

- SURVEY NOTES:**
- ZONING INFORMATION SHOW FROM RECORD INFORMATION, MAPS AND / OR GIS. ZONING DATA MAY VARY BASED ON USE, LOT SIZE, ORIENTATION AND OTHER FACTORS AND IS SHOWN FOR REFERENCE INFORMATION ONLY.
  - ZONING DATA MUST BE CONFIRMED WITH ZONING OFFICIAL AND / OR LEGAL COUNSEL FOR USE IN DESIGN OR PERMITTING.
  - COORDINATE SYSTEM IS RI3800 / NAVD 88.
  - PLAN ELEMENTS ARE IN U.S. SURVEY FEET.
  - TOPOGRAPHY IS MIX OF ON GROUND SHOTS, RECORD DATA AND RI SPRING 2011 LIDAR.
  - ORTHOPHOTOGRAPHY NOT SHOWN.
  - ELEVATIONS SHOWN WITH " PER UAV DATA.
  - ALL PROPOSED ITEMS MUST BE LAID OUT BY REGISTERED SURVEYOR AS NOTED.
  - PLAN IS NOT AS-BUILT UTILITY PLAN.
  - ABUTTING PROPERTY LINES SHOWN APPROXIMATELY PER TOWN GIS OR BEST AVAILABLE INFORMATION.
  - FLOOD ZONE LINE IS SHOWN PER GRAPHIC PLOTTING ONLY, UNLESS OTHERWISE NOTED ON PLAN.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT OF PROBATE SEARCH, AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - LOCATION OF SUBSURFACE MAINS, SURFACE FEATURES, AND LATERALS ARE OMITTED. CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE TEL: 1-800-344-7233 (1-800-DIG-SAFE).
- A WATER - SHOWN PER PLAN REFERENCE #1  
 B SEPTIC, SEWER - PER FIELD CARD + SURFACE ELEMENTS  
 C GAS - PER SURVEY REF.  
 D ELECTRIC - SHOWN PER PLAN REFERENCE #1  
 E STORM DRAIN - NOT SHOWN  
 ALL UTILITIES DEPICTED AT ASCE QUALITY LEVEL D.

**REFERENCES**

PLAT BOOK B PAGE 55  
 BRISTOL COUNTY REALTY COMPANY INC...  
 1940... SCALE 1"=40'... H.S. JEWELL

REFERENCE SURVEY PROVIDED BY OTHERS:  
 PLAN BY ALPHA ASSOCIATES  
 EXISTING CONDITIONS SURVEY PLAN  
 AP 23 LOT 185, 189, & 192  
 68 MAGNOLIA ST BRISTOL RI  
 SCALE 1" = 10' DATE AUG 13, 2021  
 SHOWN AS XREF (SCREENED)

Zone	R-6
Minimum lot area	6,000 s.f.
Minimum lot area per dwelling unit	6,000 s.f. for first dwelling unit, plus 4,000 s.f. for each additional dwelling unit
Minimum lot area per rooming unit	2,000 s.f.
Minimum lot width	60 ft. for 1 dwelling unit, 80 ft. for 2 dwelling units, 100 ft. for all other uses
Minimum frontage	60 ft.
Maximum lot coverage by structures	30% for residential, 35% for any other use
Minimum front yard setback	Average setback of the block or 20 ft., whichever is less
Minimum side yard setback	10 ft.
Minimum rear yard setback	20 ft.
Maximum height of principal structures (**)	35 ft. or average of block whichever is greater
Maximum height of accessory structures (4)	20 ft.
Maximum height of accessory structures (4)	20 ft.
Maximum size of accessory structures (4)	22 ft. x 24 ft.

**EXISTING LOT COVERAGE COMBINED LOTS**

No	LOT	DESCRIPTION	AREA	UNITS
1	189, 185, 192	EXISTING AREA	15,600	S.F.
2		EXISTING STRUCTURE	1,428	S.F.
3				S.F.
9		TOTAL LOT COVERAGE AREA	1,428	S.F.
10		LOT COVERAGE	9.2%	
		MAXIMUM LOT COVERAGE	30%	

**BRISTOL ZONING ORDINANCE SECTION 28-221:**

(2) Adjacent lawfully established undeveloped lots, or adjacent lawfully established developed and undeveloped lots, in the same ownership in the OS, E1, R-15, R-10, R-100V, R-8 and R-6 zones which have less than the minimum area or frontage requirements shall be deemed to be merged together as one lot by operation of this chapter. Any such merged lot shall not be divided except as follows:

- Any such division shall be deemed to be a subdivision and subject to all requirements of the subdivision regulations of the town, including without limitation the requirement for planning board approval; and
- All resulting lots must meet all dimensional requirements of this chapter, including without limitation, the minimum lot area and frontage requirements, or obtain a dimensional variance from the zoning board of review. The zoning board may grant a dimensional variance for previously merged lots from the requirements of this merger provision wherein the zoning board may make a specific finding of fact that lots, as unmerged, will be of a size generally in conformance with the area of developed lots in the surrounding vicinity. Such lots shall further have the minimum width requirement of lots in that zone generally or at the very least shall have a lot width of not less than 80 percent of the lot width required for the underlying zone.

**SHEET INDEX:**  
 SV100: EXISTING CONDITIONS  
 SV101: PROPOSED SUBDIVISION  
 C100: PROPOSED SITE PLAN (GRADING + UTILITIES)  
 C101: DETAILS AND NOTES

**LEGEND**

100.00'	DIMENSION - EXISTING
100.00'	DIMENSION - PROPOSED
100.00' (D)	PLAN / DEED DIMENSION
100.00' (S)	SURVEY DIMENSION
---	PROPERTY LINE - ABUTTING
---	PROPERTY LINE - EXISTING
---	PROPERTY LINE - PROPOSED
---	SETBACKS
---	GRADE CONTOUR - EXISTING
---	GRADE CONTOUR - PROPOSED
---	ELECTRIC - OVERHEAD (OHE)
---	ELECTRIC - TELEPHONE - CABLE (ETC)
---	ELECTRIC - UNDERGROUND (UGE)
---	GAS (G)
---	SANITARY SEWER (S)
---	STORM DRAIN (SD)
---	WATER
---	LIMIT OF DISTURBANCE (LOD)
---	SEDIMENT CONTROL (SED)
---	LOD / SED
---	EDGE OF PAVEMENT - EXISTING
---	FENCE - METAL
---	FENCE - WOOD
---	STONE WALL
---	BRUSH LINE (APPROXIMATE)
---	WETLAND LIMIT
[Symbol]	CATCH BASIN
[Symbol]	DRAINAGE MANHOLE
[Symbol]	SANITARY MANHOLE
[Symbol]	ELECTRICAL MANHOLE
[Symbol]	TELEPHONE MANHOLE
[Symbol]	WELL
[Symbol]	GATE VALVE
[Symbol]	WATER SHUT OFF
[Symbol]	FIRE HYDRANT
[Symbol]	ELECTRIC BOX (ETC)
[Symbol]	UTILITY POLE
[Symbol]	DOWNSPOUT
[Symbol]	BENCHMARK
[Symbol]	CURB INLET
[Symbol]	STRUCTURE, EXISTING
[Symbol]	STRUCTURE, PROPOSED
[Symbol]	SPOT GRADE - EXISTING
[Symbol]	SPOT GRADE - PROPOSED
[Symbol]	TREE
[Symbol]	DRILL HOLE
[Symbol]	GRANITE BOUND
[Symbol]	REBAR / STEEL PIPE FOUND
[Symbol]	SPIKE
[Symbol]	WETLAND FLAG
[Symbol]	COASTAL FEATURE FLAG
[Symbol]	COASTAL BUFFER POST
[Symbol]	FLOW ARROW
[Symbol]	SOIL EVALUATION

