



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

TOWN OF BRISTOL
COMMUNITY DEV.

2024 AUG -9 PM 3:37

APPLICATION

File No: 2024-30

Accepted by ZEO: EMT 8/9/2024

APPLICANT	Name: John M. Lannan		
	Address: 3 Doris Ave.		
	City: Bristol	State: RI	Zip: 02809
	Phone #: 401-808-0111	Email: office@jmlexcavation.com	
PROPERTY OWNER	Name: Fairpoint Realty, LLC.		
	Address: 34 Broadcommon Rd.		
	City: Bristol	State: RI	Zip: 02809
	Phone #: 401-254-2500	Email:	

1. Location of subject property: 111 King Philip Ave.

Assessor's Plat(s)#: 147

Lot(s) #: 61 & 62

2. Zoning district in which property is located: R-10

3. Zoning Approval(s) required (check all that apply):

☒ Dimensional Variance(s)

☒ Special Use Permit

☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?:

Dimensional Variance Section(s): 28-111

Special Use Permit Section(s): 28-151

Use Variance Section(s): _____

5. In a separate written statement, please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property?: 11 MONTHS

7. Present use of property: Single Family

8. Is there a building on the property at present?: Yes, foundation

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet): 932 sq. ft.

10. Proposed use of property: Single Family with two car garage & breezeway.

11. Give extent of proposed alterations: Remove existing wood frame structure and rebuild per plans on existing foundation.

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet): 24' x 24' Garage and 10' x 22' Breezeway including two Farmers Porches. 17' Height.

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>30'</u>	Proposed Setback: <u>19.4'</u>
Left side lot line:	Required Setback: <u>15'</u>	Proposed Setback: <u>21.2</u>
Right side lot line:	Required Setback: <u>30' (Corner Lot)</u>	Proposed Setback: <u>10.5 (Existing)</u>
Rear lot line:	Required Setback: <u>30'</u>	Proposed Setback: <u>56.4</u>
Building height:	Required: <u>35'</u>	Proposed: <u>25'</u>

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):

Required: 2,495 25% Proposed: 1,728 17.3%

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? Yes
If yes, has he refused a permit? No If refused, on what grounds? _____

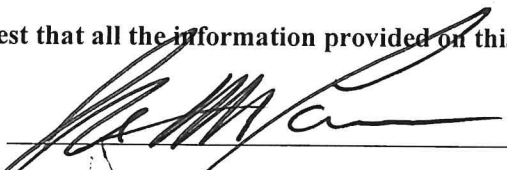
15. Are there any easements on your property?: No (If yes, their location must be shown on site plan)

16. Which public utilities service the property?: Water: Yes Sewer: Yes

17. Is the property located in the Bristol Historic District or is it an individually listed property?: No

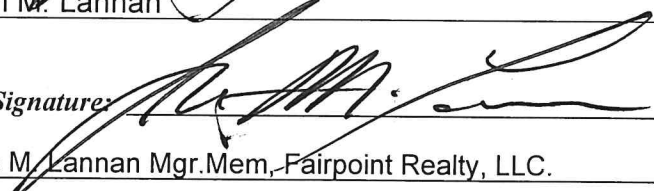
18. Is the property located in a flood zone? No If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: 

Date: 8/9/2024

Print Name: John M. Lannan

Property Owner's Signature: 

Date: 8/9/2024

Print Name: John M. Lannan Mgr. Mem, Fairpoint Realty, LLC.

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: N/A

Telephone #: _____

Address: _____



FAIRPOINT REALTY, LLC.

August 9, 2024

Town of Bristol
Honorable Members of the Zoning Board
10 Court St.
Bristol, RI 02809

Owners Written Statement

On March 24th I appeared before the Zoning Board seeking Dimensional Relief for my project at 111 King Philip. After obtaining that Relief and after receiving the Decision, I then applied to CRMC and was granted an Assent Permit, and then to the Town of Bristol and was granted a Demolition and also an ERSC Permit. We also finalized and submitted our Building Plans, and the permit was set to be issued. During the Demolition Phase we found that the first floor was not salvageable. While I had included that possibility with appropriate wording in my Demolition Permit, Erosion Control Permit, CRMC Permit and shown on Building Plans. I was notified by the Planning Dept. that the possibility that the first floor might be demolished was not discussed at the Zoning Board Meeting. I respect the Zoning Board, and it was never my intent to deceive the Board or anyone. I paid a local company to have the house gutted down to the studs before demolition so we could better assess and be sure of any decisions. It was an additional expense that I only mention to affirm my best intention. I hope my standing with this board is not diminished by what has transpired and I ask that I be allowed to proceed.



John M. Lannan
Fairpoint Realty, LLC.
401-808-0111 cell



MacCADD
Drafting
& Design

□ □ □

BRISTOL RI
02809

e-mail
MacCADD@aol.com

PROPOSED
RESIDENCE

□ □ □

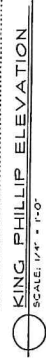
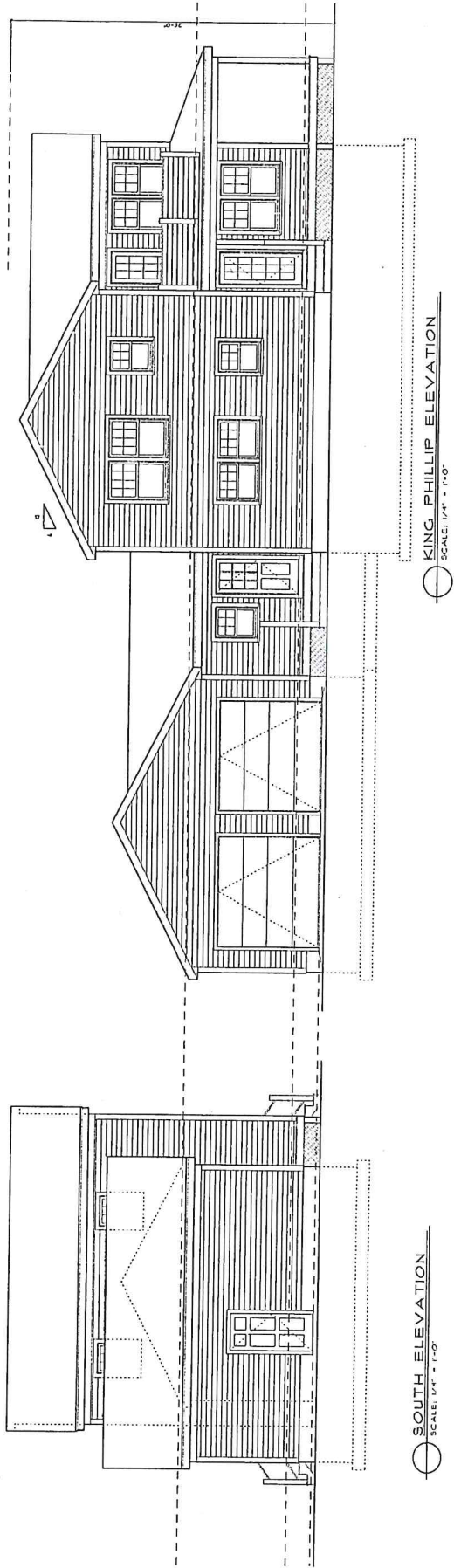
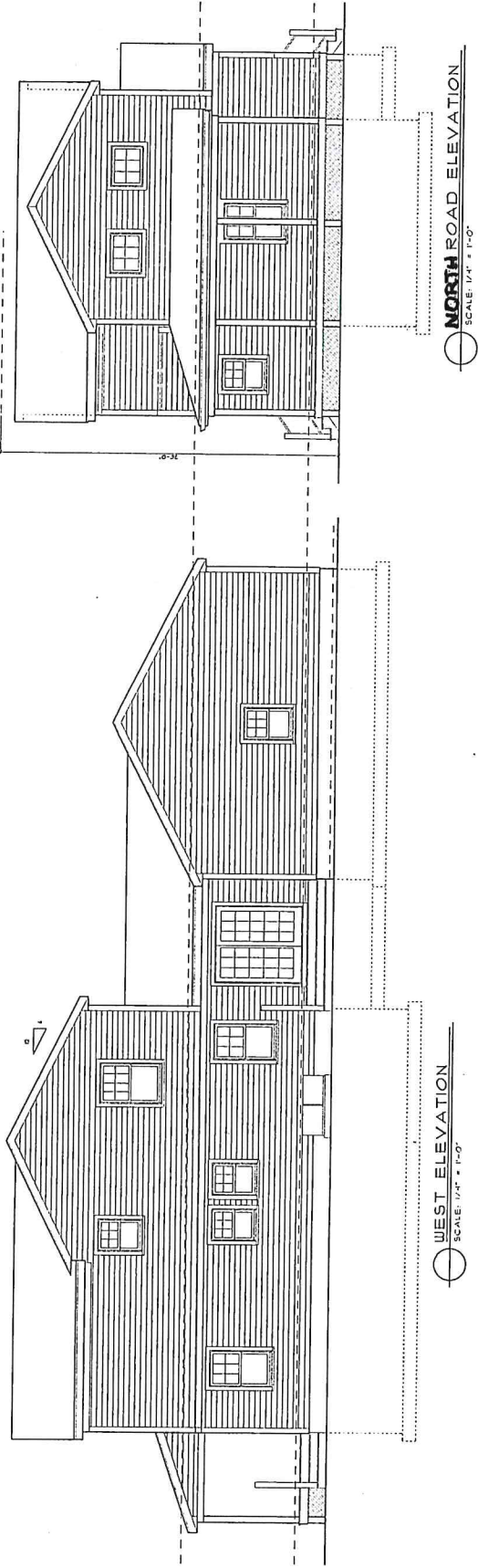
111 KING PHILLIP AVE
BRISTOL RI
02809

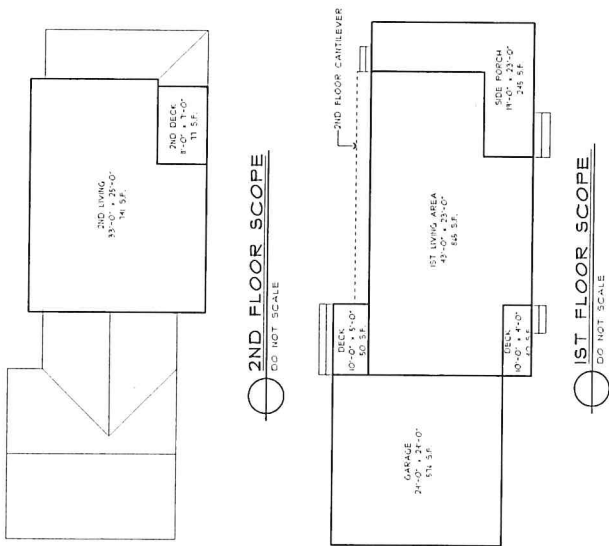
DATE: 5/31/2024

REVISIONS:

A3

SHEET NO.



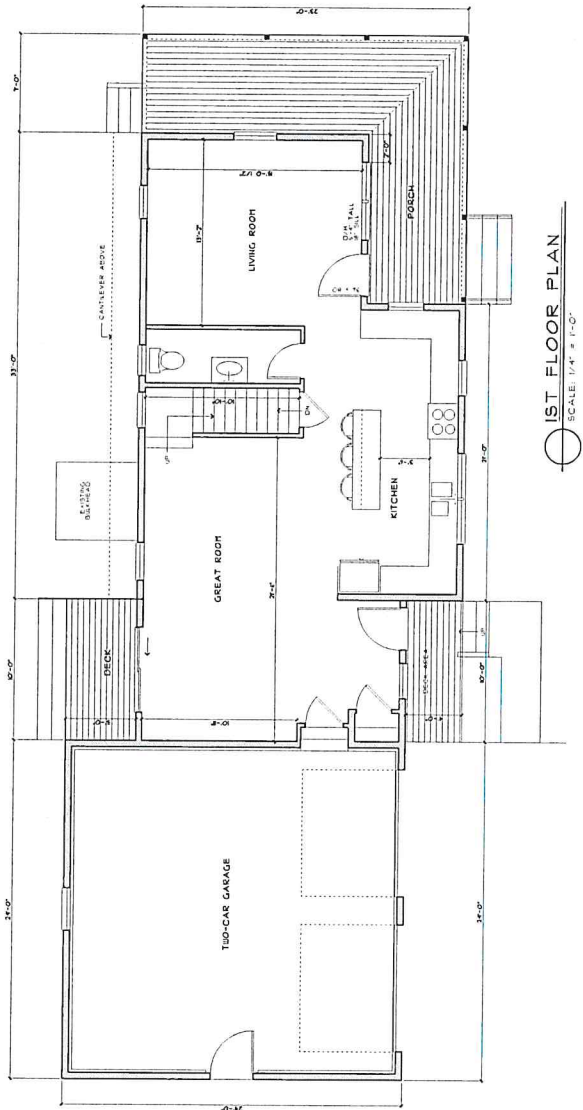


GENERAL NOTES:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
- 2. THE PROJECT IS LOCATED IN AN UNZONED AREA. THE OWNER HAS OBTAINED THE NECESSARY ZONING VARIANCE FROM THE TOWN OF BRISTOL.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE TOWN OF BRISTOL.
- 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.
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- 100. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SCHEDULING.

