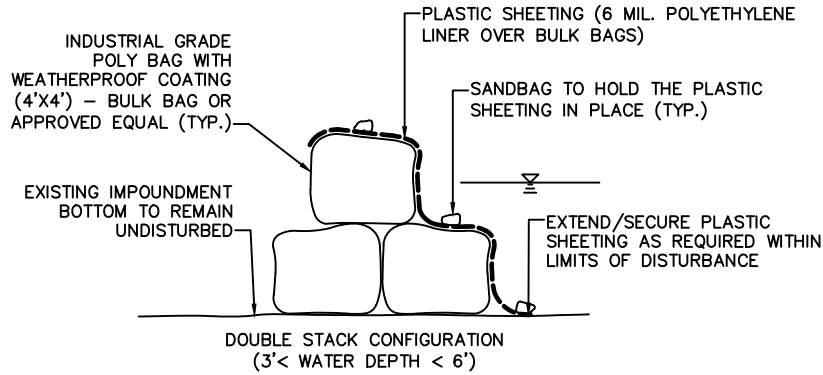
BRADY SULLIVAN
 SEAWALL DETAILS
 BRISTOL YARN MILL

BRISTOL, RHODE ISLAND

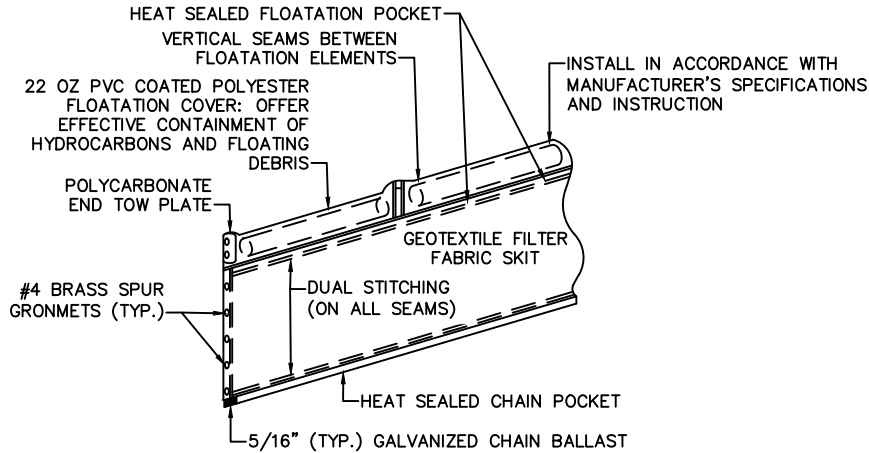
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 LAYER STATE:



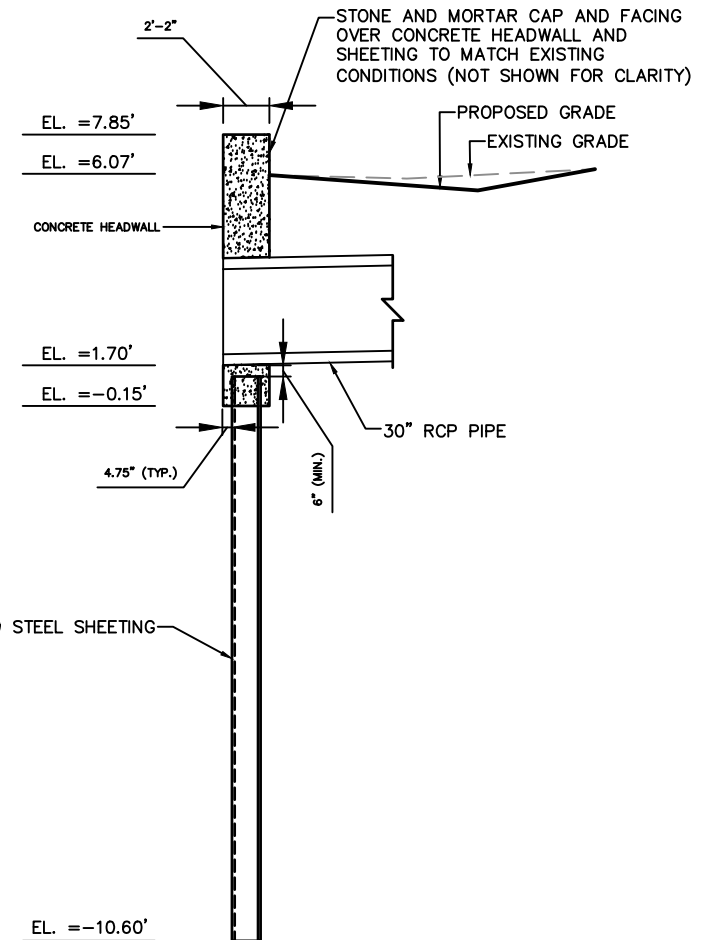
TEMPORARY COFFERDAM
NOT TO SCALE



NOTES:

1. FLOATION SIZE (6", 8" OR 12" DIA.) DETERMINED BY SKIRT DEPTH/SITE VARIABLES.
2. OTHER END TYPES AVAILABLE SUCH AS ALUMINUM UNIVERSAL SLIDE OR SLOTTED TUBE.
3. OPTIONAL TOP TENSION CABLE (5/16" TYP.) AVAILABLE FOR INCREASED STRENGTH.

TEMPORARY TURBIDITY CURTAIN
NOT TO SCALE



HEADWALL SECTION
NOT TO SCALE

SCALE:	
HORZ.:	
VERT.:	
DATUM:	
HORZ.:	NAD83
VERT.:	NAVD88
GRAPHIC SCALE	



FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
 PROVIDENCE, RI 02908
 401.861.3070
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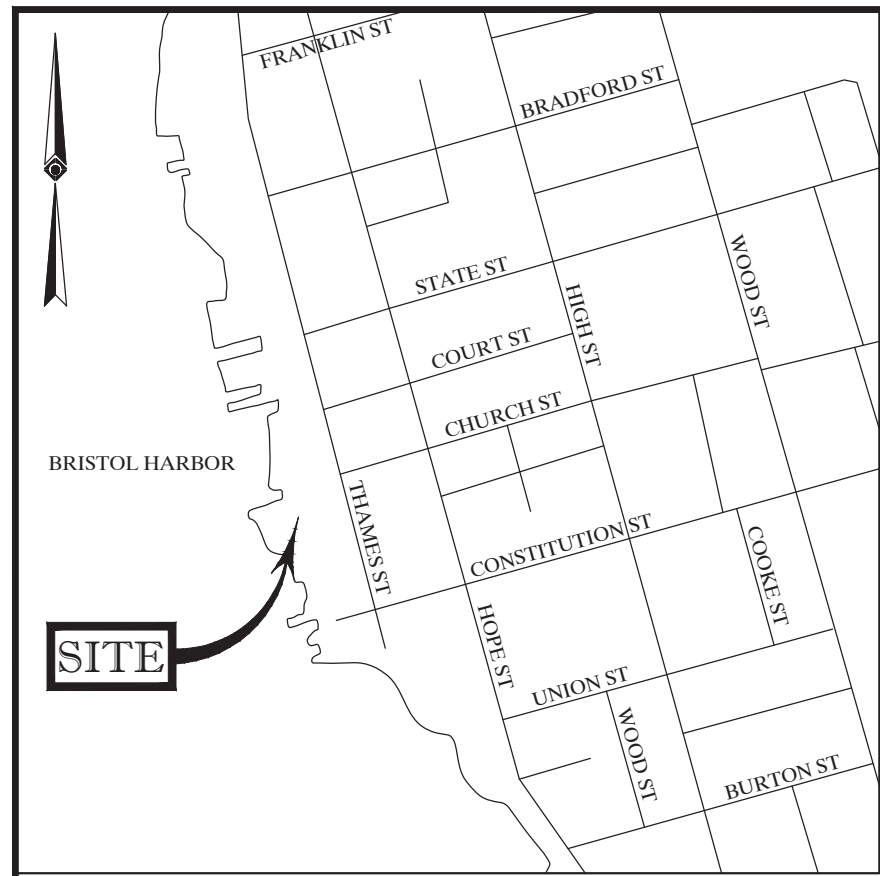
125 THAMES STREET

BRADY SULLIVAN
 SEAWALL DETAILS
 BRISTOL YARN MILL

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150_A22
 DATE: 3/25/2024

CD-2



LOCUS MAP
© 2013 ESRI WORLD STREET MAPS
NOT TO SCALE

LEGEND

	HYDRANT		DRAINAGE/STORM MANHOLE
	WATER VALVE		ELECTRIC MANHOLE
	UNKNOWN VALVE		SANITARY/SEWER MANHOLE
	GAS VALVE		UNKNOWN MANHOLE
	GAS METER		WATER MANHOLE
	ELECTRIC METER		CATCH BASIN OR INLET
	OVERHEAD WIRES		TREE & TRUNK SIZE
	UTILITY POLE		PARKING SPACE COUNT
	AREA LIGHT		DEPRESSED CURB
	SIGN		SOLID WHITE LINE
	BOLLARD		DOUBLE YELLOW LINE
	CHAIN LINK FENCE		HEIGHT
	DEPRESSED CURB		BUILDING
	EDGE OF CONCRETE		BUILDING FOOTPRINT AREA
	EDGE OF PAVEMENT		DRILL HOLE FOUND
	LANDSCAPED AREA		MASONRY BLOCK WALL
	METAL COVER		TYPICAL

- NOTES:
- PROPERTY KNOWN AS LOTS 42 & 60 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
PROPOSED PUBLIC ACCESS EASEMENT AREA = 8,068± SQ. FT. OR 0.185± ACRES.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - UNDERGROUND UTILITIES HAVE NOT BEEN SHOWN. BEFORE ANY SITE EVALUATION, PREPARATION OF DESIGN DOCUMENTS OR EXCAVATIONS ARE TO BEGIN, THE LOCATION OF UNDERGROUND UTILITIES SHOULD BE VERIFIED BY THE PROPER UTILITY COMPANIES.
 - BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL+12), & ZONE "X" (SHADED) (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), & ZONE "X" (UNSHADED) (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), & ZONE "VE" (COASTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL+14 EL+15) PER REF #2.
 - THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
 - THE PURPOSE OF THIS PLAN IS TO ILLUSTRATE A PROPOSED EASEMENT ON THE SUBJECT PARCELS.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-001.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: I
- OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY
MEASUREMENT SPECIFICATION: III
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

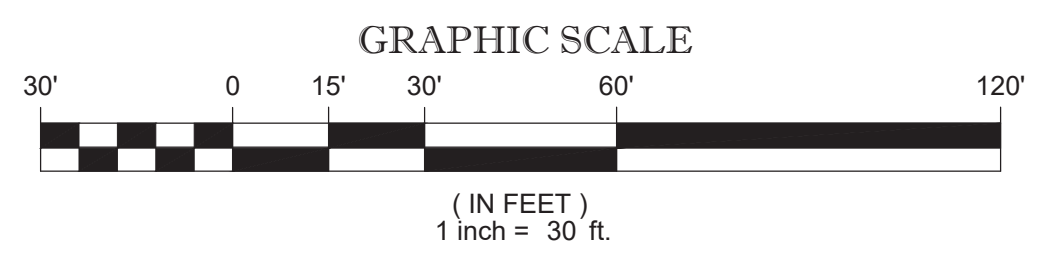
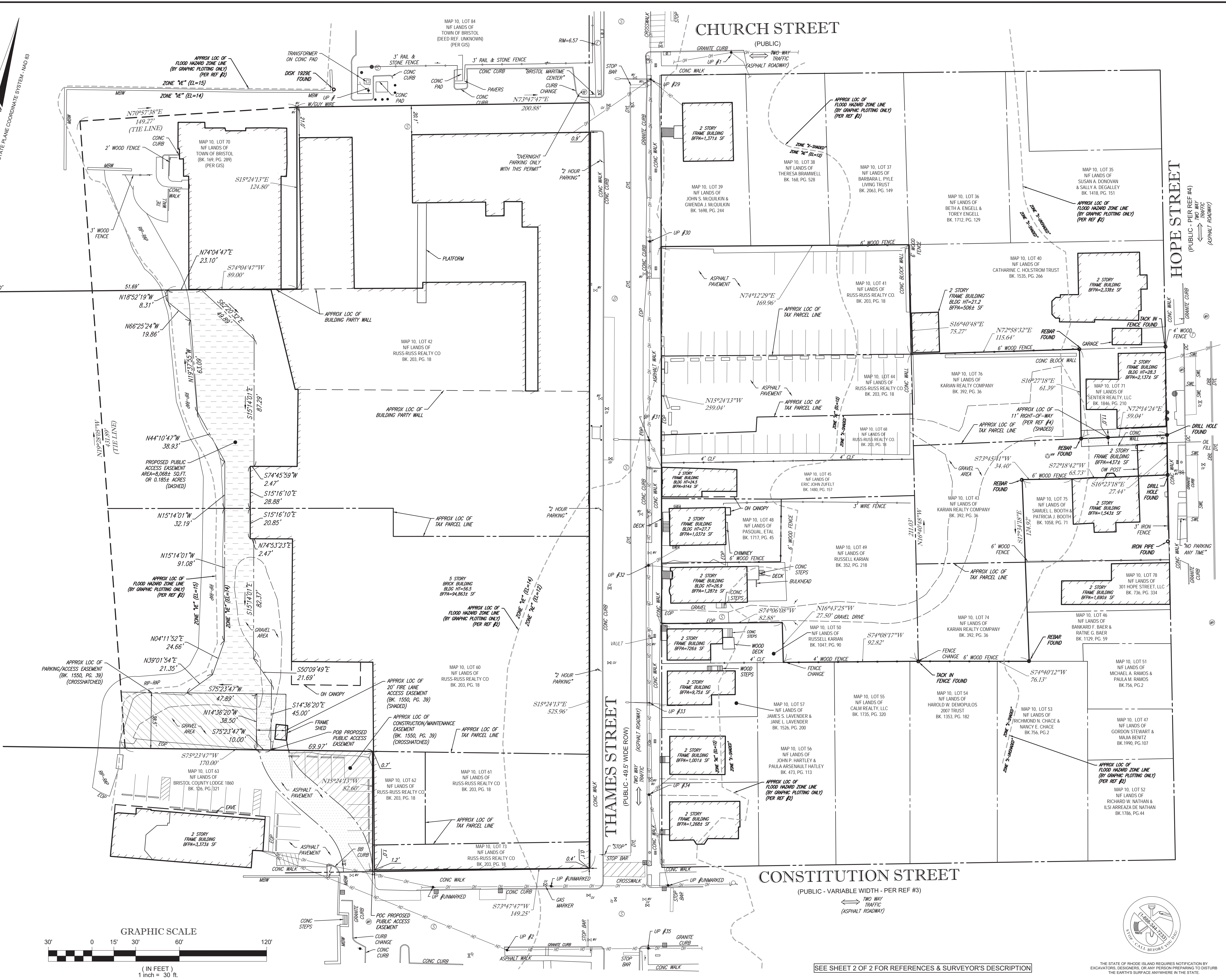
CHARLES E. LENT
No. 1947
2-07-2024
PROFESSIONAL LAND SURVEYOR

CHARLES E. LENT
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

EASEMENT PLAN
BRISTOL YARN MILL
125 THAMES STREET
LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY
STATE OF RHODE ISLAND

FIELD DATE					
FIELD BOOK NO.					
FIELD BOOK PG.					
FIELD CREW					
DRAWN	E.G.F.				
REVIEWED	C.E.L.				
APPROVED	DATE	SCALE	FILE NO.	DWG. NO.	
C.E.L.	2-07-2024	1" = 30'	03-210289-00	1	OF 2

CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5010
CHAMPLAIN, PA 215-712-9800
HATFIELD, NJ 610-886-2645
MANHATTAN, NY 646-780-0411
MILWAUKEE, WI 414-761-2099
WARREN, NJ 908-668-0099
WWW.CPASURVEY.COM



SEE SHEET 2 OF 2 FOR REFERENCES & SURVEYOR'S DESCRIPTION

THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

REFERENCES:

1. THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND 9ALL JURISDICTIONS), PANEL 14 OF 18", MAP NUMBER 44001C03014H, MAP REVISED, JULY 7, 2014.
3. MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
4. MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL, RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
5. MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALGLET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
6. MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL RHODE ISLAND", PREPARED BY: FUSS & O'NEILL, DATED MAY 7, 2021
7. MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: AUGUST 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
8. MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS & O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
9. RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.
10. MAP ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, BRISTOL YARN MILL, 125 THAMES STREET, LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10, TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND," PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED SEPTEMBER 28, 2021, LAST REVISED OCTOBER 1, 2021, THREE SHEETS.

SURVEYOR'S METES AND BOUNDS DESCRIPTION

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (NF OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (NF OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (NF OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE:

- A. NORTH 15 DEGREES - 24 MINUTES - 13 SECONDS WEST, A DISTANCE OF 82.60 TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 (NF LANDS OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63, THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE:
 1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 69.97 FEET TO THE POINT AND PLACE OF BEGINNING, THENCE CONTINUING ALONG SAID DIVISION LINE THE FOLLOWING COURSE:
 1. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 10.00 FEET, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES:
 2. NORTH 14 DEGREES - 36 MINUTES - 20 SECONDS WEST, A DISTANCE OF 38.50 FEET TO A POINT, THENCE;
 3. SOUTH 75 DEGREES - 23 MINUTES - 47 SECONDS WEST, A DISTANCE OF 47.89 FEET TO A POINT, THENCE;
 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
 5. NORTH 04 DEGREES - 11 MINUTES - 52 SECONDS EAST, A DISTANCE OF 24.68 FEET TO A POINT, THENCE;
 6. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 91.08 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 60 AND MAP 10, LOT 42 (NF LANDS OF RUSS-RUSS REALTY CO.), THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FIVE (5) COURSES:
 7. NORTH 15 DEGREES - 14 MINUTES - 01 SECOND WEST, A DISTANCE OF 32.19 FEET TO A POINT, THENCE;
 8. NORTH 44 DEGREES - 10 MINUTES - 47 SECONDS WEST, A DISTANCE OF 38.93 FEET TO A POINT, THENCE;
 9. NORTH 19 DEGREES - 37 MINUTES - 55 SECONDS WEST, A DISTANCE OF 63.09 FEET TO A POINT,
 10. NORTH 66 DEGREES - 25 MINUTES - 24 SECONDS WEST, A DISTANCE OF 19.86 FEET TO A POINT, THENCE;
 11. NORTH 18 DEGREES - 52 MINUTES - 19 SECONDS WEST, A DISTANCE OF 8.31 FEET TO A POINT ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 70 (NF OF TOWN OF BRISTOL), THENCE RUNNING ALONG SAID LINE THE FOLLOWING COURSE;
 12. NORTH 74 DEGREES - 04 MINUTES - 47 SECONDS EAST, A DISTANCE OF 23.10 FEET TO A POINT, THENCE RUNNING WITHIN MAP 10, LOT 42 THE FOLLOWING FOUR (4) COURSES:
 13. SOUTH 62 DEGREES - 20 MINUTES - 32 SECONDS EAST, A DISTANCE OF 49.89 FEET TO A POINT, THENCE;
 14. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 87.29 FEET TO A POINT, THENCE;
 15. SOUTH 74 DEGREES - 45 MINUTES - 59 SECONDS WEST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 16. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 28.88 FEET TO A POINT, ON THE DIVISION LINE BETWEEN MAP 10, LOT 42 AND MAP 10, LOT 60, THENCE RUNNING WITHIN MAP 10, LOT 60 THE FOLLOWING FIVE (5) COURSES:
 17. SOUTH 15 DEGREES - 16 MINUTES - 10 SECONDS EAST, A DISTANCE OF 20.85 FEET TO A POINT, THENCE;
 18. NORTH 74 DEGREES - 53 MINUTES - 23 SECONDS EAST, A DISTANCE OF 2.47 FEET TO A POINT, THENCE;
 19. SOUTH 15 DEGREES - 14 MINUTES - 01 SECOND EAST, A DISTANCE OF 82.37 FEET TO A POINT, THENCE;
 20. SOUTH 50 DEGREES - 09 MINUTES - 49 SECONDS EAST, A DISTANCE OF 21.09 FEET TO A POINT, THENCE;
 21. SOUTH 14 DEGREES - 36 MINUTES - 20 SECONDS EAST, A DISTANCE OF 45.00 FEET TO THE POINT AND PLACE OF BEGINNING.

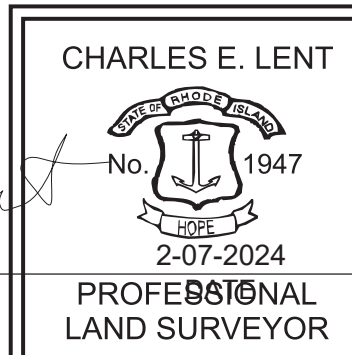
CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

SEE SHEET 1 OF 2 FOR NOTES, OVERALL BOUNDARY & SITE FEATURES

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON JANUARY 4, 2022 AS FOLLOWS:

1. TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY MEASUREMENT SPECIFICATION I
2. OTHER TYPE OF SURVEY: DATA ACCUMULATION SURVEY MEASUREMENT SPECIFICATION III
3. THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE EASEMENT PLAN.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT

RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

FIELD DATE	EASEMENT PLAN		
FIELD BOOK NO.	BRISTOL YARN MILL		
FIELD BOOK PG.	125 THAMES STREET		
FIELD CREW	LOTS 42 & 60, MAP 10		
DRAWN	TOWN OF BRISTOL, BRISTOL COUNTY		
E.G.F.	STATE OF RHODE ISLAND		
REVIEWED	APPROVED	DATE	SCALE
E.LOC.	C.E.L.	2-07-2024	N/A
			FILE NO.
			03-210289-00
			DWG. NO.
			2 OF 2



CONTROL POINT ASSOCIATES, INC.
352 TURNPIKE ROAD
SOUTHBROOK, CT, MA 01772
508.948.3000 - 508.948.3003 FAX
WWW.CPASURVEY.COM

ALBANY, NY 518-217-5010
CHALFONT, PA 215-712-9800
HAIPPAUGE, NY 631-586-2645
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2099
WARREN, NJ 908-668-0099

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FEBRUARY 7, 2024
03-210289-00
PAGE 1 OF 2

**SURVEYOR'S
METES AND BOUNDS DESCRIPTION**

PROPOSED PUBLIC ACCESS EASEMENT
LOCATED ON LOTS 42 & 60, MAP 10
TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND

COMMENCING AT A POINT ON THE NORTHERLY STREET LINE OF CONSTITUTION STREET (PUBLIC, VARIABLE WIDTH) SAID POINT BEING ON THE DIVISION LINE BETWEEN MAP 10, LOT 73 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 (N/F OF BRISTOL COUNTY LODGE 1860) THENCE RUNNING ALONG SAID DIVISION LINE AND THE DIVISION LINE BETWEEN MAP 10, LOT 62 (N/F OF RUSS-RUSS REALTY CO.) AND MAP 10, LOT 63 THE FOLLOWING COURSE;

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 - 4. NORTH 39 DEGREES - 01 MINUTE - 54 SECONDS EAST, A DISTANCE OF 21.35 FEET TO A POINT, THENCE;
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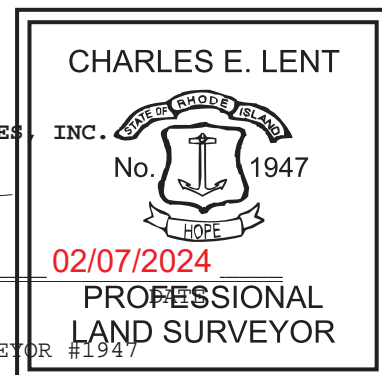
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CONTAINING 8,068 SQUARE FEET, 0.185 ACRES

CONTROL POINT ASSOCIATES, INC.

Charles E. Lent

CHARLES E. LENT
STATE OF RHODE ISLAND
PROFESSIONAL LAND SURVEYOR #1947



Bristol Yarn Mill Roadway Cost Breakdown

Description	Unit	Unit Cost	Total
Mill	2560 SY.	\$8.10	\$20,736.00
Drainage Structures	5 EA.	\$6,070.00	\$30,350.00
Drainage Pipe	520 LF.	\$195.00	\$101,660.00
Water Main	815 LF.	\$268.00	\$218,420.00
Hydrants	3 EA.	\$7,740.00	\$23,220.00
Sewer	30 LF.	\$440.00	\$13,200.00
Grainite Curbing	375 LF.	\$60.00	\$22,500.00
Exterior Concrete (Prep)	6,340 SF.	\$5.00	\$31,700.00
Exterior Concrete (Pour)	6,340 SF.	\$12.00	\$76,080.00
Overlay	2,410 SY.	\$15.75	\$37,957.00
Total			\$575,823.00

BRISTOL YARN MILL

THAMES STREET & HOPE STREET · BRISTOL · RHODE ISLAND
 ASSESSOR'S PLAT 10 LOTS 41, 42, 43, 44, 49, 50, 60, 61, 62, 68, 71, 73, 74, 76

PERMITTING PLAN

DECEMBER 6, 2022

REVISED: MAY 29, 2024

PREPARED FOR
BRADY SULLIVAN
PROPERTIES

670 N. COMMERCIAL STREET
 MANCHESTER, NH 03101
 603.622.6223
 WWW.BRADYSULLIVAN.COM



PREPARED BY

FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
 PROVIDENCE, RI 02908
 401.861.3070
 www.fando.com

CONSULTANTS

ENVIRONMENTAL:

NOBIS GROUP
 18 CHENELL DR
 CONCORD, NH
 03301
 603.224.4182

ARCHITECTURAL:

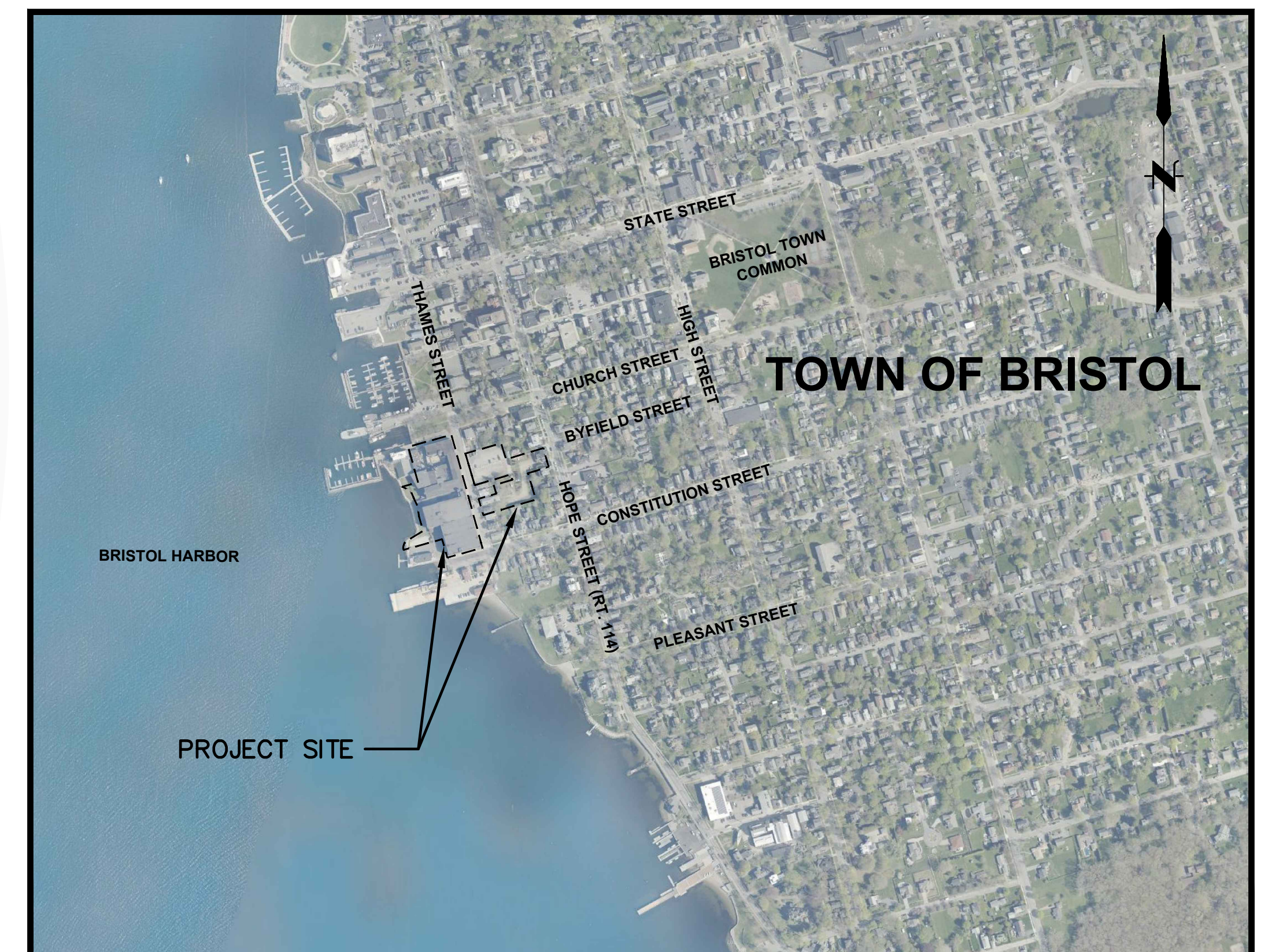
BRADY SULLIVAN
 PROPERTIES
 670 N. COMMERCIAL STREET
 MANCHESTER, NH
 03101
 630.622.6223

SURVEYOR:

CONTROL POINT
 ASSOCIATES, INC.
 352 TURNPIKE ROAD
 SOUTHBOROUGH, MA
 01772
 508.948.3000

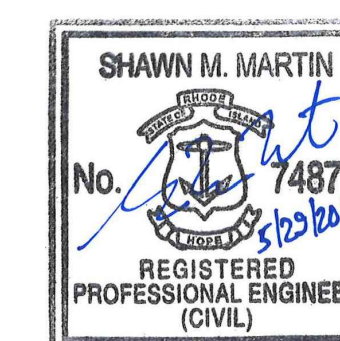
SHEET INDEX

SHEET No.	SHEET TITLE
GI-001	COVER SHEET
CN-001	GENERAL NOTES AND LEGEND
1 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
2 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
3 OF 3	BOUNDARY & TOPOGRAPHIC SURVEY
CP-101	SITE DEMOLITION PLAN
CE-101	SOIL EROSION & SEDIMENTATION CONTROL PLAN
CS-101	SITE PLAN
CS-102	SITE CIRCULATION PLAN
CG-101	GRADING PLAN
CG-102	DRAINAGE PLAN
CU-101	WATER & SEWER PLAN
LP-101 - LP-103	PLANTING PLANS
CD-501 - CD-502	PLANTING DETAILS
CD-503 - CD-511	CIVIL DETAILS
CD-512 - CD-513	LANDSCAPING DETAILS



LOCATION MAP

SCALE: 1" = 500'



PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

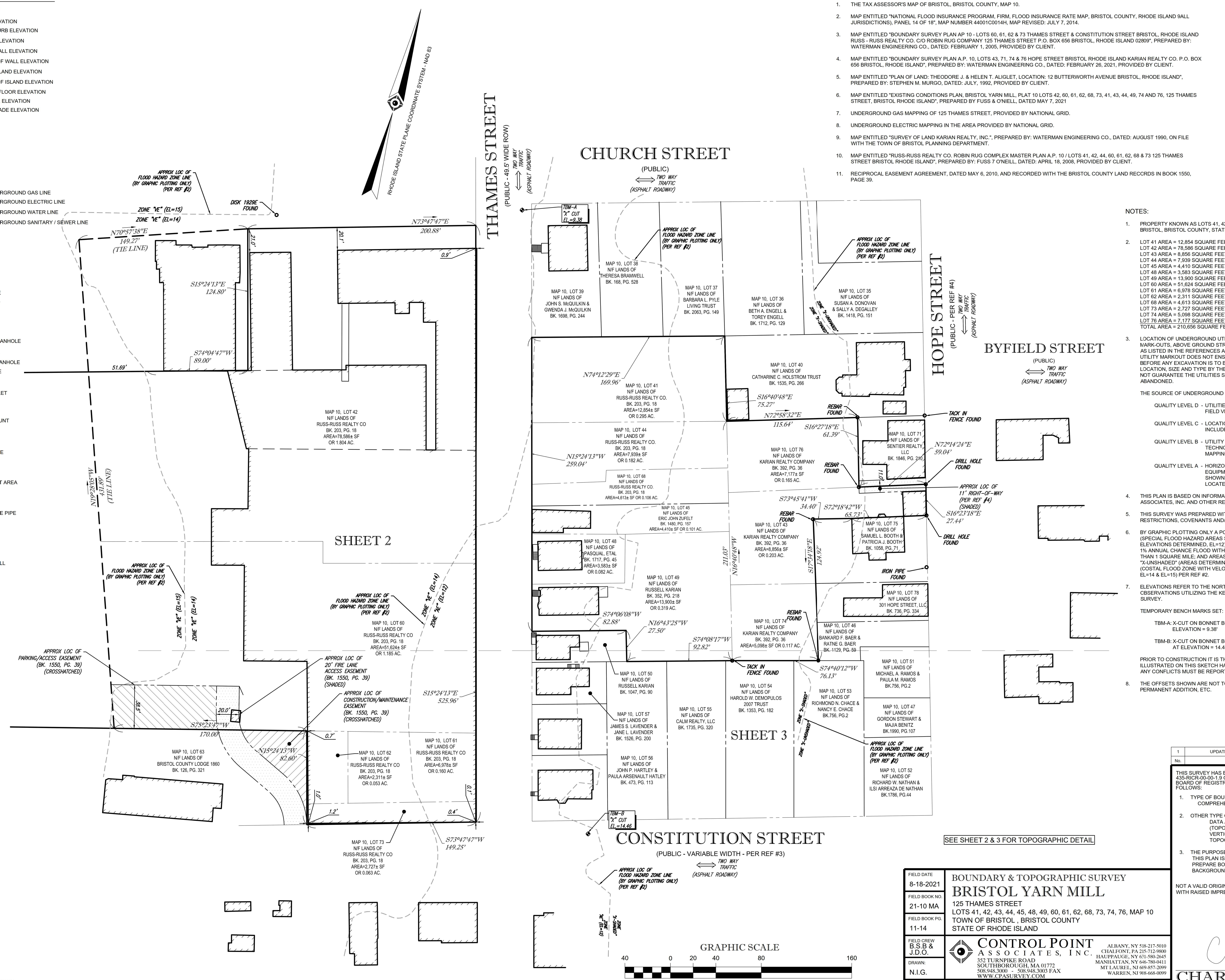
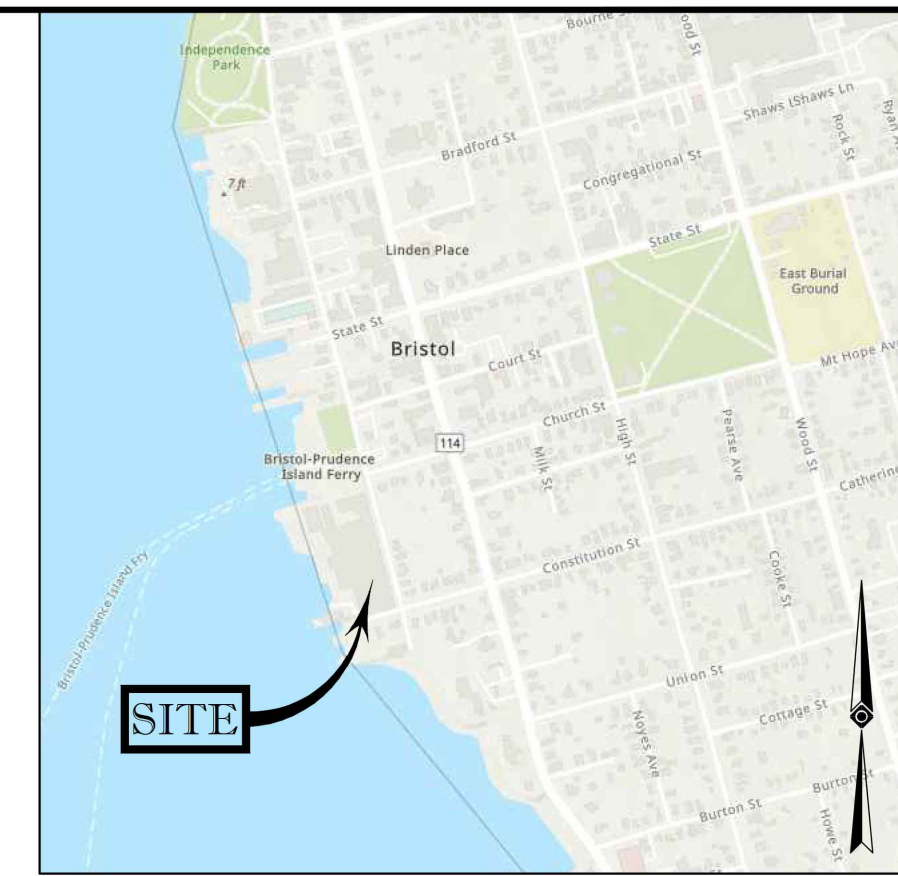
PROJ. No.: 20061150.A22
 DATE: DECEMBER 6, 2022

GI-001

SHEET 1 OF 28

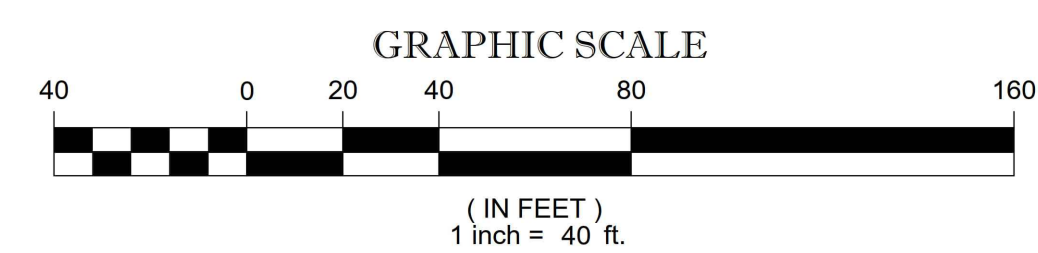
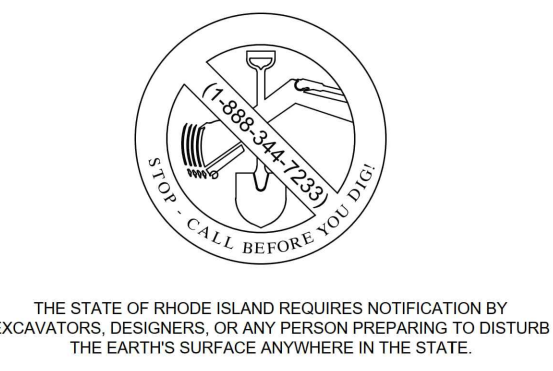
LEGEND	
---	EXISTING CONTOUR
X 123.45	EXISTING SPOT ELEVATION
X TC 123.45	EXISTING TOP OF CURB ELEVATION
X G 123.95	EXISTING GUTTER ELEVATION
X TW 123.45	EXISTING TOP OF WALL ELEVATION
X BW 123.85	EXISTING BOTTOM OF WALL ELEVATION
X D 123.45	EXISTING TOP OF ISLAND ELEVATION
X B 123.85	EXISTING BOTTOM OF ISLAND ELEVATION
X FF 123.45	EXISTING FINISHED FLOOR ELEVATION
X OS 123.45	EXISTING DOOR SILL ELEVATION
X LG 123.45	EXISTING LEGAL GRADE ELEVATION
○	HYDRANT
○	WATER VALVE
○	UNKNOWN VALVE
○	GAS VALVE
○	GAS METER
○	ELECTRIC METER
○	OVERHEAD WIRES
○	APPROX. LOC. UNDERGROUND GAS LINE
○	APPROX. LOC. UNDERGROUND ELECTRIC LINE
○	APPROX. LOC. UNDERGROUND WATER LINE
○	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
○	UTILITY POLE
○	AREA LIGHT
○	SIGN
○	BOLLARD
○	CHAIN LINK FENCE
○	DEPRESSED CURB
○	EDGE OF CONCRETE
○	EDGE OF PAVEMENT
○	LANDSCAPED AREA
○	METAL COVER
○	TYPICAL
○	DRAINAGE/STORM MANHOLE
○	ELECTRIC MANHOLE
○	SANITARY/SEWER MANHOLE
○	UNKNOWN MANHOLE
○	WATER MANHOLE
○	CATCH BASIN OR INLET
○	TREE & TRUNK SIZE
○	PARKING SPACE COUNT
○	DEPRESSED CURB
○	SOLID WHITE LINE
○	DOUBLE YELLOW LINE
○	HEIGHT
○	BUILDING
○	BUILDING FOOTPRINT AREA
○	NO VISIBLE PIPE
○	DRILL HOLE FOUND
○	POLYVINYL CHLORIDE PIPE
○	CAST IRON PIPE
○	DUCTILE IRON PIPE
○	INVERT ELEVATION
○	GRATE ELEVATION
○	MASONRY BLOCK WALL

- REFERENCES:
- THE TAX ASSESSOR'S MAP OF BRISTOL, BRISTOL COUNTY, MAP 10.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, BRISTOL COUNTY, RHODE ISLAND GALL JURISDICTIONS", PANEL 14 OF 18", MAP NUMBER 44001C0014H, MAP REVISED, JULY 7, 2014.
 - MAP ENTITLED "BOUNDARY SURVEY PLAN AP 10 - LOTS 60, 61, 62 & 73 THAMES STREET & CONSTITUTION STREET BRISTOL, RHODE ISLAND RUSS - RUSS REALTY CO. C/O ROBIN RUG COMPANY 125 THAMES STREET P.O. BOX 656 BRISTOL, RHODE ISLAND 02809", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 1, 2005, PROVIDED BY CLIENT.
 - MAP ENTITLED "BOUNDARY SURVEY PLAN A.P. 10, LOTS 43, 71, 74 & 76 HOPE STREET BRISTOL, RHODE ISLAND KARIAN REALTY CO. P.O. BOX 656 BRISTOL, RHODE ISLAND", PREPARED BY: WATERMAN ENGINEERING CO., DATED: FEBRUARY 26, 2021, PROVIDED BY CLIENT.
 - MAP ENTITLED "PLAN OF LAND: THEODORE J. & HELEN T. ALIGLET, LOCATION: 12 BUTTERWORTH AVENUE BRISTOL, RHODE ISLAND", PREPARED BY: STEPHEN M. MURGO, DATED: JULY, 1992, PROVIDED BY CLIENT.
 - MAP ENTITLED "EXISTING CONDITIONS PLAN, BRISTOL YARN MILL, PLAT 10 LOTS 42, 60, 61, 62, 68, 73, 41, 43, 44, 49, 74 AND 76, 125 THAMES STREET, BRISTOL RHODE ISLAND", PREPARED BY FUSS & O'NEILL, DATED MAY 7, 2021
 - UNDERGROUND GAS MAPPING OF 125 THAMES STREET, PROVIDED BY NATIONAL GRID.
 - UNDERGROUND ELECTRIC MAPPING IN THE AREA PROVIDED BY NATIONAL GRID.
 - MAP ENTITLED "SURVEY OF LAND KARIAN REALTY, INC.", PREPARED BY: WATERMAN ENGINEERING CO., DATED: APRIL 1990, ON FILE WITH THE TOWN OF BRISTOL PLANNING DEPARTMENT.
 - MAP ENTITLED "RUSS-RUSS REALTY CO. ROBIN RUG COMPLEX MASTER PLAN A.P. 10 / LOTS 41, 42, 44, 60, 61, 62, 68 & 73 125 THAMES STREET BRISTOL RHODE ISLAND", PREPARED BY: FUSS 7 O'NEILL, DATED: APRIL 18, 2008, PROVIDED BY CLIENT.
 - RECIPROCAL EASEMENT AGREEMENT, DATED MAY 6, 2010, AND RECORDED WITH THE BRISTOL COUNTY LAND RECORDS IN BOOK 1550, PAGE 39.



- NOTES:
- PROPERTY KNOWN AS LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74 & 76 AS SHOWN ON THE TOWN OF BRISTOL, BRISTOL COUNTY, STATE OF RHODE ISLAND MAP NO. 10.
 - LOT 41 AREA = 12,854 SQUARE FEET OR 0.295 ACRES
LOT 42 AREA = 78,586 SQUARE FEET OR 1.804 ACRES
LOT 43 AREA = 8,896 SQUARE FEET OR 0.203 ACRES
LOT 44 AREA = 7,939 SQUARE FEET OR 0.182 ACRES
LOT 45 AREA = 4,410 SQUARE FEET OR 0.101 ACRES
LOT 48 AREA = 3,583 SQUARE FEET OR 0.082 ACRES
LOT 49 AREA = 13,800 SQUARE FEET OR 0.319 ACRES
LOT 59 AREA = 51,624 SQUARE FEET OR 1.185 ACRES
LOT 61 AREA = 6,978 SQUARE FEET OR 0.160 ACRES
LOT 62 AREA = 2,311 SQUARE FEET OR 0.053 ACRES
LOT 68 AREA = 4,613 SQUARE FEET OR 0.106 ACRES
LOT 73 AREA = 2,727 SQUARE FEET OR 0.063 ACRES
LOT 74 AREA = 5,098 SQUARE FEET OR 0.117 ACRES
LOT 76 AREA = 7,177 SQUARE FEET OR 0.165 ACRES
TOTAL AREA = 210,656 SQUARE FEET OR 4.835 ACRES
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBESTOS PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THE SOURCE OF UNDERGROUND UTILITIES ARE SHOWN UTILIZING A QUALITY LEVEL SYSTEM:
QUALITY LEVEL D - UTILITIES SHOWN BASED UPON REFERENCE MAPPING OR ORAL HISTORY. NOT FIELD VERIFIED.
QUALITY LEVEL C - LOCATION OF UTILITY SURFACE FEATURES SUPPLEMENTS REFERENCE MAPPING. INCLUDES MARKOUT BY OTHERS.
QUALITY LEVEL B - UTILITY LOCATION DATA IS COLLECTED THROUGH GEOPHYSICAL SENSING TECHNOLOGY TO SUPPLEMENT SURFACE FEATURES AND OR REFERENCE MAPPING. INCLUDES MARKOUT BY CONTROL POINT ASSOCIATES, INC.
QUALITY LEVEL A - HORIZONTAL AND VERTICAL LOCATION OF UTILITIES ARE OBTAINED USING VACUUM EXCAVATION EQUIPMENT OR OTHER METHODS TO EXPOSE THE UTILITY. LOCATION SHOWN AT SINGLE POINT WHERE EXCAVATION OCCURRED UNLESS UTILITY WAS LOCATED PRIOR TO FILLING.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIALS AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY A PORTION OF THE PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "AE" (SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, BASE FLOOD ELEVATIONS DETERMINED, EL=12), & ZONE "X SHADED" (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), & ZONE "V" ("UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN), & ZONE "VE" (COSTAL FLOOD ZONE WITH VELOCITY HAZARD (WAVE ACTION); BASE FLOOD ELEVATIONS DETERMINED, EL=14 & EL=15) PER REF. #2.
 - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY.
TEMPORARY BENCHMARKS SET:
TBM-A: X-CUT ON BONNET BOLT OF FIRE HYDRANT ALONG EASTERLY LINE OF THAMES STREET AT ELEVATION = 9.38'
TBM-B: X-CUT ON BONNET BOLT OF FIRE HYDRANT ALONG NORTHERLY LINE OF CONSTITUTION STREET AT ELEVATION = 14.46'
 - PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SKETCH HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PRODUCT OR THE PURPOSE ORIGINALLY INTENDED, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC. IS PROHIBITED.