**NEI**  
**Narragansett**  
 Engineering Inc.  
 Civil - Survey Structural Environmental Design  
 3102 East Main Road, Portsmouth RI 02871  
 Tel. 401.683.6630 www.nei-cds.com

**SHEET TITLE**  
 AGOSTINI SUBDIVISION  
 EXISTING CONDITIONS

Josh Agostini  
 58 Magnolia St  
 Bristol, RI 02809  
 T. 774-991-2406  
 E. joshag@elitetbuildingteam.com

Property Records  
 68 Magnolia St, Bristol, RI 02809  
 Plat: 23, Lot: 189  
 Zone: R-6, Area: 0.122 Acres  
 N/F: Magnolia Improvements LLC  
 Year Built: 1950  
 Book/Page: 2082-255

Roma St, Bristol, RI 02809  
 Plat: 23, Lot: 185  
 Zone: R-6, Area: 0.103 Acres  
 N/F: Magnolia Improvements LLC  
 Year Built: 1950  
 Book/Page: 2082-255

Magnolia St, Bristol, RI 02809  
 Plat: 23, Lot: 192  
 Zone: R-6, Area: 0.122 Acres  
 N/F: Magnolia Improvements LLC  
 Year Built: 1950  
 Book/Page: 2082-255

**CERTIFICATION**  
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON DECEMBER 31, 2020 (EFFECTIVE DATE), AS FOLLOWS:  
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: FOR USE IN SUBDIVISION PLANNING AND DESIGN  
 LIMITED CONTENT BOUNDARY SURVEY - CLASS I  
 DATA ACCUMULATION SURVEY - CLASS III  
 TOPO T-2

**NEAL K. HINGORANY**  
 #2515  
 PROFESSIONAL  
 LAND SURVEYOR

NEAL HINGORANY REG. 2515  
 COA: A38

PROJECT #	DATE	DRAWN	CHECK
23.0144	01/03/24	CB	NKH
No	DATE	REVISIONS/DESCRIPTION	BY

**PURPOSE + GOALS**  
 ALLOW PROPOSED LOT 192 TO REMAIN > 10,000 SQFT TO PRESERVE A MULTI-FAMILY DWELLING (AND AVOID FURTHER RELIEF).  
 AS SUCH, PROPOSED LOT 189 IS LIMITED TO ~56' WIDTH AND 5,998 SQFT. REQUISITE VARIANCES ARE REQUESTED.  
 A SINGLE FAMILY DWELLING IS PROPOSED ON LOT 189

LOTS 185 + 192 + 189 ARE A SINGLE LOT OF RECORD (MERGED)  
 THESE LOTS SHALL BE SUBDIVIDED INTO TWO PARCELS OF RECORD  
 LOT 189 (68 MAGNOLIA)  
 LOT 192

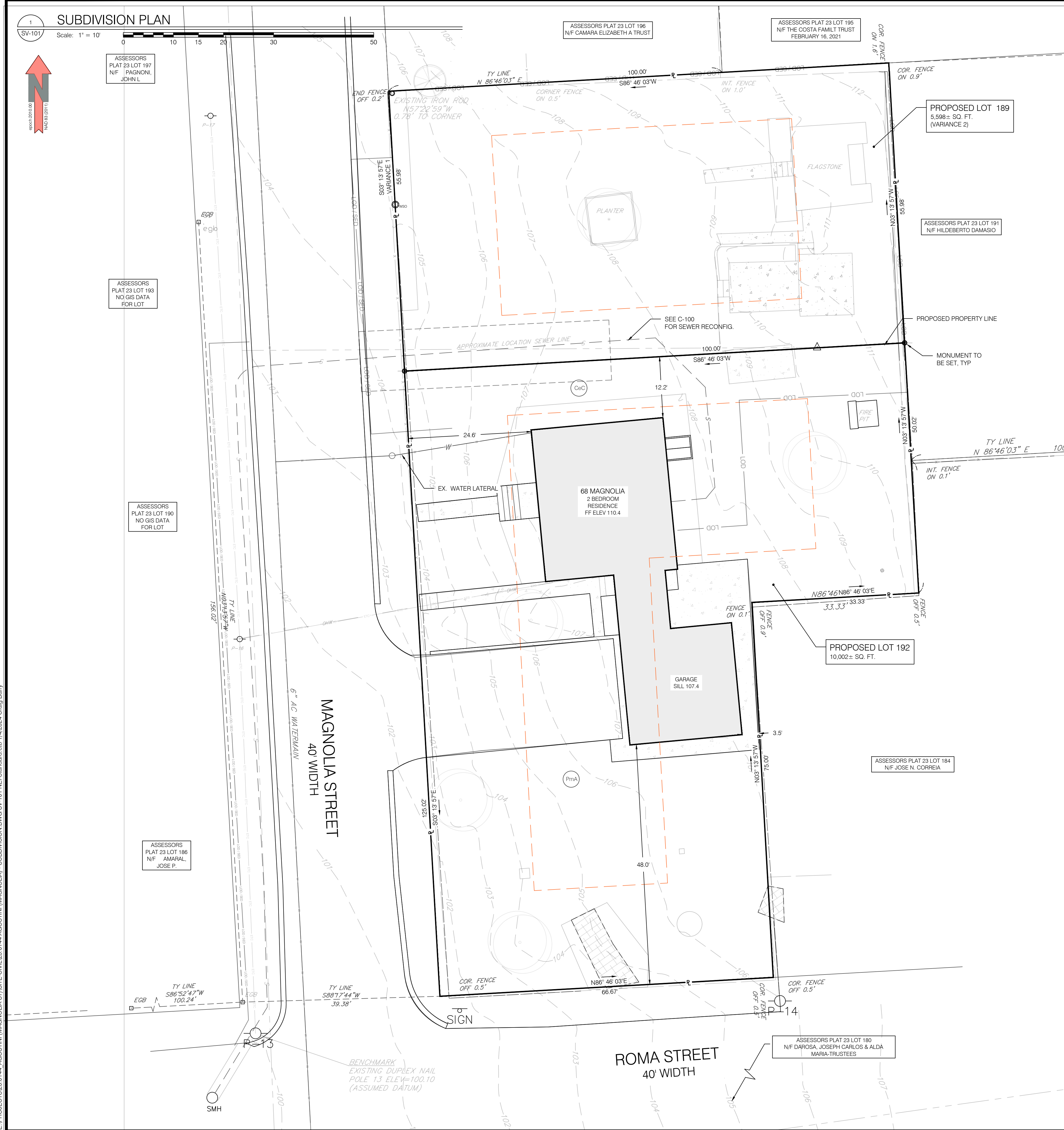
**DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID. THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI.**

**LOCUS MAP**

**SCALE**  
 1" = 10'

**SV-100**

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**SURVEY NOTES:**

1. ZONING INFORMATION SHOWN FROM RECORD INFORMATION, MAPS AND / OR GIS. ZONING DATA MAY VARY BASED ON USE, LOT SIZE, ORIENTATION AND OTHER FACTORS AND IS SHOWN FOR REFERENCE INFORMATION ONLY.
2. ZONING DATA MUST BE CONFIRMED WITH ZONING OFFICIAL AND / OR LEGAL COUNSEL FOR USE IN DESIGN OR PERMITTING.
3. COORDINATE SYSTEM IS RI3800 / NAVD 88.
4. PLAN ELEMENTS ARE IN U.S. SURVEY FEET.
5. TOPOGRAPHY IS MIX OF ON GROUND SHOTS, RECORD DATA AND RI SPRING 2011 LIDAR.
6. ORTHOPHOTOGRAPHY NOT SHOWN.
7. ELEVATIONS SHOWN WITH \* PER UAV DATA.
8. ALL PROPOSED ITEMS MUST BE LAID OUT BY REGISTERED SURVEYOR AS NOTED.
9. PLAN IS NOT AS-BUILT UTILITY PLAN.
10. ADJUTING PROPERTY LINES SHOWN APPROXIMATELY PER TOWN GIS OR BEST AVAILABLE INFORMATION.
11. FLOOD ZONE LINE IS SHOWN PER GRAPHIC PLOTTING ONLY, UNLESS OTHERWISE NOTED ON PLAN.
12. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT OF PROBATE SEARCH, AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
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A. WATER - SHOWN PER PLAN REFERENCE # 1  
 B. SEPTIC, SEWER PER FIELD CARD + SURFACE ELEMENTS  
 C. GAS - PER SURVEY REF.  
 D. ELECTRIC - SHOWN PER PLAN REFERENCE # 1  
 E. STORM DRAIN - NOT SHOWN

ALL UTILITIES DEPICTED AT ASCE QUALITY LEVEL D.