LEGEND

— ELEVATION DRAWING
— SECTION MARKER
— NEW WALL
— EXISTING WALL
— 3/4" TALL COLUMN
— SOLID WOOD POST



EXTERIOR WINDOW & DOOR SCHEDULE				
NO.	DOOR #	STYLE	FRAME SIZE	LOCATION AND NOTES
1	A			
2	B			
3	C			
4	D			
5	E			
6	F			
7	G			
8	H			
9	I			
10	J			
11	K			
12	L			
13	M			
14	N			
15	O			
16	P			
17	Q			
18	R			
19	S			
20	T			
21	U			
22	V			
23	W			
24	X			
25	Y			
26	Z			
27	AA			
28	AB			
29	AC			
30	AD			
31	AE			
32	AF			
33	AG			
34	AH			
35	AI			
36	AJ			
37	AK			
38	AL			
39	AM			
40	AN			
41	AO			
42	AP			
43	AQ			
44	AR			
45	AS			
46	AT			
47	AU			
48	AV			
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MacCADD
Drafting
& Design

□ □ □

BRISTOL RI
02809

6-11-11
MacCADD@aol.com

PROPOSED
RESIDENCE

□ □ □

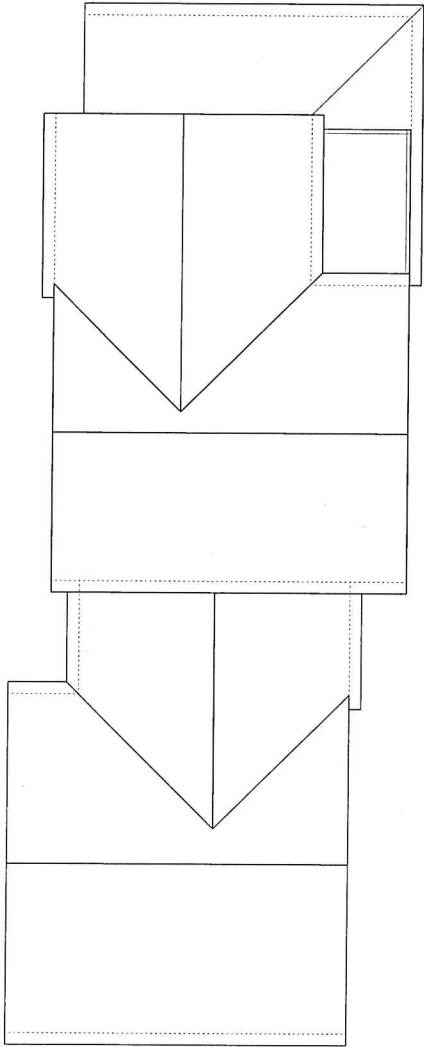
111 KING PHILIP AVE
BRISTOL RI
02809

DATE: 5/21/2024

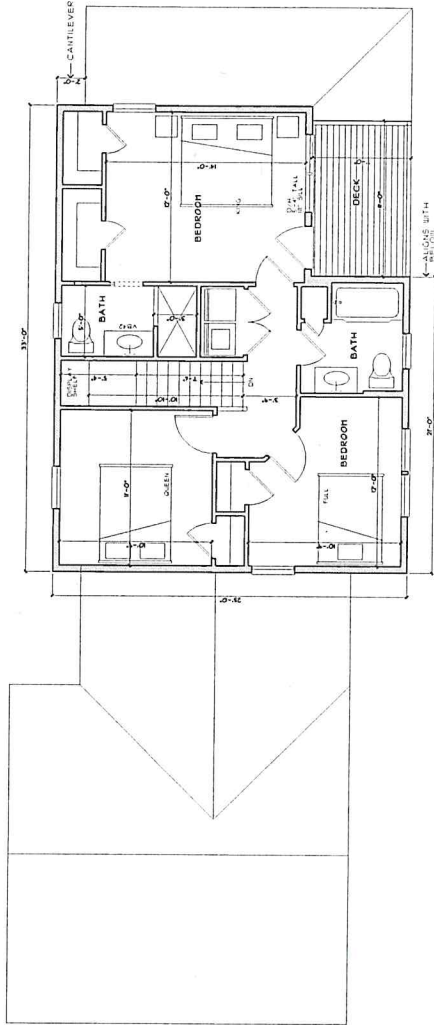
REVISIONS:

A2

SHEET NO:



ROOF PLAN
SCALE: 1/4" = 1'-0"



2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL DETERMINE THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH ABOVE AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO ANY UTILITY WORK. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION OF EXISTING UTILITIES. ALL INVOLVED UTILITY COMPANIES AND/OR ANY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
2. THE ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
3. THE HORIZONTAL LOCATIONS AS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN DATUM OF 1983 (NAD83).
4. THIS SITE DOES NOT LIE WITHIN ANY FLOOD ZONE AS SHOWN ON THE FIRM MAP FOR THE TOWN OF BRISTOL, RI. MAP NUMBER 440001002 WITH AN EFFECTIVE DATE OF JULY 7, 2014.

EXISTING DWELLING (FOUNDATION TO REMAIN): 692 SF
EXISTING PORCH (TO BE REBUILT): 240 SF
TOTAL EX. STRUCTURAL LOT COVERAGE: 932 SF

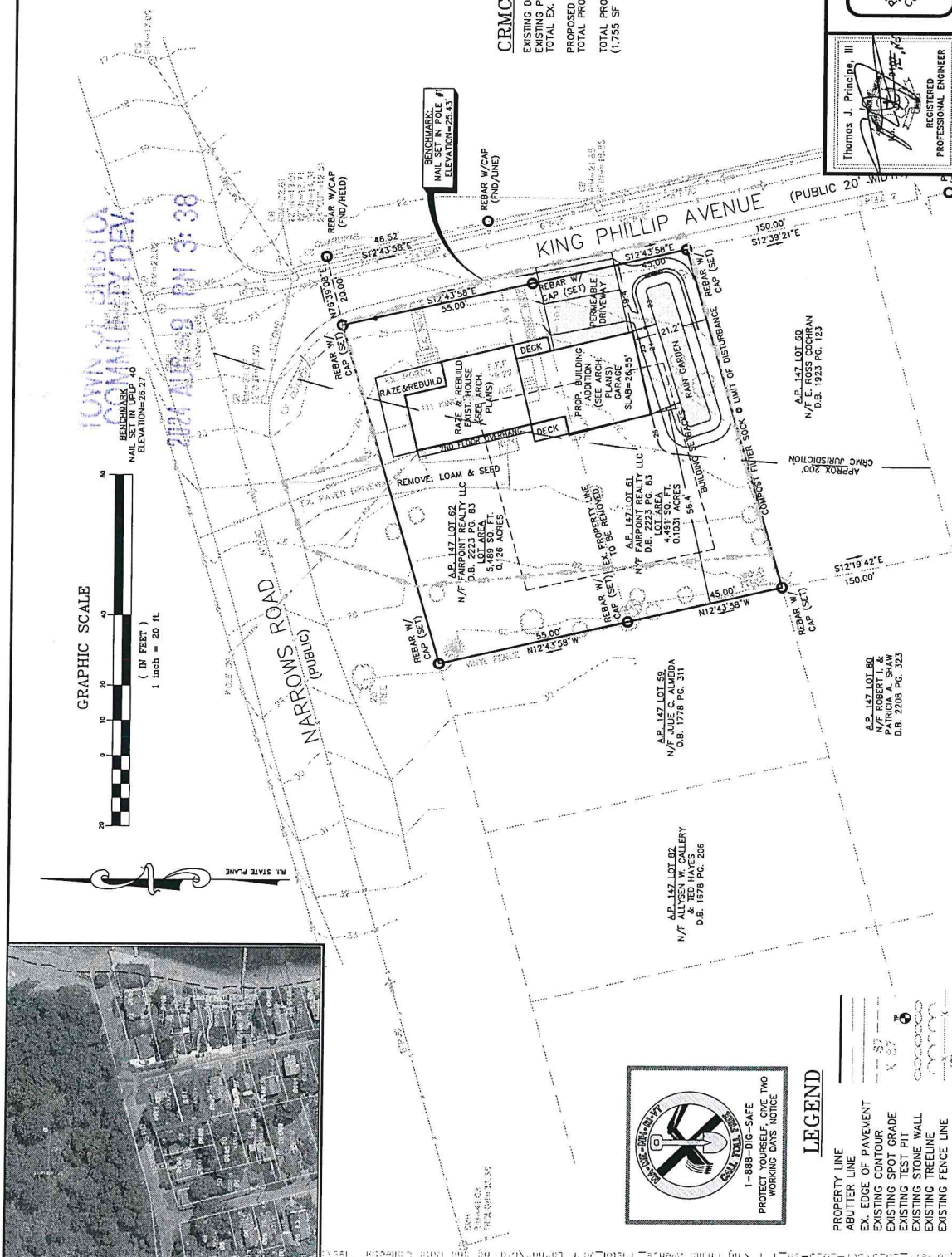
PROPOSED ADDITION: 823 SF
TOTAL PROPOSED STRUCTURAL LOT COVERAGE: 1,755 SF

TOTAL PROPOSED STRUCTURAL LOT COVERAGE (%) =
 $\frac{1,755 \text{ SF} - 932 \text{ SF}}{932 \text{ SF}} \times 100 = 88.3\% > 50\%$

PRINCIPLE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
ESTABLISHED 1948
www.PrincipleCompany.com

for
AP 47, LOTS 61 & 62
1111 KING PHILLIP AVENUE
in
BRISTOL, RHODE ISLAND

SCALE: 1" = 20'	SHEET NO: 1 of 2
DRAWN BY: KAB	DESIGN BY: KAB
CHECKED BY: TJP	
DATE: 04/10/2024	
PROJECT NO.: SWY-2023-98	

[illegible]

DRAWING ISSUE:

☐ CONCEPT

☐ CUSTOMER APPROVAL

☒ PERMITTING

☐ CONSTRUCTION

☐ AS-BUILT

☐ OTHER:

RESIDENTIAL R-10 ZONE			
	MIN. LOT 10,000 SQ. FT.	EXISTING LOT 52: 10,000 SQ. FT.	EXISTING LOT 61: 10,000 SQ. FT.
TOWNH. SURVEY			
MINIMUM LOT AREA	80	45	100
MINIMUM LOT WIDTH	30'	15'	100'
MINIMUM FRONT YARD SETBACK	30'	15.5'	100'
MINIMUM SIDE YARD SETBACK	15'	10' / 10.5'	21.5' / 10.5' (EX.)
MINIMUM REAR YARD SETBACK	15'	10'	10'
MINIMUM LOT BUILDING COVERAGE	25%	17.0%	17.5%
MINIMUM LOT BUILDING HEIGHT	35'	N/A	N/A
MAXIMUM BUILDING HEIGHT			<35'

OWNER:
FAIRPOINT REALTY LLC
34 BROAD COMMON ROAD
BRISTOL, RI 02809

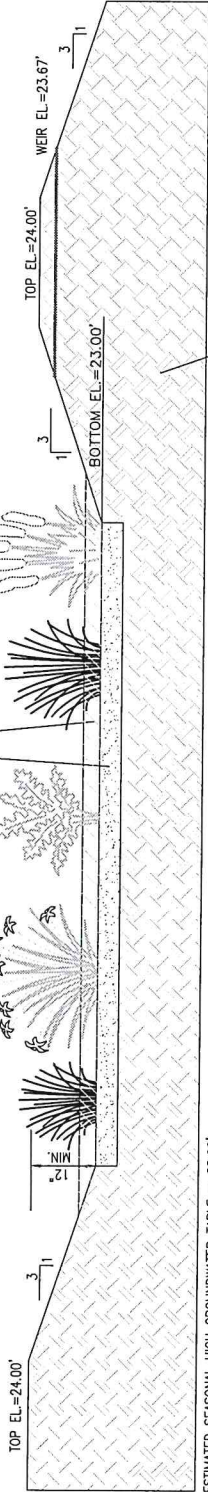
CLASS 1 STANDARD / CLASS 3 TOPO LIMITED CONTENT SURVEY CONDUCTED BY:
PRINCE COMPANY, INC. - SURVEYING DIVISION (STEPHEN T. LONG)
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02876
401.816.5385

LEGEND

- | | | |
|------------------------|-------|--|
| PROPERTY LINE | _____ | |
| ADJUTANT LINE | _____ | |
| CX. EDGE OF PAVEMENT | _____ | |
| EXISTING CONTOUR | _____ | |
| EXISTING POST GRADE | _____ | |
| EXISTING TEST PIT | _____ | |
| EXISTING STONE WALL | _____ | |
| EXISTING TIE LINE | _____ | |
| EXISTING FENCE LINE | _____ | |
| EXISTING BUILDING | _____ | |
| EXISTING DRAIN MANHOLE | _____ | |
| EXISTING DRAIN LINE | _____ | |
| EXISTING CATCH BASIN | _____ | |
| EXISTING SEWER LINE | _____ | |
| EXISTING SEWER MANHOLE | _____ | |
| EXISTING UTILITY POLE | _____ | |
| EXISTING HYDRANT | _____ | |
| EXISTING WATER VALVE | _____ | |
| EXISTING WATER LINE | _____ | |

REFERENCE:

*ROOF DRAIN PIPE INLET NOT SHOWN FOR CLARITY.
PONDING DEPTH PER WEIR ELEVATION (MAX.)



ESTIMATED SEASONAL HIGH GROUNDWATER TABLE = 22.00'

SINGLE-FAMILY RAIN GARDEN DETAIL

NOT TO SCALE

- NOTES:
- MULCH SHALL CONSIST OF NON-DYED, ACID AND SHREDDED HARDWOOD MULCH.
 - AMENDED SOIL SHALL CONSIST OF A 3:1 MIX OF EXCAVATED NATIVE SOIL AND MATURE ORGANIC COMPOST.
 - THE RAIN GARDEN SHALL BE CONSTRUCTED TO PREVENT COMPACTION AND SURROUNDED BY COMPOST FILTER SOCK WITH LEOPARD REEDS (SILVER REEDS).
 - DESIGN AND INSTALLATION GUIDELINES SHALL CONFORM TO THE STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT.

