



Town of Bristol, Rhode Island
Department of Community Development
Zoning Board of Review

APPLICATION

File No: 2024-25

Accepted by ZEO: EMT 7/22/24

APPLICANT:	Name:	DAVID LOUREIRO		
	Address:	27 FRANCA DR.		
	City:	BRISTOL	State:	RI Zip: 02809
	Phone #:	401-864-6148	Email:	LOUREIROMSS@AOL.COM
PROPERTY OWNER:	Name:	DAVID LOUREIRO		
	Address:	27 FRANCA DR.		
	City:	BRISTOL	State:	RI Zip: 02809
	Phone #:	401-864-6148	Email:	LOUREIROMSS@AOL.COM

1. Location of subject property: 27 FRANCA DRIVE

Assessor's Plat(s) #: 123

Lot(s) #: 157

2. Zoning district in which property is located: R-8

3. Zoning Approval(s) required (check all that apply):

☒ Dimensional Variance(s)

☐ Special Use Permit

☐ Use Variance

4. Which particular provisions of the Zoning Ordinance is applicable to this application?

Dimensional Variance Section(s): LESS THAN REQUIRED SIDE YARD AND

Special Use Permit Section(s): MORE LOT COVERAGE THAN REQUIRED

Use Variance Section(s):

5. In a separate written statement (attach to this application), please describe the grounds for the requested variance or special use permit and how the proposal will meet the standards found in Section 28-409 of the Zoning Ordinance.

6. How long have you owned the property? 34 YEARS

7. Present use of property: PRIMARY HOME

8. Is there a building on the property at present? YES

9. Dimensions of existing building (size in feet, area in square feet, height of exterior in feet):

42' x 24' - 1193 SqFT - HEIGHT 20' 9"

10. Proposed use of property: ADDITION OF GARAGE AND 2ND FLOOR ABOVE FOR STORAGE

11. Give extent of proposed alterations: ADDITION OF A GARAGE 17'-11" X 24'
WITH A 2ND FLOOR ABOVE TO BE USED FOR STORAGE

12. Dimensions of proposed building/addition (size in feet, area in square feet, height of exterior in feet):
17'-11" X 24' - 429 SQFT GARAGE - 429 SQFT STORAGE AREA
2ND FLOOR - 23' HEIGHT

13. If dimensional relief is being sought, please state the required and proposed dimensions and setback distances between the proposed building/addition and each lot line:

Front lot line(s):	Required Setback: <u>30'</u>	Proposed Setback: <u>30'</u>
Left side lot line:	Required Setback: <u>15'</u>	Proposed Setback: <u>57'</u>
Right side lot line:	Required Setback: <u>15'</u>	Proposed Setback: <u>5'</u>
Rear lot line:	Required Setback: <u>30'</u>	Proposed Setback: <u>46'</u>
Building height:	Required: <u>35' MAX</u>	Proposed: <u>23'</u>

Other dimensions (building size, lot coverage, lot area, parking, sign dimensions, etc.):

Required: 25% LOT COVERAGE Proposed: 32% LOT COVERAGE

13. Number of families before/after proposed alterations: 1 Before 1 After

14. Have you submitted plans for the above alterations to the Building Official? _____

If yes, has he refused a permit? _____

If refused, on what grounds? _____

15. Are there any easements on your property? _____ (If yes, their location must be shown on site plan)

16. Which public utilities service the property? Water: _____ Sewer: _____

17. Is the property located in the Bristol Historic District or is it an individually listed property? INDIVIDUALLY

18. Is the property located in a flood zone? NO If yes, which one?: _____

I, the undersigned, attest that all the information provided on this application is true and accurate to the best of my knowledge:

Applicant's Signature: David Loureiro Date: 7/22/24

Print Name: DAVID LOUREIRO

Property Owner's Signature: _____ Date: _____

Print Name: _____

Name of attorney or agent (engineer, architect, etc.), if any, who is authorized to represent the applicant:

Name: _____ Phone #: _____

Address: _____

David Loureiro
27 Franca Drive
Bristol, Rhode Island 02885
Loureiromss@aol.com
401-864-6148
07/22/24

Dear Members of the Bristol Zoning Board,

I am writing to request a variance or special use permit for adding storage to my house located at 27 Franca Drive. This request is based on unique circumstances that make it difficult to follow the current zoning rules.

The proposed storage addition will fit well with the surrounding properties and won't disrupt the neighborhood or negatively affect nearby homes.

Our proposal aligns with Bristol's comprehensive plan, supporting orderly growth and economic development. It includes measures to reduce any potential negative impacts on neighboring properties, such as adequate buffering, landscaping, and thoughtful site design to minimize noise, visual intrusion, and traffic congestion. The addition will be supported by existing infrastructure and will not strain municipal services.

Additionally, our plan prioritizes public health, safety, and welfare by incorporating necessary safety measures and complying with local building codes. The development plan also demonstrates environmental stewardship through sustainable practices and the preservation of natural features.

Considering these points, we believe the variance request meets the criteria outlined in Section 28-409 of the zoning ordinance, justifying the need for approval. We appreciate your attention to this matter and are confident that our proposal will benefit both our property and the broader community.

Thank you for your time and consideration.