Zone	R-6
Minimum lot area	6,000 s.f.
Minimum lot area per dwelling unit	6,000 s.f. for first dwelling unit, plus 4,000 s.f. for each additional dwelling unit
Minimum lot area per rooming unit	2,000 s.f.
Minimum lot width	60 ft. for 1 dwelling unit, 80 ft. for 2 dwelling units, 100 ft. for all other uses
Minimum frontage	60 ft.
Maximum lot coverage by structures	30% for residential, 35% for any other use
Minimum front yard setback	Average setback of the block or 20 ft., whichever is less
Minimum side yard setback	10 ft.
Minimum rear yard setback	20 ft.
Maximum height of principal structures (**)	35 ft. or average of block whichever is greater
Maximum height of accessory structures (4)	20 ft.
Maximum height of accessory structures (4)	20 ft.
Maximum size of accessory structures (4)	22 ft. x 24 ft.

EXISTING LOT COVERAGE COMBINED LOTS				
No	LOT	DESCRIPTION	AREA	UNITS
1	189,185,192	EXISTING AREA	15,600	S.F.
2		EXISTING STRUCTURE	1,428	S.F.
3				S.F.
9		TOTAL LOT COVERAGE AREA	1,428	S.F.
10		LOT COVERAGE	9.2%	
		MAXIMUM LOT COVERAGE	30%	

PROPOSED LOT 192 COVERAGE				
No	LOT	DESCRIPTION	AREA	UNITS
1	192	PROPOSED LOT AREA	10,002	S.F.
2		EXISTING STRUCTURE	1,428	S.F.
3				S.F.
9		TOTAL LOT COVERAGE AREA	1,428	S.F.
10		LOT COVERAGE	14.3%	
		MAXIMUM LOT COVERAGE	30%	

VARIANCE REQUEST TABLE							
No.	Lot	Regulation	Description	Prescribed	Provided	Request	Units
1	189	28-111	LOT FRONTAGE	60	56	4	Feet
2	189	28-111	LOT AREA	6,000	5,598	402	Sq. Ft.

\*Rear setback for proposed lot 192 is a pre-existing nonconformity



**SHEET TITLE**  
 GASTINI SUBDIVISION  
 PROPOSED SUBDIVISION

Josh Agostini  
 58 Magnolia St  
 Bristol, RI 02809  
 T. 774-991-2406  
 E. josh@ettebuildingteam.com

**Property Records**  
 68 Magnolia St, Bristol, RI 02809  
 Plat: 23, Lot: 189  
 Zone: R-6, Area: 0.122 Acres  
 N/F: Magnolia Improvements LLC  
 Year Built: 1950  
 Book/Page: 2082-255

Roma St, Bristol, RI 02809  
 Plat: 23, Lot: 185  
 Zone: R-6, Area: 0.103 Acres  
 N/F: Magnolia Improvements LLC  
 Year Built: 1950  
 Book/Page: 2082-255

Magnolia St, Bristol, RI 02809  
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LIMITED CONTENT BOUNDARY SURVEY - CLASS I  
 DATA ACCUMULATION SURVEY - CLASS III  
 TOPO T-2



NEAL HINGORANY REG. 2515  
 COA: A38

PROJECT #	DATE	DRAWN	CHECK
23.0144	01/03/24	CB	NKH

No	DATE	REVISIONS/DESCRIPTION	BY

**PURPOSE + GOALS**  
 ALLOW PROPOSED LOT "192" TO REMAIN > 10,000 SQFT TO PRESERVE A MULTI-FAMILY DWELLING (AND AVOID FURTHER RELIEF).  
 AS SUCH, PROPOSED LOT "189" IS LIMITED TO ~66' WIDTH AND 5,598 SQFT. REQUISITE VARIANCES ARE REQUESTED.  
 A SINGLE FAMILY DWELLING IS PROPOSED ON LOT "189"

LOTS 185+192+189 ARE A SINGLE LOT OF RECORD (MERGED)  
 THESE LOTS SHALL BE SUBDIVIDED INTO TWO PARCELS OF RECORD  
 LOT 189 (68 MAGNOLIA)  
 LOT 192

**DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID. THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI.**



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NOTE: SOILS PER NRCS, SUBJECT TO SOIL EVALUATION  
 BIORETENTION AREAS MAY BE REMOVED IN FAVOR OF DRYWELLS  
 IF WATER TABLE AND SOILS ALLOW

ALL DOWNSPOUTS SHALL BE CONNECTED TO BMP.

STORMWATER DESIGN IS SCHEMATIC AND SUBJECT TO DESIGN AT  
 LATER PERMITTING STAGES.

STORMWATER NOTE:  
 PER AN EMAIL FROM EDWARD M. TANNER, PRINCIPAL  
 PLANNING/ZONING OFFICER ON JAN 26, 2023, THE PROPERTY IS  
 LOCATED OUTSIDE OF THE TANYARD BROOK WATERSHED AND IS  
 SUBJECT ONLY TO CHAPTER 29 OF THE BRISTOL TOWN CODE

SOILS DATA PER NRCS:  
 Coe: Canton Chert  
 Typical profile  
 Oe - 0 to 2 inches: moderately decomposed plant material  
 A - 2 to 4 inches: fine sandy loam  
 Bw - 4 to 27 inches: gravelly fine sandy loam  
 C - 27 to 65 inches: gravelly fine sandy loam  
 Properties and qualities  
 Slope: 0 to 8 percent  
 Surface area covered with cobbles, stones or boulders: 1.6 percent  
 Depth to restrictive feature: More than 80 inches  
 Drainage class: Well drained  
 Runoff class: Low  
 Capacity of the most limiting layer to transmit water (Ksat): Moderately low to high (0.14 to 14.17 in/hr)  
 Depth to water table: More than 80 inches  
 Frequency of flooding: None  
 Frequency of ponding: None  
 Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)  
 Available water supply: 0 to 60 inches: Moderate (about 8.7 inches)