FIELD DATE	8-18-2021
FIELD BOOK NO	21-10 MA
FIELD BOOK PG	11-14
FIELD CREW	B.S.B & J.D.O.
DRAWN	N.I.G.
REVIEWED	B.A.V.
APPROVED	C.E.L.
DATE	9-28-2021
SCALE	1" = 40'
FILE NO.	03-210289-00
DWG. NO.	1 OF 3

No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
1	UPDATED PER RECEIPT OF CLIENT COMMENTS			A.L.S.	10-01-2021

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 155-RICR-08-13 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY
- OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA COLLECTATION SURVEY III
(TOPOGRAPHIC SURVEY)
VERTICAL CONTROL STANDARD V-3
TOPOGRAPHIC SURVEY ACCURACY T-2
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

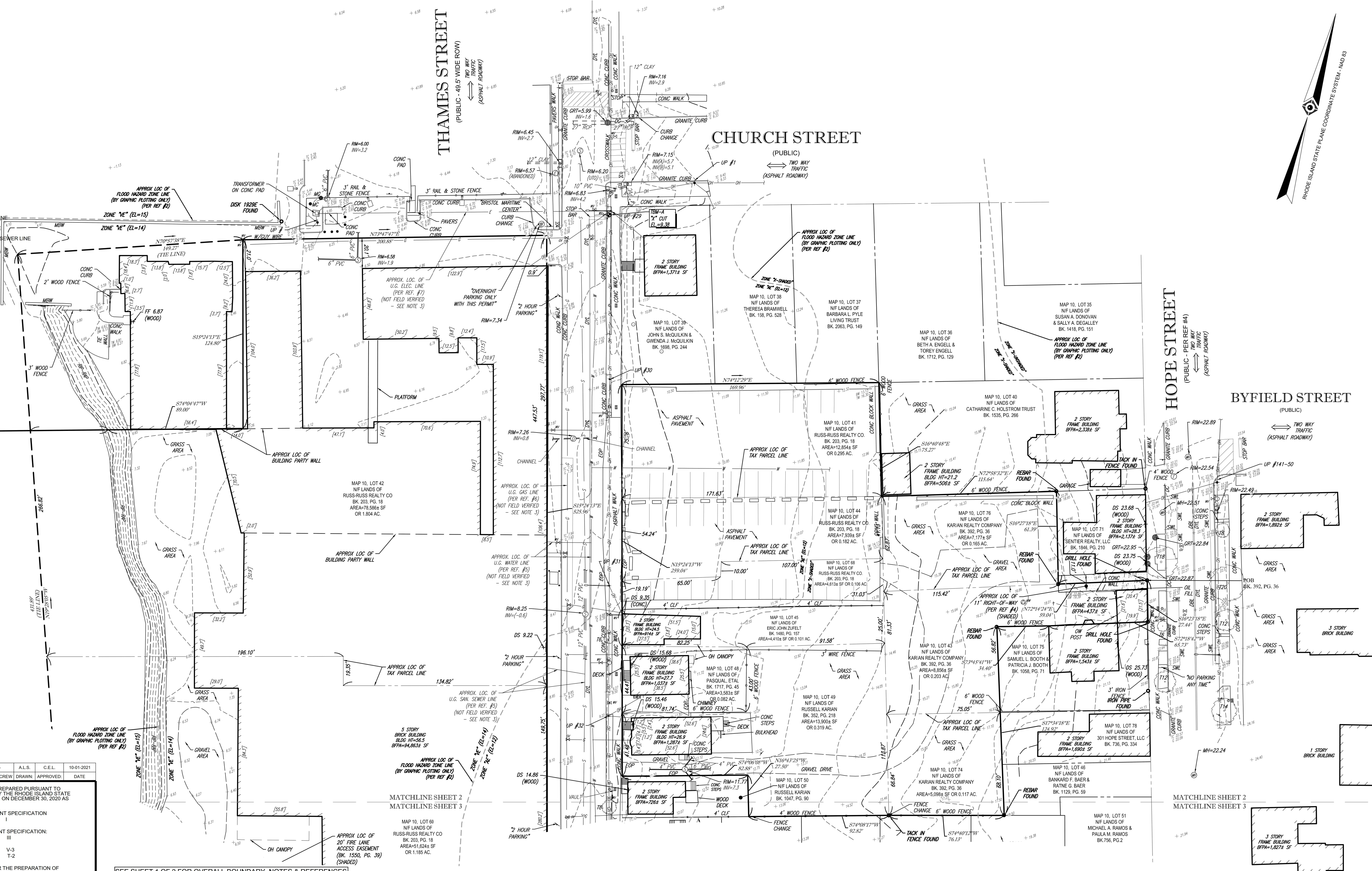
CHARLES E. LENT
No. 1947
PROFESSIONAL LAND SURVEYOR
10-01-2021
DATE

CHARLES E. LENT
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

SHEET 3 OF 27

LEGEND

- 124 --- EXISTING CONTOUR
- 125 --- EXISTING CONTOUR
- X 123.45 EXISTING SPOT ELEVATION
- X 123.45 EXISTING TOP OF CURB ELEVATION
- X 122.95 EXISTING GUTTER ELEVATION
- X 123.45 EXISTING TOP OF WALL ELEVATION
- X 122.85 EXISTING BOTTOM OF WALL ELEVATION
- X 123.45 EXISTING TOP OF ISLAND ELEVATION
- X 122.85 EXISTING BOTTOM OF ISLAND ELEVATION
- X 123.45 EXISTING FINISHED FLOOR ELEVATION
- X 123.45 EXISTING DOOR SILL ELEVATION
- X 123.45 EXISTING LEGAL GRADE ELEVATION
- HYDRANT
- WATER VALVE
- UNKNOWN VALVE
- GAS VALVE
- GAS METER
- ELECTRIC METER
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE
- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- APPROX. LOC. UNDERGROUND WATER LINE
- APPROX. LOC. UNDERGROUND SANITARY SEWER LINE
- UTILITY POLE
- AREA LIGHT
- SIGN
- BOLLARD
- CLF CHAIN LINK FENCE
- DC DEPRESSED CURB
- EOP EDGE OF CONCRETE
- EOP EDGE OF PAVEMENT
- LSA LANDSCAPED AREA
- MC METAL COVER
- (TYP) TYPICAL
- DMH DRAINAGE/STORM MANHOLE
- EMH ELECTRIC MANHOLE
- SMH SANITARY/SEWER MANHOLE
- MH UNKNOWN MANHOLE
- WMH WATER MANHOLE
- CB CATCH BASIN OR INLET
- TREE & TRUNK SIZE
- PARKING SPACE COUNT
- DEPRESSED CURB
- SWL SOLID WHITE LINE
- DWL DOUBLE YELLOW LINE
- HT HEIGHT
- BLDG BUILDING
- BFFPA BUILDING FOOTPRINT AREA
- NVP NO VISIBLE PIPE
- DHF DRILL HOLE FOUND
- PVC POLYVINYL CHLORIDE PIPE
- CI CAST IRON PIPE
- DI DUCTILE IRON PIPE
- IN INVERT ELEVATION
- GRT GRATE ELEVATION
- MEW MASONRY BLOCK WALL



No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
1	UPDATED PER RECEIPT OF CLIENT COMMENTS			A.L.S. C.E.L.	10-01-2021

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR00-013 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION: COMPREHENSIVE BOUNDARY SURVEY
- OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION: DATA ACCUMULATION SURVEY (TOPOGRAPHIC SURVEY) VERTICAL CONTROL STANDARD: TOPOGRAPHIC SURVEY ACCURACY: T-2
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

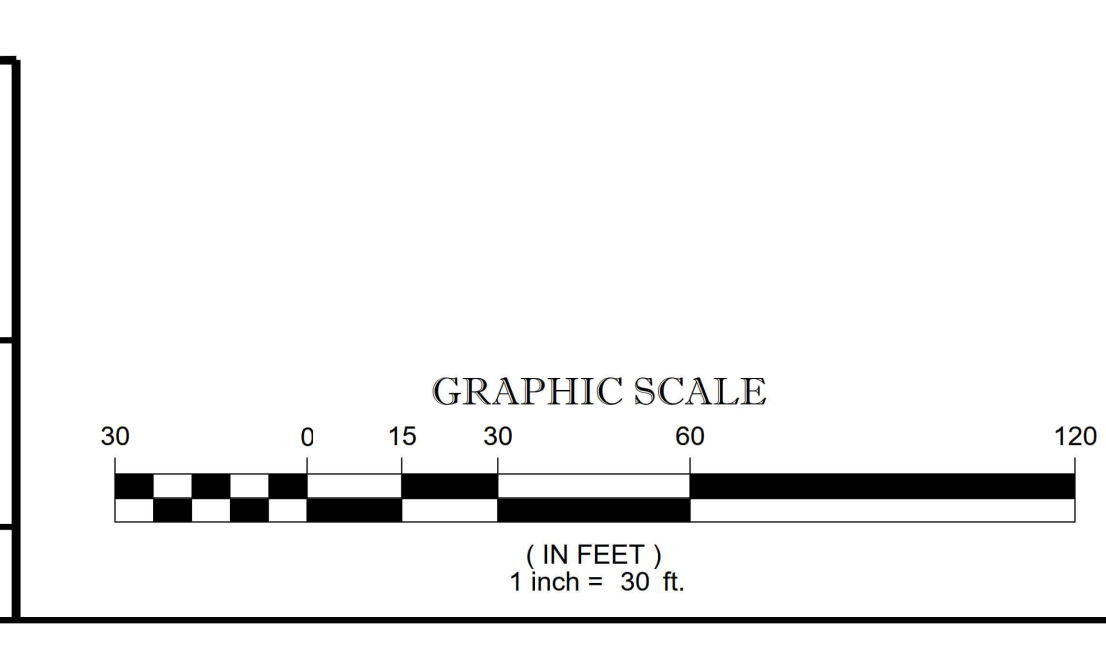
CHARLES E. LENT
 PROFESSIONAL LAND SURVEYOR
 10-01-2021 DATE

FIELD DATE: 8-18-2021
 FIELD BOOK NO: 21-10 MA
 FIELD BOOK PG: 11-14

BOUNDARY & TOPOGRAPHIC SURVEY
BRISTOL YARN MILL
 125 THAMES STREET
 LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10
 TOWN OF BRISTOL, BRISTOL COUNTY
 STATE OF RHODE ISLAND

CONTROL POINT ASSOCIATES, INC.
 ALBANY, NY 518-217-5010
 CHALFONT, PA 215-712-9800
 HAUPPAUGE, NY 631-580-2645
 MANHATTAN, NY 646-780-0411
 MT LAUREL, NJ 609-357-2099
 WARREN, NJ 908-668-0099
 WWW.CPASURVEY.COM

APPROVED: B.A.V. DATE: 9-28-2021 SCALE: 1" = 30' FILE NO: 03-210289-00 DWG. NO: 2 OF 3



SEE SHEET 1 OF 2 FOR OVERALL BOUNDARY, NOTES & REFERENCES

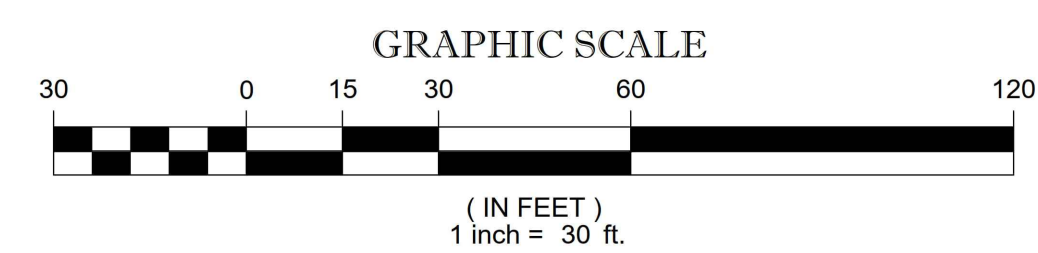
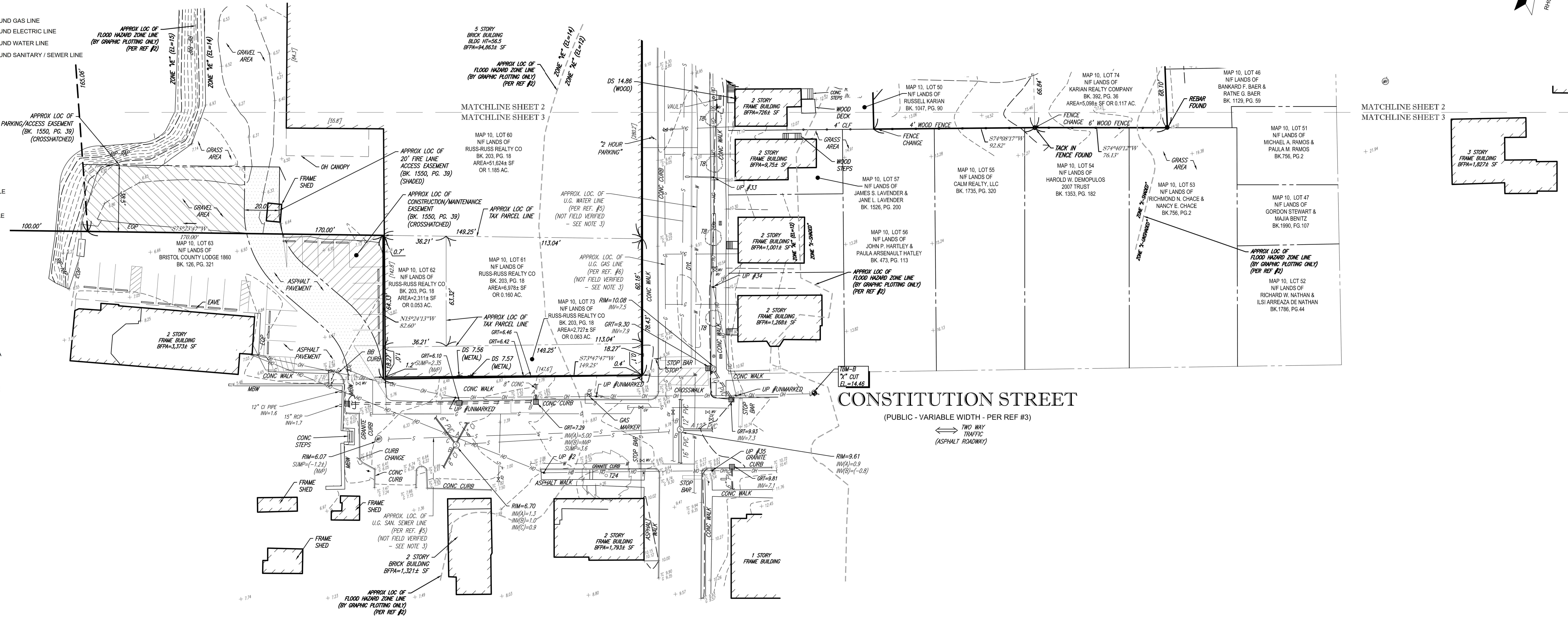
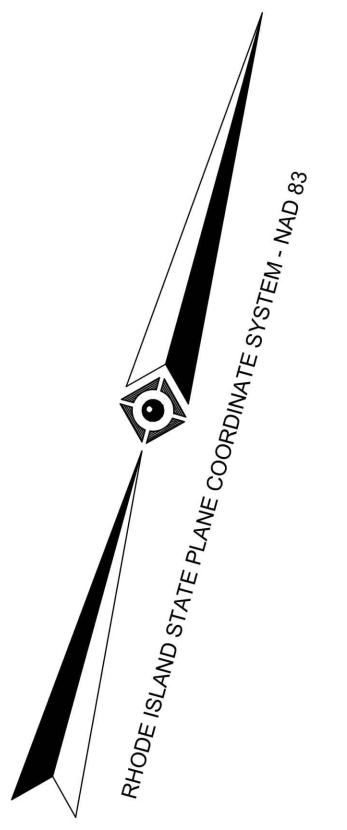
MATCHLINE SHEET 2
 MATCHLINE SHEET 3

MATCHLINE SHEET 2
 MATCHLINE SHEET 3

THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

SHEET 4 OF 27

- LEGEND**
- 124 --- EXISTING CONTOUR
 - 125 --- EXISTING CONTOUR
 - X 123.45 EXISTING SPOT ELEVATION
 - X TC 123.45 EXISTING TOP OF CURB ELEVATION
 - X G 122.95 EXISTING GUTTER ELEVATION
 - X TW 123.45 EXISTING TOP OF WALL ELEVATION
 - X BW 122.85 EXISTING BOTTOM OF WALL ELEVATION
 - X D 123.45 EXISTING TOP OF ISLAND ELEVATION
 - X B 122.85 EXISTING BOTTOM OF ISLAND ELEVATION
 - X F 123.45 EXISTING FINISHED FLOOR ELEVATION
 - X OS 123.45 EXISTING DOOR SILL ELEVATION
 - X LG 125.45 EXISTING LEGAL GRADE ELEVATION
 - HYDRANT
 - WATER VALVE
 - UNKNOWN VALVE
 - GAS VALVE
 - GAS METER
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 - APPROX. LOC. UNDERGROUND GAS LINE
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 - APPROX. LOC. UNDERGROUND WATER LINE
 - APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
 - UTILITY POLE
 - AREA LIGHT
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 - CLF CHAIN LINK FENCE
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 - MC METAL COVER
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 - EMH ELECTRIC MANHOLE
 - SMH SANITARY/SEWER MANHOLE
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 - WMH WATER MANHOLE
 - CB CATCH BASIN OR INLET
 - TREE & TRUNK SIZE
 - PARKING SPACE COUNT
 - DEPRESSED CURB
 - SWL SOLID WHITE LINE
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 - CI CAST IRON PIPE
 - DI DUCTILE IRON PIPE
 - INV INVERT ELEVATION
 - GRT GRATE ELEVATION
 - MWB MASONRY BLOCK WALL



MATCHLINE SHEET 2
MATCHLINE SHEET 3

MATCHLINE SHEET 2
MATCHLINE SHEET 3

CONTROL POINT ASSOCIATES, INC. ALL RIGHTS RESERVED. ORIGINAL PROJECT OR REVISIONS OF THIS PLAN ARE THE PROPERTY OF CONTROL POINT ASSOCIATES, INC. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CONTROL POINT ASSOCIATES, INC.



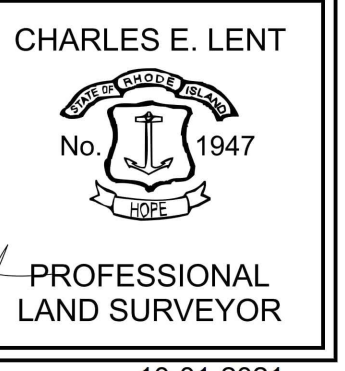
THE STATE OF RHODE ISLAND REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

No.	DESCRIPTION OF REVISION	FIELD CREW	DRAWN	APPROVED	DATE
1	UPDATED PER RECEIPT OF CLIENT COMMENTS			AL.S.	10-01-2021

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 455-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 30, 2020 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY
- OTHER TYPE OF SURVEY: MEASUREMENT SPECIFICATION:
DATA ACCUMULATION SURVEY III
(TOPOGRAPHIC SURVEY)
VERTICAL CONTROL STANDARD V-3
TOPOGRAPHIC SURVEY ACCURACY T-2
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
PREPARE BOUNDARY SURVEY AND OBTAIN TOPOGRAPHIC AND PLANIMETRIC INFORMATION FOR USE AS A BACKGROUND DOCUMENT FOR SITE PLAN PREPARATION.

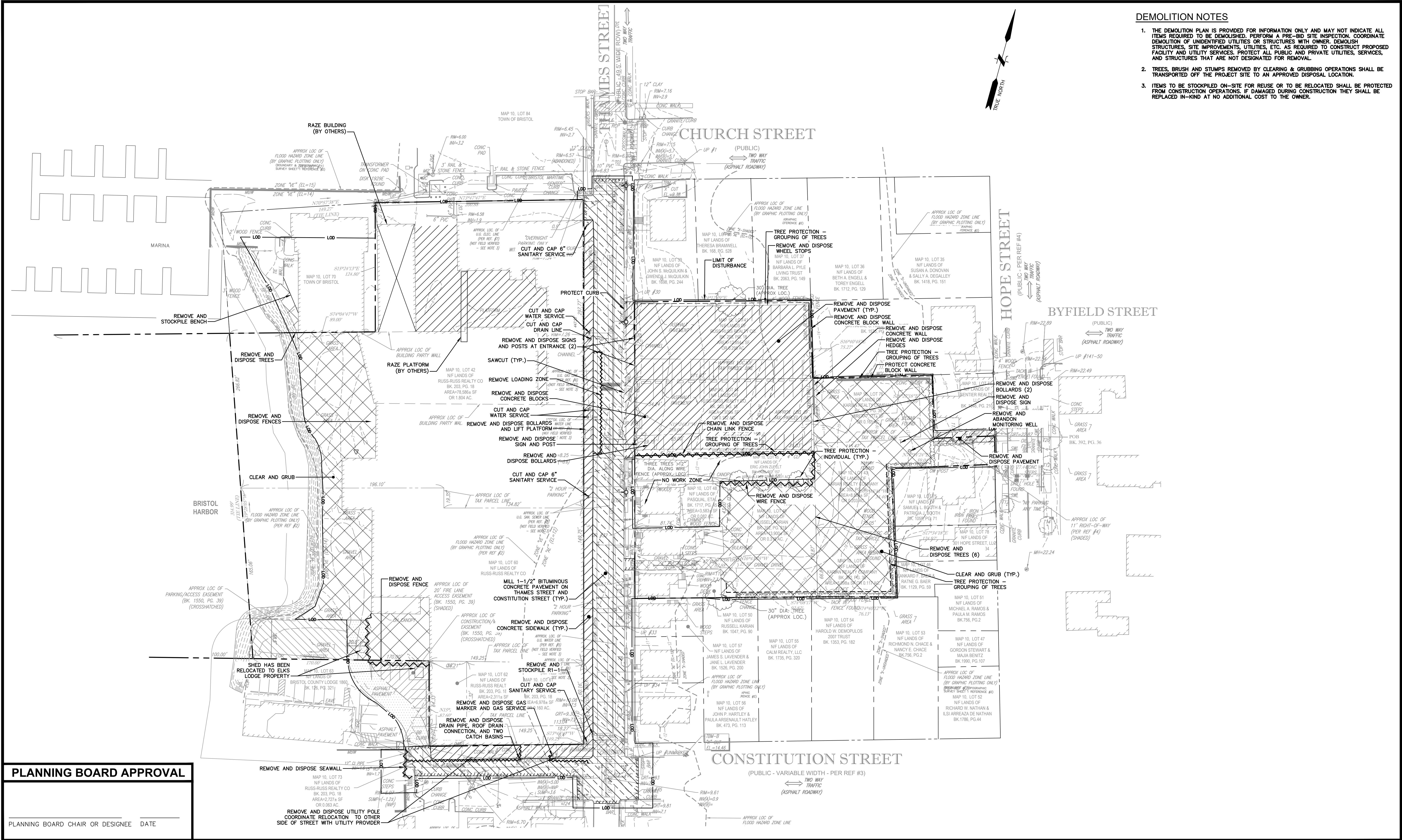
NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.



CHARLES E. LENT
PROFESSIONAL LAND SURVEYOR
10-01-2021
DATE
RHODE ISLAND PROFESSIONAL LAND SURVEYOR #1947
CERTIFICATE OF AUTHORIZATION #A350

FIELD DATE	8-18-2021	BOUNDARY & TOPOGRAPHIC SURVEY	
FIELD BOOK NO.	21-10 MA	BRISTOL YARN MILL	
FIELD BOOK PG.	11-14	125 THAMES STREET LOTS 41, 42, 43, 44, 45, 48, 49, 60, 61, 62, 68, 73, 74, 76, MAP 10 TOWN OF BRISTOL, BRISTOL COUNTY STATE OF RHODE ISLAND	
FIELD CREW	B.S.B & J.D.O.	CONTROL POINT ASSOCIATES, INC.	
DRAWN:	N.I.G.	ALBANY, NY 518-217-5010 CHALFONT, PA 215-712-9800 HAUPPAUGE, NY 631-580-2945 MANHATTAN, NY 646-780-0411 MT. LAUREL, NJ 609-857-2099 WARREN, NJ 908-668-0099	
REVIEWED:	B.A.V.	APPROVED:	C.E.L.
DATE	9-28-2021	SCALE	1" = 30'
FILE NO.	03-210289-00	DWG. NO.	3 OF 3

File Path: \\private\dfs\Cad\Proj\DWG\SP20061150A22\Civil\Plan\Permitting\Plans\20061150A22\Civil\Plan\Permitting\Plans\20061150A22.dwg Layout: CP-101 Plotted: Wed, May 29, 2024 - 6:30 PM User: katherine.mccombs
 PLOTTER: AUTOCAD PLOT (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB
 MS VIEW: LAYER STATE:



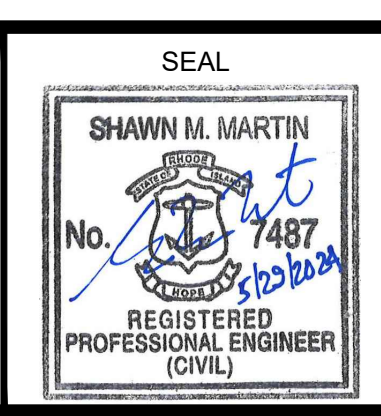
- ### DEMOLITION NOTES
1. THE DEMOLITION PLAN IS PROVIDED FOR INFORMATION ONLY AND MAY NOT INDICATE ALL ITEMS REQUIRED TO BE DEMOLISHED. PERFORM A PRE-BID SITE INSPECTION. COORDINATE DEMOLITION OF UNIDENTIFIED UTILITIES OR STRUCTURES WITH OWNER. DEMOLISH STRUCTURES, SITE IMPROVEMENTS, UTILITIES, ETC. AS REQUIRED TO CONSTRUCT PROPOSED FACILITY AND UTILITY SERVICES. PROTECT ALL PUBLIC AND PRIVATE UTILITIES, SERVICES, AND STRUCTURES THAT ARE NOT DESIGNATED FOR REMOVAL.
 2. TREES, BRUSH AND STUMPS REMOVED BY CLEARING & GRUBBING OPERATIONS SHALL BE TRANSPORTED OFF THE PROJECT SITE TO AN APPROVED DISPOSAL LOCATION.
 3. ITEMS TO BE STOCKPILED ON-SITE FOR REUSE OR TO BE RELOCATED SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS. IF DAMAGED DURING CONSTRUCTION THEY SHALL BE REPLACED IN-KIND AT NO ADDITIONAL COST TO THE OWNER.

PLANNING BOARD APPROVAL

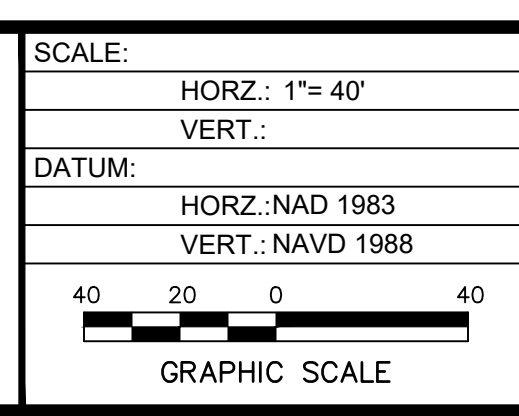
PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



SEAL



FUSS & O'NEILL

317 IRON HORSE WAY, SUITE 204
 PROVIDENCE, RI 02908
 401.861.3070
 www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

SITE DEMOLITION PLAN

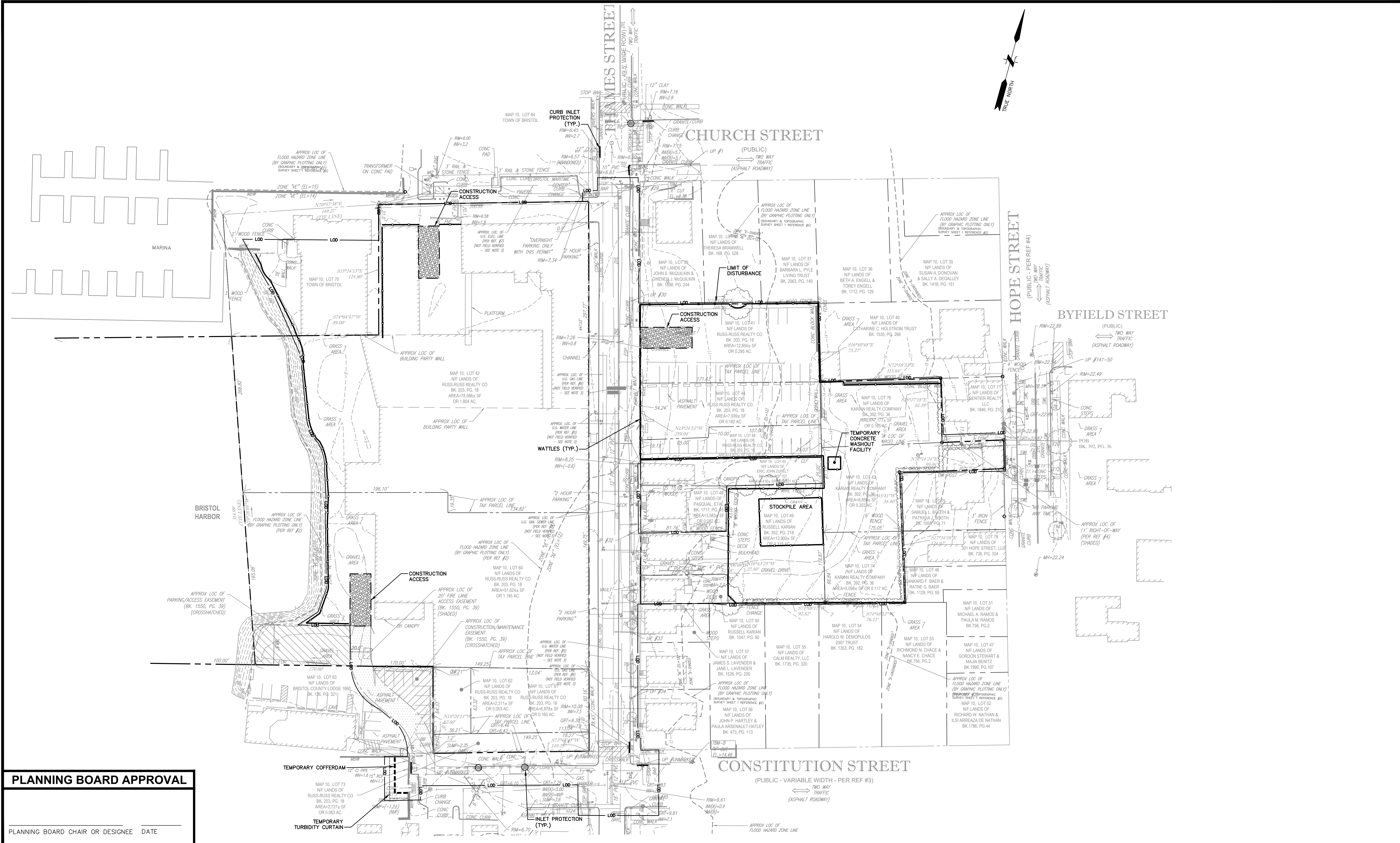
BRISTOL YARN MILL

125 THAMES STREET BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
 DATE: DECEMBER 6, 2022

CP-101

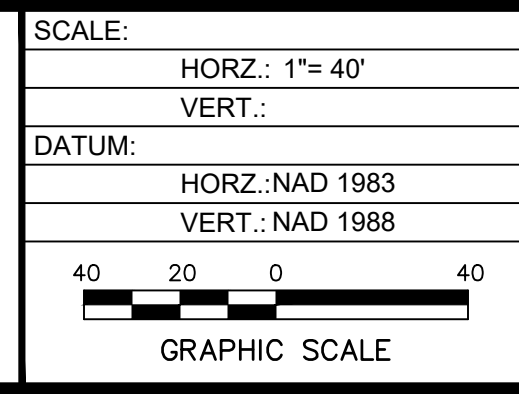
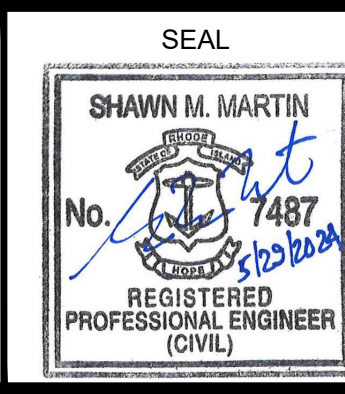
SHEET 6 OF 28



PLANNING BOARD APPROVAL	
PLANNING BOARD CHAIR OR DESIGNEE	DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

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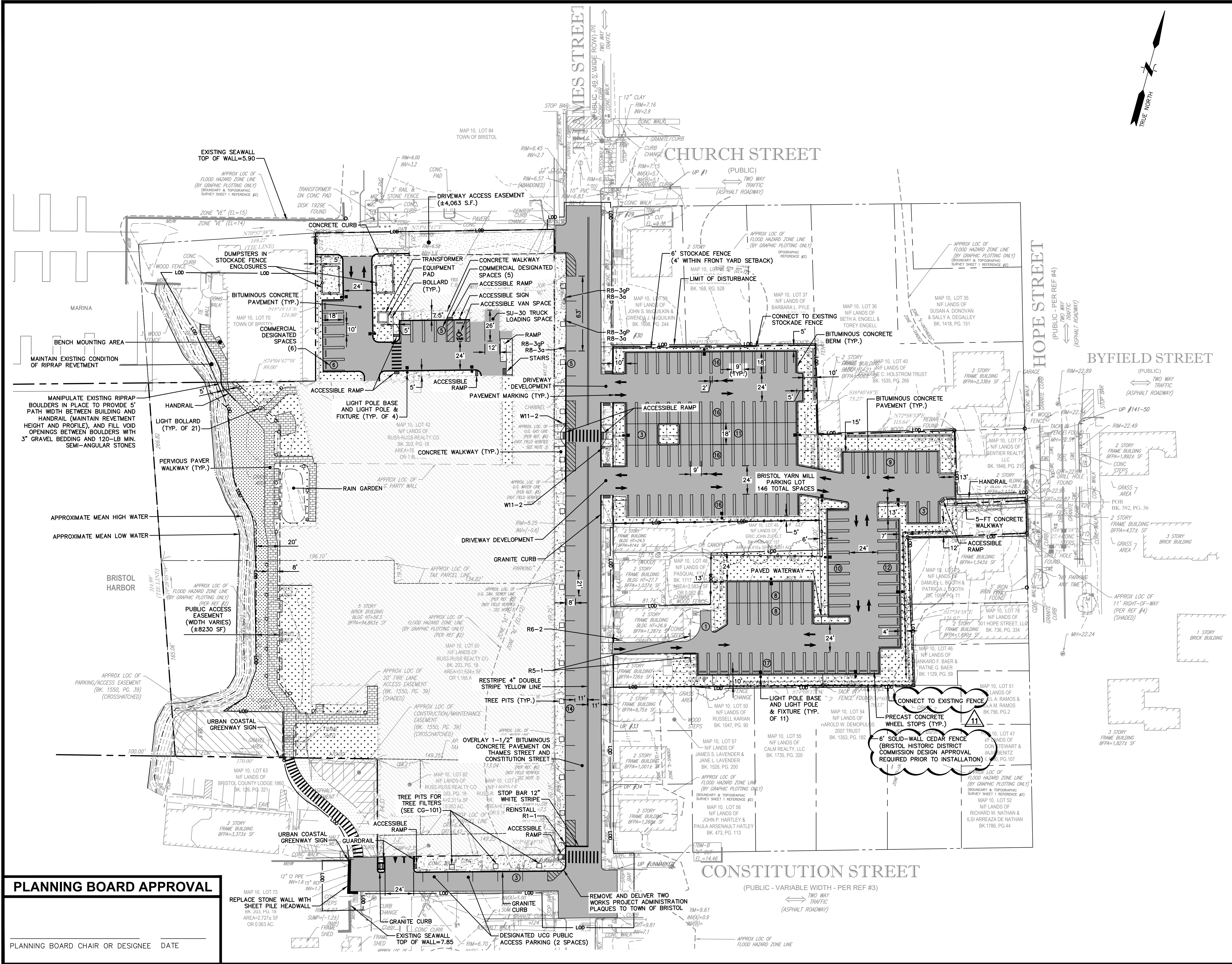
BRADY SULLIVAN PROPERTIES, LLC
 SOIL EROSION AND SEDIMENTATION
 CONTROL PLAN
 BRISTOL YARN MILL
 125 THAMES STREET
 BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
 DATE: DECEMBER 6, 2022

CE-101

SHEET 7 OF 28

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ZONING DIMENSION TABLE				
CRITERIA	REQUIRED PER ZONING DISTRICT			PROPOSED
	W	D	WPUD	(BUILDING SITE - LOTS 42,60,61,62,73)
MINIMUM LOT AREA		5,000 SF		142,226± SF (3.265 AC)
MINIMUM LOT AREA PER DWELLING UNIT	4,000 SF	2,500 SF	N/A	N/A
MINIMUM FRONTAGE		50'		149.25' CONSTITUTION STREET (MIN.)
MINIMUM LOT WIDTH		50'		149.25' CONSTITUTION STREET (MIN.)
FRONT SETBACK		0'		-0.90'
SIDE SETBACK		0'		0.0'
REAR SETBACK		10'		30±' (TO APPROX. MEAN HIGH WATER)
MAX. BUILDING HEIGHT		35' (3 STORIES)		55' MAX. - 4 STORIES (EXISTING)
MAX. LOT COVERAGE BY STRUCTURES		70%		83,153 S.F./142,226 S.F. = 58.5% (PROP.) 87,296 S.F./142,226 S.F. = 61.4% (EXIST.)
MAX. TOTAL COVERAGE	85%	95%	N/A	97,606 S.F./142,226 S.F. = 68.6%
MAX. FLOOR AREA RATIO	1.5	1.4	N/A	227,286 S.F./142,226 S.F. = 1.6±
IMPERVIOUS COVER		PARKING LOT SITE		51,237 S.F./66,327 S.F. = 77.2%

- NOTES:
- MILL BUILDING PROPERTIES COMBINED AREA IS APPROXIMATELY 142,226 SQUARE FEET.
 - TOTAL LAND AREA INCLUDED IN REDEVELOPMENT IS APPROXIMATELY 227,286 SQUARE FEET.
 - ALL PROJECT PARCELS ARE LOCATED WITHIN TOWN OF BRISTOL HISTORIC DISTRICT.

PARKING SUMMARY				
	USE	REQUIRED	PROPOSED	
RESIDENTIAL PARKING SPACES (ON-SITE)		127	125	
RESIDENTIAL PARKING SPACES (OFF-SITE)		0	143	
COMMERCIAL PARKING SPACES (ON-SITE)		11	11	
317 HOPE STREET (LOT 71) - ZONE D	RES/COMM	0	0	
325 HOPE STREET (LOT 43) - ZONE D	COMM	0	0	
60 THAMES STREET (LOT 50) - ZONE W	SF RES	1	1	
70 THAMES STREET (LOT 49) - ZONE W	MF RES	2	2	
TOTAL PARKING SPACES:		141	282	
RESIDENTIAL PARKING REQUIREMENT:	1 SPACE/D.U. (127 RESIDENTIAL W AND REHAB LDP ZONES)			
COMMERCIAL PARKING REQUIREMENT:	1 SPACE/600 S.F. GFA (0 SPACES REQ'D FOR RESIDENTIAL, OFFICE, SERVICE, RETAIL, OR INSTITUTIONS WITHIN D ZONE) (6,479 S.F. / 600 S.F. = 11 SPACES)			
LOADING SPACE REQUIREMENT:	1 SPACE/3,000-19,999 S.F. OF GFA (6,479 S.F. = 1 SPACE)			

- NOTES:
- PARKING AND LOADING REQUIREMENTS SHALL COMPLY WITH ARTICLE VII SEC. 28-251.
 - ON-STREET PARKING IS NOT INCLUDED IN THE CALCULATIONS.
 - THERE ARE 30 TOTAL COMPACT VEHICLE PARKING SPACES, 9 DESIGNATED MOTORCYCLE SPACES AND 24 BICYCLE SPACES WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET. COMPACT PARKING SPACES ACCOUNTS FOR 10.6% OF TOTAL PARKING COUNT. MOTORCYCLE AND BICYCLE PARKING IS NOT INCLUDED IN THE CALCULATIONS.
 - 5 ADA SPACES AND 2 ADA VAN SPACES ARE PROVIDED FOR RESIDENTIAL UNITS WITHIN THE BASEMENT LEVEL OF 125 THAMES STREET.

NOTE:
 MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.

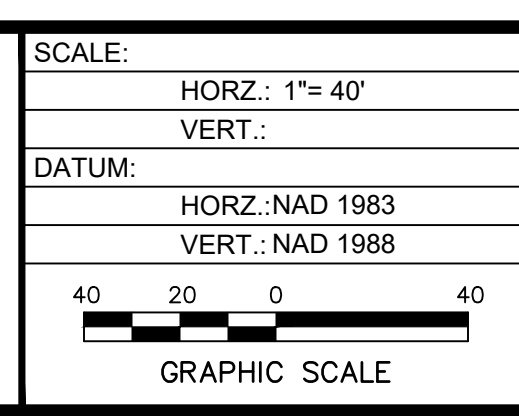
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL

SEAL
 SHAWN M. MARTIN
 No. 1487
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)



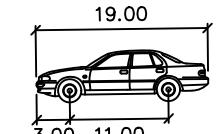
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BRADY SULLIVAN PROPERTIES, LLC
 SITE PLAN
 BRISTOL YARN MILL
 125 THAMES STREET
 BRISTOL, RHODE ISLAND

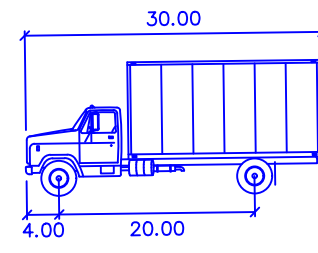
PROJ. No.: 20061150.A22
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CS-101
 SHEET 8 OF 28

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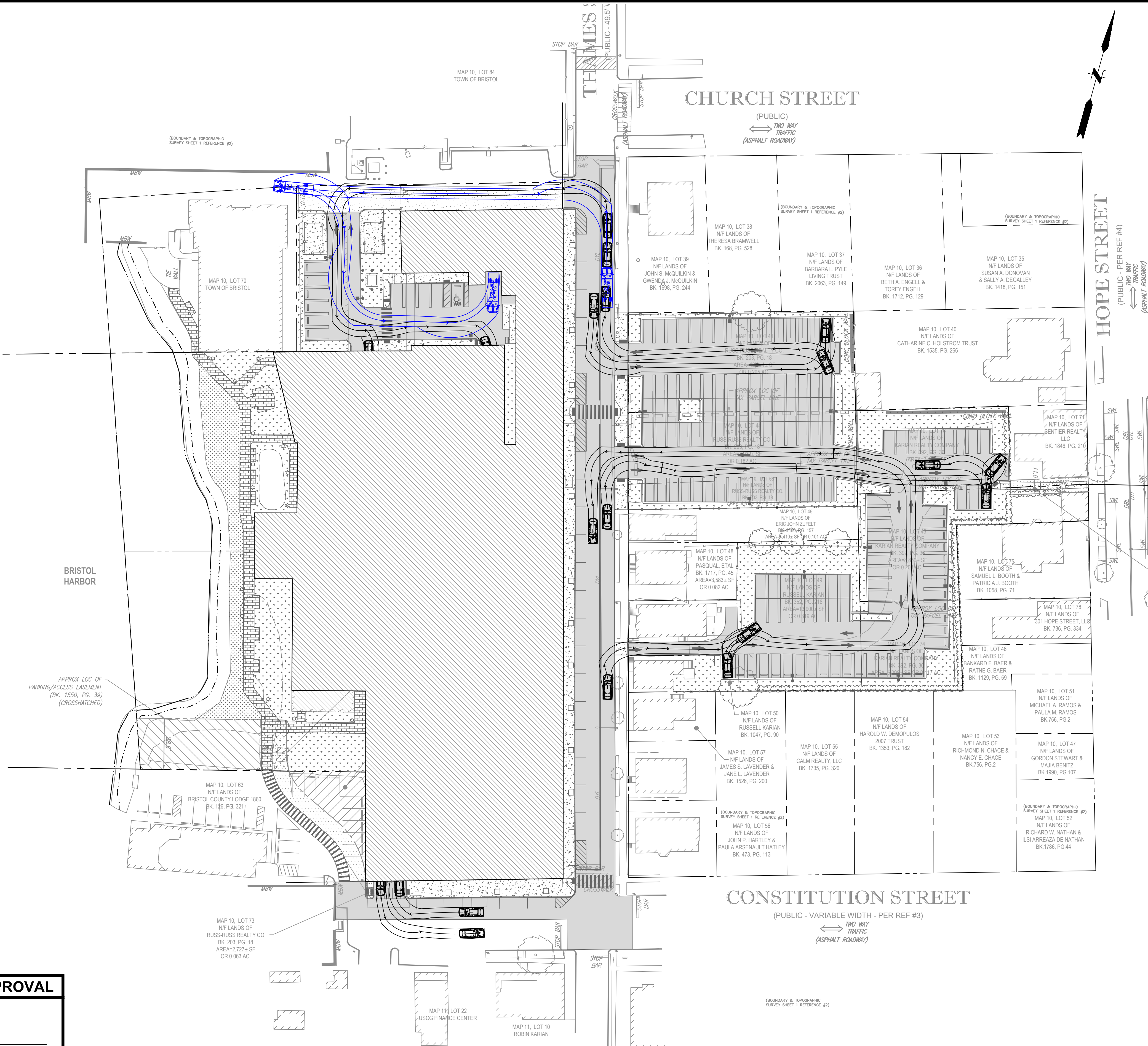
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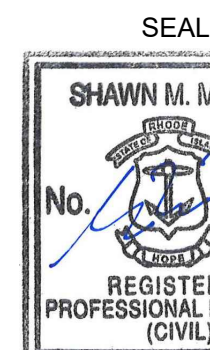


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SEAL

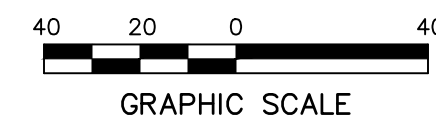


SCALE:

HORIZ.: 1"= 40'
 VERT.:

DATUM:

HORIZ.: NAD 1983
 VERT.: NAD 1988



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SITE CIRCULATION PLAN

BRISTOL YARN MILL

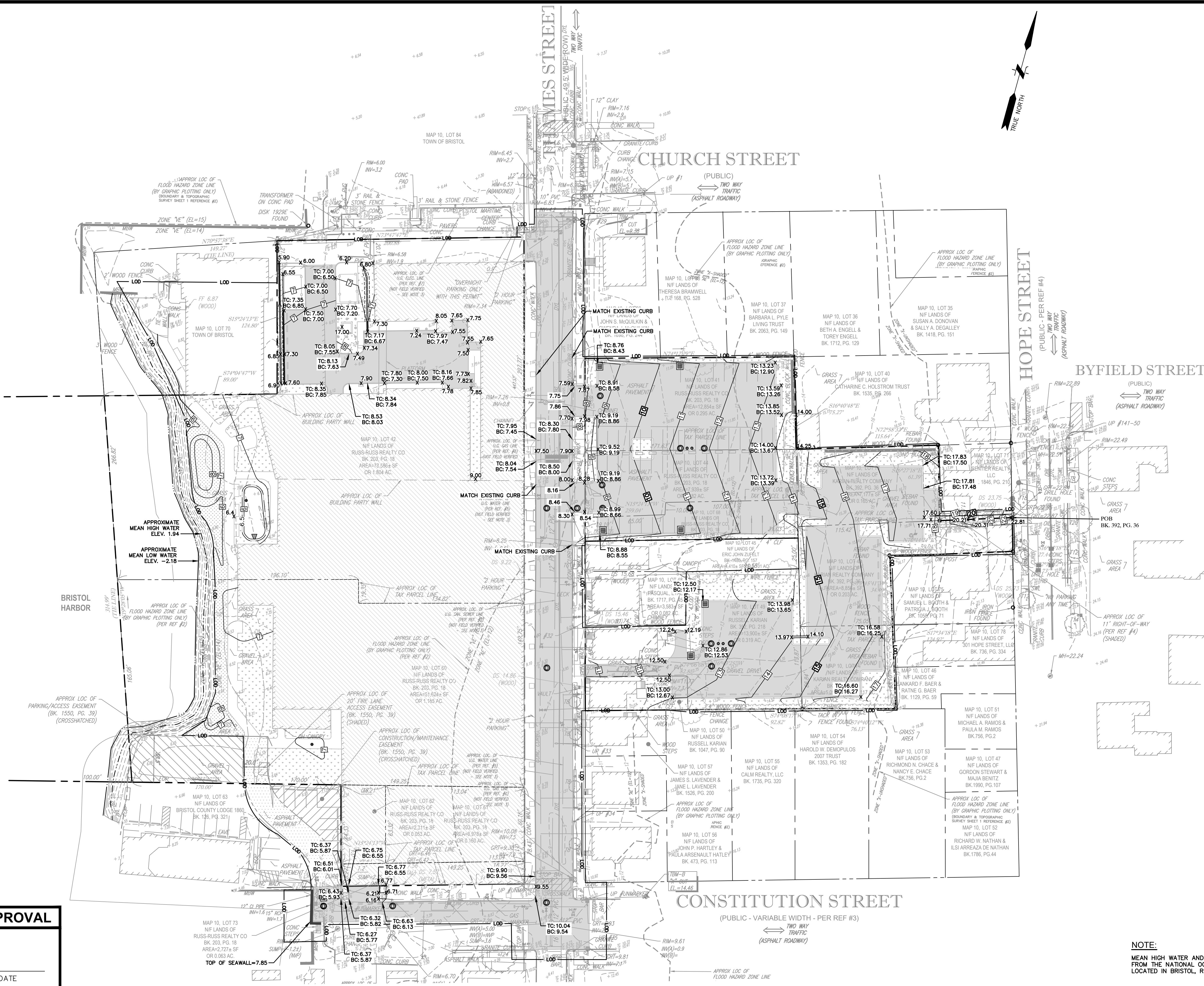
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
 DATE: DECEMBER 6, 2022

CS-102

SHEET 9 OF 28



PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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SEAL

SEAL

SCALE:

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VERT.:

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GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC

GRADING PLAN

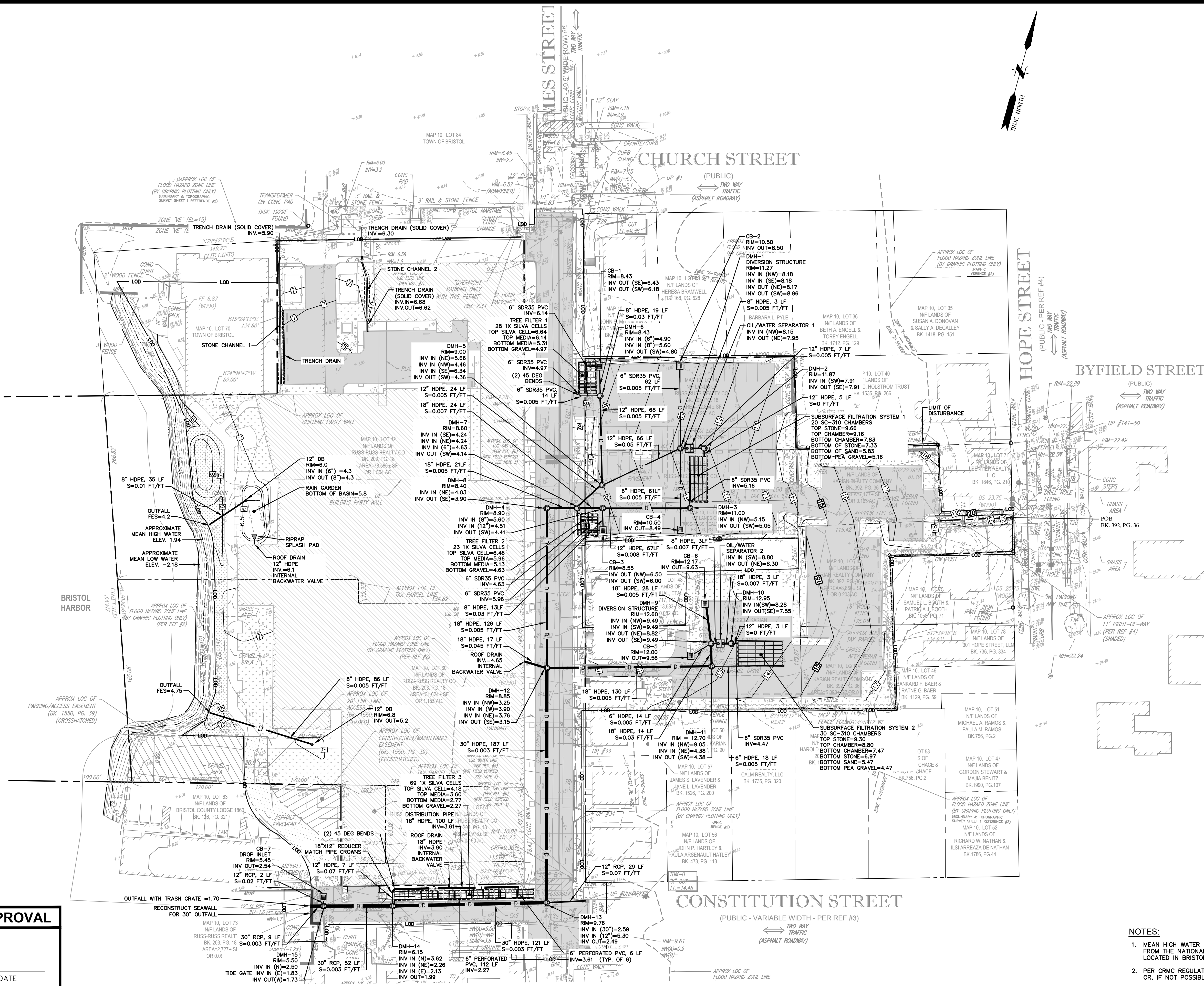
BRISTOL YARN MILL

125 THAMES STREET BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
 DATE: DECEMBER 6, 2022

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SHEET 10 OF 28



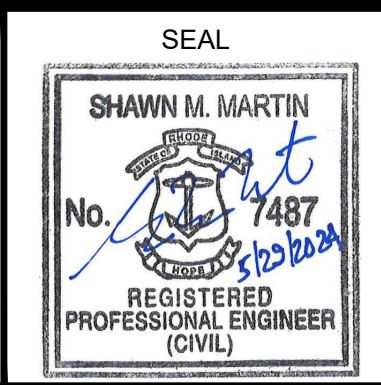
PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

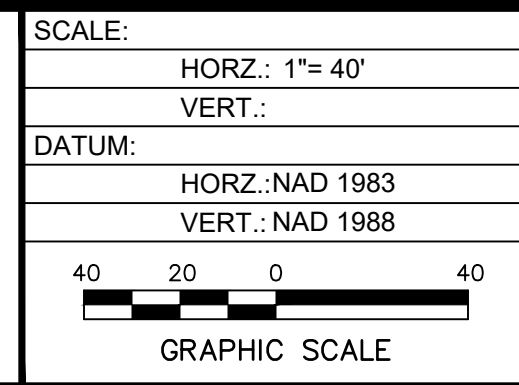
- NOTES:**
- MEAN HIGH WATER AND MEAN LOW WATER LINES SHOWN ARE APPROXIMATE BASED ON TIDAL DATUMS FROM THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION TIDE STATION NUMBER 8452154 LOCATED IN BRISTOL, RI.
 - PER CRMC REGULATIONS, OUTFALL WORK SHALL PROCEED FROM THE SHORELINE TOWARD THE UPLAND OR, IF NOT POSSIBLE, FLOWS SHALL BE DIVERTED AREAS UNTIL STABILIZATION IS COMPLETED.

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SEAL



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BRADY SULLIVAN PROPERTIES, LLC

DRAINAGE PLAN

BRISTOL YARN MILL

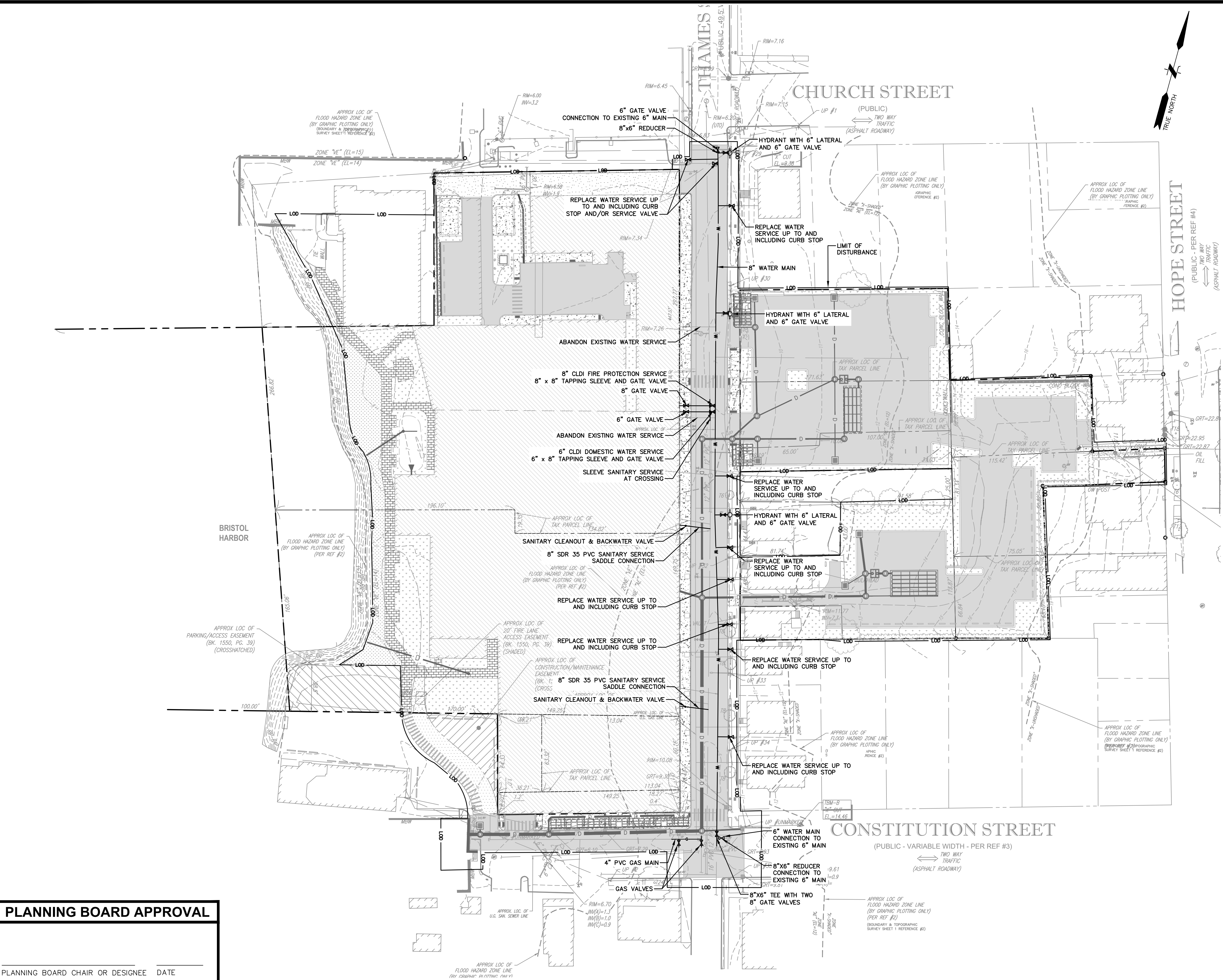
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PROJ. No.: 20061150.A22
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SHEET 11 OF 28

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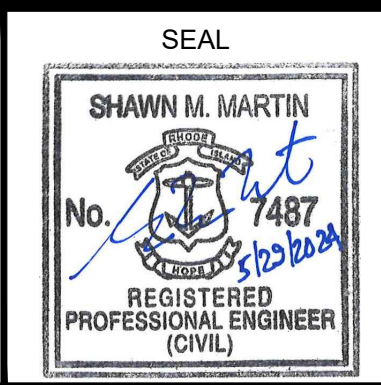
- NOTES:**
- EXISTING BCWA WATER DISTRIBUTION SYSTEM MUST BE PROPERLY RESTRAINED AT THE LIMITS OF WORK DURING CONSTRUCTION.
 - WATER MAIN SHALL BE ZINC COATED, CLASS 52, V-BIO POLYETHYLENE-WRAPPED DUCTILE IRON PIPE.
 - EXISTING SERVICES GREATER THAN 1" SHALL BE REPLACED WITH THE SAME SIZE NEW SERVICE, INCLUDING THE TEE AND/OR CORPORATION STOP, THE SERVICE PIPE, AND THE SHUTOFF VALVE AND/OR CURB STOP. ALL EXISTING 3/4" AND 1" SERVICES WITHIN THE PROJECT SHALL BE REPLACED WITH 1" CORPORATION STOP, 1" TYPE K COPPER SERVICE TUBING, AND 1" CURB STOPS AND BOXES.
 - EXISTING HYDRANTS WITHIN PROJECT AREA SHALL BE REPLACED WITH NEW HYDRANTS.

