



**Town of Bristol, Rhode Island**  
**Zoning Board of Review**

10 Court Street  
Bristol, RI 02809  
401-253-7000  
www.bristolri.gov

File #2023-27

**PUBLIC HEARING**

Notice is hereby given by the Zoning Board of Review  
that a public hearing will be held on the following application:

**Monday, September 18, 2023**  
**at 7:00 P.M.**  
**Bristol Town Hall**  
**10 Court Street**

APPLICANT: **Robert M. Kreft**  
PROPERTY OWNER: **Robert M. Kreft / Robert M. Kreft 2020 Trust**  
LOCATION: **22 Wall Street**  
PLAT: **33** LOT: **17**  
ZONE: **Residential R-6**

APPLICANT IS REQUESTING **DIMENSIONAL VARIANCES TO: construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district.**

Edward M. Tanner,  
Principal Planner / Zoning Enforcement Officer

Scanned copies of all applications and supporting materials will be available on the Town of Bristol web site at <https://www.bristolri.gov/government/boards/zoning-board-of-review/>. If you have any comments regarding this petition, but are unable to attend, you may submit your comments in writing to the Zoning Board via regular mail addressed to: Zoning Board of Review, Bristol Town Hall, 10 Court Street, Bristol, RI 02809 or via email to [etanner@bristolri.gov](mailto:etanner@bristolri.gov). Written comments should be received no later than 12:00 p.m. on Thursday, September 14, 2023.



**Town of Bristol, Rhode Island**  
**Department of Community Development**

10 Court Street  
Bristol, RI 02809  
www.bristolri.gov  
401-253-7000

October 25, 2023

**TO:** Zoning Board of Review  
**FROM:** Edward M. Tanner, Zoning Officer  
**RE:** *Application of Robert Kreft*  
*22 Wall Street*

*EMT*

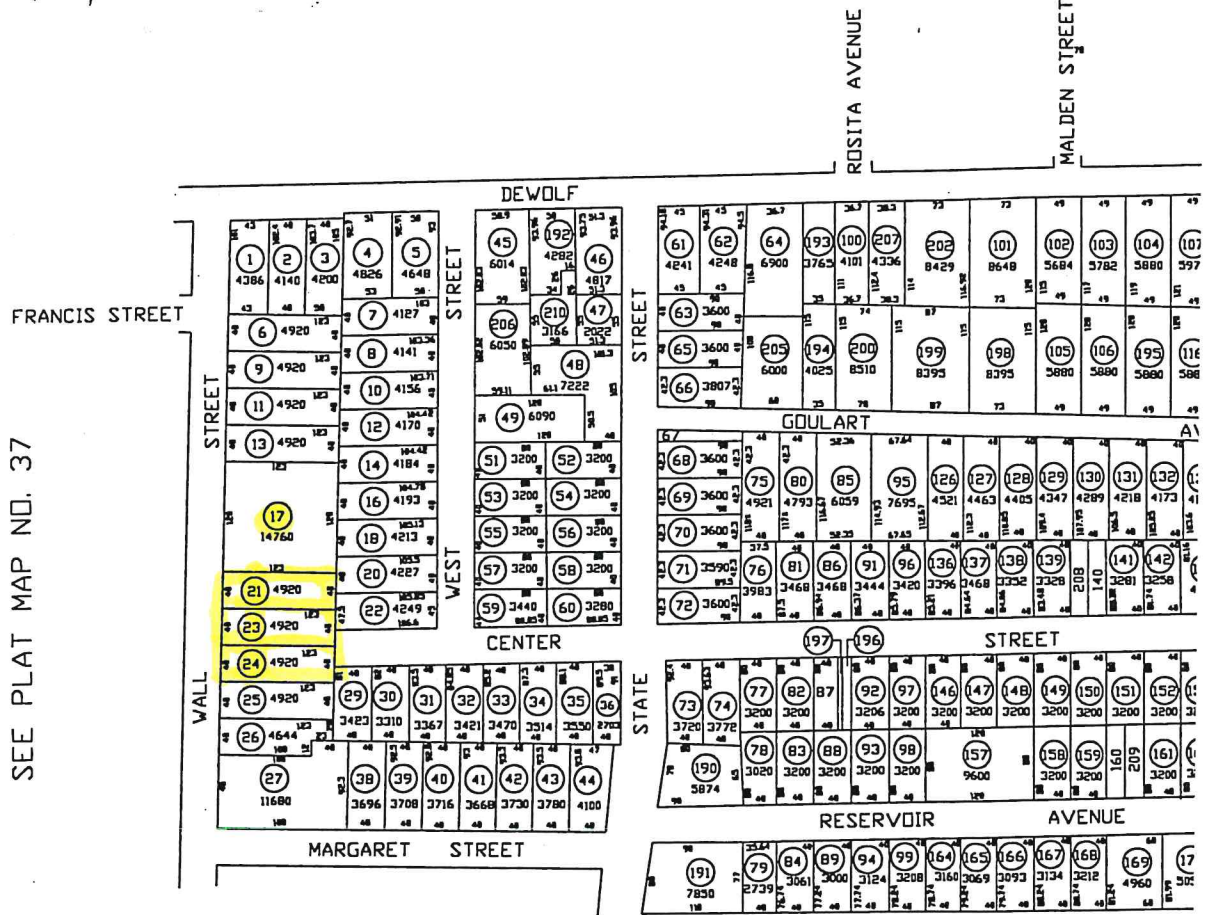
I am writing in response to the zoning board's request for additional information relative to the merger of Assessor's Lots 17 and 21 on Plat 33 (a.k.a. 22 Wall Street).

- In the early 2000's lots 21, 23 & 24 on the south side of Wall Street and the north side of Center Street were three separate Assessor's lots (originally created in the early 1900's), and they were occupied by a commercial tavern/bar and its associated parking. See **attached** assessor's map and GIS aerial photo map from circa 2006 and 2008 respectively.
- In September 2006, the Planning Board approved a subdivision of the three lots listed above in which lot 23 was split between lots 21 and 24. The resulting two lots each contained 7,380 square feet of land area and met the minimum dimensional requirements for a buildable lot in the R-6 zoning district. See **attached** assessor's map from 2010 showing this lot configuration and **attached** Zoning Certificate from 2018 stating that lot 21 is a buildable lot.
- In May 2013, Robert Kreft purchased lot 17, with the existing multi-family dwelling known as 22 Wall Street.
- In August 2018, Robert Kreft purchased the vacant lot 21 from Wood Frame Structures, Inc.
- In December 2020, Robert Kreft filed a Real Estate Lot Merger Declaration with the Tax Assessor formally merging lot 21 into lot 17 (see copy **attached**). Since that time, these previously separate lots have been considered one property totaling 22,140 square feet of land area.
- In July 2021, Robert Kreft submitted an application for a dimensional variance to the zoning board (File #2021-31) proposing construction of an accessory garage structure on the vacant portion of the property that was formerly lot 21. This petition was denied by the zoning board.
- In July 2023, Robert Kreft submitted the current application for dimensional variances to construct an accessory garage structure with a different size and configuration from the previous petition.

Should you have any questions pertaining to this matter, please feel free to contact me.

SEE PLAT MAP NO. 45

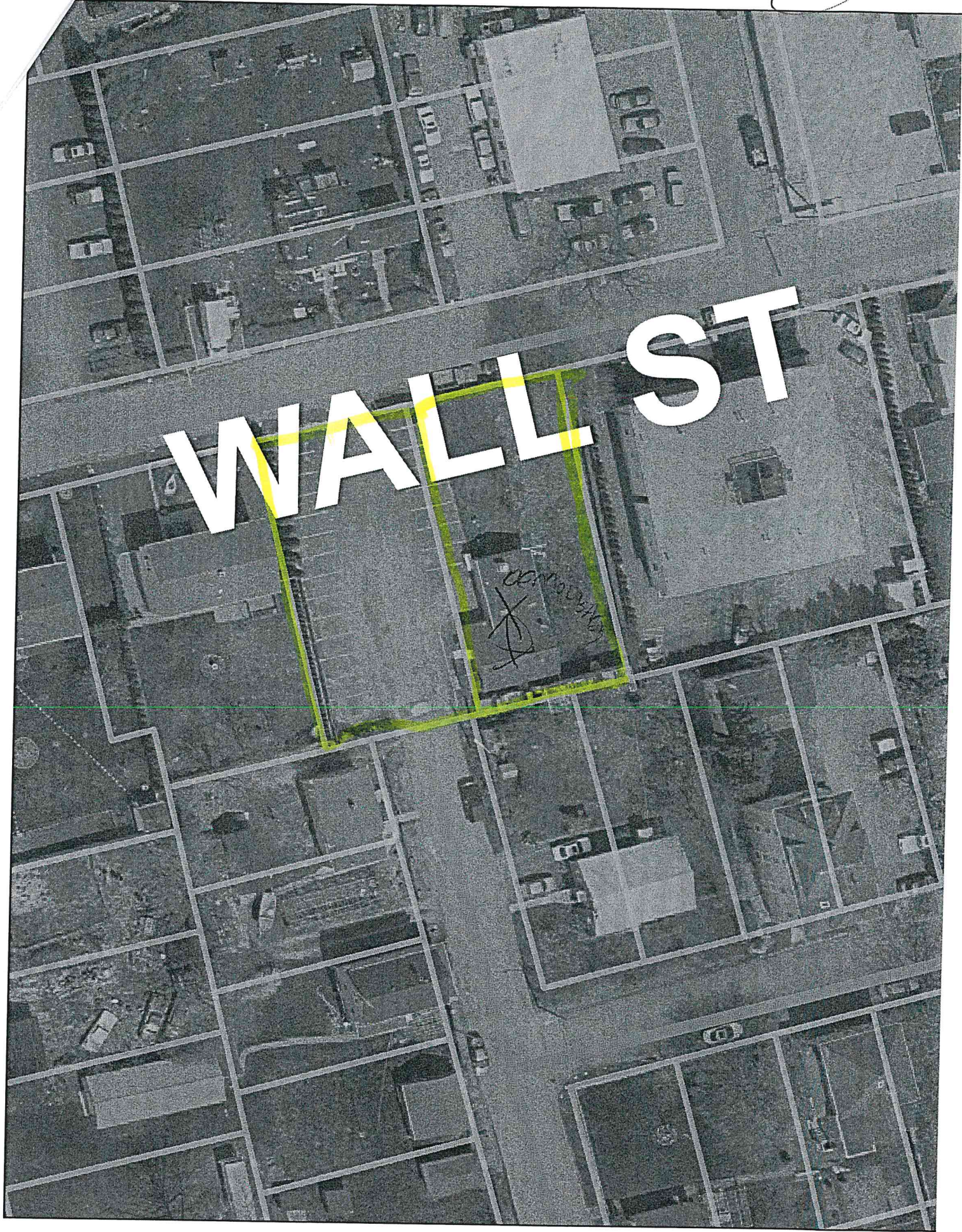
SEE PLAT MAP NO. 44

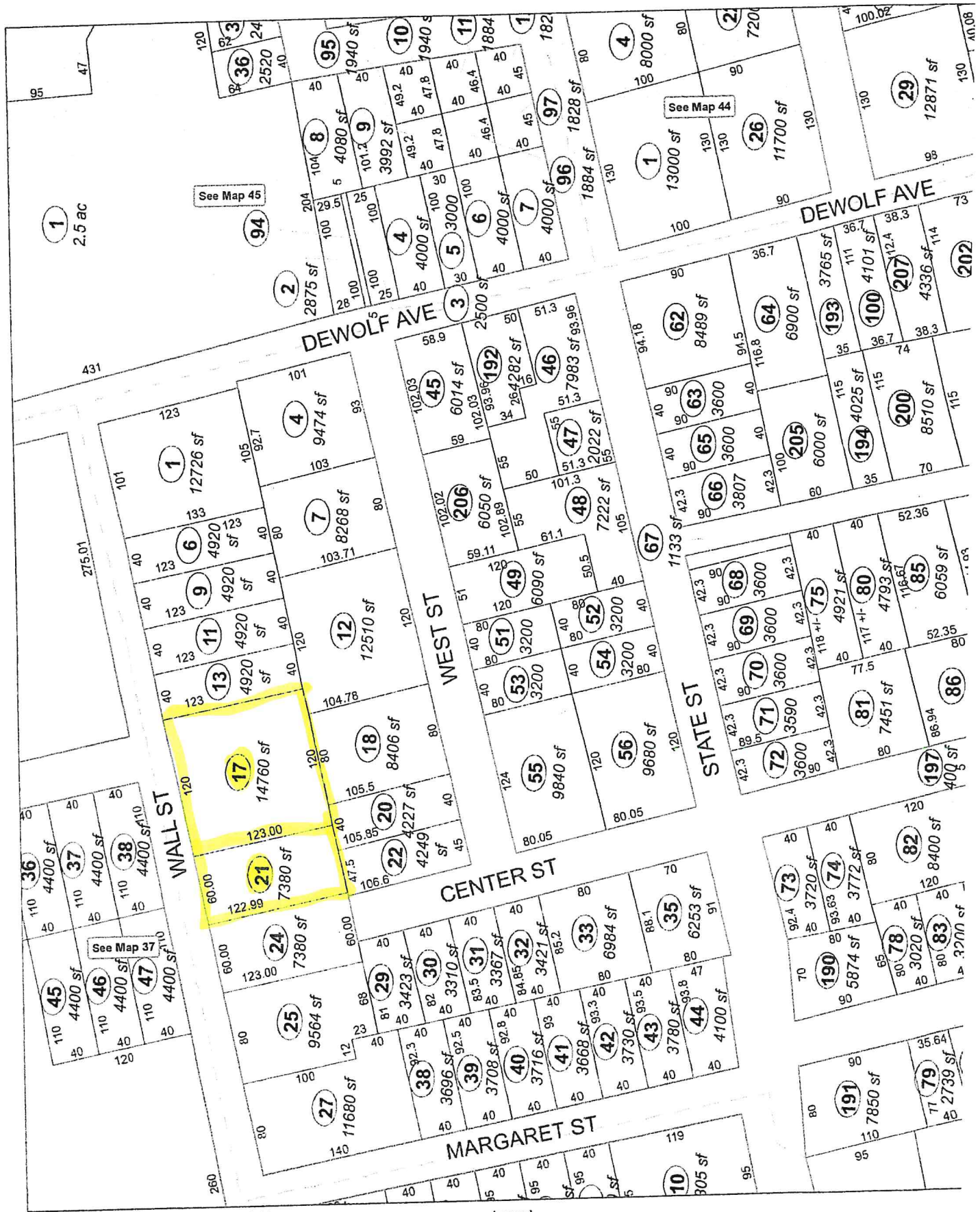


SEE PLAT MAP NO. 30

2006

2008





**Disclaimer**  
This Parcel Data is provided as a general information tool only. It is not intended to be used for legal purposes. The information on this map was compiled from the Town of Bristol's GIS Database, which was compiled from various sources, including deeds, existing GIS data, Survey records and other public records. The Town of Bristol, Maine, and MainStreetGIS LLC assume no responsibility for the accuracy of any information on this map.