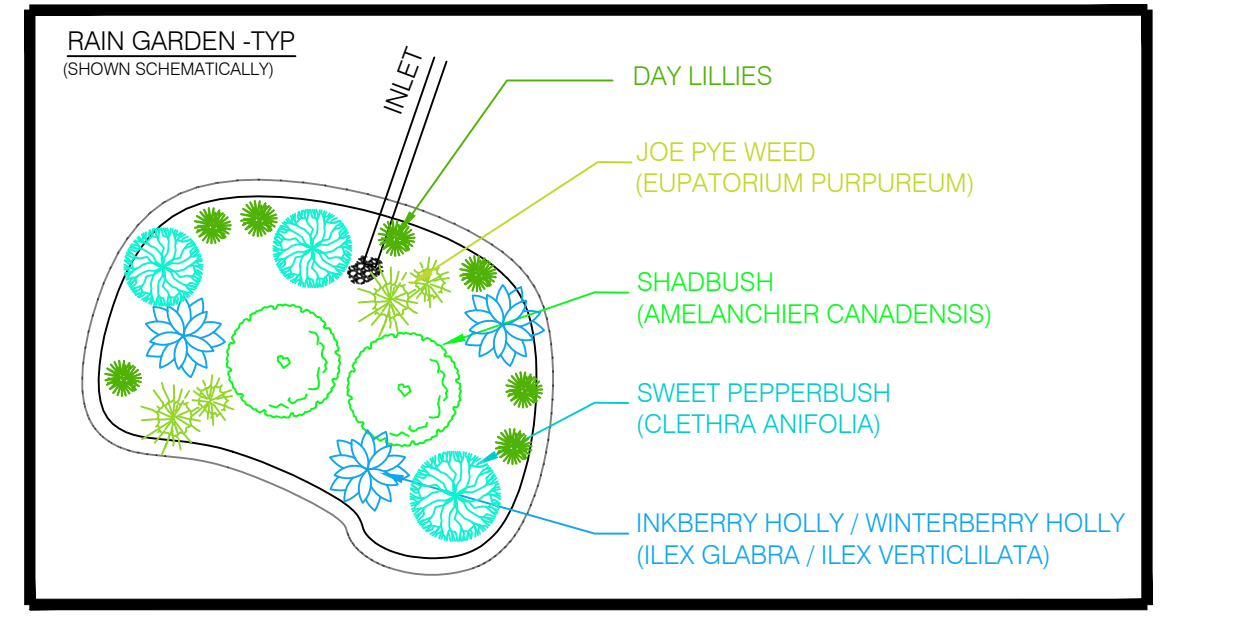
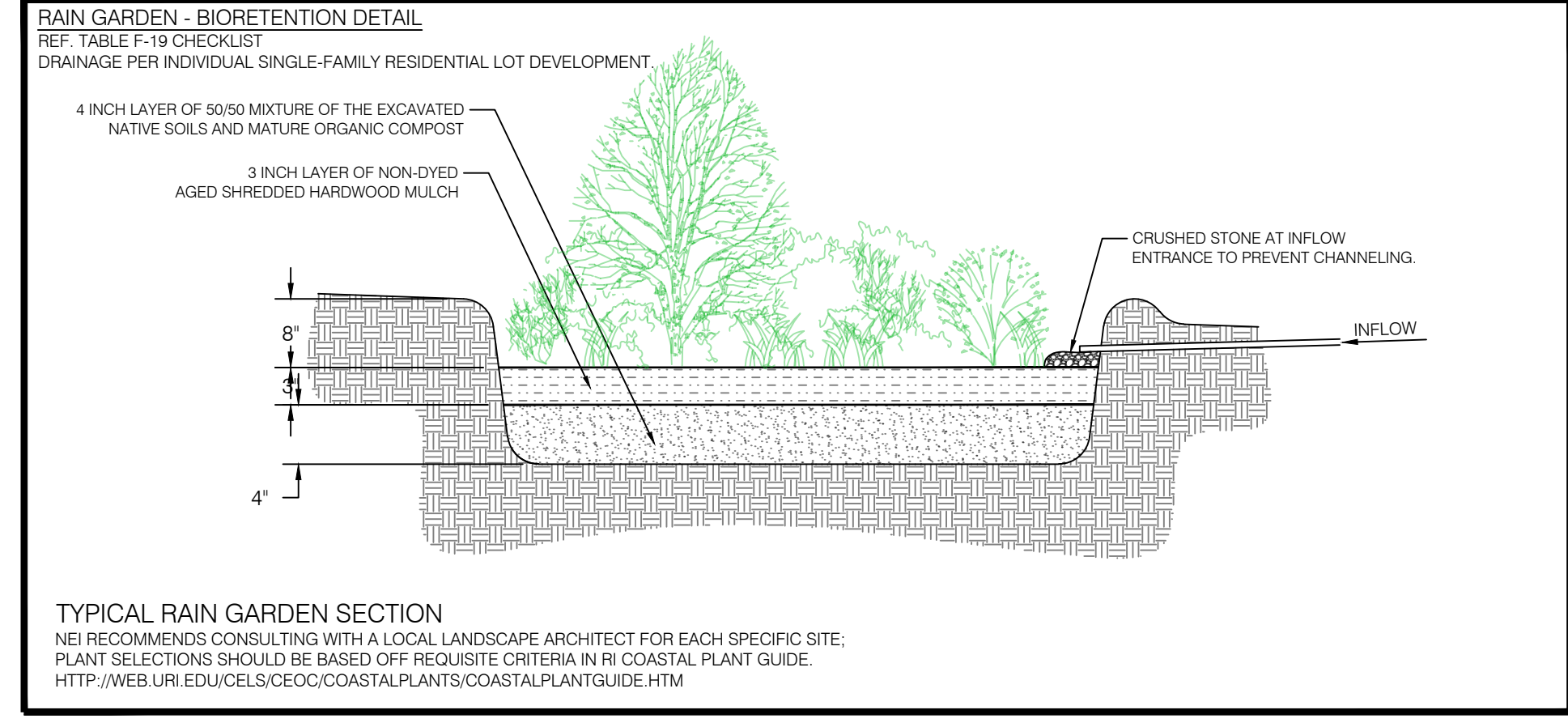
PmA Pittstown Silt Loam:  
 Typical profile  
 A - 0 to 8 inches: very stony silt loam  
 Bw - 8 to 28 inches: silt loam  
 Cd - 28 to 60 inches: channely silt loam  
 Properties and qualities  
 Slope: 0 to 3 percent  
 Depth to restrictive feature: More than 80 inches  
 Drainage class: Moderately well drained  
 Runoff class: Low  
 Capacity of the most limiting layer to transmit water (Ksat): Moderately low to moderately high (0.06 to 0.60 in/hr)  
 Depth to water table: About 18 to 36 inches  
 Frequency of flooding: None  
 Frequency of ponding: None  
 Available water supply: 0 to 60 inches: Low (about 5.0 inches)

NOTE: SOILS PER NRCS, SUBJECT TO SOIL EVALUATION  
 BIORETENTION AREAS MAY BE REMOVED IN FAVOR OF DRYWELLS  
 IF WATER TABLE AND SOILS ALLOW

ALL DOWNSPOUTS SHALL BE CONNECTED TO BMP.

STORMWATER DESIGN IS SCHEMATIC AND SUBJECT TO DESIGN AT  
 LATER PERMITTING STAGES.

UTILITY NOTE:  
 ALL UTILITIES SHALL CONFORM TO AHJ REQUIREMENTS, THESE  
 ARE SHOWN SCHEMATICALLY FOR SUBDIVISION PERMITTING ONLY.  
 SEWER LINES ARE DISPLAYED PER EMAIL DISCUSSION WITH JOSE  
 DASILVA, SUPERINTENDENT ON AND AROUND NOV. 9, 2023. SEWER  
 LINE AS SHOWN IS CONCEPTUALLY ACCEPTABLE



**BIORETENTION DETAILS (SCHEMATIC)**  
 SCALE: NOT TO SCALE

PROPOSED LOT 189 COVERAGE			
No	LOT	DESCRIPTION	AREA UNITS
1	189	LOT AREA	5,598 S.F.
2		PROPOSED STRUCTURE	1,456 S.F.
3		incl. decks + garage	S.F.
4			S.F.
8		TOTAL LOT COVERAGE AREA	1,456 S.F.
9			
10		LOT COVERAGE	26.0%
		MAXIMUM LOT COVERAGE	30%

**SHEET TITLE**  
 AGOSTINI SUBDIVISION  
 PROPOSED SITE/CIVIL PLAN  
 GRADING AND UTILITIES

Josh Agostini  
 58 Magnolia St.  
 Bristol, RI 02809  
 T. 774-991-2406  
 E. josh@ettebuildingteam.com

Property Records  
 68 Magnolia St. Bristol, RI 02809  
 Plat: 23 Lot: 189  
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Magnolia St. Bristol, RI 02809  
 Plat: 23 Lot: 192  
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LIMITED CONTENT BOUNDARY SURVEY - CLASS I  
 DATA ACCUMULATION SURVEY - CLASS III