PLANNING BOARD APPROVAL

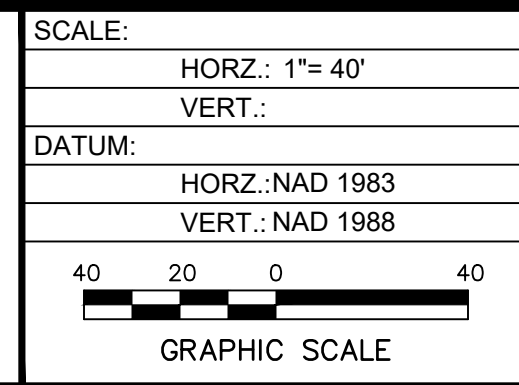
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BRADY SULLIVAN PROPERTIES, LLC

WATER AND SEWER PLAN

BRISTOL YARN MILL

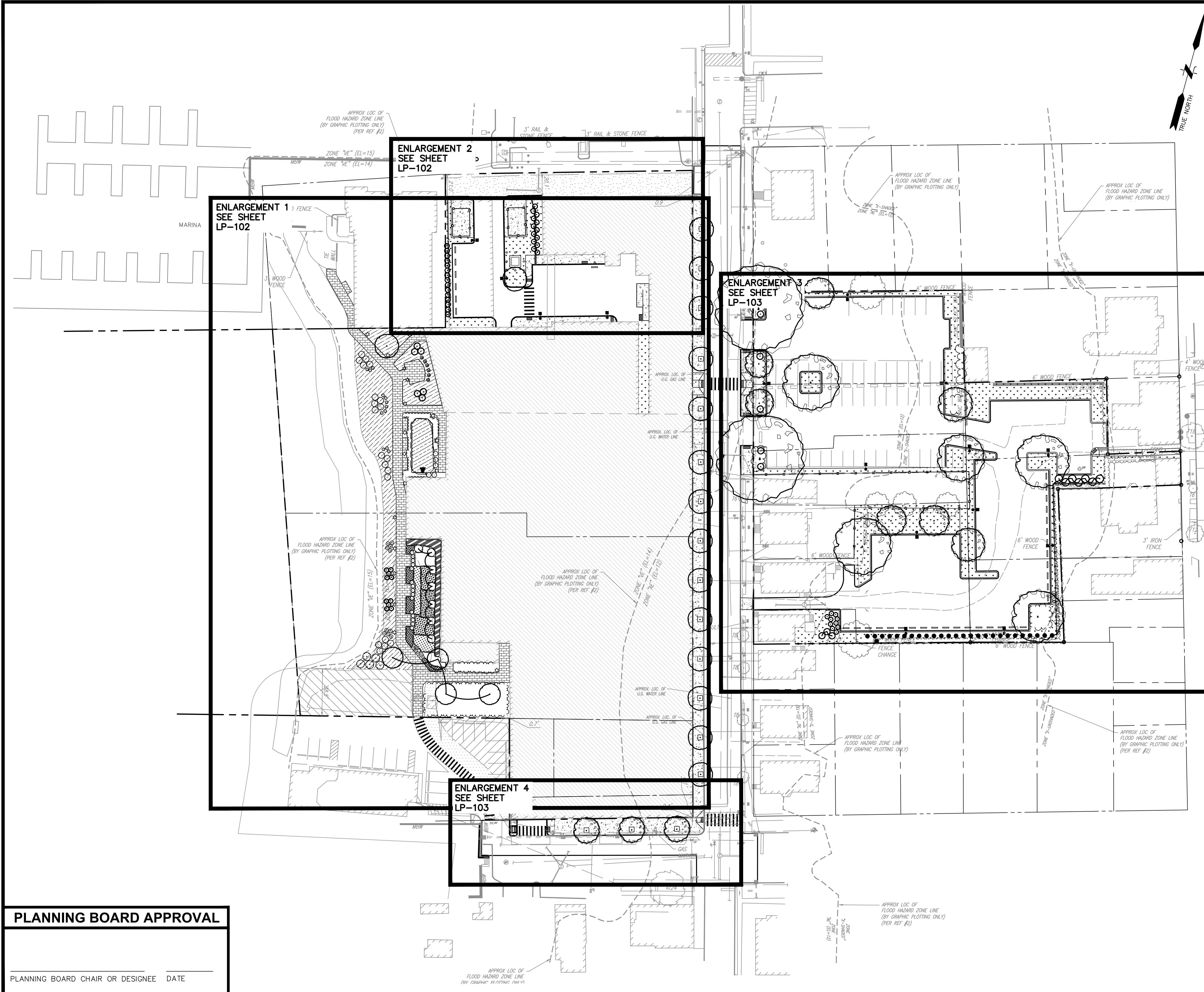
125 THAMES STREET BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
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SHEET 12 OF 28

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PLANTING NOTES

1. CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY L.A. PRIOR TO CLEARING OPERATIONS.
2. ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK SUBJECT TO A.A.N. STANDARDS. TREES SHALL BE TAGGED AND SUBMITTED TO L.A. THROUGH PHOTO SUBMISSION OR FIELD VISIT FOR SELECTION APPROVAL. TREES SHALL BE FIELD DUG.
3. THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWINGS, THE LARGER NUMBER SHALL APPLY.
4. PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS SPECIFIED IN THE PREVIOUS NOTE.
5. ALL SHRUB MASSINGS AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
6. TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGED VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE.
8. ALL SHRUB AND GROUND COVER PLANTING AREAS SHALL HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL SOD AND HYDROSEED AREAS SHALL HAVE A MINIMUM TOPSOIL BED OF 6".
9. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD, WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT TO COORDINATE THEIR INSTALLATION.
10. A SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.
11. FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
12. ALL EXISTING RILL, GULLY OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
13. ADJUSTMENTS IN THE LOCATION OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
15. PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND/OR LAWN SEEDING OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
16. UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
17. CONTRACTOR TO RESEED ALL DISTURBED AREAS.

LEGEND

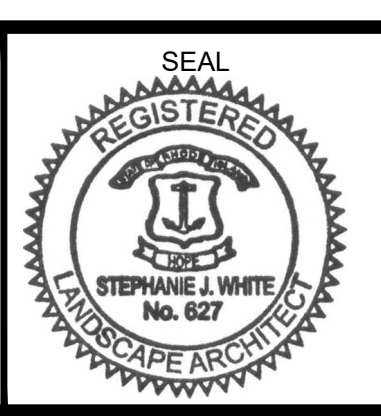
- LAWN SEED MIX
- NATURAL COASTAL BUFFER RESTORATION SEED MIX
- WETLAND MEADOW SEED MIX
- MULCH
- BUILDING

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE	DATE

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SEAL



SCALE:
 HORZ.: 1"= 40'
 VERT.:
 DATUM:
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GRAPHIC SCALE

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BRADY SULLIVAN PROPERTIES, LLC

PLANTING PLAN

BRISTOL YARN MILL

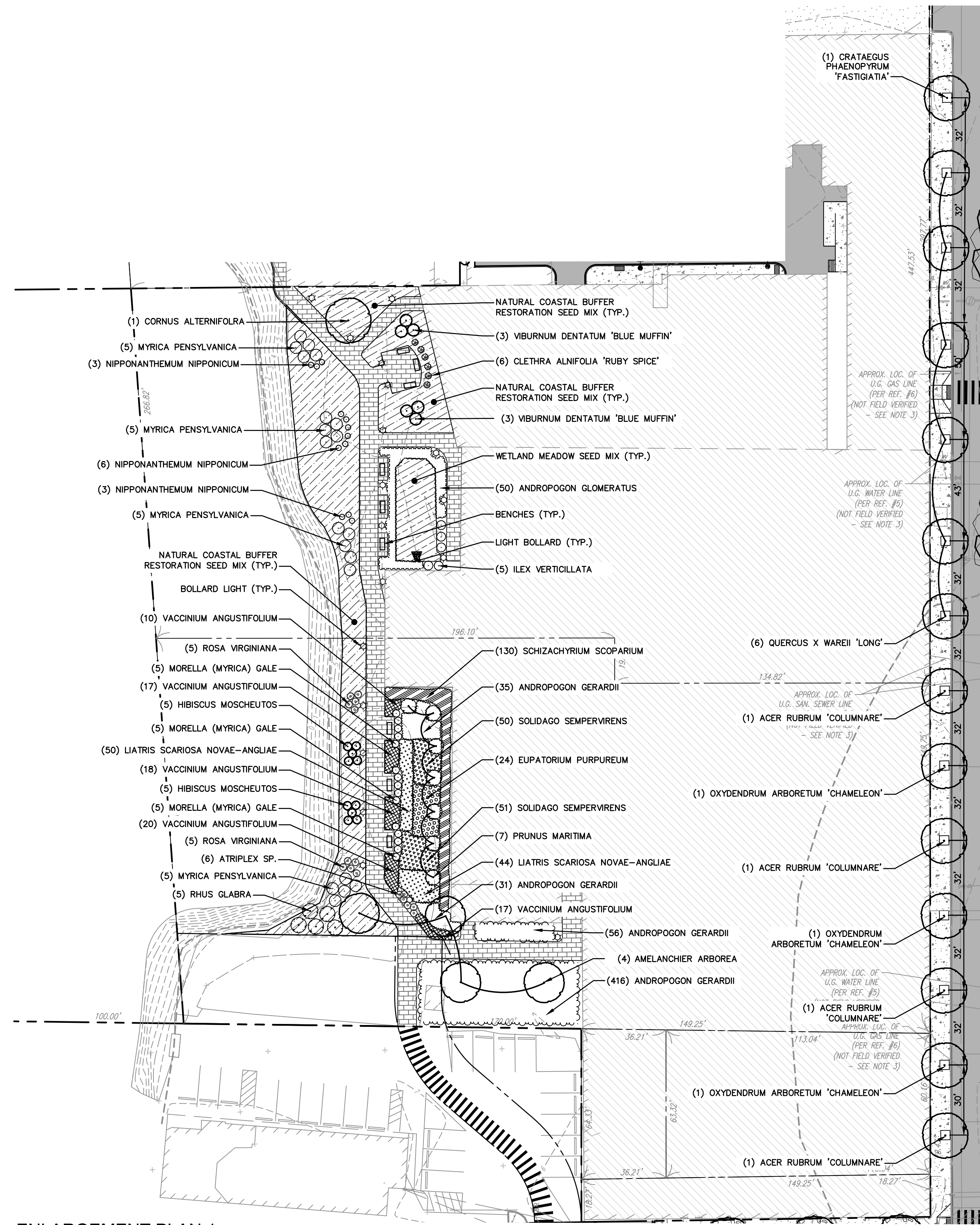
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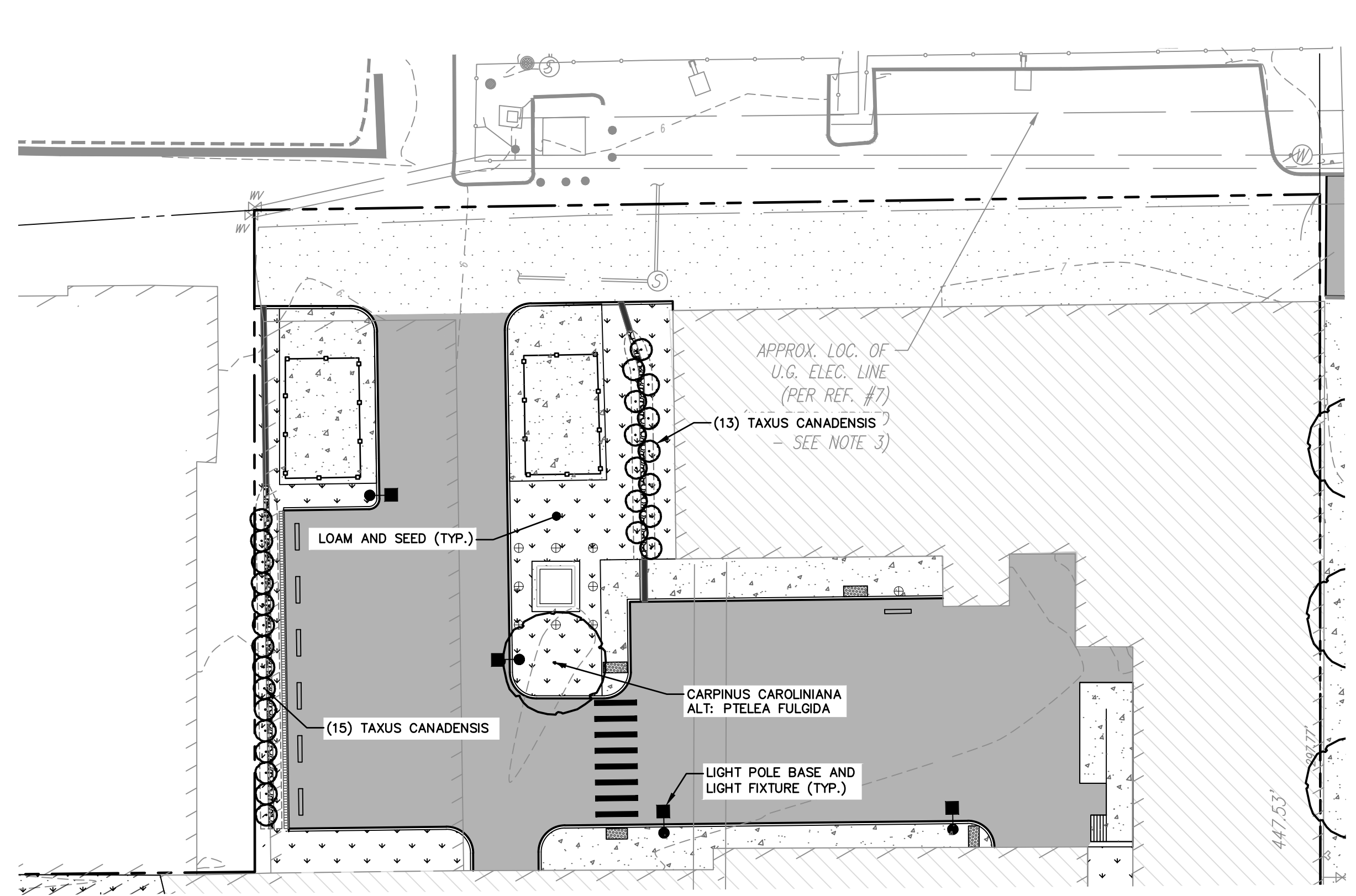
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SHEET 13 OF 28

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 Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB
 MS VIEW: LAYER STATE:



ENLARGEMENT PLAN 1
SCALE: 1" = 30'



ENLARGEMENT PLAN 2
SCALE: 1" = 20'

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY.	SIZE
ENLARGEMENT 1			
TREE			
ACER RUBRUM 'COLUMNARE'	COLUMNARE RED MAPLE	4	1.5-2" CALIPER
CORNUS ALTERNIFLORA	PAGODA DOGWOOD	1	3.5" CALIPER
CRATAEGUS PHAENOPYRUM 'FASTIGIATA'	FASTIGIATA WASHINGTON HAWTHORN	1	1.5-2" CALIPER
OXYDENDRUM ARBORETUM 'CHAMELEON'	CHAMELEON SOURWOOD	3	1.5-2" CALIPER
QUERCUS X WAREII 'LONG'	FASTIGIATE OAK	6	1.5-2" CALIPER
SHRUBS			
AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	4	6-8" B&B
ATRIPLEX SP.	SALT BUSH	6	2 GAL.
CLETHRA ALNIFOLIA 'RUBY SPICE'	SWEET PEPPERBUSH	6	3 GAL.
ILEX VERTICILLATA	WINTERBERRY	5	3 GAL.
MORELLA (MYRICA) GALE	SWEET GALE	15	3 GAL.
MYRICA PENSYLVANICA	BAYBERRY	20	MIXED
NIPPONANTHEMUM NIPPONICUM	NIPPON DAISSY	12	2 GAL.
PRUNUS MARITIMA	BEACH PLUM	7	3 GAL.
RHUS GLABRA	SMOOTH SUMAC	5	3 GAL.
ROSA VIRGINIANA	VIRGINIA ROSE	10	2 GAL.
VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	82	2 GAL.
VIBURNUM DENTATUM 'BLUE MUFFIN'	ARROWWOOD VIBURNUM	6	3'-4" B&B
PERENNIALS/GRASSES			
ANDROPOGON GERARDII	BIG BLUESTEM	538	2 GAL.
ANDROPOGON GLOMERATUS	BUSH BLUESTEM	50	2 GAL.
EUPATORIUM PURPUREUM	JOE PYE WEED	24	2 GAL.
HIBISCUS MOSCHEUTOS VAR.	SWAMP ROSA MALLOW	10	3 GAL.
LIATRIS SCARIOSA NOVAE-ANGLIAE	NEW ENGLAND BLAZING STAR	94	2 GAL.
SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	130	2 GAL.
SOLIDAGO SEMPERVIRENS	SEASIDE GOLDENROD	51	2 GAL.

ENLARGEMENT 2

TREES			
CARPINUS CAROLINIANA	AMERICAN HORNBEAM	1	3.5" CALIPER
SHRUBS			
TAXUS CANADENSIS	AMERICAN YEW	28	1 GAL.

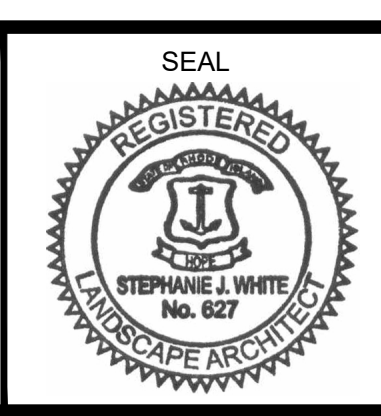
NOTES:
 1. ALL PLANTS TO BE LAID OUT IN FIELD AND PLACEMENT TO BE APPROVED PRIOR TO FINAL INSTALLATION BY L.A. AND OWNER.
 2. INFILL ALL THE AREAS BETWEEN THE PLANTS ON THE WEST SIDE OF THE PUBLIC ACCESS WALKWAY WITH NATURAL BUFFER RESTORATION SEED MIX OR APPROVED EQUAL.
 2.1. SEEDING RATE: 35 POUNDS PER ACRE
 2.2. MOW ONCE ANNUALLY AFTER OCTOBER 1 OR PRIOR TO APRIL 15
 2.3. SEED MIX INCLUDES: COMMON EASTERN WILD-RYE (ELYMUS VIRGINICUS), CREEPING RED FESCUE (FESTUCA RUBRA), BIG BLUE-STEM (ANDROPOGON GERARDII), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), INDIAN GRASS (SORGHASTRUM NUTANS), SWITCH GRASS (PANICUM VIRGATUM), SAND DROPSIDE (SPOROBOLUS CRYPTANDRUS), SMOOTH CORDGRASS (SPARTINA ALTERNIFLORA)

PLANNING BOARD APPROVAL

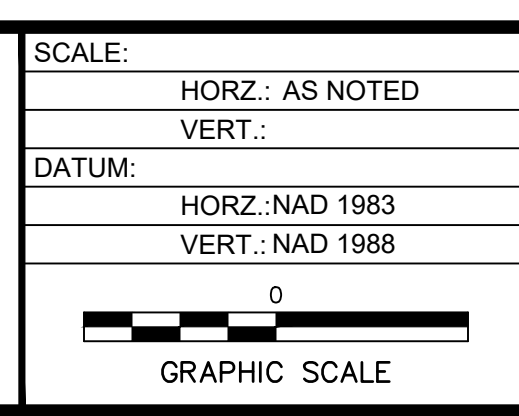
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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



SCALE:
 HORZ.: AS NOTED
 VERT.:
 DATUM:
 HORZ.: NAD 1983
 VERT.: NAD 1988

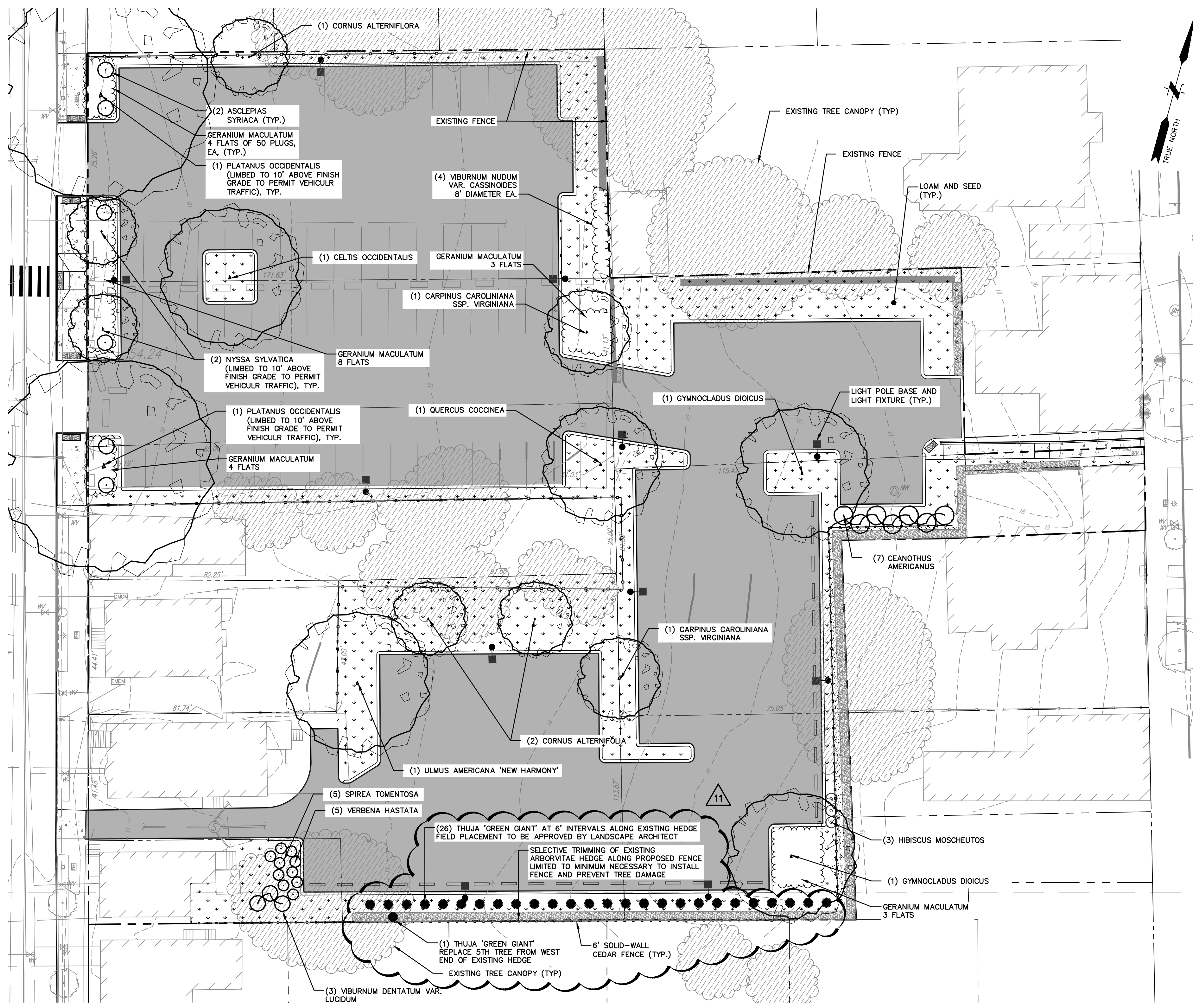


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 401.861.3070
 www.fando.com

BRADY SULLIVAN PROPERTIES, LLC
 ENLARGEMENT PLANTING PLAN
 BRISTOL YARN MILL
 125 THAMES STREET
 BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
 DATE: DECEMBER 6, 2022
LP-102
 SHEET 14 OF 28

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ENLARGEMENT PLAN 3
SCALE: 1" = 20'

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE	DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



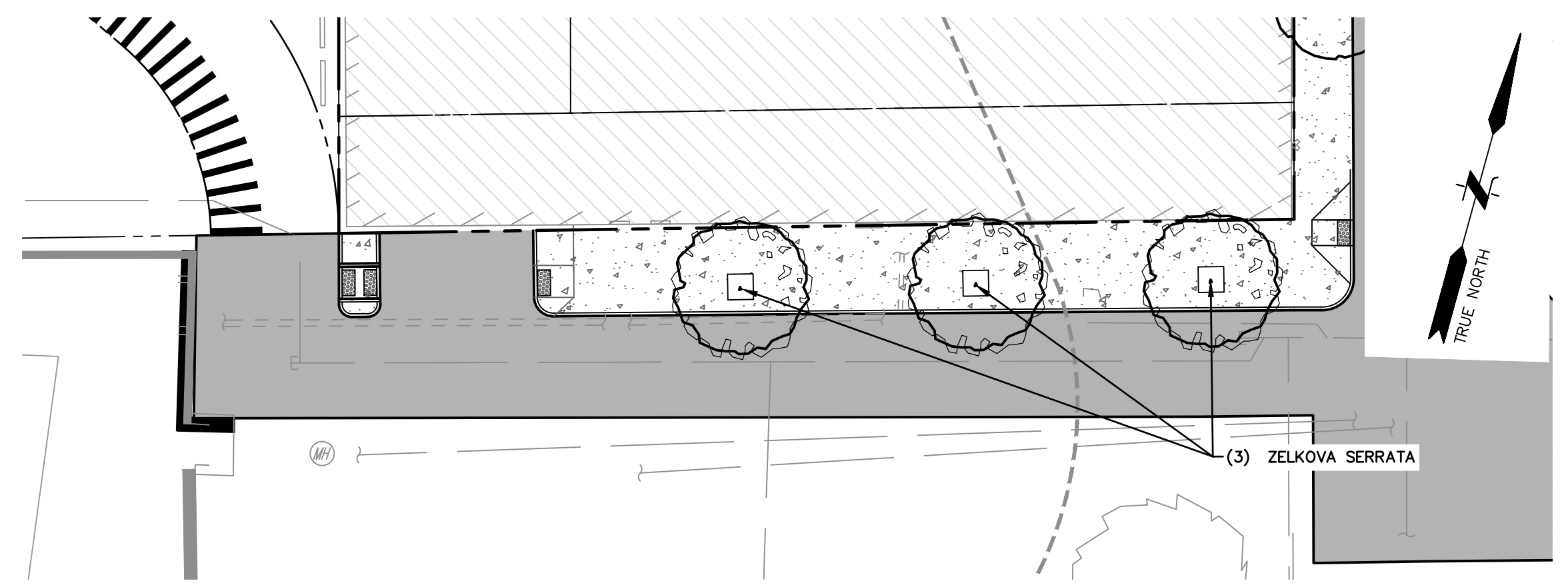
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VERT.:
DATUM: HORZ.: NAD 1983
VERT.: NAD 1988

GRAPHIC SCALE

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www.fando.com

BRADY SULLIVAN PROPERTIES, LLC
ENLARGEMENT PLANTING PLAN
BRISTOL YARN MILL
125 THAMES STREET
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022
LP-103
SHEET 15 OF 28



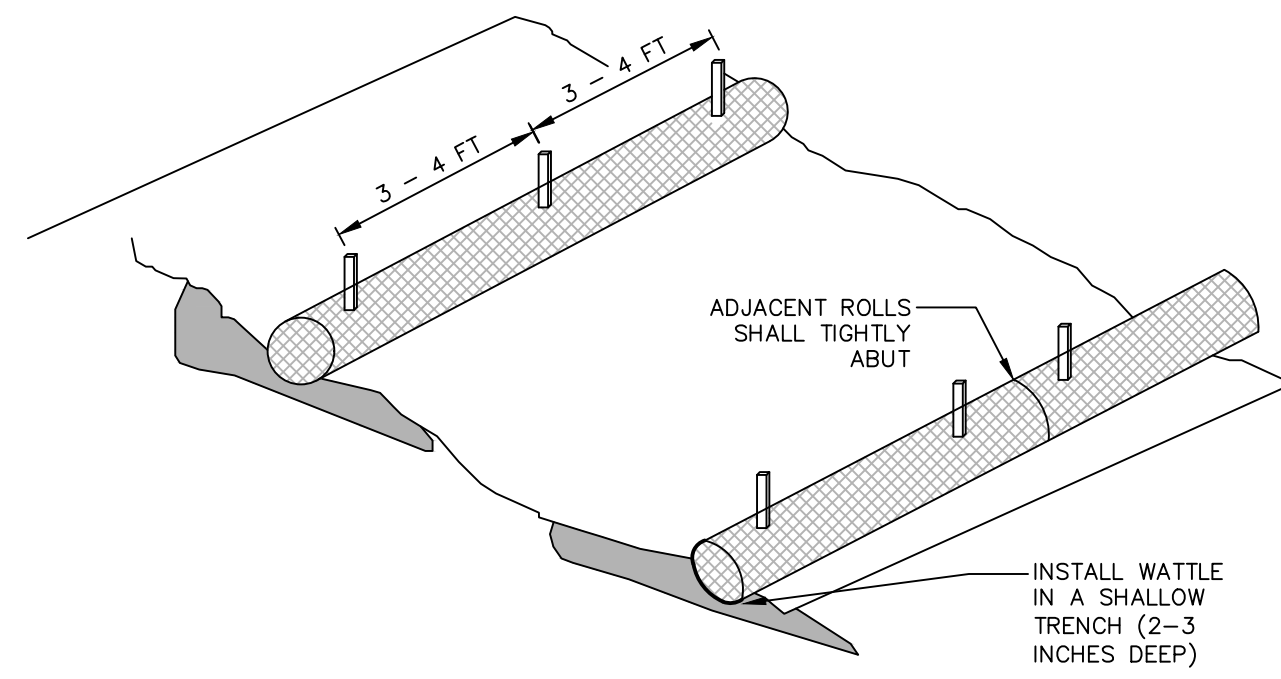
ENLARGEMENT PLAN 4
SCALE: 1" = 20'

PLANT LIST

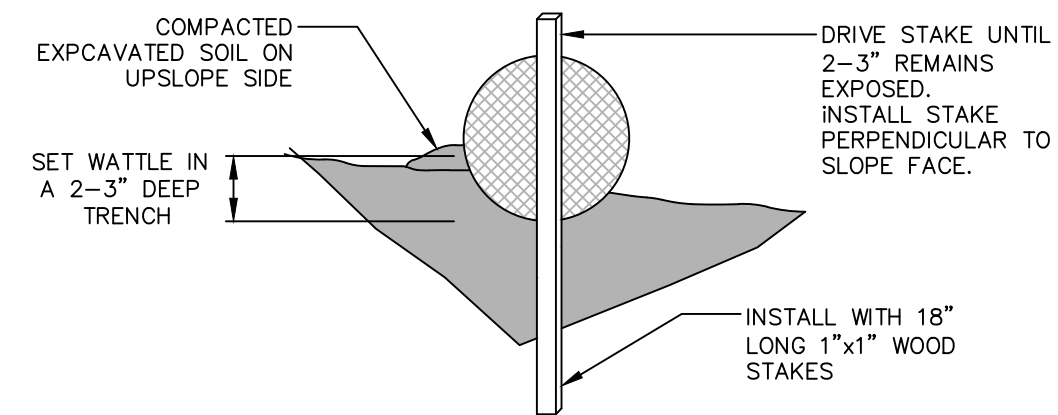
BOTANICAL NAME	COMMON NAME	QTY.	SIZE
ENLARGEMENT 3			
TREES			
CARPINUS CAROLINIANA SSP. VIRGINIANA	AMERICAN HORNBEAM	2	3.5" CALIPER
CELTIS OCCIDENTALIS	COMMON HACKBERRY	1	3.5" CALIPER
CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	3	3.5" CALIPER
GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE	2	3.5" CALIPER
NYSSA SYLVATICA	BLACK GUM	2	3.5" CALIPER
PLATANUS OCCIDENTALIS	COMMON SYCAMORE	2	3.5" CALIPER
QUERCUS COCCINEA	SCARLET OAK	1	3.5" CALIPER
THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	27	4'-5'
ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY AMERICAN ELM	1	3.5" CALIPER
SHRUBS			
ASCLEPIAS SYRIACA	COMMON MILKWEED	12	2 GAL.
CEANOTHUS AMERICANUS	NEW JERSEY TEA	7	2 GAL.
VIBURNUM DENTATUM VAR. LUCIDUM	SMOOTH ARROWWOOD	3	3'-4' B&B
VERBENA HASTATA	BLUE VERVAIN	5	3 GAL.
VIBURNUM NUDUM VAR. CASSINOIDES	WITHE ROD VIBURNUM	4	3'-4' B&B
PERENNIALS/GRASSES			
GERANIUM MACULATUM	SPOTTED CRANE'S BILL	1100	22 FLATS
HIBISCUS MOSCHEUTOS	SWAMP ROSE MALLOW	3	2 GAL.
SPIREA TOMENTOSA	STEEPLEBUSH	5	2 GAL.
ENLARGEMENT 4			
TREES			
ZELKOVA SERRATA	JAPANESE ZELKOVA	3	3.5" CALIPER

NOTE:
ALL PLANTS TO BE LAID OUT IN FIELD AND PLACEMENT TO BE APPROVED PRIOR TO FINAL INSTALLATION BY L.A. AND OWNER.

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TYPICAL WATTLE INSTALLATION GUIDE



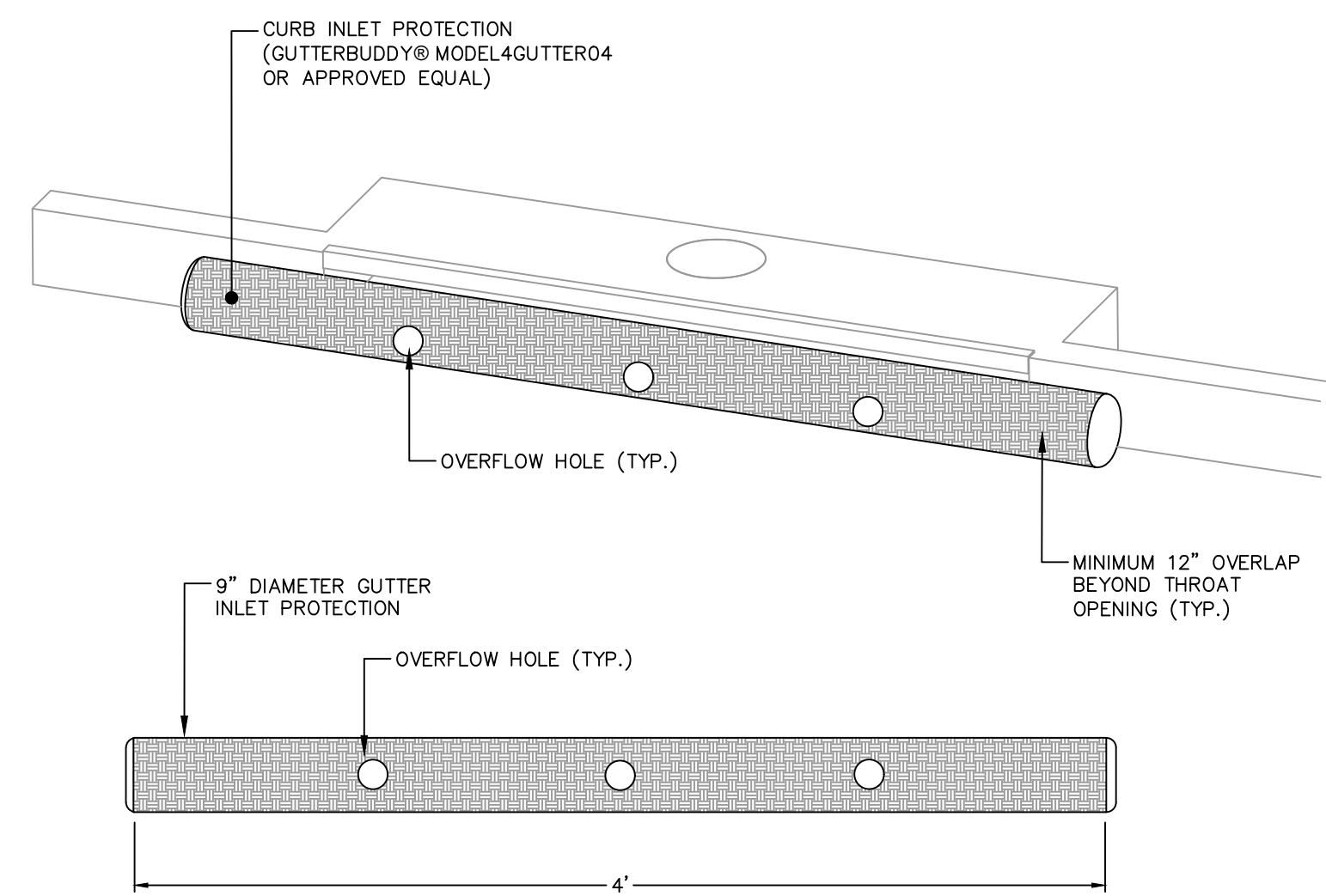
ENTRENCHMENT

NOTES:

1. WATTLES SHALL BE TRENCHED APPROXIMATE 2-3 INCHES AND STAKED SUCH THAT WATTLES DIRECTLY CONTACT SOIL AND PRECLUDE UNDERMINING OR BLOWOUTS. THE TRENCH SHALL BE APPROXIMATELY 9 INCHES WIDE. STAKES SHALL BE DRIVEN THROUGH THE CENTER OF THE WATTLE AT A SPACING OF 3-4 FEET ON CENTER AND NO GREATER THAN 6" FROM THE EACH END OF THE WATTLE. STAKES SHALL BE 1-INCH BY 1-INCH WOODEN STAKES WITH A LENGTH OF 18 INCHES. COMPACT SOIL EXCAVATED TO CREATE TRENCH ON UPHILL SIDE.
2. ENDS OF ADJACENT WATTLES SHALL BE TIGHTLY BUTTED OR OVERLAPPED SO THAT NO OPENING EXISTS FOR WATER TO PASS THROUGH. WATTLES SHALL BE FREE OF DAMAGE OR DEFECTS WHEN DELIVERED TO THE SHIPPER. NO VEHICLES SHALL BE DRIVEN OVER WATTLES.
3. WATTLES SHALL BE 12-INCH SEDIMAX-FR™ FILTRATION ROLL MANUFACTURED BY NORTH AMERICAN GREEN, OR APPROVED EQUAL.

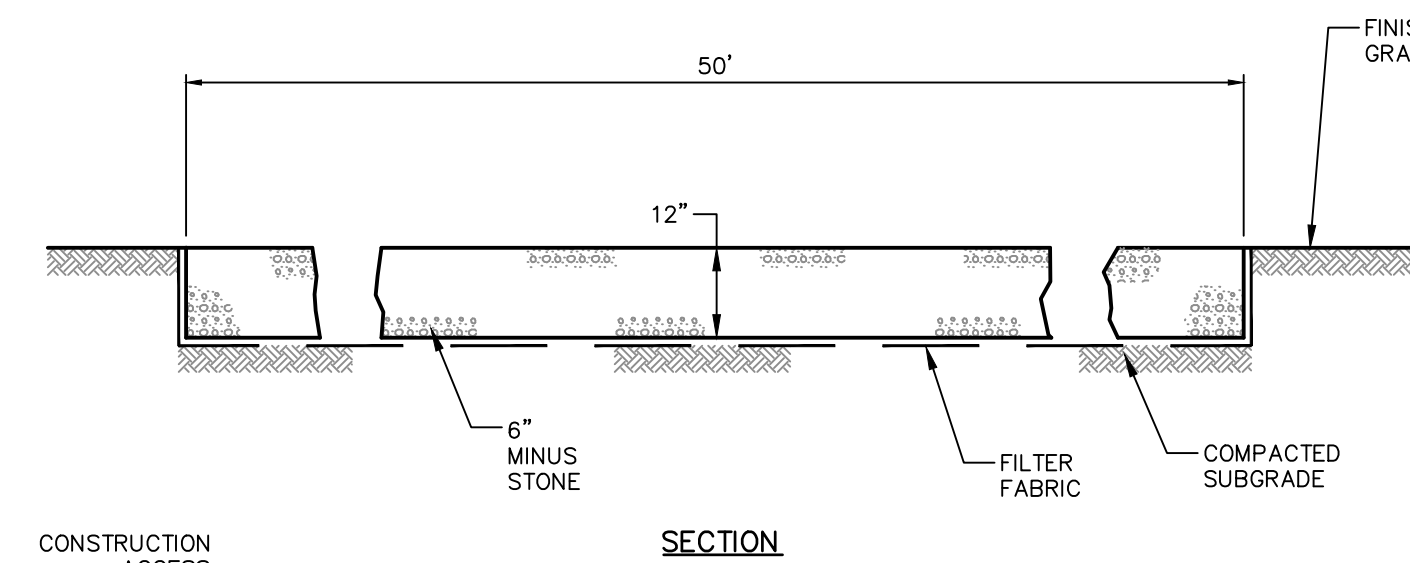
WATTLES

NOT TO SCALE

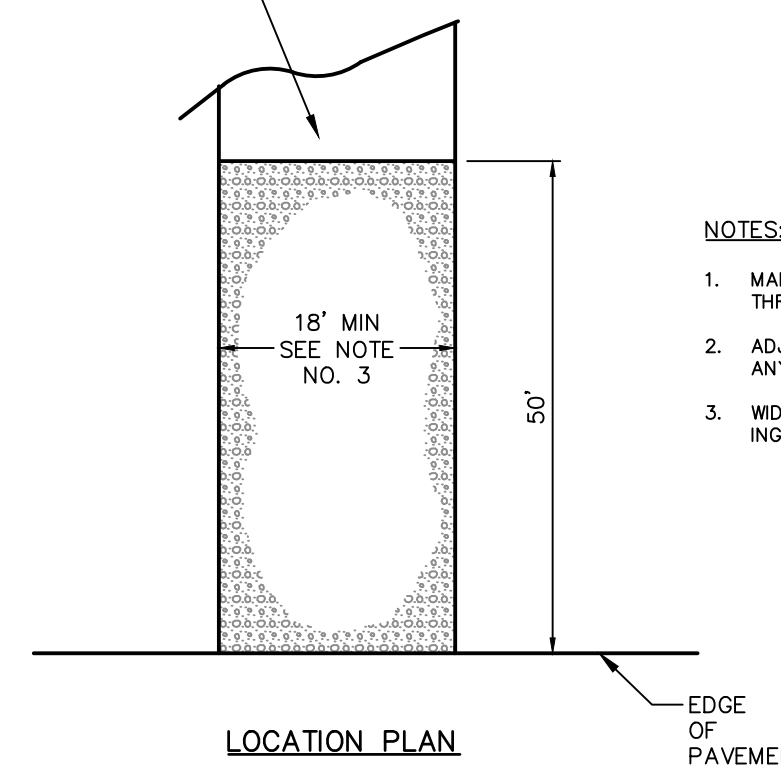


CURB INLET PROTECTION

NOT TO SCALE



SECTION



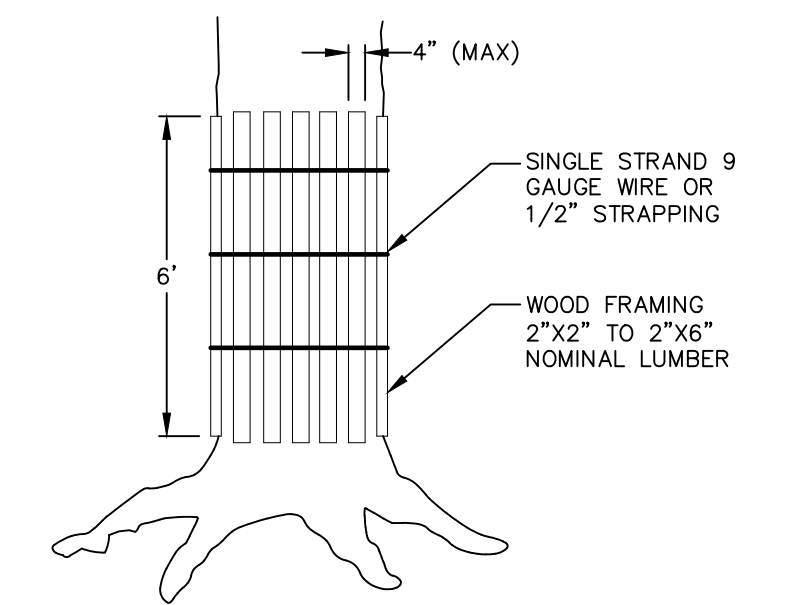
LOCATION PLAN

NOTES:

1. MAINTAIN ANTI-TRACKING APRON IN GOOD CONDITION THROUGHOUT CONSTRUCTION PERIOD.
2. ADJACENT ROADWAY SHALL BE SWEEP DAILY TO REMOVE ANY MATERIAL THAT MAY BE TRACKED ONTO PAVEMENT.
3. WIDTH OF APRON SHALL NOT BE LESS THAN WIDTH OF INGRESS OR EGRESS.

CONSTRUCTION ACCESS

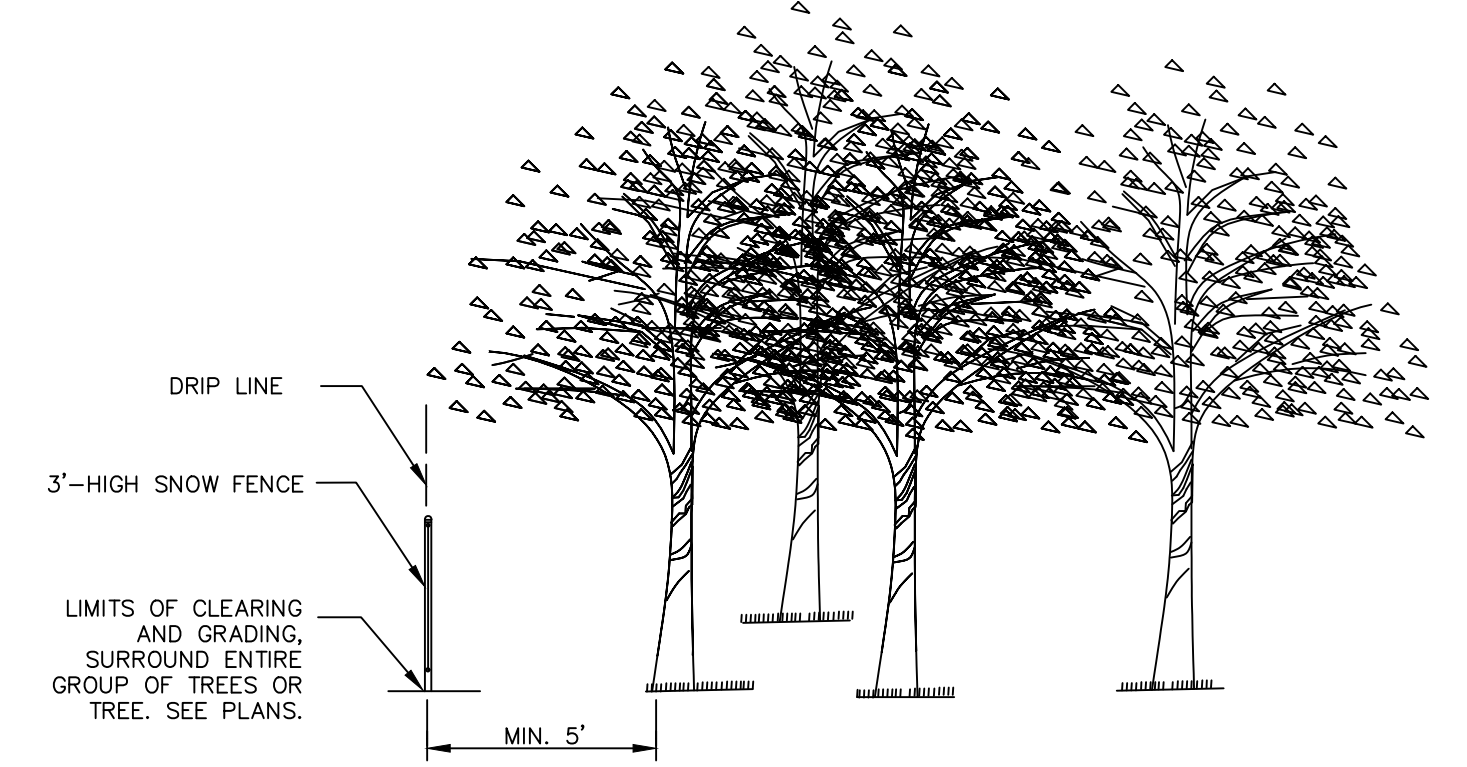
NOT TO SCALE



INDIVIDUAL TREE

NOTE:

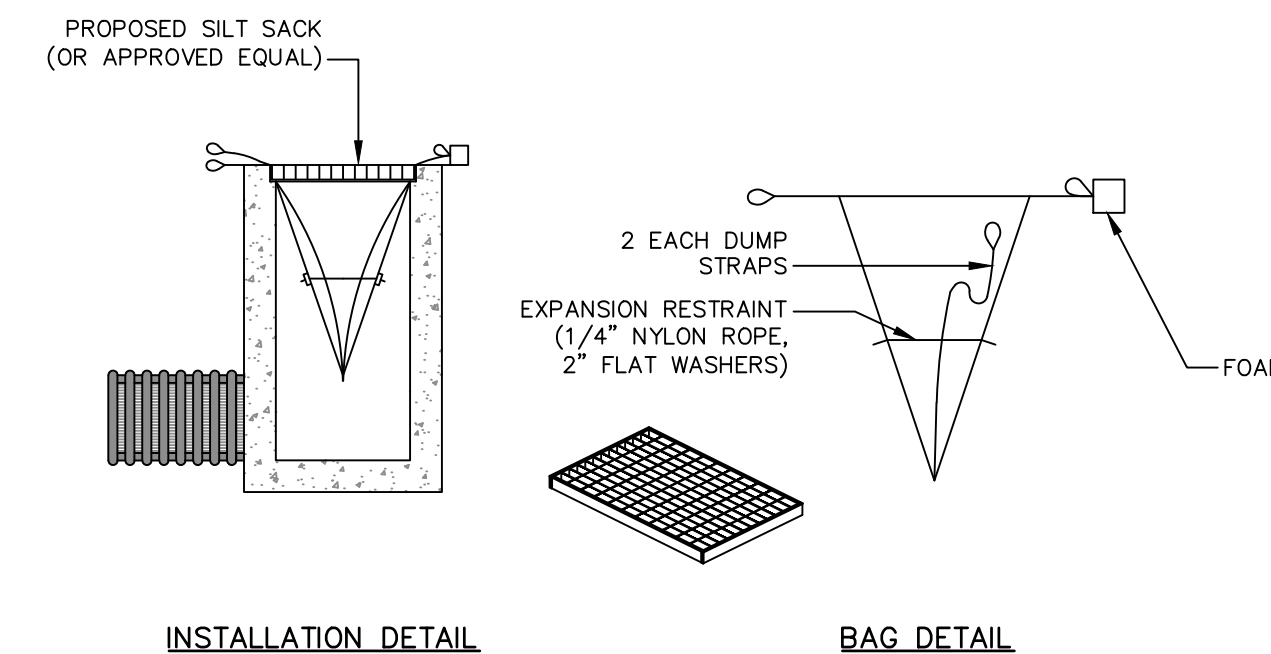
SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE STANDARD SPECIFICATIONS.



GROUPING OF TREES

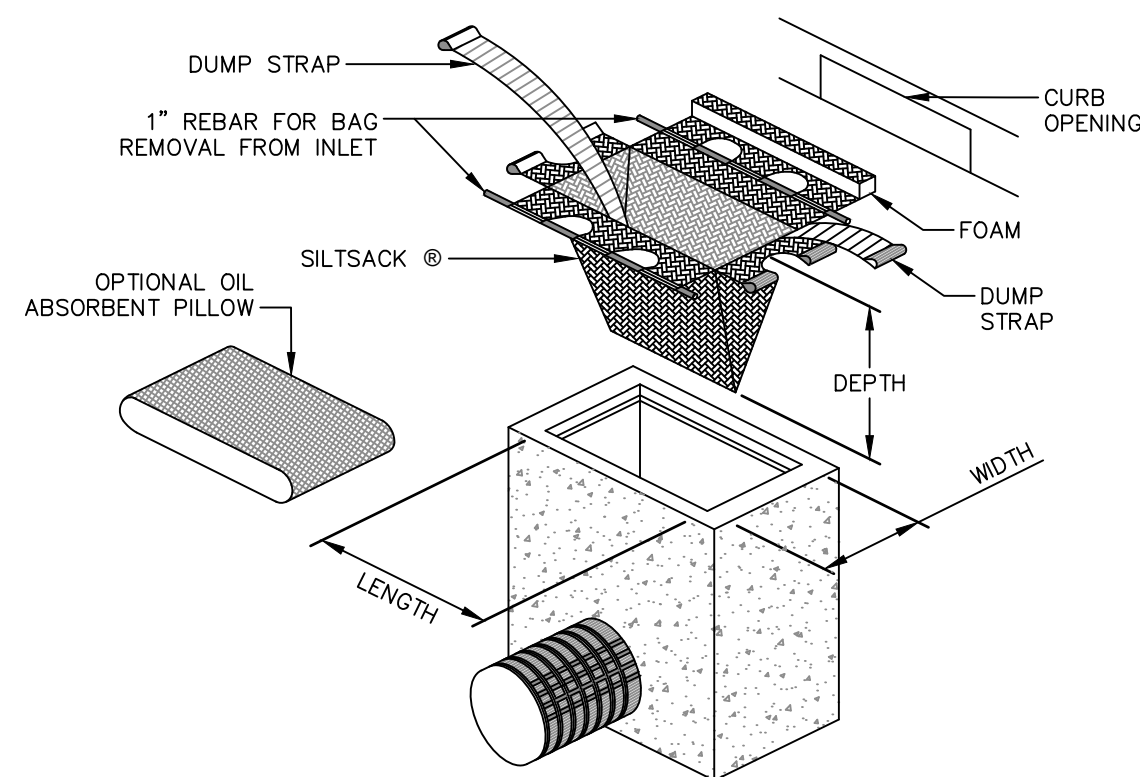
TREE PROTECTION

NOT TO SCALE



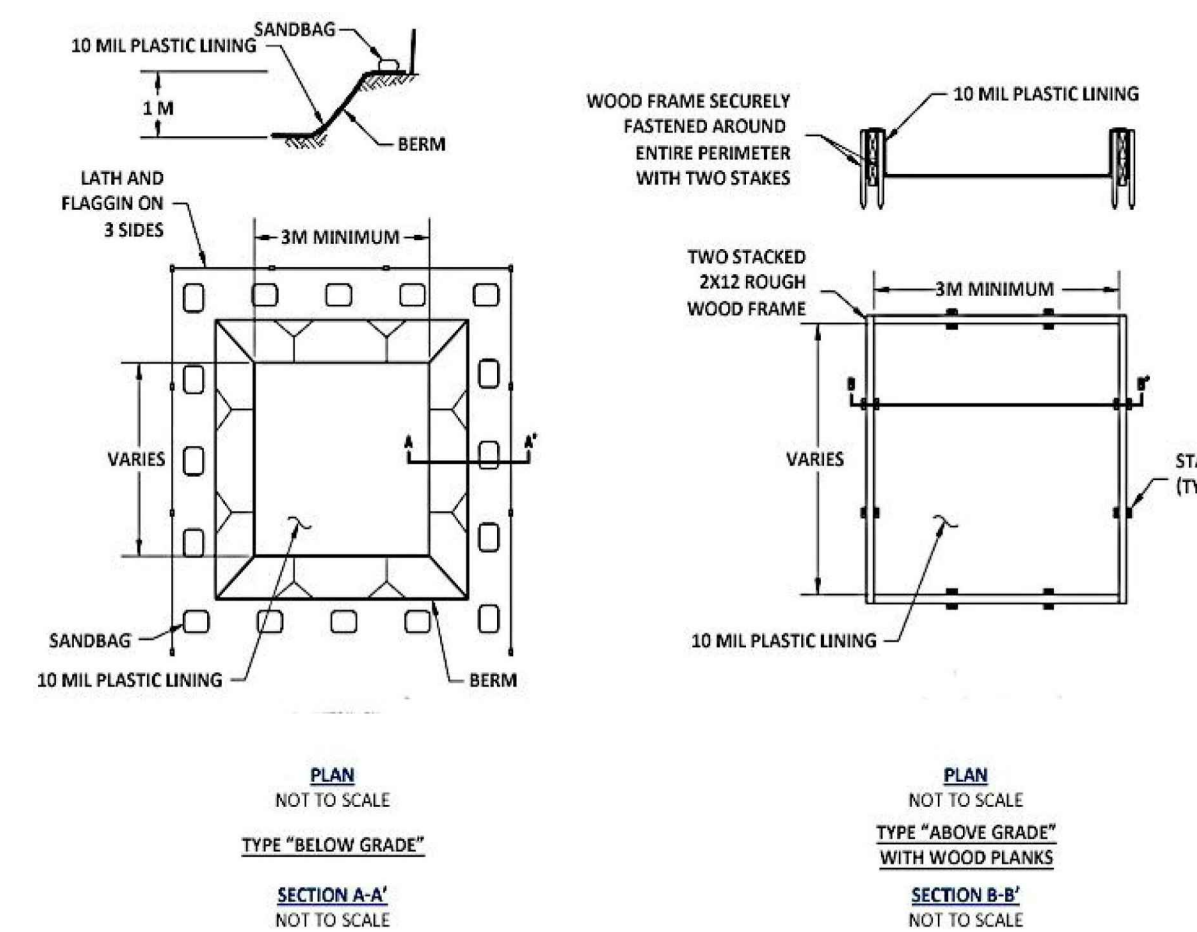
INSTALLATION DETAIL

BAG DETAIL



CATCH BASIN INLET PROTECTION

NOT TO SCALE



PLAN NOT TO SCALE

TYPE "BELOW GRADE"

SECTION A-A' NOT TO SCALE

PLAN NOT TO SCALE

TYPE "ABOVE GRADE" WITH WOOD PLANKS

SECTION B-B' NOT TO SCALE

NOTES:

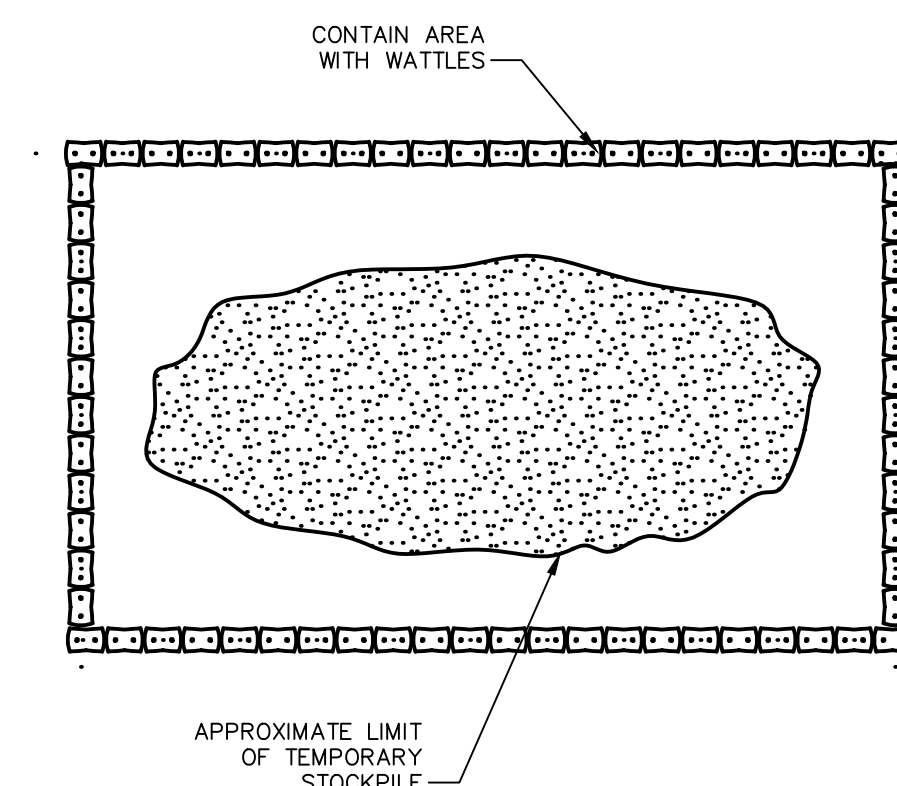
1. ACTUAL LAYOUT DETERMINED IN THE FIELD.
2. FOR REFERENCE PURPOSES ONLY. NOT FOR CONSTRUCTION PURPOSES.

