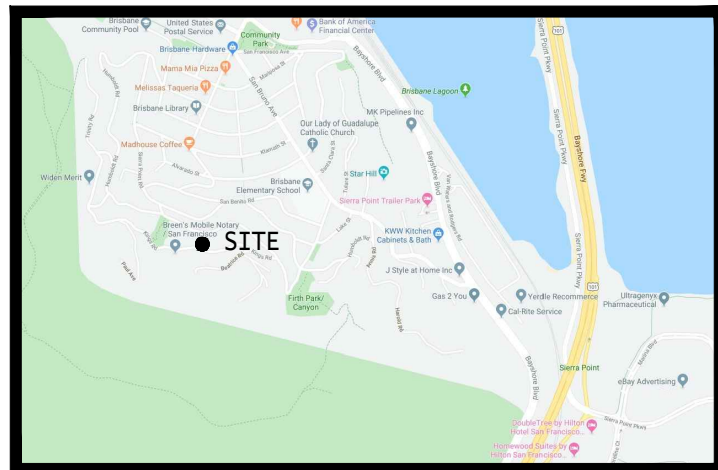
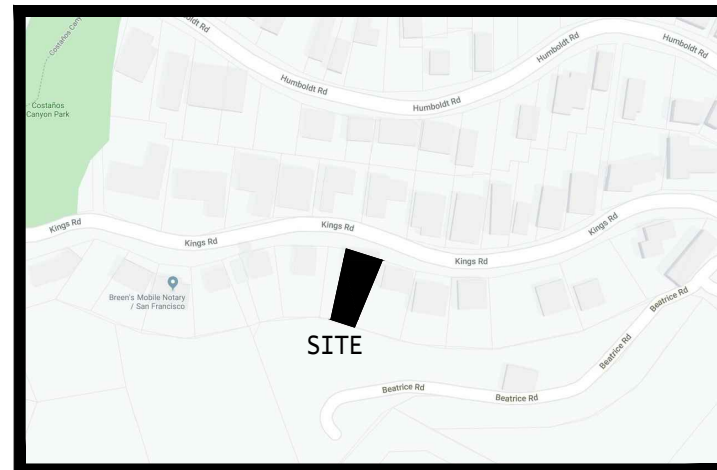


LOCATION MAP



VICINITY MAP



LOT/OWNER INFORMATION

338 KINGS RD., BRISBANE, CALIFORNIA 94005
 APN: 007-471-170
 (E) LOT AREA: ± 6,400 SQ.FT
 ZONE DISTRICT: R-1
 OCCUPANCY CLASS: R-3/U
 TYPE OF CONSTRUCTION: V-B
 FIRE SPRINKLERS: NO
 NUMBER OF BUILDINGS: 1
 (E) STORIES: 2
 (N) STORIES: 2+BASEMENT

OWNER(S) INFORMATION:
 NAME: JOHN HUANG
 338 KINGS RD., BRISBANE, CALIFORNIA 94005

SCOPE OF WORK

1. ADD NEW 2 CAR GARAGE DETACHED FROM EXISTING HOUSE.
2. ADD NEW A.D.U (660 SQ.F) ON TOP NEW GARAGE.
3. REMODEL EXISTING UNIT.
4. ADD NEW ELEVATOR TO CONNECT A.D.U AND EXISTING UNIT.

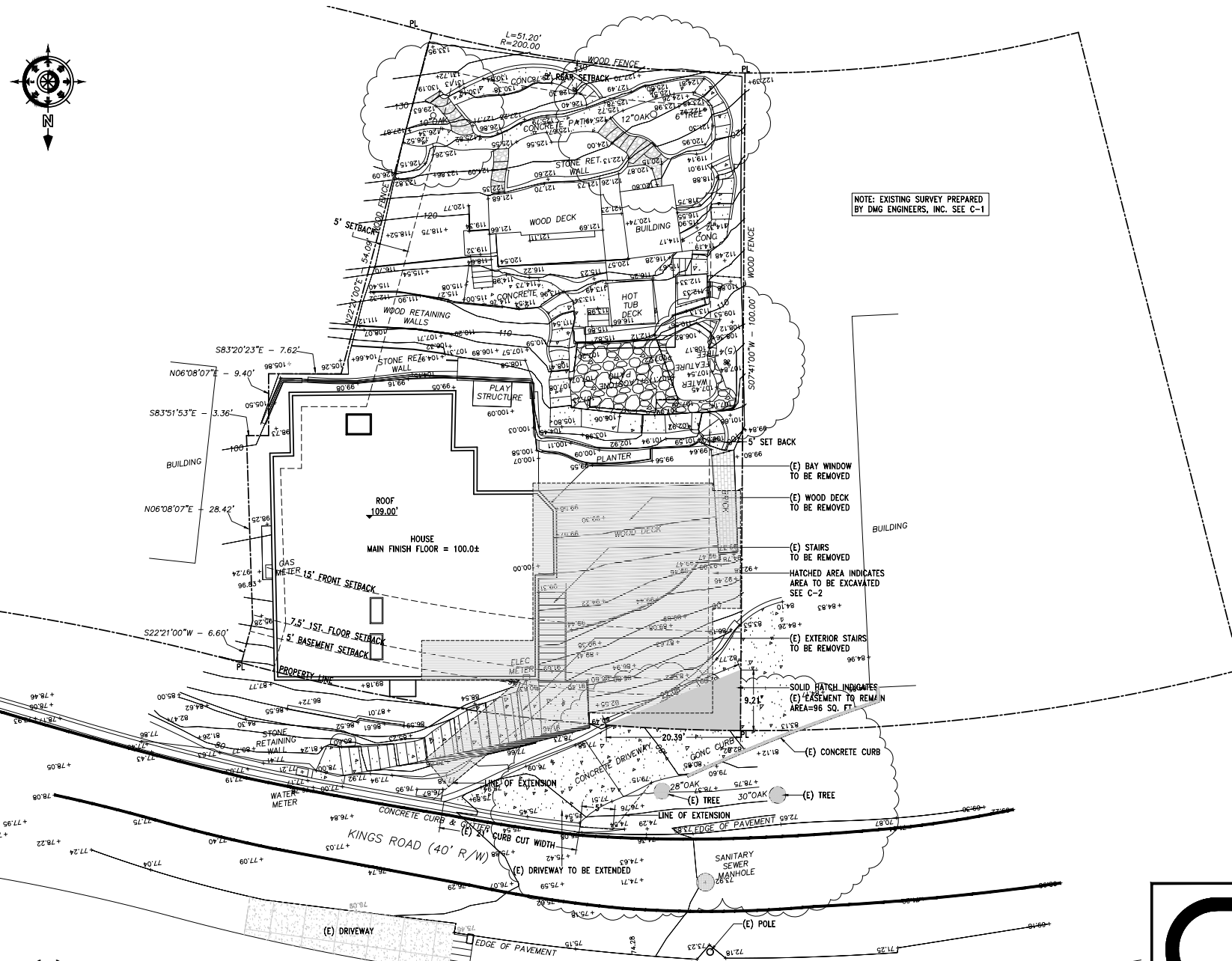
AREAS

EXISTING BUILDING		NEW:	
SECOND FLOOR			
EXISTING:		NEW:	
-LIVABLE AREA=1,501 SQ.F		-LIVABLE AREA=1,506 SQ.F	
		-DECK AREA= 609 SQ.F	
FIRST FLOOR			
-LIVABLE AREA=318 SQ.F		-LIVABLE AREA= 276 SQ.F	
BASEMENT FLOOR			
		-GARAGE AREA= 610 SQ.F	
TOTAL LIVABLE=1,819 SQ.F		TOTAL LIVABLE=1,782 SQ.F	
		DECK AREA= 609 SQ.F	
		GARAGE AREA= 610 SQ.F	
		GRAND TOTAL= 3,001 SQ.F	
NEW A.D.U			
		-A.D.U AREA= 660 SQ.F	

INDEX OF DRAWINGS

- ARCHITECTURAL**
- A-0 (E) SITE MAP AND PROJECT INFORMATION
 - A-0.1 (N) SITE PLAN
 - A-1 (E) AND (N) SECOND FLOOR PLANS
 - A-1.1 (E) AND (N) FIRST FLOOR PLANS
 - A-1.2 (N) BASEMENT (GARAGE) FLOOR PLAN
 - A-2 (E) AND (N) NORTH ELEVATIONS
 - A-2.1 (E) AND (N) WEST ELEVATIONS
 - A-2.2 (E) AND (N) SOUTH ELEVATIONS
 - A-2.3 (E) AND (N) EAST ELEVATIONS
 - A-3 (N) SCHEMATIC CROSS SECTION
 - A-3.1 (N) SCHEMATIC CROSS SECTION
- CIVIL**
- C-1 TOPOGRAPHIC AND BOUNDARY SURVEY
 - C-2 PROPOSED GRADING PLAN

338 KINGS RD., BRISBANE, CALIFORNIA 94005



(E) SITE PLAN
N.T.S

MATERIALS

- ACOUSTIC TILE OR BOARD
- BITUMINOUS CONCRETE SHOW PROFILE ONLY
- CERAMIC TILE
- CONCRETE CAST IN PLACE OR PRECAST
- CONCRETE BLOCK
- EARTH
- GLASS OMIT INDICATION IN THIN MATERIAL
- GYPHUM BOARD OMIT DOUBLE LINES AT SMALL SCALE
- GYPHUM SHEATHING
- HARDBOARD
- INSULATION, BATT
- METAL OMIT INDICATION IN THIN MATERIAL
- MORTAR
- PLASTER ON METAL LATH
- PLASTIC LAMINATE
- PLYWOOD
- RIGID INSULATION
- ROCK FILL
- SAND
- WOOD, FINISH
- WOOD, FRAMING THROUGH MEMBER
- WOOD, FRAMING INTERRUPTED MEMBER

SITE PLAN LEGEND:

- JOINT POWER POLE
- WATER METER
- FIRE HYDRANT
- GAS VALVE
- WATER VALVE
- WATER LINE
- GAS LINE
- SANITARY SEWER LINE
- OVERHEAD ELECTRIC

SYMBOLS

- NOTE MARK
- DOOR MARK
- WINDOW MARK - LETTERS
- LOUVER MARK - NUMBERS
- TOILET ACCESSORY
- REVISION MARK
- COLUMN/ GRID LINE MARK
- MATCH MARK AND LINE
- SECTION CUT MARK
- EXTERIOR ELEVATION MARK
- INTERIOR ELEVATION MARK
- DETAIL MARK