NEI K. HINGORANY  
 2515  
 PROFESSIONAL  
 LAND SURVEYOR

NEAL HINGORANY REG. 2515  
 COA: A38

PROJECT #	DATE	DRAWN	CHECK
23.0144	01/03/24	CB	NKH

No	DATE	REVISIONS/DESCRIPTION	BY

**PURPOSE + GOALS**  
 ALLOW PROPOSED LOT 189 TO REMAIN > 10,000  
 SQFT TO PRESERVE A MULTI-FAMILY DWELLING (AND  
 AVOID FURTHER RELIEF).  
 AS SUCH, PROPOSED LOT 189 IS LIMITED TO ~56'  
 WIDTH AND 5,598 SQFT. REQUISITE VARIANCES ARE  
 REQUESTED.  
 A SINGLE FAMILY DWELLING IS PROPOSED ON LOT  
 189

LOTS 185 + 192 + 189 ARE A SINGLE LOT OF RECORD  
 (MERGED)  
 THESE LOTS SHALL BE SUBDIVIDED INTO TWO  
 PARCELS OF RECORD  
 LOT 189 (68 MAGNOLIA)  
 LOT 192

DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID.  
 THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT  
 BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI.



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**SITE DESIGN NOTES**

- BUILDINGS, UTILITIES AND GRADING SHOWN ARE SCHEMATIC ONLY
- UTILITY SERVICE LINES SHALL BE CONSTRUCTED IN CONFORMANCE WITH AHJ REQUIREMENTS.
- BMP'S SHOWN ARE SCHEMATIC, SHOWING THE APPROXIMATE LOCATION AND SIZE FOR MASTER PRELIMINARY
- PATIOS SHALL BE CONSTRUCTED ON GRADE IN CONFORMANCE WITH ZONING ORDINANCE TO AVOID REQUIRING AREAS TO BE ADDED TO LOT COVER
- A DRIVEWAY/CURB CUT APPLICATION AND PHYSICAL ALTERATION/EXCAVATION PERMIT MUST BE SUBMITTED BY THE NEW OWNER WHEN HOME CONSTRUCTION IS BEING PLANNED.

**DESIGN NOTE:**  
FOUNDATION AND DAMP PROOFING MAY BE REQUIRED SUBJECT TO ARCHITECTURAL DESIGN. ARCHITECT / CONTRACTOR TO COORDINATE ANY SUBDRAINS AND SUMP PUMPS LOCATIONS AND CONSTITUENCY

**GENERAL NOTES:**

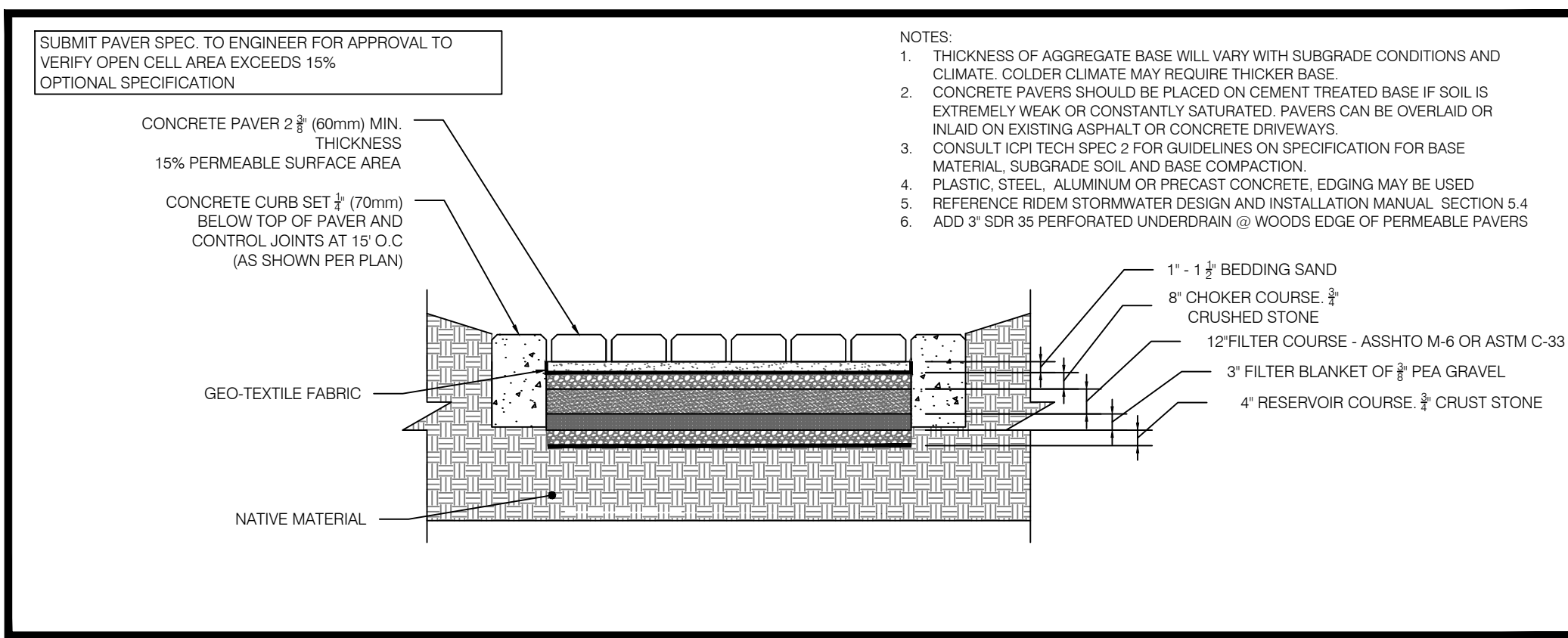
- THE STATE OF RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION 2004 EDITION OR LATEST REVISION. THE 2004 EDITION OF THE STANDARD SPECIFICATION MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- IT SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY AND ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH ARCHITECT OR ENGINEER AS NECESSARY
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE JOB SITE. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ANY EXPOSED EXCAVATED AREAS IN ACCORDANCE WITH OSHA STANDARDS.
- IN THE CASE THAT ANY DEVIATION / ALTERATION / OR IMPROVEMENT FROM THE APPROVED PLANS IS NECESSARY THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER PRIOR TO OCCURRENCE OF DEVIATION
- ALL WORK SHALL BE LIMITED TO THE AREAS WITHIN THE LIMIT OF DISTURBANCE DISPLAYED ON THESE PLANS OR PROPERTY LINE IF LIMIT OF DISTURBANCE IS UNCLEAR. ANY AREA DISTURBED OUTSIDE OF THE LIMIT OF DISTURBANCE SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER OR ENGINEER, AND PREFORMED TO THE ENGINEERS SATISFACTION
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATION SHOWN ON THESE PLANS AND/OR ACCOMPANYING SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF ANY CONFLICTS WITH EXISTING CONDITIONS OR PROPOSED CONDITIONS EXIST. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED
- EXCAVATED ROCK SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER. SUITABLE ROCK MAY BE UTILIZED IN FILL AREAS WITH WRITTEN PERMISSION OF THE OWNERS REPRESENTATIVES
- DEBRIS, ORGANICS AND OTHER UNSUITABLE MATERIALS UNCOVERED DURING THE COURSE OF SITE EXCAVATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING UTILITIES THAT SERVICE THE SITE AND NEIGHBORING AREAS. IF ANY DAMAGE OCCURS TO EXISTING UTILITIES IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PAY ALL COSTS ASSOCIATED WITH REPAIR OF UTILITIES AS DIRECTED BY THE ENGINEER, UTILITY OWNER, OR GOVERNING AGENCY
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE-OFF IN COMPUTING ANY ESTIMATES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. 'DIG SAFE' SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION
- NO EXCAVATION SHALL PROCEED UNTIL UTILITY COMPANIES ARE NOTIFIED IN ADVANCE
- ALL TREE PROTECTION BY OTHERS UNLESS OTHERWISE NOTED
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS WITH APPROPRIATE SEED MIXTURES