**Legend**

- Leadline — Paper Street
- Property Line — ROW
- Bluff — Survey Line
- Bridge — Town Boundary
- Macchine — Water Boundary
- Historic Lot Line — Stream
- Water Body — Paper Street
- Easement — Tax map boundary
- Property on adjacent tax map

**TOW**

21 Lot Area  
14,812



TOWN OF BRISTOL  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
10 Court Street • Bristol, Rhode Island 02809

*ZONING CERTIFICATE*

May 4, 2018

TO: WHOM IT MAY CONCERN

RE: Wall Street  
Assessor's Plat 33, Lot 21  
Zoned Residential R-6

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The lot referenced above is a vacant parcel consisting of approximately 7,380 square feet of land area located on the southerly side of Wall Street. This lot was created in its current configuration via an approved and recorded subdivision plan in September 2006. Lot 21 meets the dimensional requirements for a buildable lot in the R-6 zoning district. Thus, **lot 21 is a buildable lot** and may be improved with a single-family dwelling.

The construction of any dwelling on lot 21 would be required to conform to the following minimum property line setbacks for the R-6 zoning district:

Front Yard Setback: 20 feet or average of the block (whichever is less)  
Rear Yard Setback: 20 feet  
Side Yard Setbacks: 10 feet

Edward M. Tanner  
Principal Planner / Zoning Enforcement Officer

cc: Building Department  
Tax Assessor

### Town of Bristol, Rhode Island Real Estate Merging Declaration

Name: Kreft, Robert M., Trustee  
Robert M. Kreft 2020 Trust  
Property: 22 Wall St  
Bristol, RI 02809

Pursuant to Town of Bristol Ordinance 28-221, the undersigned, as property owner/s of contiguous parcels known as Assessors Plat 033 lots 0017 and 0021 declare/s the lots herein listed to be one parcel with a total of 22,140 square feet.

This declaration is made with the full knowledge that all Town records for assessing purposes will forever reflect this change, and will only be changed or altered through the recording of a subdivision plan, properly approved by the Town of Bristol.

All valuations to be as of December 31, 2020 and subsequent revaluation anniversaries.

Owner/s

*Robert M. Kreft*  
\_\_\_\_\_

STATE OF RHODE ISLAND

COUNTY OF BRISTOL

In Bristol this 9 day of December, 2020 before me personally appeared ROBERT M KREFT to me known and known by me to be the person/s executing the foregoing and said person/s acknowledge this instrument to be their free act and deed.

*Catherine A Marshall* \_\_\_\_\_ *12/9/2020*  
Notary Public Date

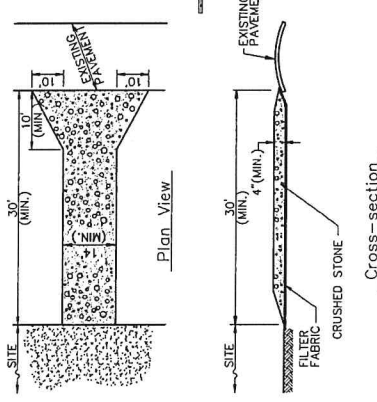
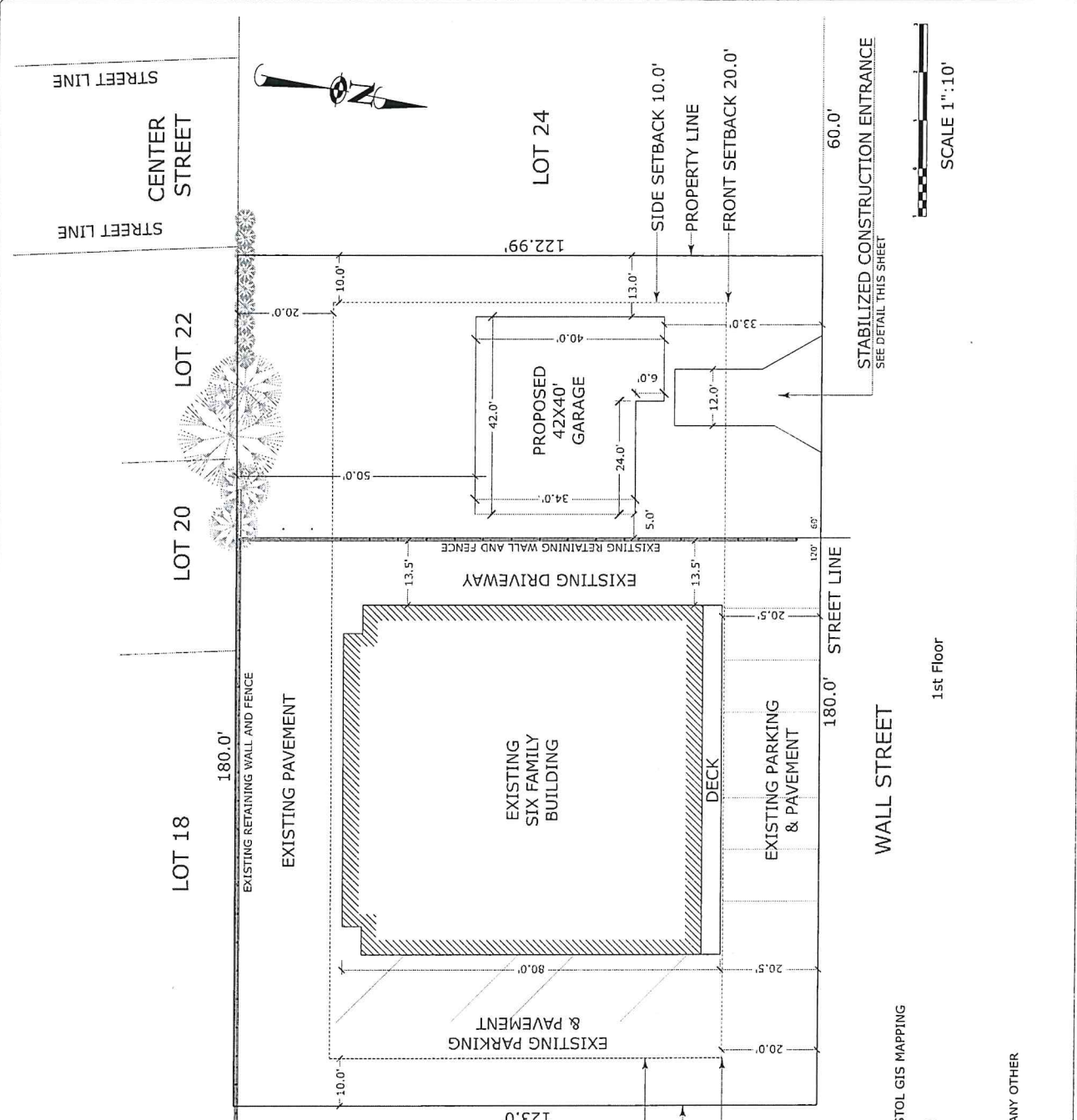
My Commission Expires: *12/21/2020*

Catherine A Marshall  
Notary Public  
State of Rhode Island ID# 51092  
My Comm. Expires: *12/20/2020*

To be known as Assessors Plat 033 Lot 0017

Tax Assessor *[Signature]*

Director of Community Development *Daniel Williamson*



- Notes:**
- ENTRANCE WIDTH SHALL BE A FOURTEEN (14) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS FLOWING OR SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR PUBLIC RIGHTS-OF-WAY. THE ENTRANCE SHALL BE DRESSED WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED FROM THE SITE. SIGNAGE AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
  - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

**REFERENCES:**  
 DRAWING WAS PREPARED USING TOWN OF BRISTOL GIS MAPPING  
**R-6 ZONING DIMENSIONAL REQUIREMENTS**  
 SIDE - 10 FT.  
 FRONT - 20 FT.  
 REAR - 20 FT.  
 MAX HEIGHT PRINCIPLE - 35'  
 MAX HEIGHT ACCESSORY - 20'  
 MAX LOT COVERAGE - 30% RESIDENTIAL, 35% ANY OTHER



1st Floor

STABILIZED CONSTRUCTION ENTRANCE  
SEE DETAIL THIS SHEET



## Ed Tanner

---

**From:** Robert Kreft <Rkreft@kreftgroup.com>  
**Sent:** Monday, October 23, 2023 8:57 AM  
**To:** Ed Tanner  
**Subject:** Wall Street Garage  
**Attachments:** PLOT PLAN LAYOUT 24X36 REV.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

**Caution:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe. When in doubt, contact your IT Department

Ed I believe attached is what the zoning board is looking for can you take a look and confirm? Can we speak for a few minutes this week?

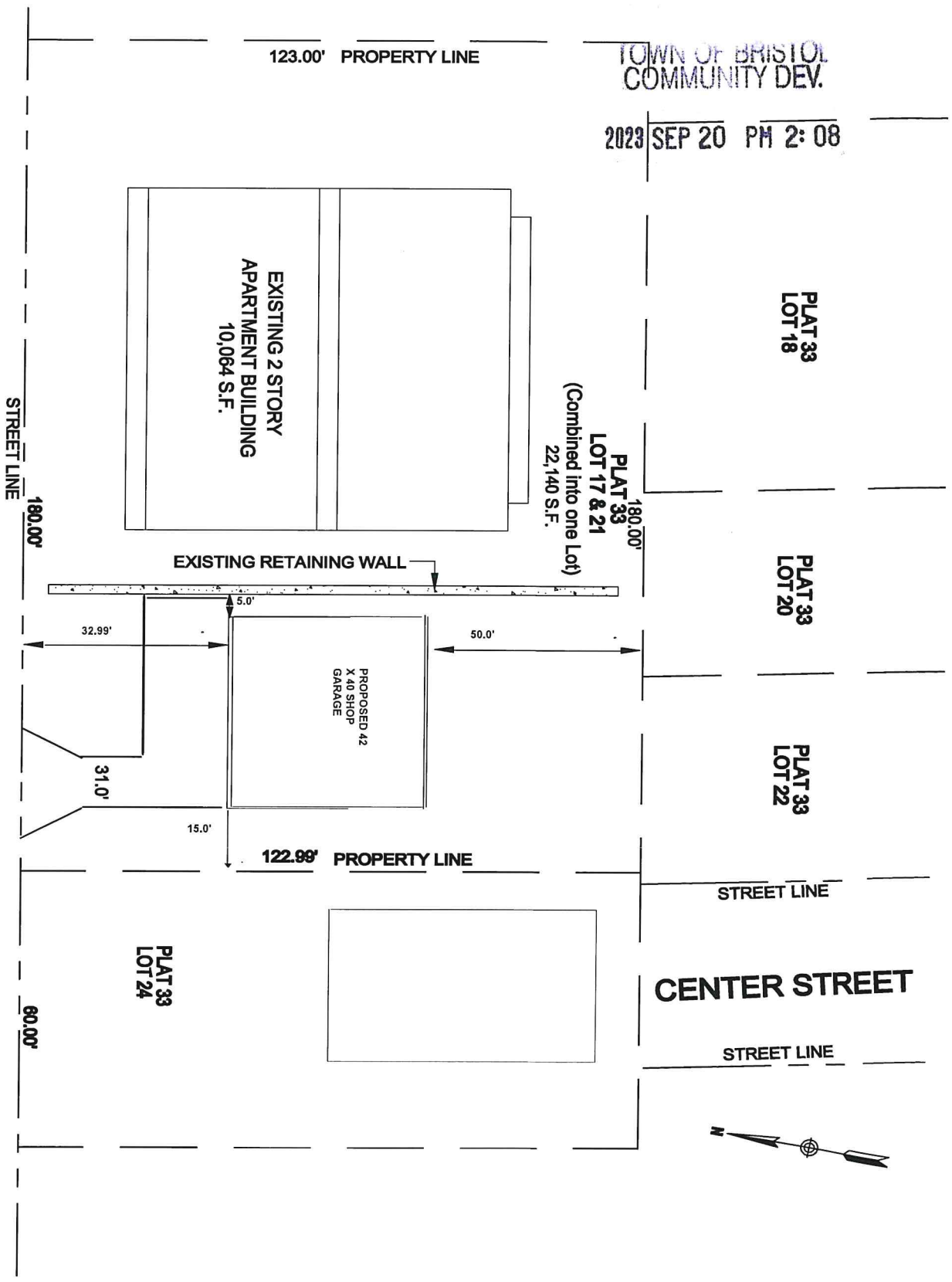
Thanks in advance

Rob Kreft

**Kreft Group** ■  
M 401-489-0984 | F 866-843-7642  
[rkreft@kreftgroup.com](mailto:rkreft@kreftgroup.com)

TOWN OF BRISTOL  
COMMUNITY DEV.