APPLICABLE CODES

- 2016 CALIFORNIA BUILDING CODE (BASED ON 2015 INTERNATIONAL BUILDING CODE)
- 2016 CALIFORNIA ELECTRICAL CODE (BASED ON 2014 NATIONAL ELECTRICAL CODE)
- 2016 CALIFORNIA PLUMBING CODE (BASED ON 2015 UNIFORM PLUMBING CODE)
- 2016 CALIFORNIA MECHANICAL CODE (BASED ON 2015 UNIFORM MECHANICAL CODE)
- 2016 CALIFORNIA ENERGY CODE
- 2016 CALIFORNIA EXISTING BUILDING CODE
- 2016 CALIFORNIA RESIDENTIAL CODE (BASED ON THE 2015 INTERNATIONAL BUILDING CODE)
- 2016 CALIFORNIA FIRE CODE (BASED ON THE 2015 INTERNATIONAL FIRE CODE)
- 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2015 INTERNATIONAL EXISTING BUILDING CODE

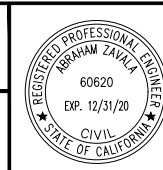
NOTES

RECIPIENT OF THESE PLANS & SPECIFICATIONS UNDERSTANDS THAT COPYRIGHT IN THESE PLANS & SPECIFICATIONS ARE OWNED BY AZ DESIGN & ENGINEERING INC. THE PLANS & SPECIFICATIONS CONTAIN PRIVILEGED AND CONFIDENTIAL BUSINESS INFORMATION OF AZ DESIGN & ENGINEERING INC. THE RECIPIENT AGREES TO RETAIN THESE PLANS & SPECIFICATIONS IN STRICT CONFIDENCE AND AGREES NOT TO DISCLOSE THESE PLANS & SPECIFICATIONS TO ANY OTHER PARTY AND FURTHER AGREES NOT TO MAKE COPIES OF THESE PLANS & SPECIFICATIONS. THE RECIPIENT AGREES TO USE THESE PLANS & SPECIFICATIONS ONLY FOR THE LIMITED PURPOSE FOR WHICH AZ DESIGN & ENGINEERING INC. HAS MADE THESE PLANS & SPECIFICATIONS AVAILABLE, AND RECIPIENT AGREES TO RETURN ALL PLANS & SPECIFICATIONS TO AZ DESIGN & ENGINEERING INC. EITHER UPON COMPLETION OF THE INTENDED PURPOSE OR UPON THE REQUEST OF AZ DESIGN & ENGINEERING INC, WHICHEVER COMES FIRST.

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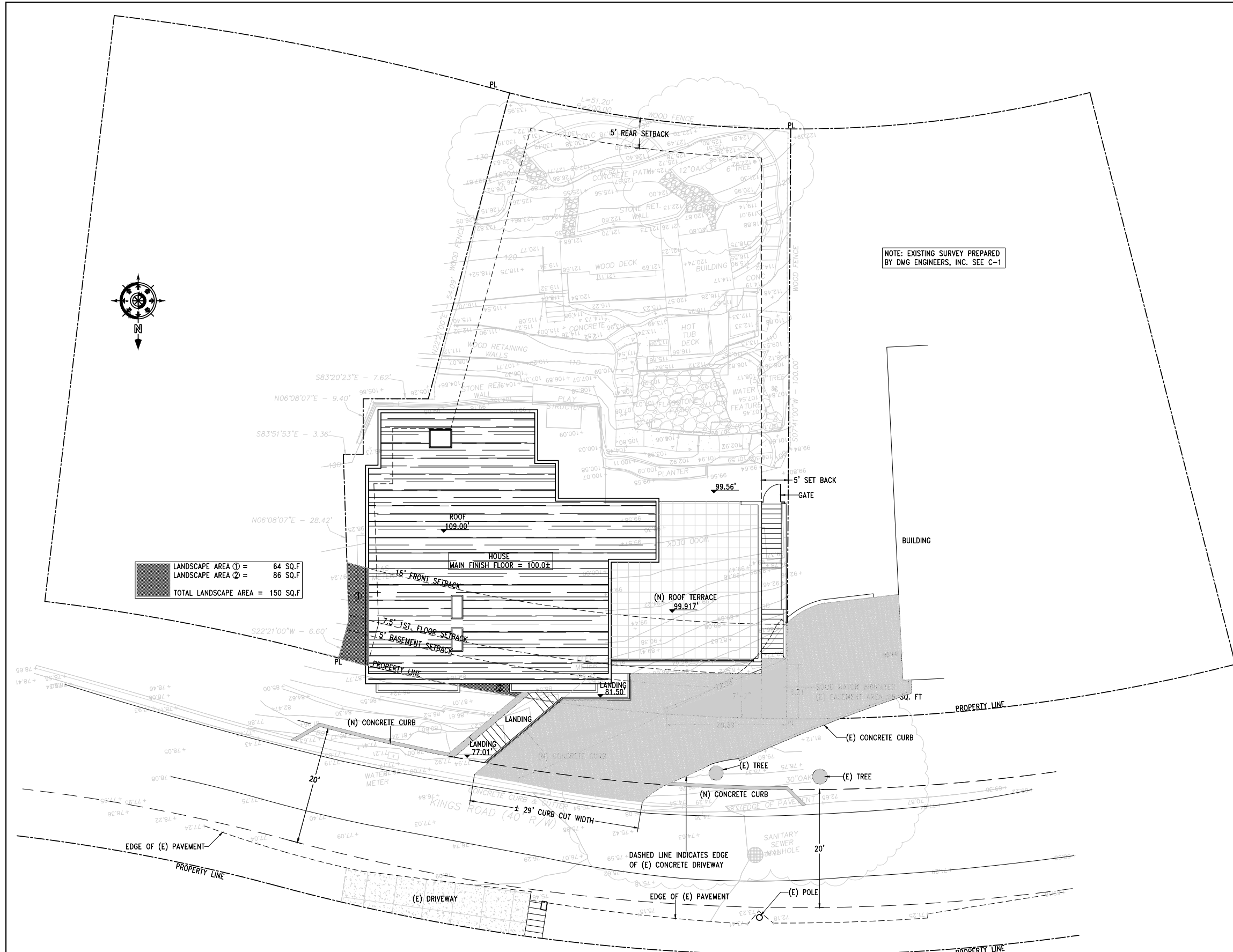


AZ DESIGN AND ENGINEERING, INC.
 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044
 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com
 NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE
 338 KINGS RD., BRISBANE, CALIFORNIA 94005
OWNER: JOHN HUANG



REVISION/DATE	
1. FILING SET	12/06/2019
SCALE:	DRAWN / REVIEWED
AS SHOWN	RD / AZ
DATE:	JOB NO:
NOV/2019	AM1120

A-0



4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN:
 SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN A CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

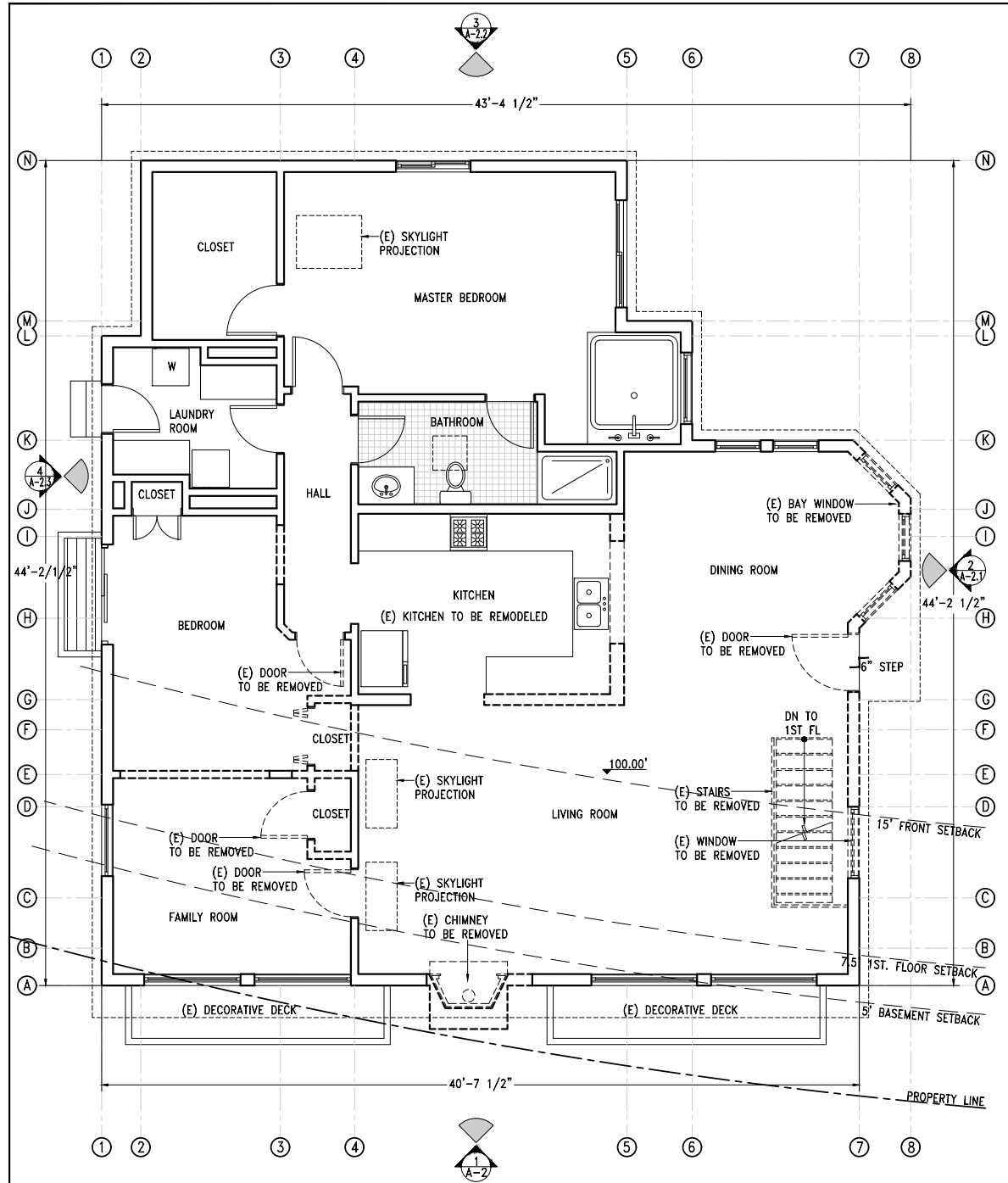
1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.