BMP REQUIRED MAINTENANCE:

MONTHLY:

- INSPECT AND REMOVE ANY TRASH
- REMOVE ANY INVASIVE SPECIES PLANTS

ANNUALLY:

- MULCH- SPRING, AS NEEDED
- REPLACE ANY DEAD VEGETATION-SPRING
- REMOVE DEAD VEGETATION-FALL OR SPRING
- PRUNE-SPRING

AS NEEDED:

- REPLACE SOIL MEDIA AND PLANTS WHEN PONDING DOES OCCUR WITHIN 72 HRS
- (CAREFUL MAINTENANCE SHOULD PROLONG THIS REQUIREMENT)

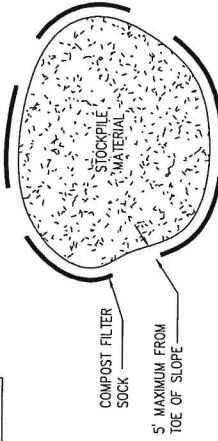
*ALL PLANT MATERIAL SHALL BE WATERED AND MAINTAINED BY THE OWNER TO ASSURE THAT SUITABLE GROWTH HAS BEEN ESTABLISHED.

PLANT SPECIES TO BE USED

BOTANICAL NAME	COMMON NAME
ASTER DIVARICATUS	WHITE WOOD ASTER
IRIS VERSICOLOR	BLUE FLAG
LOBELIA CARDINALIS	CARDINAL FLOWER
OSALINDA CINNAMOMEA	CINNAMON FERN

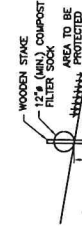
*PLANT SPECIES IN ONE GALLON CONTAINERS TO BE INSTALLED AT 2' O.C. IN GROUPS OF THREE WITHIN THE RAIN GARDEN AREA.

RAIN GARDEN SIZING=8" DEEP "C" SOILS
1,755 SF X 0.16 = 280.8 SF REQ.; 139 SF PROV. OK



STOCKPILE DETAIL

NOT TO SCALE

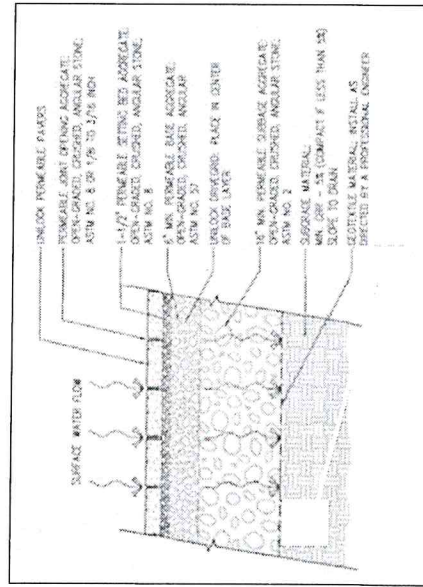


NOTES:

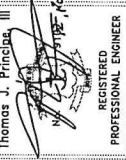
- ALL MATERIAL TO MEET REQUIREMENTS OF SECTION 208 OF RI STANDARD SPECIFICATIONS.
- COMPOST MATERIAL MUST BE ACCEPTED BY THE ENGINEER PRIOR TO PLACEMENT.

PERIMETER EROSION CONTROLS

NOT TO SCALE



PERVIOUS DRIVEWAY (TYPICAL) CROSS SECTION



OWNER:
FAIRPOINT REALTY LLC
34 BROAD COMMON ROAD
BRISTOL, RI 02809

REVISIONS

No.	DATE	BY	CHKD	TJP
1.	06/03/24	KAB		

DRAWING ISSUE:

- ☐ CONCEPT
- ☐ CUSTOMER APPROVAL
- ☒ PERMITTING
- ☐ CONSTRUCTION
- ☐ AS-BUILT
- ☐ OTHER:

ONLY PLANS ISSUED FOR CONSTRUCTION
SHALL BE USED FOR CONSTRUCTION



CRMC SUBMISSION PLAN

for
AP 47, LOTS 61 & 62
111 KING PHILLIP AVENUE

in
BRISTOL, RHODE ISLAND

SCALE: 1" = 20'

SHEET NO: 2 of 2

DRAWN BY: KAB

DESIGN BY: KAB

CHECKED BY: TJP

DATE: 04/10/2024

PROJECT NO.: SWY-2023-98

TO: Coastal Resources Management Council
4808 Tower Hill Road Suite 3
Wakefield, RI 02879
Phone: (401) 783-3370

TOWN OF BRISTOL
COMMUNITY DEV.



2024 AUG -9 PM 3:38

FROM: Building Official

DATE: 5/31/2024

SUBJ: Application of: Fairpoint Realty, LLC. John M. Lannan, Manager

Location: 34 Broad Common Rd., Bristol, RI 02809

Address: 111 King Philip Ave. Plat No. 147 Lot No. 61 & 62

To Construct: Demolish existing structure and re-build per plans provided on existing Foundation. Also adding new Garage & Breezeway. Remove existing driveway and replace at new Garage location.

I hereby certify that I have reviewed _____ foundation plan(s).

☒ plan(s) for entire structure

☒ site plans

Titled: Proposed Residence - 111 King Philip Ave. A1, A2, A3
Zoning Plot Plan by Principe Engineering

Date of Plan (last revision): 5/31/2024 & 10/19/2023

_____ and find that the issuance of a local building permit is not required as in accordance with Section _____ of the Rhode Island State Building Code.

☒ and find that the issuance of a local building permit is required. I hereby certify that this permit shall be issued once the applicant demonstrates that the proposed construction/activity fully conforms to the applicable requirements of the RISBC.

_____ and find that a Septic System Suitability Determination (SSD) must be obtained from the RI Dept. of Environmental Management.

_____ and find that a Septic System Suitability Determination (SSD) need not be obtained from the RI Dept. of Environmental Management.

_____ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final. The Zoning Board approval shall expire on _____.

[Signature]
Building Official's Signature

6/3/24
Date

☒ and find that said plans conform with all elements of the zoning ordinance, and that if said plans require zoning board approval, that the applicant has secured such approval and that the requisite appeal period has passed with no appeal filed or appeal is final.

[Signature]
Zoning Officer's Signature

6/3/2024
Date



DEMOLITION PERMIT

PERMIT #: 59289
PROJECT #:
PROJECT NAME:

THIS IS TO CERTIFY THAT RI CONTRACTOR	NAME: COMPANY: ADDRESS: IF PROPERTY OWNER, INDICATE HERE:	REGISTRATION/LICENSE INFO: LICENSE TYPE: BCRB:
IS PERMITTED TO PERFORM THE FOLLOWING SCOPE OF WORK	Demolish single family wooden house, leave existing foundation.	
ADDITIONAL REMARKS		
AT SITE LOCATION	ADDRESS: 111 KING PHILLIP AVE BRISTOL, RI 02809	BUILDING CLASSIFICATION: USE/OCCUPANCY: Single Family Dwelling BUILDING TYPE: One or Two Family Dwelling
OWNER/AGENCY	NAME: FAIRPOINT REALTY, LLC ADDRESS: 34 Broadcommon Rd BRISTOL, RI 02809	

provided that the person accepting this Permit shall in every respect confirm to the terms of the application on file in this office and to the provisions of the Statutes and Ordinances relating to the Zoning, Construction, Alteration, and Maintenance of Buildings in the municipality and shall begin work on said building by January 16, 2025 (within SIX MONTHS from the date of issuance of this permit) hereof and prosecute the work thereon to a speedy Completion.
Any person who shall violate any of the Statutes and Ordinances relating to Zoning, Construction, Alteration, and Maintenance in the municipality shall be punished by penalties imposed by the State Building Code and Local Zoning Ordinances.

Stephen Greenleaf, Building Official
DATE: July 16, 2024

Work shall not proceed until the inspector has approved the various stages of construction.



This is an e-permit. To learn more, scan this barcode or visit bristolri.viewpointcloud.com/#/records/67340

State of Rhode Island
COASTAL RESOURCES MANAGEMENT COUNCIL

NOTICE OF

ASSENT

CRMC Assent No.: A2024-04-091 Date: June 21, 2024

This certifies that Fairpoint Realty LLC

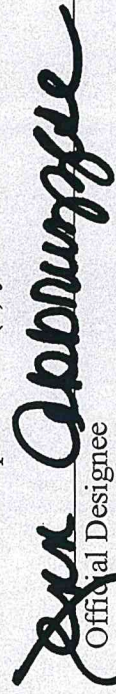
has permission to Replace an existing sewerer dwelling on same foundation, to construct an attached garage/breezeway addition, to relocate driveway (pervious paver) and replace existing front porch with associated earthwork, all per the approved plans.

situated at 111 King Phillip Avenue
Plat No. 147 Lot No. 61,62

Said construction operations to be done in accordance with an approved assent on file in the Offices of the Coastal Resources Management Council and subject further to all the provisions of the building ordinances of the :

City/Town of Bristol

and to all the applicable State, Local and Federal provisions. This assent shall expire three (3) years from the date of this assent.


Official Designee
Coastal Resources Management Council

THIS CARD MUST BE DISPLAYED IN A CONSPICUOUS PLACE ON THE PREMISES.
FAILURE TO DISPLAY WILL RESULT IN LEGAL ACTION.



State of Rhode Island
Coastal Resources Management Council
Oliver H. Stedman Government Center
4808 Tower Hill Road, Suite 116
Wakefield, RI 02879-1900

(401) 783-3370
Fax (401) 783-3767



06/27/2024
10:56:24 AM
7 Pages

ASSENT
Bk: 2248 Pg: 172
Instr: 2024-1359

RESIDENTIAL ASSENT

CRMC File No.: 2024-04-091

CRMC Assent No.: A2024-04-091

Whereas,
of

Fairpoint Realty LLC
3 Doris Avenue
Bristol, RI 02809

has applied to the Coastal Resources Management Council for assent to: Replace an existing sewerer dwelling on same foundation, to construct an attached garage/breezeway addition, to relocate driveway (pervious paver) and replace existing front porch with associated earthwork, all per the approved plans and hereby represents that they are the owner(s) of the riparian rights attached to the property involved and submitted plans of the work to be done.

Now, said Council, having fully considered said application in accordance with all the regulations as set forth in the Administrative Procedures Act does hereby authorize said applicant, subject to the provisions of Title 46, Chapter 23 of the General Laws of Rhode Island, 1956, as amended, and all laws which are or may be in force applicable thereto: **Replace an existing sewerer dwelling on same foundation, to construct an attached garage/breezeway addition, to relocate driveway (pervious paver) and replace existing front porch with associated earthwork, all per the approved plans; located at plat 147, lots 61,62; 111 King Phillip Avenue, Bristol, RI;** in accordance with said plans submitted to this Council and approved by this Council. All work being permitted must be completed on or before **June 21, 2027**, after which date this assent is null and void, (unless written application requesting an extension is received by CRMC sixty (60) days prior to expiration date).

Applicant agrees that as a condition to the granting of this assent, members of the Coastal Resources Management Council or its staff shall have access to applicant's property to make on-site inspections to ensure compliance with the assent.

Licensee shall be fully and completely liable to State, and shall waive any claims against State for contribution or otherwise, and shall indemnify, defend, and save harmless State and its agencies, employees, officers, directors, and agents with respect to any and all liability, damages (including damages to land, aquatic life, and other natural resources), expenses, causes of action, suits, claims, costs (including testing, auditing, surveying, and investigating costs), fees (including attorneys' fees and costs), penalties (civil and criminal), and response, cleanup, or remediation costs assessed against or imposed upon Licensee, State, or the Property, as a result of Licensee's control of the Property, or Licensee's use, disposal, transportation, generation and/or sale of Hazardous Substances or that of Licensee's employees, agents, assigns, sublicensees, contractors, subcontractors, permittees, or invitees.



Town of Bristol

Department of Community Development
10 Court Street, Bristol, Rhode Island 02809
Phone: (401) 253-7000 Fax: (401) 253-2647

2024 AUG -9 PM 3:38

SOIL EROSION, RUNOFF AND SEDIMENT CONTROL ORDINANCE PERMIT

Permit No.: 2024-08

Date of Issuance: July 12, 2024

Property Owner / Applicant: Fairpoint Realty, Inc.

Mailing Address: 34 Broadcommon Road, Bristol, RI 02809

Project Location:

Street Address: 111 King Phillip Avenue

Assessor's Plat: 147

Lot: 61 & 62

Brief Description of Work Authorized by this Permit:

Installation of soil erosion/sediment controls, stormwater management structures, and site grading associated with the selective demolition and reconstruction of an existing single-family dwelling and the construction of a new garage, breezeway and driveway. Except as noted below, all work shall conform to the plan titled CRMC Submission Plan for 111 King Phillip Avenue in Bristol, Rhode Island dated April 10, 2024 revised June 3, 2024 by Principe Company, Inc. signed and stamped by Thomas J. Principe, III, P.E. No. 9107.

Approval Conditions:

1. This Permit is valid for two (2) years from the date of issuance.
2. Should a RIDEM wetlands or CRMC permit be required, it shall be the responsibility of the property owner.
3. All activities shall be performed as presented on the application and approved plans. Any changes or alterations must be approved by the Building Official.
4. No earth slopes greater than 2:1 (two feet horizontal to one foot vertical) shall be created.
5. All disturbed surfaces shall be promptly and effectively protected to prevent soil erosion and the migration of sediment by using staked hay bales, wattles, silt fence or other approved measures. All erosion/sedimentation control devices must be maintained in good condition until such time that the site is stabilized.
6. Site plans submitted to the Building Official for a building permit must agree regarding location of structures and improvements. All work shall be subject to periodic inspections by the Building Official or his designee.
7. None of the work permitted shall be done in a manner so as to cause a public nuisance.
8. Approval of this application shall not relieve the owner/applicant from any responsibility for damage to persons or property, nor impose any liability upon the Town of Bristol for damages to persons or property.
9. Proposed stormwater management features including the pervious driveway, roof drains, and rain garden **shall remain and be maintained in perpetuity** unless additional plans are developed to accommodate equivalent stormwater runoff and approved by this office.
10. **Prior to the issuance of a Certificate of Occupancy** for the new dwelling, the applicant shall submit an as-built plan or other certification prepared by a Professional Engineer, confirming that site grading and stormwater management features were properly installed in accordance with this permit.