Sincerely,

David Loureiro

Proposed
Addition
For:
David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Map 123/Lot 157

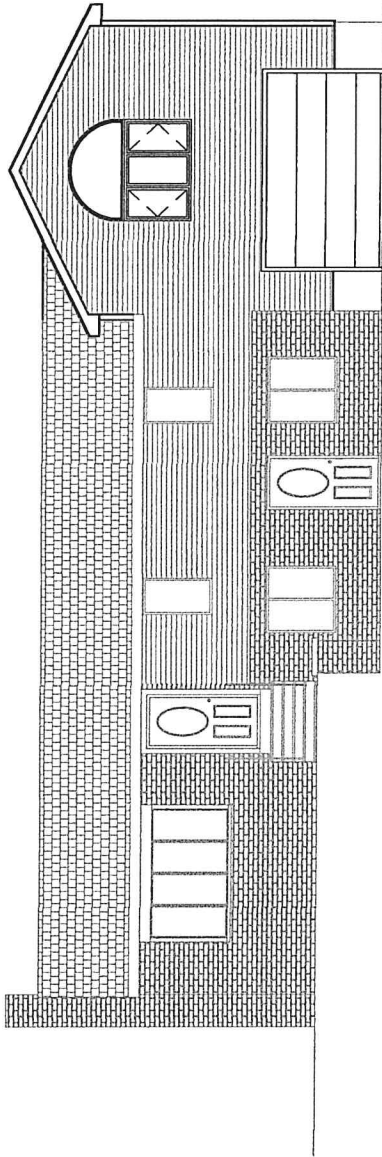
PROJECT NUMBER: 0000
Drawn By: SM
Checked By: X
Issue Date: 10-30-08

Drawing Index:

1. Cover Sheet			
2. Garage Foundation & Floor Plan			
3. Floor Plan Cross Sections & Details			
4. Elevations			
5. Site Plan			
Revisions			
No	Date	Description	

Drawing Title:
Cover Sheet
Scale:

Drawing Number:
1 of 4



Proposed Addition For:
David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Plot 123 Lot 157

GENERAL NOTES:

1. ALL CONCRETE SHALL BE CONTROLLED CONCRETE FOUR (4) CYCLES FOR 28 DAYS. PROVIDE TOTAL ULTIMATE STRENGTH OF 4000 PSI. PROVIDE AIR ENTRAINMENT OF 6% (1.5% FOR EXPOSED WEATHER. MAXIMUM WATER/CEMENT RATIO 0.45 (USE SUPER PLASTICIZER AS REQUIRED FOR WORKABILITY).
2. CONCRETE COVER FOR REINFORCING SHALL BE AS FOLLOWS:
FOOTINGS - 3 INCHES
FOUNDATION WALLS - 2 INCHES
3. ALL SLABS ON GRADE SHALL BE REINFORCED WITH WELDED WIRE FABRIC AT MID POINT CONFORMING TO ASTM A-185. SAFE BEARING CAPACITY OF NOT LESS THAN 2000 P.S.F.
4. ALL CONCRETE FOUNDATIONS MUST BE ON SOIL WITH ASSUMED SAFE BEARING CAPACITY OF NOT LESS THAN 2000 P.S.F.
5. NO FOOTING CONCRETE SHALL BE POURED AGAINST SUB GRADE CONTAINING FREE WATER, FROST, ICE OR MUD.
6. COMPACT FROM BOTTOM OF FOOTING TO UNDERSIDE OF SLAB ON GRADE TO 98% MAXIMUM DENSITY TO 8" LOOSE LAYERS. UNDER INTERIOR FLOOR SLAB TO 95% OF MAXIMUM DENSITY IN 8" LOOSE LAYERS. ELSEWHERE, COMPACT TO 90% OF MAXIMUM DENSITY IN 12" LOOSE LAYERS. EXCEPT FOR TWO 6" LAYERS DIRECTLY OVER PIPES.
7. ALL MASONRY WORK SHALL CONFORM TO NATIONAL CONCRETE MASONRY ASSOCIATION (NCMA).
8. ALL MORTAR SHALL BE TYPE M OR S.
9. GROUT SHALL BE INSTALLED IN 4" FOOT LIFTS AND BE PLACED WITHIN 15 MINUTES OF PLACEMENT. SUCCEEDING LIFTS SHALL FOLLOW AFTER EACH 15 OR 30 MINUTES TO ALLOW FOR SETTLEMENT AND ABSORPTION OF EXCESS WATER.
10. JOINT REINFORCING SHALL CONFORM TO ASTM A85.
11. NAILING SHALL CONFORM TO TABLE 2305.2 OF RHODE ISLAND STATE BUILDING CODE.
12. STRUCTURAL LUMBER SHALL BE HEMFIR #1 (OR AS NOTED ON THE PLANS) OR CONSTRUCTION GRADE AS LISTED IN THE NATIONAL FOREST PRODUCT ASSOCIATION "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENING" THAT HAVE ALLOWABLE UNIT STRESSES IN EXTREME FIBER IN BENDING EQUAL TO OR GREATER THAN 1400 PSI AND MODULUS OF ELASTICITY EQUAL TO OR GREATER THAN 1,500,000 PSI.

13. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING INSPECTIONS DEPARTMENT AND THE IRC 2012 CODE AND/OR ANY APPROPRIATE AUTHORITY HAVING JURISDICTION OVER CONSTRUCTION AT THE PROJECT SITE.
14. ALL MECHANICAL, PLUMBING AND ELECTRICAL TRADE WORK WILL BE DESIGN BUILD AND MUST BE COORDINATED WITH STRUCTURAL WORK PRIOR TO CONSTRUCTION. ANY DISCREPANCY MUST BE REPORTED TO THE OWNER IMMEDIATELY.
15. CONTRACTOR TO VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.
16. CONTRACTOR SHALL SHORE, BRACE, OR OTHERWISE SUPPORT THE STRUCTURE AS REQUIRED IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY AT ALL TIMES AND COORDINATE THE STRUCTURAL WORK AND BUILDING WORK REQUIRED FOR THE CONSTRUCTION PHASES FOR SMOOTH TRANSITION OF WORK.
17. SITE GRADING TO BE FIELD DETERMINED. PROVIDE MINIMUM POSITIVE DRAINAGE AWAY FROM FOUNDATION WALL.
18. CONFIRM QUANTITY, TYPE AND LOCATION OF SMOKE DETECTORS WITH LOCAL FIRE OFFICIAL OR AUTHORITY HAVING JURISDICTION.
19. CONTRACTOR TO COORDINATE ALL INTERIOR FINISHES, DOOR STYLE, MATERIAL, TRIM, CASING, CLOSET ROD, SHELVING, FLOORING AND ACCESSORIES WITH OWNER.
20. ALL FASTENING OF FRAMING, PLATES, SILLS, SHEATHING AND OTHER WOOD MEMBERS SHALL BE IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE BUILDING CODES.
21. ALL ENGINEERED PRODUCTS SUCH AS JOISTS, BEAMS AND TRUSSES ARE DESIGNED AND SPECIFIED BY OTHERS. THE SUPPLIER SHALL PROVIDE THE BUILDING OFFICIAL ANY AND ALL DRAWINGS, CALCULATIONS AND OTHER REQUIRED INFORMATION TO COMPLETE THIS PROJECT.