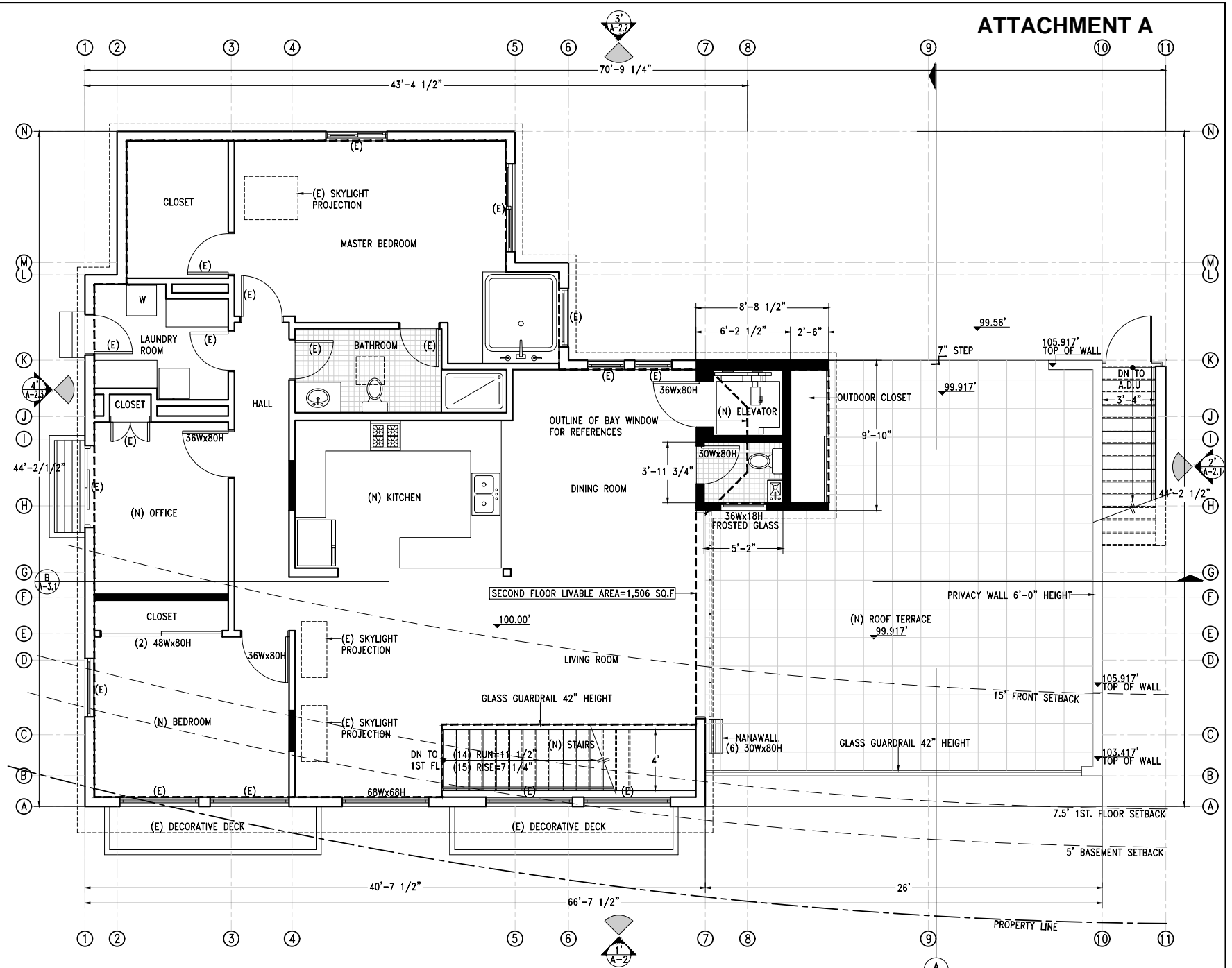
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	REVISION/DATE	<h1>A-0.1</h1>
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SCALE: AS SHOWN DATE: NOV/2019	DRAWN / REVIEWED RD / AZ JOB No: AM1120	



(E) SECOND FLOOR PLAN
1/4"=1'-0"



(N) SECOND FLOOR PLAN
1/4"=1'-0"

WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) WALL

4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN:
SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN A CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY.

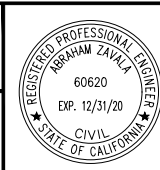
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5. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.

PER 2016 CALGREEN SECTION 301: THE MANDATORY PROVISIONS OF CHARTER 4 SHALL BE APPLIED TO ADDITIONS OR ALTERATIONS OF EXISTING RESIDENTIAL BUILDINGS. THE REQUIREMENTS SHALL APPLY ONLY TO AND/OR WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

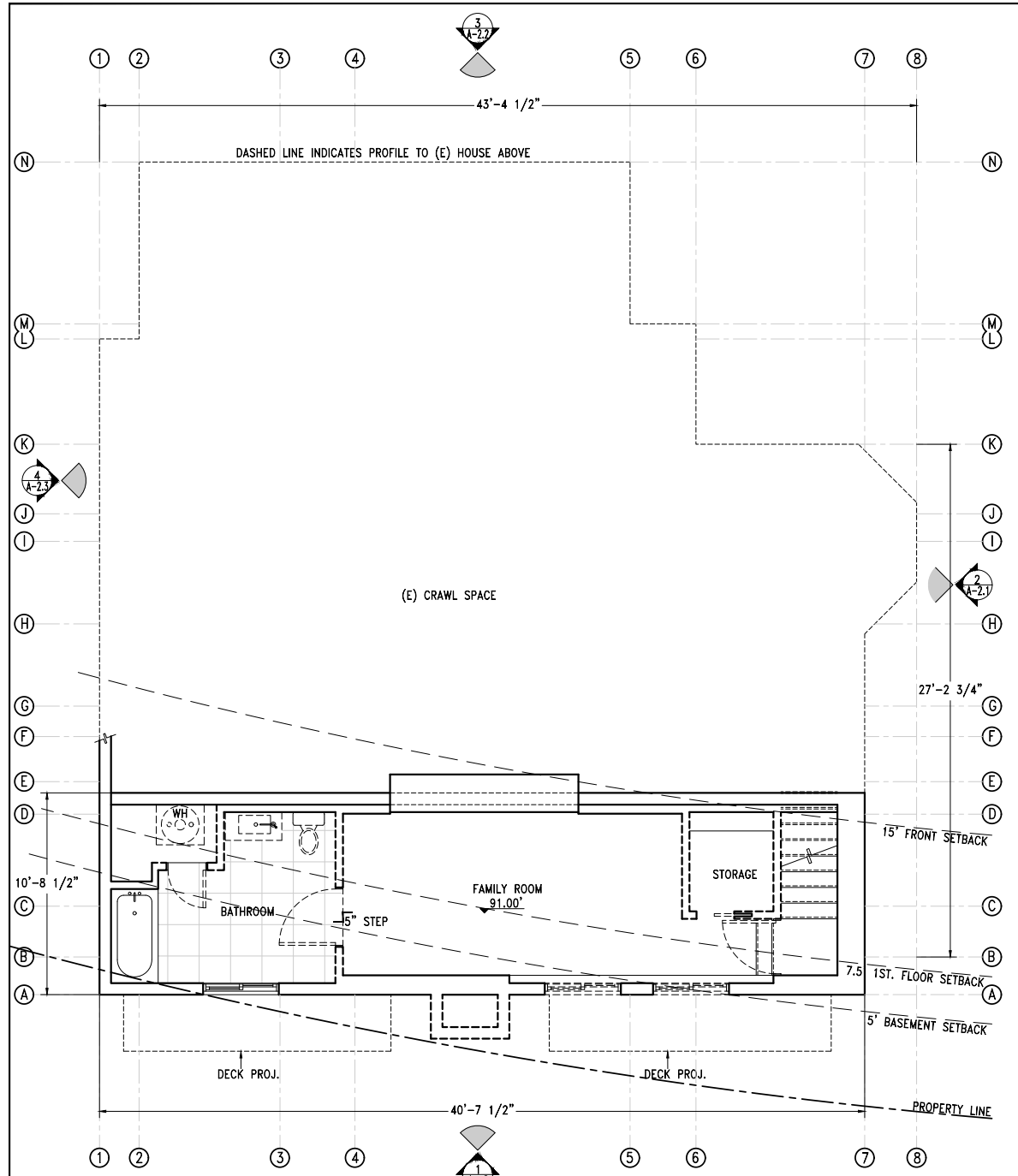
- * TO PROVIDE WATER CONSERVING PLUMBING FIXTURES AND FITTINGS PER CGBC 4.303 THESE INCLUDE MAXIMUM 1.28 GPF FOR WATER CLOSETS, MAXIMUM 2.0 GPM AT 80 PSI FOR SINGLE SHOWERHEADS, COMBINED FLOW RATE OF MULTIPLE SHOWERHEADS TO NOT EXCEED 2.0 GPM AT 80 PSI, MAXIMUM 1.2 GPM AT 60 PSI FOR LAVATORY FAUCETS, MAXIMUM 1.8 GPM AT 60 PSI AT KITCHEN FAUCETS.
- * DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- * SHOW COMPLIANCE WITH CALGREEN SECTION 4.506.1 FOR BATHROOMS EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1).
- * PROTECT ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHERS OPENINGS AT EXTERIOR WALLS AGAINST PASSAGE OF RODENTS (4.406.1).
- * COVER DUCTS OPENINGS AND OTHERS RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1).
- * ADHESIVES SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1).
- * PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2).
- * AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.
- * CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3).
- * MINIMUM 80 % OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL BE COMPLY WITH SECTION 4.504.4.
- * PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
- * INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2).
- * CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3).