**GRADING AND UTILITIES NOTES:**

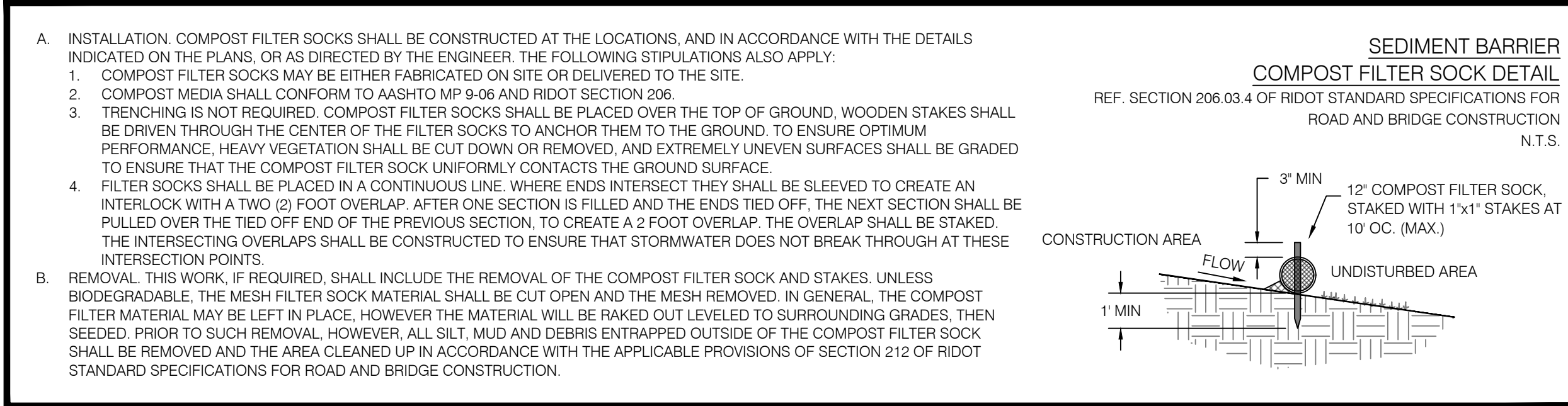
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED WORK SHOWN ON THESE PLANS DO NOT CONFLICT WITH ANY EXISTING CONDITIONS OR OTHER PROPOSED WORK. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH WORK, THE LOCATION, ELEVATION, SIZE AND MATERIAL SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR IMMEDIATELY AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE CONTRACTOR SHALL NOT CONTINUE WORK ON AFFECTED UTILITIES UNTIL THE CONFLICT IS RESOLVED
- ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINE AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS
- ALL UTILITY COVERS, GRATES, AND THE LIKE SHALL BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH. RIM ELEVATIONS ARE APPROXIMATE. AND FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANY, AS REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADING. ANY DAMAGE RESULTING TO THESE FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE
- ALL WATER WORKS SHALL HAVE 5 FEET OF COVER
- GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY UTILITY COMPANY
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINE OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATION AT NO COST TO THE OWNER
- PITCH EVENLY BETWEEN ALL SPOT GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY ROCKS, DEBRIS, ORGANICS, OR THE LIKE UNCOVERED IN THE COURSE OF WORK
- REFER TO RECORDS BY CITY OF NEWPORT UTILITIES FOR LATERAL INFORMATION
- ANY EXISTING UNKNOWN UTILITIES SHALL BE ALLOWED TO REMAIN IN THEIR PRESENT LOCATION UNLESS OTHER PROVISIONS ARE MADE FOR EASEMENTS