22. THESE DRAWINGS WERE PREPARED WITH REASONABLE CARE HOWEVER, THE DESIGNER DOES NOT GUARANTEE AGAINST HUMAN ERROR. THEREFORE IT IS IMPERATIVE THAT THE CONTRACTORS CHECK ALL DIMENSIONS, DETAILS AND MUST VERIFY ALL CONDITIONS AND DIMENSIONS AT THE CONSTRUCTION SITE BEFORE ORDERING MATERIALS AND BEGINNING CONSTRUCTION.
23. CONTRACTOR WILL NOTIFY OWNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DRAWINGS AND WILL NOT PROCEED WITH WORK IN THOSE AREAS UNTIL DISCREPANCIES ARE RESOLVED.
24. ANY DEVIATION FROM THE CONTENTS OF THESE PLANS WITHOUT WRITTEN CONSENT OF THE DESIGNER WOULD MAKE NULL AND VOID.
25. NOTIFY DESIGNER OF ANY FIELD CONDITIONS WHICH DIFFER FROM THOSE SHOWN OR IMPLIED ON THE DRAWINGS.
26. THE CONTRACTOR SHALL IDENTIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE APPROPRIATE UTILITY AUTHORITY OR COMPANY. EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING IN THE VICINITY OF EXISTING UTILITIES.
27. BEFORE PROCEEDING WITH CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE STATE OF RHODE ISLAND UTILITIES UNDERGROUND PLANT DAMAGE PREVENTION SYSTEM (DIG SAFE) AT 1-800-225-4977.

SM

Design & Drafting
Riverside, RI 02816
Email: smd54@gmail.com

Proposed
Addition

For:

David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Map 123/Lot 157

PROJECT NUMBER: 0008

Drawn By: SM

Checked By: X

Issue Date: 10-20-20

Drawing Index:

Sheet No. Description

1. Cover Sheet

2. Garage Foundation

3. Floor Plan

4. Cross Sections

5. Details

6. Elevation

7. Site Plan

Revisions

No. Date Description

1. 10-20-20

2. 10-20-20

3. 10-20-20

4. 10-20-20

5. 10-20-20

6. 10-20-20

7. 10-20-20

Drawing Title:

Garage

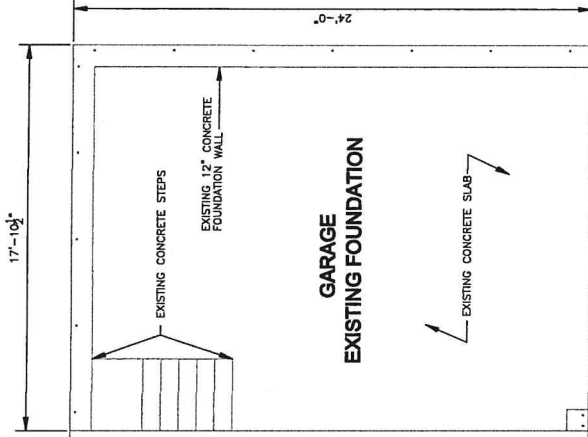
Foundation &

Floor Plan

Scale: 1/4"=1'

Drawing Number

2 of 5



EXISTING GARAGE FOUNDATION

DOOR SCHEDULE THIS SHEET			
NO.	QTY	ROUGH OPENING	TYPE
①	1	12'-6 1/2" x 7'-2 1/4"	12' x 7' GARAGE DOOR
②	2	2'-10 1/2" x 6'-10 1/4"	2'-8" x 6'-8" EXTERIOR

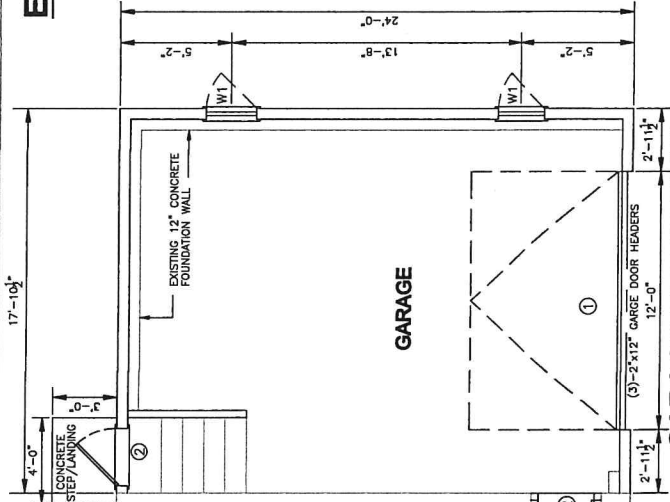
DOOR NOTES:

1. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.
2. WEATHER STRIPPING REQUIRED FOR ALL EXTERIOR DOORS.