Approval:

By:

Date:

7/12/2024

Print Name: Edward M. Tanner

Title: Principal Planner



ENGINEERING DIVISION

27 Sakonnet Ridge Drive
Tiverton, RI 02878
401.816.5385

August 9, 2024

Mr. Edward Tanner
Town of Bristol Building Official
9 Court Street
Bristol, RI 02809

RE: 111 King Philip
AP 147 - Lot 62
Bristol, RI 02809

Dear Mr. Tanner,

Upon an extensive inspection conducted by a certified structural engineer, it was determined that the home had reached a state of extreme deterioration. The building was deemed a hazard, posing significant risks to the safety and well-being of the occupants and neighboring properties.

Given these concerns, and in compliance with safety regulations and building codes, it was necessary to proceed with the demolition to mitigate any potential harm. The demolition was carried out with all appropriate permits in place, and every precaution was taken to ensure the process was executed safely and responsibly. The existing foundation is sound and will be used for the proposed dwelling.

If you have any questions or need additional information relative to this matter, please do not hesitate to contact me at (401) 816.5385.

Sincerely,

Thomas J. Principe, III, PE
President
Principe Engineering, Inc.

EXTERIOR WINDOW & DOOR SCHEDULE					
MK	MODEL #	STYLE	FRAME SIZE	LITES	LOCATION AND NOTES
A	TW 3046	DBL-HUNG	3'-2" x 4'-9"	8-OVER-1	5.1 SF CLEAR - BEDROOM EGRESS
B	TW 2452-2W	DBL-HUNG	5'-8" x 5'-5"	4-OVER-1	KING PHILLIP ELEVATION
C	TW 2432	DBL-HUNG	2'-6" x 3'-5"	4-OVER-1	BATH-UTILITY
D	TW 3032-2W	DBL-HUNG	6'-4" x 3'-5"	8-OVER-1	KITCHEN SINK
E	AW 351	AWNING	3'-0" x 2'-5"	3W x 2H	N. BED FALES STREET ELEVATION
F	VERIFY IN FIELD	UTILITY	2'-8" x 1'-4"		VERIFY BASEMENT WINDO\$S IN EXISTING
1	HALF-LITE	IN-SWING	3'-0" x 6'-8"		MAIN EGRESS ENTRY - STYLE BY OWNER
2	FWG 4068	SLIDING	6'-0" x 6'-8"		REAR EXIT TO DECK
3	FWD 3248	IN-SWING	2'-8" x 6'-8"		LIVING ROOM - KING PHILLIP ELEVATION
4	4-PANEL STEEL	IN-SWING	3'-0" x 6'-8"	20 MIN.	INTERIOR DOOR TO GARAGE
5	GARAGE DOOR	OVERHEAD	9'-0" x 8'-0"		DOOR STYLE BY OWNER
6	4-PANEL F.G.	IN-SWING	3'-0" x 6'-8"		GARAGE EXIT AT EAST
7	FWD 3248	IN-SWING	2'-8" x 6'-8"		N. BED - KING PHILLIP ELEVATION
8					
X	R310.1.2 - DESIGNATES EGRESS WINDOW LOCATION IN BEDROOMS WITH MIN. 5.1 S.F. CLEAR OPENING. EXEMPTION: 5.0 S.F. CLEAR OPENING AT GROUND FLOOR BEDROOMS.				
T	CONTRACTOR TO VERIFY ALL SAFETY GLASS (TEMPERED) LOCATIONS BEFORE ORDERING.				
NOTE: ANDERSEN UNITS SHOWN - VERIFY ALL SIZES WITH OWNER BEFORE ORDERING. 1.) VERIFY ALL R.O.'S WITH MANUFACTURER PRIOR TO FRAMING 2.) PROVIDE JAM EXTENSIONS FOR ALL WINDOWS AS REQUIRED. 3.) ALL WINDOWS TO INCLUDE CHARCOAL SCREENS.					

GENERAL NOTES:

- ALL WORK TO COMPLY WITH SBC2 - RI ONE I TWO FAMILY DWELLING CODE, ADOPTED FEBRUARY, 2022 BASED ON IRC 2018 STANDARDS.
PROPOSED PROJECT IS LOCATED IN RI HIGH-WIND AREA. APPENDIX AA - HIGH WIND PRESCRIPTIVE DESIGN APPLIES. SEE BUILDING CODE FOR UPGRADED MINIMUM STANDARDS AND ADDITIONAL REQUIREMENTS FOR ALL CONSTRUCTION.

INDICATES OUTSIDE CORNER THAT REQUIRES 4'-0" SHEAR WALL EACH SIDE OR TOTAL LENGTH WITH NO WALLS UNDER 2'-0" - SEE AA 203.2 INSTALL GALL SHEATHING VERTICALLY AT ALL CORNERS LESS THAN 24".

- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS, APPROVALS, PERMITS, ETC.

- CONTRACTOR TO COORDINATE WITH OWNER SELECTION, PURCHASE, INSTALLATION, AND SWITCHING OF LIGHT FIXTURES.

- COORDINATE WITH OWNER PLACEMENT AND INSTALLATION OF ELECTRICAL OUTLETS AND CONCEALED TELEPHONE WIRING.

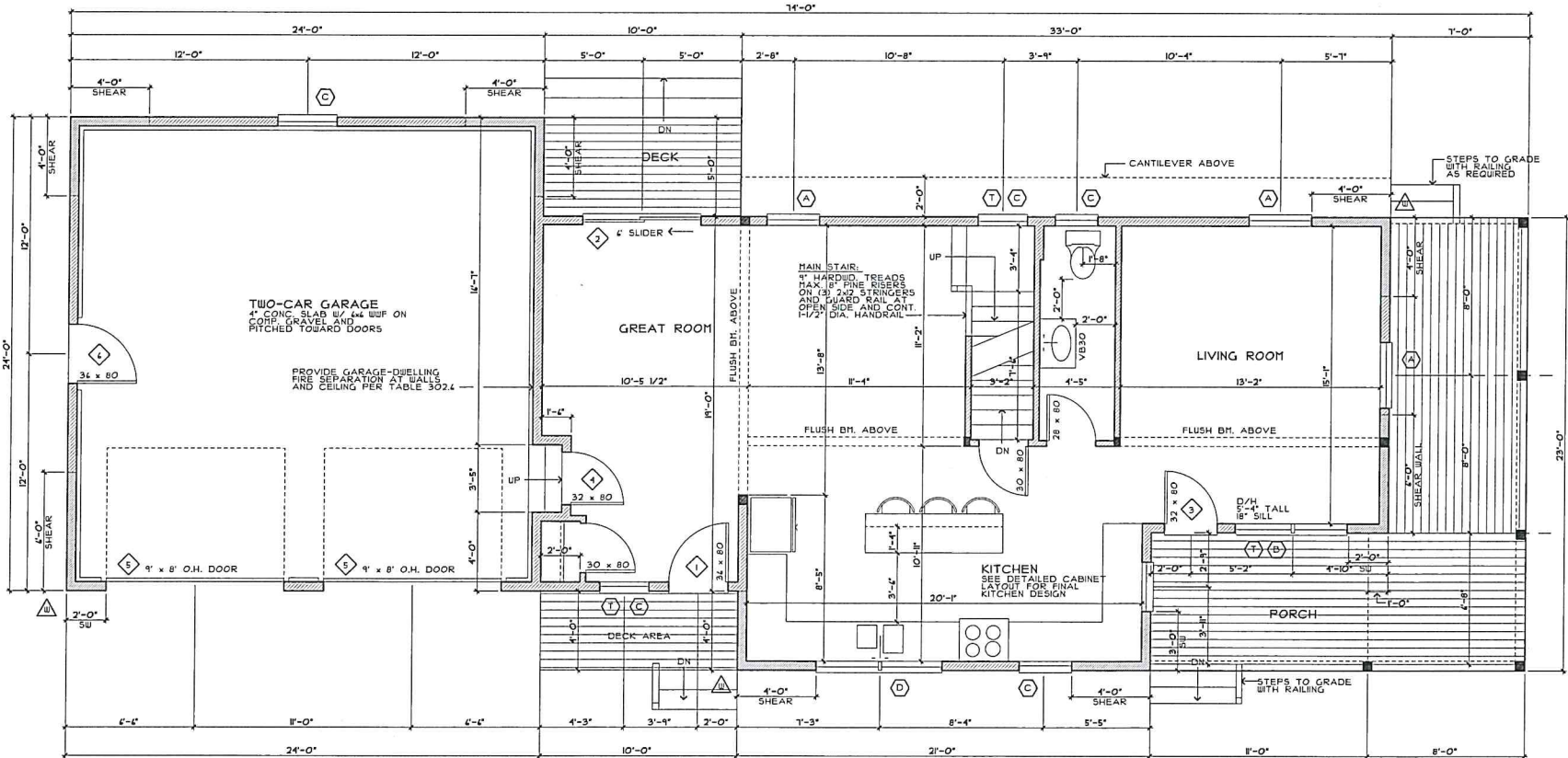
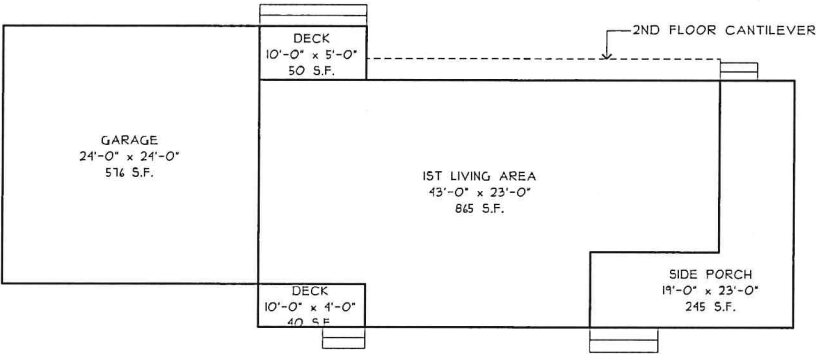
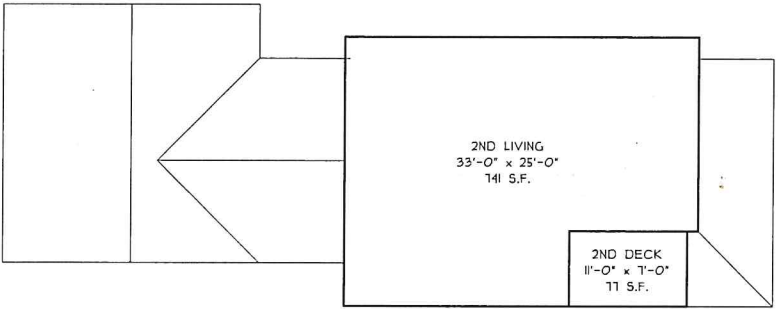
- ALL DIMENSIONS TO BE VERIFIED IN FIELD BY CONTRACTOR AND HOMEOWNER NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES AND DISCUSS OPTIONS BEFORE ANY ACTION REGARDING CHANGES.

- CONTRACTOR TO LOCATE SMOKE DETECTORS AND HAVE LOCAL FIRE CHIEF APPROVAL OF LOCATIONS.

- GRASPABLE HANDRAILS AND RETURNS ARE REQUIRED ON ALL STAIR RAILING - INSIDE AND OUTSIDE.

LEGEND

- ELEVATION (FRAMING)
- SECTION MARKER
- NEW WALL
- EXISTING WALL
- 3 1/2" LALLY COLUMN
- SOLID WOOD POST



1 1ST FLOOR PLAN
AI SCALE: 1/4" = 1'-0"

WOOD FRAME
STRUCTURES, INC.

□ □ □

434 CHILD STREET
WARREN, RI
02865

TEL
(401) 245-2488

PROPOSED
RESIDENCE

□ □ □

111 KING PHILLIP AVE.
BRISTOL, RI
02809

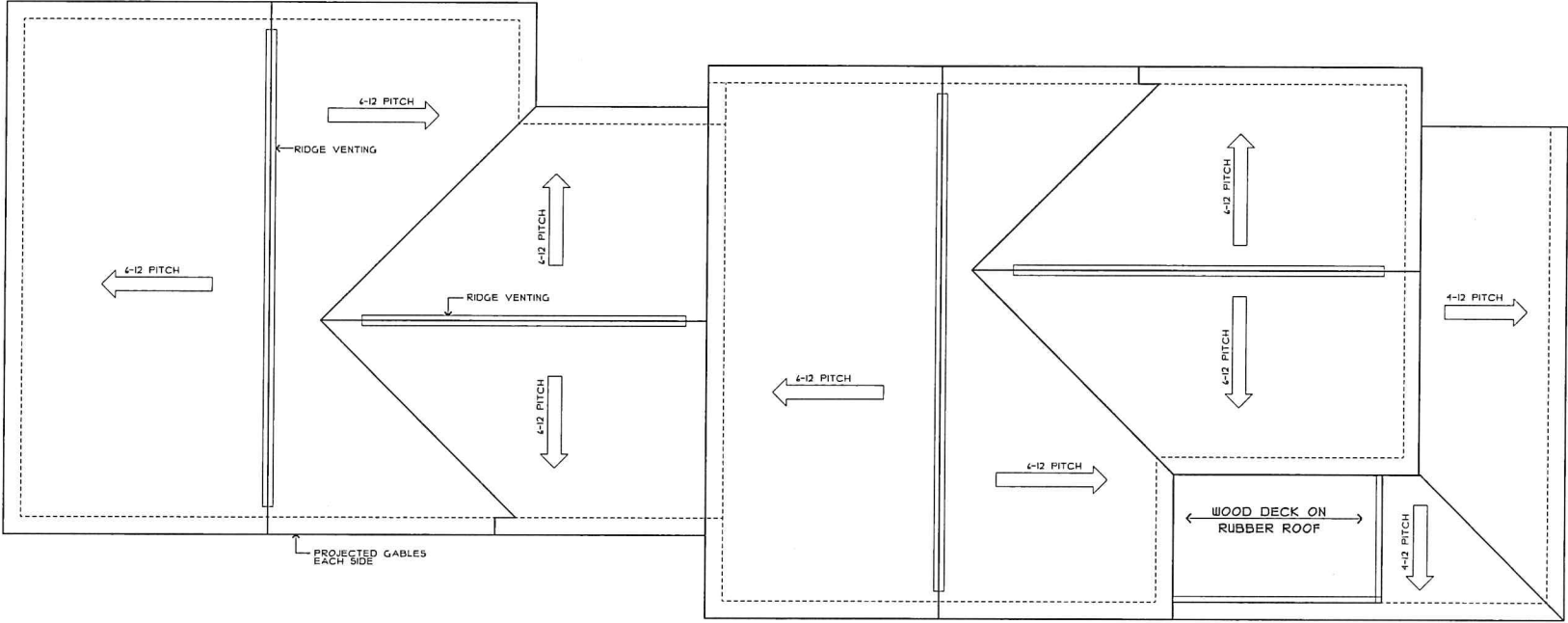
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REVISIONS:

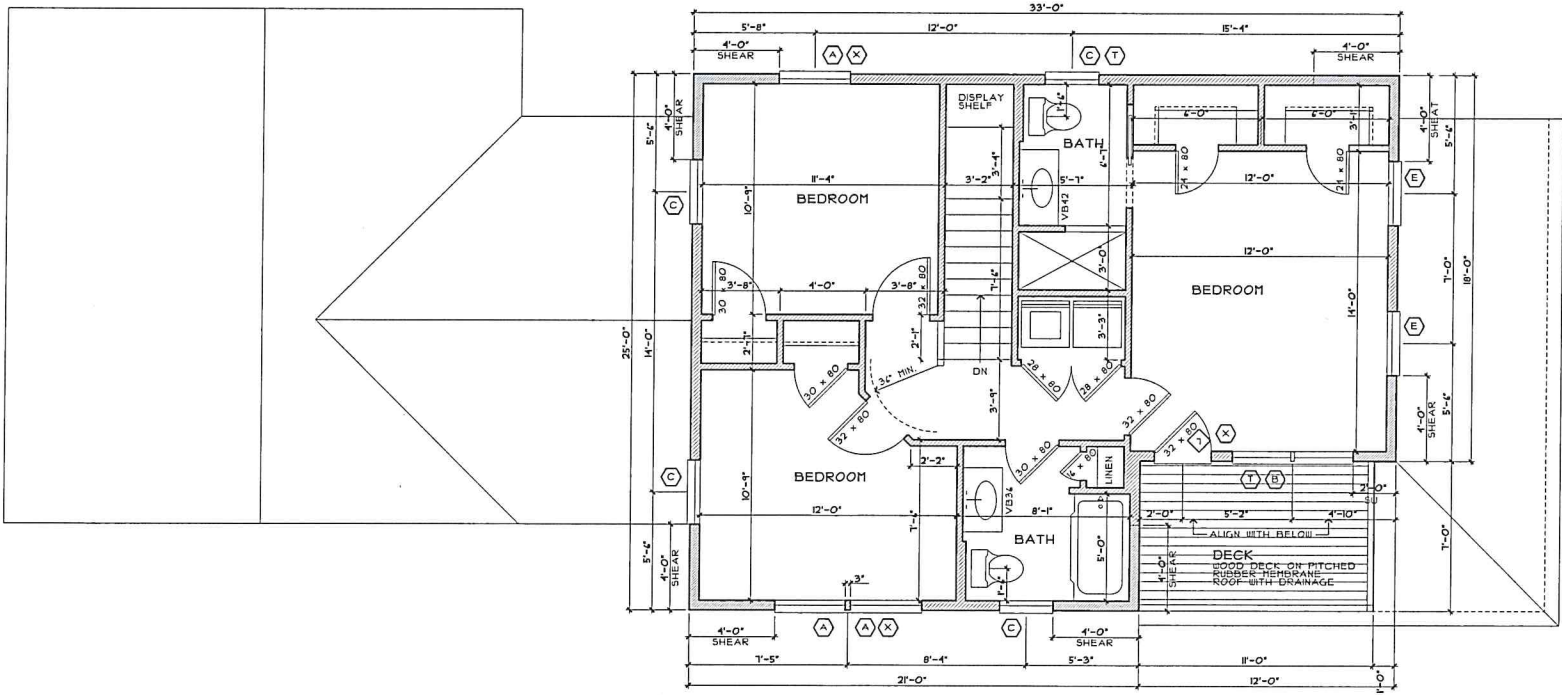
A1

SHEET NO:

2024 AUG -9 PM 3:38
COMMUNITY DEV
CITY OF BRISTOL



2 ROOF PLAN
SCALE: 1/4" = 1'-0"



1 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

WOOD FRAME
STRUCTURES, INC.

□ □ □

434 CHILD STREET
WARREN, RI
02885

TEL
(401) 245-2488

PROPOSED
RESIDENCE

□ □ □

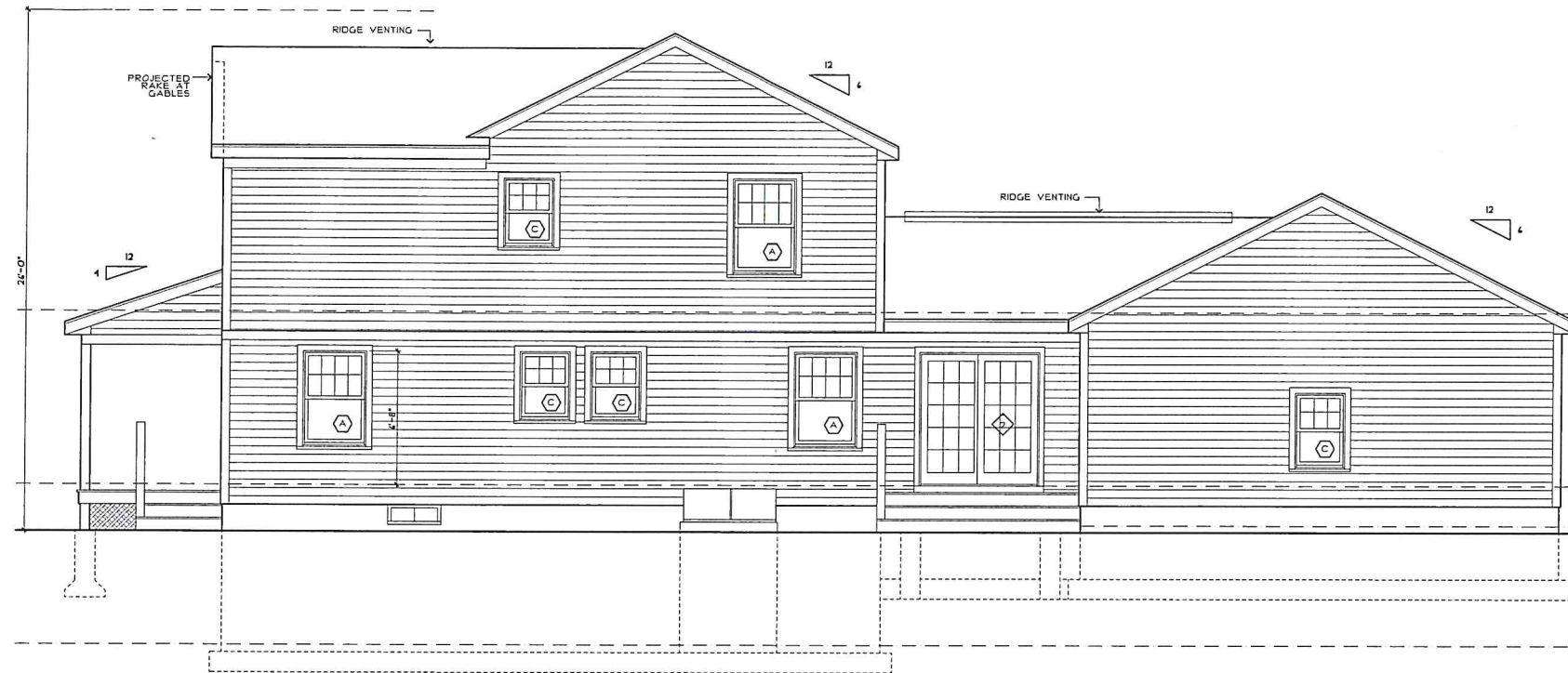
111 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 6/25/2024

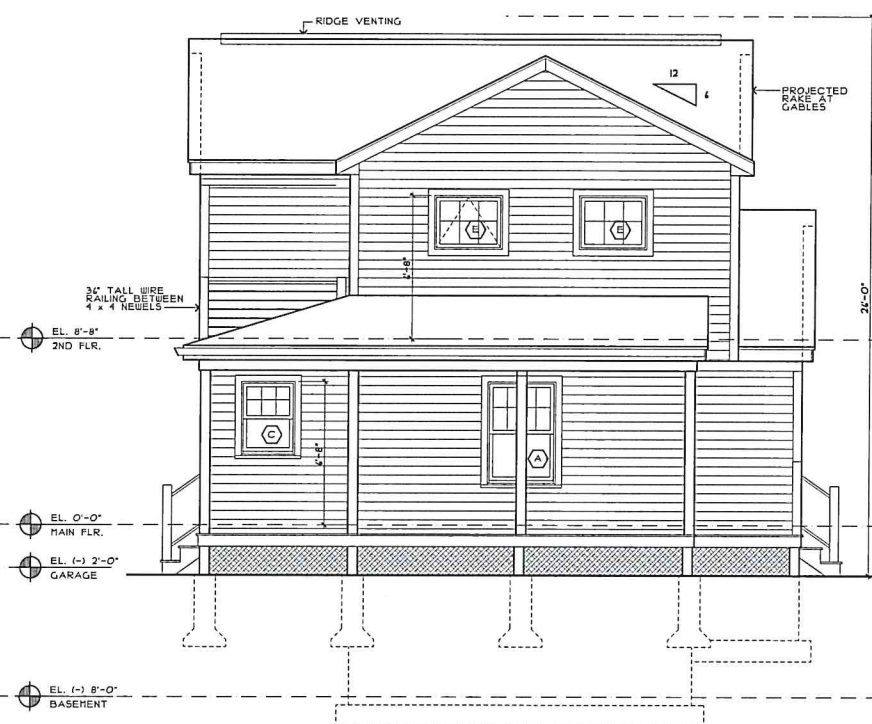
REVISIONS:

A2

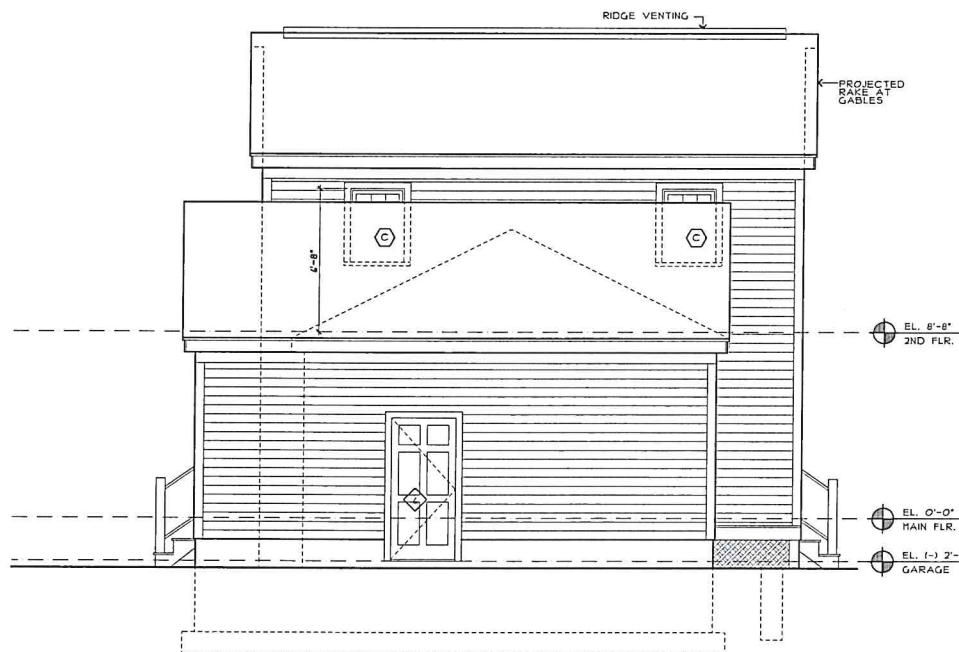
SHEET NO:



4 WEST ELEVATION
A3 SCALE: 1/4" = 1'-0"



3 FALES ROAD ELEVATION
A3 SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
A3 SCALE: 1/4" = 1'-0"



1 KING PHILLIP ELEVATION
A3 SCALE: 1/4" = 1'-0"

WOOD FRAME
STRUCTURES, INC.