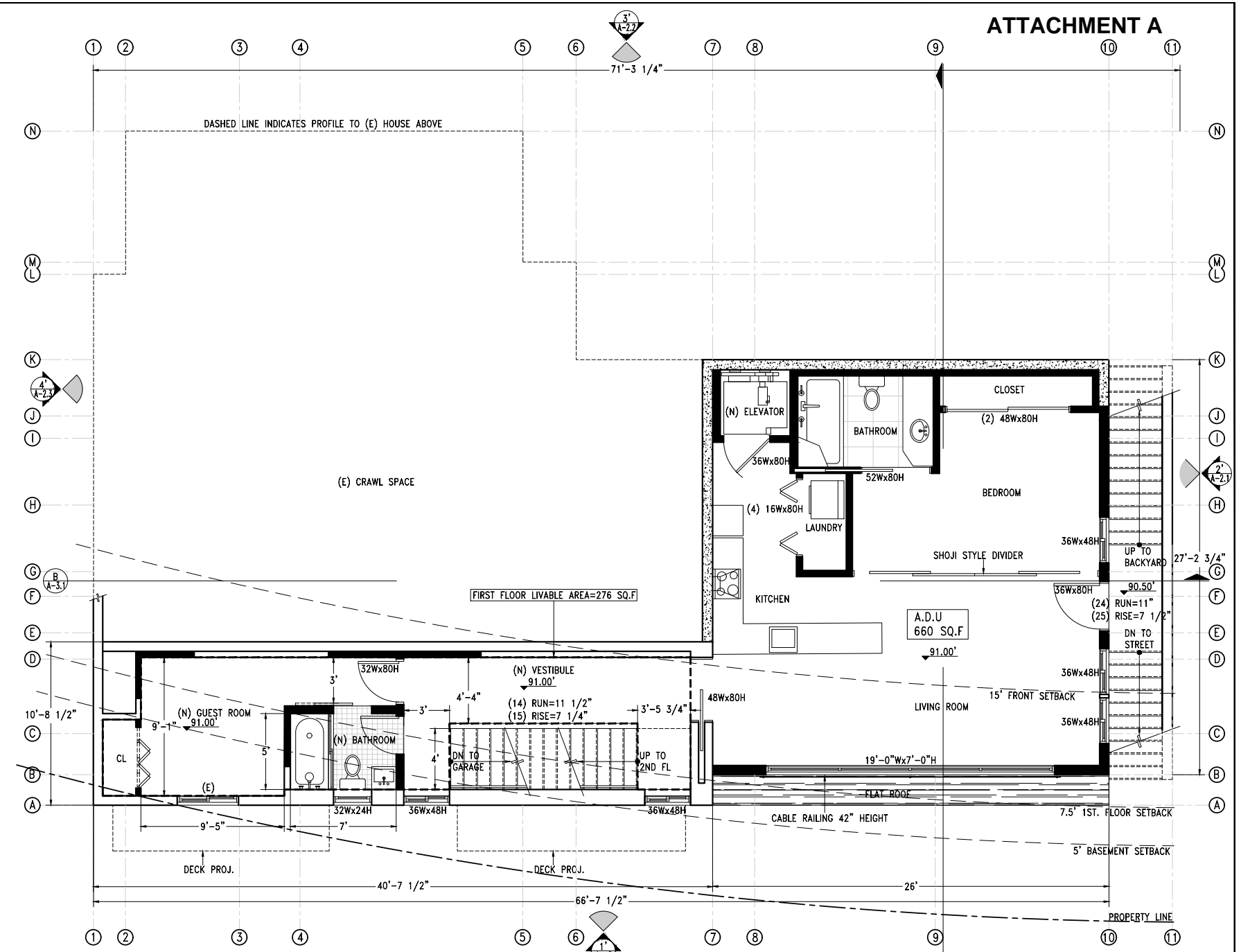
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DATE:	NOV/2019
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JOB No:	AM1120



(E) FIRST FLOOR PLAN
1/4"=1'-0"

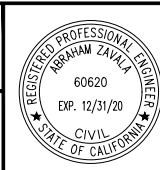


(N) FIRST FLOOR PLAN
1/4"=1'-0"

WALL LEGEND	
	(E) WALL TO REMAIN
	(E) WALL TO BE REMOVED
	(N) WALL
	(N) CONCRETE WALL

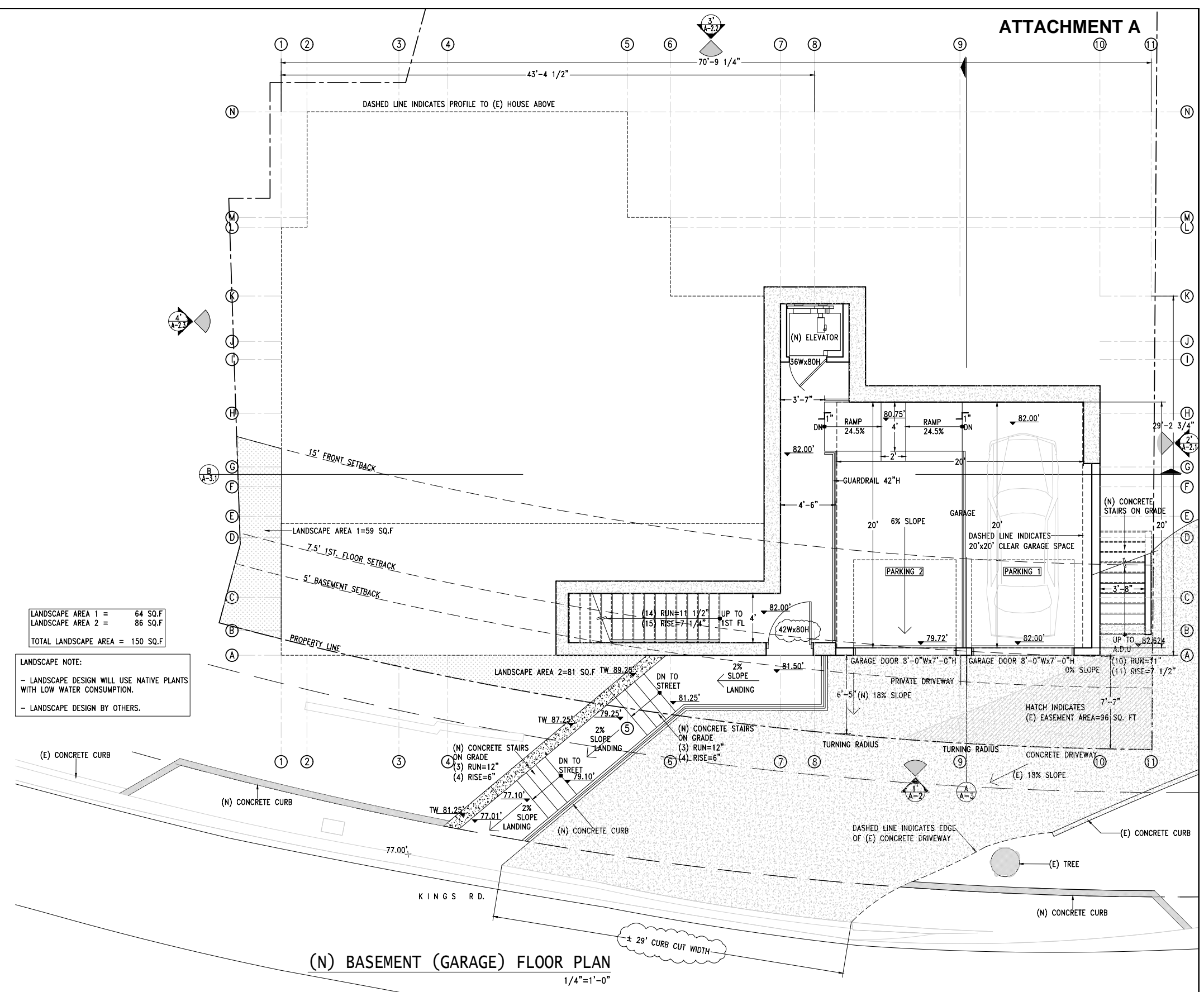


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A-1.1



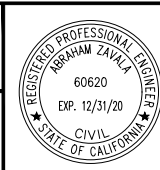
LANDSCAPE AREA 1 =	64 SQ.F
LANDSCAPE AREA 2 =	86 SQ.F
TOTAL LANDSCAPE AREA =	150 SQ.F

LANDSCAPE NOTE:
 - LANDSCAPE DESIGN WILL USE NATIVE PLANTS WITH LOW WATER CONSUMPTION.
 - LANDSCAPE DESIGN BY OTHERS.

(N) BASEMENT (GARAGE) FLOOR PLAN
 1/4"=1'-0"