ANDERSEN WINDOW SCHEDULE THIS SHEET			
NO.	QTY	ROUGH OPENING	DESIGNATION
W1	2	2'-4 1/2" x 4'-5 1/2"	CW145
			CASEMENT

WINDOWS NOTES:

1. VERIFY ALL WINDOW TYPES AND MANUFACTURER WITH HOMEOWNER PRIOR TO ORDERING WINDOWS.
2. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.
3. HEADER HEIGHTS TO BE 6'-10" TO BOTTOM UNLESS OTHERWISE NOTED.
4. SILL HEIGHT FROM FINISH FLOOR MIN. 24" AND MAX. 44" FROM FINISHED FLOOR.



GARAGE FLOOR PLAN

Proposed Addition
For:
David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Map 123/Lot 157

PROJECT NUMBER:	0458
Drawn By:	SM
Checked By:	X
Issue Date:	10-20-20

Drawing Index

Sheet No.	Description
1	Cover Sheet
2	Garage Foundation & Floor Plan
3	Floor Plan
4	Cross Sections & Details
5	Elevations
6	Site Plan

Drawing Title:

Floor Plan, Cross Section & Details

Scale: 1/4"=1'-0"

Drawing Number

DOOR SCHEDULE THIS SHEET		
NO.	QTY	ROUGH OPENING TYPE
③	1	5'-0" x 6'-8" FRENCH DOOR

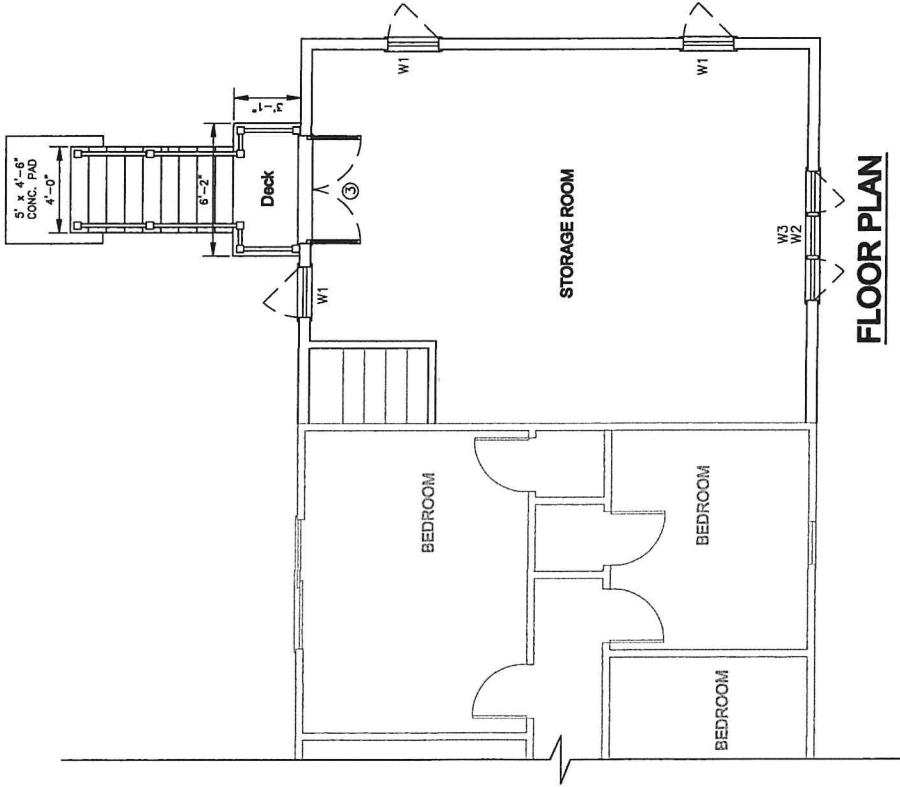
DOOR NOTES:

1. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.
2. WEATHER STRIPPING REQUIRED FOR ALL EXTERIOR DOORS.

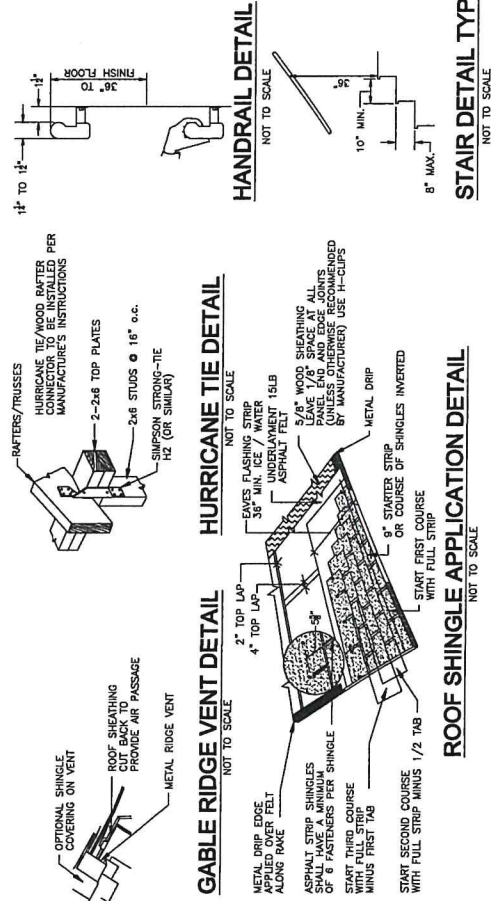
ANDERSEN WINDOW SCHEDULE THIS SHEET			
NO.	QTY	ROUGH OPENING DESIGNATION	TYPE
W1	3	2'-4 1/2" x 4'-5 3/4"	CASEMENT
W2	1	6'-0 1/2" x 4'-0 1/2"	CASEMENT
W3	1	6'-0 1/2" x 3'-2 1/2"	HALF CIRCLE

WINDOWS NOTES:

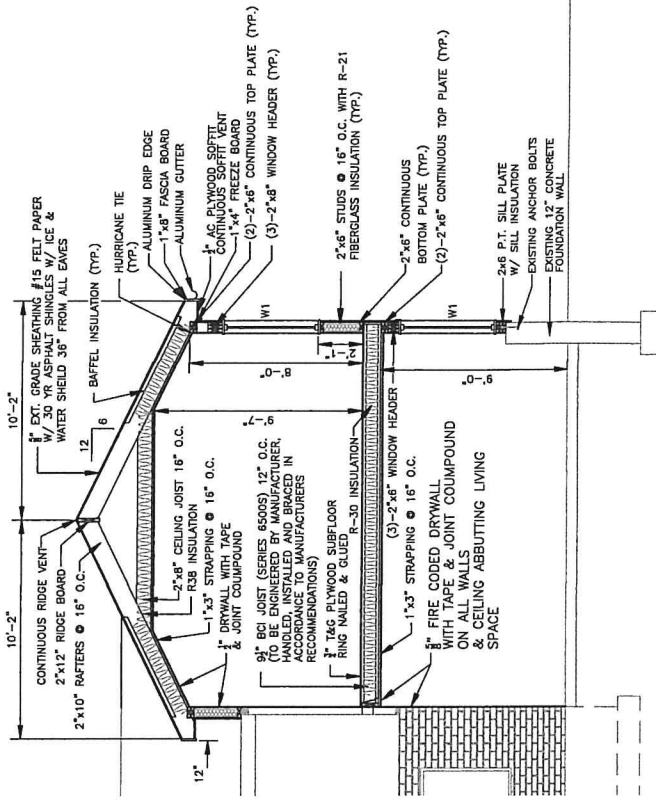
1. VERIFY ALL WINDOW TYPES AND MANUFACTURER WITH HOMEOWNER PRIOR TO ORDERING WINDOWS.
2. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.
3. HEADER HEIGHTS TO BE 6'-10" TO BOTTOM UNLESS OTHERWISE NOTED.
4. SILL HEIGHT FROM FINISH FLOOR MIN. 24" AND MAX. 44" FROM FINISHED FLOOR.



FLOOR PLAN



CROSS SECTION





Proposed Addition
For:
David Loureiro
27 Franca Drive
Bristol, R.I. 02809
Map 123/Lot 157

PROJECT NUMBER: 0058
Drawn By: SM
Checked By: X
Issue Date: 10-20-20

Drawing Index:
Sheet No.: Description

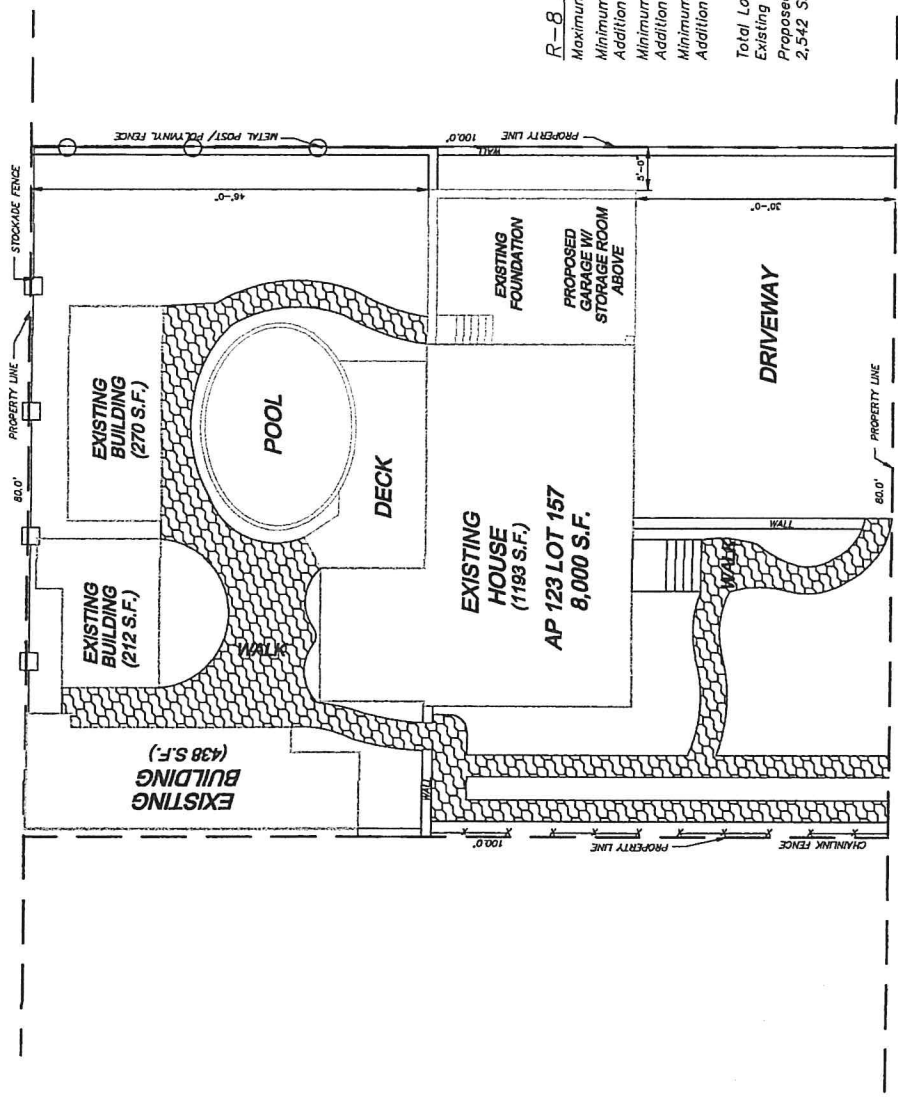
- | Sheet No. | Description |
|-----------|-------------------------------------|
| 1. | Cover Sheet |
| 2. | Garage Foundation & Floor Plan |
| 3. | Floor Plan Cross Sections & Details |
| 4. | Elevations |
| 5. | Site Plan |

Drawing Title:

Site Plan

Scale: 1" = 10'

Drawing Number



NOTE:
THIS PLAN WAS NOT MADE FROM AN INSTRUMENT SURVEY. LOT DIMENSIONS & LOCATIONS WERE TAKEN FROM ASSESSORS MAPS AND TAPE MEASUREMENT.