□ □ □

434 CHILD STREET
WARREN, RI
02885

TEL
(401) 245-2488

PROPOSED
RESIDENCE

□ □ □

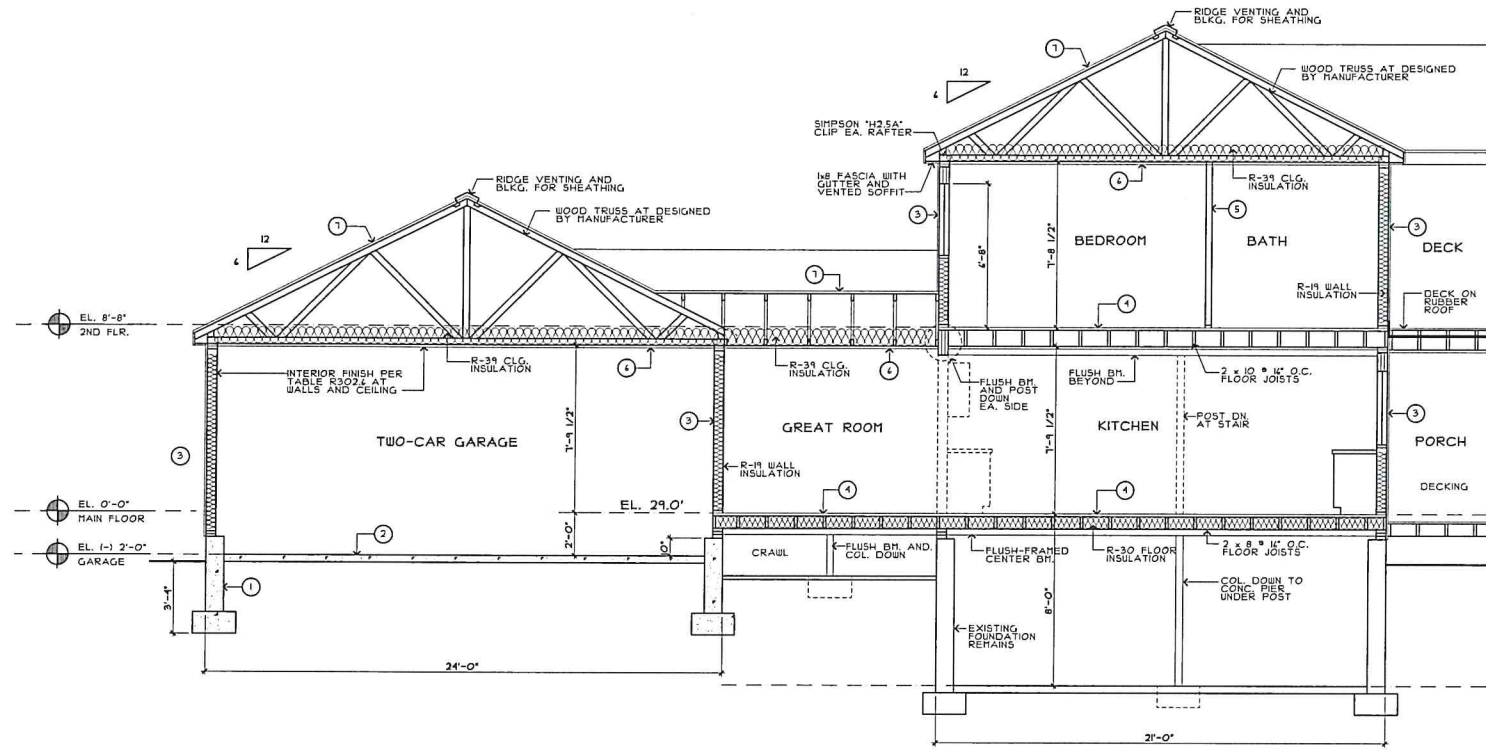
111 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 6/25/2024

REVISIONS:

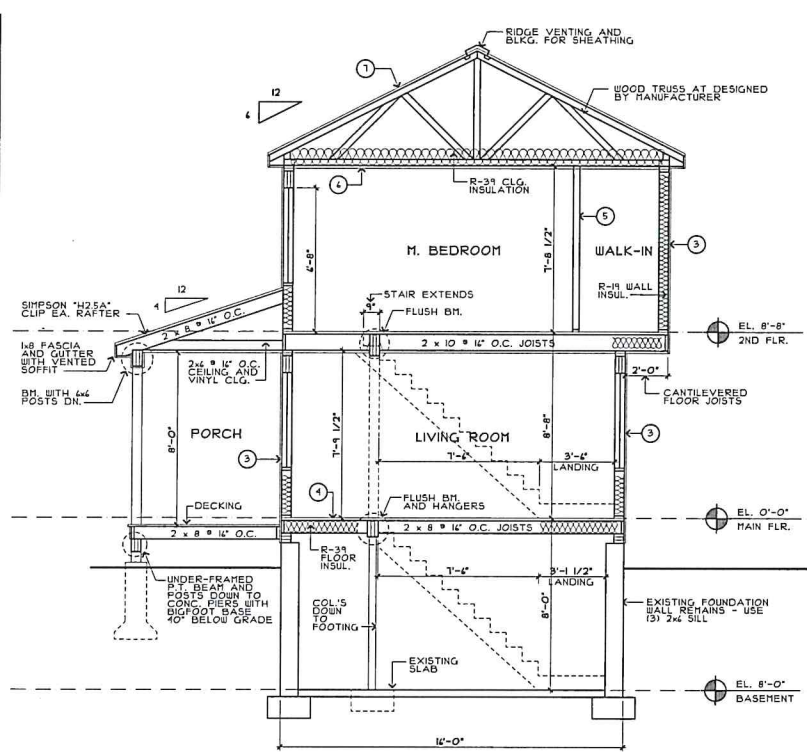
A3

SHEET NO:



5 GARAGE SECTION
A4 SCALE: 1/4" = 1'-0"

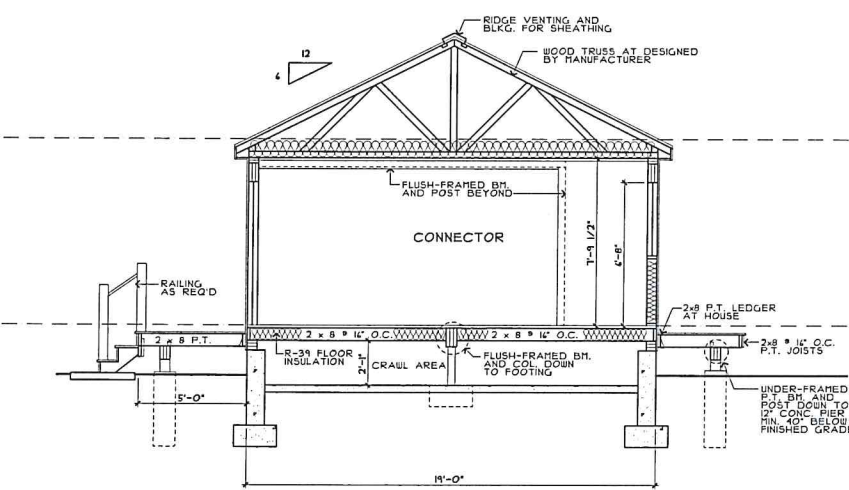
4 KITCHEN SECTION
A4 SCALE: 1/4" = 1'-0"



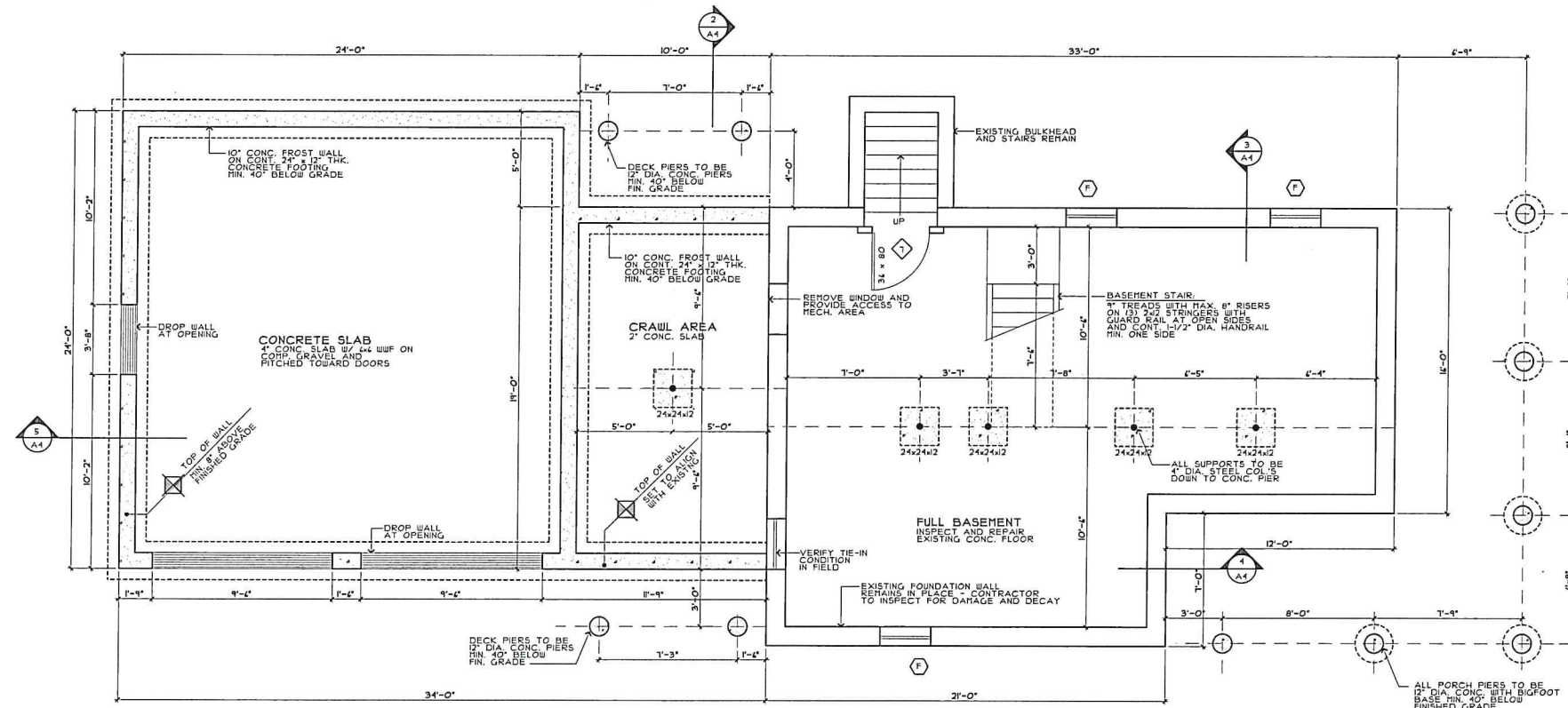
3 MASTER BED SECTION
A4 SCALE: 1/4" = 1'-0"

FINISH SCHEDULE

- NEW FOUNDATION WALL SYSTEM:**
10" THICK FROST WALL WITH TOP OF WALL FIN. 8" ABOVE FINISHED GRADE. CONT. 24" x 12" THICK FOOTING WITH KEYWAY TO BE MIN. 48" BELOW FINISHED GRADE. PROVIDE ANCHOR BOLTS AS REQUIRED WITH (2) 24" x 12" SILL AND SILL SEAL. APPLY WATER-PROOFING TO FINISHED GRADE.
- NEW CONCRETE SLAB SYSTEM:**
MIN. 4" CONCRETE SLAB W/ 64 WUF ON 4" RIL POLY OVER COMPACTED GRAVEL ALIGNED WITH FROST WALL.
- EXTERIOR BEARING WALL SYSTEM:**
EXTERIOR SIDING TO MATCH EXISTING ON UNDERLAYMENT OVER SIDEWALL SHEATHING. 2" x 4" 16" O.C. EXTERIOR WALL. 1/2" BLUEBOARD W/ SKIMCOAT FINISH.
- FINISH FLOORING SYSTEM:**
FINISH FLOORING AS SELECTED BY OWNER. REQUIRED UNDERLAYMENT OVER 3/4" T&G SUBFLOOR GLUED AND NAILED.
- NEW INTERIOR WALL SYSTEM:**
2" x 4" 16" O.C. WALL. 1/2" BLUEBOARD W/ SKIMCOAT FINISH EACH SIDE (TYPICAL).
- NEW FINISHED CEILING SYSTEM:**
1" x 3" AT 16" O.C. STRAPPING. 1/2" BLUEBOARD W/ SKIMCOAT FINISH.
- ROOFING SYSTEM:**
30-YEARS ASPHALT SHINGLES. 58 FELT UNDERLAYMENT. 5/8" T&G CDX PLYWOOD. AT LOW-PITCH ROOFING (SEC. 902.5) ADDS FULL COVERAGE UNDERLAYMENT W/ 19" SEAMS.



2 CONNECTOR SECTION
A4 SCALE: 1/4" = 1'-0"



1 PROPOSED FOUNDATION PLAN
A4 SCALE: 1/4" = 1'-0"

WOOD FRAME
STRUCTURES, INC.