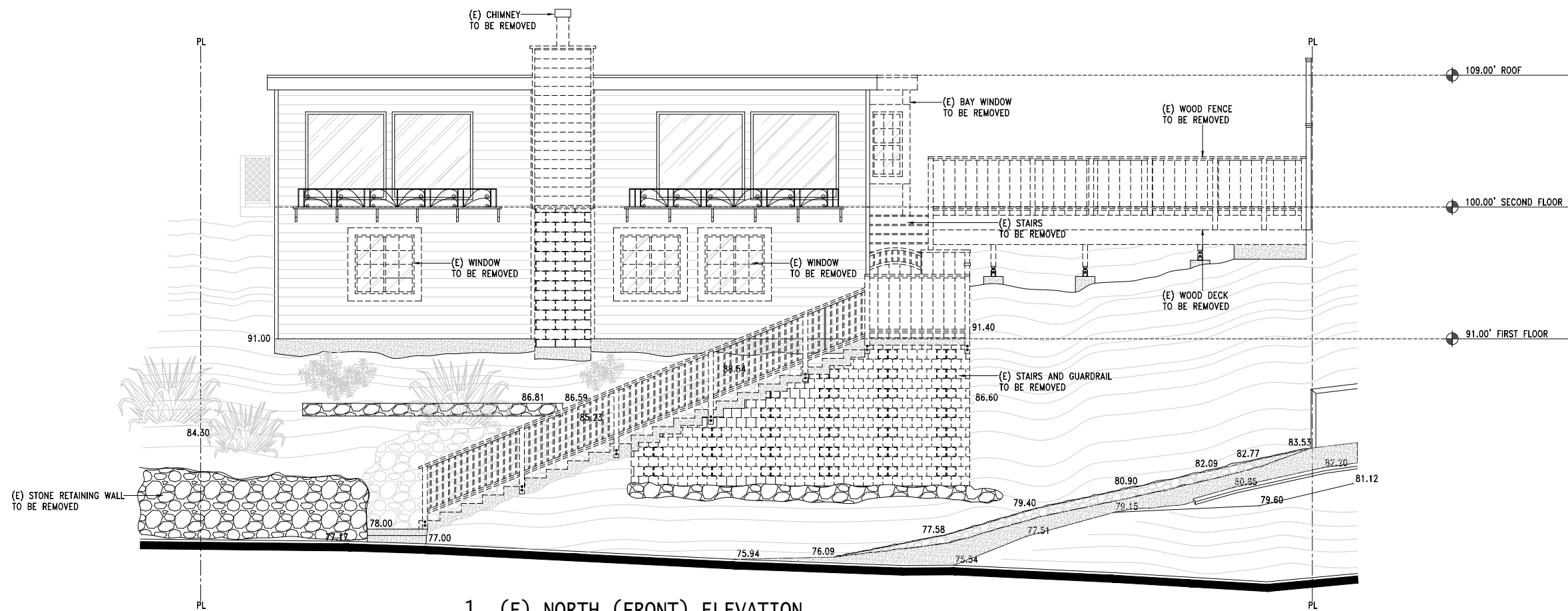


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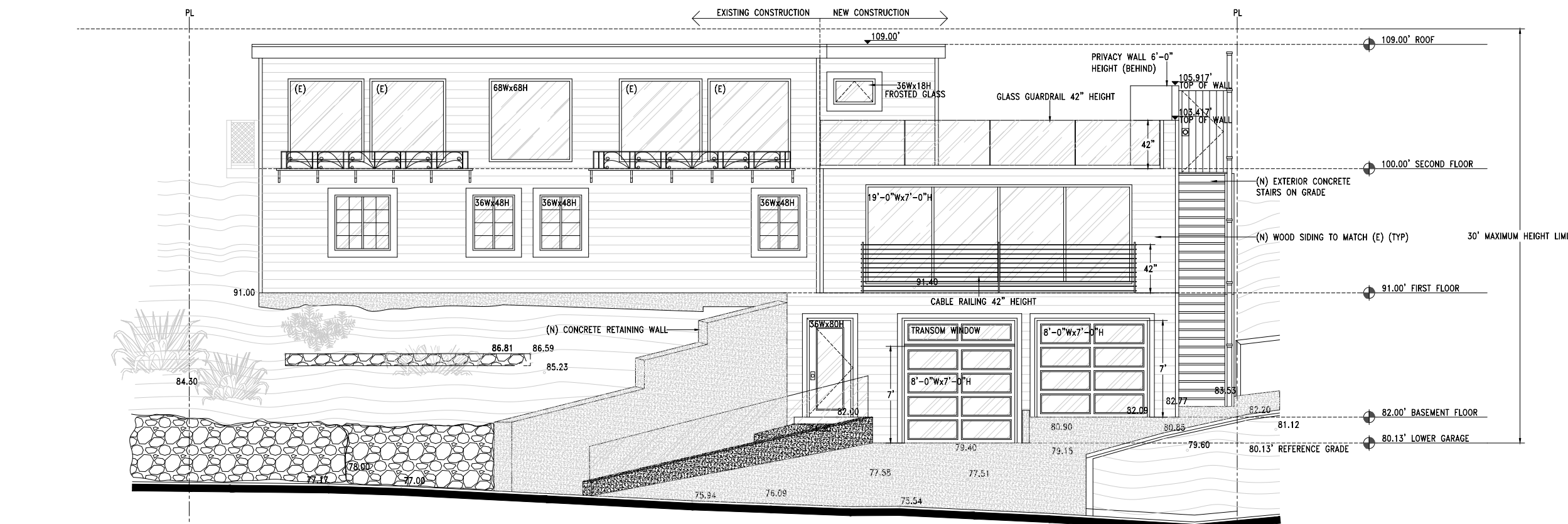
REVISION/DATE	
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A-1.2



1. (E) NORTH (FRONT) ELEVATION

1/4"=1'-0"



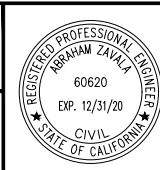
1'. (N) NORTH (FRONT) ELEVATION

1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING



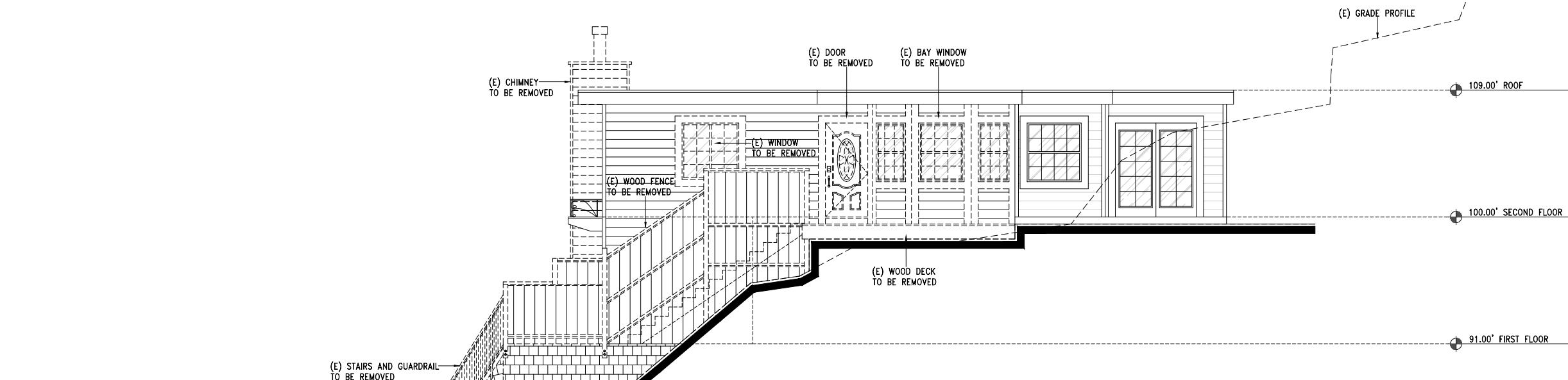
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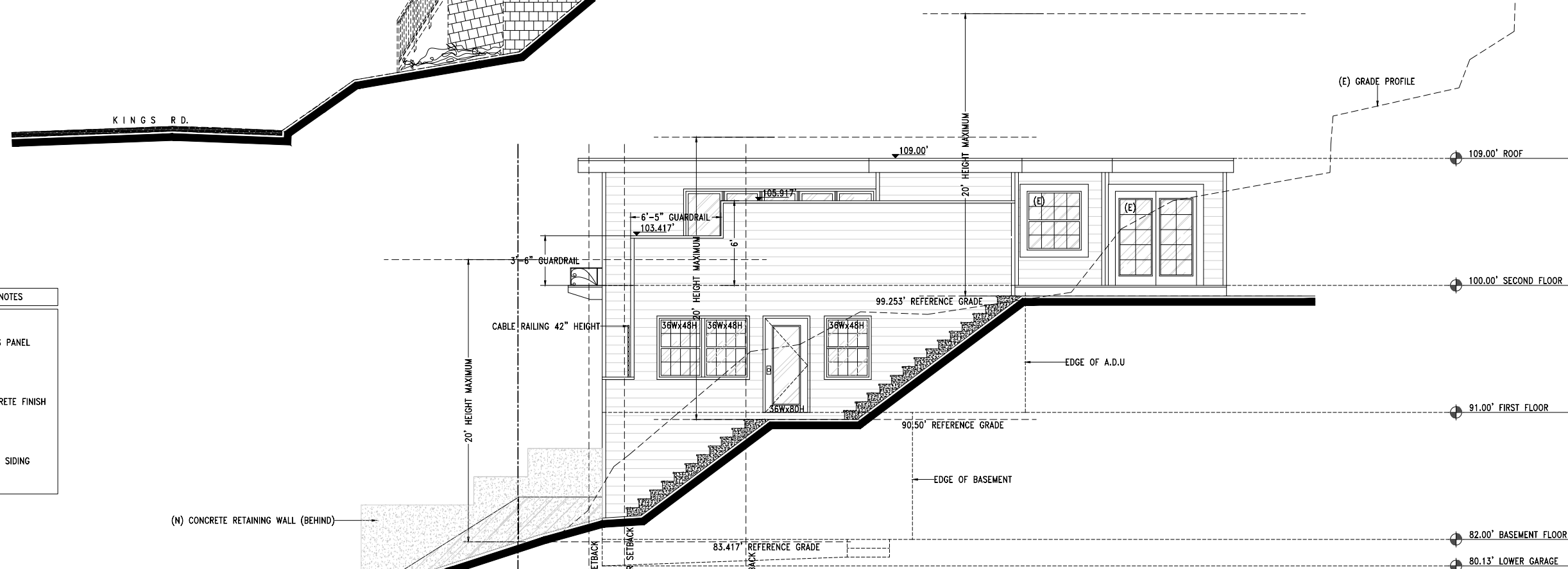
REVISION/DATE	
1. FILING SET	12/06/2019

A-2

SCALE: AS SHOWN	DRAWN / REVIEWED: RD / AZ
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2. (E) WEST (RIGHT) ELEVATION
1/4"=1'-0"



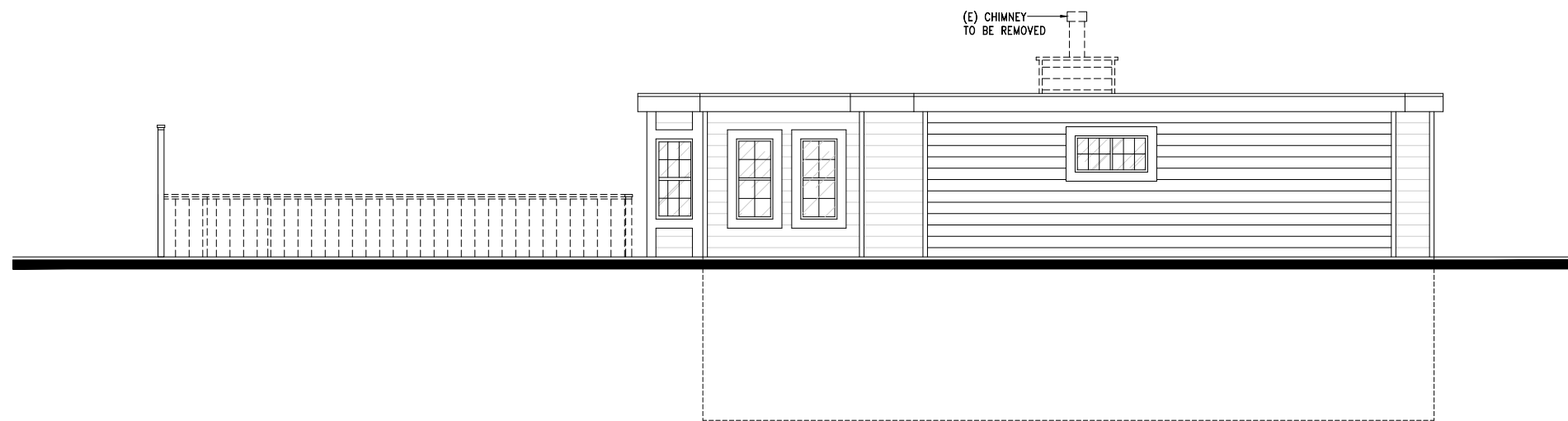
2'. (N) WEST (RIGHT) ELEVATION
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