FRANCA DRIVE

SITE PLAN



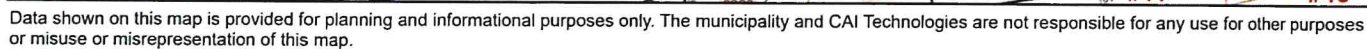
Bristol, RI

1 inch = 141 Feet



www.cai-tech.com

July 22, 2024





300 feet Abutters List Report

Bristol, RI
July 22, 2024

Subject Property:

Parcel Number: 123-157
CAMA Number: 123-157
Property Address: 27 FRANCA DR

Mailing Address: LOUREIRO, DAVID V.
27 FRANCA DRIVE
BRISTOL, RI 02809

Abutters:

Parcel Number: 120-11
CAMA Number: 120-11
Property Address: 7 FAIRMOUNT AVE

Mailing Address: CAVALIERI, PETER JULIE
15 HAWTHORNE AVE
BRISTOL, RI 02809

Parcel Number: 120-14
CAMA Number: 120-14
Property Address: 2 FAIRMOUNT AVE

Mailing Address: SANTERRE, CORY J & KERRY L TE
2 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 120-17
CAMA Number: 120-17
Property Address: 4 FAIRMOUNT AVE

Mailing Address: ELLIN, MARISA A. TRUSTEE OF MARISA
A. ELLIN LIVING TRUST
4 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 120-19
CAMA Number: 120-19
Property Address: 6 FAIRMOUNT AVE

Mailing Address: FOX, NELSON J & CEIRY A TE
6 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 120-20
CAMA Number: 120-20
Property Address: FAIRMOUNT AVE

Mailing Address: FOX, NELSON J & CEIRY A TE
6 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 120-21
CAMA Number: 120-21
Property Address: 28 BUTTERWORTH AVE

Mailing Address: WARDWELL, ROBERT S.
28 BUTTERWORTH AVE
BRISTOL, RI 02809

Parcel Number: 120-22
CAMA Number: 120-22
Property Address: CLAREMONT AVE

Mailing Address: WARDWELL, ROBERT S.
28 BUTTERWORTH AVE
BRISTOL, RI 02809

Parcel Number: 120-23
CAMA Number: 120-23
Property Address: CLAREMONT AVE

Mailing Address: WARDWELL, ROBERT S.
28 BUTTERWORTH AVE
BRISTOL, RI 02809

Parcel Number: 120-24
CAMA Number: 120-24
Property Address: CLAREMONT AVE

Mailing Address: MATOS, MARIA
10 CLAREMONT AVE
BRISTOL, RI 02809

Parcel Number: 120-25
CAMA Number: 120-25
Property Address: 10 CLAREMONT AVE

Mailing Address: MATOS, MARIA
10 CLAREMONT AVE
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

7/22/2024

Page 1 of 5



300 feet Abutters List Report

Bristol, RI
July 22, 2024

Parcel Number: 120-26
CAMA Number: 120-26
Property Address: CLAREMONT AVE

Mailing Address: MATOS, MARIA
10 CLAREMONT AVE
BRISTOL, RI 02809

Parcel Number: 120-27
CAMA Number: 120-27
Property Address: 12 CLAREMONT AVE

Mailing Address: PATTIE, CHERYL A
12 CLAREMONT AVE
BRISTOL, RI 02809

Parcel Number: 120-59
CAMA Number: 120-59
Property Address: 18 BUTTERWORTH AVE

Mailing Address: FONSECA, RYAN M & FONSECA,
MEGAN E TE
18 BUTTERWORTH AVE
BRISTOL, RI 02809

Parcel Number: 120-6
CAMA Number: 120-6
Property Address: FAIRMOUNT AVE

Mailing Address: QUINTIN, PAUL H. ANN M. TE
3 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 120-60
CAMA Number: 120-60
Property Address: 20 BUTTERWORTH AVE

Mailing Address: VANN, STEVEN
20 BUTTERWORTH AVE
BRISTOL, RI 02809

Parcel Number: 120-8
CAMA Number: 120-8
Property Address: 5 FAIRMOUNT AVE

Mailing Address: ROZA, DAVID J LE ETHIER, BRANDY L-
TRUSTEE, DAVID J ROZA TRUST
5 FAIRMOUNT AVE
BRISTOL, RI 02809

Parcel Number: 121-11
CAMA Number: 121-11
Property Address: 15 CLAREMONT AVE

Mailing Address: VILLALOBOS, RICARDO A
15 CLAREMONT AVE
BRISTOL, RI 02809

Parcel Number: 121-15
CAMA Number: 121-15
Property Address: 4 SEAVIEW AVE

Mailing Address: THE BUCK FAMILY TRUST
4 SEA VIEW AVE
BRISTOL, RI 02809

Parcel Number: 121-18
CAMA Number: 121-18
Property Address: 6 SEAVIEW AVE

Mailing Address: FRANCIS, FRANK JR.
6 SEAVIEW AVE
BRISTOL, RI 02809

Parcel Number: 121-7
CAMA Number: 121-7
Property Address: 7 CLAREMONT AVE

Mailing Address: AGUIAR, ARTHUR D ALDEBERTA LIFE
ESTATE
7 CLAREMONT AVE
BRISTOL, RI 02809

Parcel Number: 123-121
CAMA Number: 123-121
Property Address: 36 FRANCA DR

Mailing Address: MEDEIROS, BRUCE A.
36 FRANCA DR
BRISTOL, RI 02809

Parcel Number: 123-127
CAMA Number: 123-127
Property Address: 95 FATIMA DR

Mailing Address: WATERMAN, WENDY TRUSTEE
95 FATIMA DR
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