2023 SEP 20 PM 2: 08



WALL STREET

CENTER STREET

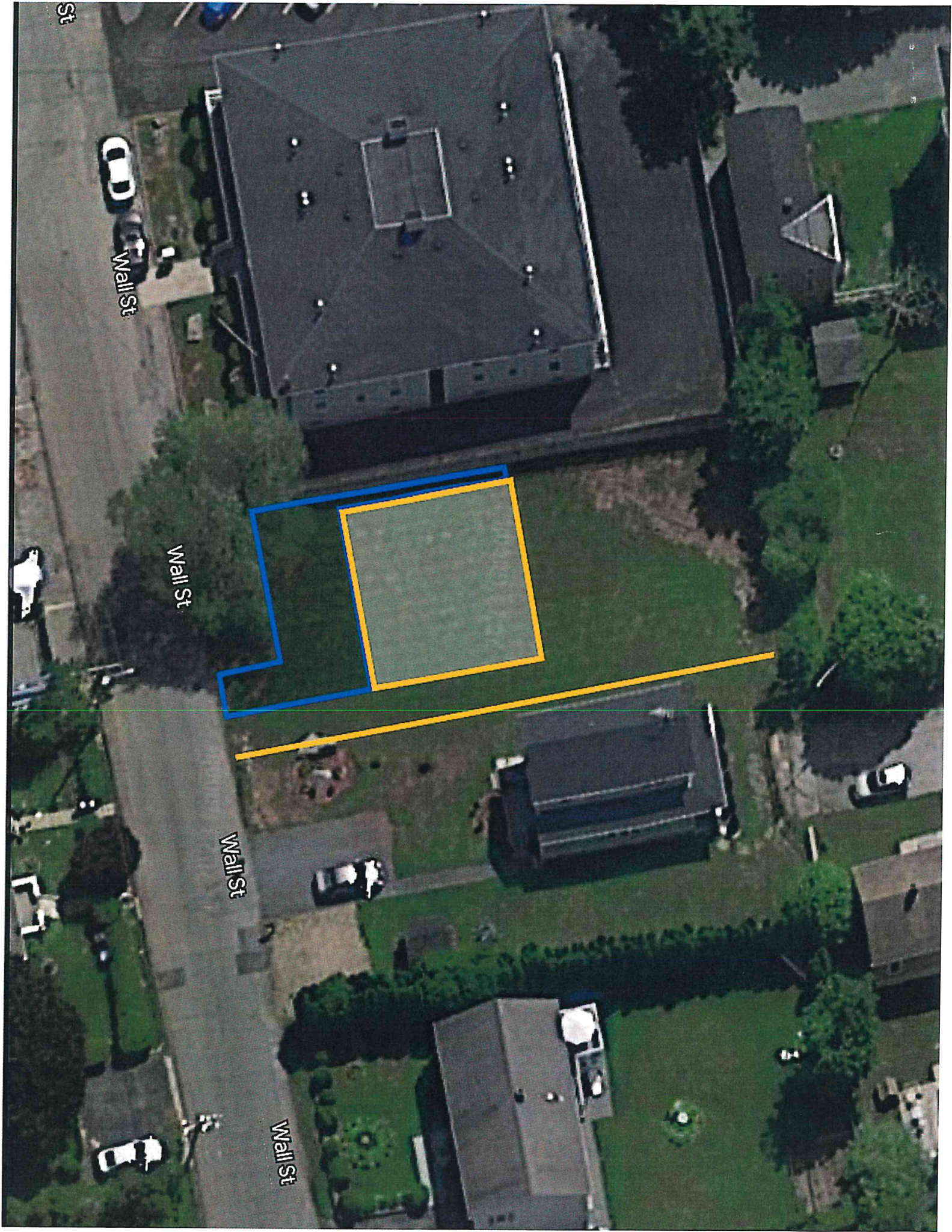
Proposed  
Garage For:  
Robert Kraft  
16 Wall Street  
Bristol, Rhode Island  
Map 33 Lot 17  
and  
Map 33 Lot 21  
Combined into one Lot

PROJECT NUMBER: 00416  
Drawn By: SML  
Checked By: X  
Issue Date: 03-13-20

**SHEET LEGEND:**

Revision No	Date	Description

Drawn By:  
**Site Plan**



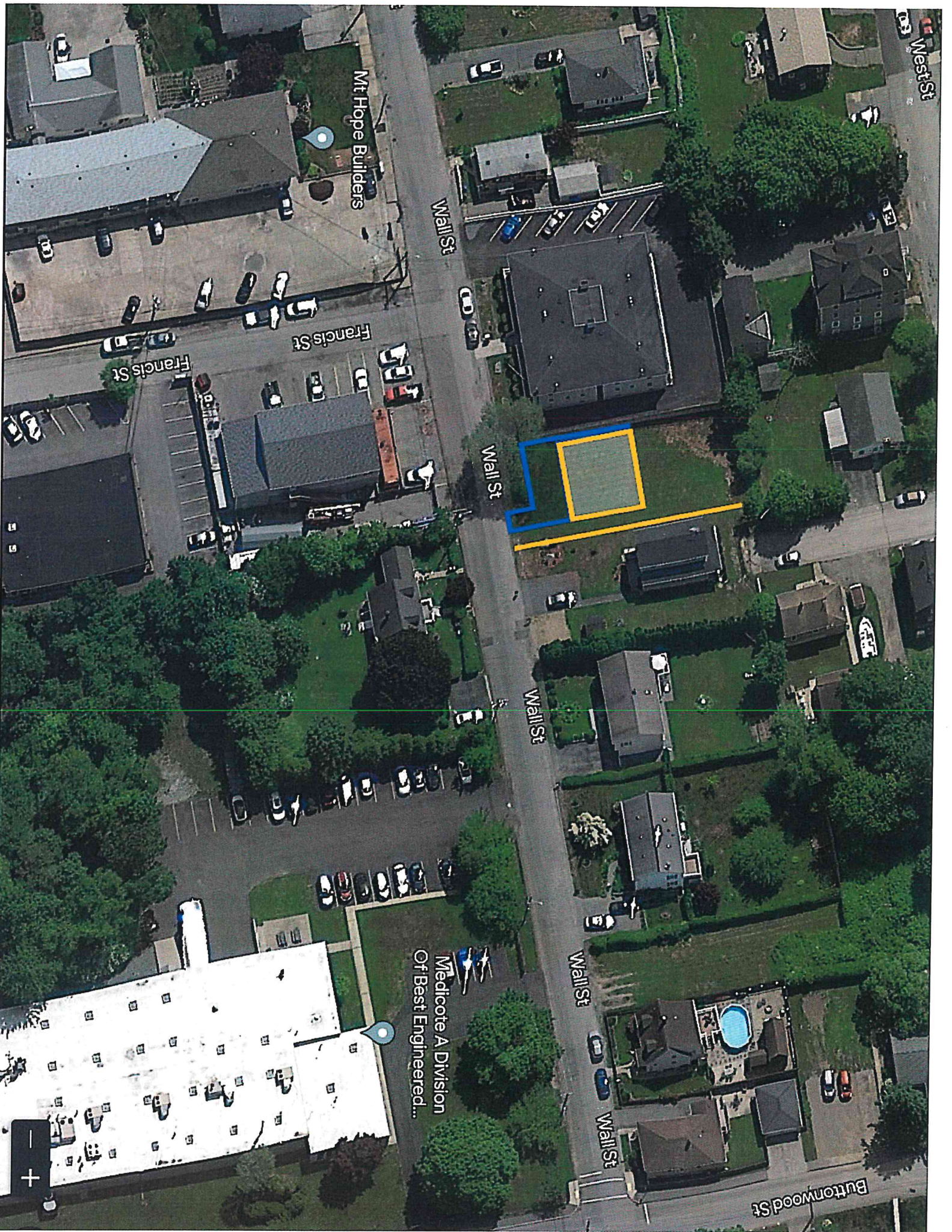
St

Wall St

Wall St

Wall St

Wall St



West St

Mt Hope Builders

Wall St

Francis St

Francis St

Wall St

Wall St

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Buttonwood St

Medicote A Division  
Of Best Engineered...

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# Town of Bristol, Rhode Island

## Zoning Board of Review

### STAFF REPORT FOR:

FILE NO. **2023-27**

APPLICANT: Robert M. Kreft  
LOCATION: 22 Wall Street  
PLAT: 33 LOT: 17 ZONE: R-6

#### APPLICANT IS REQUESTING DIMENSIONAL VARIANCES TO:

Construct a 40ft. x 42ft. accessory garage structure at a size and height greater than permitted for accessory structures, and with greater than permitted lot coverage by structures in the R-6 zoning district.

#### COMPREHENSIVE PLAN REVIEW:

As this application is for a dimensional variance, it does not require review by the Planning Board per Section 28-409(b) of the Zoning Ordinance.

#### FINDINGS AND RECOMMENDATIONS BY STAFF:

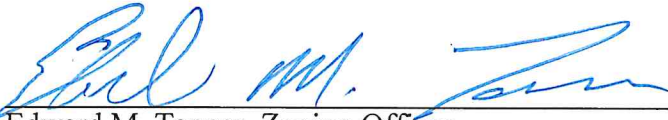
The applicant is requesting dimensional variances to construct a 40' x 42' accessory garage structure on this property located on the southerly side of Wall Street (see attached GIS map depicting property). This property consists of a 22,140 square foot lot that is currently improved with a two-story multi-family structure containing 12 residential dwelling units. The applicant proposes to construct a four stall garage with workshop area to provide storage for vehicles and maintenance equipment used on the property. According to information presented with this application, the property currently provides off-street parking for 25 vehicles, and the garage addition would free up three of these spaces, as they are currently occupied by maintenance vehicles and equipment.

The existing residential structure was constructed in the early 1990's and received dimensional variances from the zoning board in July 1991 for a 12 unit multi-family residence with less than the required lot area per dwelling unit. The site plan submitted with the application at that time depicted off-street parking on the property for up to 34 vehicles, including 10 spaces in front of the building where there is now landscaping. The zoning ordinance requires a minimum of two off-street parking spaces per residential dwelling unit.

The proposed garage would be constructed on the westerly end of the property within a portion of the parcel that was previously a separate lot (identified as assessor's lot 21). This lot was purchased by the applicant and merged with lot 17 in 2020. The proposed garage would comply with applicable setbacks for the R-6 zoning district (although a survey will be required to confirm property line locations prior to any building permit), but it would exceed the maximum height and the maximum size permitted for an accessory structure in the R-6 zone. In addition, the proposed structure would increase lot coverage by structures on this property from 46% to 53%. The zoning ordinance permits a maximum size for accessory structures in the lot coverage by structures of 30% in the R-6 zone.

The proposed garage would have a footprint of approximately 1,680 square feet. Although the zoning ordinance does not regulate lot coverage by pavement and structures in residential zones, it appears that the proposal would cover the majority of the site with impervious surfaces. As such, this project would require a Soil Erosion, Runoff and Sediment Control (ERSC) permit per Chapter 29 of Bristol Town Code. As this property is located in the Tanyard Brook Watershed, more stringent runoff mitigation requirements would apply. The applicant will need to demonstrate that the project can meet the requirements of this ordinance and plans prepared by a Professional Engineer will be required prior to issuance of a building permit for the proposed garage.

Recall that the applicant was before the Board with a similar application in July 2021 (File # 2021-31). At that time, the applicant proposed a slightly larger structure with a different design and configuration. The Board denied that application (see attached copy of decision).

 9/13/23  
Edward M. Tanner, Zoning Officer



# 22 Wall Street

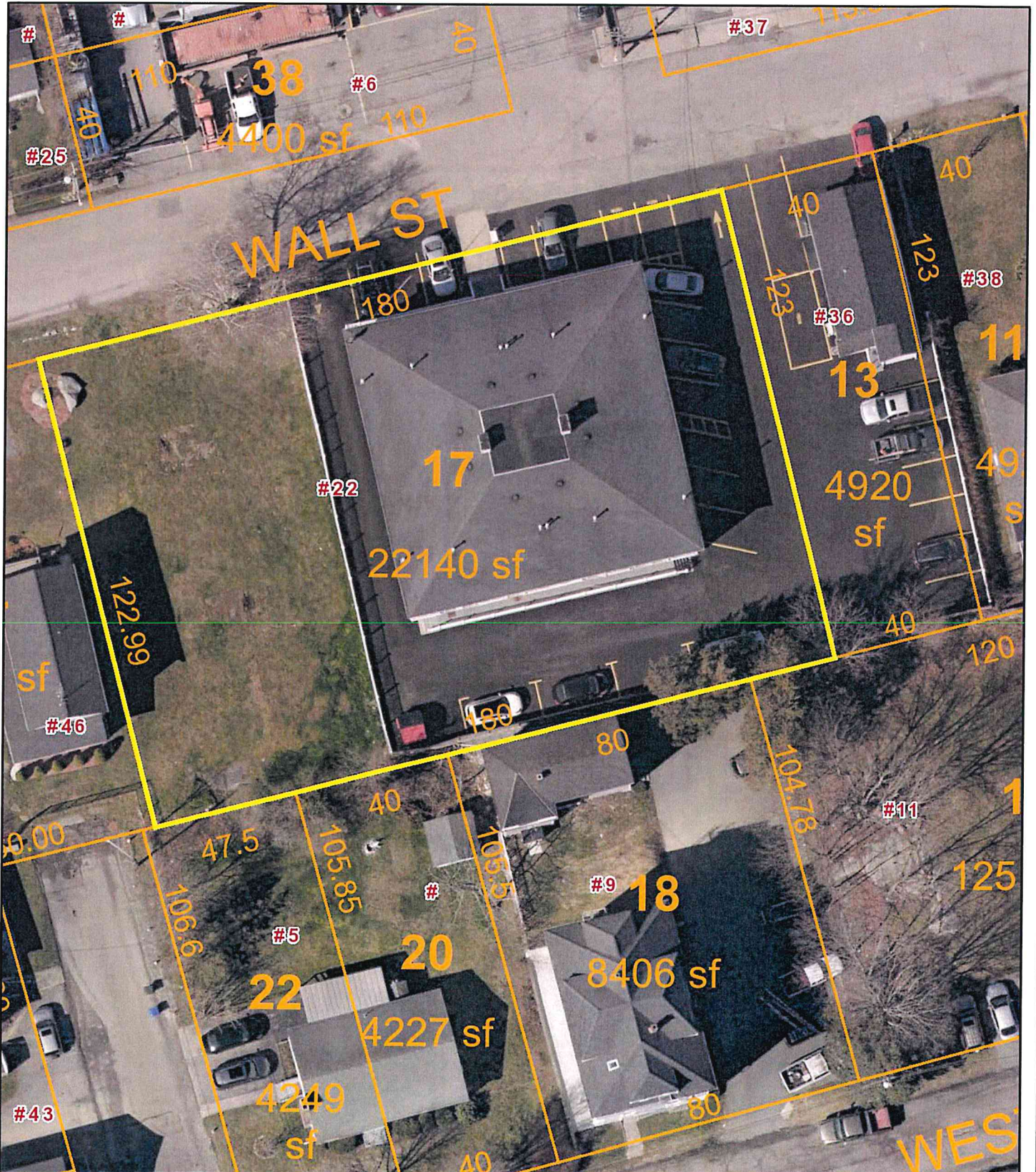
Bristol, RI



September 13, 2023

1 inch = 35 Feet

www.cai-tech.com



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



Town of Bristol, Rhode Island
Zoning Board of Review

Document Number 00012353
BOOK 2128 PAGE 161

DECISION FOR VARIANCE

FILE # 2021-31

RE: Application of: Robert Kreft

For property located at 22 Wall Street, in Bristol, Rhode Island (Tax Assessor's Plat 33, Lot 17) in the following zoning district: Residential R-6.