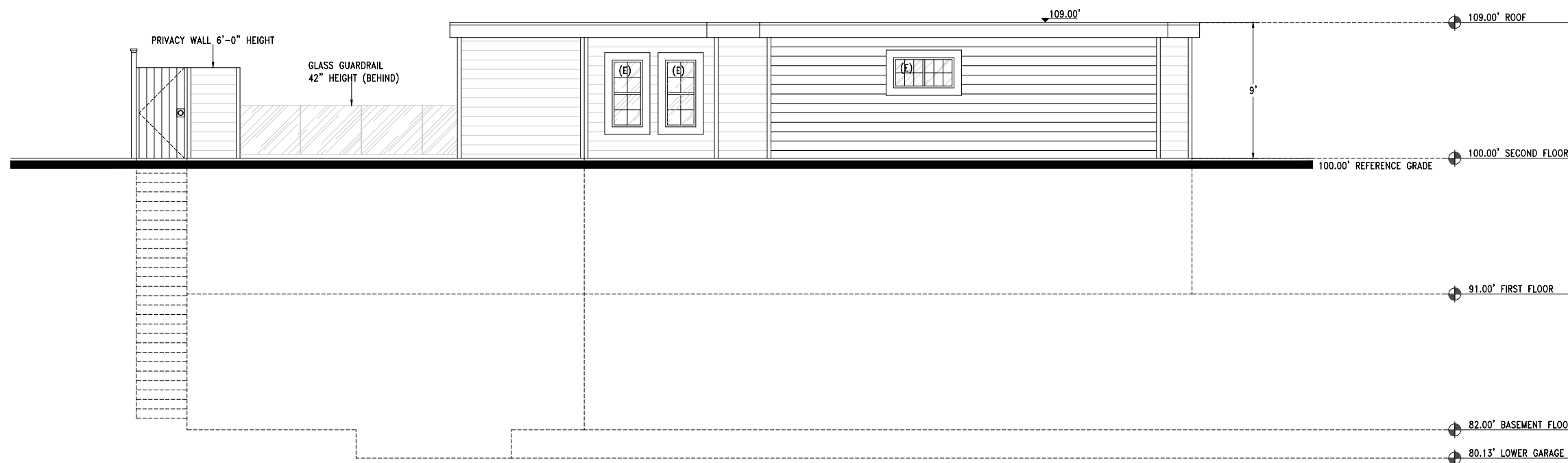


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SCALE: AS SHOWN DATE: NOV/2019	DRAWN / REVIEWED: RD / AZ JOB No: AM1120	



3. (E) SOUTH (REAR) ELEVATION
1/4"=1'-0"

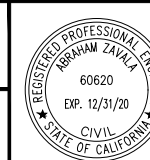


3'. (N) SOUTH (REAR) ELEVATION
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

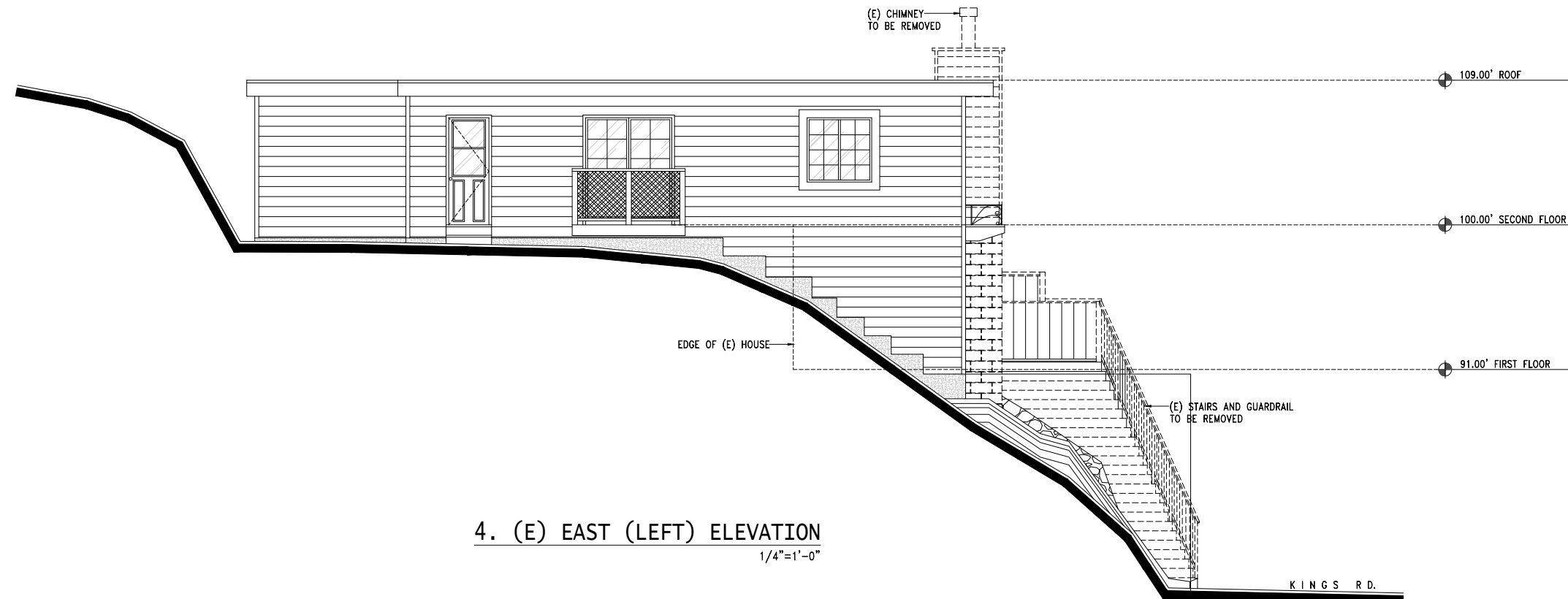


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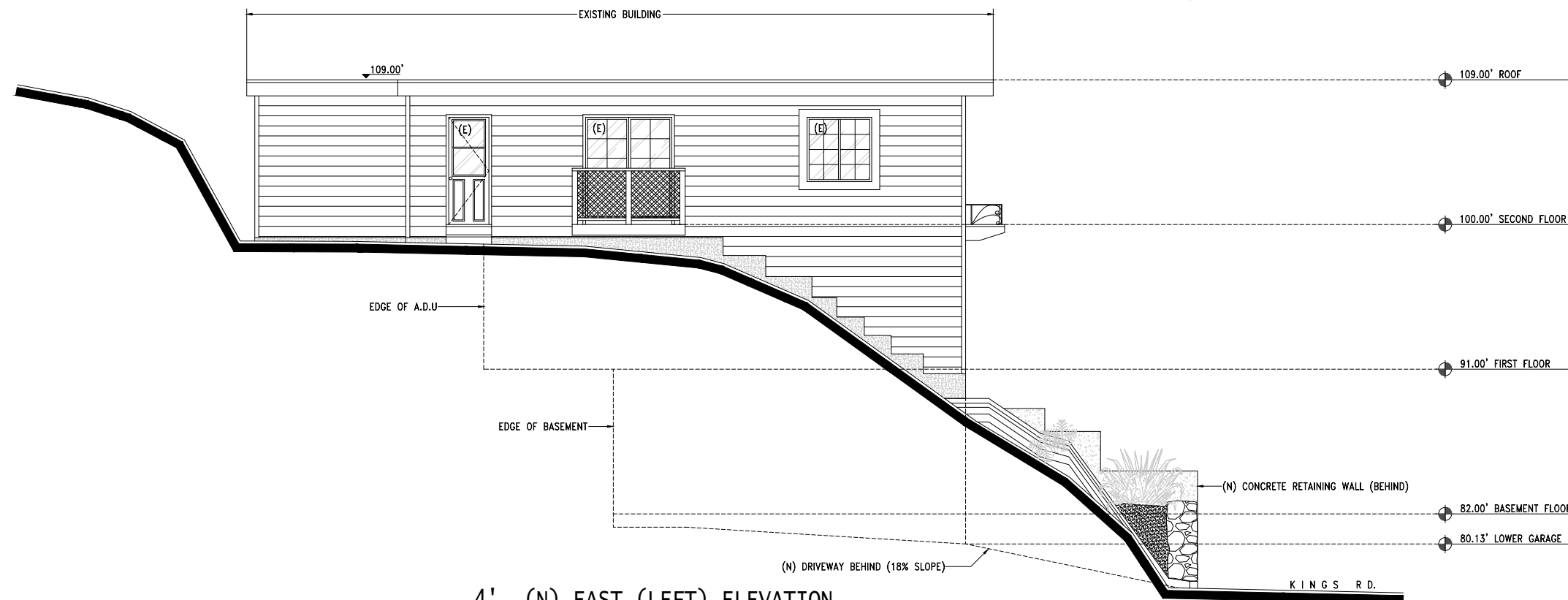


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A-2.2



4. (E) EAST (LEFT) ELEVATION
1/4"=1'-0"

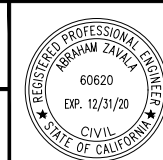


4'. (N) EAST (LEFT) ELEVATION
1/4"=1'-0"