REFERENCE:

RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, ISSUED 1989 (REVISED 2014)

TEMPORARY CONCRETE WASHOUT FACILITY

NOT TO SCALE



TEMPORARY SOIL STOCKPILE

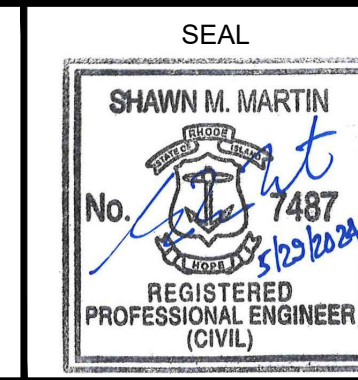
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
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3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



SCALE:

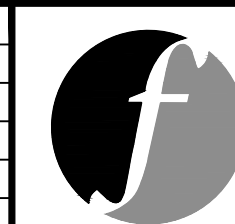
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VERT.:



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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

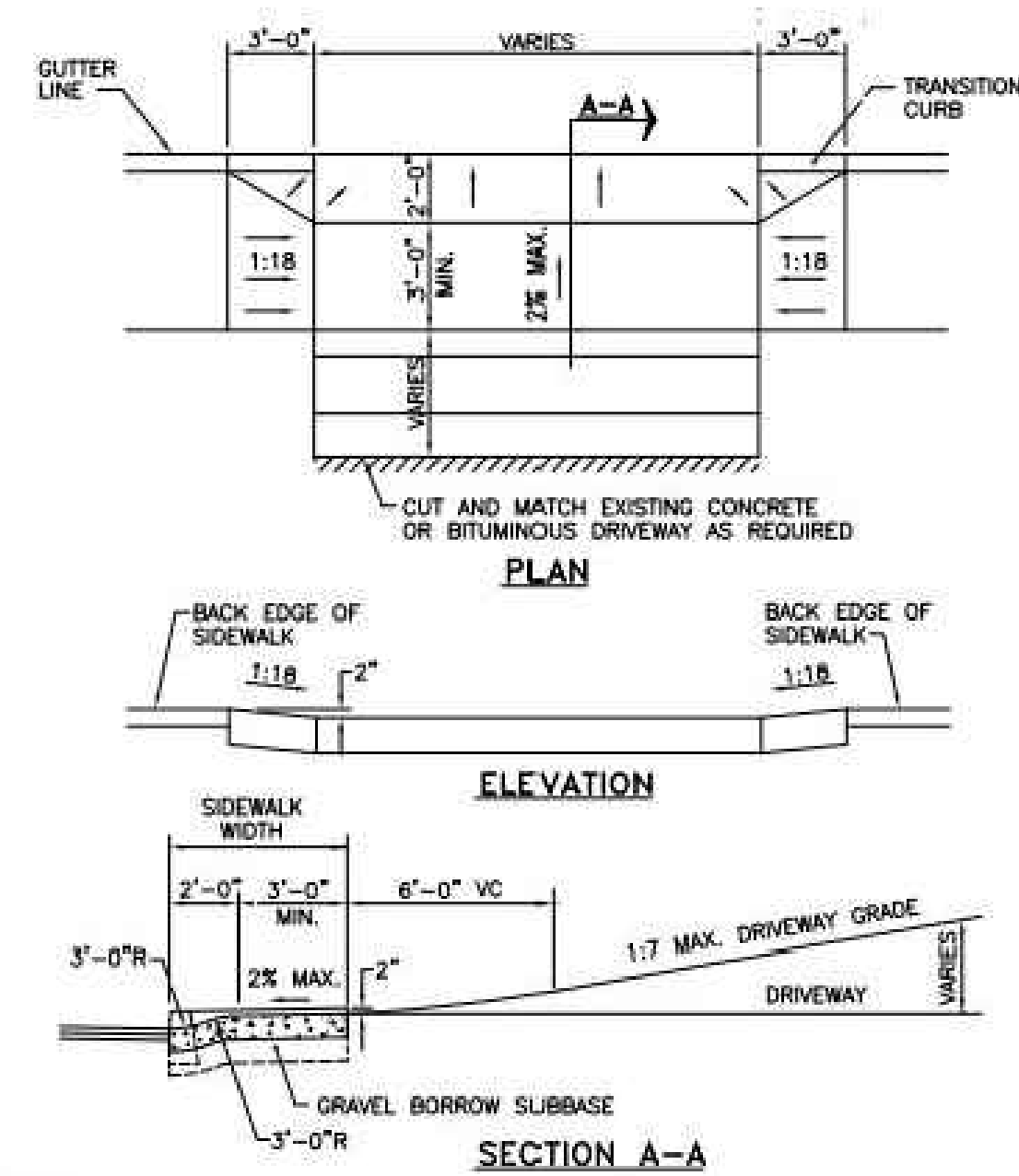
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-501

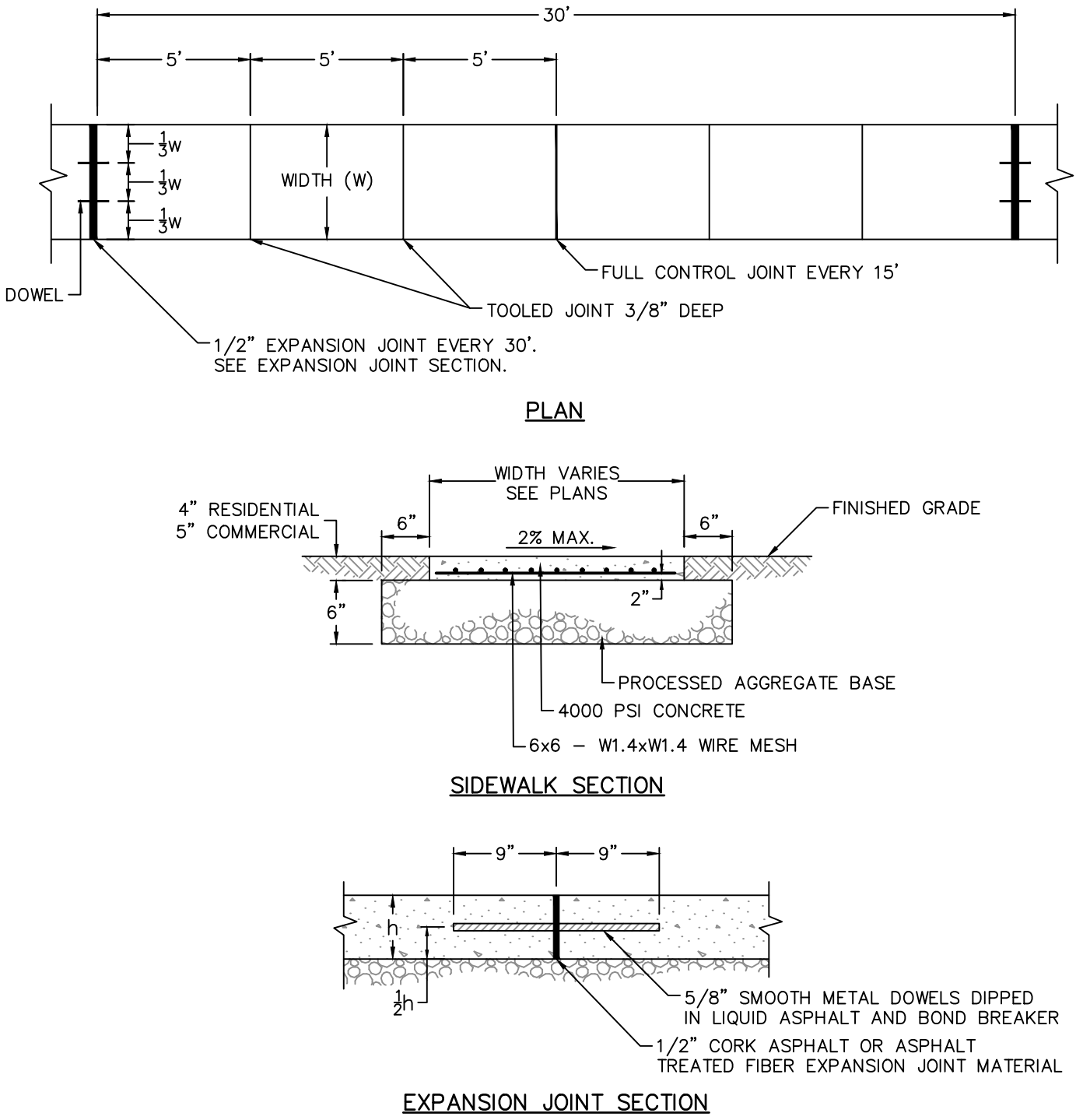
SHEET 16 OF 28

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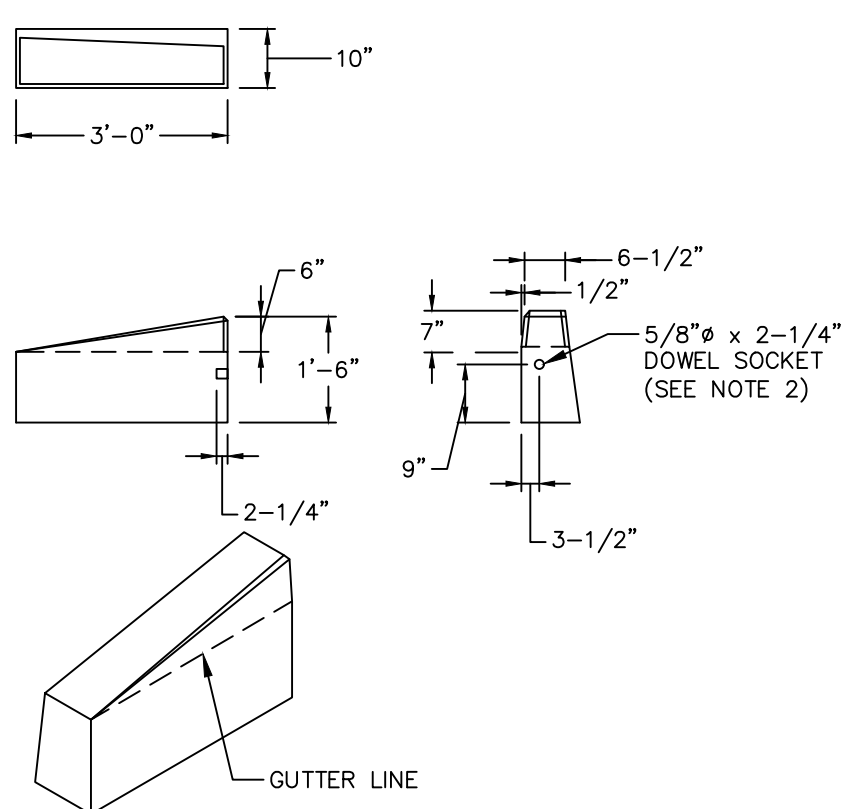


NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. WHEN DRIVEWAY IS BELOW BACK EDGE OF SIDEWALK PROFILE, STD. 43.4.1 MUST BE USED.

DRIVEWAY DEVELOPMENT
 NOT TO SCALE

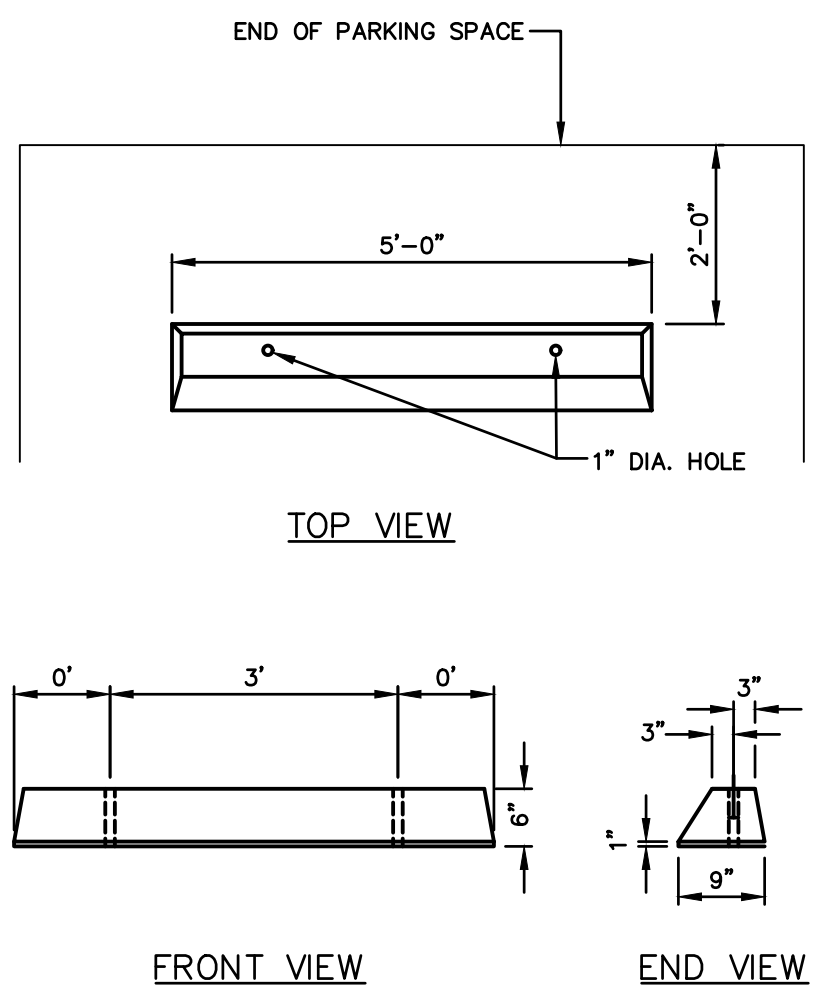


CONCRETE SIDEWALK
 NOT TO SCALE



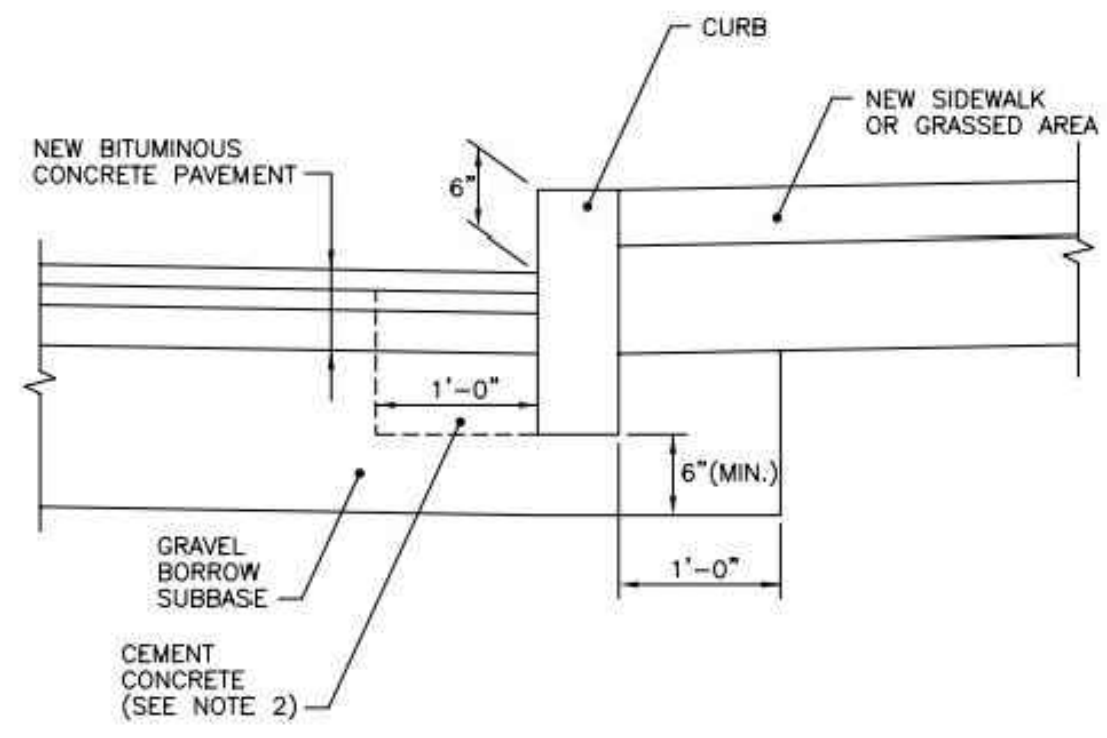
NOTE:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
 2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USE OPPOSITE HAND AND INCLUDE A 1/2" x 4" EPOXY COATED DOWEL.
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.
 5. LEFT AND RIGHT SECTIONS SHALL BE INSTALLED AS REQUIRED.

GRANITE TRANSITION CURB
 NOT TO SCALE



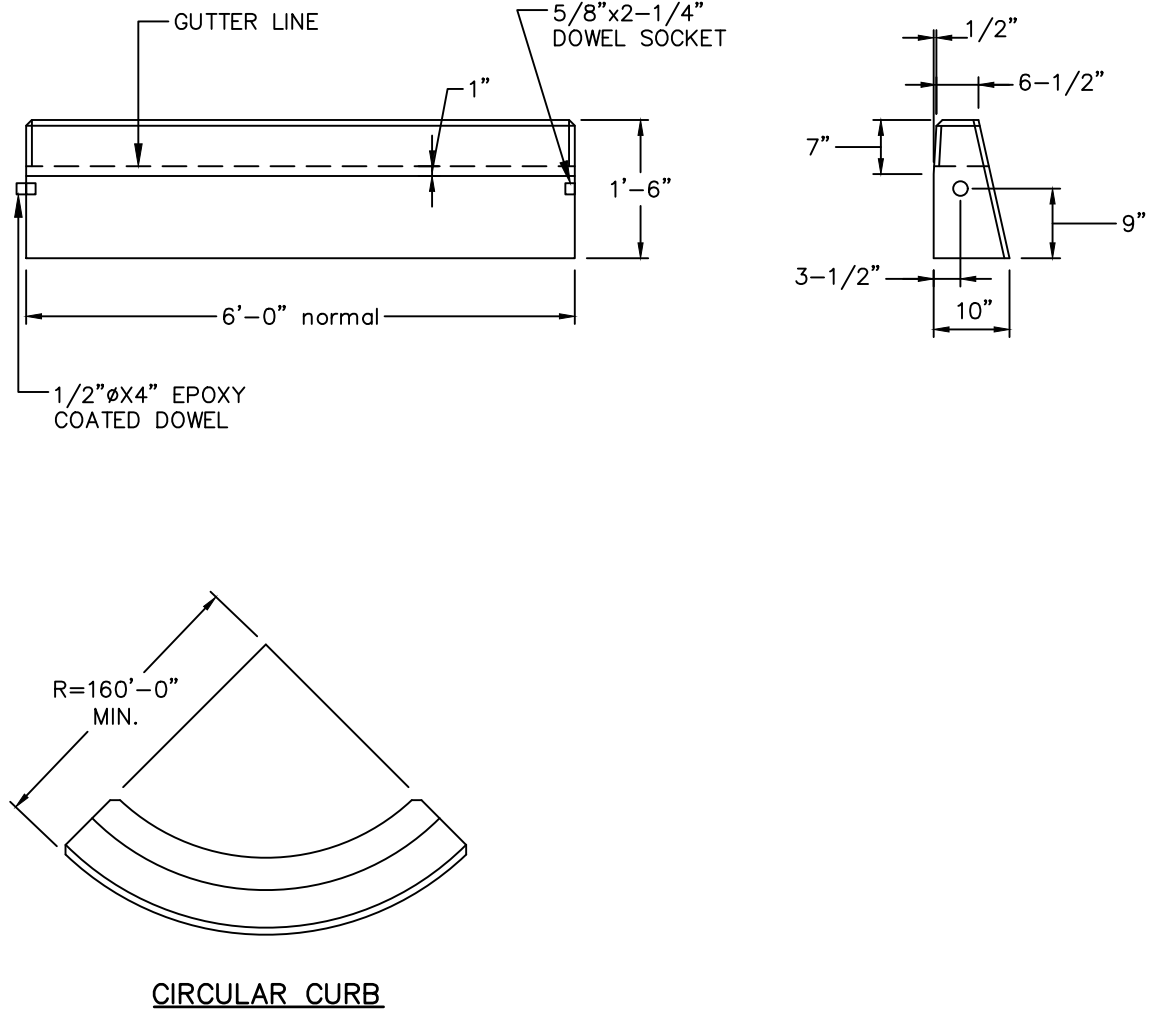
NOTES:
 1. ALL SURFACES TO HAVE A SPONGE FLOAT FINISH.
 2. EACH PRECAST CONCRETE CAR STOP SHALL BE FURNISHED WITH TWO 3/4" x 18" STEEL RODS.
 3. ALL EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

PRECAST CONCRETE WHEEL STOPS
 NOT TO SCALE



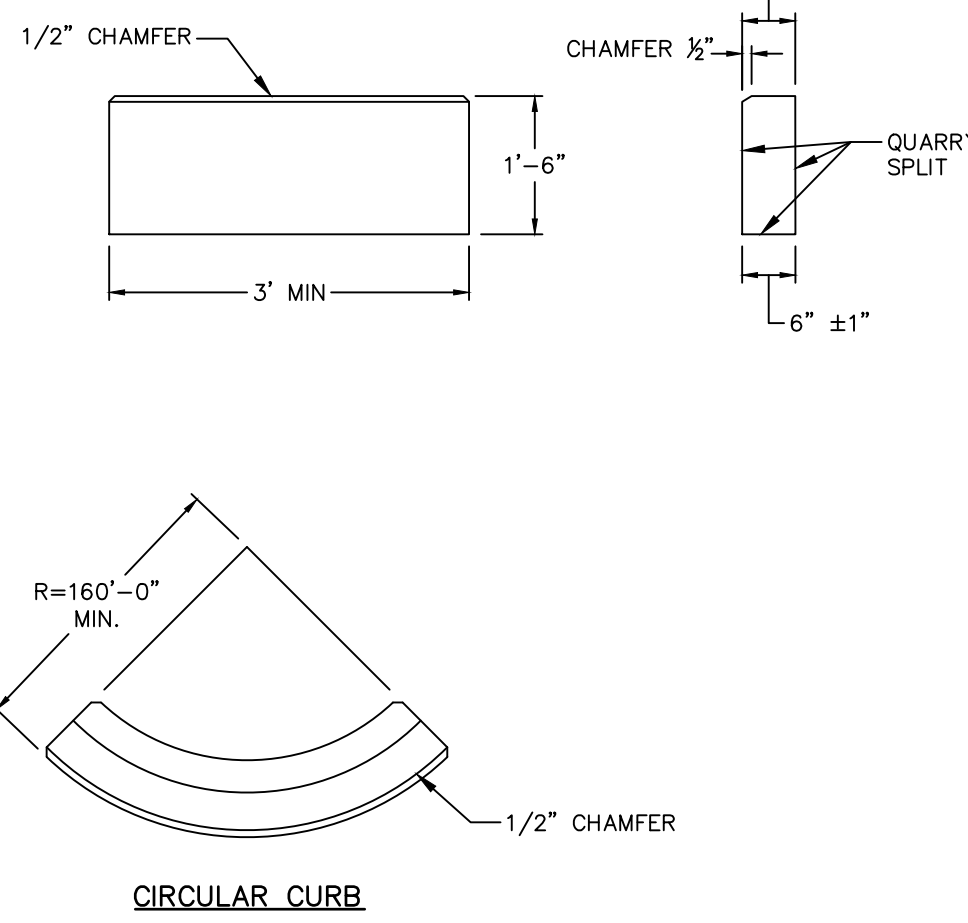
NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE, OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

CURB SETTING
 NOT TO SCALE



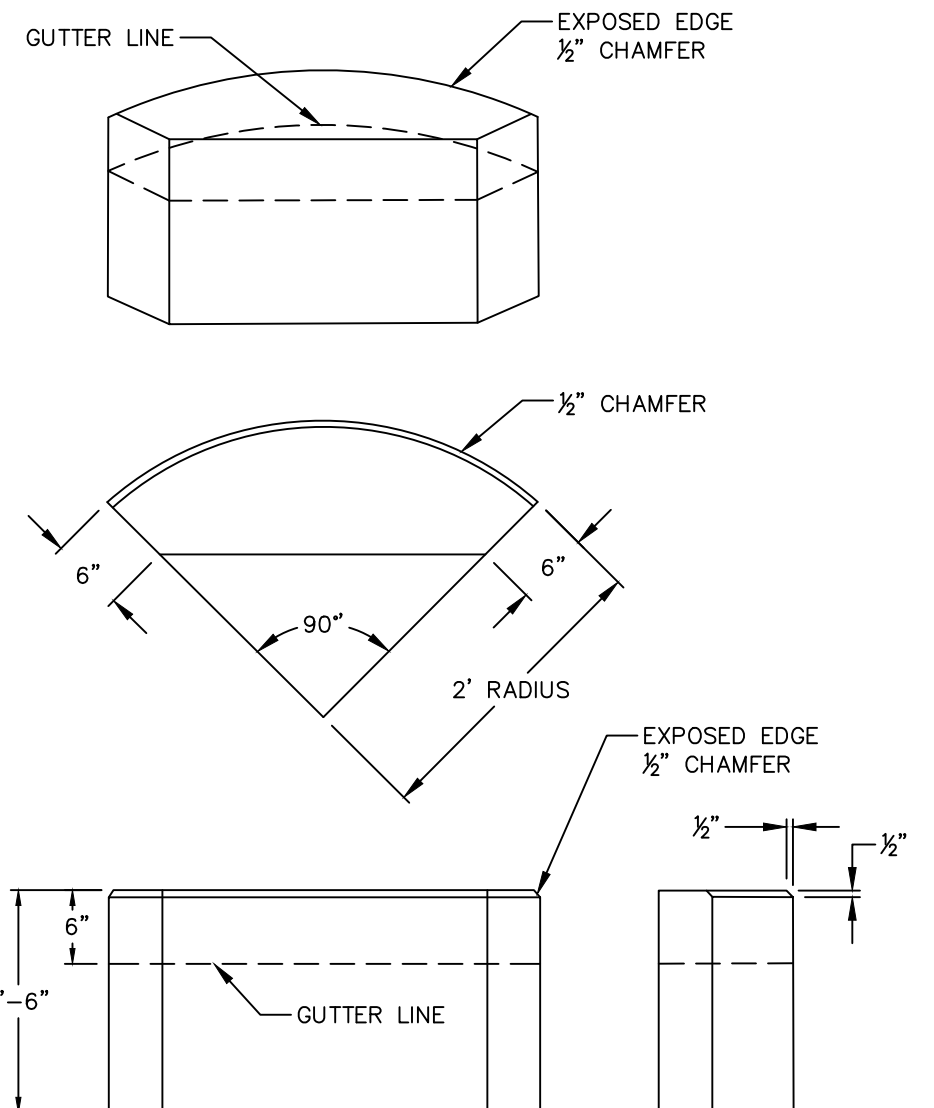
NOTE:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. EXPOSED SURFACES TO HAVE A SPONGE FLOAT FINISH.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.
 5. EXPOSED EDGES TO HAVE A 3/4" CHAMFER.

CONCRETE CURB
 NOT TO SCALE



NOTE:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.
 3. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR PIECES TO BE 3'-0".
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADI OF 160'-0" OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 160'-0" RADIUS.

GRANITE CURB
 NOT TO SCALE



NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
 2. TOP SURFACE TO BE DRESSED BY SAW. REMAINDER MAY BE QUARRY SPLIT.

GRANITE RADIUS CURB
 NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE	DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
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SEAL

SEAL
 SHAWN M. MARTIN
 No. 7487
 REGISTERED PROFESSIONAL ENGINEER (CIVIL)

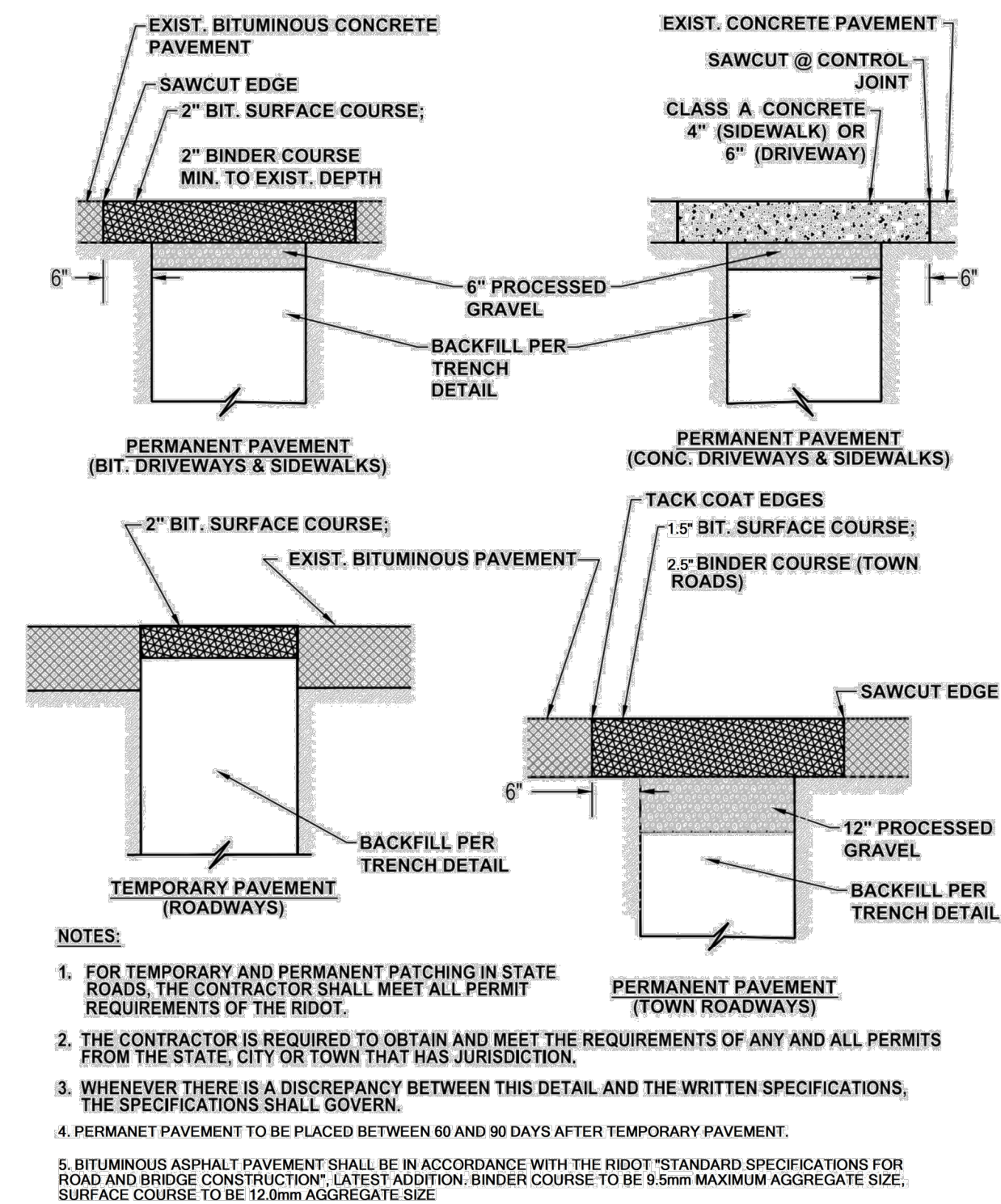
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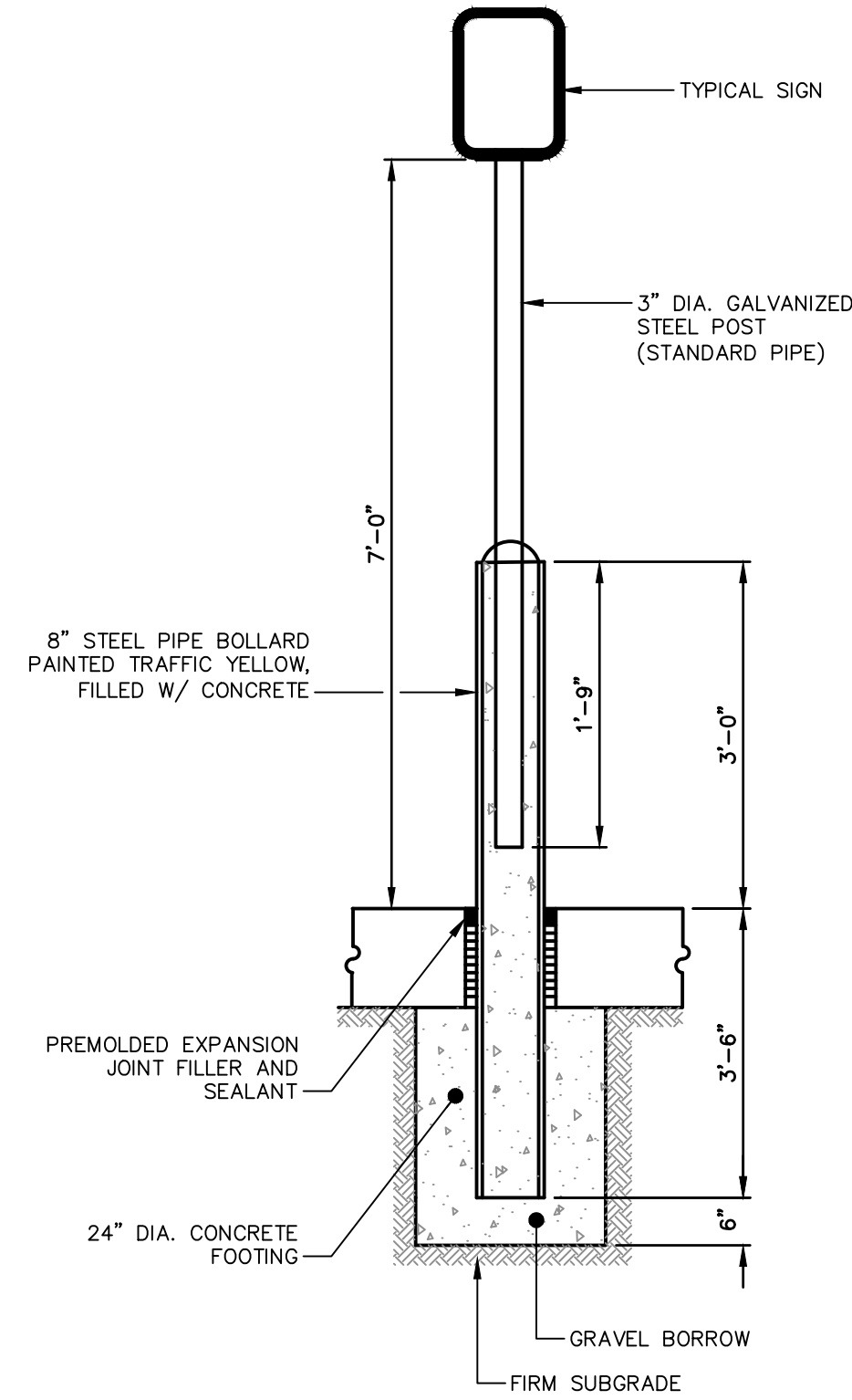
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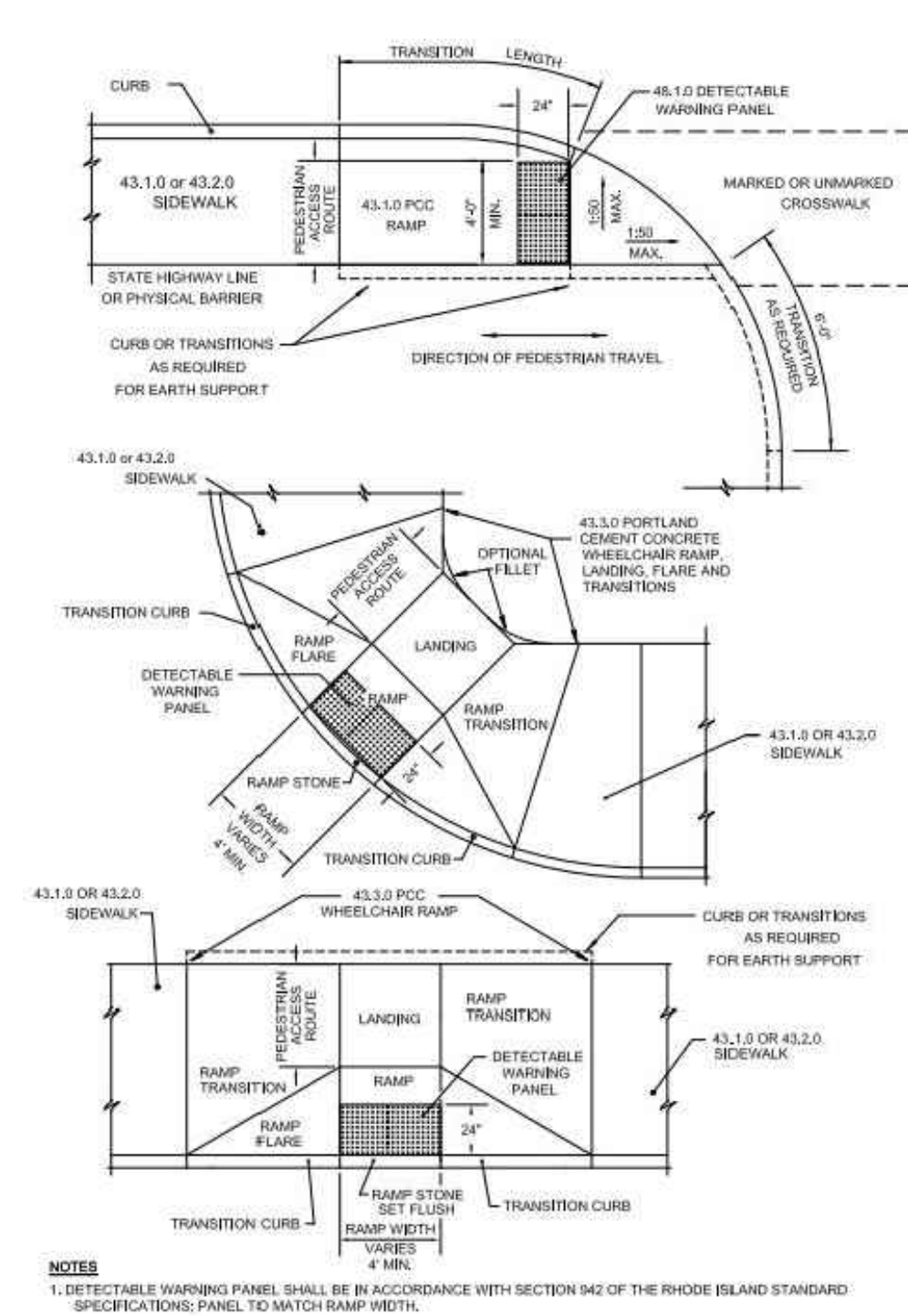
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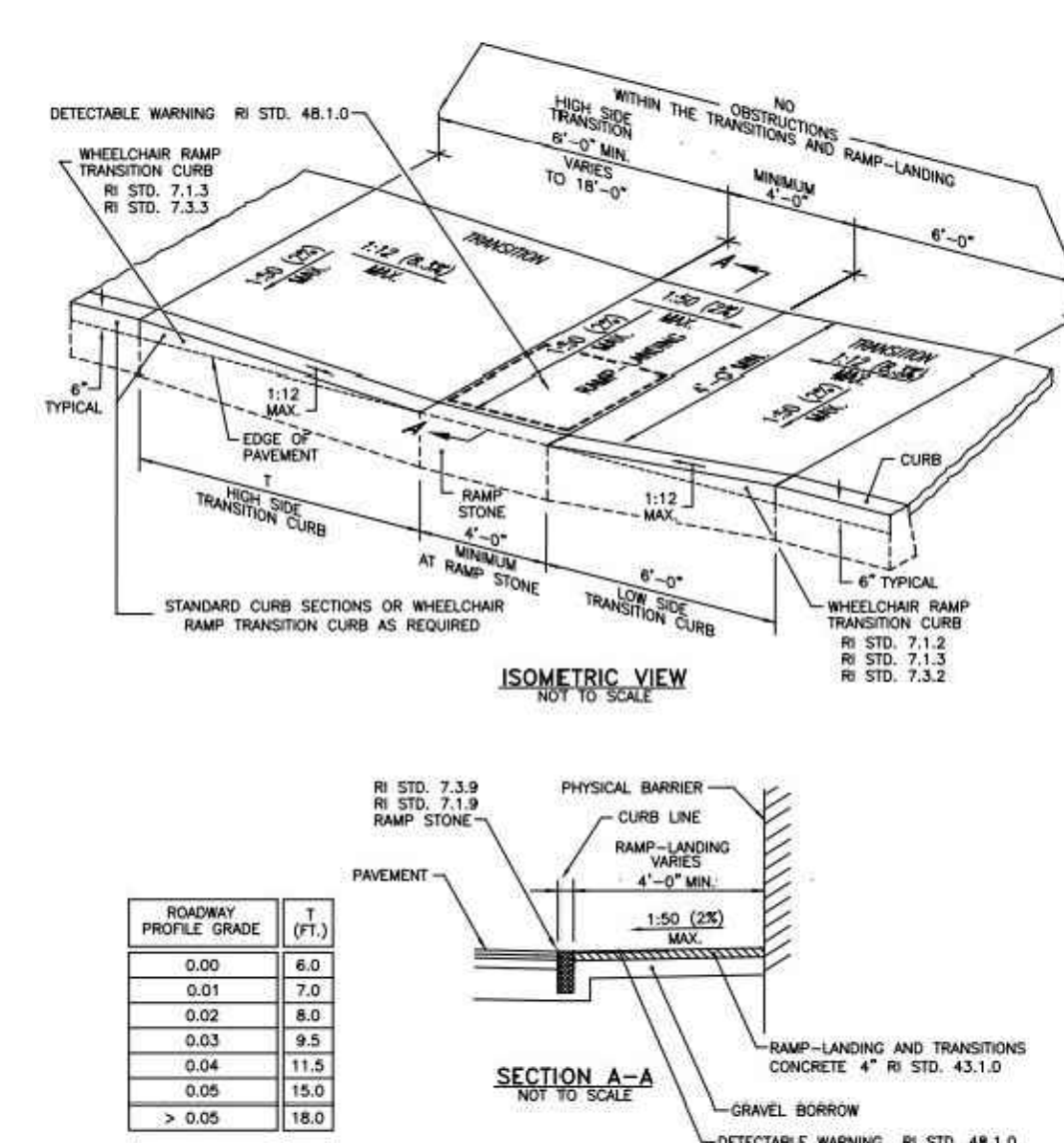
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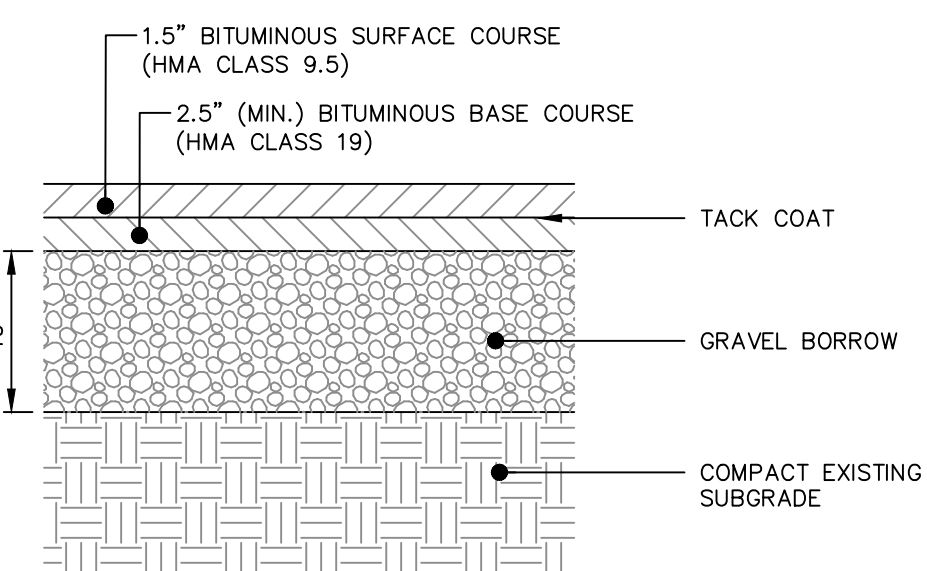
ACCESSIBLE PARKING SIGN BASE
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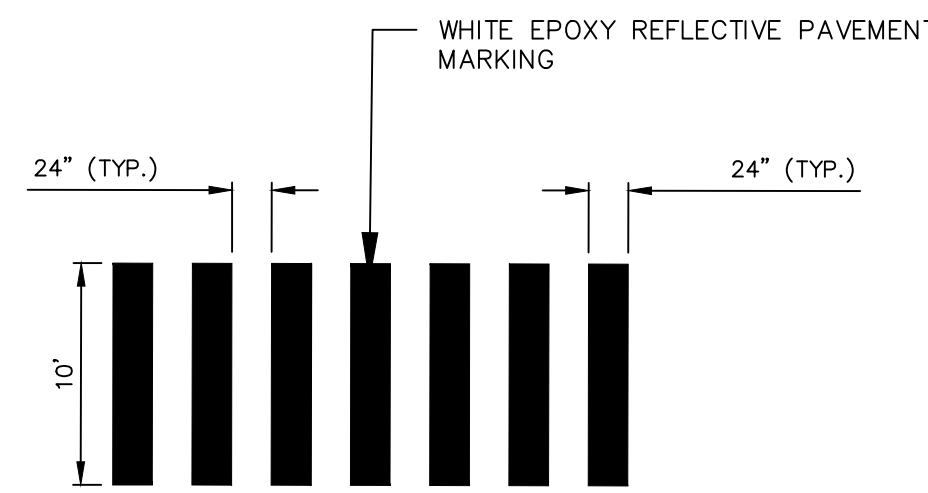
DETECTABLE WARNING PANEL
NOT TO SCALE



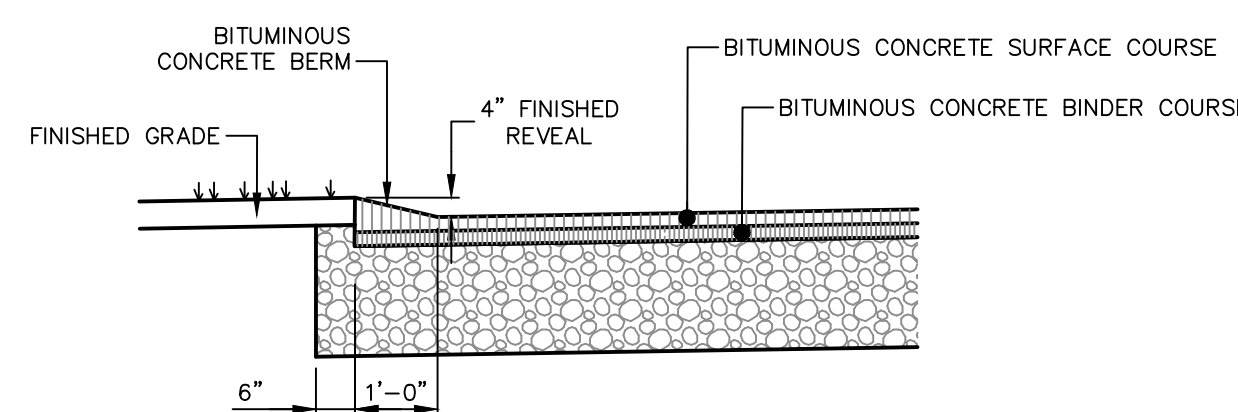
ACCESSIBLE RAMP
NOT TO SCALE



BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



CROSSWALK
NOT TO SCALE

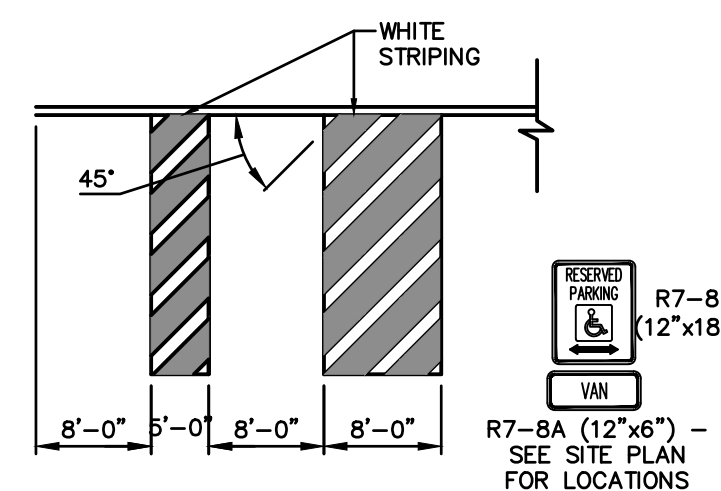


BITUMINOUS CONCRETE BERM
NOT TO SCALE

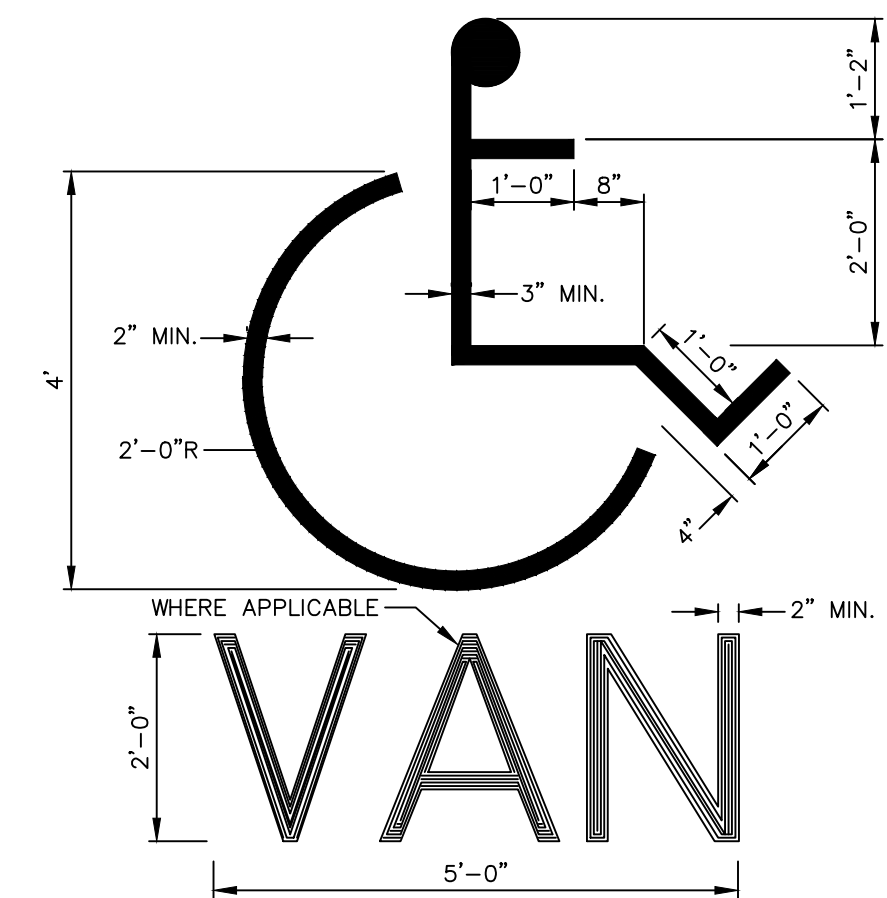


- NOTES:**
- INTERNATIONAL SYMBOL ACCESSIBILITY SIGN WITH LETTERING NO LESS THAN 1-INCH HIGH BOLTED TO GALVANIZED STEEL TUBE.
 - REFLECTORIZED 16 GAUGE GALVANIZED STEEL SIGN PANEL WITH PORCELAIN ENAMEL FINISH.
 - WHITE IMAGE ON BLUE FIELD BEADED REFLECTORIZED TEXTURE, COLOR #15090 FED. STANDARD 595a.

ACCESSIBLE PARKING SIGN
NOT TO SCALE



ACCESSIBLE PARKING STALL LAYOUT
NOT TO SCALE



- NOTES:**
- SYMBOL SHALL BE CENTERED IN THE PARKING STALL.
 - SYMBOL SHALL BE SOLID WHITE FAST-DRYING WATERBORNE PAINT AND BE CENTERED IN THE PARKING STALL. FOR VAN ACCESSIBLE SPACES, THE WORD "VAN" SHALL BE PAINTED ADJACENT TO HANDICAPPED SYMBOL.