This matter was heard before the Board at a public hearing on July 12, 2021 upon the Applicant's request for DIMENSIONAL VARIANCES from the Zoning Ordinance to:

Construct a 24ft. x 82ft. accessory garage structure at a size greater than permitted for accessory structures in a residential zoning district, and with greater than permitted lot coverage by structures.

After due consideration of the Application, (including the exhibits, testimony of the witnesses, and the entire record presented to the Board), the Board makes the following findings of fact:

The Board finds that the applicant is requesting relief to construct a 24' x 82' accessory garage structure, which exceeds the 22' x 24' maximum size for accessory structures allowed by the Bristol Zoning Ordinance. The proposed structure would also increase lot coverage by structures to approximately 54 percent, which exceeds the 30 percent maximum lot coverage permitted in the R-6 zoning district. The Board finds that this application fails to meet all of the Standards for Relief found in the Bristol Zoning Ordinance necessary to approve a Dimensional Variance.

The Board finds that the hardship from which the applicant seeks relief is not due to the unique characteristics of the subject land or structure. The applicant proposes a six-stall garage and associated paved driveway and parking area to accommodate the residents of the 12 unit apartment building located on this property. According to Town records, this property was in compliance with off-street parking requirements when relief was originally granted for construction of the 12 unit structure. The property has since migrated to a non-conforming property from a parking standpoint. However, the space for adequate off street parking does appear to be available in the paved area surrounding the building.

Granting of the requested Dimensional Variance will alter the general characteristics of the surrounding area and will impair the intent or purpose of the Zoning Ordinance and the Comprehensive Plan of the Town of Bristol. The Zoning Ordinance requires two off-street parking spaces per residential dwelling unit; and that is what the original developer agreed to and that is what is currently available on the property, if not more than the 24 required spaces. The construction of the proposed garage and associated parking would increase lot coverage by structures and alter the characteristics of the property and surrounding area, including increasing the amount of impervious surfaces and stormwater runoff necessitating mitigation.

The relief requested to be granted is not the least relief necessary, as the applicant already has adequate space to meet the required off-street parking. The proposed garage structure would provide parking for only six (6) vehicles, which is only 25 percent of the required off-street parking, and does not appear to be the best use of the property.

The hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted will not amount to more than a mere inconvenience and will have no impact on the ability to rent residential units within that property. If existing adequate parking spaces were provided adjacent to the building, it could enhance the ability to rent the property.

Therefore the Board voted 5 to 0 to DENY the application to construct a 24ft. x 82ft. accessory garage structure.

Voting to Approve petition: None
Voting to Deny petition: Asciola; Burke; Simoes; Brum; and Kern
Making a part of this Decision the application, along with required materials, plans, and exhibits filed with the Board at the meeting, and excerpts of the public hearing minutes.

Recorded as the Decision of the Town of Bristol Zoning Board of Review on

This 18th day of August, 2021.

Diane M. Williamson, Director of Community Development

Recorded Aug 18, 2021 at 12:53PM
Melissa Cordeiro Town Clerk





**Town of Bristol, Rhode Island**  
**Department of Community Development**  
**Zoning Board of Review**

2023 JUL -6 PM 1:51  
 TOWN OF BRISTOL  
 COMMUNITY DEV.

**APPLICATION**

File No: **2023-27-1**  
 Accepted by ZEO: **EMT 7/6/2023**

<b>APPLICANT</b>	Name: Robert Kreft <span style="float: right;"><i>r kreft @ kreftgroup.com</i></span>		
	Address: 17 Sandy Lane		
	City: Bristol	State: RI	Zip: 02809
	Telephone #: 401-489-0984	Home:	Work/Cell:
<b>PROPERTY OWNER</b>	Name: Robert M Kreft Trust		
	Address: 17 Sandy Lane		
	City: Bristol	State: RI	ZIP: 02809
	Telephone #: 401-489-0984	Home:	Work/Cell:

1. Location of subject property: 22 Wall Street

Assessor's Plat(s)#: 33 Lot(s) #: 17, 21

2. Zoning district in which property is located: R-6

3. Zoning Approval(s) required (check all that apply):

Dimensional Variance(s)       Special Use Permit       Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): Sec.28-111

Special Use Permit Section(s): \_\_\_\_\_

Use Variance Section(s): \_\_\_\_\_

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 2013

7. Present use of property: Apartments

8. Is there a building on the property at present?: Yes

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 10,200 Sq Feet

10. Proposed use of property: Additional structure - Garage /workshop for apartment buldings and self use.

11. Give extent of proposed alterations: Addition of 42X40' Garage/Shop.

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12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 42'X40'. 1537 Square feet.

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13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: _____	Proposed Setback: _____
Left side lot line:	Required Setback: _____	Proposed Setback: _____
Right side lot line:	Required Setback: _____	Proposed Setback: _____
Rear lot line:	Required _____	Proposed Setback: _____
Building height:	Setback: <u>20' height</u>	Proposed: <u>22' 11" height</u>

Other dimensions (building size, Required coverage, lot area, parking, sign dimensions, etc.):  
 Required: 22' X 24' Proposed: 40' X 42'  
35% Coverage - existing 46% 53% proposed Coverage

13. Number of families before/after proposed alterations: 12 Before 12 After

14. Have you submitted plans for the above alterations to the Building Official? Yes  
 If yes, has he refused a permit? No If refused, on what grounds? \_\_\_\_\_

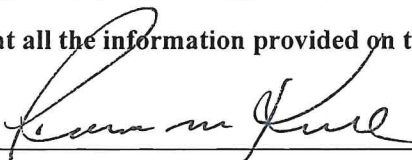
15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: X Sewer: X

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

18. Is the property located in a flood zone? No If yes, which one?: \_\_\_\_\_

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature:  Date: 6/10/23

Print Name: Robert Kreft

Property Owner's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Print Name: \_\_\_\_\_

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: Scott Partington Telephone #: 401-334-2852

Address: 2176 Mendon Rd # 2000, Cumberland, RI 02864

June 10, 2023

Town of Bristol  
Attn: Zoning Department  
10 Court Street  
Bristol, RI 02809

Re: Request for Dimensional Variance -22 Wall Street

Zoning Board of Review:

Thank you for your consideration, I am the owner of the property at 22 Wall Street, Bristol, RI and requesting a dimensional variance approval which will support the addition of a garage and shop to support the maintenance of the property. The primary use will be storage and protection of maintenance equipment that is currently in the elements on the property. The garage will allow the spaces currently occupied by the equipment to be freed up for use of the multi-family.

We are planning to retire within the next 5 years and move to the property. I purchased 22 Wall Street (Plat 33 Lot 21) in 2012 and then in 2018 purchased the lot next door (Plat 33 Lot 17). In December 2020, the properties were combined. The proposed structure would be located on the lot that was combined. The individual lot (Plat 33 Lot 17) had a permit for a single-family dwelling, before the properties were combined.

22 Wall Street is unique as it is a large, 12 family property, located in an R-6 zone where all the structures on the same side of the street are single family homes. Across the street is zoned LB and contains large multi-family properties and a few businesses each with parking lots dedicated to their properties.

22 Wall Street currently has 25 parking spaces located around the building. Parking is needed for approximately 24 cars (2 per unit) as each unit is comprised of 2 bedrooms. The units are a mix of families and college students. The equipment including a tractor, work truck and trailer occupy 3 spaces. The addition of the garage will allow me to place the equipment inside a garage away from the elements and provide protection for the equipment as the tractor has been broken into several times. After being placed in the new garage, the open three spaces for the use of my tenants. Allowing 2 spaces for each unit.

To support my request, please find enclosed drawings with accurate measurements.

The measurements and details of the planned garage and variances sought:

Garage: The planned garage and shop will measure 42' x 40' and will be placed on the empty lot purchased in 2018 (Plat 33 Lot 17).

Variances sought;

- 1) Coverage: The property is in an R-6 zoning district and per Sec. 28-111 Maximum lot coverage by structures is set at 35%. Original lot coverage for 22 Wall was 61% with the properties combined it is currently at 46%. The new proposed garage will bring the lot coverage to a total of 53%.
- 2) Size: The property again is in an R-6 zoning district and per Sec. 28-111 Maximum size of accessory structures is set at 22' X 24'. I am asking for a variance on size to 40' x 42'.
- 3) Height: The current height requirement is 20' for accessory structures we are seeking a variance to 22' 11"

The hardship we are seeking relief from is due to the unique characteristics of the subject land, particularly after combining the properties and lack of any structure to protect the expensive equipment I require for maintenance.

The hardship is not due to any prior action of myself, I purchased the property in its present configuration. I am not

seeking relief for my own economic gain but to prevent deterioration of the equipment needed to maintain the property. The granting of the requested variance will not alter the general characteristics of the surrounding area or impair the intent or purpose of the zoning ordinance or the Comprehensive Plan of the Town of Bristol.

This relief to be granted is the least relief necessary to store equipment and provide maintenance to my property. If the dimensional variance is not granted, it would amount to more than a mere inconvenience and

In every other respect we are maintaining the lot in conformance with existing Bristol Zoning regulations. If you require anything further, please do not hesitate to contact me. Thank you for your attention to this matter.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert M Kreft". The signature is fluid and cursive, with a large initial "R" and "K".

Robert M Kreft

PAGE:  
6

SHEETS:  
6

Proposed  
Garage For:  
Robert Kraft  
16 Wall Street  
Bristol, Rhode Island  
Map 33 Lot 17  
and  
Map 33 Lot 21  
Combined into one Lot

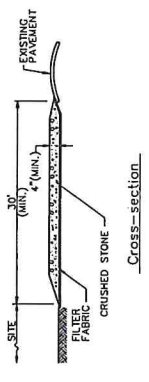
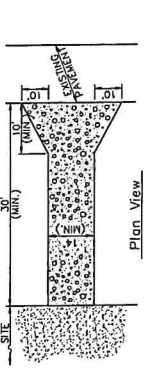
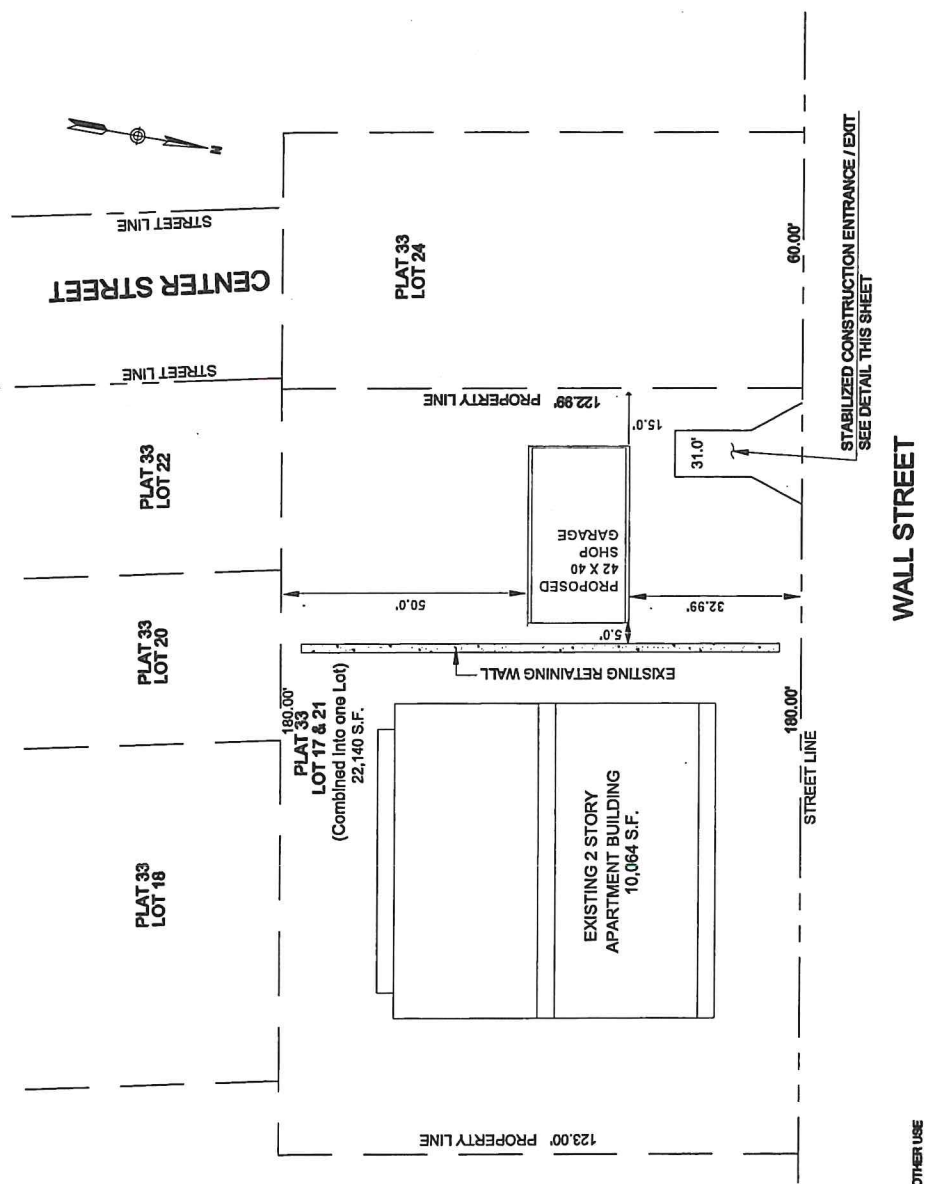
PROJECT NUMBER:	00418
Drawn By:	GM
Checked By:	X
Issue Date:	03-12-20