434 CHILD STREET
WARREN, RI
02885

TEL
(401) 245-2488

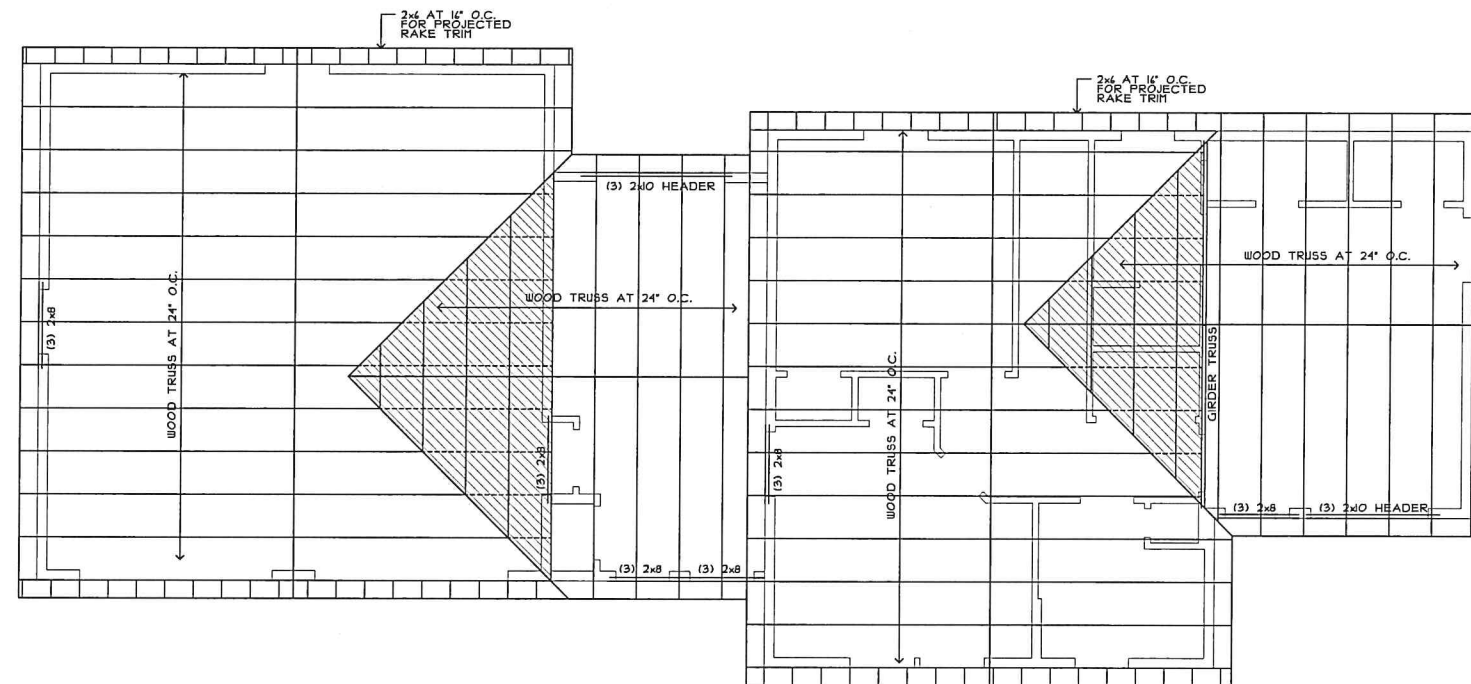
PROPOSED
RESIDENCE

111 KING PHILLIP AVE.
BRISTOL, RI
02809

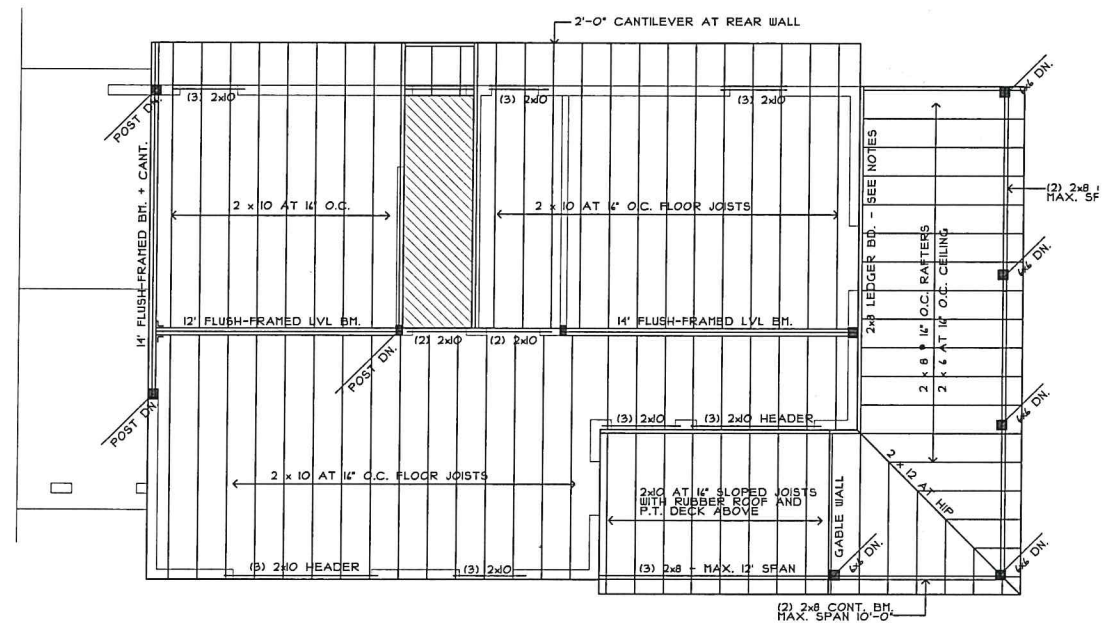
DATE: 6/25/2024

REVISIONS:

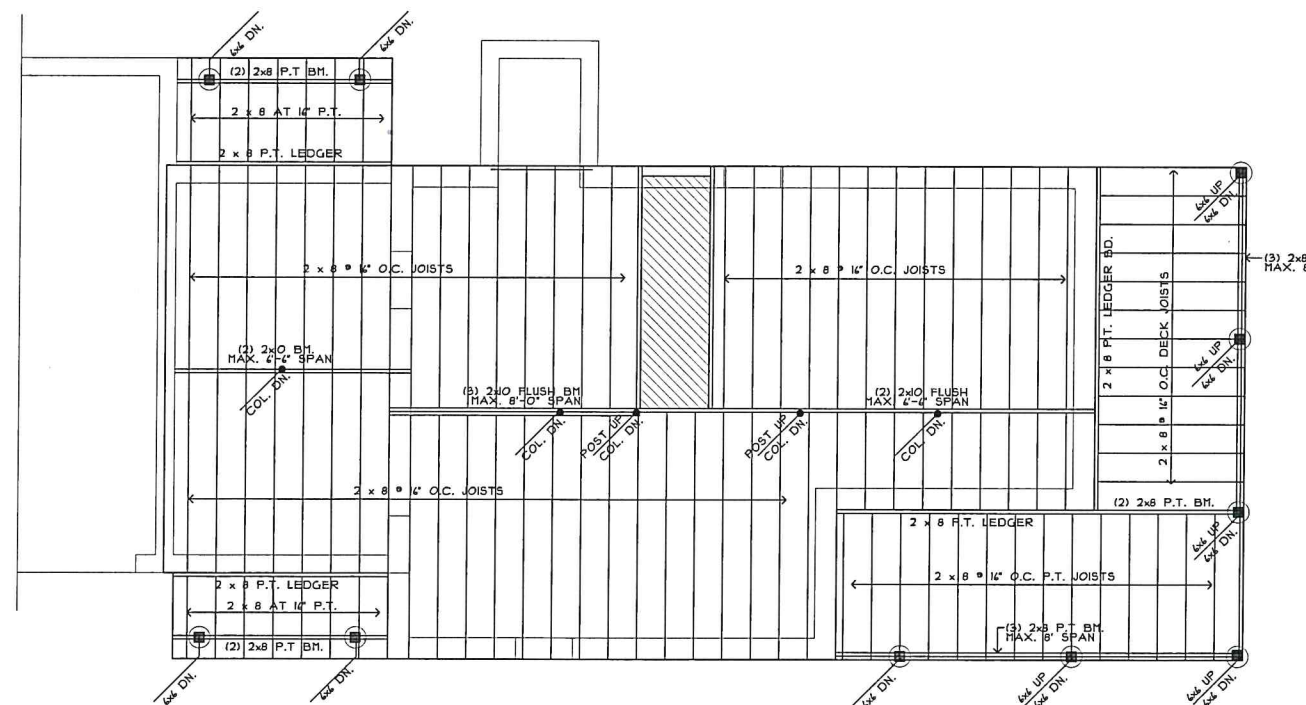
A4
SHEET NO:



3 ROOF TRUSS FRAMING PLAN
A5 SCALE: 1/4" = 1'-0"



2 2ND FLOOR FRAMING PLAN
A5 SCALE: 1/4" = 1'-0"



1 1ST FLOOR FRAMING PLAN
A5 SCALE: 1/4" = 1'-0"

WOOD FRAME
STRUCTURES, INC.

434 CHILD STREET
WARREN, RI
02885

TEL
(401) 245-2488

PROPOSED
RESIDENCE

111 KING PHILLIP AVE.
BRISTOL, RI
02809

DATE: 6/25/2024

REVISIONS:

A5
SHEET NO:

► **Owner**

► Owner Account #: 22-4980-70

Owner 1 FAIRPOINT REALTY, LLC

Owner 2

Owner 3

Address 34 BROAD COMMON RD, BRISTOL, RI 02809

% Owned

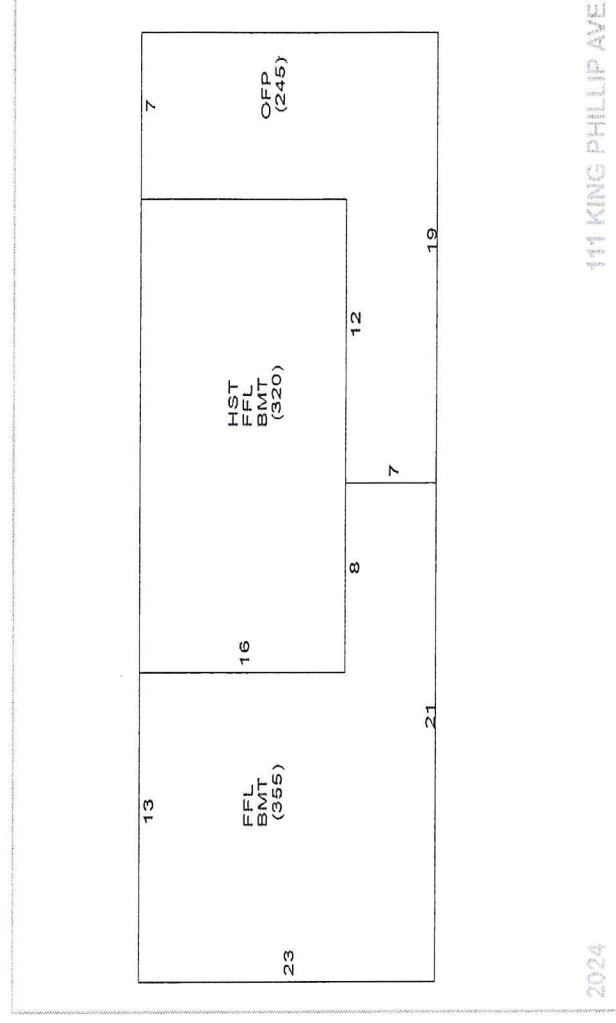
► Assessment

Use Code	Bldg Value	SF/YI Value	Land Size	Land Value	AG Credit	Assessed Value
01	98,800	3,700	0.13	119,500	0	222,000
TOTAL	98,800	3,700	0.13	119,500	0	222,000

Source >	Mkt Adj Cost	VAL per SQ Unit/Card >	126.50	VAL per SQ Unit/Parcel >	126.50
----------	--------------	------------------------	--------	--------------------------	--------

► Previous Assessments

Year	LUC	Building	SF/Y1	Land Size	Land	AGR Credit	Appraised Value	Assessed Value
2024	01	98,800	3,700	0	119,500	0	222,000	222,000
2023	01	98,800	3,700	0	119,500	0	222,000	222,000
2022	01	98,800	3,700	0	119,500	0	222,000	222,000
2021	01	74,700	3,700	0	164,800	0	243,200	243,200
2020	01	74,700	3,700	0	164,800	0	243,200	243,200
2019	01	74,700	3,700	0	164,800	0	243,200	243,200



► Land Information

[illegible]

111 KING PHILLIP AVE

Account: 7427

LUC 01

Zone R-10

Assessment

\$222,000

Card 1 of 1

CATALIS

ADVANCING GOVERNMENT. EMPOWERING CITIZENS.

Building Information

BLDG Type	Convention	Story Height	1 1/2 Story Finish	Description
RES Units	1	COM Units	0	
Foundation	Concrete	BMT Floor	Concrete	
Frame 1	Wood	Frame 2	%	
EXT Wall 1	Wood Shngl	EXT Wall 2	%	
Roof Type 1	Gable	Roof Type 2	%	
Roof Cover 1	Asphalt Shir	Roof Cover 2	%	
INT Wall 1	Drywall	INT Wall 2	%	
Floors 1	Hardwood	Floors 2	%	
BMT Garages		Color		
Plumbing		Electrical		
Insulation		INT vs EXT		
Heat Fuel	Oil	Heat Type	Radiant Hot Water	
# Heat Sys		% Heated	100	
% Solar HW		% A/C		
% COM Wall		% Vacuum		
Ceil HGHT		Ceiling Type		
Parking Type		% Sprinkled		
EXT View				

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1	1	3	U
2			
3			
4			
Totals	1	5	3

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1	Garage	1	Y	1			282	3	PR	1956	3,700
2											
3											
4											
5											
6											
7											
8											
9											
10											

Other Info.

AFDU	Term	Rental	PriorID1c	PriorID2a	PriorID2b	PriorID2c	PriorID3a	PriorID3b	PriorID3c

Grade

Grade	Q4	Q4	Year Built	1956	EFF Year	Alt %	0.00
Alt LUC							

Other Factors

Flood Hazard	Topography	Street	Traffic

Sub-Area Detail

Code	Description	Area	Fin. Area	Rate	Undep Val
FFL	1st FLOOR	675	675	197.18	133,097
HST	HALF STORY	160	160	197.18	31,549
OFP	OPEN PORCH	245	0	11.45	2,805
BMT	BASEMENT	675	0	29.58	19,967
Total		1,755	835		187,418

Visit History

Date	Result	By
8/17/2021	REVIEW	
5/25/2018	REVIEW	
5/15/2018	MEASURED	
7/7/2007	LISTED	
7/5/2007	CALL BACK	
6/27/2007	MEASURE	

Notes

WELL. WATER VIEW - JM. 11 09-03-2021 Multiple undersized lots (under current zoning rules). Sum up the lots to arrive at a size closer to what is required by zoning and input the "Units For Size Adjustment" lot size for proper land pricing, MRM.

Depreciation

Condition	PR	PR - Poor	%
Functional	-		0.0
Economic	-		0.0
Special	-		0.0
OV	-		

Condo Data

Complex	Location	Tot Units	FL Level	# Floors	Bldg Seq
				0	1

Remodeling History

Additions	Plumbing	Electric	Heating	General
Interior				
Exterior				
Kitchen				
Bath(s)				

Building Permits

Issue Date	Permit #	Closed Date	BP Type	Est. Cost	% Done	Status	Description/Directions
1							
2							
3							
4							
5							
6							
7							
8							
9							

Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
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2			
3			
4			
Totals	1	5	3

Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1	Garage	1	Y	1			282	3	PR	1956	3,700
2											
3											
4											
5											
6											
7											
8											
9											
10											

Other Info.