MATERIAL KEYNOTES	
	GLASS PANEL
	CONCRETE FINISH
	WOOD SIDING

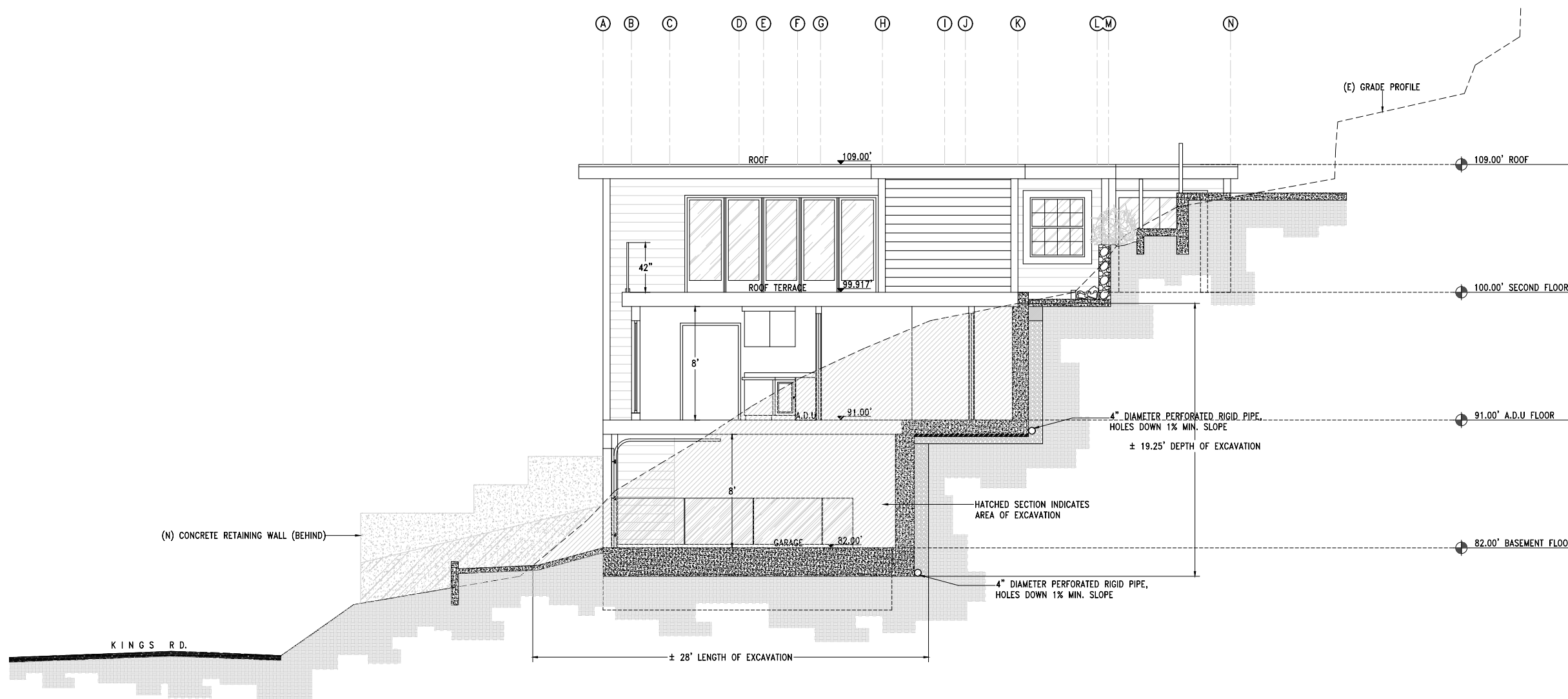


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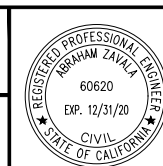
A-2.3



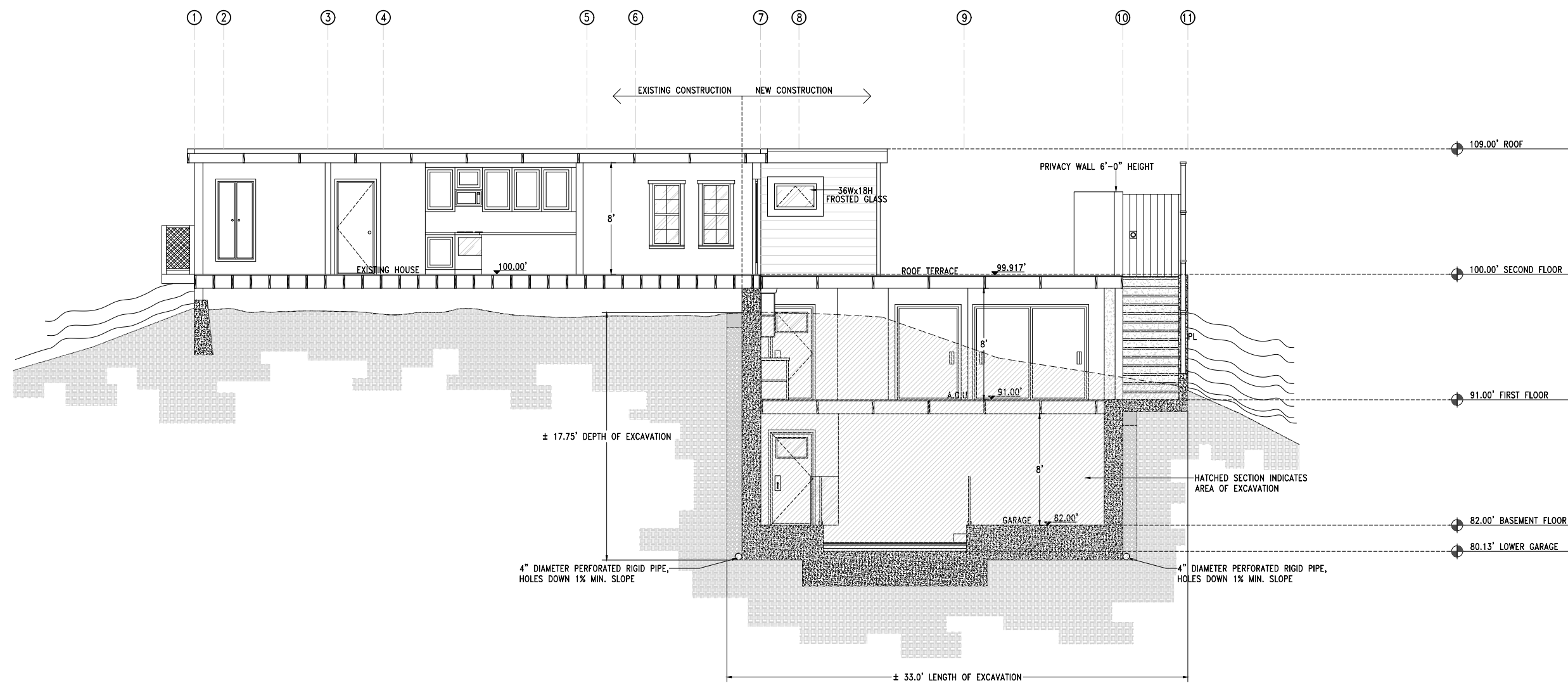
(N) SCHEMATIC LONGITUDINAL CROSS SECTION A
1/4"=1'-0"



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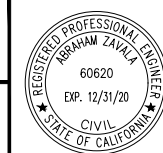
REVISION/DATE	
1. FILING SET	12/06/2019
SCALE: AS SHOWN	DRAWN / REVIEWED RD / AZ
DATE: NOV/2019	JOB No: AM1120



(N) SCHEMATIC TRANSVERSAL CROSS SECTION B
1/4"=1'-0"



AZ DESIGN AND ENGINEERING, INC.
 255 REICHLING AVENUE, PACIFICA, CALIFORNIA 94044
 Ph: (650) 553-4031 / Ph: (650) 553-4044 / azdesign@azdesignandengineering.com
 NEW GARAGE/UNIT/INTERIOR REMODEL OF EXISTING ONE
 338 KINGS RD., BRISBANE, CALIFORNIA 94005
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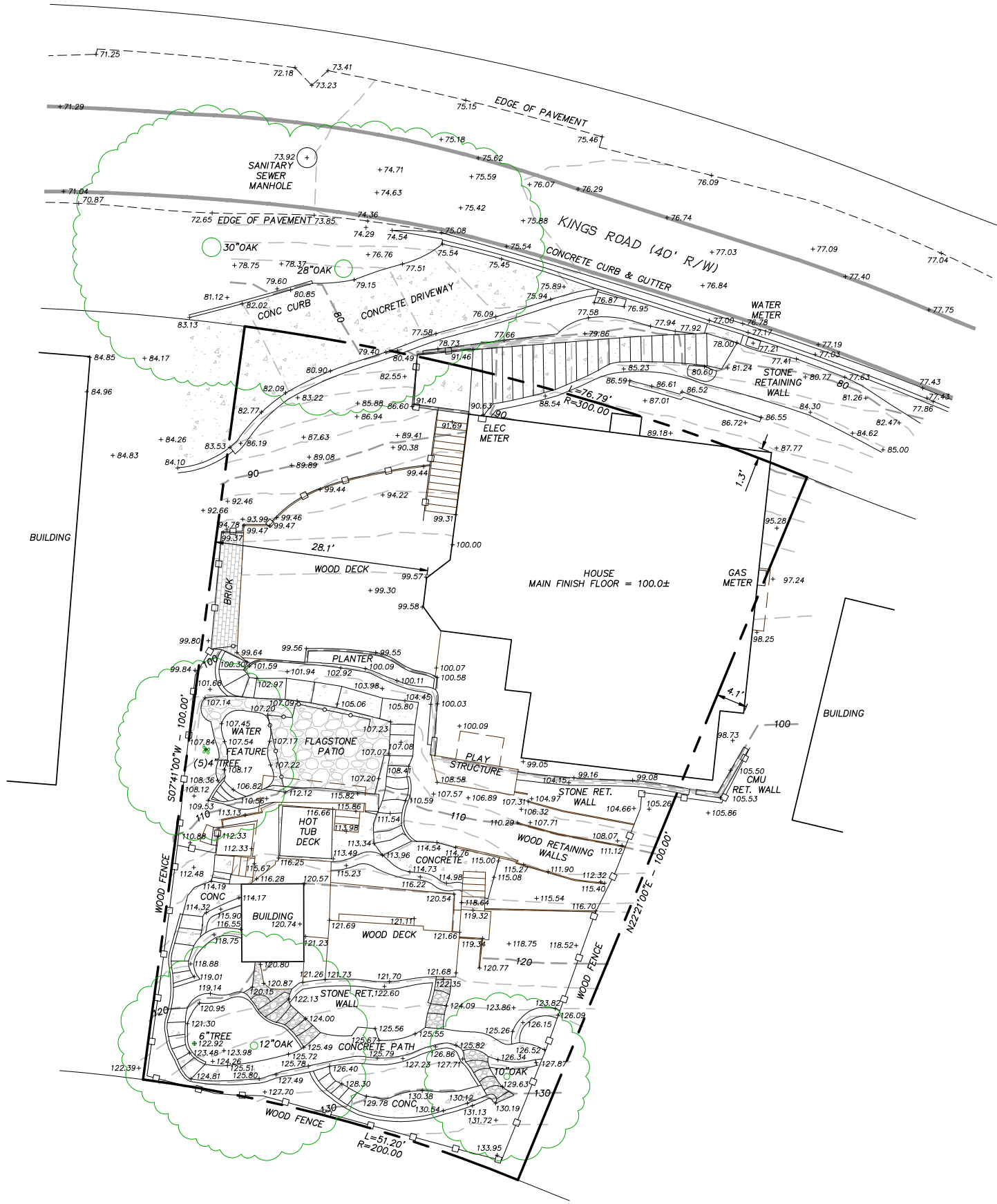
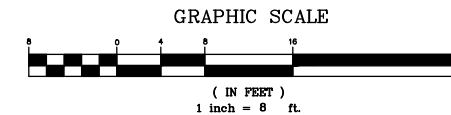
REVISION/DATE	
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A-3.1