**SHEET LEGEND:**

Revision No.	Date	Description

Drawing Title:  
**Site Plan**

Scale: 1"=10'



- Notes:**
- ENTRANCE WIDTH SHALL BE A FOURTEEN (14) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP SURVEYS AND REPAIRS TO THE ENTRANCE. ALL MEASURES USED TO TRAP SEDIMENT, ALL SEDIMENT SPILLED, DROPPED, WASHED OR OTHERWISE REMOVED FROM THE ENTRANCE SHALL BE REMOVED IMMEDIATELY. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
  - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

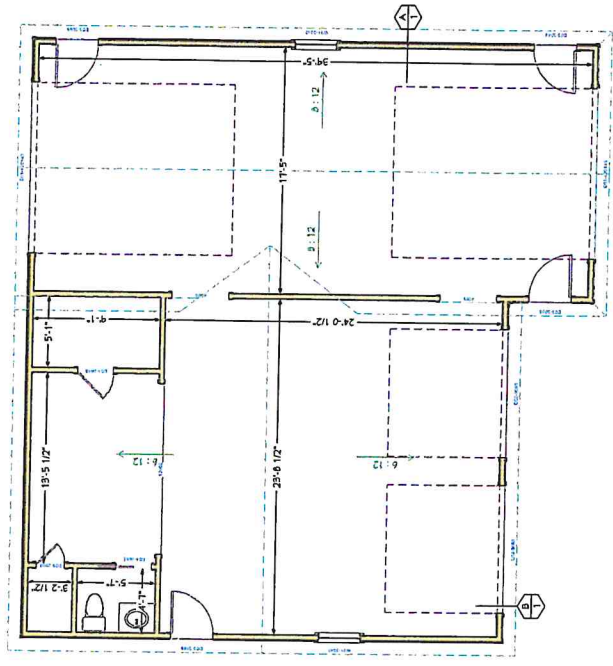
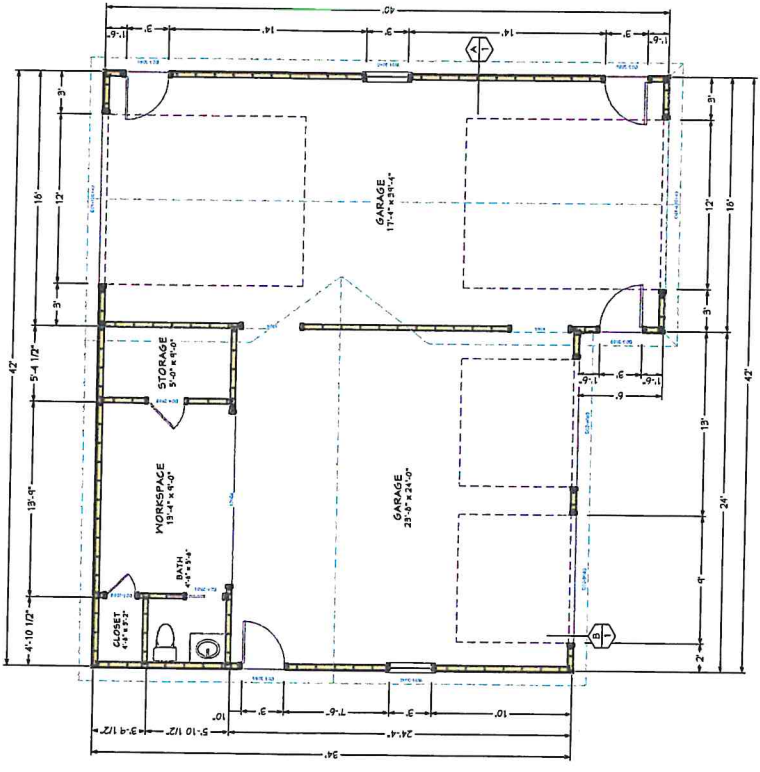
**STABILIZED CONSTRUCTION ENTRANCE / EXIT**  
NOT TO SCALE

- REFERENCES:**
- DRAWING IS NOT SURVEYED AND WAS DEVELOPED USING TOWN OF BRISTOL GIS MAPPING.
  - R-6 ZONING SETBACKS
    - MINIMUM SIDE YARD - 10 FT.
    - MINIMUM FRONT YARD - 20 FT.
    - MINIMUM REAR YARD - 20 FT.
    - MAXIMUM HEIGHT OF PRINCIPLE STRUCTURES - 35 FT.
    - MAXIMUM HEIGHT OF ACCESSORY STRUCTURES - 20 FT.
    - MAXIMUM LOT COVERAGE BY STRUCTURES - 30% RESIDENTIAL 30% ANY OTHER USE

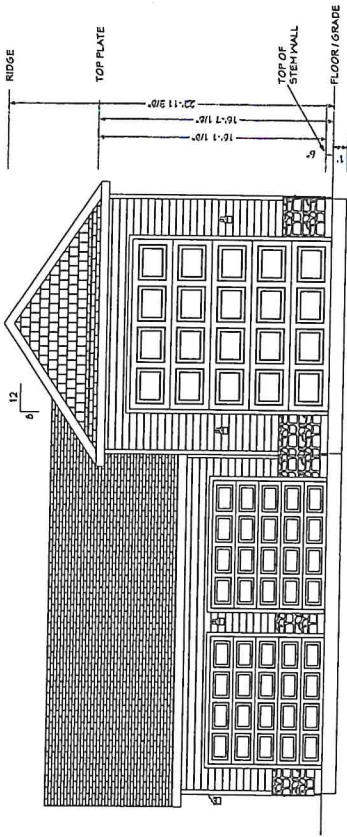
ROOM SCHEDULE		DOOR SCHEDULE		COMMENTS	
NO.	ROOM	NO.	TYPE	NO.	DESCRIPTION
001	001-1	001	SW	001	16'-0" x 10'-0"
002	002-1	002	SW	002	16'-0" x 10'-0"
003	003-1	003	SW	003	16'-0" x 10'-0"
004	004-1	004	SW	004	16'-0" x 10'-0"
005	005-1	005	SW	005	16'-0" x 10'-0"

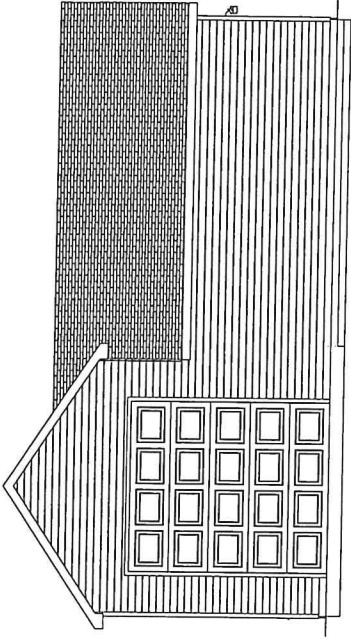
WINDOW SCHEDULE		DOOR SCHEDULE		COMMENTS	
NO.	ROOM	NO.	TYPE	NO.	DESCRIPTION
001	001-1	001	SW	001	16'-0" x 10'-0"
002	002-1	002	SW	002	16'-0" x 10'-0"
003	003-1	003	SW	003	16'-0" x 10'-0"
004	004-1	004	SW	004	16'-0" x 10'-0"
005	005-1	005	SW	005	16'-0" x 10'-0"



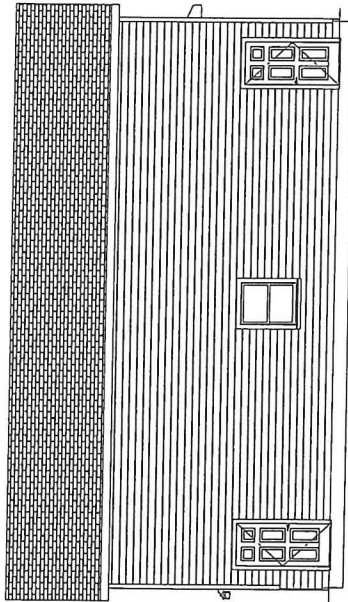
42x40 Garage  
#42X40G1B



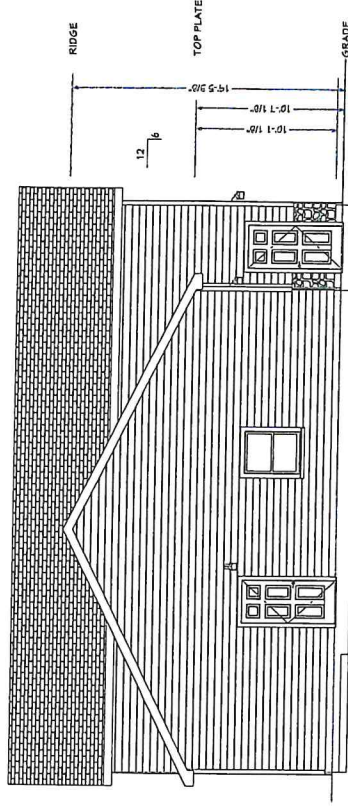
FRONT ELEVATION  
SCALE: 1/8" = 1'



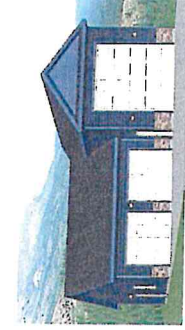
REAR ELEVATION  
SCALE: 1/8" = 1'



RIGHT ELEVATION  
SCALE: 1/8" = 1'

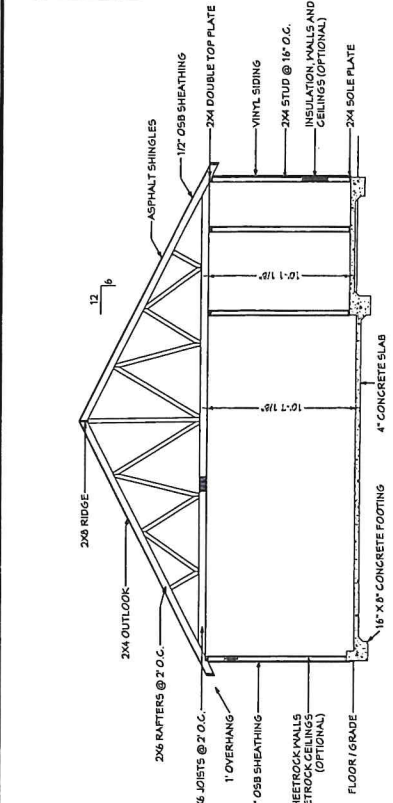


LEFT ELEVATION  
SCALE: 1/8" = 1'

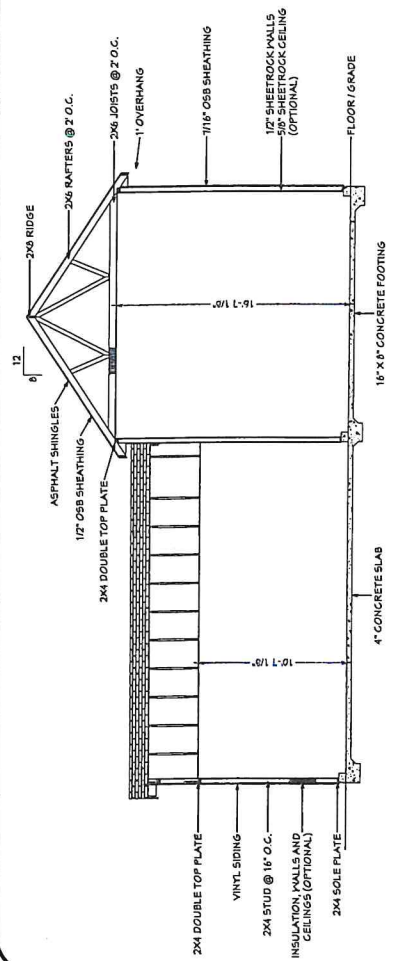


**42x40 Garage**  
**#42X40G1B**

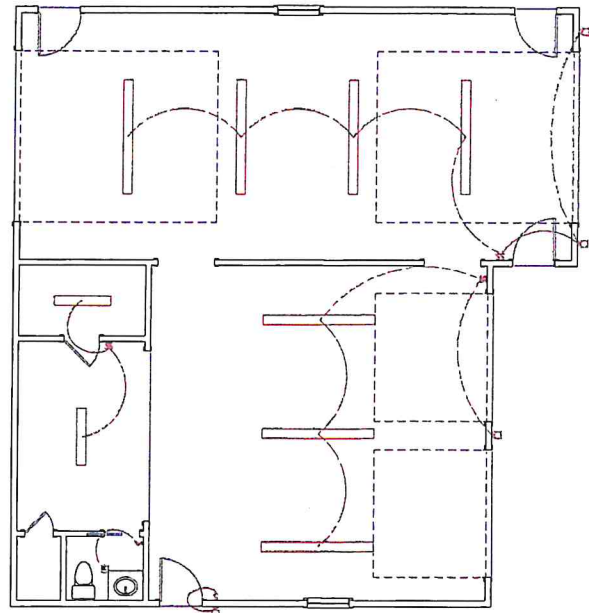
SQUARE FEET: 1531 (230 Storage)  
WIDTH: 42'  
DEPTH: 40'  
EXTERIOR WALL STRUCTURE: 2X4 STUDS