**EROSION AND SEDIMENT CONTROL NOTES:**

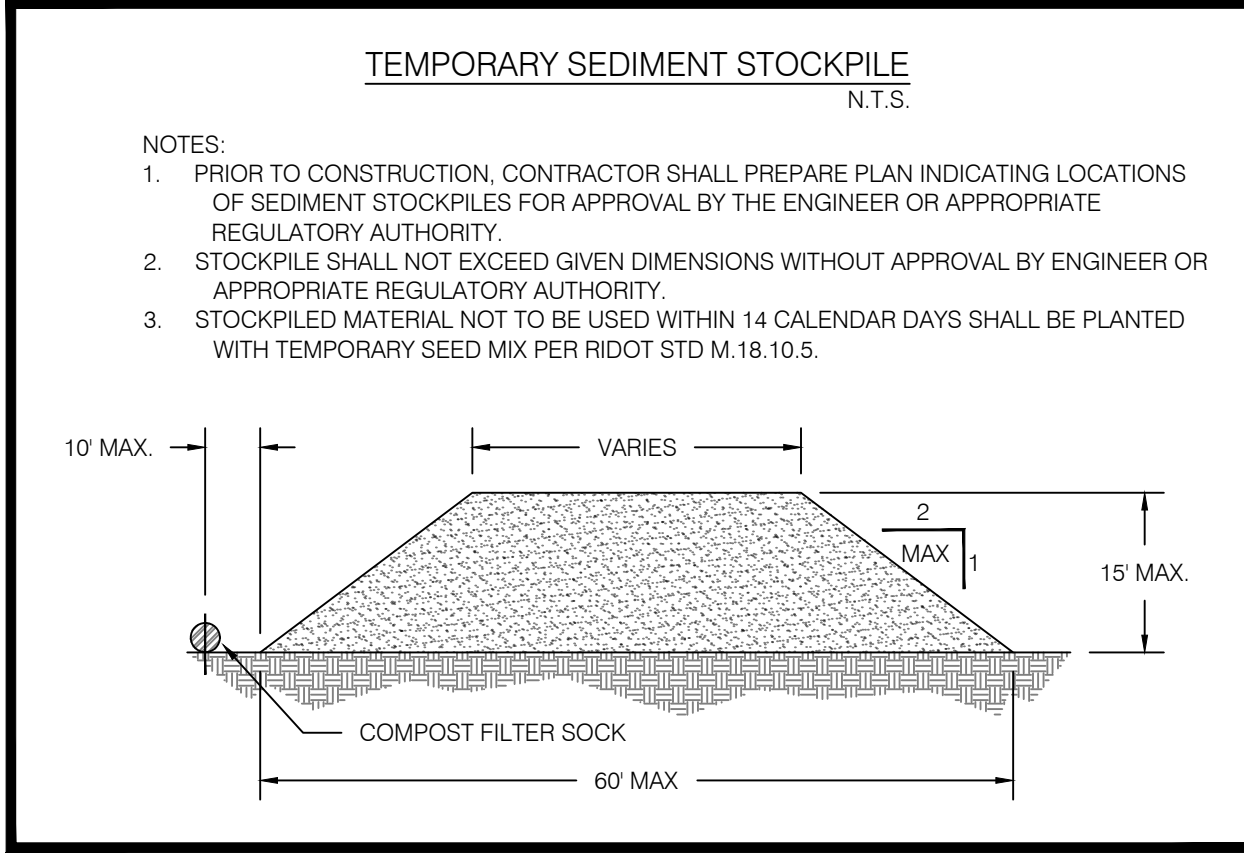
- ALL EROSION CONTROL SHALL BE IN ACCORDANCE WITH RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST REVISION
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THESE PLANS
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ONCE WEEKLY OR AFTER EVERY RAINFALL EVENT GREATER THAN 0.25 INCHES.
- SEDIMENT BUILD UP GREATER THAN ONE-HALF THE BARRIER HEIGHT SHALL BE REMOVED AND DISPOSED OF PROPERLY AS REQUIRED. ANY SEDIMENT BUILD UP OUTSIDE OF THE SEDIMENT BARRIER SHALL BE REMOVED IMMEDIATELY
- CONTRACTOR SHALL MAINTAIN A RESERVE OF EROSION CONTROL MATERIALS FOR EMERGENCY USE AND ROUTINE MAINTENANCE
- THE CONTROLS SHOWN ON THESE PLANS ARE INTENDED AS MINIMUM MEASURES. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMPLEMENTED BY THE CONTRACTOR IF WARRANTED OR REQUESTED BY THE OWNER, OWNERS REPRESENTATIVE, ENGINEER, OR ANY APPLICABLE REGULATING AGENCY.
- PRIOR TO THE START OF ANY LAND CLEARING / GRUBBING OR OTHER CONSTRUCTION ACTIVITY THE PERIMETER CONTROLS SHALL BE PLACED, PROPERLY CONSTRUCTED AND CLEARLY VISIBLE. THESE CONTROLS SHALL REPRESENT THE LIMITS OF WORK AND WORKERS SHALL BE NOTIFIED THAT NO CONSTRUCTION ACTIVITY IS ALLOWED BEYOND THESE CONTROLS
- IF OR AS POSSIBLE CONSTRUCTION SHALL BE PHASED TO LIMIT TO THE MAXIMUM EXTENT PRACTICABLE THE AMOUNT OF EXPOSED SOILS. ALL DISTURBED AREAS SHALL BE TEMPORARILY OR PERMANENTLY STABILIZED WITHIN 14 DAYS OF COMPLETION OF GRADING ACTIVITIES
- THE CONTRACTOR SHALL SCHEDULE WORK IN A WAY TO ALLOW POSITIVE DRAINAGE OF SUBGRADE THROUGHOUT CONSTRUCTION
- CONSTRUCTION ENTRANCES PER RIDOT STANDARD DETAIL 9.9.0 SHALL BE EMPLOYED AT ALL POINTS OF INGRESS AND EGRESS FROM THE SITE
- TEMPORARY DIVERSIONS, SEDIMENT BASINS, AND TEMPORARY SWALES MAY BE USED AND SHALL BE SIZED ACCORDING TO THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK
- CATCH BASINS AND STORM DRAINS SHALL BE PROTECTED PER RIDOT STANDARD DETAIL 9.8.0 IN GRASSED AREAS OR SEDIMENT BAGS IN PAVED AREAS
- TEMPORARY SEDIMENT STOCK PILES SHALL BE KEPT MOIST AND COVERED AT ALL TIMES. CALCIUM CHLORIDE SHALL ONLY BE USED IF AN APPROVAL FROM THE TOWN/CITY OR OTHER APPLICABLE AGENCY HAS BEEN GRANTED
- DEWATERING FROM EXCAVATIONS WILL BE CONVEYED BY HOSE TO AN UPLAND AREAS AND DISCHARGED INTO A DEWATERING BASIN PER RIDOT STANDARD 9.7.0. HAYBALE CORRALS, OR SEDIMENTATION BAGS. THE CONTRACTOR SHALL ENSURE THAT NO CONTAMINATE IS PRESENT IN ANY WATERS PRIOR TO DISCHARGE FROM SITE AND IS RESPONSIBLE FOR ALL ENGINEERING, EQUIPMENT, MATERIAL AND LABOR REQUIRED FOR THE SITE WATER REMOVAL DURING CONSTRUCTION
- CONSTRUCTION WASTE MATERIALS SHALL BE KEPT ON-SITE AND DISPOSED OF IN AN APPROVED AND APPROPRIATE MANNER IN ACCORDANCE WITH ALL APPLICABLE REGULATORY AGENCIES.
- RIPRAP SHALL BE USED WHERE NECESSARY TO CONTROL EXIT VELOCITIES
- NON MOBILE (I.E. TRACKED MACHINERY) SHALL BE MAINTAINED WITHIN THE LIMIT OF DISTURBANCE DEFINED BY SEDIMENT BARRIER
- NEWLY VEGETATED AREAS SHALL BE REGULARLY INSPECTED AND MAINTAINED TO ENSURE ESTABLISHMENT OF APPROPRIATE VEGETATION
- THE CONTRACTOR SHALL NOT REMOVE ANY EROSION AND SEDIMENTATION CONTROL MEASURES UNTIL FINAL ACCEPTANCE OF THE SITE HAS OCCURRED
- ALL DRAINAGE STRUCTURES SHALL BE CLEARED OF ACCUMULATED SEDIMENT PRIOR TO THE FINAL SITE ACCEPTANCE



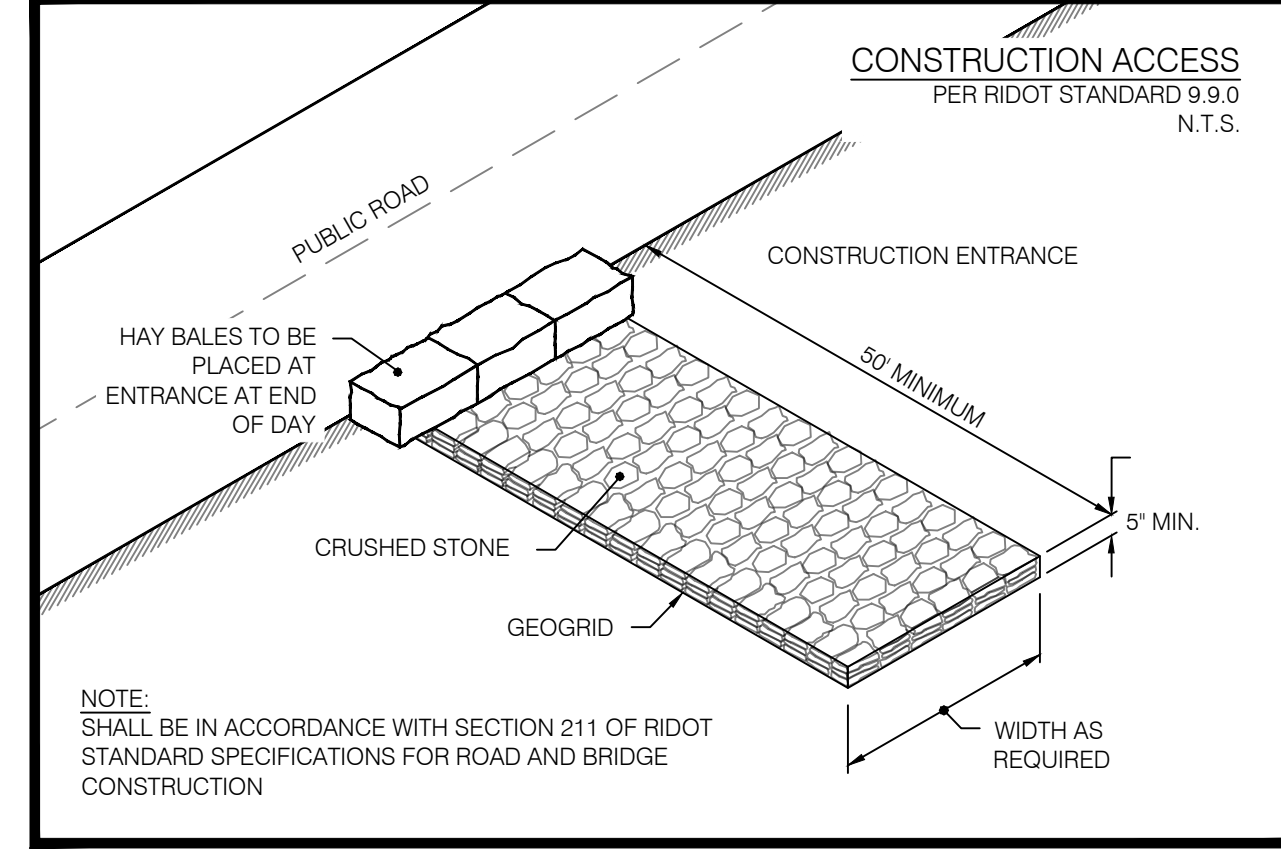
**1 PERVIOUS PAVER DETAIL** ALTERNATE TO CRUSHED STONE DRIVE  
SCALE: NOT TO SCALE