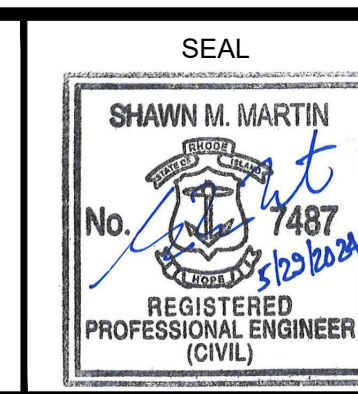
ACCESSIBLE PARKING STALL SYMBOL
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
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7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



BITUMINOUS CONCRETE BERM
NOT TO SCALE

SCALE:

HORIZ.:	AS NOTED
VERT.:	

DATUM:

HORIZ.:	
VERT.:	

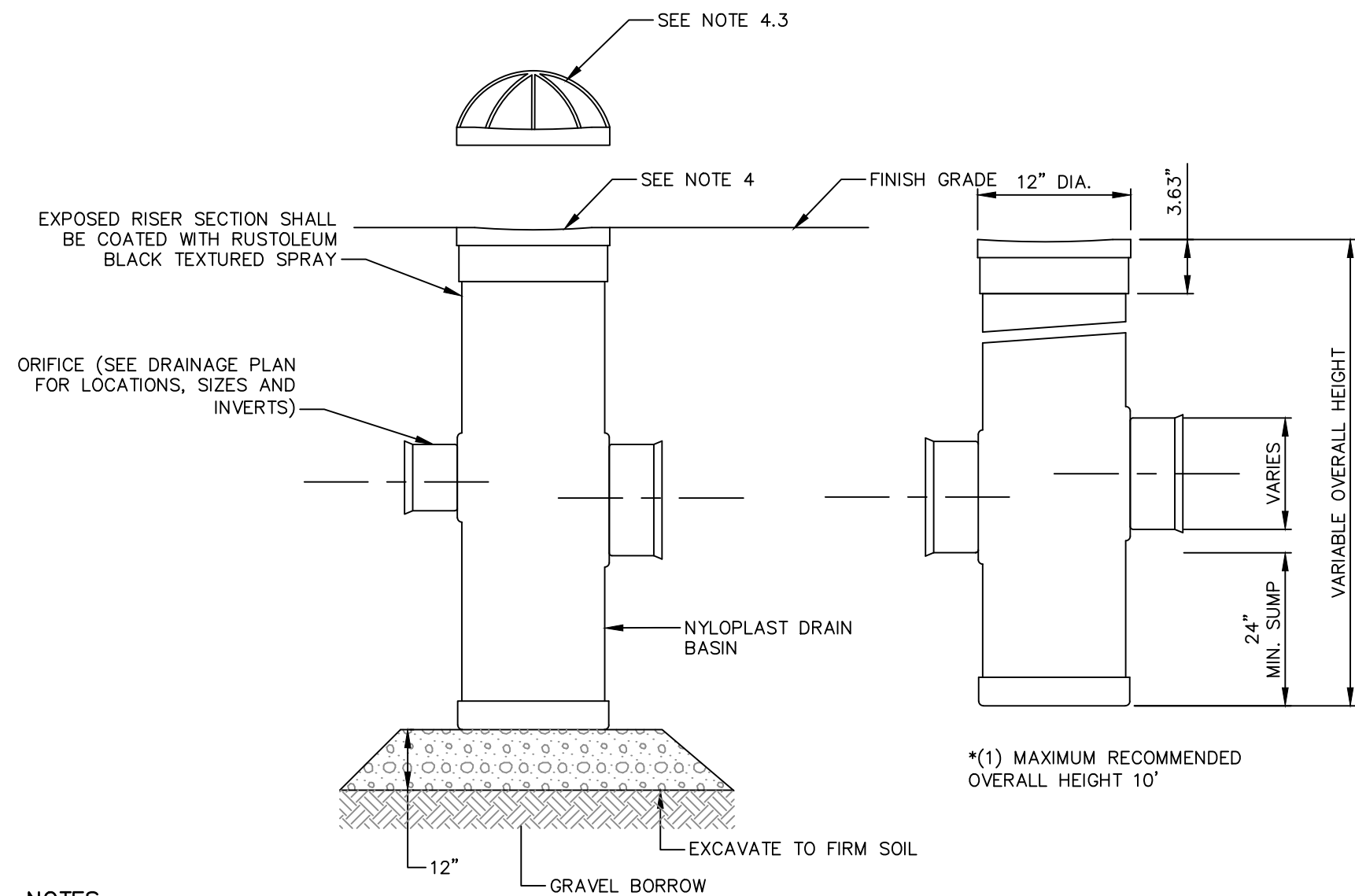
GRAPHIC SCALE

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 317 IRON HORSE WAY, SUITE 204
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BRADY SULLIVAN PROPERTIES, LLC
 DETAILS
 BRISTOL YARN MILL
 125 THAMES STREET
 BRISTOL, RHODE ISLAND

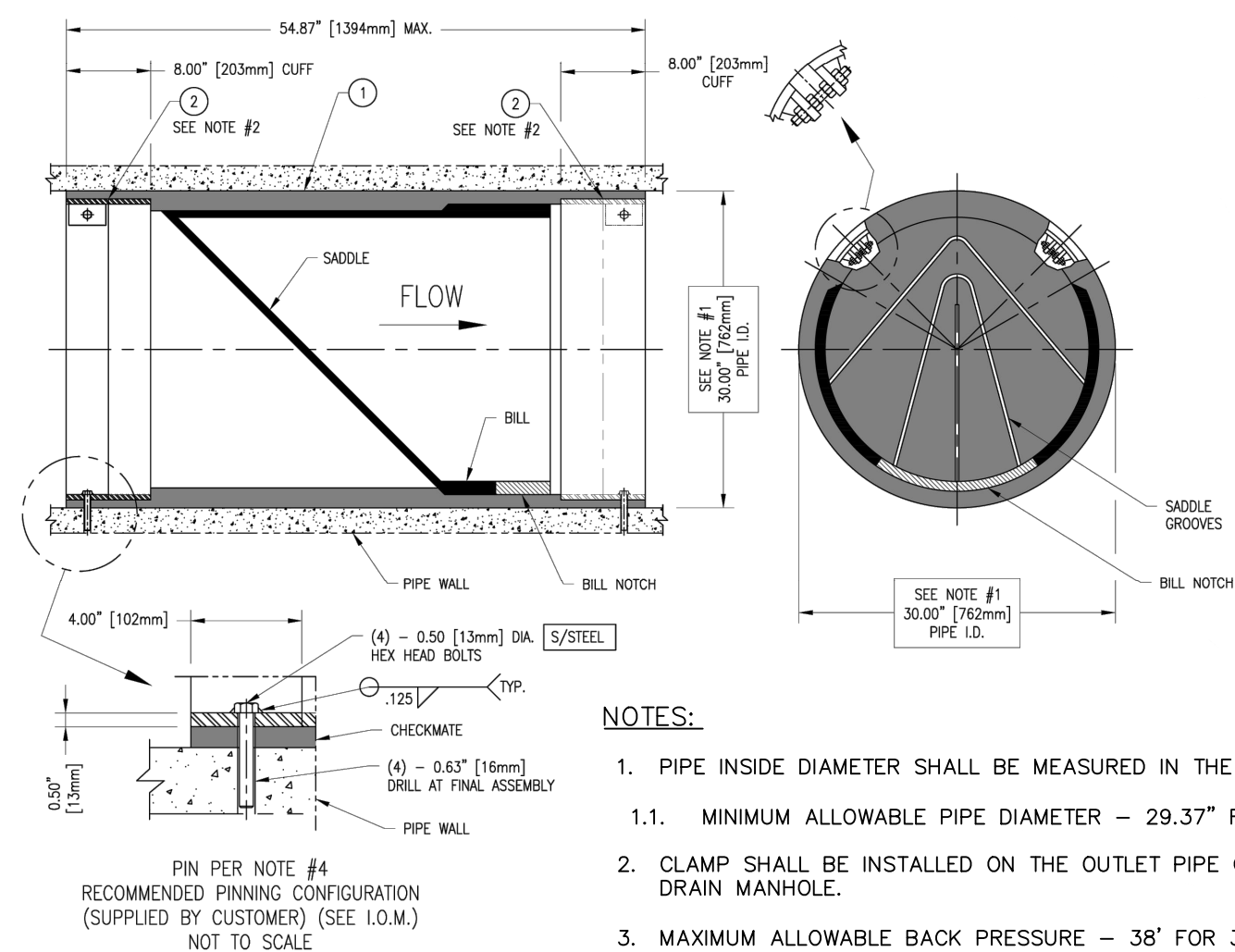
PROJ. No.: 20061150.A22
 DATE: DECEMBER 6, 2022
CD-503
 SHEET 18 OF 28

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 PLOTTER: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB
 MS VIEW: LAYER STATE:



- NOTES:**
- SEE DRAINAGE FOR PIPE SIZE, PIPE MATERIAL, AND INVERTS.
 - GRAVEL BORROW SHALL BE COMPACTED TO 95-PERCENT MODIFIED PROCTOR.
 - GRAVEL BORROW SHALL CONFORM TO M.01.09, TABLE 1, COLUMN 1A OF THE STANDARD SPECIFICATIONS.

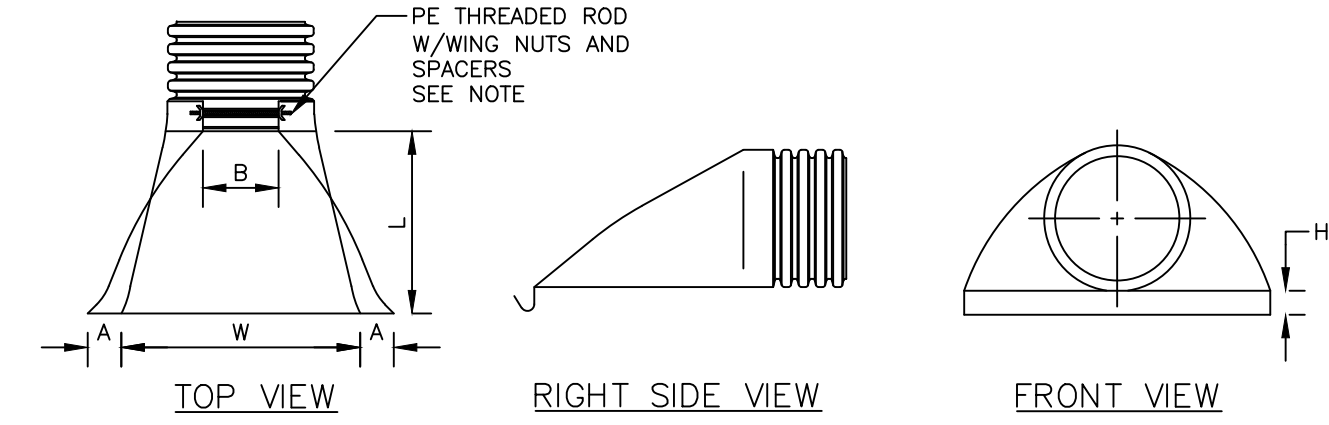
DRAIN BASIN
NOT TO SCALE



- NOTES:**
- PIPE INSIDE DIAMETER SHALL BE MEASURED IN THE FIELD.
 - CLAMP SHALL BE INSTALLED ON THE OUTLET PIPE OF THE PROPOSED DRAIN MANHOLE.
 - MAXIMUM ALLOWABLE BACK PRESSURE - 38' FOR 30" NOMINAL
 - IT IS RECOMMEND TO BOLT OR PIN CHECKMATE TO PIPE AS SHOWN, 4 PLACES 90° APART.
 - TIDE GATE VALVE SHALL BE CHECKMATE ULTRAFLEX SLIP-IN INLINE CHECK VALVE MANUFACTURED BY TIDEX TECHNOLOGIES OR APPROVED EQUAL.

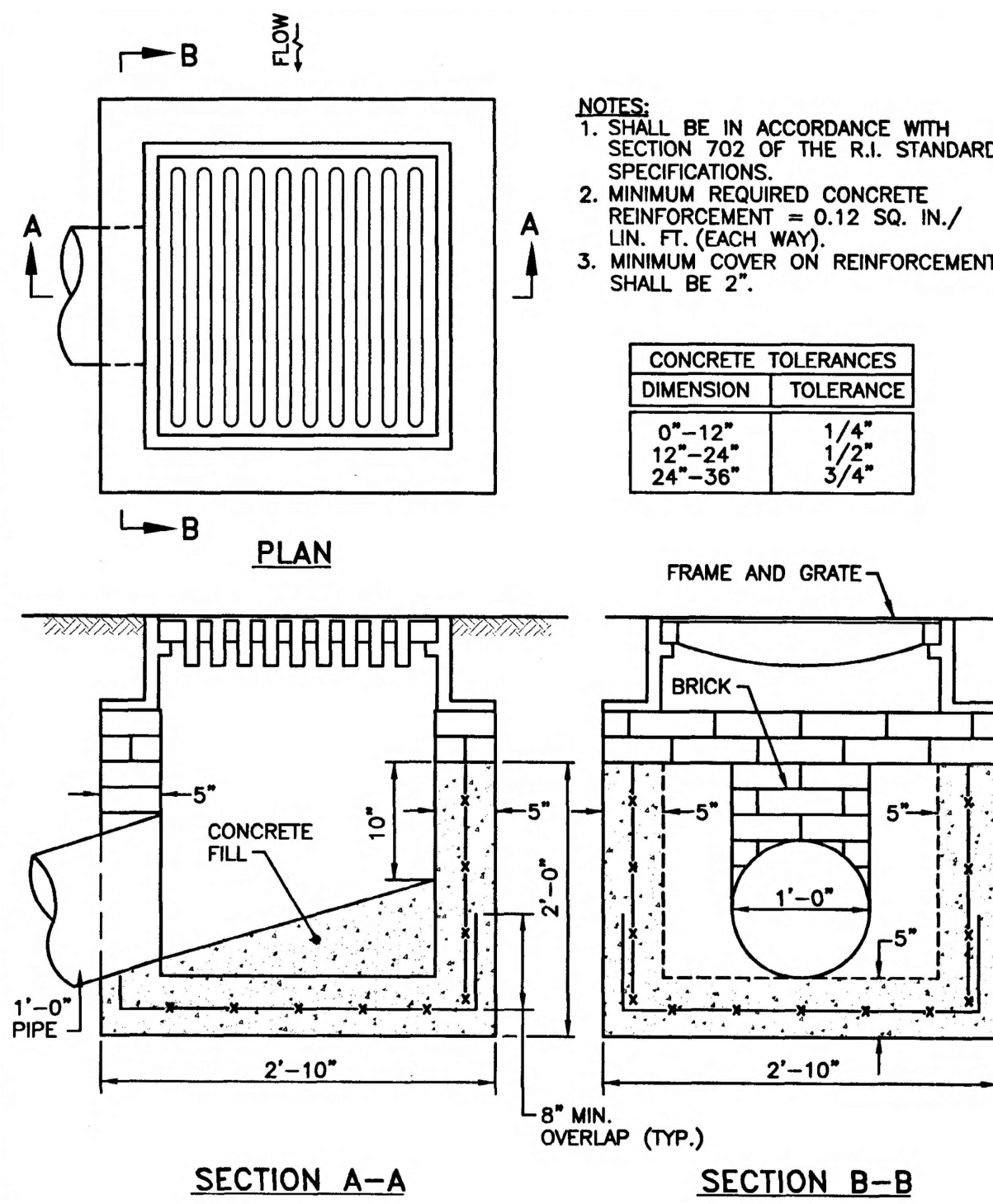
TIDE VALVE
NOT TO SCALE

DIA.	15"
A	6.5"
B	10"
H	6.5"
L	25"
W	29"



- NOTES:**
- SHALL BE MANUFACTURED WITH POLYETHYLENE RESINS AS DESCRIBED AND DEFINED IN ASTM D3350.
 - WHEN PROVIDED, THE METAL THREADED FASTENING ROD SHALL BE STAINLESS STEEL

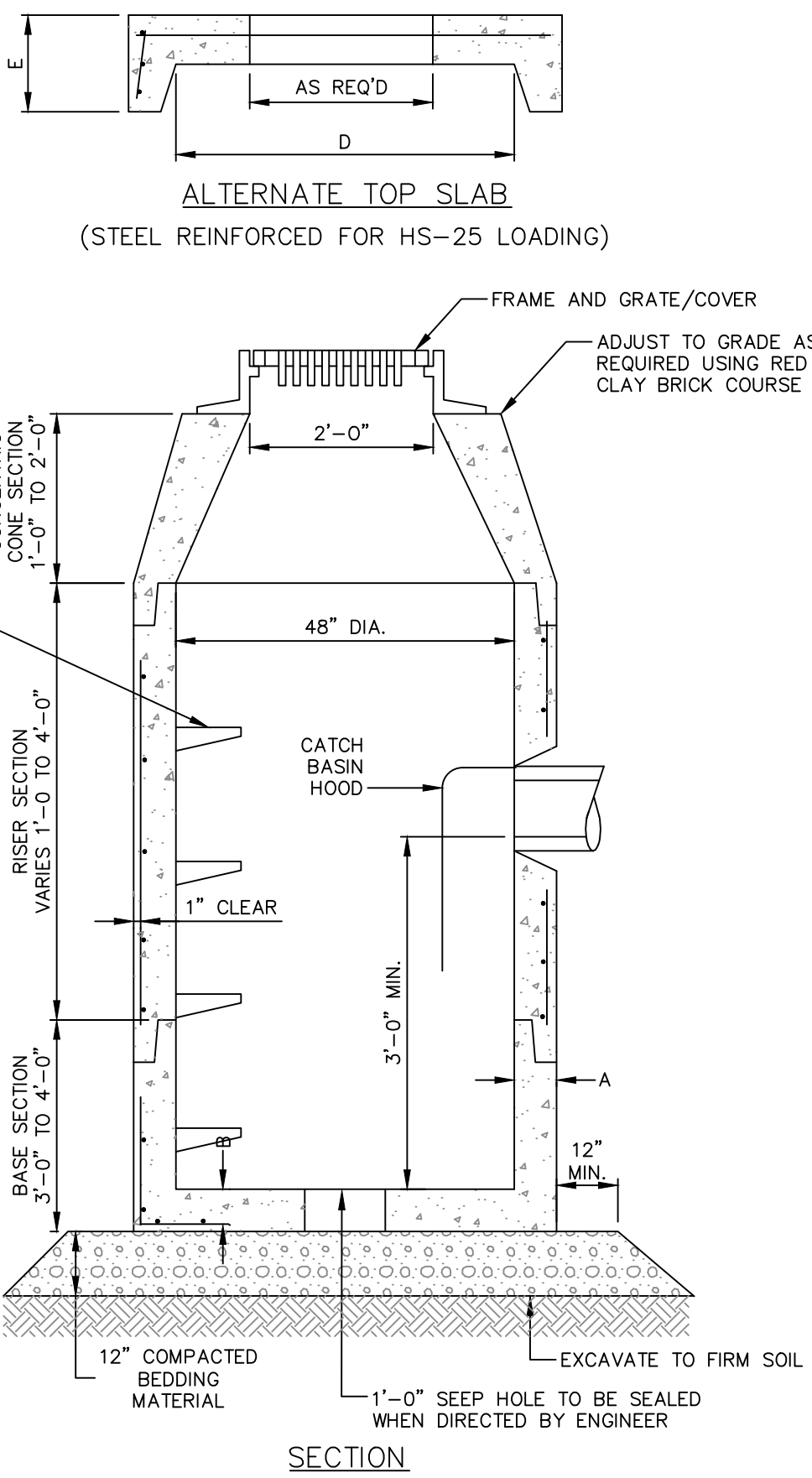
HDPE FLARED END SECTION
NOT TO SCALE



- NOTES:**
- SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 - MINIMUM REQUIRED CONCRETE REINFORCEMENT = 0.12 SQ. IN./LIN. FT. (EACH WAY).
 - MINIMUM COVER ON REINFORCEMENT SHALL BE 2".

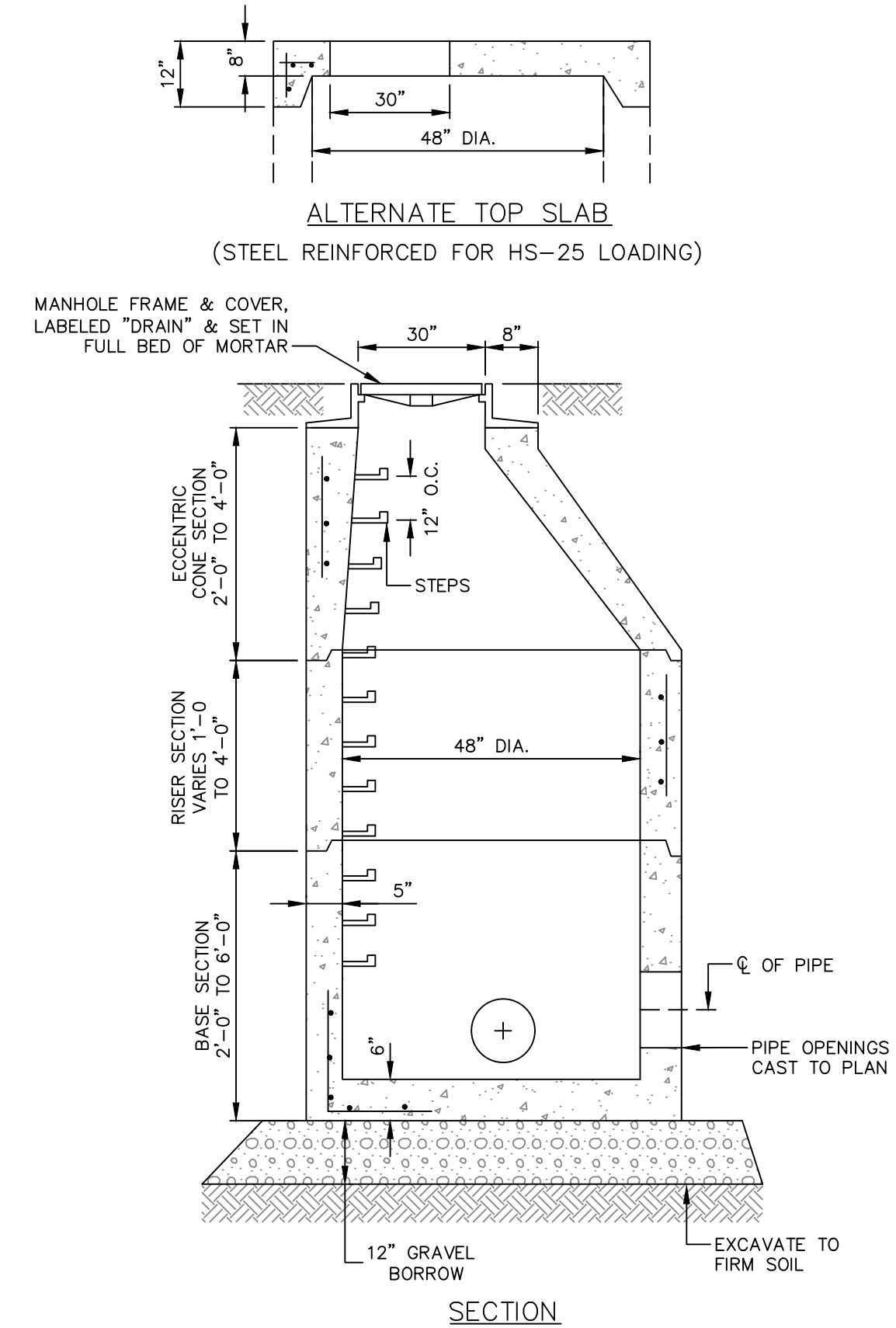
CONCRETE TOLERANCES	
DIMENSION	TOLERANCE
0"-12"	1/4"
12"-24"	1/2"
24"-36"	3/4"

PRECAST CONCRETE DROP INLET
(R.I. STD. 4.5.0)
NOT TO SCALE



- NOTES:**
- FRAME AND GRATE SHALL BE R.I. STD. 6.3.0 OR APPROVED EQUAL.
 - INLET CATCH BASIN SHALL INCLUDE GRANITE APRON STONE PER PROVIDENCE STANDARD 7.3.7P, AND BE INSTALLED IN ACCORDANCE WITH INLET/APRON STONE REVEAL PER PROVIDENCE STANDARD 60.4.0P.
 - INLET CATCH BASIN SHALL HAVE 4' SUMP.
 - FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - PROVIDE ASTM C923 RESILIENT CONNECTORS CAST OR FITTED INTO MANHOLE WALLS FOR EACH PIPE CONNECTION.
 - JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 - CATCH BASIN DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTION."
 - CATCH BASIN STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.

CATCH BASIN
NOT TO SCALE



- NOTES:**
- FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "DRAIN"
 - FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - PROVIDE ASTM C923 RESILIENT CONNECTORS CAST OR FITTED INTO MANHOLE WALLS FOR EACH PIPE CONNECTION.
 - JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 - MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.

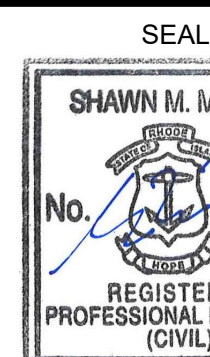
DRAIN MANHOLE
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



SCALE:

HORIZ.:	AS NOTED
VERT.:	
DATUM:	
HORIZ.:	
VERT.:	
GRAPHIC SCALE	



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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

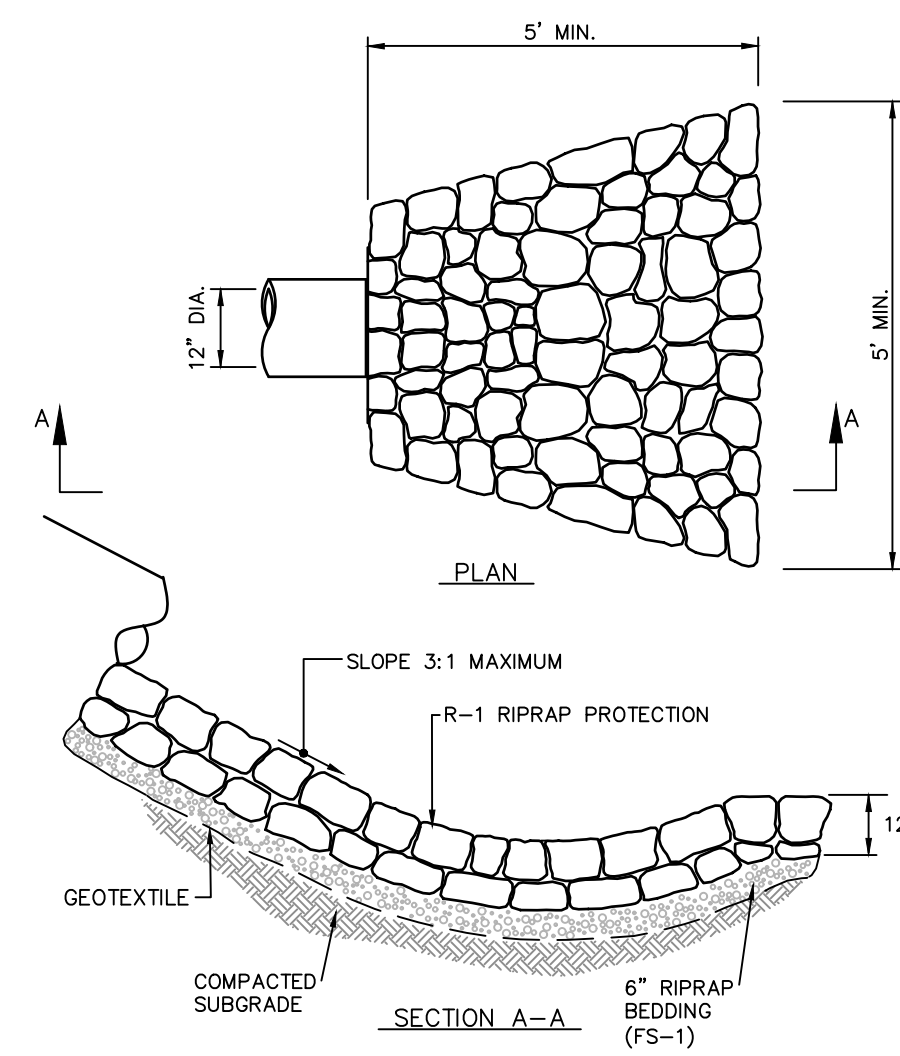
125 THAMES STREET

BRISTOL, RHODE ISLAND

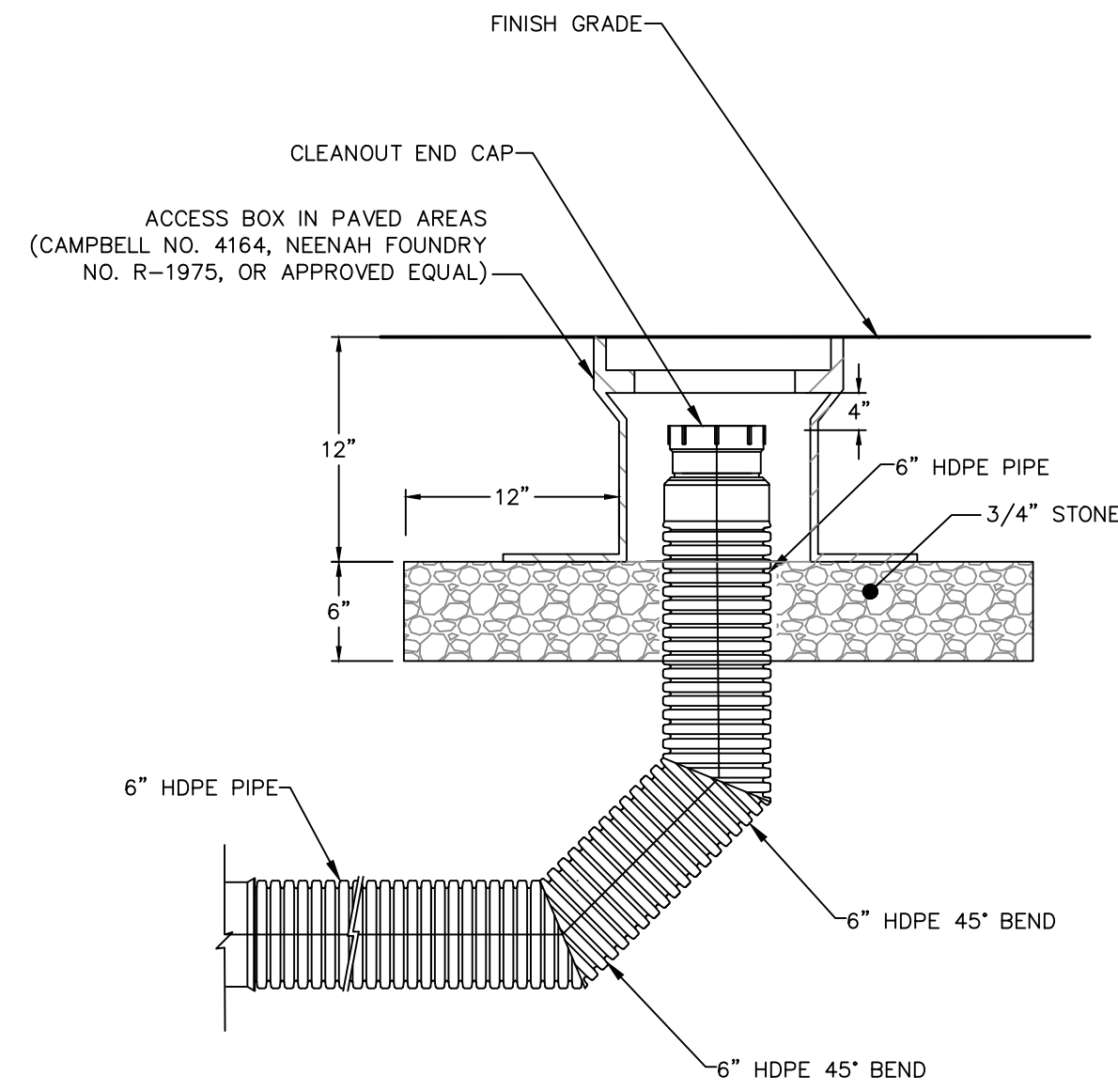
PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-504

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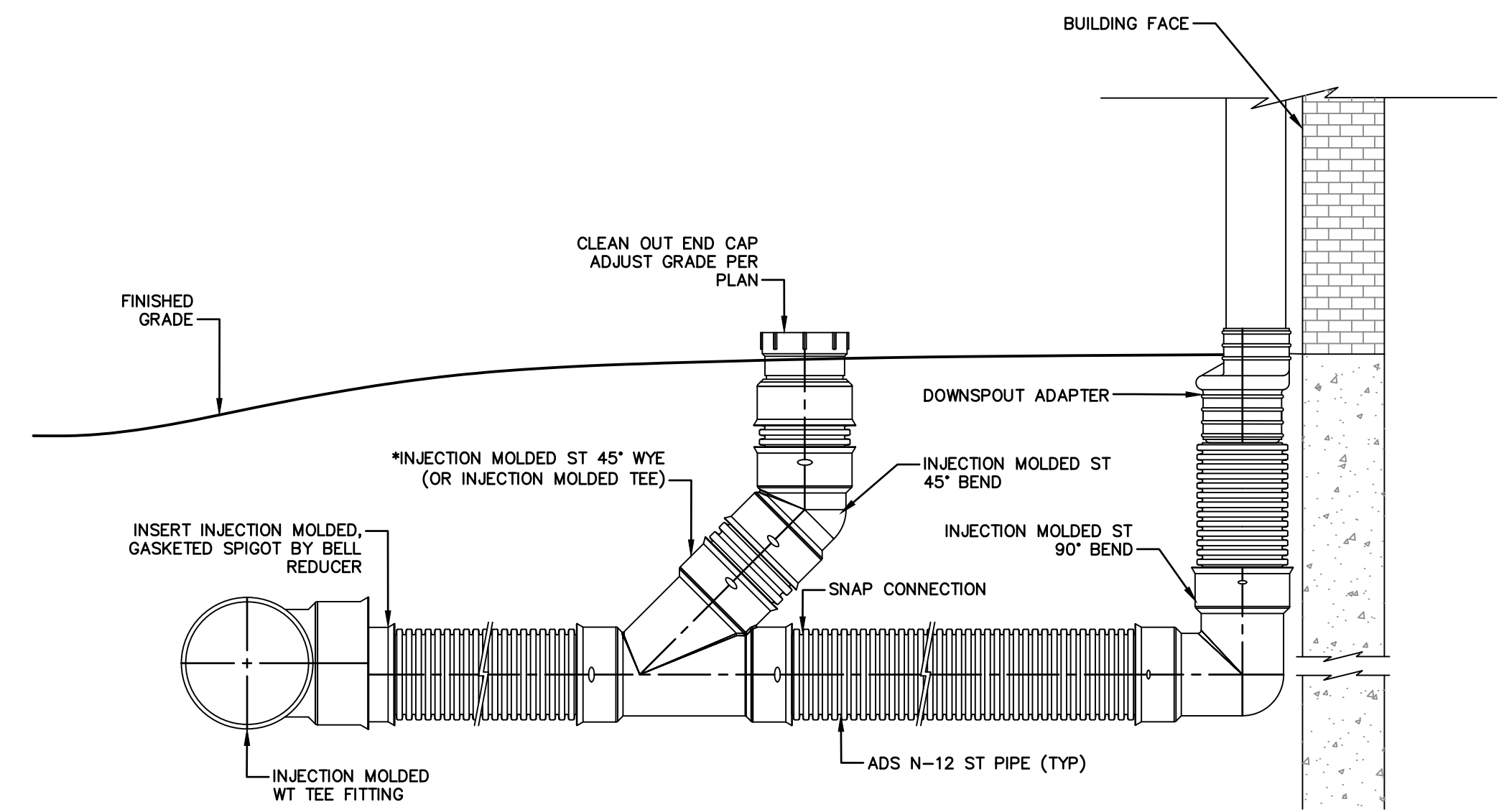


RIPRAP SPLASH PAD
NOT TO SCALE

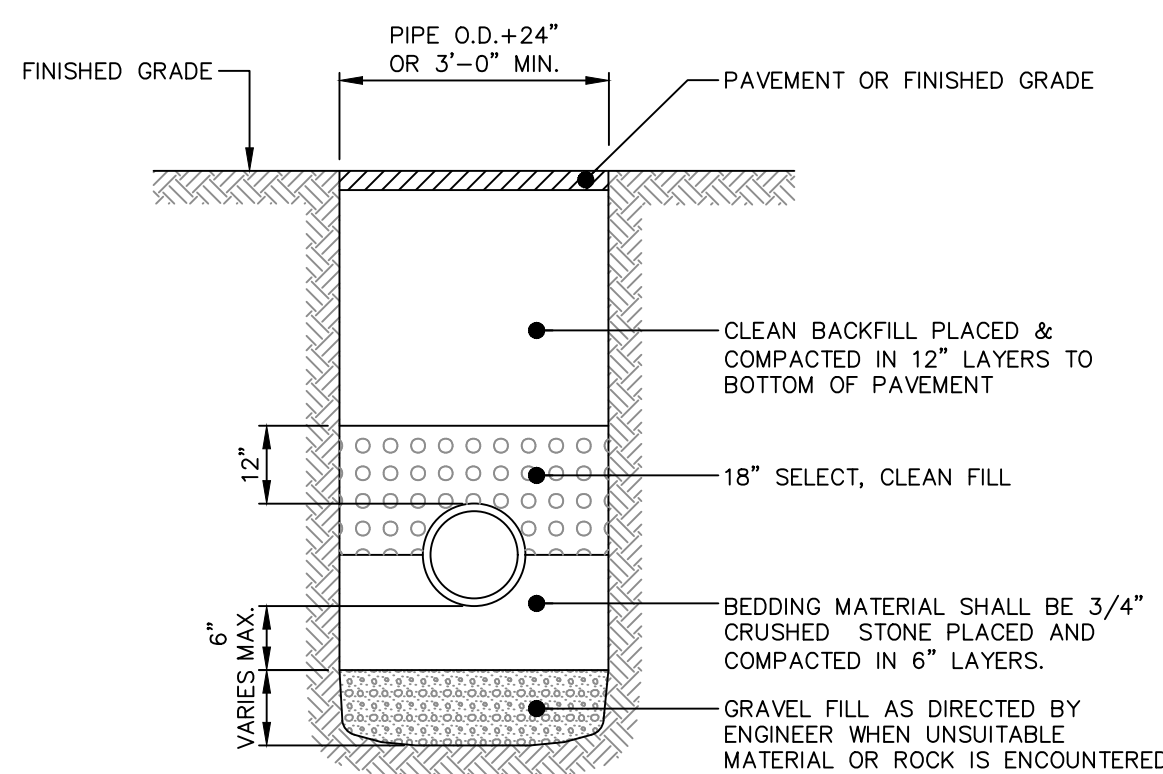


- NOTE:**
1. IN UNPAVED AREAS, CLEANOUT CAP SHALL BE BURIED 3 INCHES.
 2. ACCESS BOX IN PAVED AREAS SHALL HAVE 9.5" SOLID COVER WITH LETTERING "CLEANOUT".
 3. IN-LINE CLEANOUTS SHALL HAVE TEE WYE IN LIEU OF TWO 45 DEGREE BENDS.

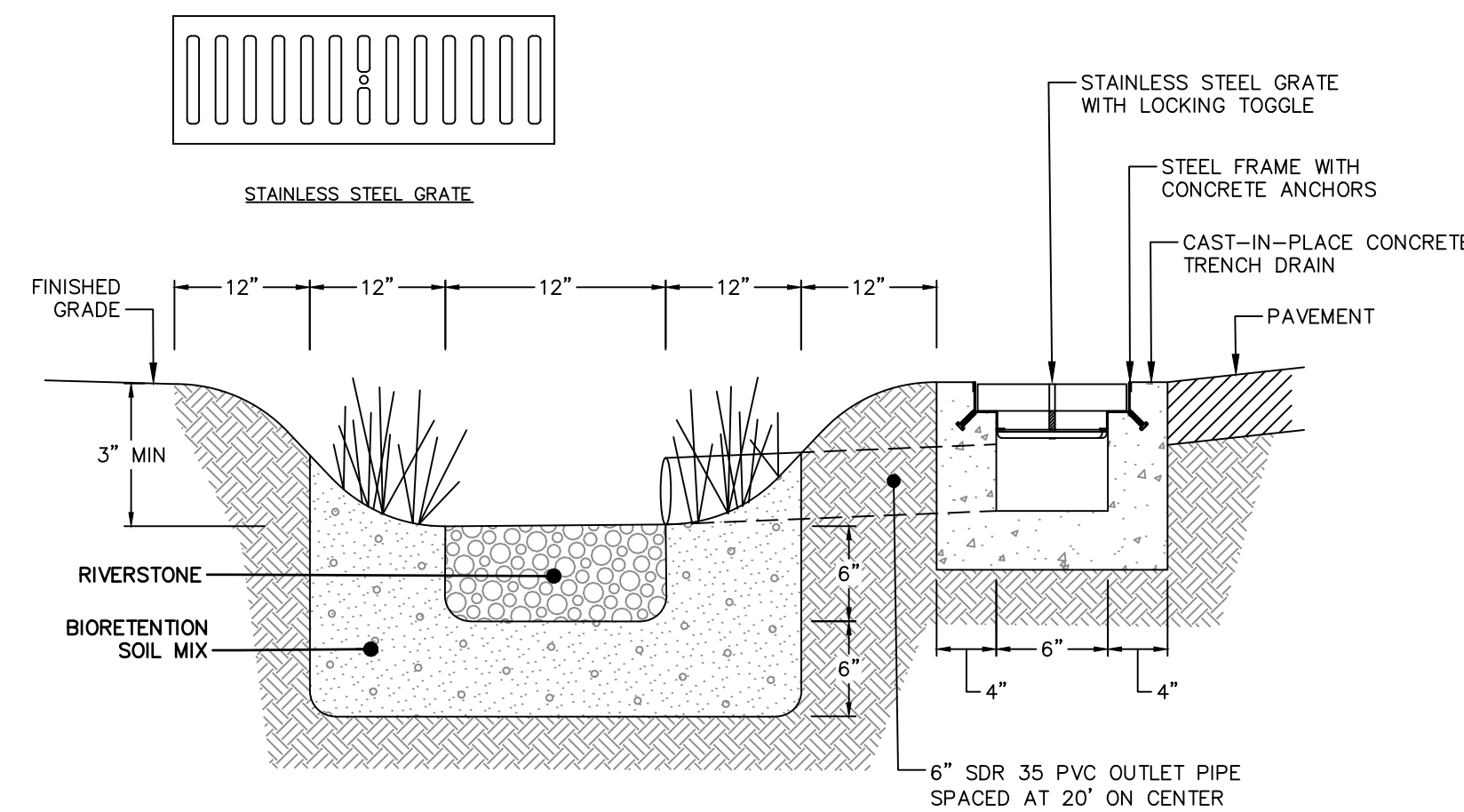
STORM DRAIN CLEANOUT
NOT TO SCALE



DOWNSPOUT CONNECTION
NOT TO SCALE

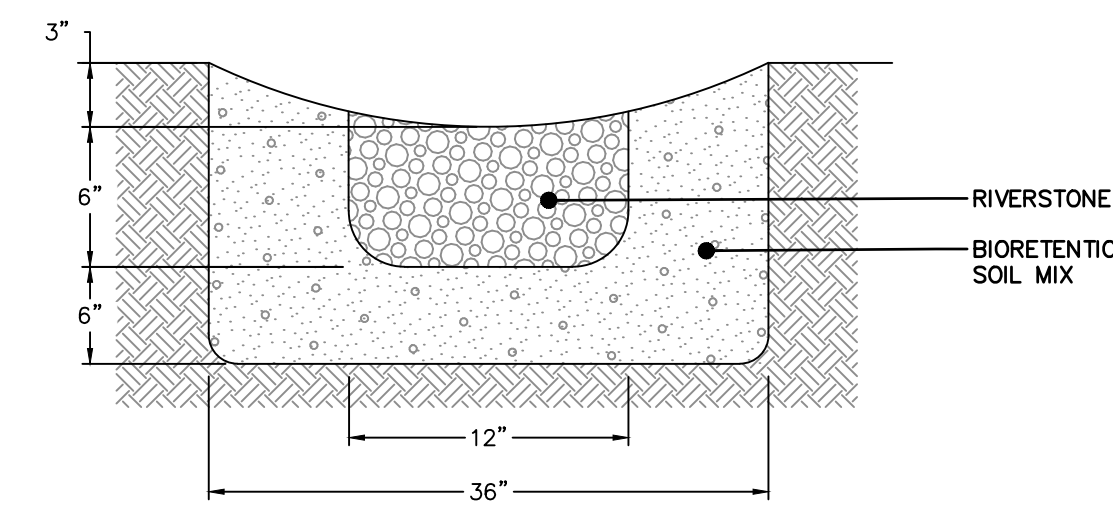


STORM DRAIN TRENCH
NOT TO SCALE



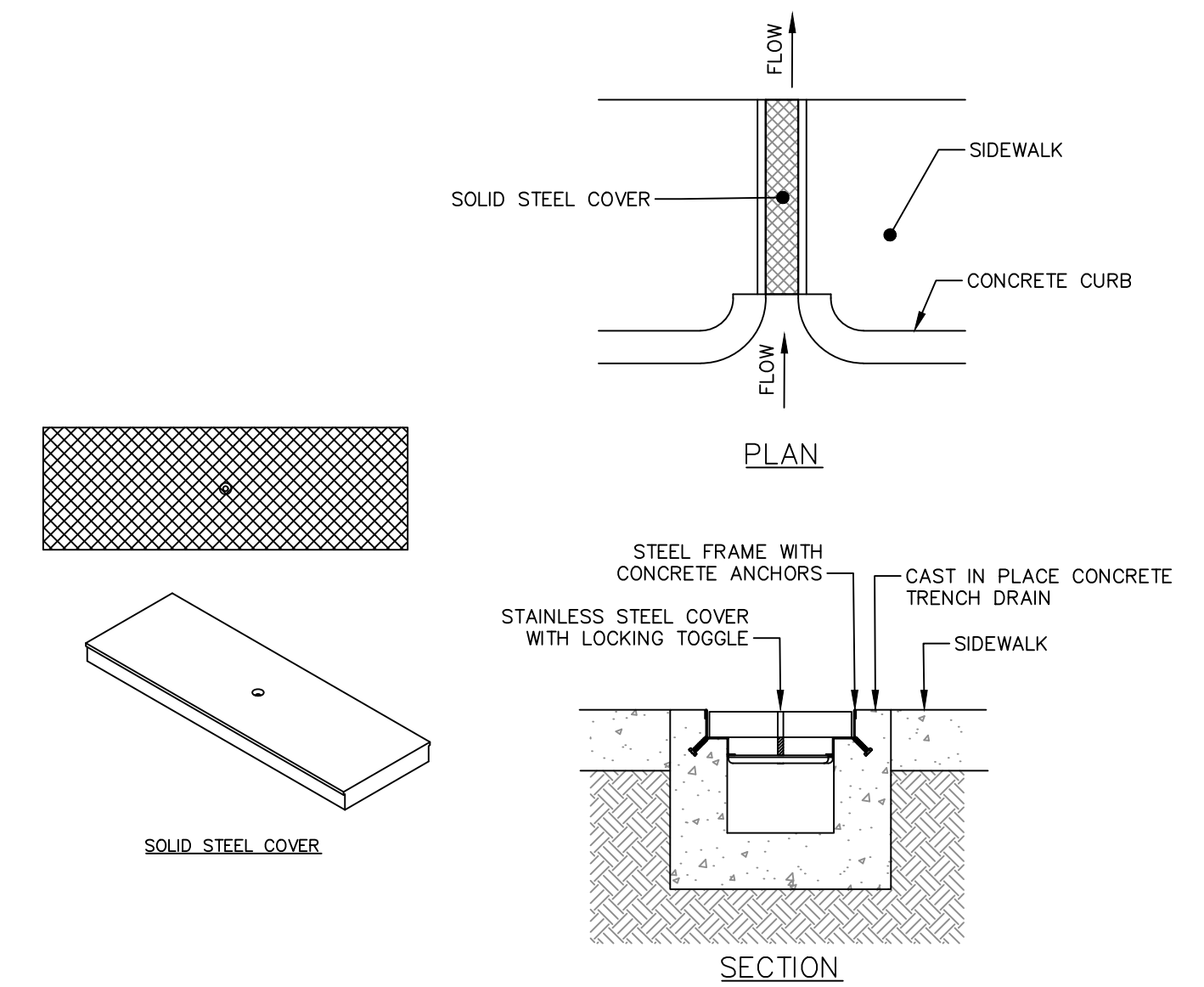
- NOTE:**
- SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'. BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 1
NOT TO SCALE



- NOTE:**
- SEASONAL HIGH GROUNDWATER TABLE (SHGW) ELEVATION IS APPROXIMATELY 5.5'. BOTTOM OF CHANNEL SHALL BE LOCATED AT OR ABOVE SHGW.

STONE CHANNEL 2
NOT TO SCALE



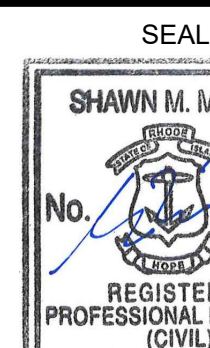
TRENCH DRAIN (SOLID COVER)
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
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3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



SCALE:

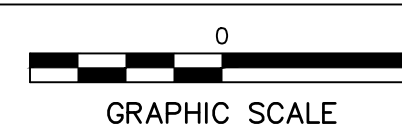
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

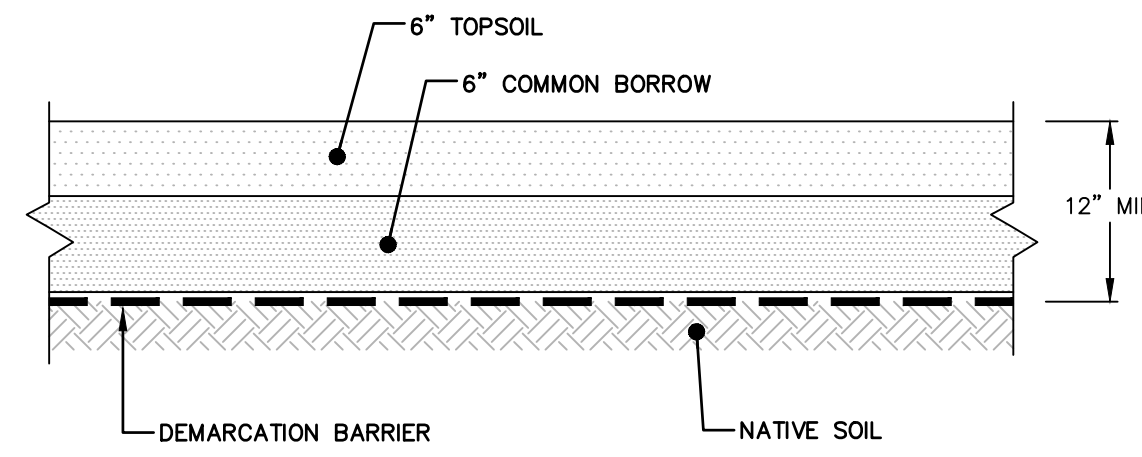
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-505

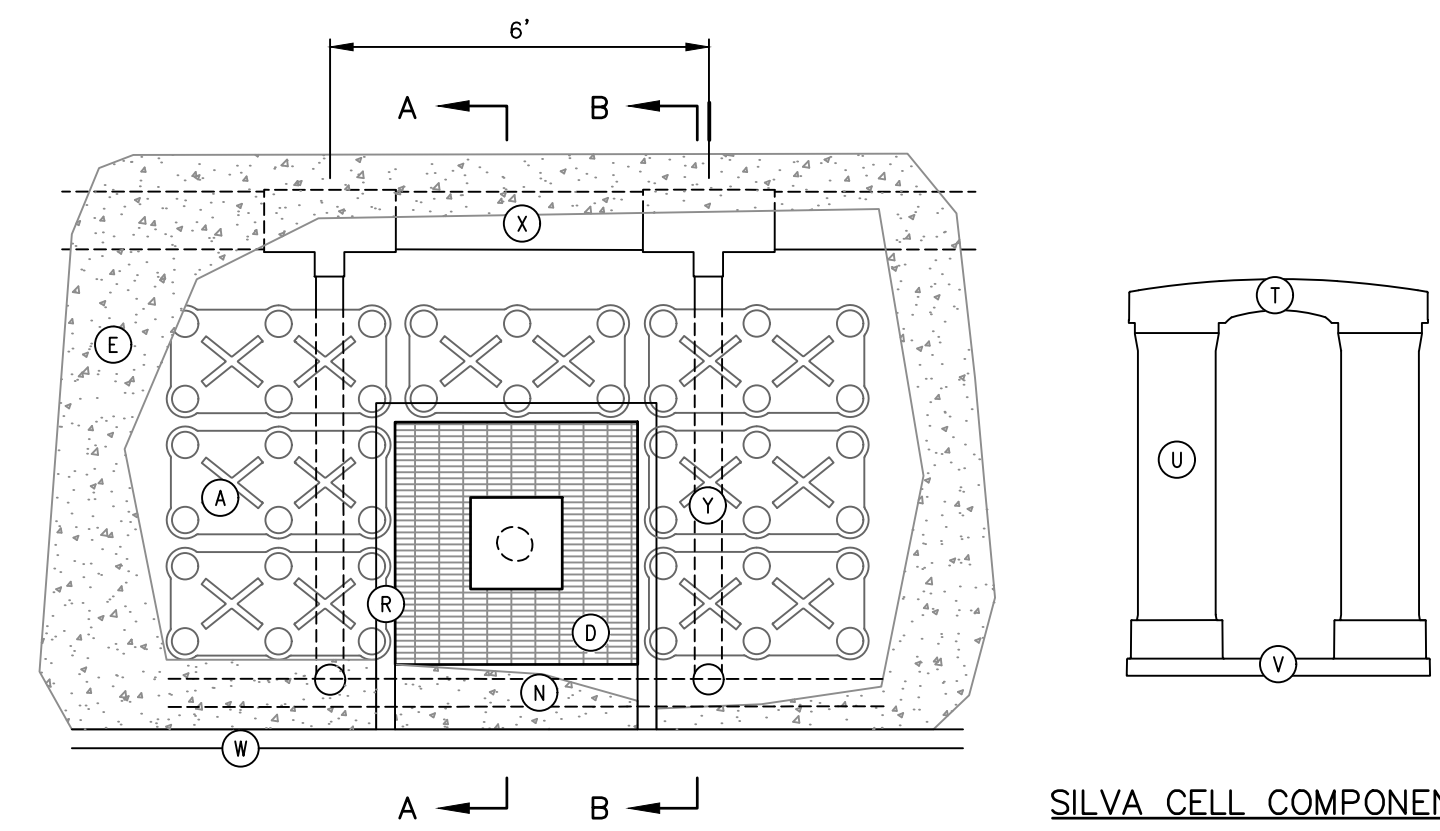
SHEET 20 OF 28



NOTES:

- IMPORTED CLEAN SOIL MUST BE LABORATORY TESTED TO DEMONSTRATE COMPLIANCE WITH THE REMEDIAL ACTION WORK PLAN.
- REUSE TOPSOIL ON-SITE. VERIFY SUITABILITY OF STOCKPILED TOPSOIL TO PRODUCE LOAM. CLEAN TOPSOIL OF ROOTS, PLANTS, SOD, STONES, CLAY LUMPS, AND OTHER EXTRANEUS MATERIALS HARMFUL TO PLANT GROWTH.
- 2.1. SUPPLEMENT WITH IMPORTED OR MANUFACTURED LOAM FROM OFF-SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT, OBTAIN TOPSOIL DISPLACED FROM NATURALLY WELL-DRAINED CONSTRUCTION OR MINING SITES WHERE TOPSOIL OCCURS AT LEAST 4 INCHES DEEP.
- LOAM OR RESPREAD TOPSOIL SHALL CONFORM TO ASTM D5268, WITH PH BETWEEN 5.5 AND 7, A MINIMUM OF 6 PERCENT ORGANIC MATERIAL CONTENT, FREE OF STONES 1 INCH OR LARGER AND FREE OF OTHER EXTRANEUS MATERIALS. SHALL NOT BE OBTAINED FROM AGRICULTURAL LAND, BOGS, OR MARSHES.
- ALL SURFACED AREAS OR DISTURBED AREAS NOT SPECIFIED ON THE PLANS SHALL RECEIVE 4 INCHES OF LOAM OR RESPREAD TOPSOIL, SEED, MULCH, AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- CLEAN SOIL SHALL ONLY BE IMPORTED WHERE CURRENT CAP MATERIAL DOES NOT MEET CAP REQUIREMENT OF 24-INCHES.
- SEE LANDSCAPE PLANS FOR FINISH SURFACE TREATMENTS.
- SOIL CAP IS REQUIRED FOR ANY LANDSCAPED AREAS ON THE MILL LOT SITE INCLUDING PLAT 10, LOTS 42, 60, 61, 62, AND 73.