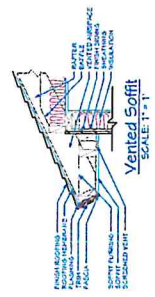
CROSS SECTION  
SCALE: 1/4" = 1'



CROSS SECTION  
SCALE: 1/4" = 1'

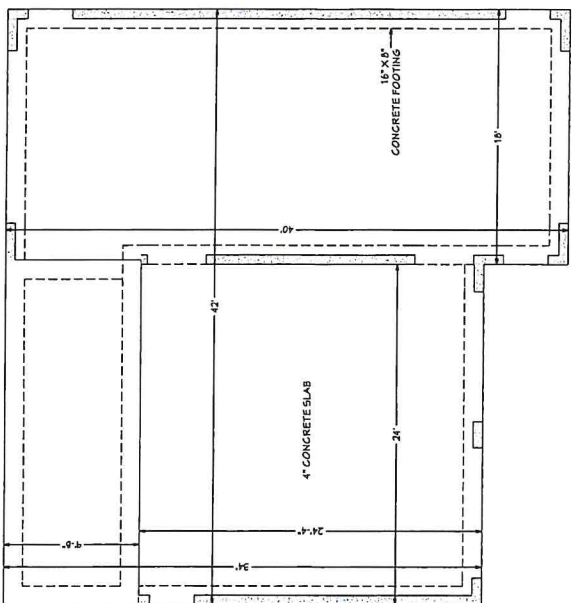


LIGHTING PLAN  
SCALE: 1/4" = 1'



ALL FIXTURES TO BE INSTALLED AS PER ACTUAL FIXTURE CONDITIONS, ELECTRICAL CODE AND HOMEOWNER OR INTERIOR LIGHTING CONSULTANT. SHOWN IS SUGGESTED LAYOUT OF LIGHTING AND FIXTURES AND MUST BE APPROVED BY HOMEOWNER PRIOR TO WORK.

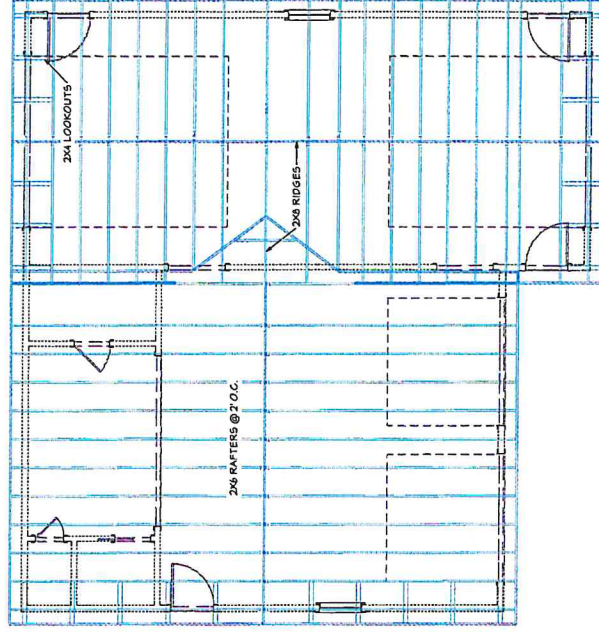
[Symbol]	48" FLUORESCENT LIGHT
[Symbol]	48" FLUORESCENT LIGHT
[Symbol]	WIDE BRIM SCENCE
[Symbol]	RECESSED DOWN LIGHT



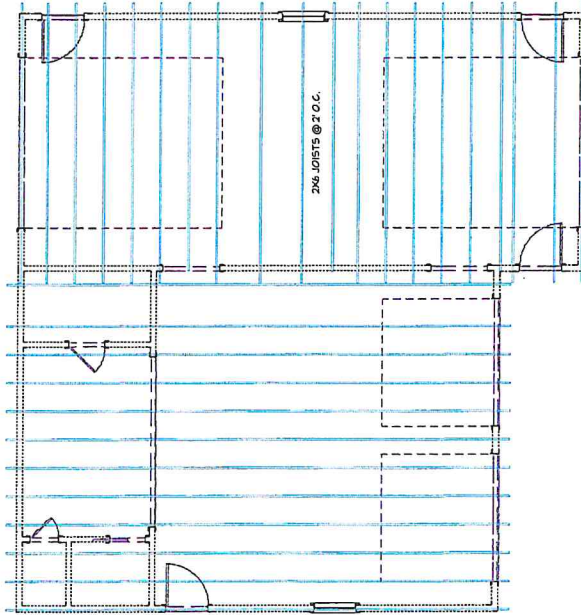
FOUNDATION PLAN  
SCALE: 1/4" = 1'

42x40 Garage  
#42X40G1B





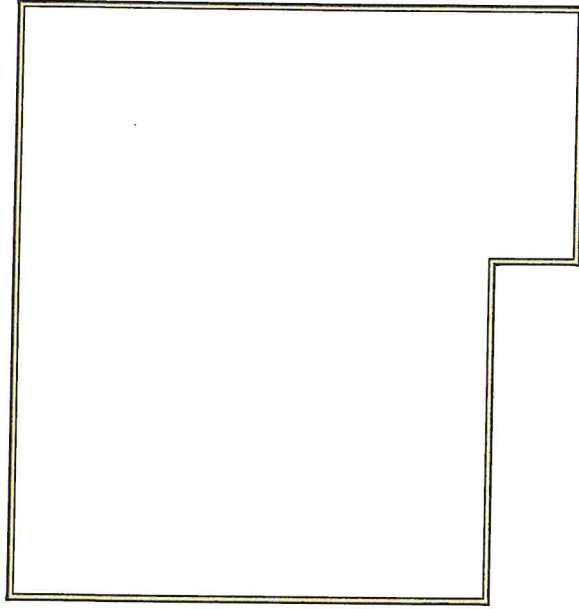
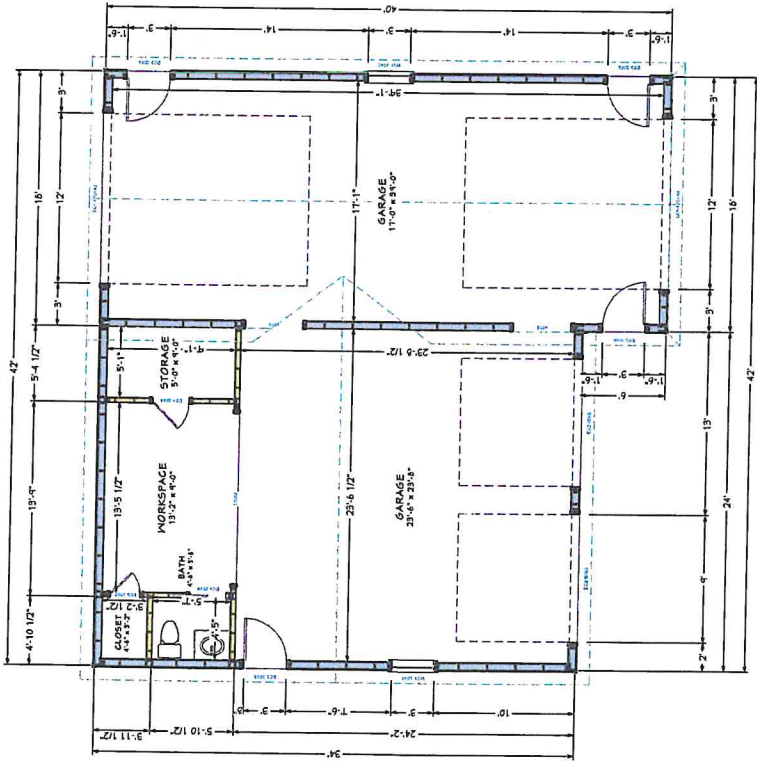
ROOF FRAMING PLAN  
SCALE: 1/4" = 1'

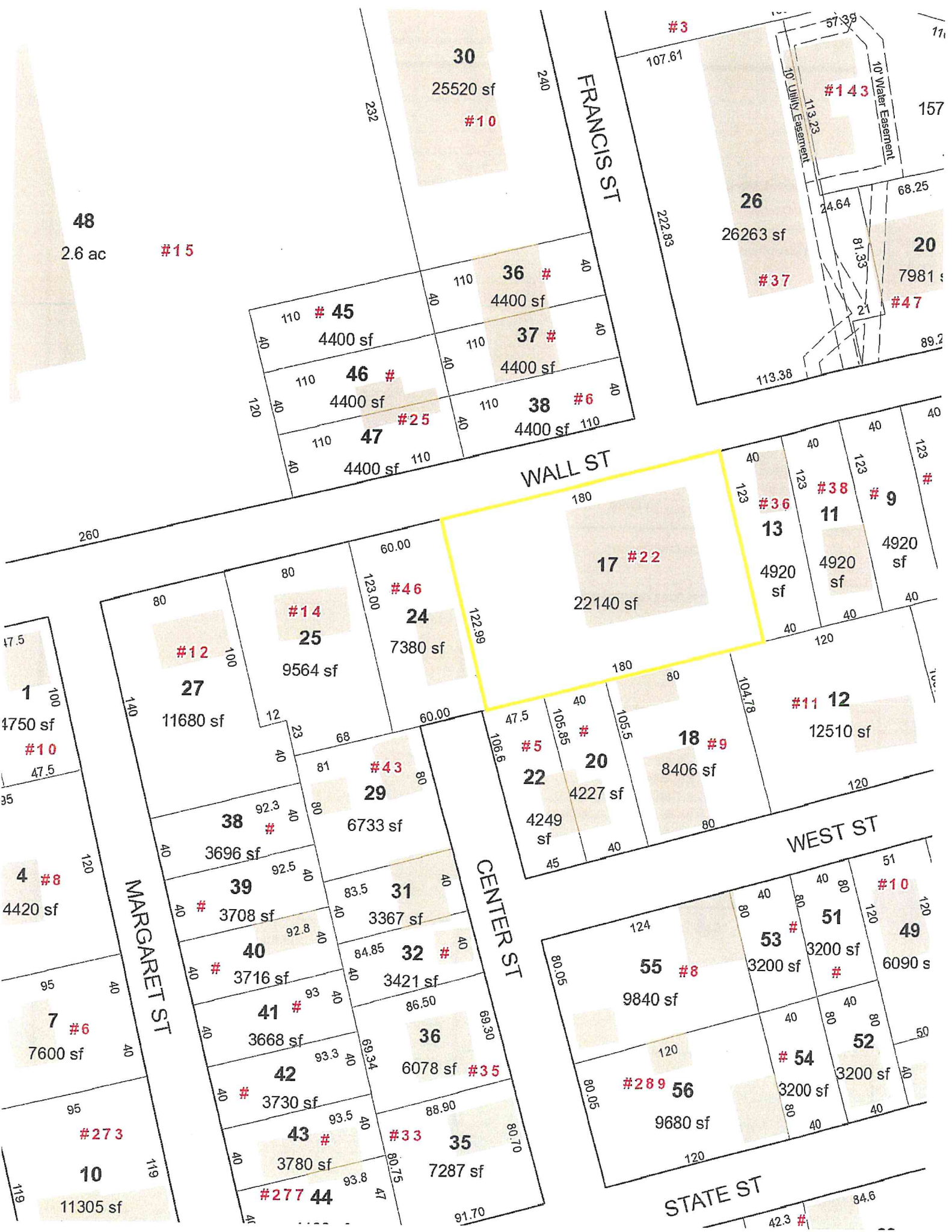


CEILING FRAMING PLAN  
SCALE: 1/4" = 1'

42x40 Garage  
#42X40G1B

42x40 Garage  
#42X40G1B





**30**  
25520 sf  
#10

**48**  
2.6 ac  
#15

**26**  
26263 sf  
#37

**20**  
7981 sf  
#47

**36 #**  
4400 sf

**45 #**  
4400 sf

**46 #**  
4400 sf

**47 #25**  
4400 sf

**37 #**  
4400 sf

**38 #6**  
4400 sf

WALL ST

**17 #22**  
22140 sf

**13**  
4920 sf  
#36

**11**  
4920 sf  
#38

**9**  
4920 sf  
#9

**1**  
4750 sf  
#10

**27**  
11680 sf  
#12

**25**  
9564 sf  
#14

**24**  
7380 sf  
#46

**4 #8**  
4420 sf

**7 #6**  
7600 sf

**10**  
11305 sf  
#273

MARGARET ST

**38 #**  
3696 sf

**39 #**  
3708 sf

**40 #**  
3716 sf

**41 #**  
3668 sf

**42 #**  
3730 sf

**43 #**  
3780 sf  
#277

**29**  
6733 sf  
#43

**31**  
3367 sf

**32 #**  
3421 sf

**36**  
6078 sf  
#35

**35**  
7287 sf  
#33

**44**  
#277

CENTER ST

**22**  
4227 sf  
#5

**20**  
4249 sf  
#

**18 #9**  
8406 sf

**12**  
12510 sf  
#11

WEST ST

**55 #8**  
9840 sf

**53 #**  
3200 sf

**51 #**  
3200 sf  
#10

**56**  
9680 sf  
#289

**54**  
3200 sf

**52**  
3200 sf

STATE ST

**42.3 #**

# Bristol, RI

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Disclaimer: This information is for tax assessing purposes and is not warranted

### Parcel Identification

Map/Lot 33 17  
 Account 2587  
 State Code 03 - Apartments  
 Card 1/1  
 User Account

### Assessment

Land \$177,800  
 Building \$969,100  
 Card Total \$1,146,900  
 Parcel Total \$1,146,900