AFDU	Term	Rental	PriorID1c	PriorID2a	PriorID2b	PriorID2c	PriorID3a	PriorID3b	PriorID3c

Print Date = 8/13/2024

Printed By = Ed Tanner

Year ID: 2024

Disclaimer - This information is believed to be correct, but is subject to change and is not warranted.

Disclaimer - This Information is believed to be correct, but is subject to change and is not warranted.

► Building Information

Description		Description
BLDG Type	Story Height	
RES Units	COM Units	
Foundation	BMT Floor	
Frame 1	Frame 2	%
EXT Wall 1	EXT Wall 2	%
Roof Type 1	Roof Type 2	%
Roof Cover 1	Roof Cover 2	%
INT Wall 1	INT Wall 2	%
Floors 1	Floors 2	%
BMT Garages	Color	
Plumbing	Electrical	
Insulation	INT vs EXT	
Heat Fuel	Heat Type	
# Heat Sys	% Heated	
% Solar HW	% A/C	
% COM Wall	% Vacuum	
Ceil HGHT	Ceiling Type	
Parking Type	% Sprinkled	
EXT View		

► Grade

Grade	EFF Year	PAVED
Year Built	Alt %	Traffic

► Other Factors

Flood Hazard	Topography	Street

► Sub-Area Detail

Code	Description	Area	Rate	Undep Val
Total				

► Visit History

Date	Result	By
8/17/2021	REVIEW	
5/25/2018	REVIEW	

► Depreciation

Code	Description	%
Condition	-	
Functional	-	
Economic	-	
Special	-	
OV	-	

► Notes

WILLOT 62

► Remodeling History

Additions	Plumbing
Interior	Electric
Exterior	Heating
Kitchen	General
Bath(s)	

► Condo Data

Complex
Location
Tot Units
FL Level
Floors
Bldg Seq

► Building Permits

Issue Date	Permit #	Closed Date	BP Type	Status	% Done	Description/Directions
1						
2						
3						
4						
5						
6						
7						
8						
9						

► Special Features & Yard Items

Use	Description	A	Y/S	Qty	Length	Width	SF Size	Quality	Condition	Year	Assessed Value
1											
2											
3											
4											
5											
6											
7											
8											
9											
10											

► Room Counts by Floor

Units	# Rooms	# Bedrooms	Floor Level
1			
2			
3			
4			
Totals			

► Other Info.

AFDU
xrTermRental
PriorID1c
PriorID2a
PriorID2b
PriorID2c
PriorID3a
PriorID3b
PriorID3c



111 King Philip Avenue - 300' Radius

Bristol, RI

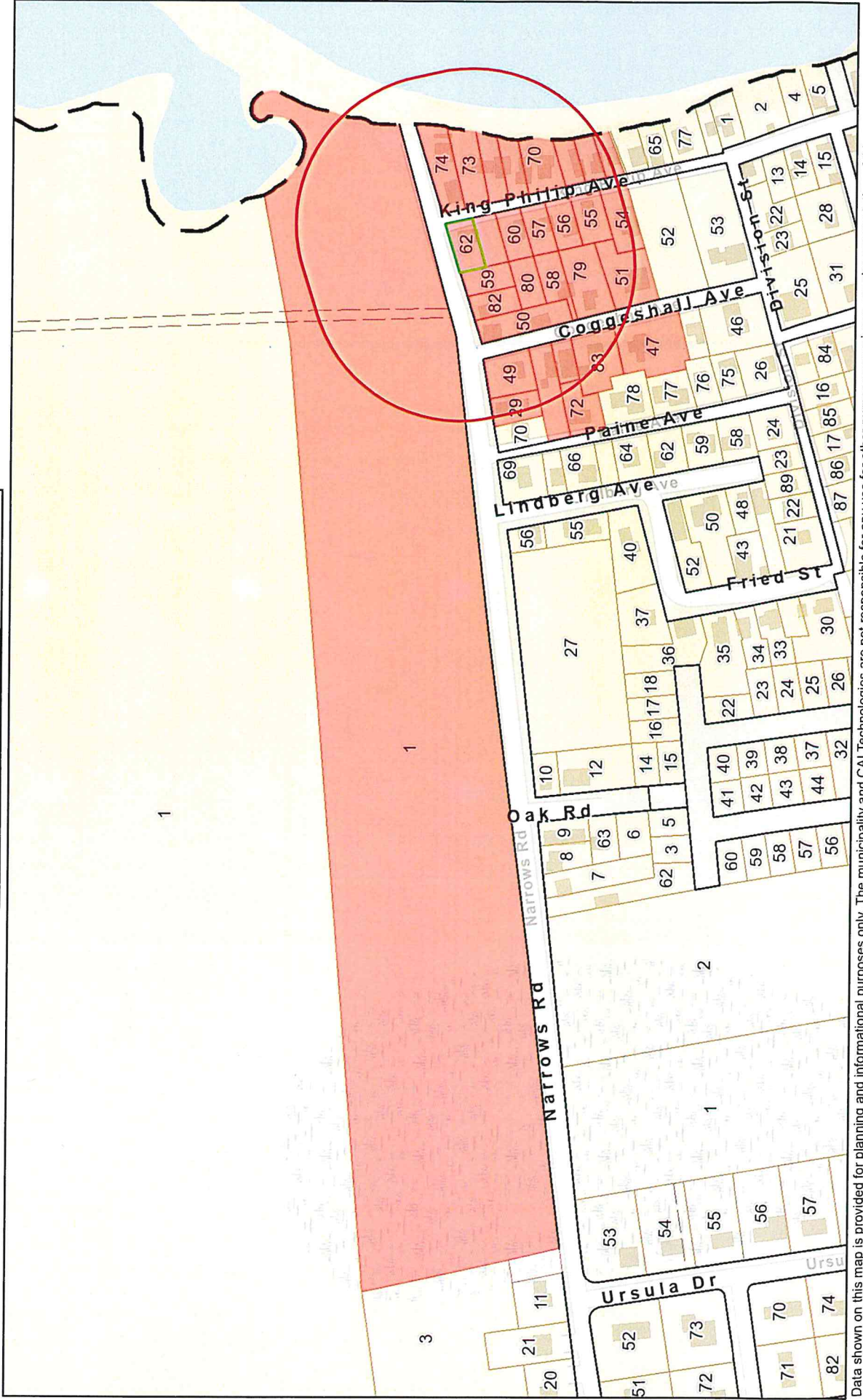
1 inch = 282 Feet



August 9, 2024



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300 feet Abutters List Report

Bristol, RI
August 09, 2024

Subject Property:

Parcel Number: 147-62
CAMA Number: 147-62
Property Address: 111 KING PHILLIP AVE

Mailing Address: FAIRPOINT REALTY, LLC
34 BROAD COMMON RD
BRISTOL, RI 02809

Abutters:

Parcel Number: 142-1
CAMA Number: 142-1
Property Address: NARROWS RD

Mailing Address: WAYPOYSET PRESERVE TRUST C/O
STEVEN JOHNSON
345 CHANNEL VIEW, UNIT 101
WARWICK, RI 02889

Parcel Number: 147-47
CAMA Number: 147-47
Property Address: 22 COGGESHALL AVE

Mailing Address: ANDERSON, ANSEL K
22 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-48
CAMA Number: 147-48
Property Address: 8 COGGESHALL AVE

Mailing Address: HEISLER, WALTER CHRISTOFF JR
8 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-49
CAMA Number: 147-49
Property Address: 2 COGGESHALL AVE

Mailing Address: MORENCY, LIONEL J LIFE ESTATE
MORENCY, RICHARD
2 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-50
CAMA Number: 147-50
Property Address: 1 COGGESHALL AVE

Mailing Address: FAIR WIND PROPERTIES, LLC
P.O. BOX 333
BRISTOL, RI 02809

Parcel Number: 147-51
CAMA Number: 147-51
Property Address: 17 COGGESHALL AVE

Mailing Address: SLYE, ROBERT C & TRACY R TE
17 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-54
CAMA Number: 147-54
Property Address: 97 KING PHILLIP AVE

Mailing Address: GIBALDI JUDITH M & ROCCO JT
20 LANGDON GROVE
CARMEL, NY 10512

Parcel Number: 147-55
CAMA Number: 147-55
Property Address: 101 KING PHILLIP AVE

Mailing Address: GORHAM, COURTNEY LOUISE &
MONTESANO, MICHAEL JOSEP
101 KING PHILIP AVE
BRISTOL, RI 02809

Parcel Number: 147-56
CAMA Number: 147-56
Property Address: 103 KING PHILLIP AVE

Mailing Address: LOWE, DIANE VERDOLOTTI
23 CONE DR
WEST WARWICK, RI 02893

Parcel Number: 147-57
CAMA Number: 147-57
Property Address: 105 KING PHILLIP AVE

Mailing Address: THURSTON, -PILLER RENA S.
105 KING PHILLIP AVE
BRISTOL, RI 02809



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8/9/2024

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Page 1 of 3



300 feet Abutters List Report

Bristol, RI
August 09, 2024

Parcel Number: 147-58
CAMA Number: 147-58
Property Address: 11 COGGESHALL AVE

Mailing Address: BOTELHO, EDWARD
4 MUNRO AVE
WARREN, RI 02885

Parcel Number: 147-59
CAMA Number: 147-59
Property Address: 136 NARROWS RD

Mailing Address: ALMEIDA, JULIE C
87 KICKEMUIT AVE
BRISTOL, RI 02809

Parcel Number: 147-60
CAMA Number: 147-60
Property Address: 107 KING PHILLIP AVE

Mailing Address: COCHRAN, E. ROSS TRUSTEE
107 KING PHILLIP AVE
BRISTOL, RI 02809

Parcel Number: 147-61
CAMA Number: 147-61
Property Address: KING PHILLIP AVE

Mailing Address: FAIRPOINT REALTY, LLC
34 BROAD COMMON RD
BRISTOL, RI 02809

Parcel Number: 147-62
CAMA Number: 147-62
Property Address: 111 KING PHILLIP AVE

Mailing Address: FAIRPOINT REALTY, LLC
34 BROAD COMMON RD
BRISTOL, RI 02809

Parcel Number: 147-67
CAMA Number: 147-67
Property Address: 98 KING PHILLIP AVE

Mailing Address: BEEBE, KEVIN J. MARY JANE TE
98 KING PHILLIP AVE
BRISTOL, RI 02809

Parcel Number: 147-68
CAMA Number: 147-68
Property Address: 100 KING PHILLIP AVE

Mailing Address: CASHMAN, MURIEL A. LE ETAL YOUNG,
DARLENE M.
100 KING PHILLIP AVE
BRISTOL, RI 02809

Parcel Number: 147-69
CAMA Number: 147-69
Property Address: 102 KING PHILLIP AVE

Mailing Address: DAVIDOFF, SCOTT & BRANDY NICOLE
TE
6409 MEADOWVIEW CT
PLANO, TX 75024

Parcel Number: 147-70
CAMA Number: 147-70
Property Address: 104 KING PHILLIP AVE

Mailing Address: IRONS, STEPHEN L & KAREN M TE
104 KING PHILLIP AVE
BRISTOL, RI 02809

Parcel Number: 147-71
CAMA Number: 147-71
Property Address: 106 KING PHILLIP AVE

Mailing Address: LAVOIE, DENISE M
34 MERRIAM LN
SUTTON, MA 01590

Parcel Number: 147-72
CAMA Number: 147-72
Property Address: 108 KING PHILLIP AVE

Mailing Address: LAVOIE, DENISE M
34 MERRIAM LN
SUTTON, MA 01590

Parcel Number: 147-73
CAMA Number: 147-73
Property Address: 110 KING PHILLIP AVE

Mailing Address: LAVOIE, DENISE M
34 MERRIAM LN
SUTTON, MA 01590



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Page 2 of 3



300 feet Abutters List Report

Bristol, RI
August 09, 2024

Parcel Number: 147-74
CAMA Number: 147-74
Property Address: 148 NARROWS RD

Mailing Address: PACHECO, WALTER & KIMBERLY TE
148 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 147-75
CAMA Number: 147-75
Property Address: 10 COGGESHALL AVE

Mailing Address: MANCINI, LORI A.
10 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-79
CAMA Number: 147-79
Property Address: 15 COGGESHALL AVE

Mailing Address: MERKLE, JEFFREY C & EILEEN TE
15 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 147-80
CAMA Number: 147-80
Property Address: 132 NARROWS RD

Mailing Address: SHAW, ROBERT I & PATRICIA A. TE
67 TREASURE BOAT WAY
WEST WAREHAM, MA 02576

Parcel Number: 147-82
CAMA Number: 147-82
Property Address: 134 NARROWS RD

Mailing Address: CALLERY, ALLYSEN W. HAYES, TED TE
134 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 147-83
CAMA Number: 147-83
Property Address: 14 COGGESHALL AVE

Mailing Address: CATALANO, FRANK P SUSAN ETUX TE
14 COGGESHALL AVE
BRISTOL, RI 02809

Parcel Number: 148-29
CAMA Number: 148-29
Property Address: 126 NARROWS RD

Mailing Address: URSINI, JUSTIN R
126 NARROWS RD
BRISTOL, RI 02809

Parcel Number: 148-72
CAMA Number: 148-72
Property Address: 9 PAINE AVE

Mailing Address: SECURO, FRANCES E. LE DESILETS,
ERIC M.
9 PAINE AVE
BRISTOL, RI 02809



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8/9/2024

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Page 3 of 3

ALMEIDA, JULIE C
87 KICKEMUIT AVE
BRISTOL, RI 02809

FAIRPOINT REALTY, LLC
34 BROAD COMMON RD
BRISTOL, RI 02809

PACHECO, WALTER & KIMBERL
148 NARROWS RD
BRISTOL, RI 02809

ANDERSON, ANSEL K
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GIBALDI JUDITH M &
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DESILETS, ERIC M.
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BRISTOL, RI 02809

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MARY JANE TE
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BRISTOL, RI 02809

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BRISTOL, RI 02809

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BRISTOL, RI 02809

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YOUNG, DARLENE M.
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BRISTOL, RI 02809

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SUTTON, MA 01590

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