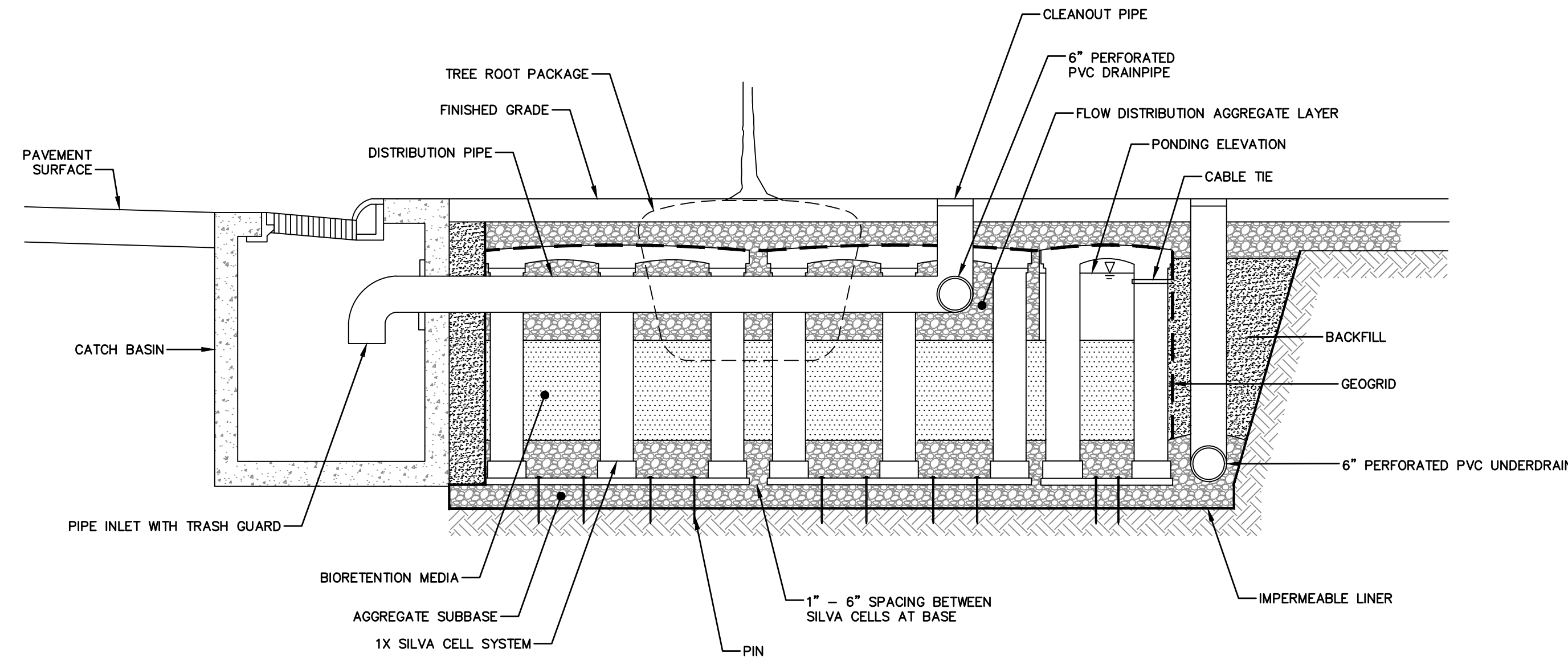
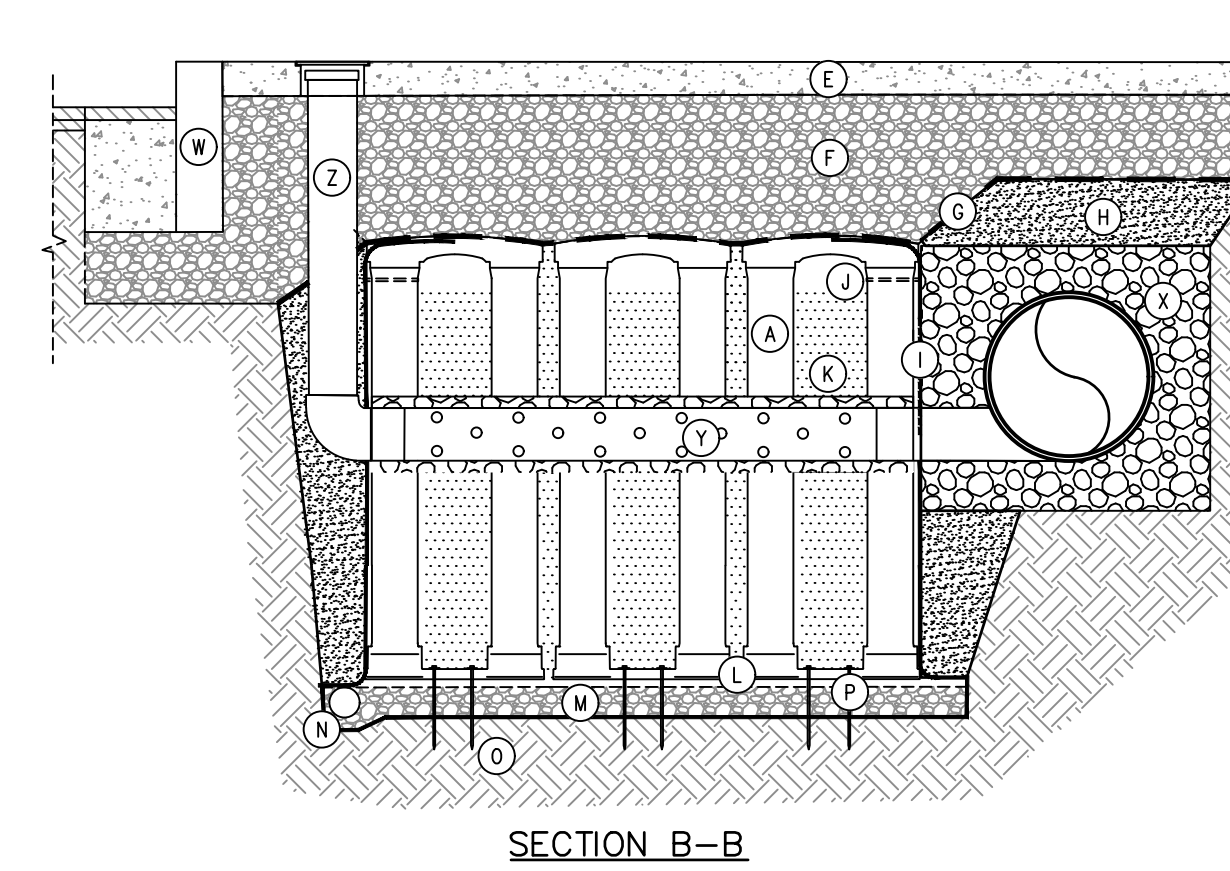
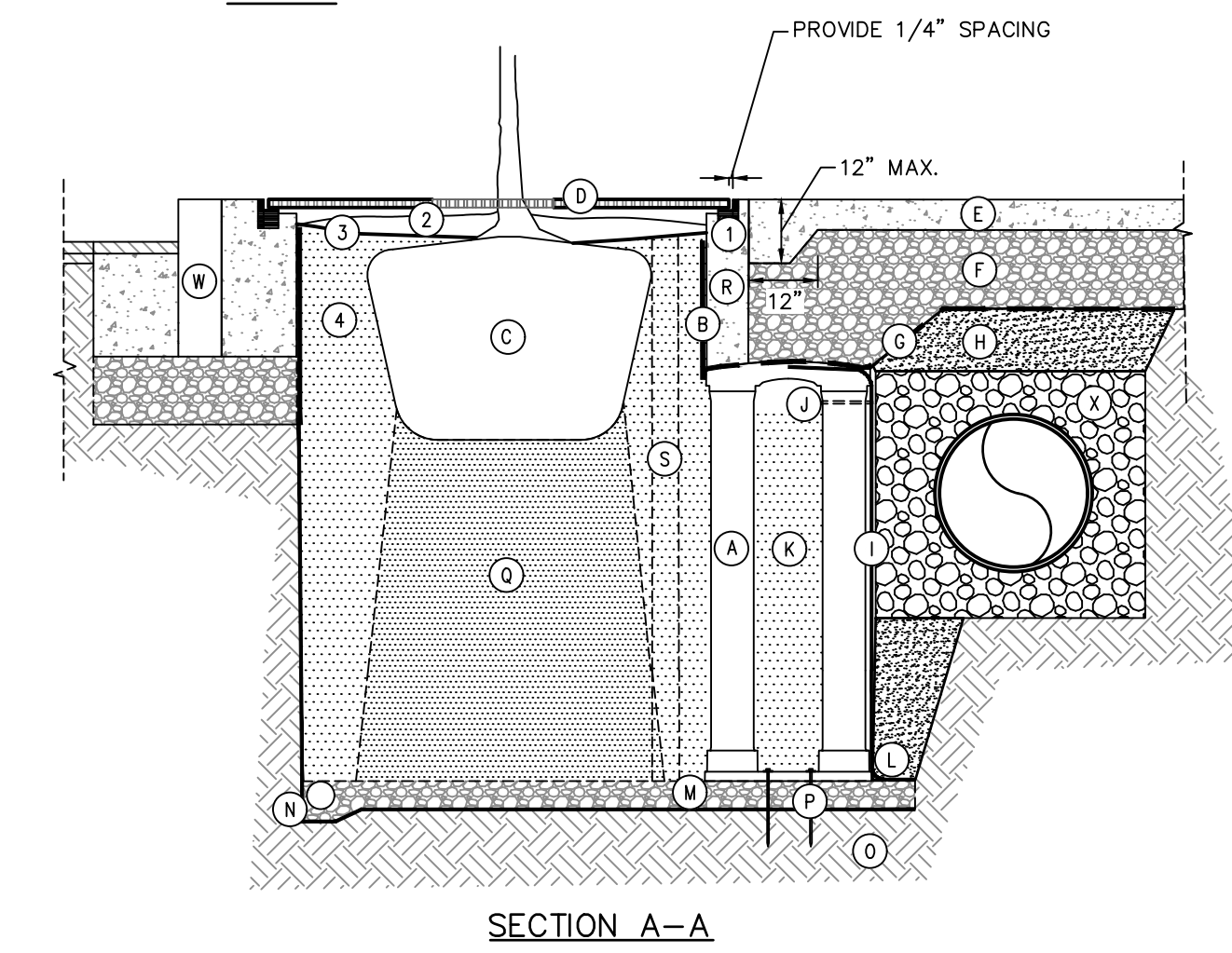
SOIL CAP
NOT TO SCALE



KEY PLAN

- (A) SILVA CELL 2 SYSTEM (DECK, BASE, AND POSTS).
- (B) DEEPROOT ROOT BARRIER DEEPROOT ROOT BARRIER INSTALLED TO A DEPTH 18 INCHES BELOW TOP OF TREE PIT.
- (C) TREE ROOT PACKAGE, SIZE VARIES. REMOVE ALL TWINE & STRAPS. CUT AND REMOVE BURLAP AND WIRE CAGE FROM TOP 1/2 OF BALL. REMOVE ALL SYNTHETIC MATERIALS.
- (D) TREE GRATE ASSEMBLY WITH CONCRETE ANCHOR.
- (E) EXPOSED AGGREGATE CONCRETE SIDEWALK WITH HAUNCHED EDGE
- (F) GRAVEL BORROW COURSE. GRAVEL BORROW, 18-INCH DEPTH ABOVE SILVA CELLS. TRANSITION TO STANDARD GRAVEL BORROW DEPTH PER CONCRETE SIDEWALK DETAIL.
- (G) GEOTEXTILE TO EDGE OF EXCAVATION.
- (H) BACKFILL, TO WITHIN 4-6" BELOW TOP OF SILVA CELL DECKS. INSTALL IN 8" LIFTS, EACH COMPACTED TO 95% MODIFIED PROCTOR.
- (I) IMPERMEABLE LINER.
- (J) CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE.
- (K) PLANTING SOIL TO 7" BELOW DECK, MANUALLY COMPACTED TO APPROXIMATE 70% MODIFIED PROTOR.
- (L) 1" - 6" SPACING BETWEEN SILVA CELLS AT BASE.
- (M) 4" MIN. GRAVEL BORROW, COMPACTED TO 95% MODIFIED PROCTOR.
- (N) 6" PERFORATED PVC UNDERDRAIN PIPE, 0.0 FT/FT SLOPE.
- (O) SUBGRADE, COMPACTED TO 95% MODIFIED PROCTOR.
- (P) PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION.
- (Q) PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% MODIFIED PROCTOR.
- (R) 18-INCH CAST-IN-PLACE CONCRETE CURB TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.
- (S) 4" PERFORATED PVC INSPECTION RISER TO PROVIDE FOR MONITORING OF SOIL MOISTURE.
- (T) SILVA CELL DECK
- (U) SILVA CELL POST
- (V) SILVA CELL BASE
- (W) 18-INCH GRANITE CURB IN EXISTING PAVEMENT
- (X) 18" X 6" HDPE MANIFOLD, 0.0 FT/FT SLOPE, INSTALL PER STORM DRAIN TRENCH DETAIL.
- (Y) 6" PERFORATED PVC PIPE, 0.0 FT/FT SLOPE, ENCASED IN 3" OF CLEAN, WASHED, 1" DIAMETER CRUSHED STONE. PERFORATIONS MUST FACE DOWN.
- (Z) 6" SOLID PVC CLEANOUT, CAPPED, WITH ROUND, HEAVY-DUTY CAST IRON FRAME AND COVER.
- (1) SQUARE FRAME SET IN CONTINUOUS 4"X6" CONCRETE RING. INSURE PROPER EQUAL SLOPES ON ALL SIDES TO PROVIDE CONSISTENT SEAT FOR TREE GRATES. VARIATIONS OR WOBBLING GRATES WILL NOT BE PERMITTED.
- (2) ORGANIC MULCH
- (3) WEED BARRIER
- (4) BACKFILL WITH PLANTING SOIL MIXTURE IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. DO NOT TAMP. (SEE TREE PLANTING DETAILS)

PLAN



TREE FILTER 1 & 2
NOT TO SCALE

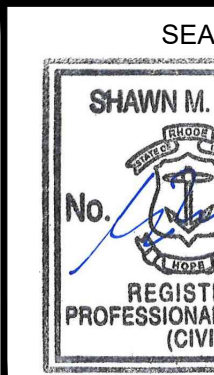
TREE FILTER 3
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

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5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
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3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



SCALE:

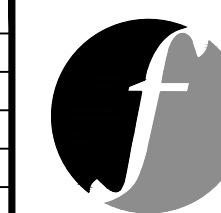
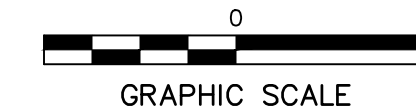
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BRISTOL YARN MILL

125 THAMES STREET

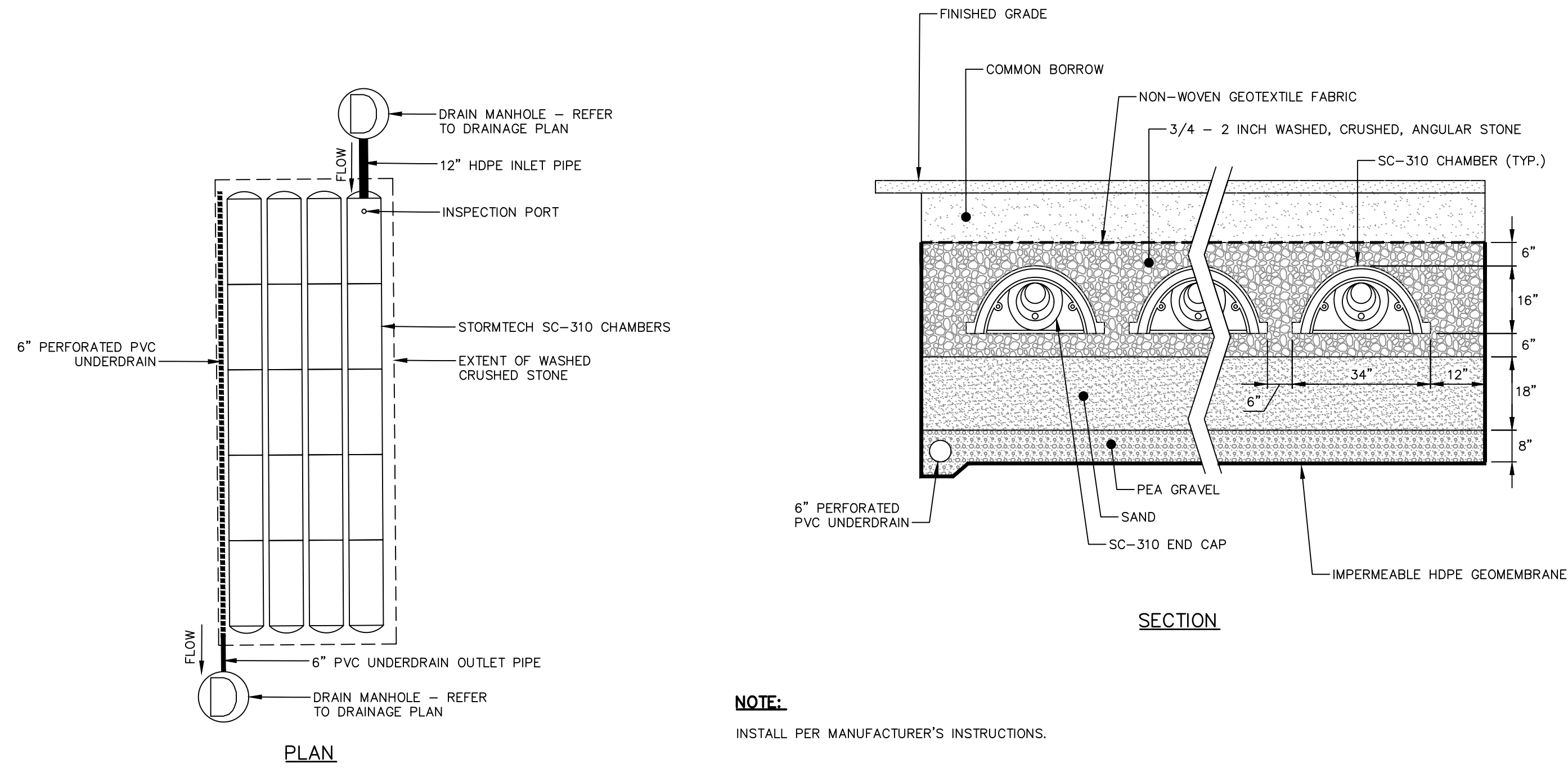
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-506

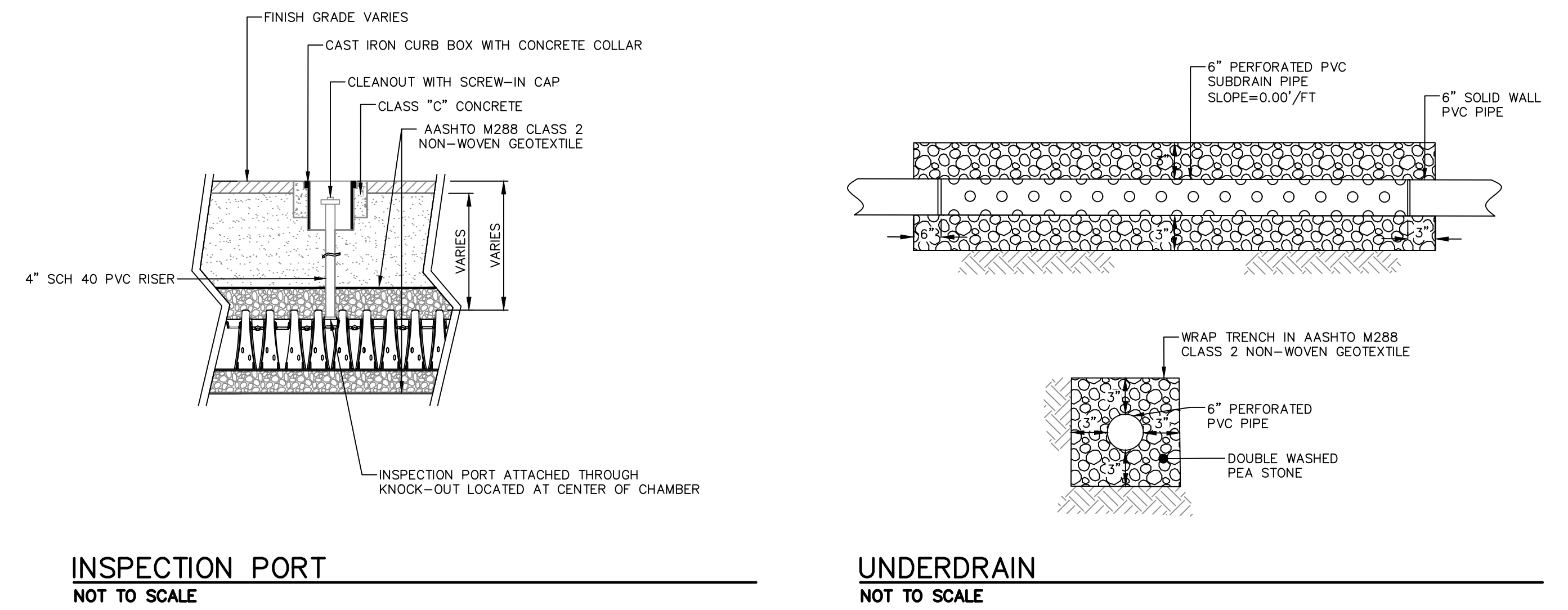
SHEET 21 OF 28

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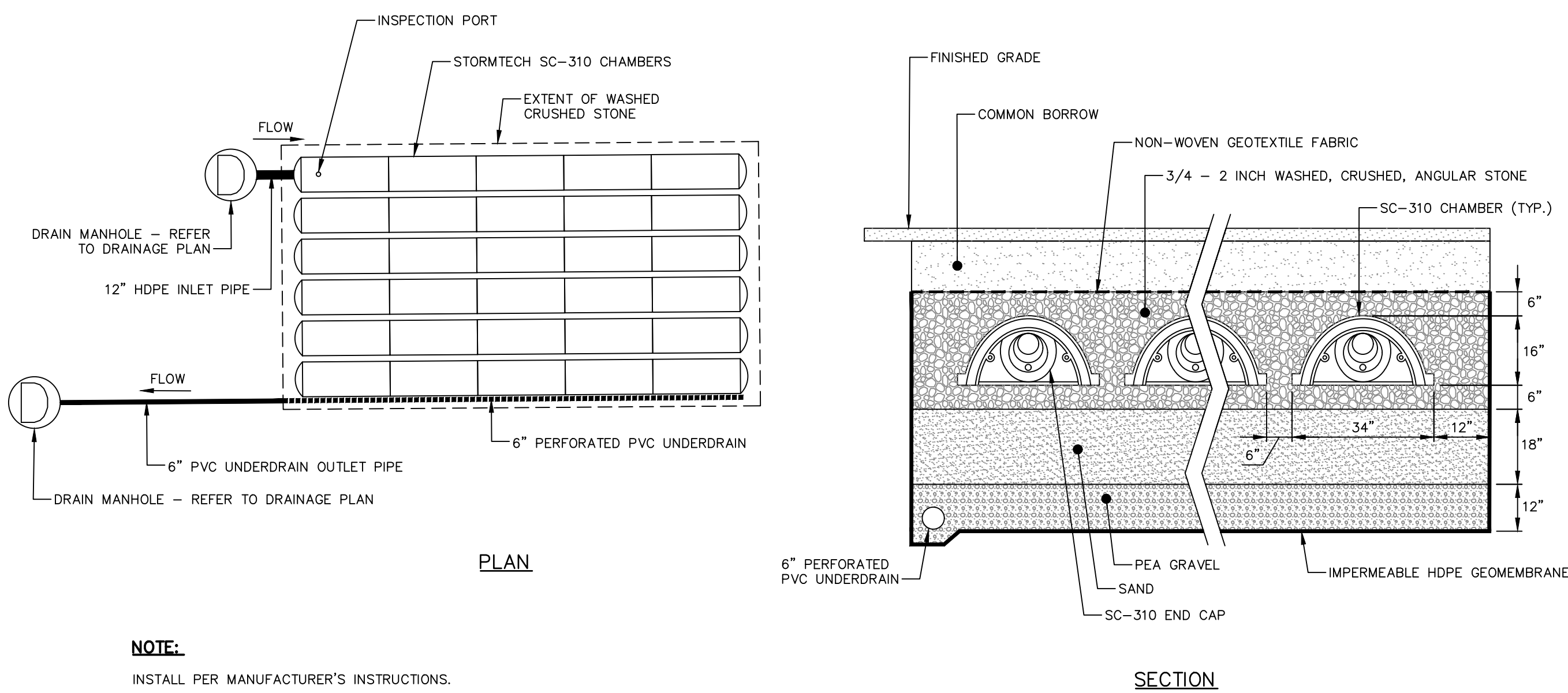
NOTE:
INSTALL PER MANUFACTURER'S INSTRUCTIONS.

SUBSURFACE FILTRATION SYSTEM 1
NOT TO SCALE



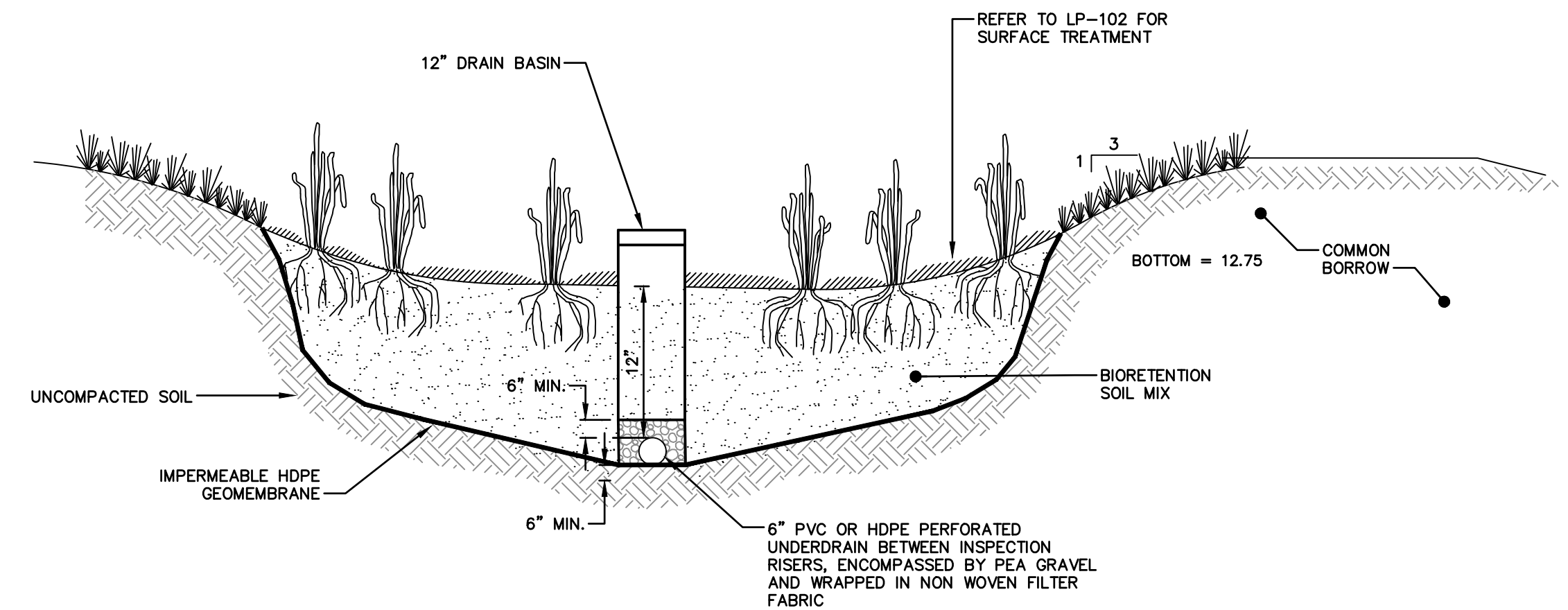
INSPECTION PORT
NOT TO SCALE

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NOT TO SCALE



NOTE:
INSTALL PER MANUFACTURER'S INSTRUCTIONS.

SUBSURFACE FILTRATION SYSTEM 2
NOT TO SCALE



NOTES:

- BIORETENTION SOIL MIX SHALL HAVE A LOAMY SAND TEXTURE PER USDA TEXTURAL TRIANGLE WITH A MAXIMUM CLAY CONTENT OF LESS THAN 2%. SOIL MIXTURE SHALL BE 85-88% SAND, 8-12% SOIL FINES, AND 3-5% ORGANIC MATTER.
- THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUGWORT, NUTSEDGE, POISON IVY, CANADIAN THISTLE, TEARTHUB, OR OTHER NOXIOUS WEEDS.
- PRIOR TO INSTALLATION, SOIL SHALL BE TESTED AND CONFORM TO THE FOLLOWING CRITERIA:
 PH RANGE: 5.7 - 7.0
 MAGNESIUM: 32 PPM MIN.
 PHOSPHORUS P205: NOT TO EXCEED 69 PPM
 POTASSIUM K20: 78 PPM MIN.
 SOLUBLE SALTS: NOT TO EXCEED 500 PPM

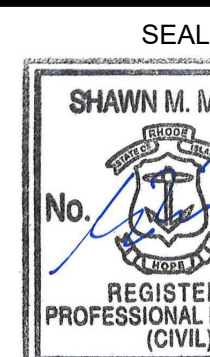
RAIN GARDEN
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
6	9/8/23	BCWA SUBMITTAL	KLM	SMM
5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

SEAL



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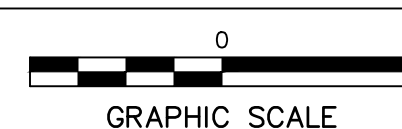
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DATUM:

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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

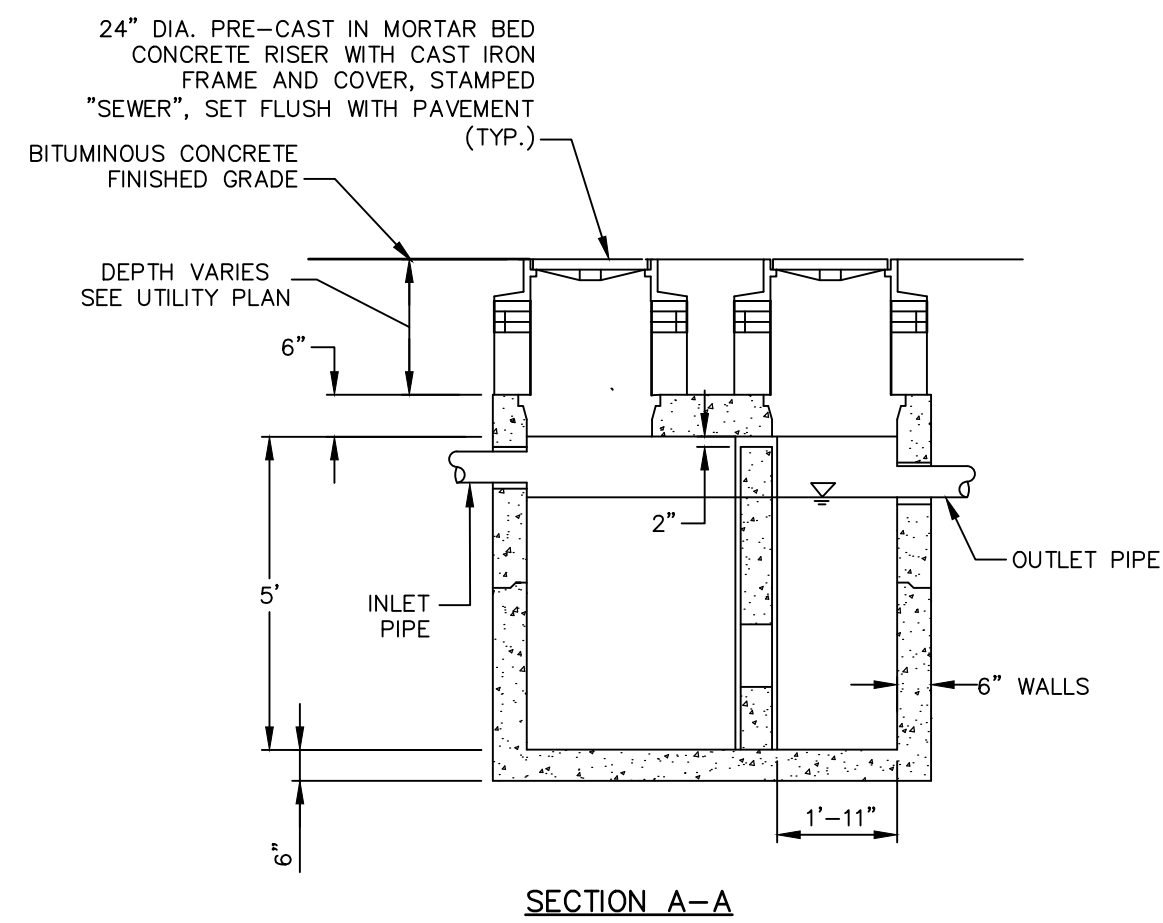
125 THAMES STREET

BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
 DATE: DECEMBER 6, 2022

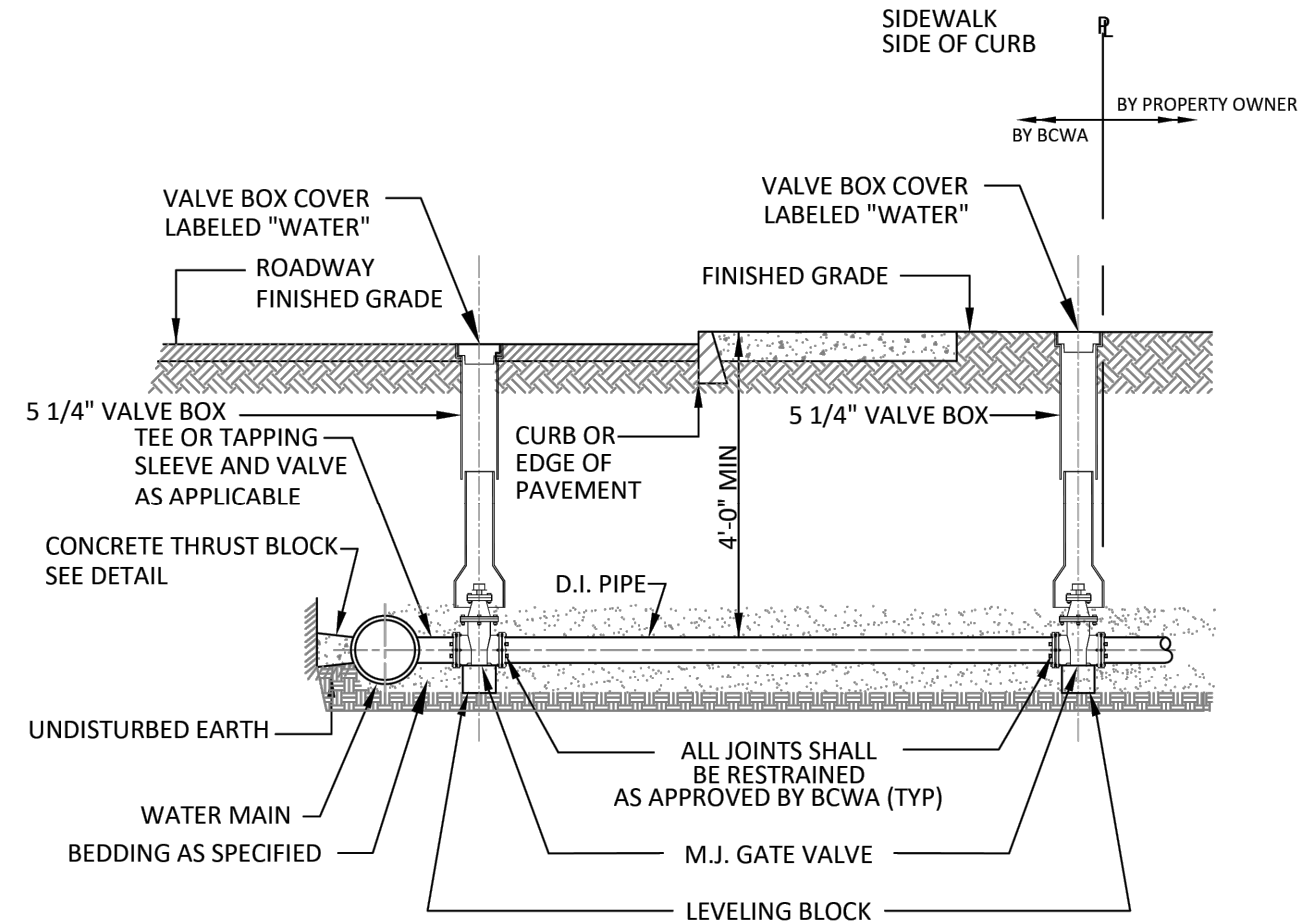
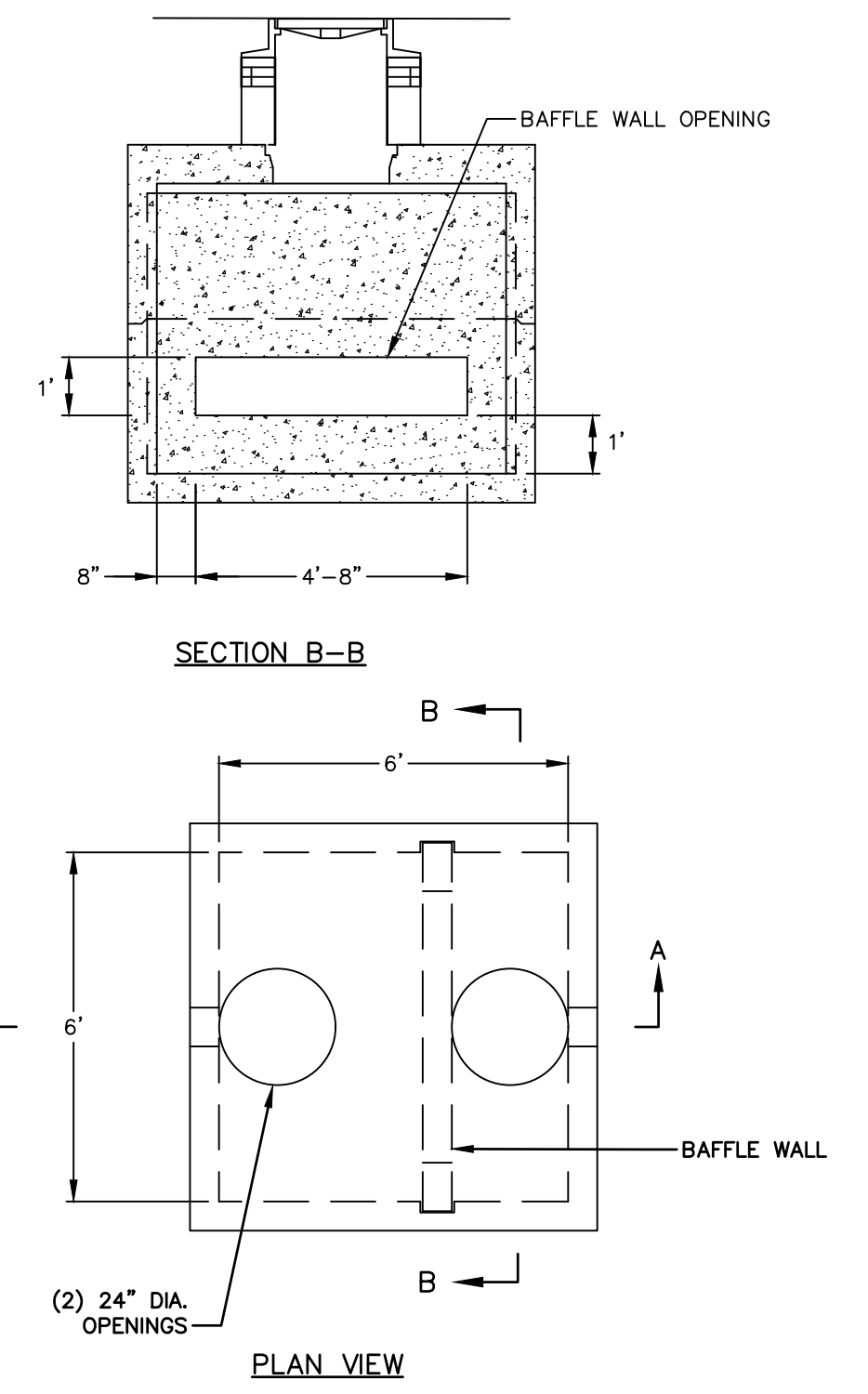
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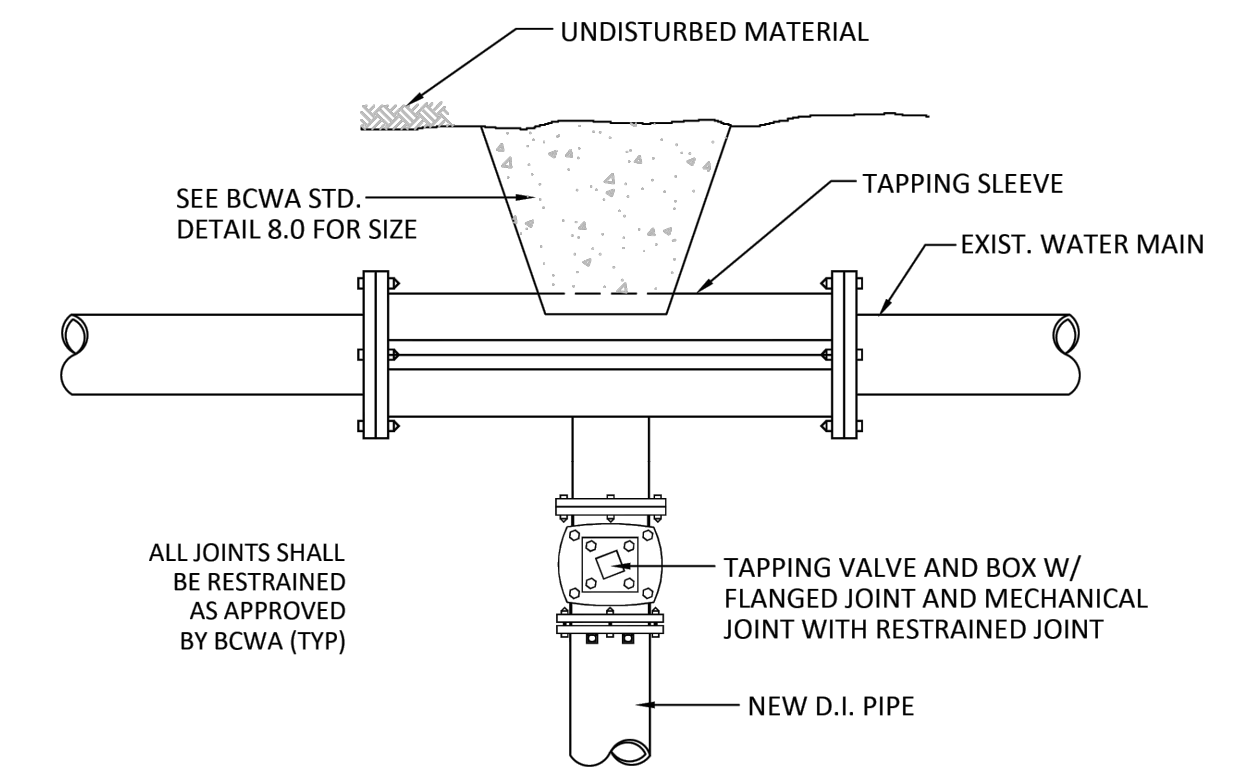
- NOTES:
- VOLUME SHALL BE 1,000 GALLONS.
 - CONCRETE : 5,000 P.S.I. MINIMUM STRENGTH @ 28 DAYS
 - STEEL REINFORCING ASTM A-615, GRADE 60
 - COVER TO STEEL 1" MINIMUM
 - TANKS SHALL MEET ASTM C858 AND ACI 318 WITH AASHTO HS-20 LOADING
 - EARTH COVER 0 MIN. TO 5 FEET MAX
 - EARTH COVER 0 MIN. TO 5 FEET MAX

OIL/WATER SEPARATOR
NOT TO SCALE



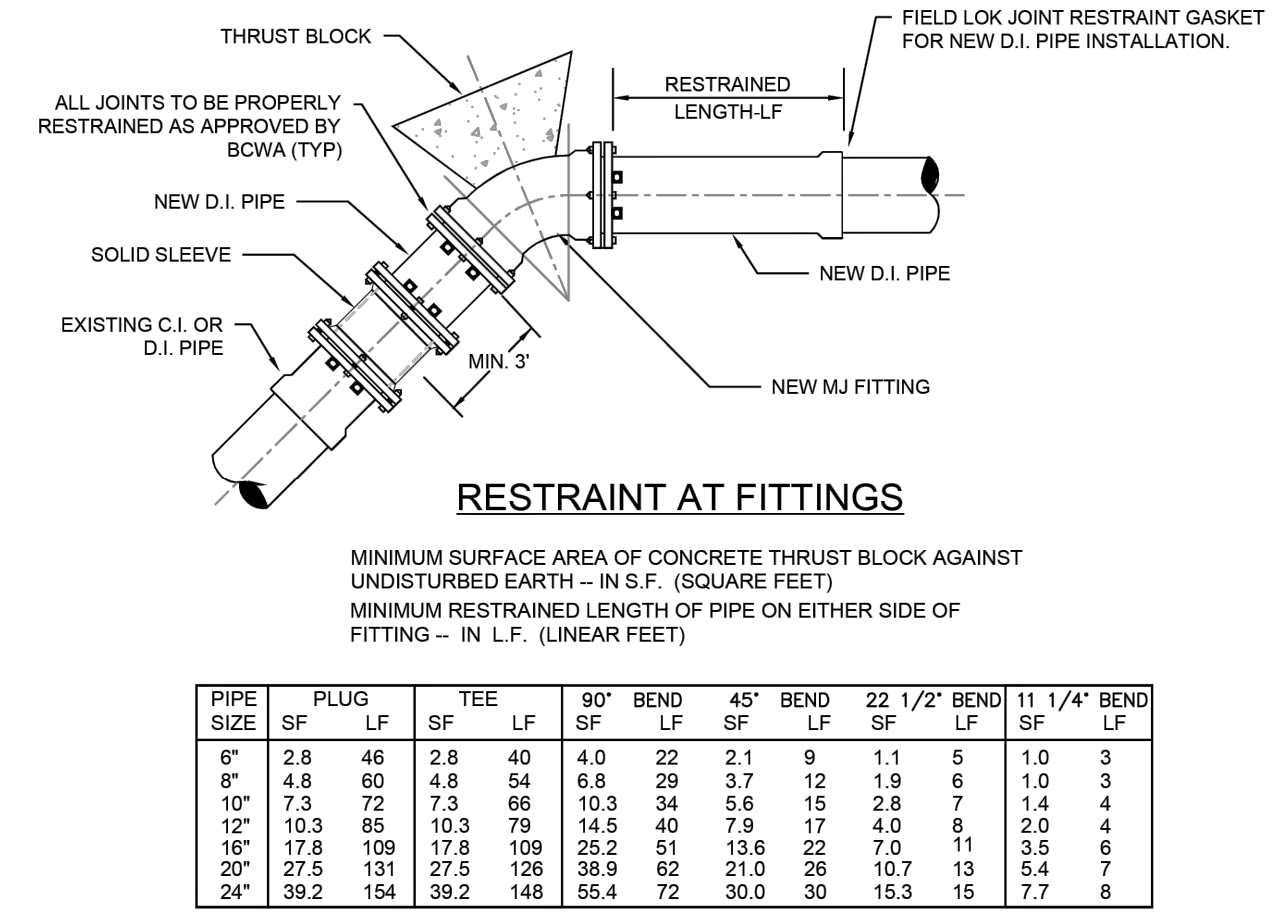
- NOTE:
- ALL SERVICE MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - SERVICE LINE FROM GATE BOX TO BUILDING SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - TAPPING SLEEVE TO BE PRESSURE TESTED PRIOR TO INSTALLATION.
 - STREET SIDE OF SERVICE TO BE INSTALLED FIRST, LOCATION TO BE DETERMINED BY BCWA.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

SERVICE CONNECTION 4 INCHES & GREATER (BCWA DETAIL 10C)
NOT TO SCALE



- NOTE:
- TAPPING SLEEVE, VALVE AND PIPE TO BE DISINFECTED WITH CHLORINE SOLUTION PRIOR TO INSTALL.
 - TAPPING SLEEVE TO BE PRESSURE TESTED USING AIR PRIOR TO TAPPING PIPE.
 - ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - THRUST BLOCK PER BCWA SPECIFICATIONS. SEE BCWA STD. DETAIL 8.0.
 - ALL WORK AND MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

TAPPING SLEEVE AND VALVE (BCWA DETAIL 3)
NOT TO SCALE



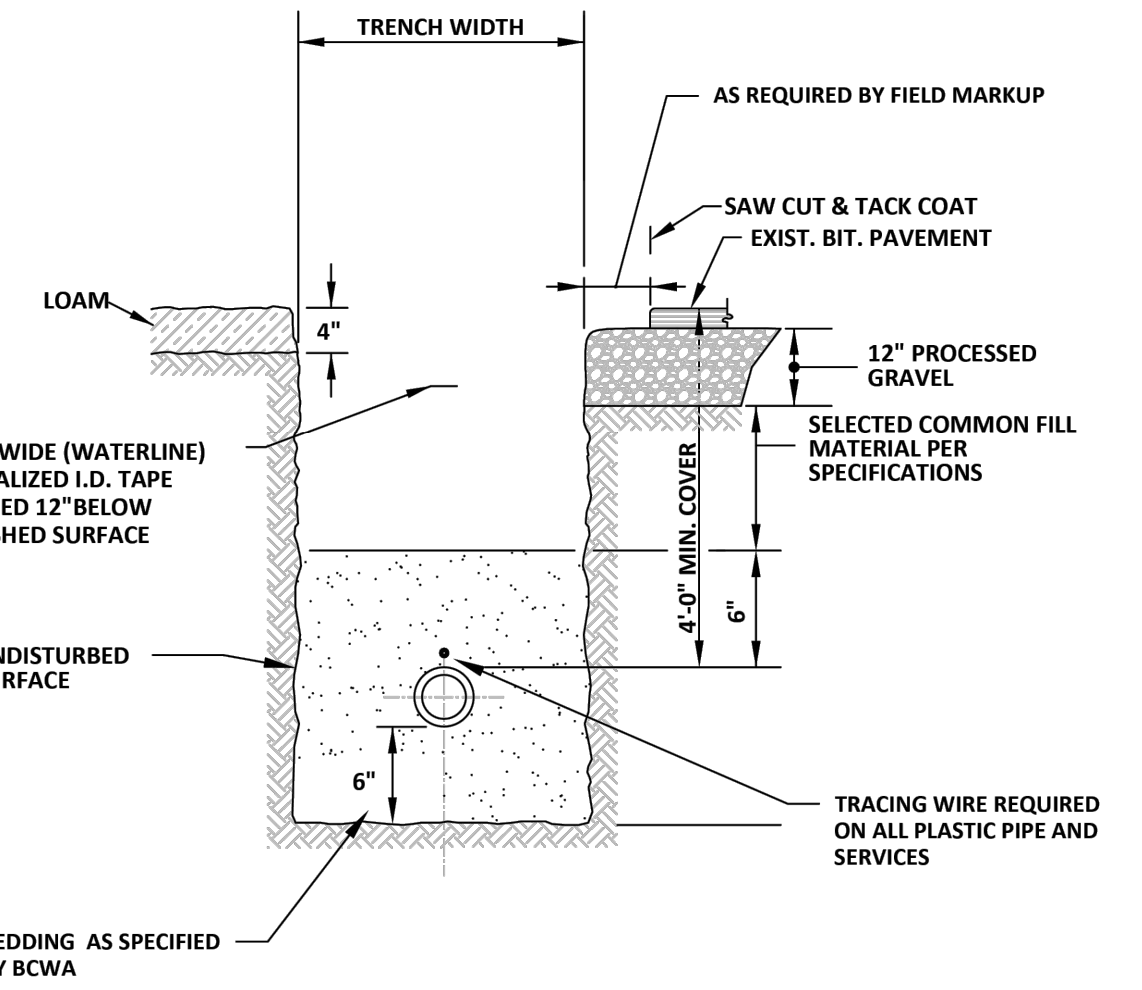
PIPE SIZE	PLUG		TEE		90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	SF	LF	SF	LF	SF	LF	SF	LF	SF	LF	SF	LF
6"	2.8	46	2.8	40	4.0	22	2.1	9	1.1	5	1.0	3
8"	4.8	60	4.8	54	6.8	29	3.7	12	1.9	6	1.0	3
10"	7.3	72	7.3	66	10.3	34	5.8	15	2.8	7	1.4	4
12"	10.3	85	10.3	79	14.5	40	7.9	17	4.0	8	2.0	4
16"	17.8	109	17.8	109	25.2	51	13.8	22	7.0	11	3.5	6
20"	27.5	131	27.5	126	38.9	62	21.0	26	10.7	13	5.4	7
24"	39.2	154	39.2	148	55.4	72	30.0	30	15.3	15	7.7	8

- ALL CONCRETE TO BE CLASS B (AE)
- THE "SF" VALUES IN THE ABOVE TABLE ARE BASED ON 3000 p.s.f. SOIL BEARING CAPACITY, 150 p.s.i. TEST PRESSURE AND A 1.5 FACTOR OF SAFETY.
- THE "LF" VALUES IN THE ABOVE TABLE ARE BASED ON A TYPE 3 LAYING CONDITION, A SAND SILT SOIL DESIGNATION, A 5 FOOT RUN LENGTH, 150 P.S.I. TEST PRESSURE AND A 1.5 FACTOR OF SAFETY AS USED IN THE "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" COMPUTER PROGRAM BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION.
- IF SOIL CONDITIONS OR EXCAVATION LIMITS ENCOUNTERED DURING CONSTRUCTION MAKE IT UNFEASIBLE TO PLACE THRUST BLOCKS AGAINST UNDISTURBED EARTH OF THE PROPER BEARING CAPACITY, THE CONTRACTOR SHALL DESIGN AND PLACE SPECIAL REACTION BLOCKS OF SUFFICIENT WEIGHT TO RESIST FULL THRUST UNDER ALL CONDITIONS. THE DESIGN SHALL BE SUBJECT TO BCWA APPROVAL.
- MINIMUM SURFACE AREAS SHALL BE INCREASED BY 50% IF DEEMED NECESSARY BY THE ENGINEER.
- A MECHANICAL JOINT RESTRAINT SYSTEM MUST BE USED FOR VERTICAL BENDS.
- AT THE DISCRETION OF THE ENGINEER, A JOINT RESTRAINT SYSTEM MAY BE SUBSTITUTED FOR OR USED IN COMBINATION WITH PROPER THRUST BLOCKING.
- A 48 HR. CURING PERIOD MUST BE GIVEN BEFORE FULL LINE PRESSURE CAN BE APPLIED TO NEW CONCRETE THRUST BLOCKS.
- THRUST BLOCK DESIGN FOR PIPE LARGER THAN 24" SHALL BE REVIEWED ON AN INDIVIDUAL BASIS BY THE BCWA.
- THE RESTRAINED LENGTH IS BASED ON DUCTILE IRON PIPE WITH 4 FOOT COVER. IF THE DEPTH VARIES, OR THE DUCTILE IRON PIPE IS POLY WRAPPED THE RESTRAINED LENGTH MUST BE RE-CALCULATED.
- WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

PLANNING BOARD APPROVAL

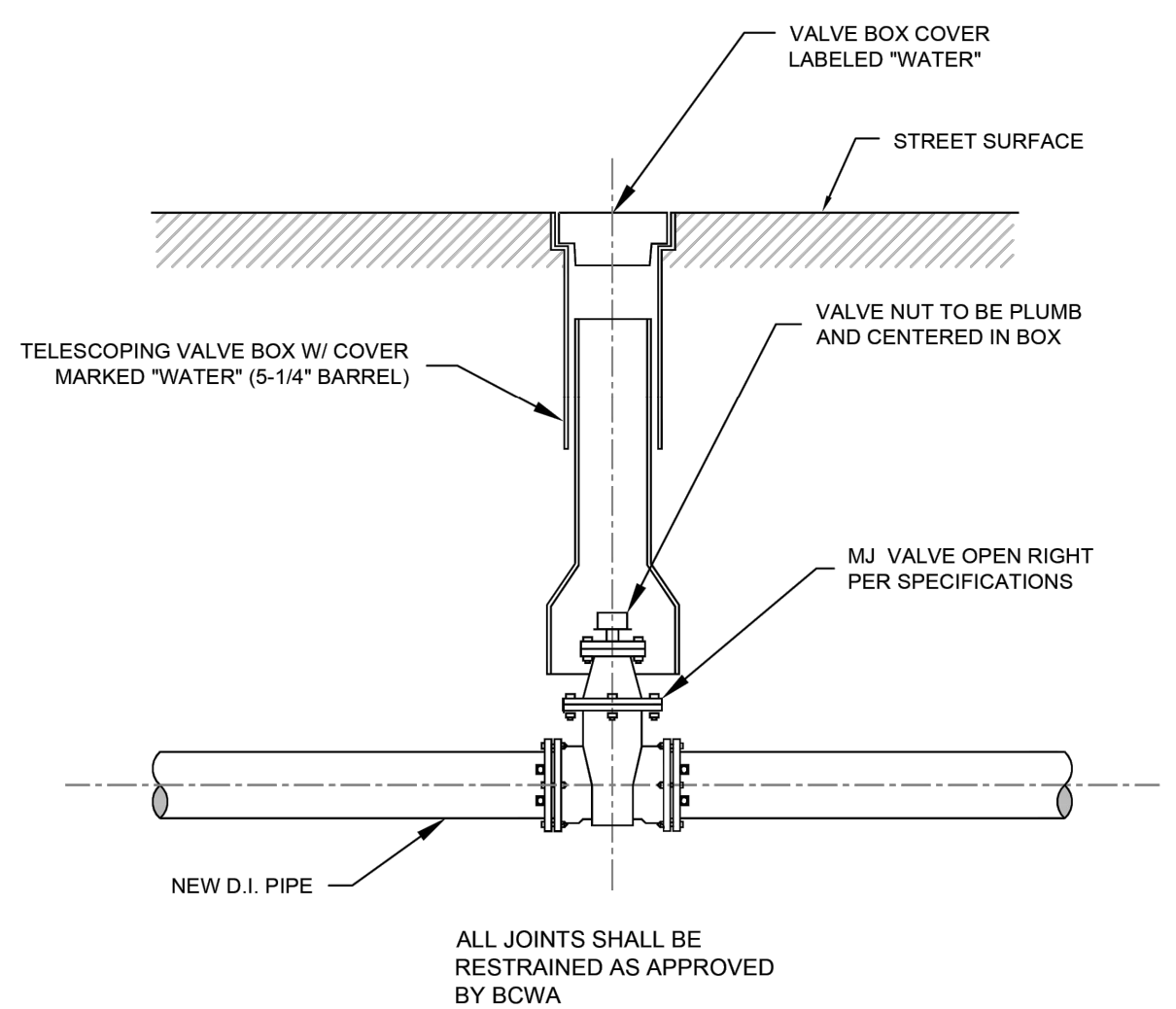
PLANNING BOARD CHAIR OR DESIGNEE DATE

CONCRETE THRUST BLOCK AND RESTRAINTS AT FITTINGS (BCWA DETAIL 8)
NOT TO SCALE



- NOTE:
- ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS AND SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - ROADWAY AND SIDEWALK RESTORATION SHALL BE PERFORMED IN ACCORDANCE WITH ALL MUNICIPAL OR RIDOT PERMIT REQUIREMENTS.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

WATER TRENCH (BCWA DETAIL 1)
NOT TO SCALE

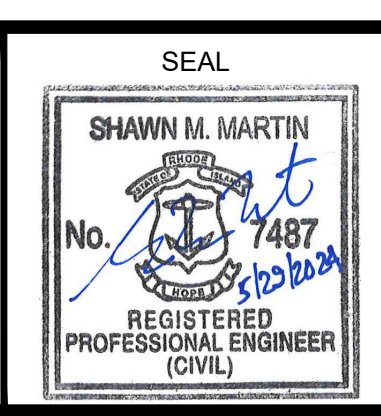


- NOTE:
- ALL MATERIALS, BEDDING AND BACKFILL PER BCWA SPECIFICATIONS.
 - ALL WORK AND MATERIALS SHALL BE INSPECTED AND APPROVED BY THE BCWA PRIOR TO BEING BACKFILLED AND/OR ACTIVATED.
 - WHENEVER THERE IS A DISCREPANCY BETWEEN THIS DETAIL AND THE WRITTEN SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN.