### Prior Assessments

Fiscal Year	Land Value	Building Value	Outbuilding Value	Total Value
2021	\$183,300	\$780,300	\$11,000	\$974,600
2020	\$180,600	\$780,300	\$11,000	\$971,900
2019	\$180,600	\$847,800	\$11,000	\$1,039,400
2018	\$163,500	\$812,800	\$10,600	\$986,900

### Location and Owner

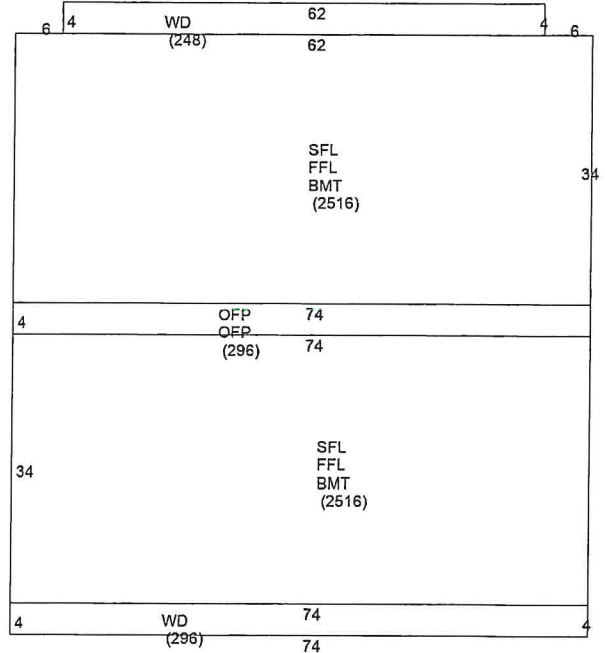
Location 22 WALL ST  
 Owner KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRUST  
 Owner2  
 Owner3  
 Address 17 SANDY LANE  
 Address2  
 Address3 BRISTOL RI 02809

### Building Information

Design Apt  
 Year Built 1994  
 Heat BB Hot Water  
 Fireplaces 0  
 Rooms 48  
 Bedrooms 24  
 Bathrooms 12 Full Bath\ 12 Half Bath  
 Above Grade Living Area 10,064 SF

### Sale Information

Sale Date	Sale Price	Legal Reference	Instrument
10/09/2020	\$0	2062-174	Warranty
08/17/2018	\$112,500	1952-73	Warranty
05/23/2013	\$962,500	1709-306	Warranty
03/22/2013	\$850,000	1699-134	Warranty



### Building Sub Areas

Sub Area	Net Area
1st FLOOR	5,032 SF
2nd FLOOR	5,032 SF
BASEMENT	5,032 SF
OPEN PORCH	592 SF
WOOD DECK	544 SF

### Land Information

Land Area 0.508 AC  
 Zoning R-6  
 View -

▶ Bristol

▶ 22 WALL ST

Card 1 of 1

▶ Plat/Lot 33 17

▶ Account: 2587

LUC 03

Zone R-6

▶ Assessment

\$1,146,900



▶ Owner ▶ Owner Account #:

Owner 1	KREFT, ROBERT M., TRUSTEE-ROBERT M KREFT TRU:	% Owned
Owner 2		
Owner 3		
Address	17 SANDY LANE, BRISTOL, RI 02809	

▶ Previous Owners & Sales Information

Grantor	Date	Sale Price	Leg Ref	NAL	Deed Type
KREFT, ROBERT M.	10/09/2020	0	2062-174	A	W
WOOD FRAME STRUCTURES	08/17/2018	112,500	1952-73		W
WALL STREET INVESTMENTS, LLC	05/23/2013	962,500	1709-306		W
MVP ASSOCIATES, LLC	03/22/2013	850,000	1699-134	L	W

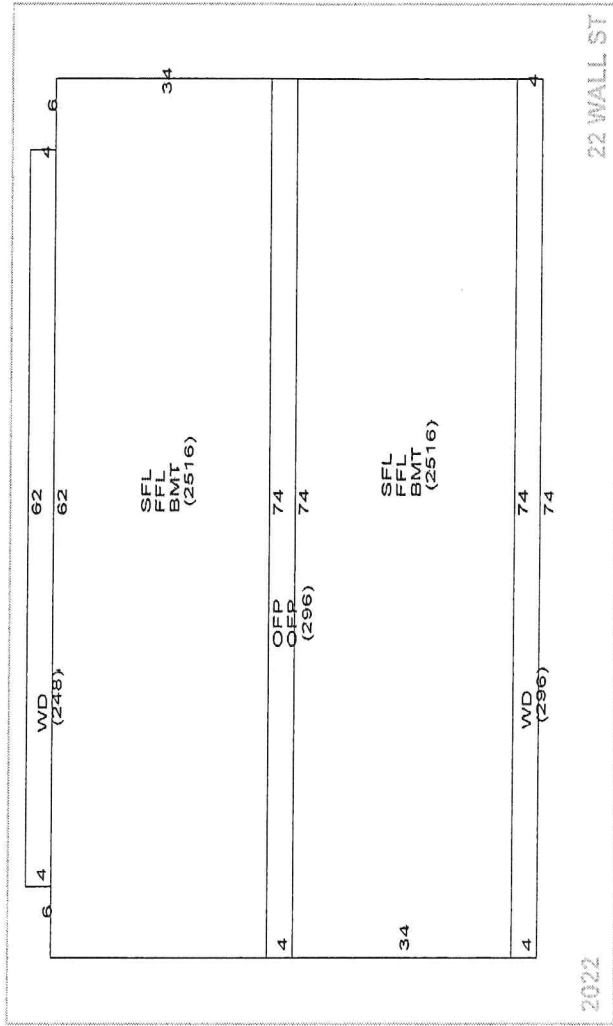
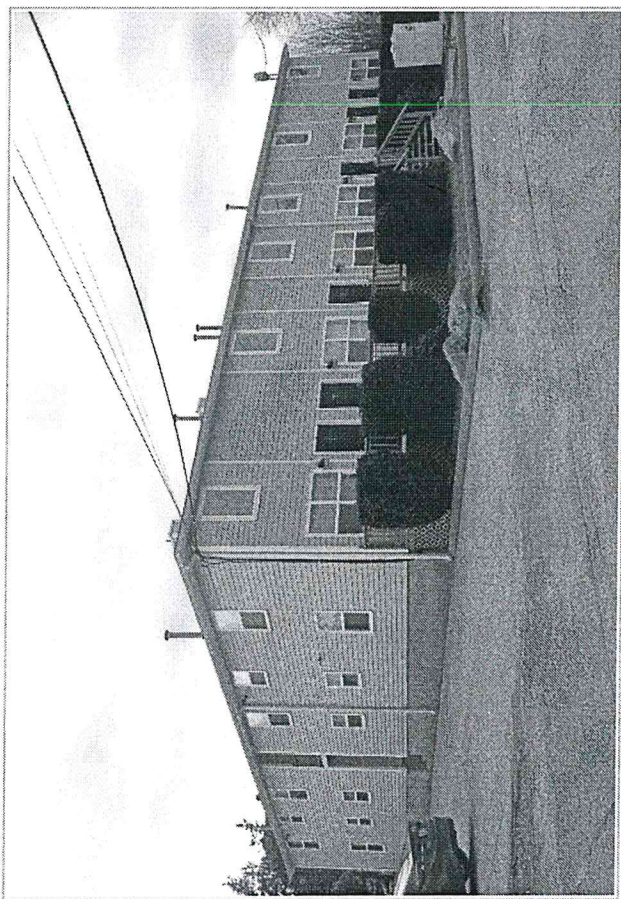
▶ Assessment

Use Code	Bldg Value	SF/Yr Value	Land Size	Land Value	AG Credit	Assessed Value
03	958,100	11,000	0.51	177,800	0	1,146,900
TOTAL	958,100	11,000	0.51	177,800	0	1,146,900

Source > Mkt Adj Cost VAL per SQ Unit/Card > 70.66 VAL per SQ Unit/Parcel > 70.66

▶ Previous Assessments

Year	LUC	Building	SF/Yr	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2022	03	958,100	11,000	1	177,800	0	1,146,900	1,146,900
2021	03	780,300	11,000	1	183,300	0	974,600	974,600
2020	03	780,300	11,000	0	180,600	0	971,900	971,900
2019	03	847,800	11,000	0	180,600	0	1,039,400	1,039,400
2018	03	812,800	10,600	0	163,500	0	986,900	986,900
2017	03	812,800	10,600	0	163,500	0	986,900	986,900



▶ Land Information

Use Description	Units	Unit Type	Land Type	LT Fact	Unit Price	Adjusted	Neigh
1 03 Apartment	0.22957	AC	P	1.00	615,950	616,805	C13
2 03 Apartment	0.27869	AC	R	0.25	615,950	129,893	C13
3							
4							

Inf 1	Inf 1 %	Inf 2	Inf 2 %	Inf 3	Inf 3 %	Appr Value	Spec Land	Juris	Fact	Use Value
						141,600			1.00	0
						36,200			1.00	0



Building Information

Table with columns: Description, Apt, Story Height, COM Units, BMT Floor, Frame 2, EXT Wall 2, Roof Type 2, Roof Cover 2, INT Wall 2, Floors 2, Color, Electrical, Insulation, Heat Fuel, # Heat Sys, % Solar HW, % COM Wall, Ceil HGHT, Parking Type, EXT View

Grade

Table with columns: Grade, Q4, Q4, Year Built, 1994, EFF Year, Alt %, 0.00

Other Factors

Table with columns: Flood Hazard, Topography, Street Traffic, Bas \$/SQ, Size Adj, Constr Adj, Adj \$/SQ, Other Feats, Grade Fac, Neigh Infl, Land Factor, Adj Total, Depreciation, Depr Total

Sub-Area Detail

Table with columns: Code, Description, Area, Fin. Area, Rate, Undep V

Assessment

Table with columns: Date, Result, By

Visit History

Table with columns: Date, Result, By

Notes

12 UNITS LAND AREA CORRECTED 12/06 EAS LOTS 15 & 19 DROPPED INTO THIS LOT 10/28/93 2 units undergoing renovations of new kitchens, baths on inspection date. KR strip and rerof new windows and siding 11-6-13 mcb || PORTION OF LOT 0023 DROPPED INTO THIS LOT SEE ENV #520 9/21/06 ASSESSMENT REDUCED BY BOARD #2011-066 11/11 EAS Lot deemed buildable by zoning 5/4/18 MD

Remodeling History

Table with columns: Additions, Plumbing, Electric, Heating, General, Bath(s)

Condo Data

Table with columns: Complex Location, Tot Units, FL Level, # Floors, Bldg Seg

Building Permits

Table with columns: Issue Date, Permit #, Closed Date, BP Type, Est. Cost, Description/Directions

Special Features & Yard Items

Table with columns: Use, Description, A, Y/S, Qty, Length, Width, SF, Size, Quality, Condition, Year, Assessed Value

Other Info.

Table with columns: AFDU, PriorID1c, PriorID2a, PriorID2b, PriorID2c, PriorID3a, PriorID3b, PriorID3c

Room Counts by Floor

Table with columns: Units, # Rooms, # Bedrooms, Floor Level

WARRANTY DEED

I, Robert M. Kreft, of 17 Sandy Lane, Bristol, Rhode Island 02809, do hereby give and grant for good and valuable non-monetary consideration with *WARRANTY COVENANTS*, to Robert M. Kreft and his successors as trustee of the Robert M. Kreft 2020 Trust, also having an address of 17 Sandy Lane, Bristol, Rhode Island, 02809, the following described real property located in Bristol, Rhode Island:

That certain real estate with all buildings and improvements thereon set forth in Exhibit A, attached hereto and made a part hereof by reference.

This transfer is such that no documentary stamps are required and no withholding is required under R.I.G.L. Section 44-30-71.3.

The undersigned hereby certifies that this transfer is exempt from R.I.G.L. 22-28.35-1 as it is not a sale.

Being the same premises conveyed to this Grantor by Warranty Deed of Wall Street Investments, LLC dated May 23, 2013, and recorded in the Bristol Recorder of Deeds office on May 23, 2013 as Document Number 00001787 in Book 1709 beginning at page 306.

Witness my hand this 23<sup>rd</sup> day of September, 2020.

Lucia Flor  
Witness

Robert M. Kreft  
Robert M. Kreft

STATE OF RHODE ISLAND  
COUNTY Bristol

In Bristol (city/town) on this 23<sup>rd</sup> day of September, 2020 before me personally appeared Robert M. Kreft, to me known and known by me to be the person executing the foregoing deed, and he acknowledged said instrument, by him executed, to be his free act and deed.

Lucia Flor  
Notary Public  
My Commission Expires:

Lucia Flor  
Notary Public  
State of Rhode Island ID# 756908  
My Comm Expires 12-10-23

Property Address:  
22 Wall Street  
Bristol, RI 02809  
AP 33, Lot 17

After recording, return to:  
Leon C. Boghossian III, Esq.  
Hinckley Allen  
100 Westminster Street, Ste. 1500  
Providence, RI 02903

60142920



**EXHIBIT "A"**

Those certain lots or parcels of land with all the buildings and improvements thereon, situated in the Town and County of Bristol, State of Rhode Island, being numbered One Hundred Forty Five (145), One Hundred Forty Six (146) and One Hundred Forty Seven (147) on plan of Gooding Manor made by Herbert A. Pratt, C.E., dated May 1918, and recorded with the Bristol Town Clerk's Office, Bristol, Rhode Island to which reference may be had for a more particular description.