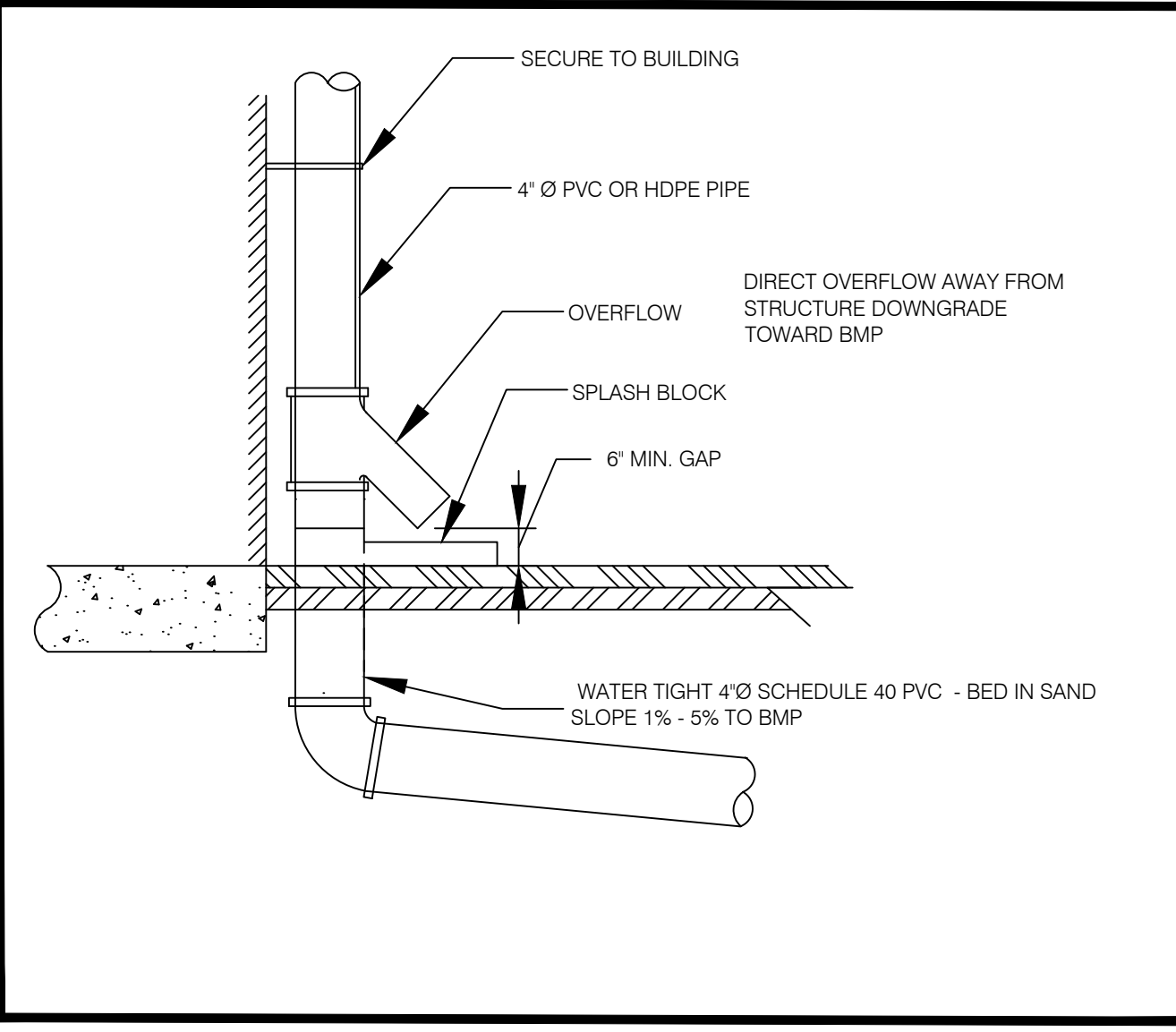
**2 COMPOST FILTER SOCK (SED)**  
SCALE: NOT TO SCALE



**3 STOCKPILE DETAIL**  
SCALE: NOT TO SCALE



**4 CONSTRUCTION ENTRANCE**  
SCALE: NOT TO SCALE



**5 ROOF DRAIN TYPE C**  
SCALE: NOT TO SCALE

**NEI**  
**Narragansett Engineering Inc.**  
Civil - Survey Structural Environmental Design  
3102 East Main Road, Portsmouth RI 02871  
Tel. 401.683.6630 www.nei-cds.com

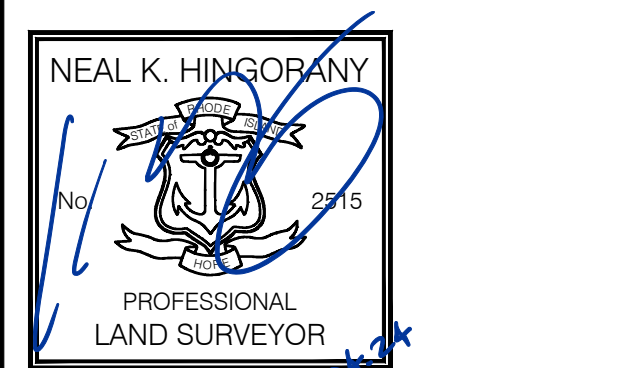
**SHEET TITLE**  
AGOSTINI SUBDIVISION  
PROPOSED SITE/CIVIL PLAN  
GRADING AND UTILITIES

Josh Agostini  
58 Magnolia St  
Bristol, RI 02809  
T: 774-991-2406  
E: josh@ettebuildingteam.com

**Property Records**  
68 Magnolia St, Bristol, RI 02809  
Plat: 23, Lot: 189  
Zone: R-6, Area: 0.122 Acres  
N/F: Magnolia Improvements LLC  
Year Built: 1950  
Book/Page: 2082-255

68 Magnolia St, Bristol, RI 02809  
Plat: 23, Lot: 185  
Zone: R-6, Area: 0.103 Acres  
N/F: Magnolia Improvements LLC  
Year Built: 1950  
Book/Page: 2082-255

Magnolia St, Bristol, RI 02809  
Plat: 23, Lot: 192  
Zone: R-6, Area: 0.122 Acres  
N/F: Magnolia Improvements LLC  
Year Built: 1950  
Book/Page: 2082-255



NEAL HINGORANY REG. 2515  
COA: A38

PROJECT #	DATE	DRAWN	CHECK
23.0144	01/03/24	CB	NKH
NO	DATE	REVISIONS/DESCRIPTION	BY

**PURPOSE + GOALS**  
ALLOW PROPOSED LOT '192' TO REMAIN > 10,000 SQFT TO PRESERVE A MULTI-FAMILY DWELLING (AND AVOID FURTHER RELIEF). AS SUCH, PROPOSED LOT '189' IS LIMITED TO ~56' WIDTH AND 5,598 SQFT. REQUISITE VARIANCES ARE REQUESTED. A SINGLE FAMILY DWELLING IS PROPOSED ON LOT '189'

LOTS 185 + 192 + 189 ARE A SINGLE LOT OF RECORD (MERGED). THESE LOTS SHALL BE SUBDIVIDED INTO TWO PARCELS OF RECORD LOT 189 (68 MAGNOLIA) LOT 192

E:\PROJECTS\23.0144\_AGOSTINI (MAGNOLIA ST) SUBDIVISION.DWG C-101 NEI-Standard.cdb 1/4/2024 Craig Barry