GATE VALVE (BCWA DETAIL 3B)
NOT TO SCALE

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11	5/29/2024	REISSUE FINAL PLAN	KLM	SMM
10	3/6/2024	RESPONSE TO CRMC COMMENTS	KLM	SMM
9	2/2/2024	FINAL PLAN	KLM	SMM
8	11/10/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
7	10/13/2023	RESPONSE TO BCWA COMMENTS	KLM	SMM
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5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



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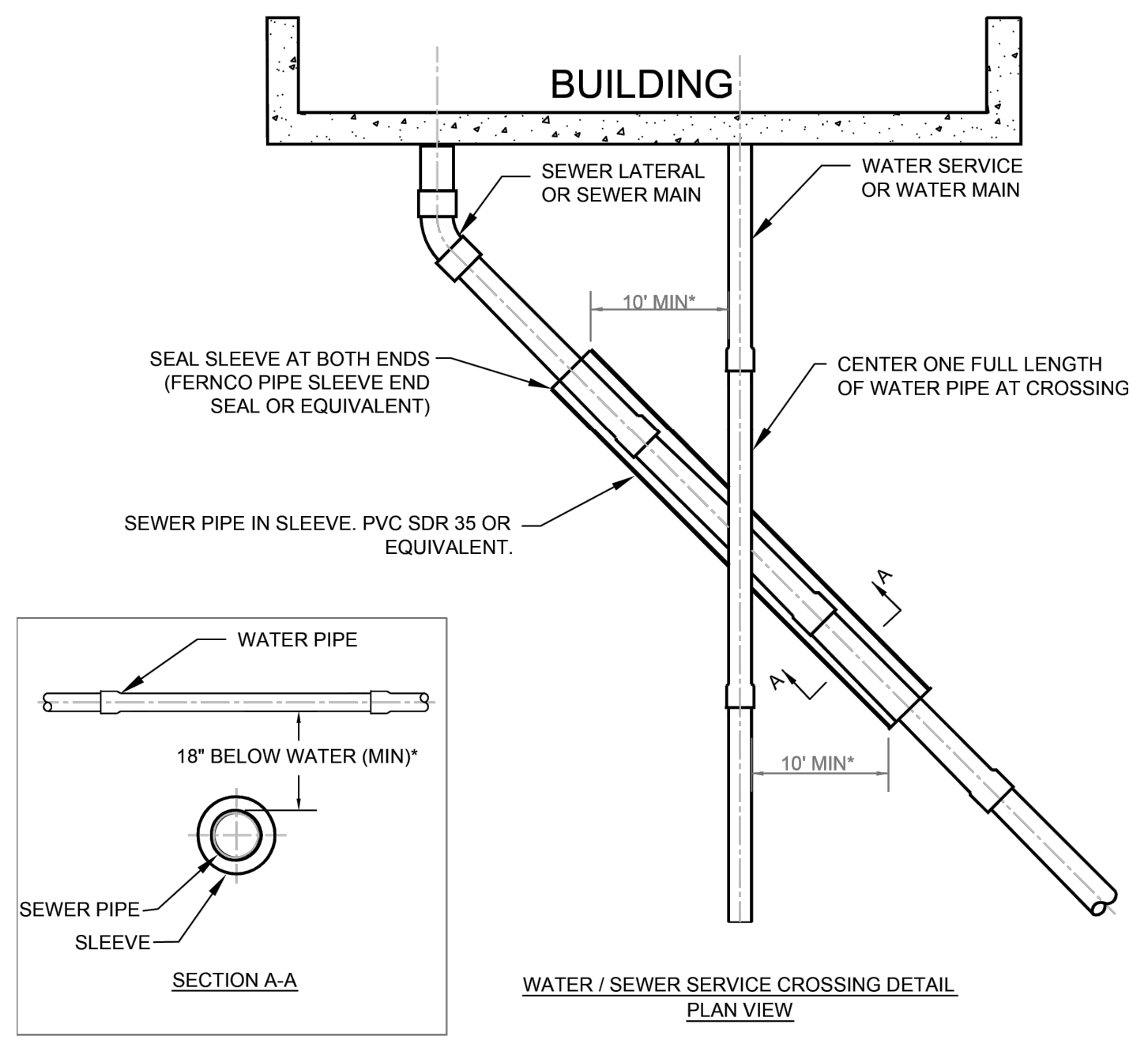
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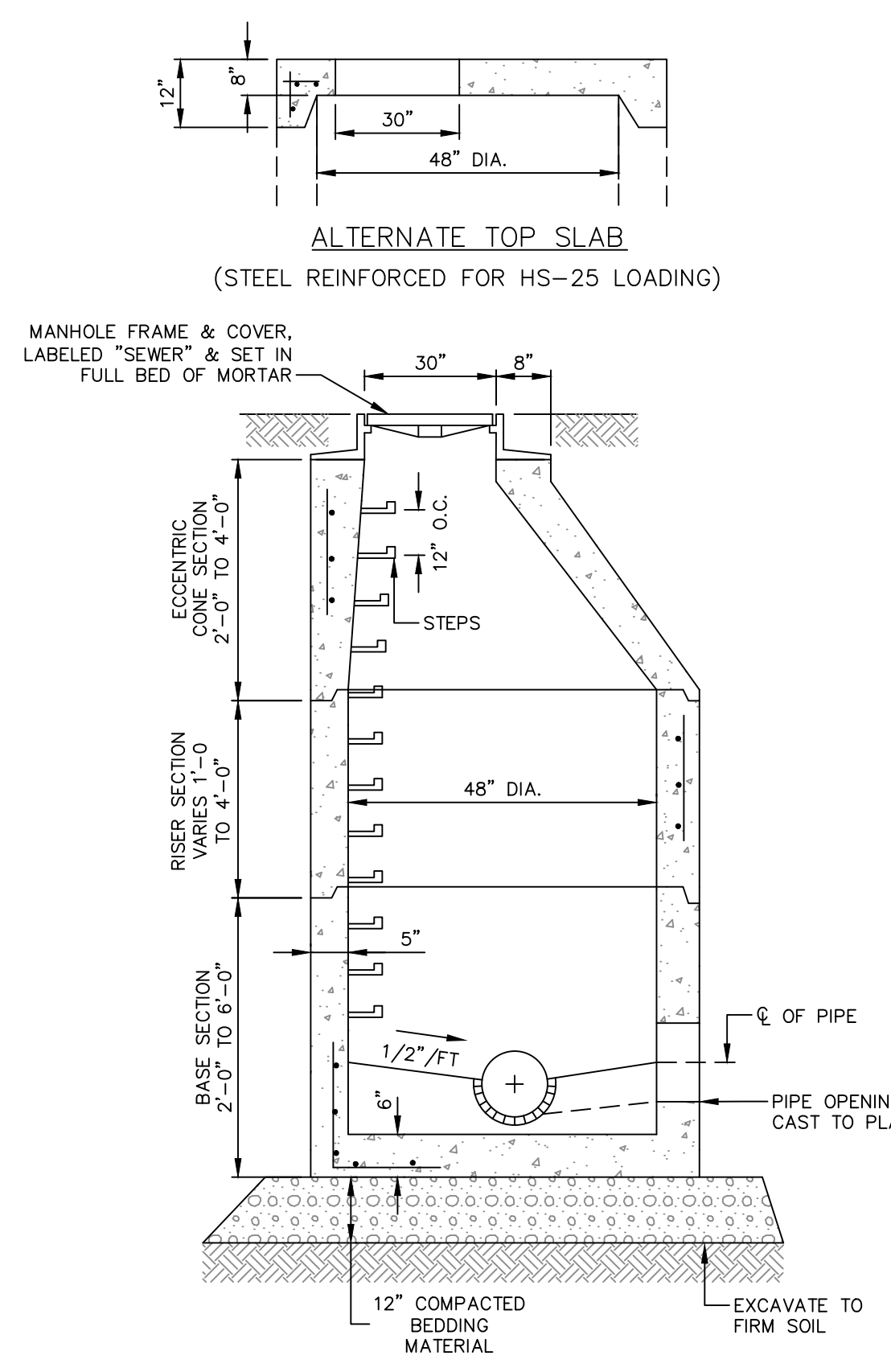
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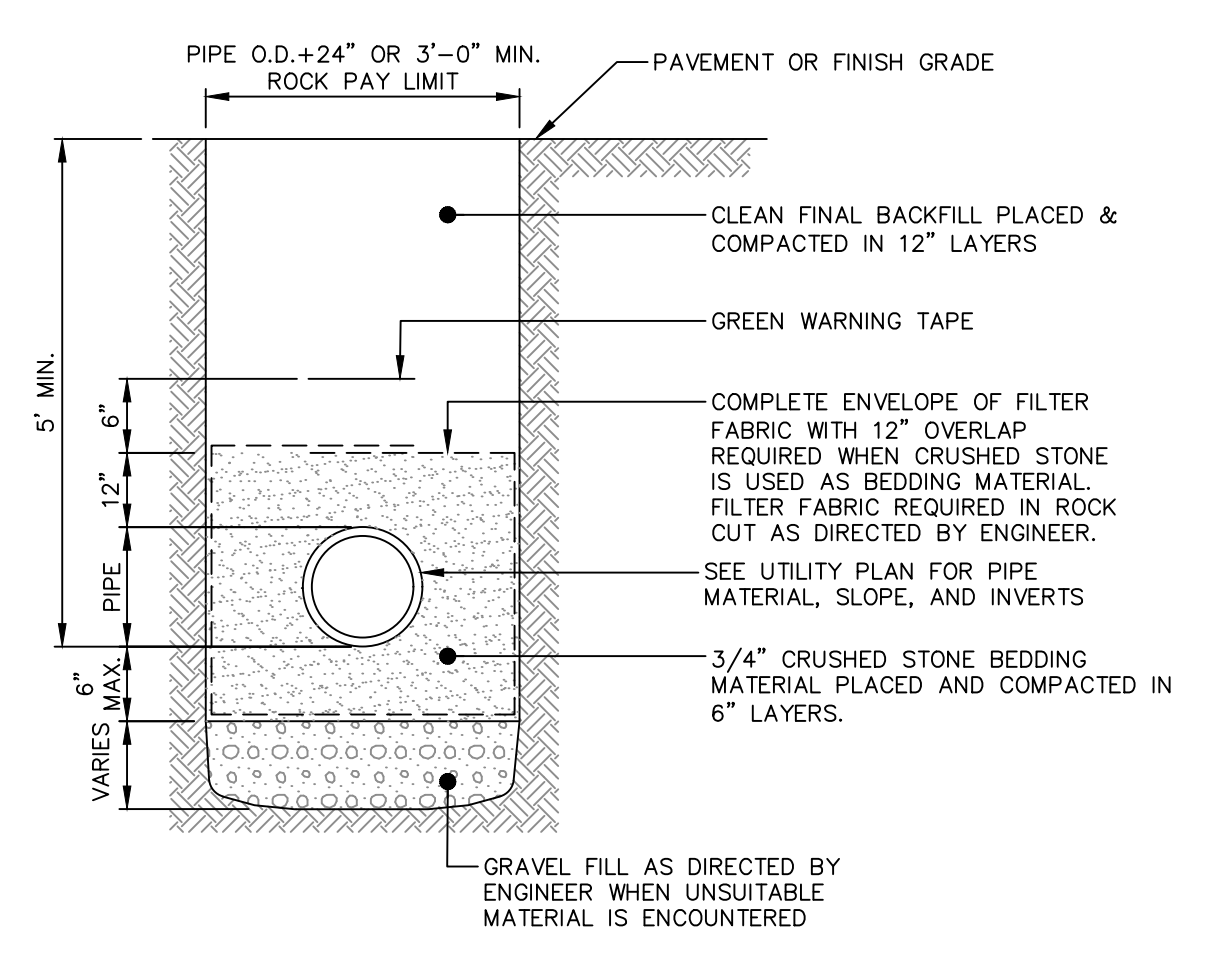
IF THE 18 INCH MINIMUM VERTICAL SEPARATION CANNOT BE MAINTAINED, CONSTRUCT SEWER USING AWWA APPROVED WATER MAIN PIPE AND PRESSURE TEST TO 150psi FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING, MEASURED PARALLEL TO THE WATER PIPE, OR ENCASE SEWER PIPE IN PVC SLEEVE.

WATER & SEWER SERVICE CROSSING (BCWA DETAIL 9A)
 NOT TO SCALE



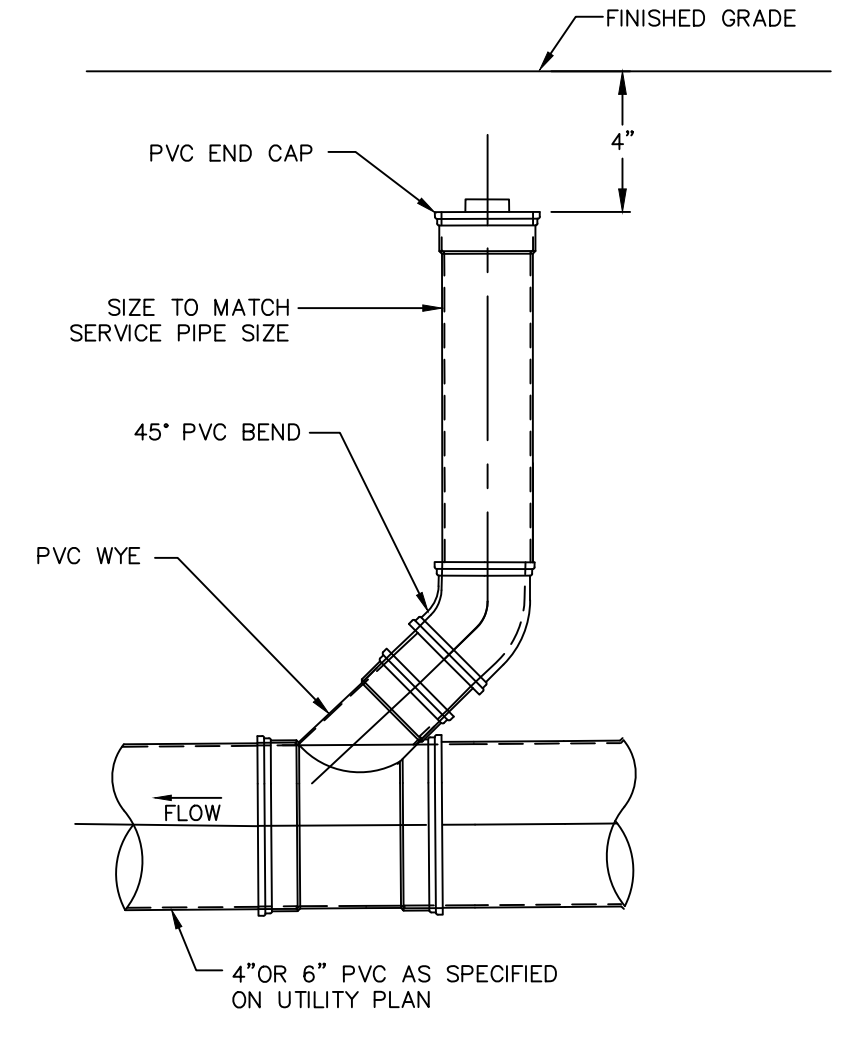
- NOTES:**
- FRAME AND COVER TO BE R.I. STD. 6.2.1 OR APPROVED EQUAL. LETTERING: "SEWER"
 - FRAMES SHALL BE SET IN FULL BED OF MORTAR. ADJUST TO GRADE WITH RED CLAY BRICKS AND MORTAR.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-185:
 - 0.12 SQ. IN./LIN. FT. CIRCUMFERENTIAL
 - 0.18 SQ. IN./FT. (BOTH WAYS) BASE BOTTOM
 - CONCRETE SHALL BE COMPRESSIVE STRENGTH 4,000 PSI TYPE II CEMENT.
 - ONE POUR MONOLITHIC BASE SECTION.
 - PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 - JOINT SEALANT SHALL BE PREFORMED BUTYL RUBBER MASTIC TYPE SEAL THAT COMPLIES WITH AASHTO M198 OR SYNTHETIC RUBBER GASKET THAT COMPLIES WITH ASTM C-443 OR C-361.
 - MANHOLE DESIGN SHALL CONFORM TO ASTM C-478 FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - MANHOLE STEPS SHALL BE ASTM A 615/A615M, DEFORMED, 1/2-INCH STEEL REINFORCED RODS ENCASED IN ASTM D 4101, POLYPROPYLENE PLASTIC. THE CENTERLINE OF OPENING MUST BE WITHIN 2'-0" FROM STEPS.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - INVERT CONSTRUCTED OF BRICK OR CEMENT CONCRETE, CLASS D.

SEWER MANHOLE
 NOT TO SCALE



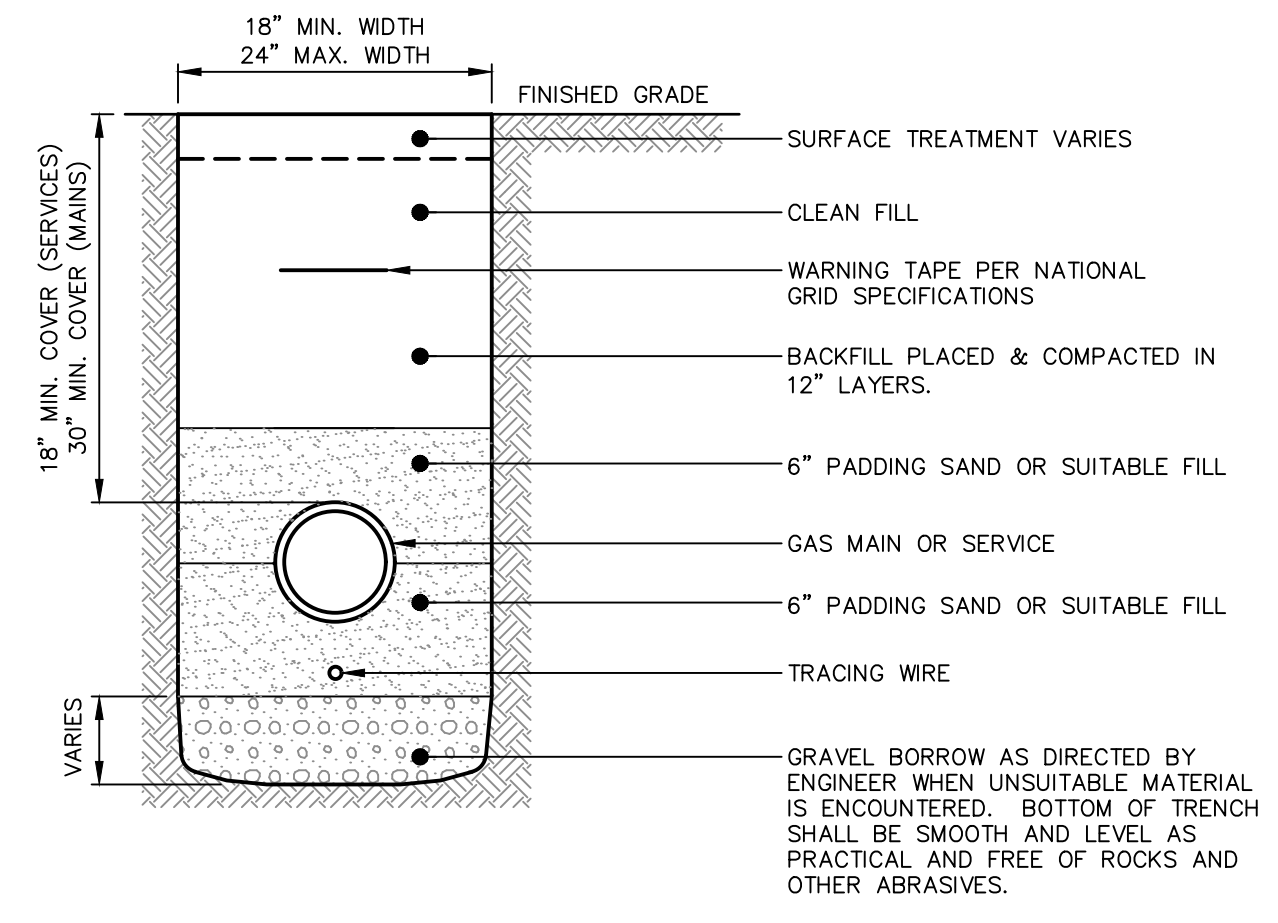
- NOTES:**
- SEWER TO BE INSULATED WITH 2" RIGID FOAM WHEN LESS THAN 4' COVER IS PROVIDED.

SEWER TRENCH
 NOT TO SCALE



NOTE:
 IN PAVED AREAS, TURN ADJUSTABLE CLEAN-OUT WITH CAST IRON FRAME AND COVER SHALL BE USED IN LIEU OF PVC END CAP.

SEWER CLEANOUT
 NOT TO SCALE



- NOTES:**
- BEDDING MATERIAL AND INITIAL BACKFILL SHALL BE CLEAN, FREE OF DEBRIS AND RUBBLE, AND FREE OF MATERIALS WHICH MAY CAUSE POLLUTION OF GROUNDWATER.
 - SPOIL SHOULD BE SET BACK A MINIMUM OF TWO (2) FEET IN ACCORDANCE WITH OSHA REGULATIONS.
 - GAS SERVICE MUST HAVE A MINIMUM HORIZONTAL SEPARATION OF THREE (3) FEET FROM PARALLEL UTILITIES. A ONE FOOT SEPARATION MUST BE MAINTAINED WHEN CROSSING OTHER UTILITIES.
 - THE MAXIMUM TRENCH DEPTH FOR GAS MAINS IS 48-INCHES WHILE THE MAXIMUM TRENCH DEPTH FOR SERVICES IS 36-INCHES.

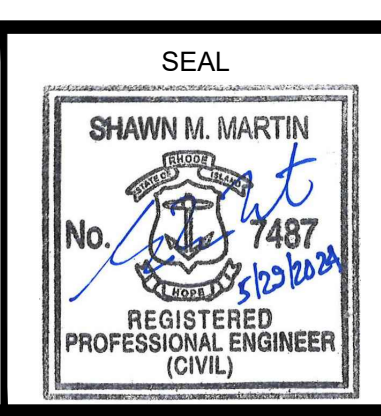
GAS TRENCH
 NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE	DATE

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SEAL



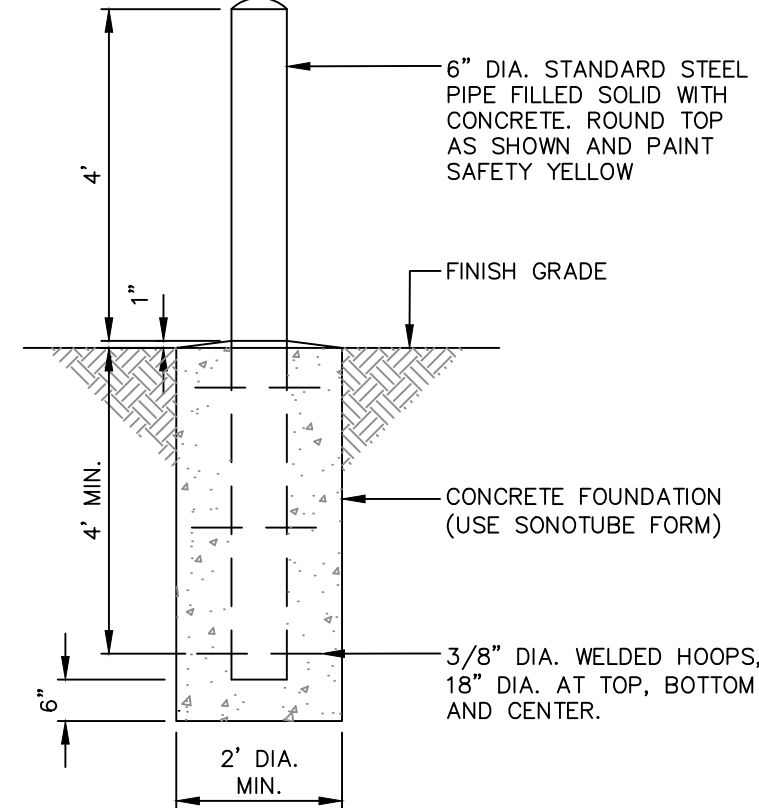
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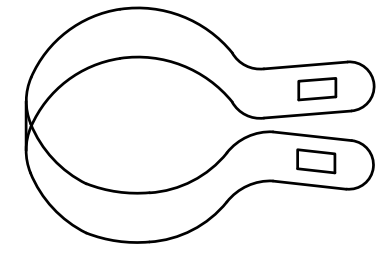
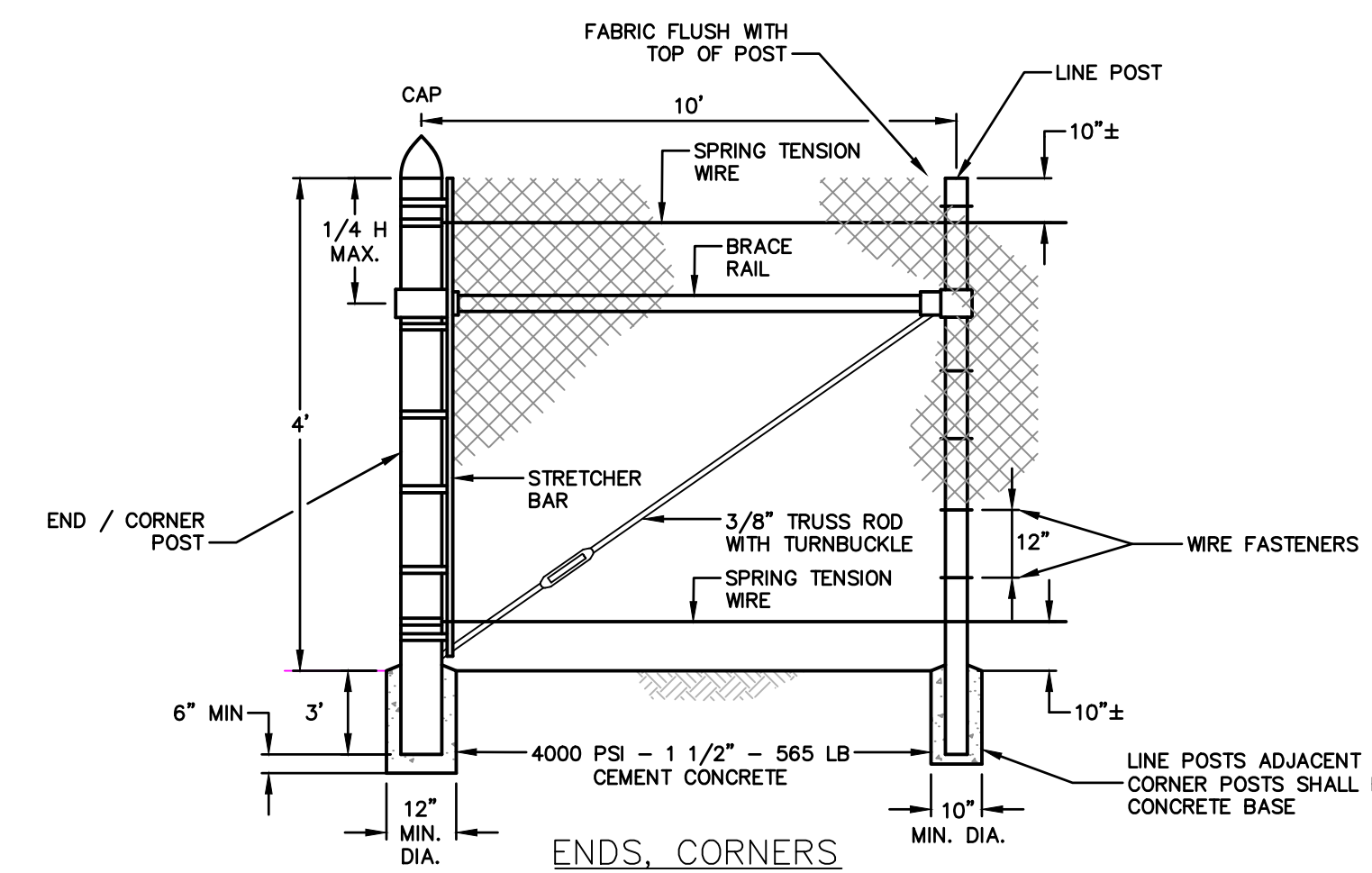
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BRADY SULLIVAN PROPERTIES, LLC
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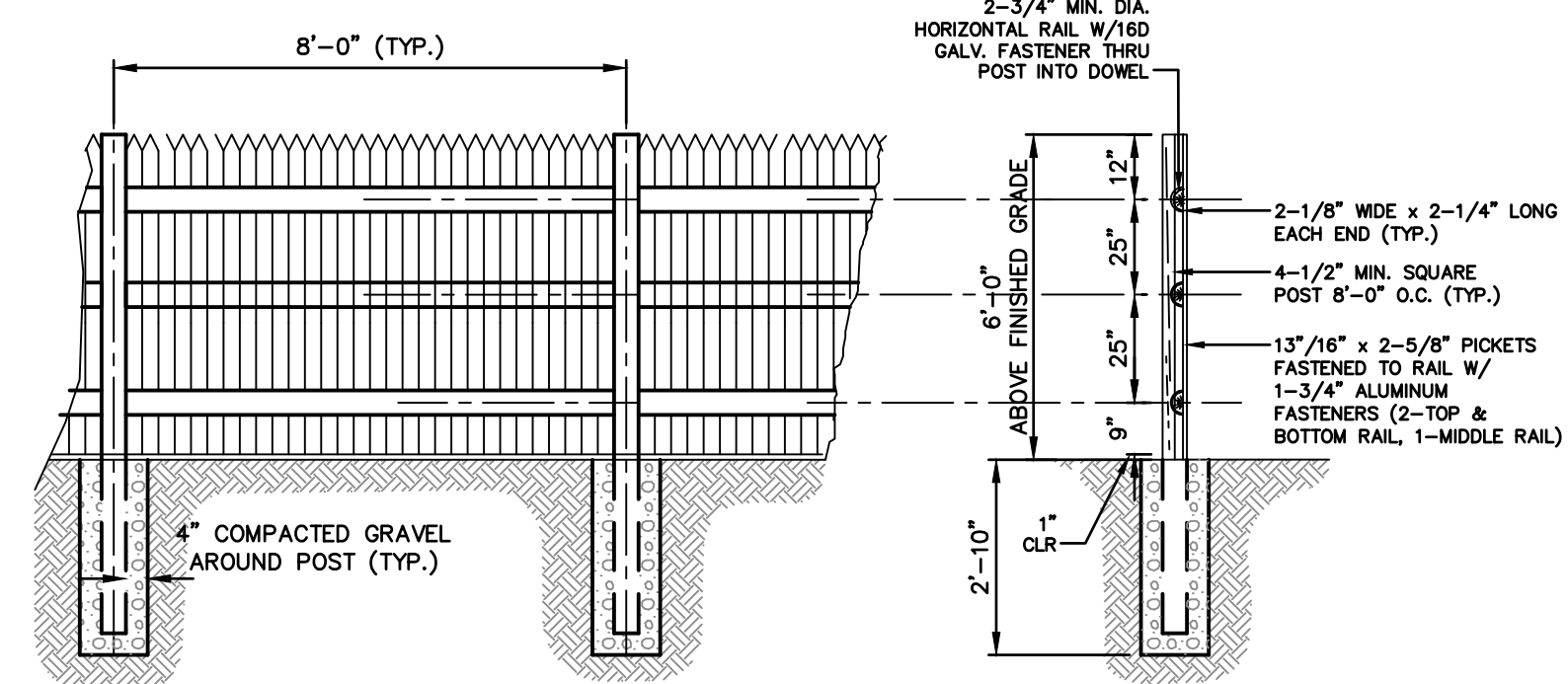


BOLLARD
NOT TO SCALE



CHAIN LINK FENCE
NOT TO SCALE

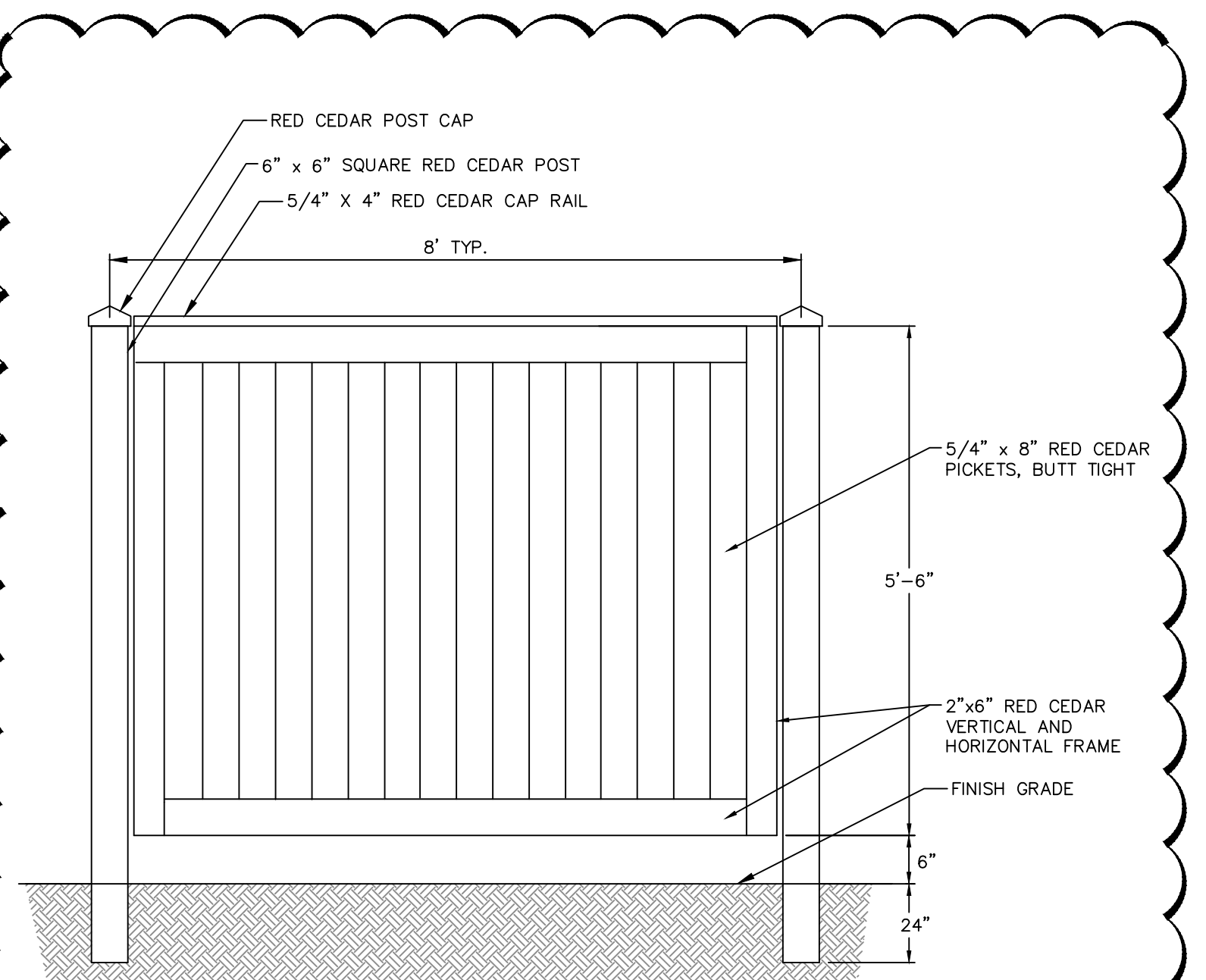
- NOTES:**
- FABRIC FOR FENCE: TOP SELVAGE TO HAVE KNUCKLED FINISH, BOTTOM SELVAGE TO HAVE TWISTED AND BARBED FINISH UNLESS OTHERWISE NOTED.
 - GRADE OF FENCE TO BE PARALLEL WITH THE GRADE OF GROUND.
 - FOR DESCRIPTION, MATERIAL, AND CONSTRUCTION METHODS, SEE SPECIFICATIONS.
 - SPRING TENSION WIRE TO BE FASTENED TO FABRIC WITH 11 GAUGE HOG RINGS AT 1' INTERVALS.
 - SPRING TENSION WIRE TO BE FASTENED TO LINE POSTS WITH CLIPS.
 - LINE POST TO BE DRIVEN EXCEPT WHERE NOTED ABOVE.



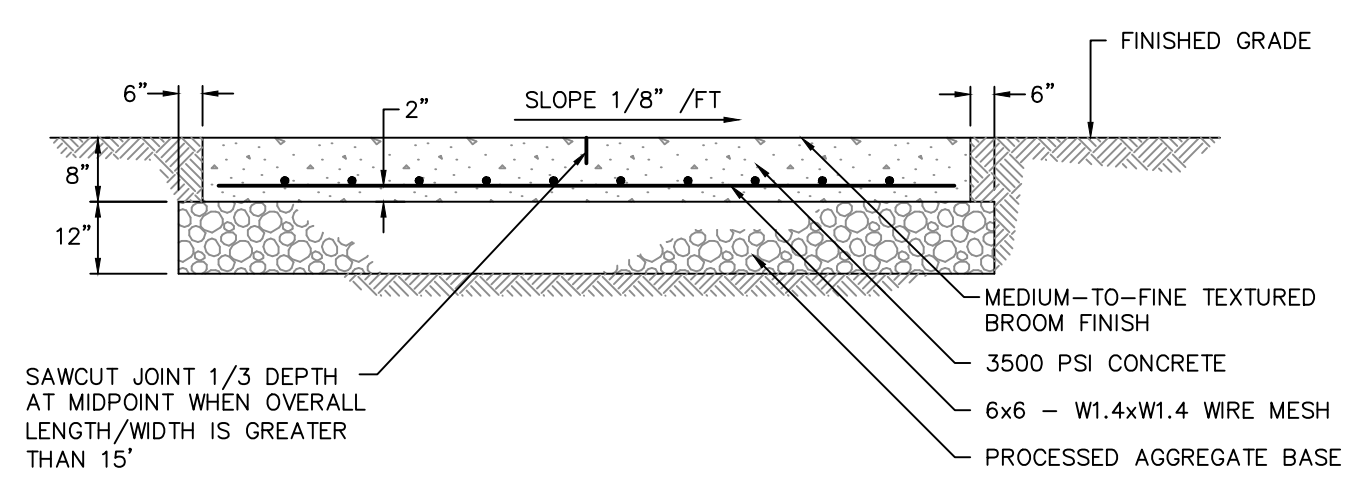
NOTES:

- ALL FENCING MATERIAL SHALL BE PVC TO THE DIMENSIONS SHOWN ON THE DRAWING.
- POSTS SHALL MAINTAIN A DEPTH OF 2'-10" IN GROUND AND SHALL BE RACKED TO ACCOMMODATE ANY CHANGES IN GRADE.
- LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. ALL POSTS AND FACING BOARDS OR SLATS SHALL BE INSTALLED PARALLEL AND PLUMB. ALL RAILS SHALL BE INSTALLED PARALLEL AND TRUE.
- ALL GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED.
- FENCE SHALL TAPER FROM 6' TO 4' HEIGHT IN SINGLE 8' PANEL WHERE INDICATED ON PLANS.

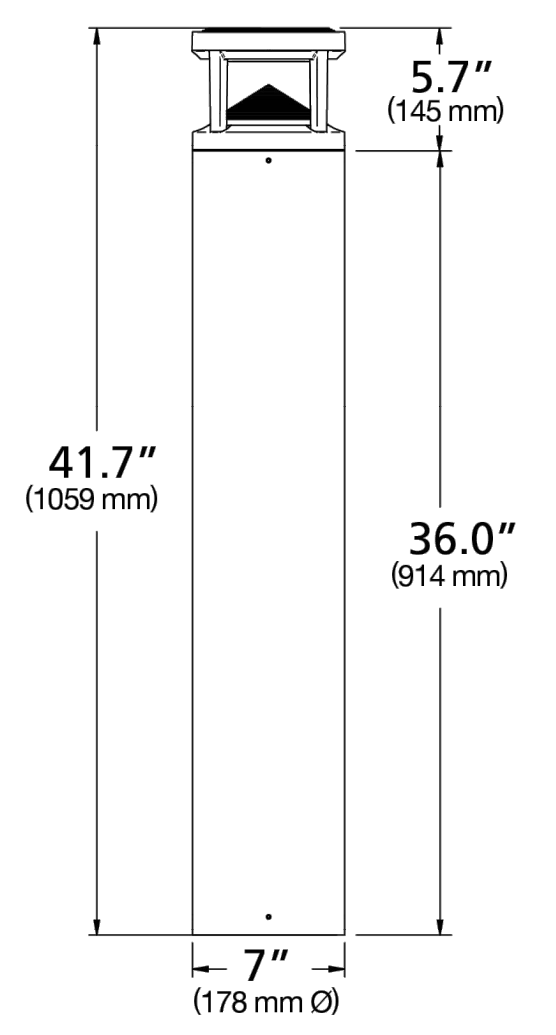
6' STOCKADE FENCE
NOT TO SCALE



6' SOLID-WALL CEDAR FENCE
NOT TO SCALE



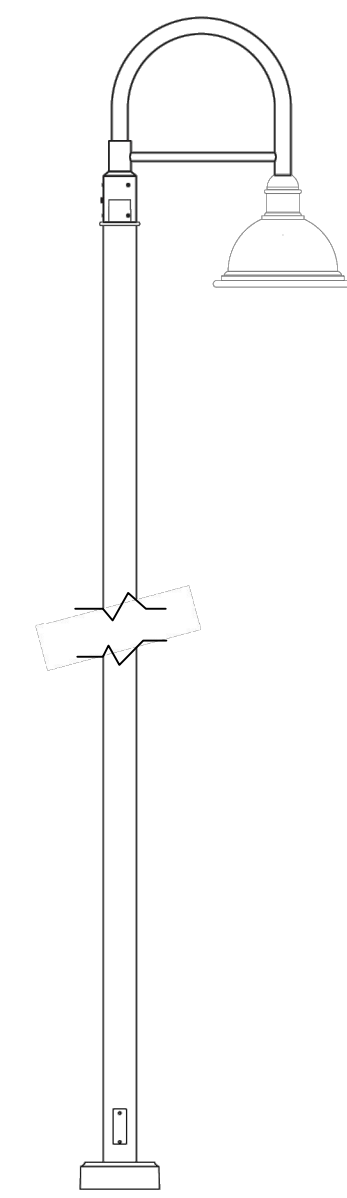
CONCRETE DUMPSTER PAD
NOT TO SCALE



NOTES:

- LIGHT BOLLARD SHALL BE PAVILION BOLLARD PATR MANUFACTURED BY KIM LIGHTING.
- BOLLARD SHALL HAVE A FLAT TOP WITH NO UPLIGHT. A LIGHT ENGINE WITH THE SPECIFICATIONS OF 22W, 4000K, 700R, AND A VOLTAGE OF 120-277V.
- FINISH SHALL BE APPROVED BY OWNER.

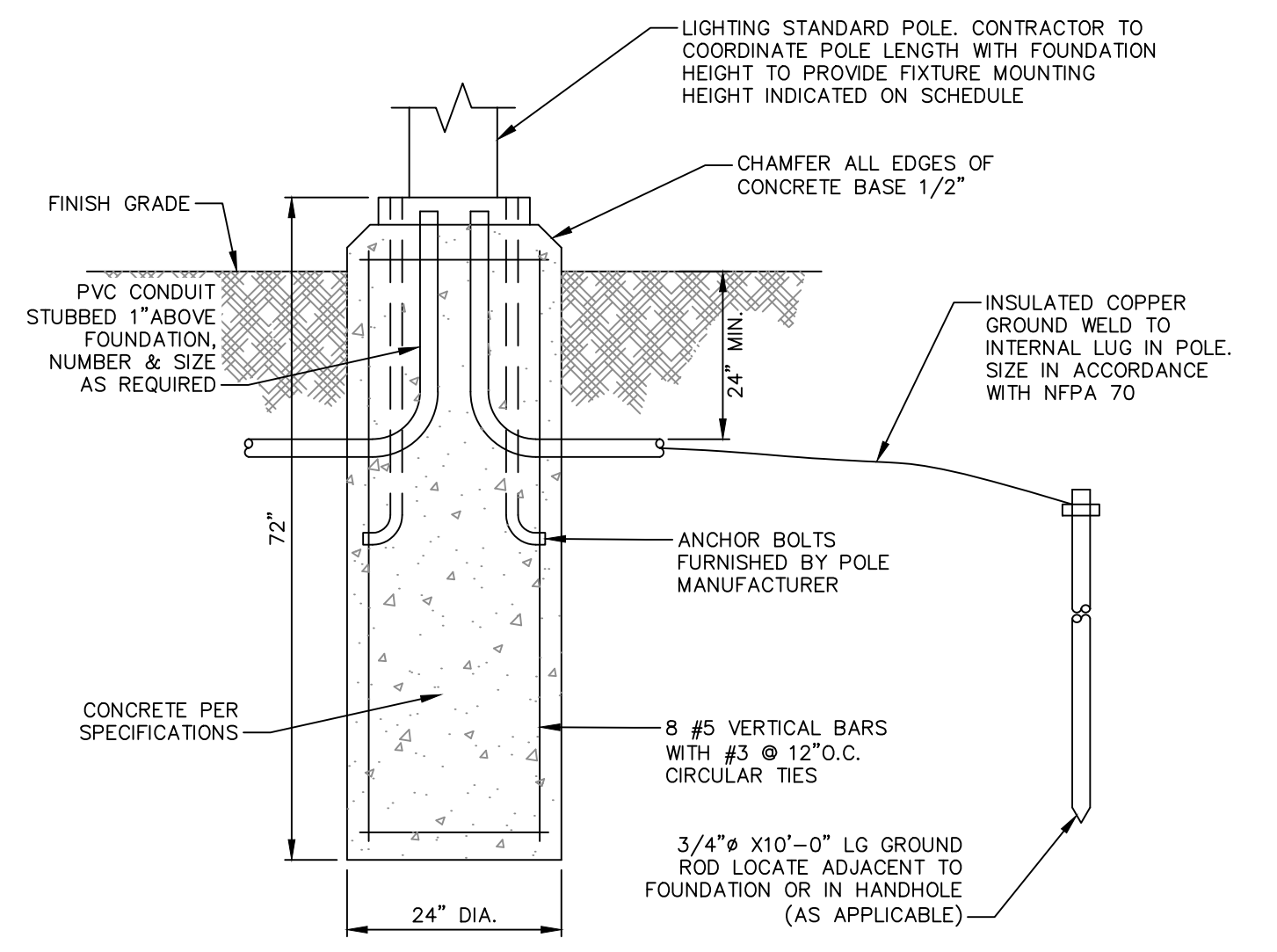
LIGHT BOLLARD
NOT TO SCALE



NOTES:

- LIGHT FIXTURE SHALL BE 152LED-R OMEGA MANUFACTURED BY STERNBERG LIGHTING.
- FIXTURE SHALL HAVE A FLAT LENS, 16L LED RATING, 40K COLOR TEMPERATURE, DISTRIBUTION TYPE T4, A DRIVER MEETING THE SPECIFICATION OF 120-277V, 180mA (MDL018), AND A BACK LIGHT OPTICAL CONTROL.
- LIGHT POLE SHALL BE 550 CONCORD MANUFACTURED BY STERNBERG LIGHTING.
- POLE SHALL BE STRAIGHT SMOOTH.
- LIGHT POLE ARM SHALL BE OES/1-OESPT MANUFACTURED BY STERNBERG LIGHTING.
- FINISH SHALL BE APPROVED BY OWNER.
- MOUNTING HEIGHT SHALL BE 12 FEET.