7/22/2024

Page 2 of 5



300 feet Abutters List Report

Bristol, RI
July 22, 2024

Parcel Number: 123-129
CAMA Number: 123-129
Property Address: 35 FRANCA DR

Mailing Address: MCLAUGHLIN, DANIEL M. PARE, AMY E. TE
35 FRANCA DR
BRISTOL, RI 02809

Parcel Number: 123-130
CAMA Number: 123-130
Property Address: 34 FRANCA DR

Mailing Address: SANTOS, ROBERT W. KIMBERLY A.
34 FRANCA DR
BRISTOL, RI 02809

Parcel Number: 123-136
CAMA Number: 123-136
Property Address: 91 FATIMA DR

Mailing Address: DUFAULT, JESSE G & ELIZABETH M TE
91 FATIMA DR
BRISTOL, RI 02809

Parcel Number: 123-139
CAMA Number: 123-139
Property Address: 33 FRANCA DR

Mailing Address: PIRRI, ALEXANDER J & SHEILDS-PIRRI,
CARLY G. TE
33 FRANCA DR
BRISTOL, RI 02809

Parcel Number: 123-140
CAMA Number: 123-140
Property Address: 1 ST ANNA AVE

Mailing Address: GAGNER, ERIC S & CHRISTOPHER P
TRUSTEES
1 ST ANNA AVENUE
BRISTOL, RI 02809

Parcel Number: 123-141
CAMA Number: 123-141
Property Address: 87 FATIMA DR

Mailing Address: PACHECO, JASON A & MAYNARD,
TALYA F JT
87 FATIMA DR
BRISTOL, RI 02809

Parcel Number: 123-153
CAMA Number: 123-153
Property Address: 84 FATIMA DR

Mailing Address: SOUSA, JOAO M MARIA C
84 FATIMA DR
BRISTOL, RI 02809

Parcel Number: 123-155
CAMA Number: 123-155
Property Address: 28 FRANCA DR

Mailing Address: FARIA, FERNANDO T & MARIA EUGENIA
LE DEALMEIDA, MARY LOU
C/O 28 FRANCA DR
BRISTOL, RI 02809

Parcel Number: 123-156
CAMA Number: 123-156
Property Address: 31 FRANCA DR

Mailing Address: DESOUSA, DOMINGOS D
31 FRANCA DR
BRISTOL, RI 02809

Parcel Number: 123-157
CAMA Number: 123-157
Property Address: 27 FRANCA DR

Mailing Address: LOUREIRO, DAVID V.
27 FRANCA DRIVE
BRISTOL, RI 02809

Parcel Number: 123-160
CAMA Number: 123-160
Property Address: 85 FATIMA DR

Mailing Address: ROVENKO, ANDREW
293 KNOLLWOOD AVE
CRANSTON, RI 02910

Parcel Number: 123-170
CAMA Number: 123-170
Property Address: 64 FATIMA DR

Mailing Address: HOOTON, ALEXANDRIA LE HOOTON,
GARY J
64 FATIMA DR
BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

7/22/2024

Page 3 of 5



300 feet Abutters List Report

Bristol, RI
July 22, 2024

Parcel Number: 123-171 CAMA Number: 123-171 Property Address: 65 FATIMA DR	Mailing Address: REBELLO, ALFRED R ET UX REBELLO, DOLORES TE 65 FATIMA DRIVE BRISTOL, RI 02809
Parcel Number: 123-172 CAMA Number: 123-172 Property Address: 26 FRANCA DR	Mailing Address: SILVA, LISETTE M TRUSTEE LIVING TRUST 26 FRANCA DR BRISTOL, RI 02809
Parcel Number: 123-173 CAMA Number: 123-173 Property Address: 25 FRANCA DR	Mailing Address: MILHOMENS, MARIE E 25 FRANCA DR BRISTOL, RI 02809
Parcel Number: 123-174 CAMA Number: 123-174 Property Address: 23 FRANCA DR	Mailing Address: GAUDREAU, MICHAEL P. ALYSSA I TE 23 FRANCA DR BRISTOL, RI 02809
Parcel Number: 123-175 CAMA Number: 123-175 Property Address: 24 FRANCA DR	Mailing Address: LEVESQUE, ARTHUR J III 24 FRANCA DR BRISTOL, RI 02809
Parcel Number: 123-187 CAMA Number: 123-187 Property Address: 61 FATIMA DR	Mailing Address: FERIOLI, JUDITH M LE GAMACHE, LISA M & 61 FATIMA DR BRISTOL, RI 02809
Parcel Number: 123-190 CAMA Number: 123-190 Property Address: 21 FRANCA DR	Mailing Address: COROA, GARY D. REBECCA A. JT 21 FRANCA DR BRISTOL, RI 02809
Parcel Number: 123-191 CAMA Number: 123-191 Property Address: 22 FRANCA DR	Mailing Address: SAMPSON, PAMELA G. 22 FRANCA DR BRISTOL, RI 02809
Parcel Number: 123-203 CAMA Number: 123-203 Property Address: 55 FATIMA DR	Mailing Address: ANDERSON, CAROLINE HELEN 55 FATIMA DR BRISTOL, RI 02809
Parcel Number: 123-204 CAMA Number: 123-204 Property Address: 20 FRANCA DR	Mailing Address: MEDEIROS, CARLOS F MARIA T 20 FRANCA DR BRISTOL, RI 02809
Parcel Number: 123-205 CAMA Number: 123-205 Property Address: 19 FRANCA DR	Mailing Address: COSTA, AGOSTINHO & CLARA LE REM-COSTA, JOHN & DIANE 19 FRANCA DR BRISTOL, RI 02809
Parcel Number: 123-207 CAMA Number: 123-207 Property Address: 18 FRANCA DR	Mailing Address: JONES, JOSHUA D & TERESA M TE 18 FRANCA DR BRISTOL, RI 02809