Recorded Oct 09,2020 at 01:55P.  
Louis P. Cirillo Town Clerk



# 22 Wall St - 200' Radius

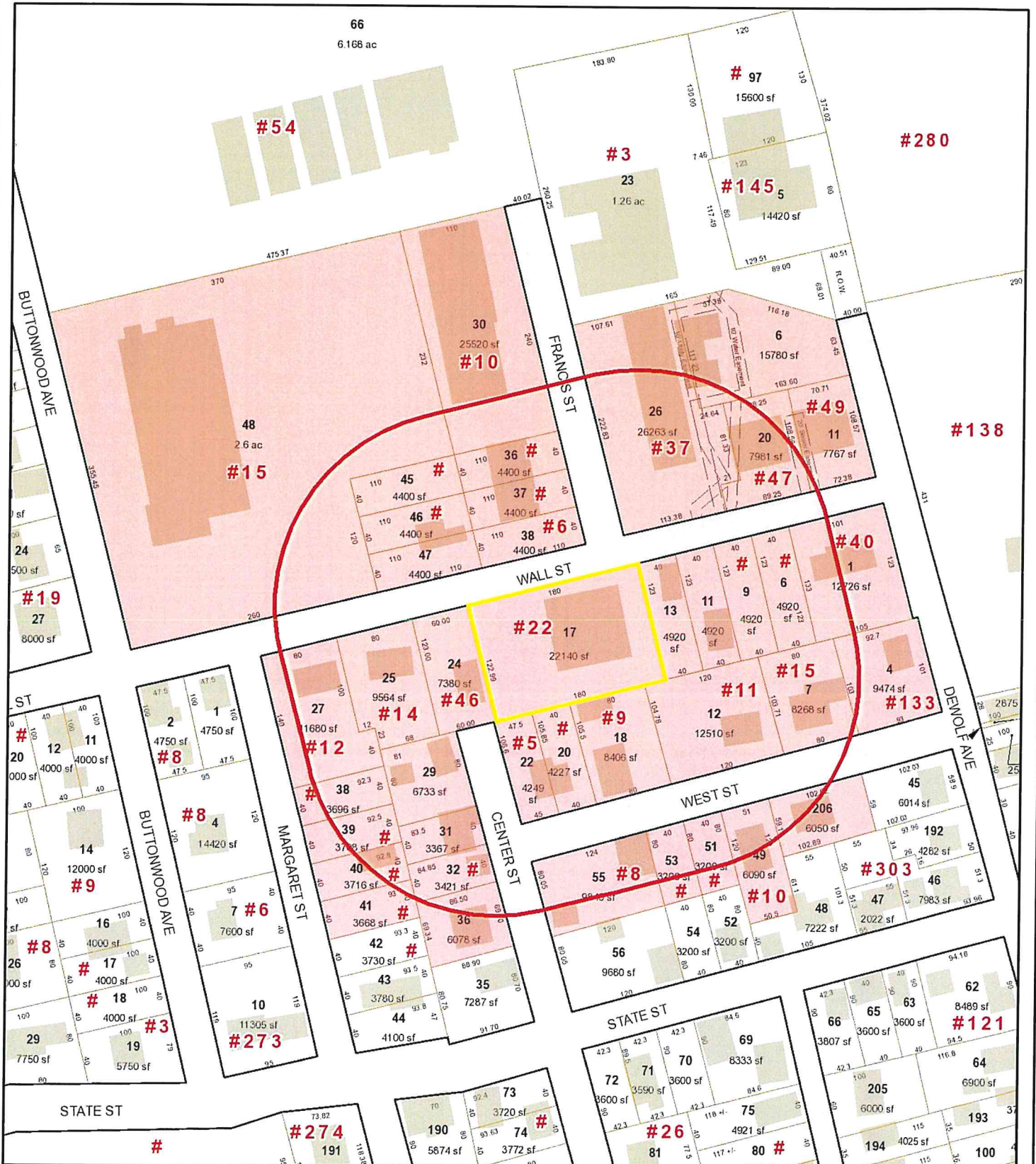
Bristol, RI



August 23, 2023

1 inch = 140 Feet

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# 200 foot Abutters List Report

Bristol, RI  
August 23, 2023

## Subject Property:

Parcel Number: 33-17	Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
CAMA Number: 33-17	M KREFT TRUST
Property Address: 22 WALL ST	17 SANDY LANE
	BRISTOL, RI 02809

## Abutters:

Parcel Number: 33-1	Mailing Address: BRANCO, JOSEPH JOAN
CAMA Number: 33-1	40 WALL ST
Property Address: 40 WALL ST	BRISTOL, RI 02809

Parcel Number: 33-11	Mailing Address: FURTADO, DANIEL C
CAMA Number: 33-11	38 WALL ST
Property Address: 38 WALL ST	BRISTOL, RI 02809

Parcel Number: 33-12	Mailing Address: SKARPOS, ELIAS N
CAMA Number: 33-12	324 HILTON ST
Property Address: 11 WEST ST	TIVERTON, RI 02878

Parcel Number: 33-13	Mailing Address: KREFT, ROBERT M - TRUSTEE ROBERT
CAMA Number: 33-13	M KREFT TRUST
Property Address: 36 WALL ST	17 SANDY LANE
	BRISTOL, RI 02809

Parcel Number: 33-17	Mailing Address: KREFT, ROBERT M., TRUSTEE-ROBERT
CAMA Number: 33-17	M KREFT TRUST
Property Address: 22 WALL ST	17 SANDY LANE
	BRISTOL, RI 02809

Parcel Number: 33-18	Mailing Address: NINE WEST PROPERTIES, LLC
CAMA Number: 33-18	32 LORRAINE STREET
Property Address: 9 WEST ST	BARRINGTON, RI 02806

Parcel Number: 33-20	Mailing Address: TROTT, JENNA R & TYLER D TE
CAMA Number: 33-20	PINGITORE, RAYMOND J JT
Property Address: WEST ST	5 WEST ST
	BRISTOL, RI 02809

Parcel Number: 33-206	Mailing Address: DIGATI, GINA M
CAMA Number: 33-206	115 HIGH STREET
Property Address: 14 WEST ST	BRISTOL, RI 02809

Parcel Number: 33-22	Mailing Address: TROTT, JENNA R & TYLER D TE
CAMA Number: 33-22	PINGITORE, RAYMOND J JT
Property Address: 5 WEST ST	5 WEST ST
	BRISTOL, RI 02809

Parcel Number: 33-24	Mailing Address: FERRO, SHERRI A
CAMA Number: 33-24	46 CENTER ST
Property Address: 46 CENTER ST	BRISTOL, RI 02809



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# 200 foot Abutters List Report

Bristol, RI  
August 23, 2023

Parcel Number: 33-25 CAMA Number: 33-25 Property Address: 14 WALL ST	Mailing Address: COTA, JOAO S MARIA F 14 WALL STREET BRISTOL, RI 02809
Parcel Number: 33-27 CAMA Number: 33-27 Property Address: 12 WALL ST	Mailing Address: PACHECO, JOSE M TERESA J LIFE ESTATE & PACHE 12 WALL ST BRISTOL, RI 02809
Parcel Number: 33-29 CAMA Number: 33-29 Property Address: 43 CENTER ST	Mailing Address: STEINER, BLANCHE B TRUSTEE BLANCHE B STEINER TRUST 43 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-31 CAMA Number: 33-31 Property Address: 41 CENTER ST	Mailing Address: HORTA, BRIAN J 41 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-36 CAMA Number: 33-36 Property Address: 35 CENTER ST	Mailing Address: TEIXEIRA, ASHLEY S 35 CENTER ST BRISTOL, RI 02809
Parcel Number: 33-38 CAMA Number: 33-38 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-39 CAMA Number: 33-39 Property Address: MARGARET ST	Mailing Address: RAPOSA, RONALD & CAMPBELL, REGINA TOWN OF BRISTOL TT 57 ST ELIZABETH ST BRISTOL, RI 02809
Parcel Number: 33-4 CAMA Number: 33-4 Property Address: 133 DEWOLF AVE	Mailing Address: ABENANTE, JULIE & DUNBAR, KATIE JT  133 DEWOLF AVE BRISTOL, RI 02809
Parcel Number: 33-40 CAMA Number: 33-40 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-41 CAMA Number: 33-41 Property Address: MARGARET ST	Mailing Address: HORTA, ARMANDO JR. SANDRA TE 277 STATE ST BRISTOL, RI 02809
Parcel Number: 33-49 CAMA Number: 33-49 Property Address: 10 WEST ST	Mailing Address: ANDRADE, ANTONIO S. MARY E. TE 10 WEST ST BRISTOL, RI 02809
Parcel Number: 33-51 CAMA Number: 33-51 Property Address: WEST ST	Mailing Address: SKELLY, ANNA C 293 STATE ST BRISTOL, RI 02809



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8/23/2023

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Page 2 of 4



# 200 foot Abutters List Report

Bristol, RI  
August 23, 2023

Parcel Number: 33-53 CAMA Number: 33-53 Property Address: WEST ST	Mailing Address: SKELLY, ANNA C 293 STATE ST BRISTOL, RI 02809
Parcel Number: 33-55 CAMA Number: 33-55 Property Address: 8 WEST ST	Mailing Address: MONTEIRO, KYLE R & ELYSE S TE 8 WEST ST BRISTOLT, RI 02809
Parcel Number: 33-6 CAMA Number: 33-6 Property Address: WALL ST	Mailing Address: FURTADO, DANIEL C 38 WALL ST BRISTOL, RI 02809
Parcel Number: 33-7 CAMA Number: 33-7 Property Address: 15 WEST ST	Mailing Address: ROBINSON JANET K 15 WEST STREET BRISTOL, RI 02809
Parcel Number: 33-9 CAMA Number: 33-9 Property Address: WALL ST	Mailing Address: FURTADO, DANIEL C 38 WALL ST BRISTOL, RI 02809
Parcel Number: 37-11 CAMA Number: 37-11 Property Address: 49 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-20 CAMA Number: 37-20 Property Address: 47 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-26 CAMA Number: 37-26 Property Address: 37 WALL ST	Mailing Address: MATOS ASSOCIATES, LLC 37 WALL ST BRISTOL, RI 02809
Parcel Number: 37-30 CAMA Number: 37-30 Property Address: 10 FRANCIS ST	Mailing Address: JRM PROPERTIES, LLC PO BOX 305 PORTSMOUTH, RI 02871
Parcel Number: 37-36 CAMA Number: 37-36 Property Address: FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809
Parcel Number: 37-37 CAMA Number: 37-37 Property Address: FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809
Parcel Number: 37-38 CAMA Number: 37-38 Property Address: 6 FRANCIS ST	Mailing Address: RELIABLE PEST CONTROL INC 6 FRANCIS ST BRISTOL, RI 02809



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# 200 foot Abutters List Report

Bristol, RI  
August 23, 2023

Parcel Number: 37-47  
CAMA Number: 37-47  
Property Address: 25 WALL ST

Mailing Address: ARRUDA, ALISON & GREGORY TE  
52 VIKING DR  
BRISTOL, RI 02809

Parcel Number: 37-48  
CAMA Number: 37-48  
Property Address: 15 WALL ST

Mailing Address: AJS ENTERPRISES LLC ATTN: STEVE J.  
DOLAN  
267 FERRY LANDING CIRCLE  
PORTSMOUTH, RI 02871

Parcel Number: 37-6  
CAMA Number: 37-6  
Property Address: 143 DEWOLF AVE

Mailing Address: MATOS ASSOCIATES, LLC  
37 WALL ST  
BRISTOL, RI 02809



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ABENANTE, JULIE & DUNBAR,  
133 DEWOLF AVE  
BRISTOL, RI 02809

HORTA, ARMANDO JR.  
SANDRA TE  
277 STATE ST  
BRISTOL, RI 02809

ROBINSON JANET K  
15 WEST STREET  
BRISTOL, RI 02809

AJS ENTERPRISES LLC  
ATTN: STEVE J. DOLAN  
267 FERRY LANDING CIRCLE  
PORTSMOUTH, RI 02871

JRM PROPERTIES, LLC  
PO BOX 305  
PORTSMOUTH, RI 02871

SKARPOS, ELIAS N  
324 HILTON ST  
TIVERTON, RI 02878

ANDRADE, ANTONIO S.  
MARY E. TE  
10 WEST ST  
BRISTOL, RI 02809

KREFT, ROBERT M - TRUSTEE  
ROBERT M KREFT TRUST  
17 SANDY LANE  
BRISTOL, RI 02809

SKELLY, ANNA C  
293 STATE ST  
BRISTOL, RI 02809

ARRUDA, ALISON & GREGORY  
52 VIKING DR  
BRISTOL, RI 02809

KREFT, ROBERT M., TRUSTEE  
17 SANDY LANE  
BRISTOL, RI 02809

STEINER, BLANCHE B TRUSTE  
BLANCHE B STEINER TRUST  
43 CENTER ST  
BRISTOL, RI 02809

BRANCO, JOSEPH  
JOAN  
40 WALL ST  
BRISTOL, RI 02809

MATOS ASSOCIATES, LLC  
37 WALL ST  
BRISTOL, RI 02809

TEIXEIRA, ASHLEY S  
35 CENTER ST  
BRISTOL, RI 02809

COTA, JOAO S  
MARIA F  
14 WALL STREET  
BRISTOL, RI 02809

MONTEIRO, KYLE R & ELYSE  
8 WEST ST  
BRISTOLT, RI 02809

TROTT, JENNA R & TYLER D  
PINGITORE, RAYMOND J JT  
5 WEST ST  
BRISTOL, RI 02809

DIGATI, GINA M  
115 HIGH STREET  
BRISTOL, RI 02809

NINE WEST PROPERTIES, LLC  
32 LORRAINE STREET  
BARRINGTON, RI 02806

FERRO, SHERRI A  
46 CENTER ST  
BRISTOL, RI 02809

PACHECO, JOSE M  
TERESA J LIFE ESTATE & P  
12 WALL ST  
BRISTOL, RI 02809

FURTADO, DANIEL C  
38 WALL ST  
BRISTOL, RI 02809

RAPOSA, RONALD & CAMPBELL  
TOWN OF BRISTOL TT  
57 ST ELIZABETH ST  
BRISTOL, RI 02809

HORTA, BRIAN J  
41 CENTER ST  
BRISTOL, RI 02809

RELIABLE PEST CONTROL INC  
6 FRANCIS ST  
BRISTOL, RI 02809