LIGHT POLE & FIXTURE
NOT TO SCALE



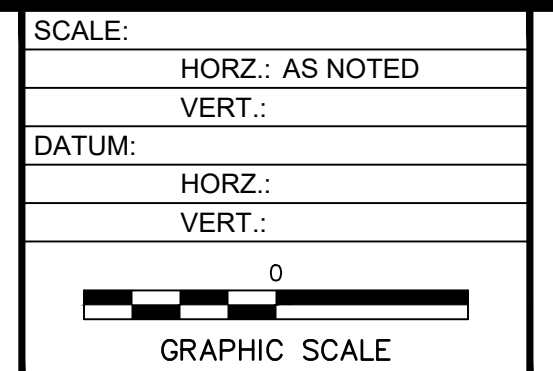
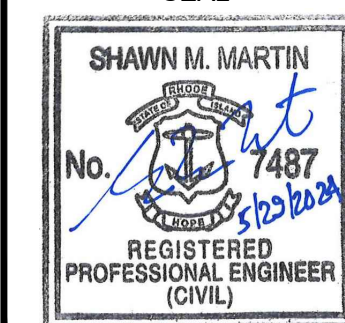
LIGHT POLE BASE
NOT TO SCALE

PLANNING BOARD APPROVAL

PLANNING BOARD CHAIR OR DESIGNEE DATE

No.	DATE	DESCRIPTION	DESIGNER	REVIEWER
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5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM

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PROVIDENCE, RI 02908
401.861.3070
www.fando.com

BRADY SULLIVAN PROPERTIES, LLC

DETAILS

BRISTOL YARN MILL

125 THAMES STREET

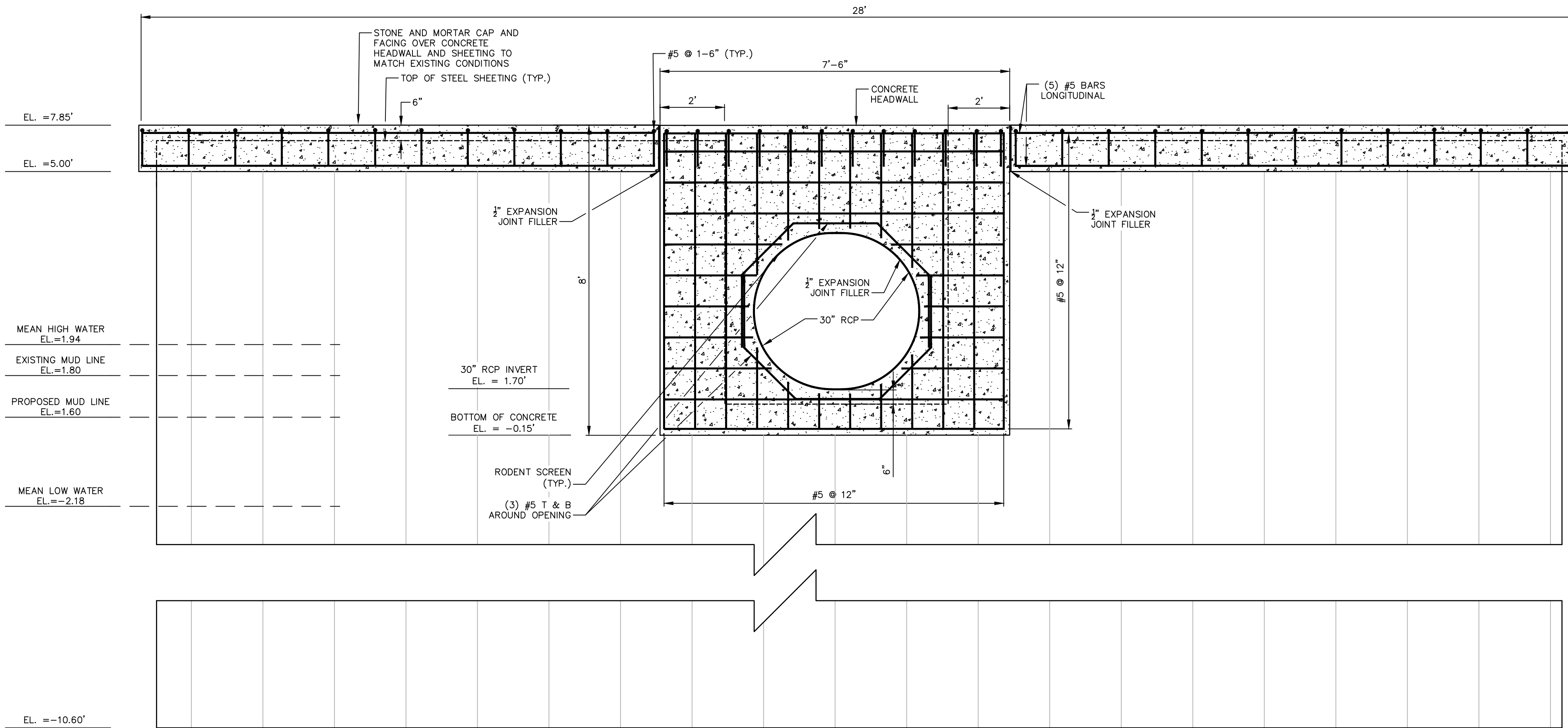
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

CD-510

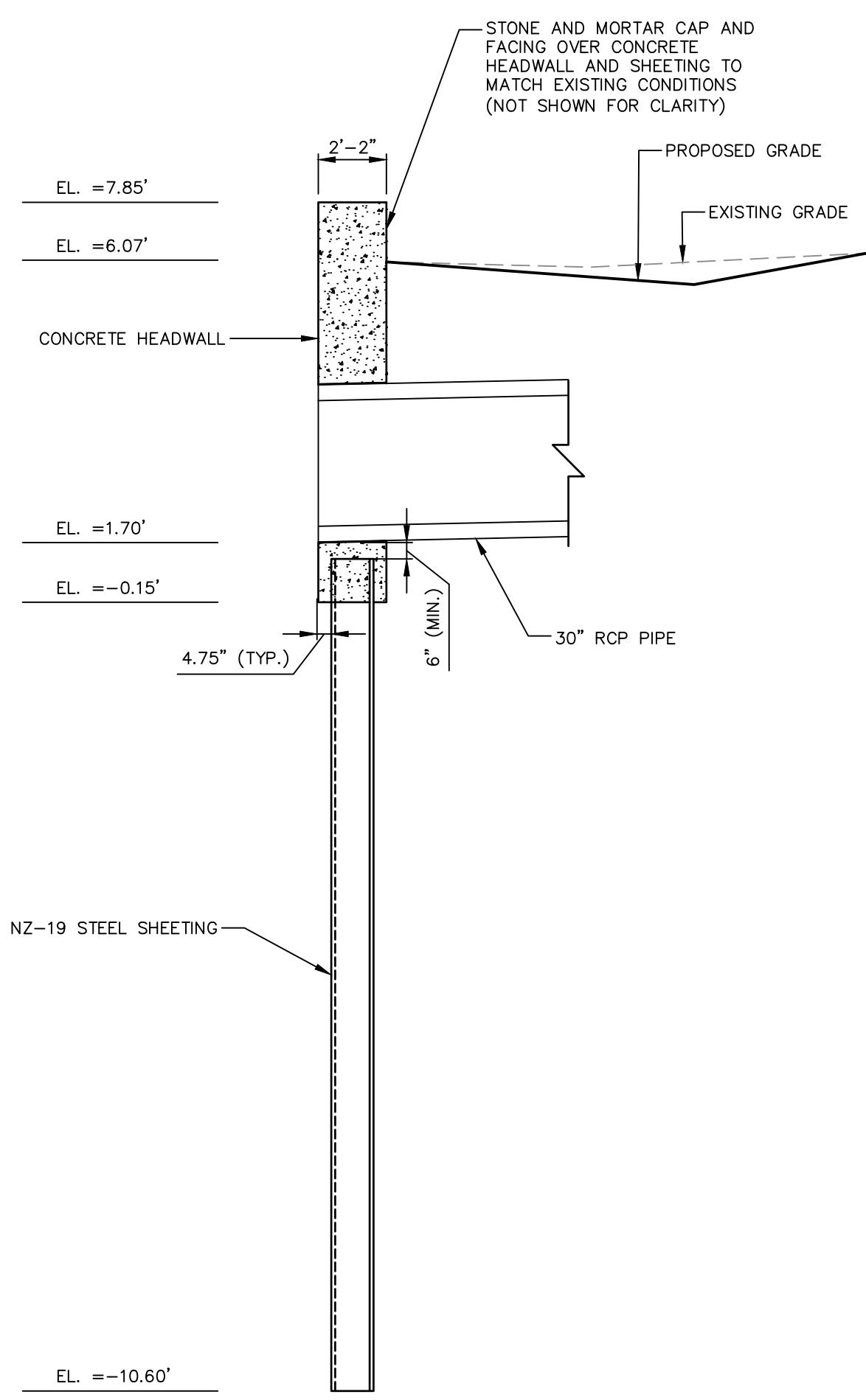
SHEET 25 OF 28

File Path: \\private\dfs\Cad\Proj\DWG\SP20061150\A22\Civil\Plan\Permitting Plans\20061150A22\Civil\Plan\Permitting Plans\20061150A22.dwg Layout: CD-511 Plotted: Wed, May 29, 2024 - 6:37 PM User: katherine.mccombs
 Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB
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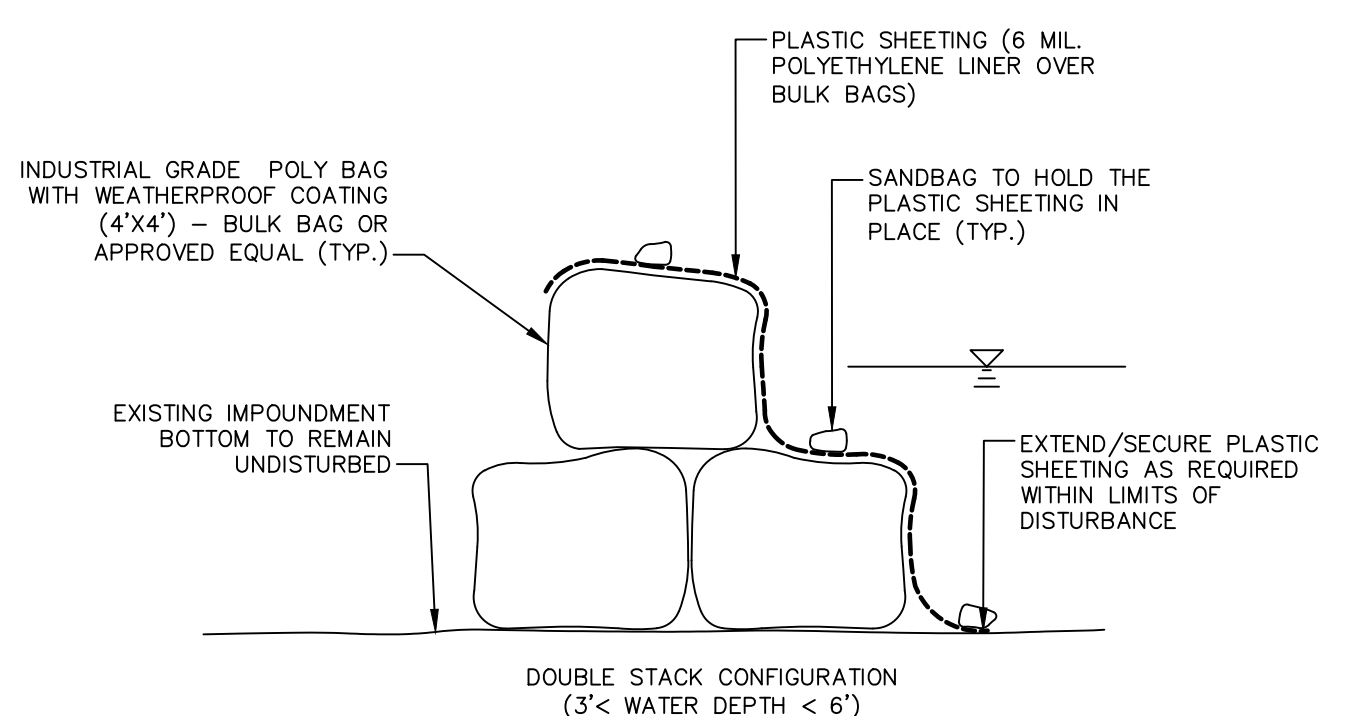


- NOTES:**
- BACKFILL SHALL BE LESS 10 PERCENT SILT CONTENT.
 - CEMENT SHALL BE TYPE 2 OR TYPE 5 AIR ENTRAINING PORTLAND CEMENT OR AN EQUIVALENT
 - CONTRACTOR SHALL PREPARE AND SUBMIT A SHOP DRAWING FOR THE FINAL DESIGN OF THE SEAWALL AND WATER MANAGEMENT SYSTEM FOR ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.
 - DESIGN SUBMITTALS SHALL BE PREPARED BY A QUALIFIED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND AND SHALL COMPLY WITH ALL RIDEM, CRMC, AND USACE REGULATIONS AND PERMIT CONDITIONS.
 - FILLING, GRADING, DREDGING, EXPANSION, OR ANY OTHER ACTIVITY NOT AUTHORIZED BY RIDEM, CRMC, OR USACE IS PROHIBITED.

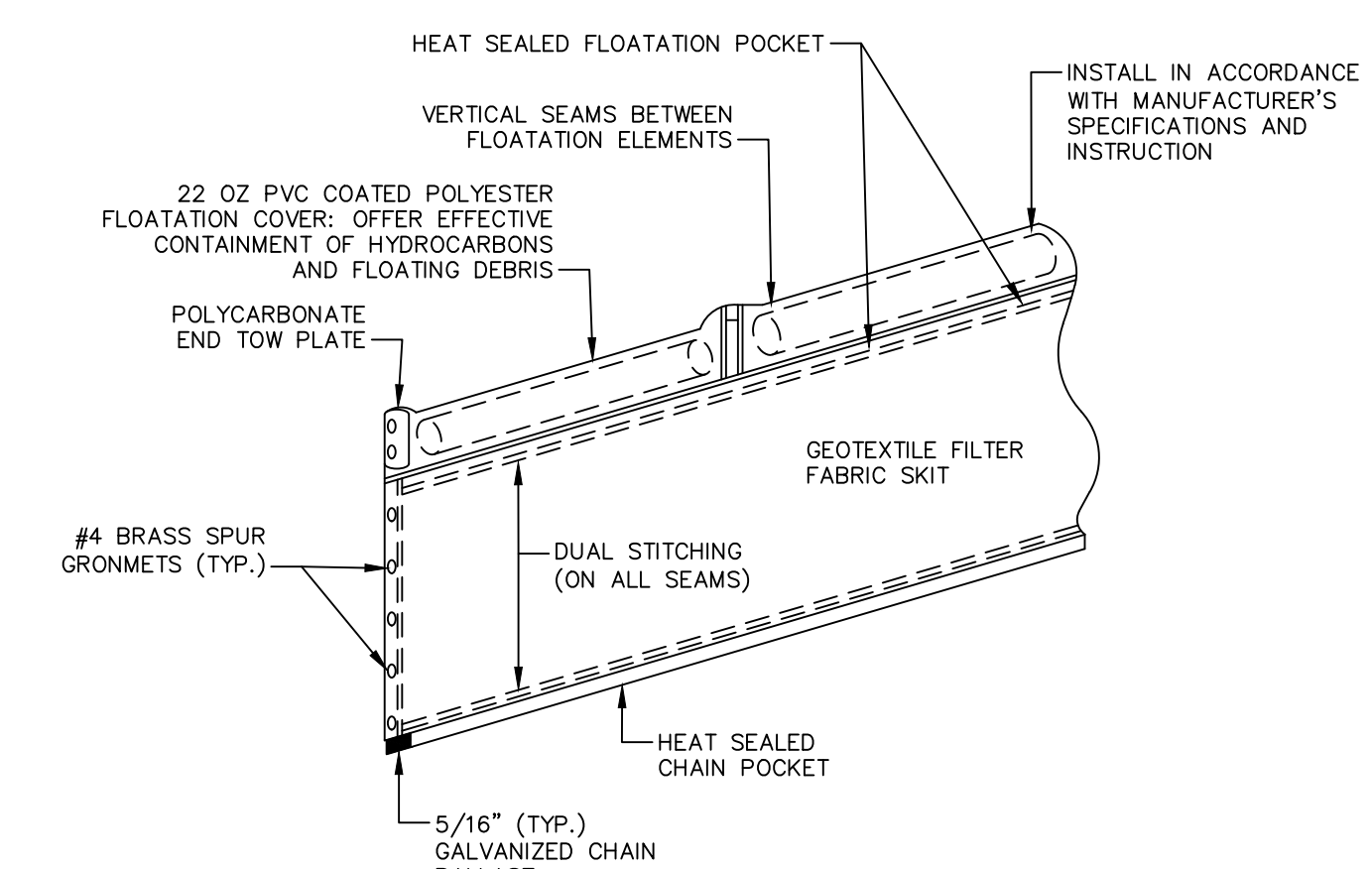
HEADWALL PROFILE
NOT TO SCALE



HEADWALL SECTION
NOT TO SCALE



TEMPORARY COFFERDAM
NOT TO SCALE



- NOTES:**
- FLOATATION SIZE (6", 8" OR 12" DIA.) DETERMINED BY SKIRT DEPTH/SITE VARIABLES.
 - OTHER END TYPES AVAILABLE SUCH AS ALUMINUM UNIVERSAL SLIDE OR SLOTTED TUBE.
 - OPTIONAL TOP TENSION CABLE (5/16" TYP.) AVAILABLE FOR INCREASED STRENGTH.

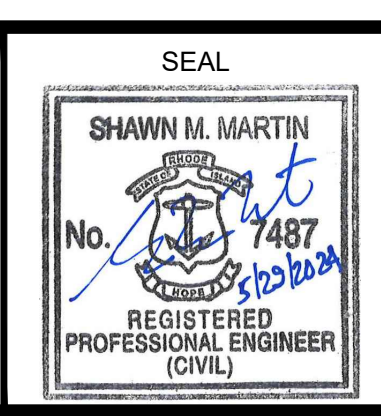
TEMPORARY TURBIDITY CURTAIN
NOT TO SCALE

PLANNING BOARD APPROVAL

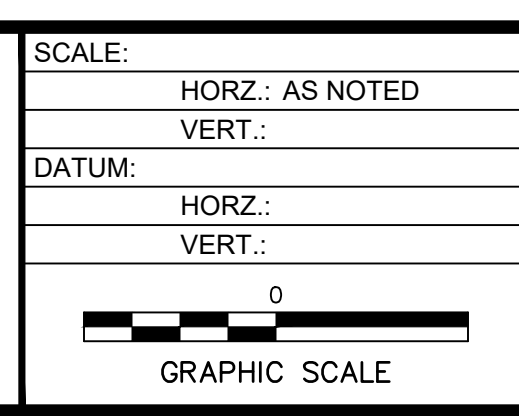
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5	7/12/23	RESPONSE TO CRMC COMMENTS	KLM/SL	SMM
4	5/19/23	RESPONSE TO TRC AND PARE COMMENTS	KLM/MH	SMM
3	3/27/23	PRELIMINARY PLAN RESPONSE TO TOWN COMMENTS	KLM	SMM
No.	DATE	DESCRIPTION	DESIGNER	REVIEWER

SEAL



SEAL



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317 IRON HORSE WAY, SUITE 204
PROVIDENCE, RI 02908
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BRADY SULLIVAN PROPERTIES, LLC

DETAILS

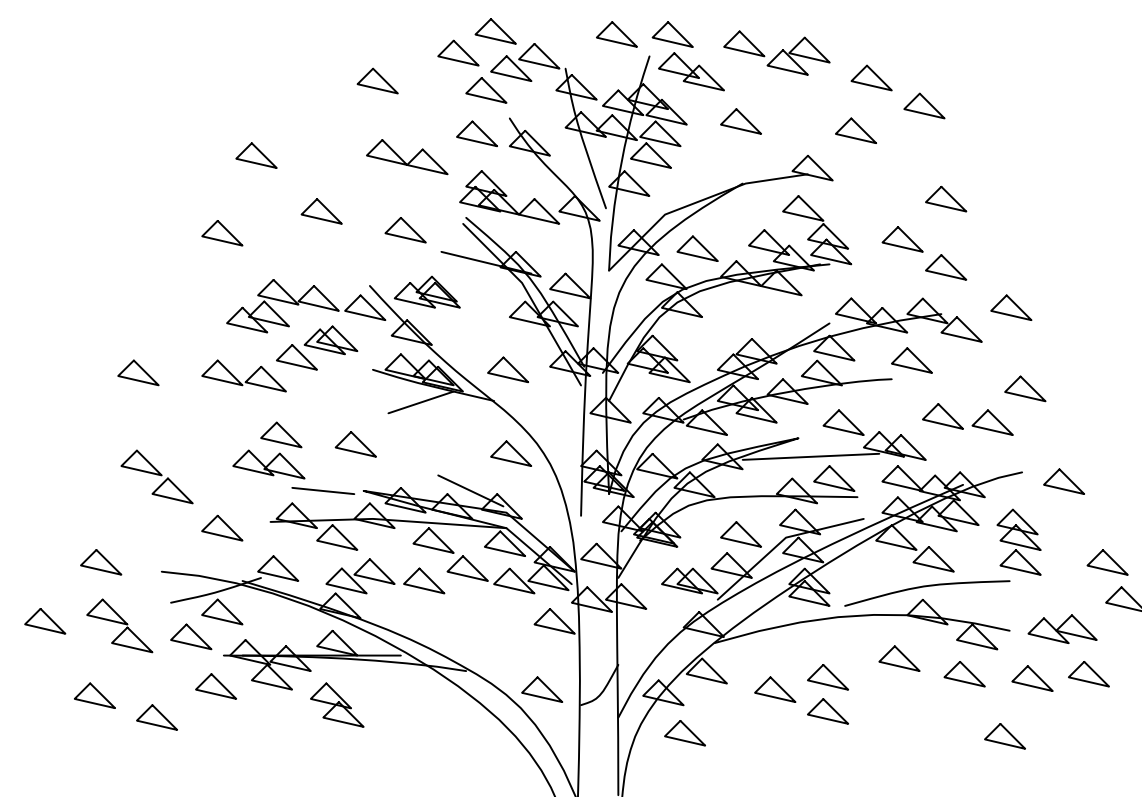
BRISTOL YARN MILL

125 THAMES STREET
BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
DATE: DECEMBER 6, 2022

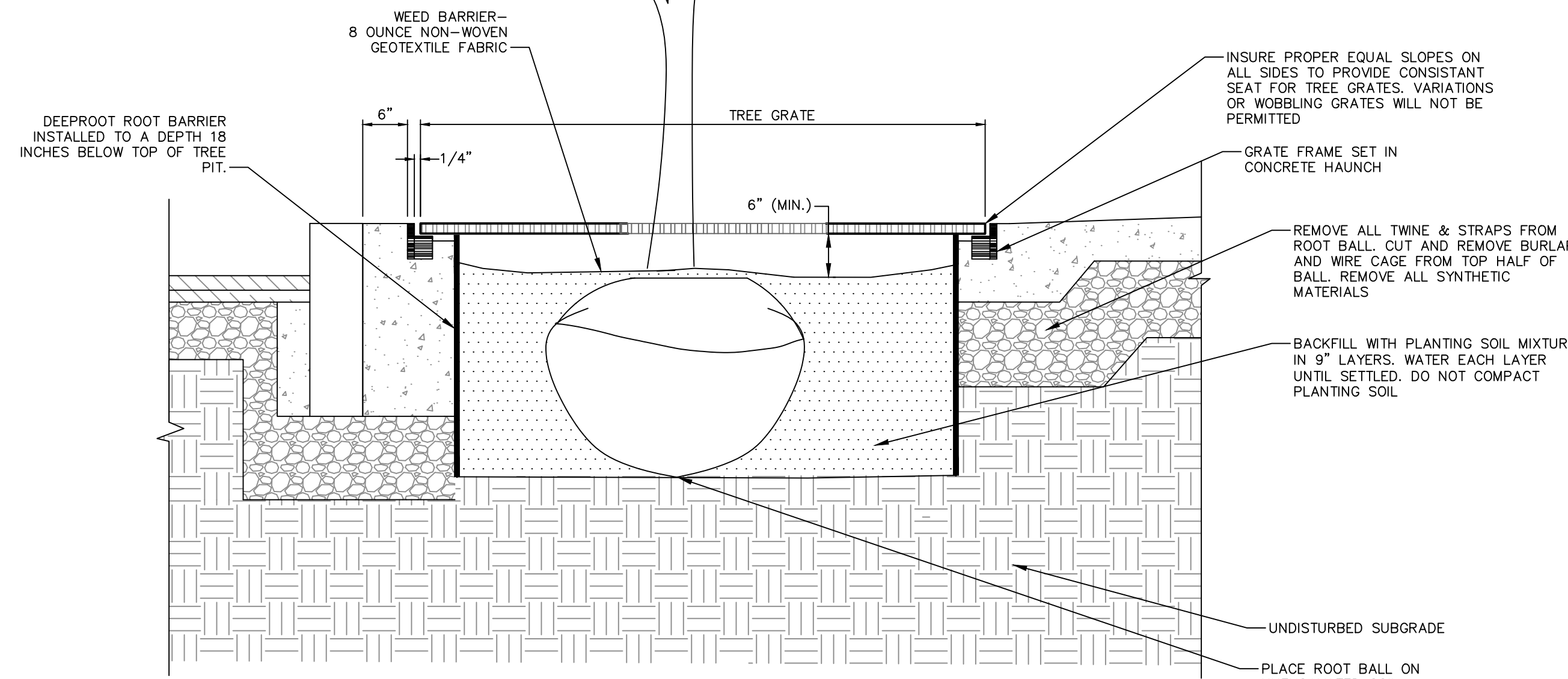
CD-511

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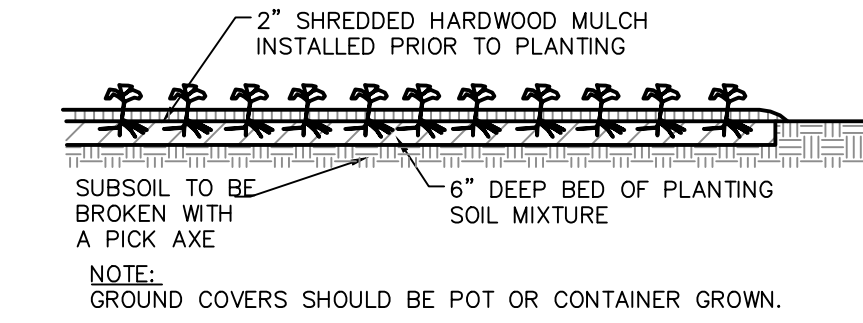
COMPANY: IRON AGE DESIGNS OR APPROVED EQUAL.
 TREE GRATE: 5'X5' INTERLAKEN
 TREE GRATE FINISH: BAKED OIL
 TELEPHONE: (877)-418-3568
 WWW.IRONAGEGRATES.COM

* INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



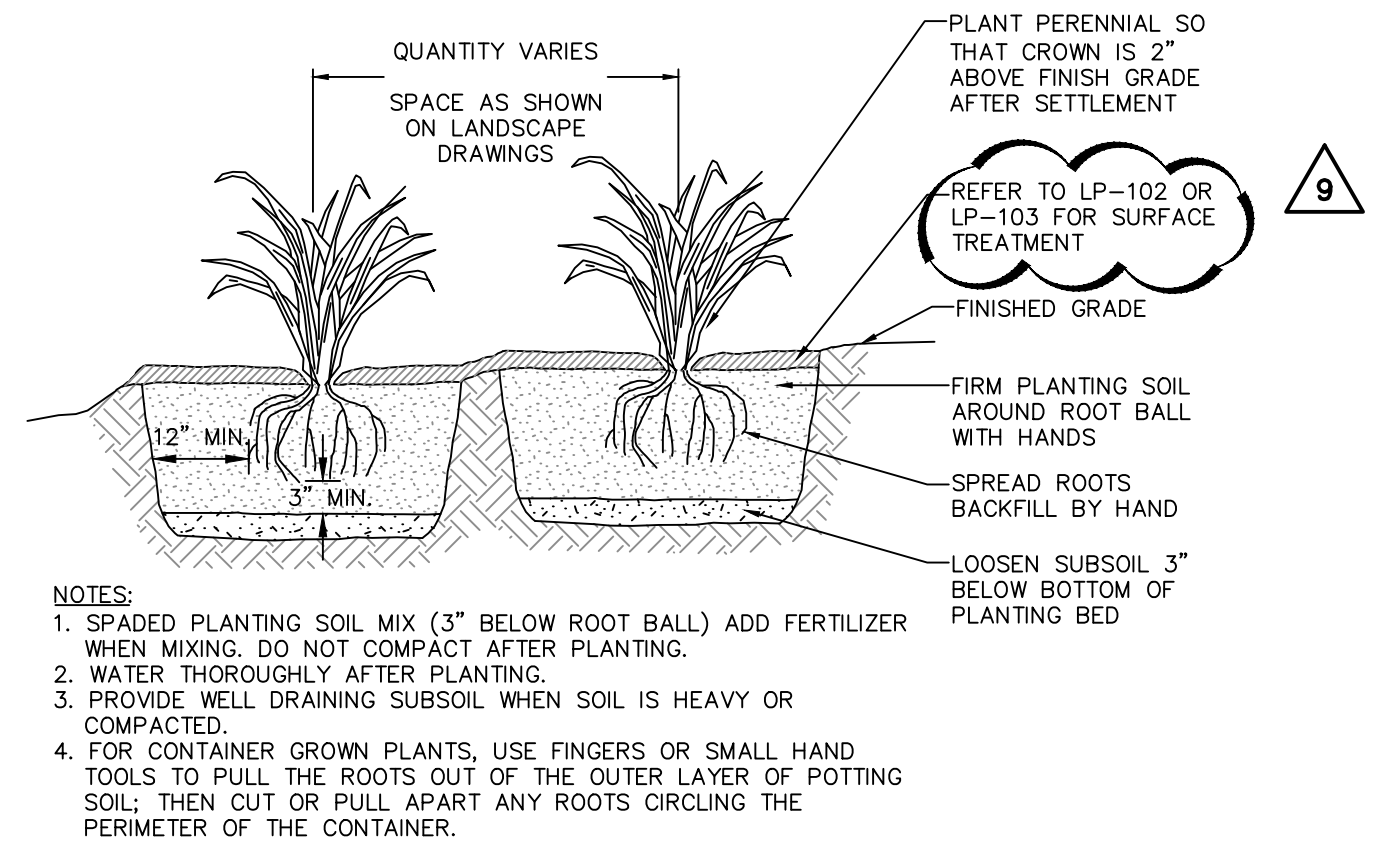
PLANTING SOIL NOTES

- SOIL MATERIAL:
 - PLANTING SOIL SHALL HAVE A SANDY LOAM, LOAMY SAND, OR LOAM TEXTURE PER USDA TEXTURAL TRIANGLE. MAXIMUM CLAY CONTENT IS <15%; SOIL MIXTURE SHALL BE 50-60% SAND; 20-30% PINE BARK MULCH; AND 20-30% TOPSOIL.
 - THE SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS, OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MIXED OR DUMPED WITHIN THE BIORETENTION THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDRANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMLUDA GRASS, QUACKGRASS, JOHNSON GRASS, MUWORT, NUTSEGE, POISON IVY, CANADIAN THISTLE, TEARTHUB, OR OTHER NOXIOUS WEEDS.
 - SOIL MIXTURE SHALL HAVE 3-5% ORGANIC MATTER BY VOLUME.
- LABORATORY TESTING:
 - SOIL MUST BE TESTED AND APPROVED AS CLEAN FILL IN ACCORDANCE WITH THE REMEDIAL ACTION WORK PLAN (RAWP) PRIOR TO IMPORTATION TO THE SITE.
 - A TEXTURAL ANALYSIS IS REQUIRED TO ENSURE THE SOIL MEETS THE FOLLOWING SPECIFICATIONS.
 - THE SOIL SHALL ALSO BE TESTED FOR THE FOLLOWING CRITERIA:
 - PH RANGE 5.2 - 7.0
 - MAGNESIUM NOT TO EXCEED 32 PPM
 - PHOSPHORUS P205 NOT TO EXCEED 69 PPM
 - POTASSIUM K20 NOT TO EXCEED 78 PPM
 - SOLUBLE SALTS NOT TO EXCEED 500 PPM
- SOIL MAY BE MODIFIED TO ADJUST PH (HIGHER) WITH LIME OR (LOWER) WITH IRON SULFATE PLUS SULFUR.

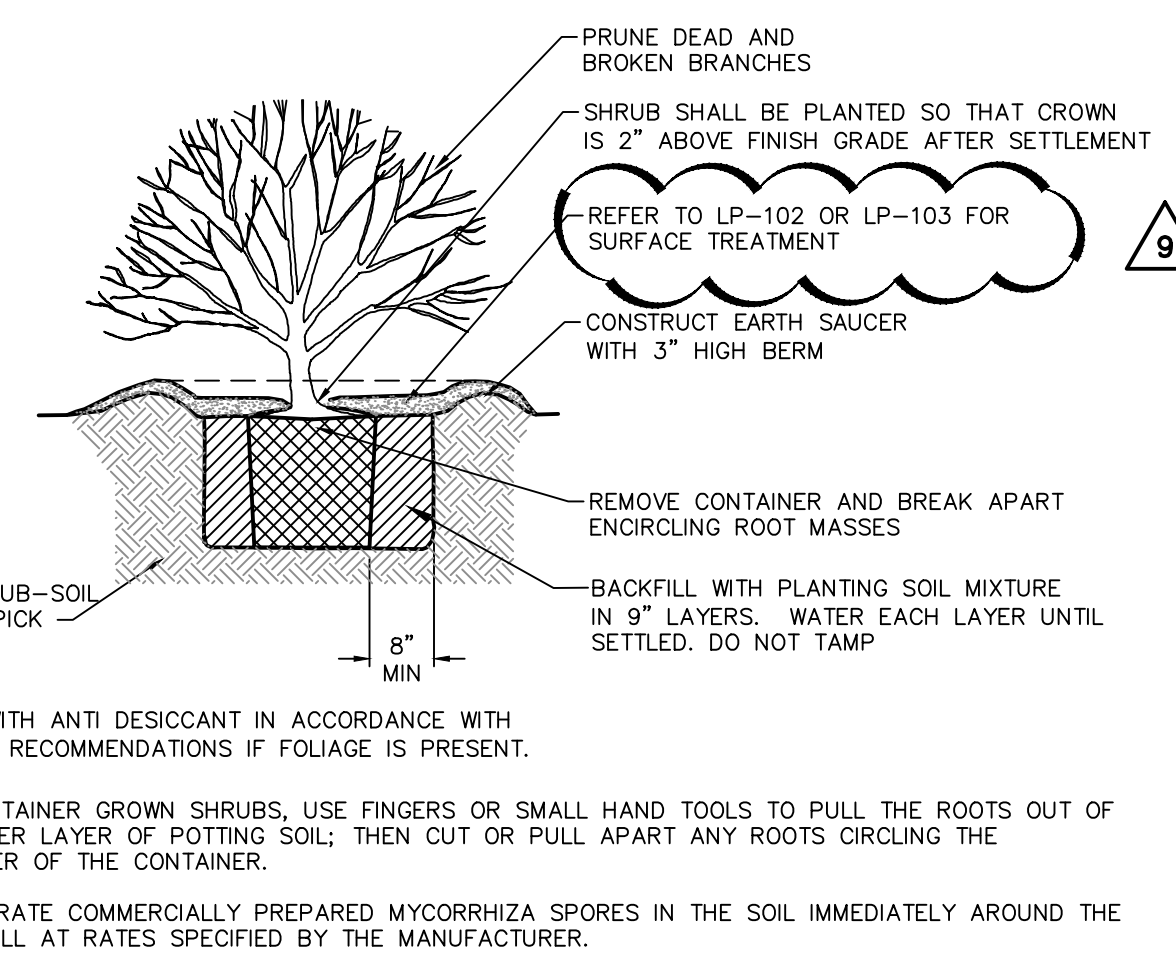


TREE PIT
NOT TO SCALE

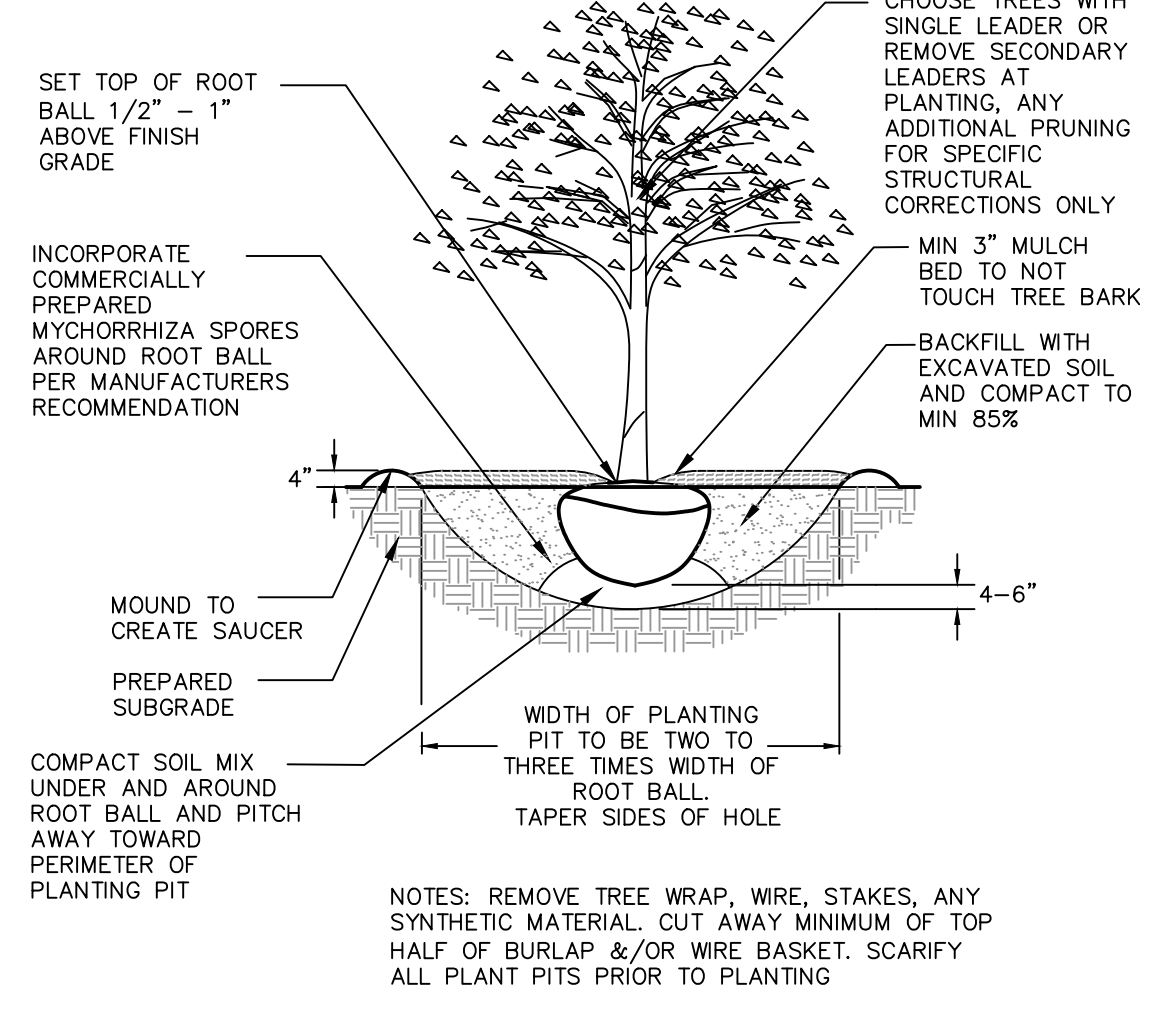
GROUNDCOVER/ANNUAL PLUG PLANTING
NOT TO SCALE



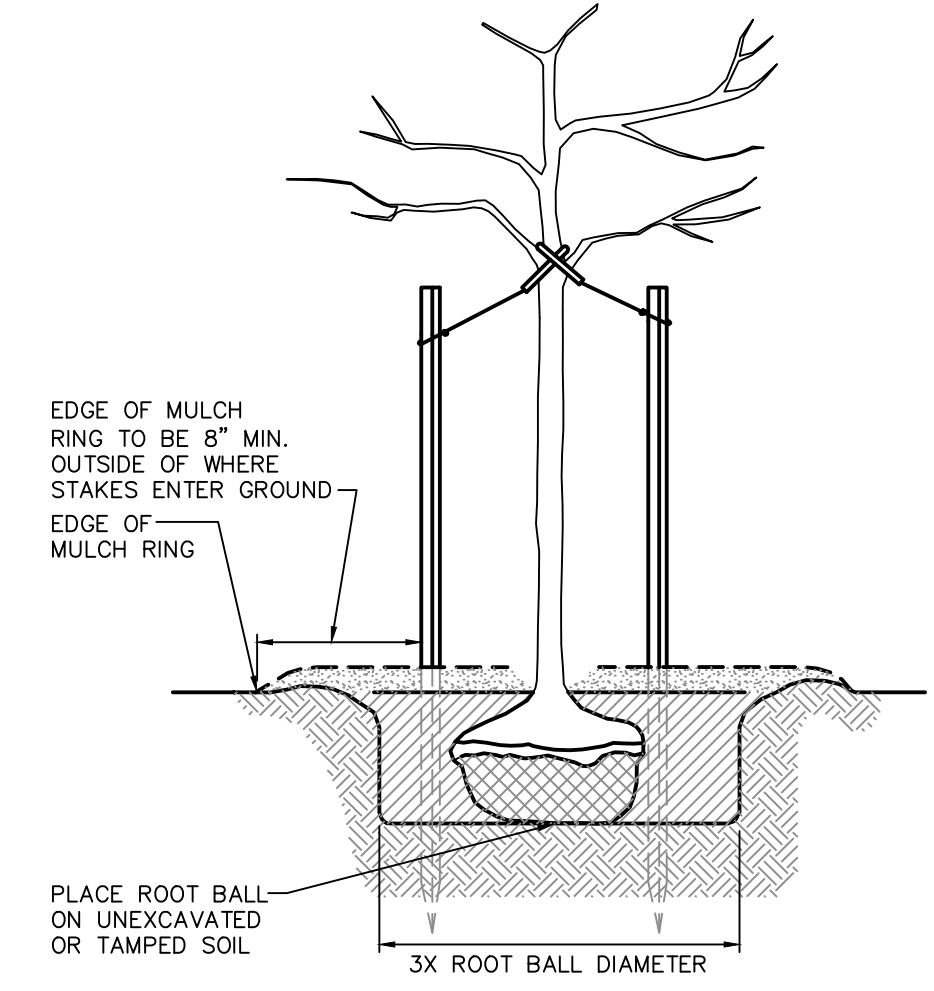
ORNAMENTAL PERENNIALS
NOT TO SCALE



SHRUB PLANTING
NOT TO SCALE



TREE PLANTING
NOT TO SCALE



STAKE DETAIL
NOT TO SCALE

PLANNING BOARD APPROVAL

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SEAL



SCALE:
 HORZ.: AS NOTED
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 GRAPHIC SCALE

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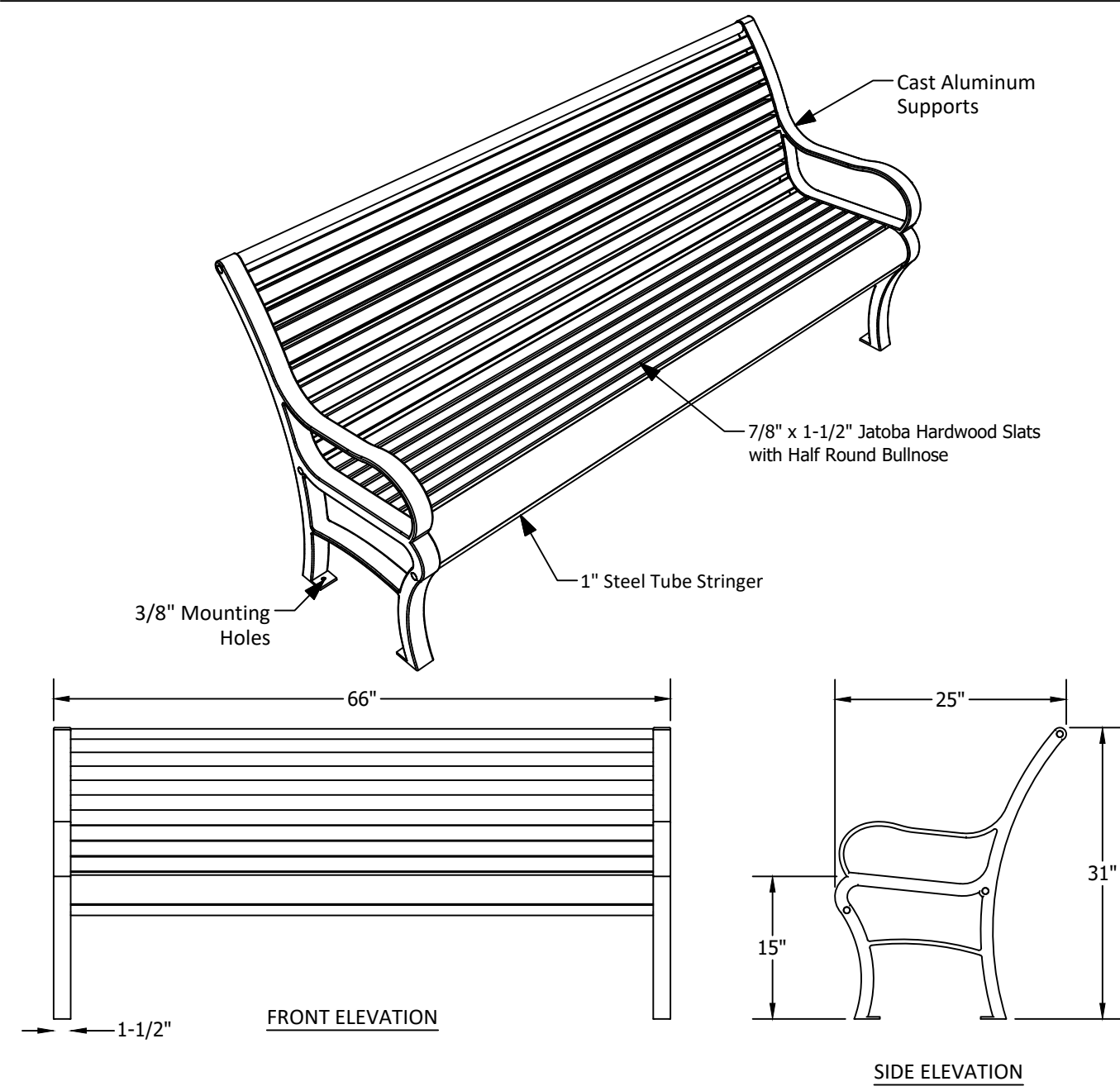
BRADY SULLIVAN PROPERTIES, LLC
 LANDSCAPING DETAILS
 BRISTOL YARN MILL
 125 THAMES STREET BRISTOL, RHODE ISLAND

PROJ. No.: 20061150.A22
 DATE: DECEMBER 6, 2022
CD-512
 SHEET 27 OF 28

File Path: \\p\private\cds\Prof\DWG\IP\20061150A22\Civil\Plan\Permitting\Plans\20061150A22.DWG Plotted: Wed, May 28, 2024 - 6:09 PM User: katherine.mccombs
 Plotter: AUTOCAD PDF (GENERAL DOCUMENTATION) PC3 CTB File: FO.STB

**Brentwood Bench
BNBR-6-BR-W**

CANTERBURY DESIGNS
5632 W. Washington Blvd. | Los Angeles, CA 90016 | 323.936.7111
Website www.canterbury-designs.com | E-mail: info@canterbury-designs.com

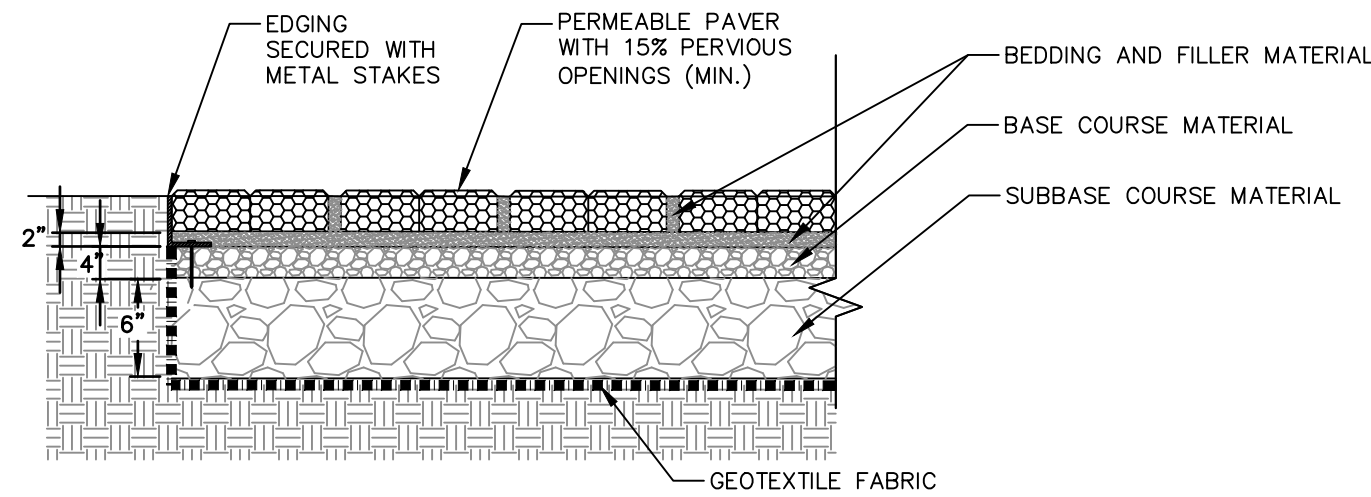


NOTES:

- All metal components are sandblasted, cleaned, and finished with zinc epoxy primer and polyester powder coat.
- Mounting holes are 3/8" diameter; we do not recommend pre-drilling bolt hole locations (anchor bolts not provided).
- Other lengths and hardwood seating options (e.g., Ipe, Purpleheart) available upon request.
- Support castings available in aluminum or iron.

BENCH

NOT TO SCALE

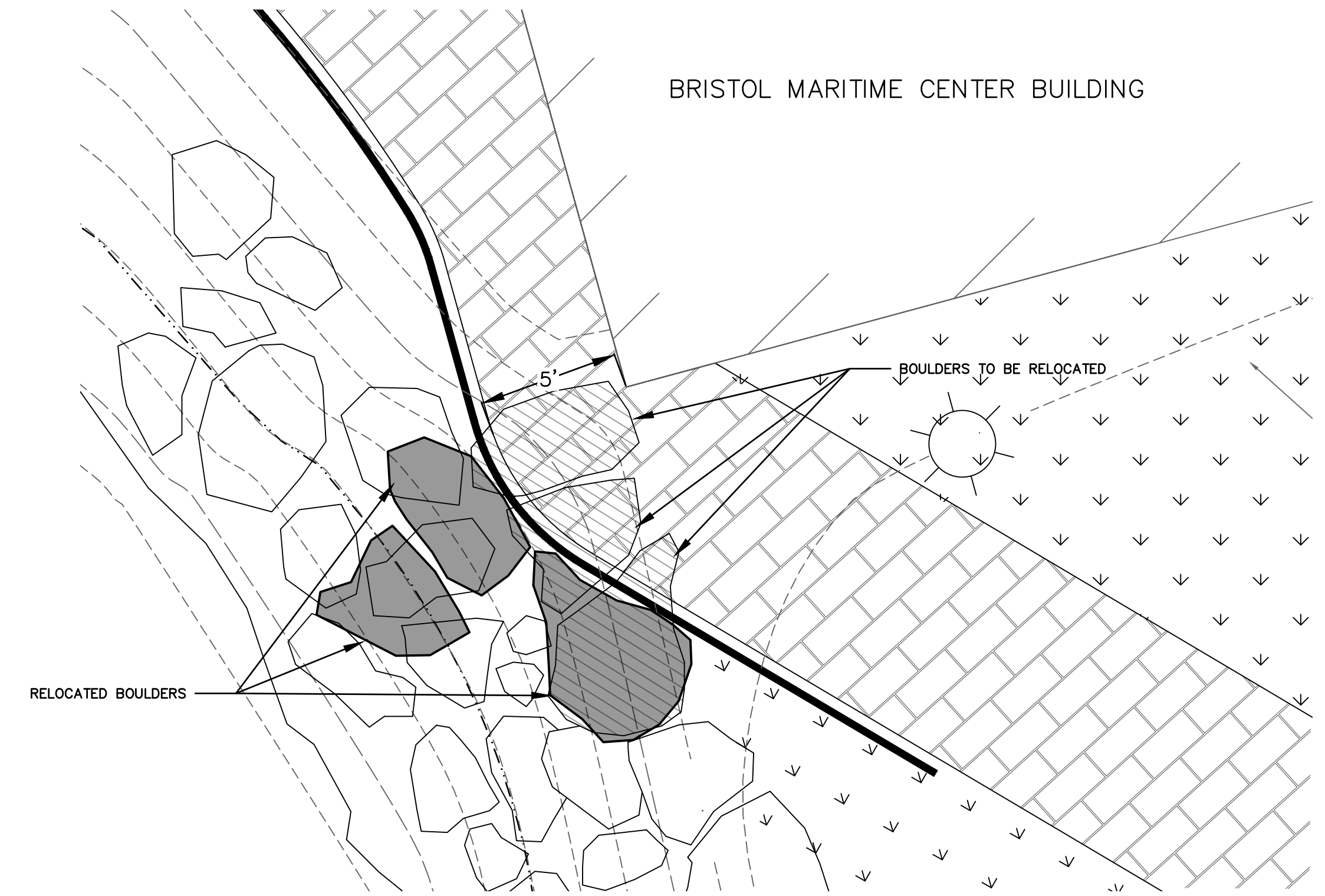


NOTES:

- BEDDING AND FILLER MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 6 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS. COMPACT BEDDING AND FILLER MATERIAL WITH A 5,000 LB. PLATE COMPACTOR.
- BASE COURSE MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 5 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS.
- SUBBASE COURSE MATERIAL SHALL CONFORM WITH TABLE 1 COLUMN 2 OF SECTION M.01.09 OF THE STANDARD SPECIFICATIONS.
- GEOTEXTILE FABRIC SHALL BE NON-WOVEN FILAMENT POLYPROPYLENE WITH MINIMUM PUNCTURE STRENGTH OF 120 POUNDS.

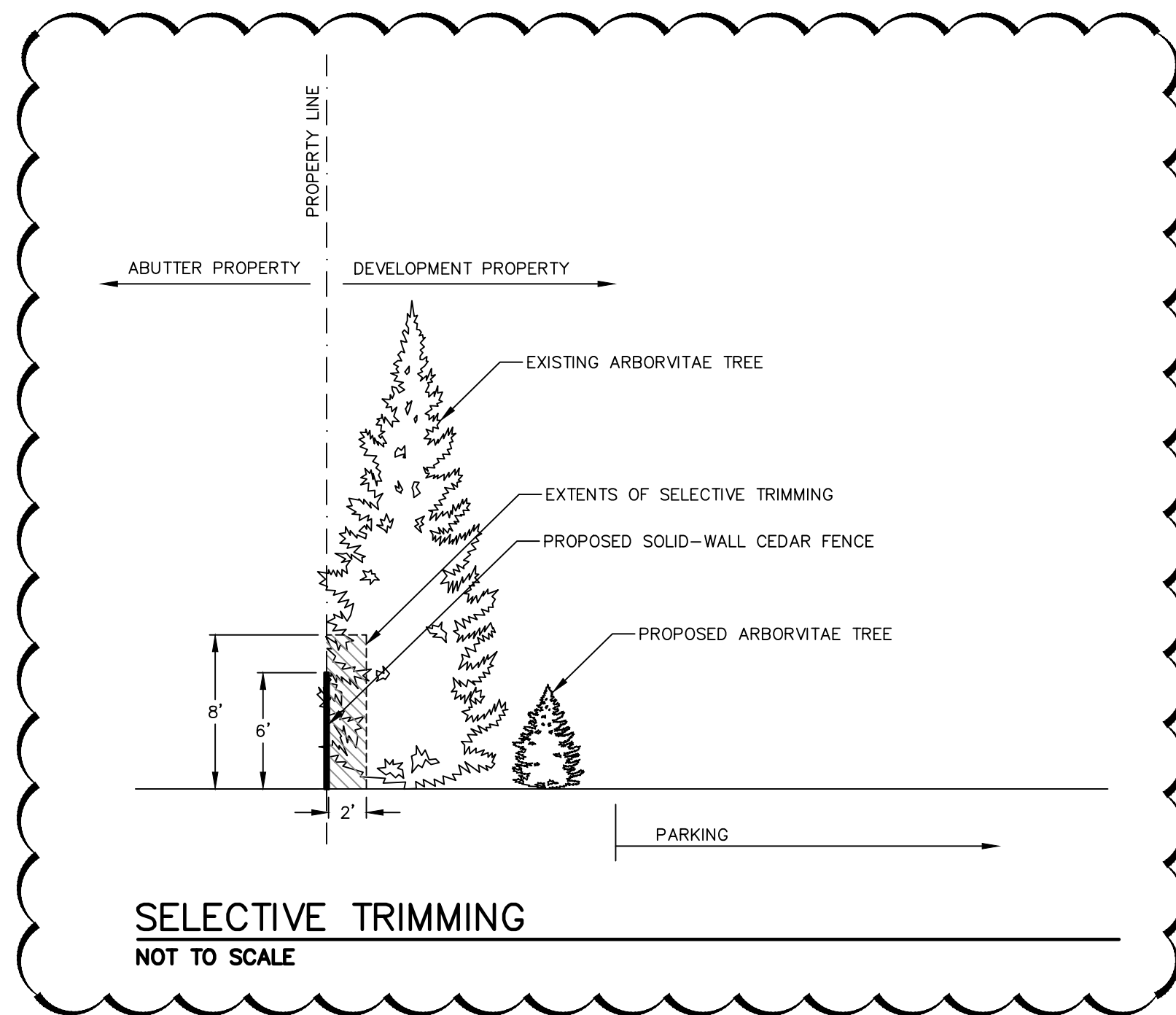
PERVIOUS PAVER WALKWAY

NOT TO SCALE



PERVIOUS PAVER WALKWAY AT BRISTOL MARITIME CENTER BUILDING

NOT TO SCALE



SELECTIVE TRIMMING

NOT TO SCALE

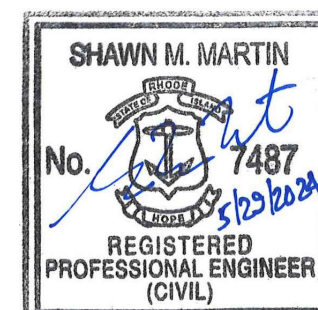
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SEAL

SEAL



SCALE:

HORZ.: AS NOTED

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VERT.:



GRAPHIC SCALE



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CD-513

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