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

7/22/2024

Page 4 of 5



300 feet Abutters List Report

Bristol, RI
July 22, 2024

Parcel Number: 123-465
CAMA Number: 123-465
Property Address: FATIMA DR

Mailing Address: DUFAULT, JESSE G & ELIZABETH M TE
91 FATIMA DR
BRISTOL, RI 02809



www.cai-tech.com

7/22/2024

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Page 5 of 5

AGUIAR, ARTHUR D
ALDEBERTA LIFE ESTATE
7 CLAREMONT AVE
BRISTOL, RI 02809

FONSECA, RYAN M &
FONSECA, MEGAN E TE
18 BUTTERWORTH AVE
BRISTOL, RI 02809

MCLAUGHLIN, DANIEL M.
PARE, AMY E. TE
35 FRANCA DR
BRISTOL, RI 02809

ANDERSON, CAROLINE HELEN
55 FATIMA DR
BRISTOL, RI 02809

FOX, NELSON J & CEIRY A T
6 FAIRMOUNT AVE
BRISTOL, RI 02809

MEDEIROS, BRUCE A.
36 FRANCA DR
BRISTOL, RI 02809

CAVALIERI, PETER
JULIE
15 HAWTHORNE AVE
BRISTOL, RI 02809

FRANCIS, FRANK JR.
6 SEAVIEW AVE
BRISTOL, RI 02809

MEDEIROS, CARLOS F
MARIA T
20 FRANCA DR
BRISTOL, RI 02809

COROA, GARY D.
REBECCA A. JT
21 FRANCA DR
BRISTOL, RI 02809

GAGNER, ERIC S &
CHRISTOPHER P TRUSTEES
1 ST ANNA AVENUE
BRISTOL, RI 02809

MILHOMENS, MARIE E
25 FRANCA DR
BRISTOL, RI 02809

COSTA, AGOSTINHO & CLARA
REM-COSTA, JOHN & DIANE
19 FRANCA DR
BRISTOL, RI 02809

GAUDREAU, MICHAEL P.
ALYSSA I TE
23 FRANCA DR
BRISTOL, RI 02809

PACHECO, JASON A &
MAYNARD, TALYA F JT
87 FATIMA DR
BRISTOL, RI 02809

DESOUSA, DOMINGOS D
31 FRANCA DR
BRISTOL, RI 02809

HOOTON, ALEXANDRIA LE
HOOTON, GARY J
64 FATIMA DR
BRISTOL, RI 02809

PATTIE, CHERYL A
12 CLAREMONT AVE
BRISTOL, RI 02809

DUFAULT, JESSE G & ELIZAB
91 FATIMA DR
BRISTOL, RI 02809

JONES, JOSHUA D &
TERESA M TE
18 FRANCA DR
BRISTOL, RI 02809

PIRRI, ALEXANDER J &
SHEILDS-PIRRI, CARLY G. T
33 FRANCA DR
BRISTOL, RI 02809

ELLIN, MARISA A. TRUSTEE
MARISA A. ELLIN LIVING TR
4 FAIRMOUNT AVE
BRISTOL, RI 02809

LEVESQUE, ARTHUR J III
24 FRANCA DR
BRISTOL, RI 02809

QUINTIN, PAUL H.
ANN M. TE
3 FAIRMOUNT AVE
BRISTOL, RI 02809

FARIA, FERNANDO T & MARIA
DEALMEIDA, MARY LOU
C/O 28 FRANCA DR
BRISTOL, RI 02809

LOUREIRO, DAVID V.
27 FRANCA DRIVE
BRISTOL, RI 02809

REBELLO, ALFRED R ET UX
REBELLO, DOLORES TE
65 FATIMA DRIVE
BRISTOL, RI 02809

FERIOLI, JUDITH M LE
GAMACHE, LISA M &
61 FATIMA DR
BRISTOL, RI 02809

MATOS, MARIA
10 CLAREMONT AVE
BRISTOL, RI 02809

ROVENKO, ANDREW
293 KNOLLWOOD AVE
CRANSTON, RI 02910

ROZA, DAVID J LE
ETHIER, BRANDY L-TRUSTEE,
5 FAIRMOUNT AVE
BRISTOL, RI 02809

WATERMAN, WENDY TRUSTEE
95 FATIMA DR
BRISTOL, RI 02809

SAMPSON, PAMELA G.
22 FRANCA DR
BRISTOL, RI 02809

SANTERRE, CORY J & KERRY
2 FAIRMOUNT AVE
BRISTOL, RI 02809

SANTOS, ROBERT W.
KIMBERLY A.
34 FRANCA DR
BRISTOL, RI 02809

SILVA, LISETTE M TRUSTEE
26 FRANCA DR
BRISTOL, RI 02809

SOUSA, JOAO M
MARIA C
84 FATIMA DR
BRISTOL, RI 02809

THE BUCK FAMILY TRUST
4 SEA VIEW AVE
BRISTOL, RI 02809

VANN, STEVEN
20 BUTTERWORTH AVE
BRISTOL, RI 02809

VILLALOBOS, RICARDO A
15 CLAREMONT AVE
BRISTOL, RI 02809

WARDWELL, ROBERT S.
28 BUTTERWORTH AVE
BRISTOL, RI 02809