TOPOGRAPHIC AND BOUNDARY SURVEY

338 KINGS ROAD
CITY OF BRISBANE

SAN MATEO COUNTY - CALIFORNIA
SCALE: 1 INCH = 8 FEET
MAY 2019



LOT AREA:
6,400± SQUARE FEET

ASSESSOR PARCEL NUMBER:
007-471-170

LEGAL DESCRIPTION
LOTS 33, 34, 35, BLOCK 51, AS SHOWN UPON THAT CERTAIN MAP ENTITLED "AMENDED MAP OF SUBDIVISION NO. 1, 2 AND 3 OF CITY OF VISITACION, CALIFORNIA", FILED FOR RECORD ON OCTOBER 4, 1908, IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY, STATE OF CALIFORNIA, IN VOLUME 6 OF MAPS AT PAGE 45.

- NOTES:**
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 - BASIS OF ELEVATION: ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM. MAIN FINISH FLOOR AT FRONT ENTRY = 100.0.
 - NO TITLE REPORT WAS FURNISHED IN THE COURSE OF THIS SURVEY, THEREFORE EASEMENTS, IF ANY, HAVE NOT BEEN SHOWN.
 - 2' CONTOUR INTERVAL.

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF:

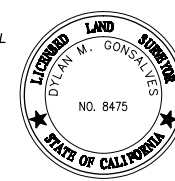
JOHN HUANG IN: MARCH 2019

I HEREBY STATE THAT THE TOPOGRAPHY AND BOUNDARIES SHOWN ON THIS MAP IS BASED UPON A SURVEY MADE BY ME, DYLAN M. GONSALVES, PLS 8475

ON MAY 8, 2019

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.

Dylan M. Gonsalves
DYLAN M. GONSALVES
DATE: 5-14-2019



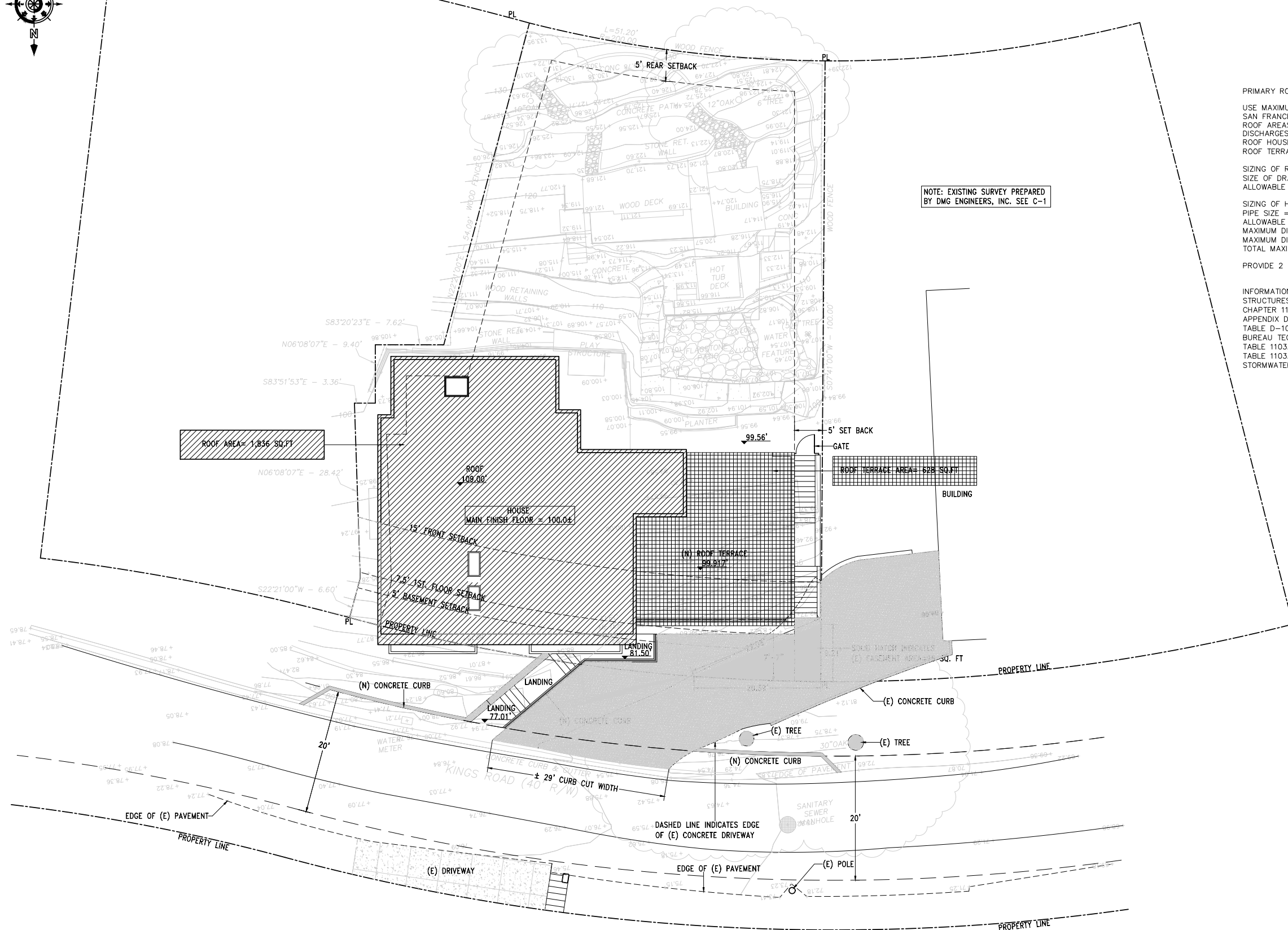
DMG ENGINEERING, Inc.
30 OAKVUE COURT
PLEASANT HILL, CA 94523
PHONE: (925) 787-0463
FAX: (925) 287-8503

DMG ENGINEERING, Inc.
RESTRICTED ENGINEERING DRAWINGS
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NO.	DATE	DESCRIPTION	BY

TOPOGRAPHIC AND BOUNDARY SURVEY
338 KINGS ROAD
CITY OF BRISBANE - CALIFORNIA
SCALE: 1 INCH = 8 FEET
MAY 2019

SHEET 1
OF 1 SHEETS
ORIG.DWG: 5-14-2019
REV.DWG:
JOB: 19-56



NOTE: EXISTING SURVEY PREPARED BY DMG ENGINEERS, INC. SEE C-1

PRIMARY ROOF DRAINAGE

USE MAXIMUM RATE OF RAINFALL OF 60 MINUTES, 100 YEAR RETURN, FROM TABLE D-101.1
 SAN FRANCISCO RATE - 1.5 INCHES/HR AND 0.016 GPM/SQUARE FOOT
 ROOF AREAS - ROOF HOUSE AREA = 1,836 SQF - ROOF TERRACE AREA = 628 SQF
 DISCHARGES BASED ON THE ROOF AREAS:
 ROOF HOUSE AREA = 1,836 SQF x 0.016 GPM/SQF = 30 GPM
 ROOF TERRACE = 628 SQF x 0.016 GPM/SQF = 10 GPM

SIZING OF ROOF DRAINS, LEADERS AND VERTICAL RAINWATER PIPING (TABLE 1103.1)
 SIZE OF DRAIN OR PIPE = 2" DIAMETER
 ALLOWABLE FLOW = 30 GPM

SIZING OF HORIZONTAL RAINWATER PIPING (TABLE 1101.7)
 PIPE SIZE = 3" DIAMETER FLOWING AT 1/4" SLOPE
 ALLOWABLE FLOW = 48 GPM
 MAXIMUM DISCHARGE FROM ROOF HOUSE = 30 GPM/2 = 15 GPM (PROVIDE 2 DRAINS PER SIDE)
 MAXIMUM DISCHARGE FROM ROOF TERRACE = 10 GPM/2 = 5 GPM (PROVIDE 1 DRAIN PER SIDE)
 TOTAL MAXIMUM DISCHARGE = 15 GPM + 5 GPM = 20 GPM << 48 GPM

PROVIDE 2 OVERFLOW DRAINS AT ROOF HOUSE AND TWO AT ROOF TERRACE (2" ABOVE ROOF LEVEL)

INFORMATION FROM ABOVE IS BASED ON CHAPTER 15 (CBC-2019 ROOF ASSEMBLIES AND ROOFTOP STRUCTURES), 1502 ROOF DRAINAGE.
 CHAPTER 11 (CPC OR CALIFORNIA PLUMBING CODE 2019),
 APPENDIX D (CPC-2019) SIZING STORM WATER DRAINAGE SYSTEMS
 TABLE D-101.1 (CPC-2019) MAXIMUM RATES OF RAINFALL FOR VARIOUS CITIES BASED ON U.S. WEATHER BUREAU TECHNICAL PAPER No.40, CHART 14: 100-YEAR 60-MINUTE RAINFALL (INCHES).
 TABLE 1103.1 (CPC-2019) SIZING ROOF DRAINS, LEADERS, AND VERTICAL RAINWATER PIPING.
 TABLE 1103.2 (CPC-2019) SIZING OF HORIZONTAL RAINWATER PIPING.
 STORMWATER REQUIREMENTS CHECKLIST FOR SMALL PROJECTS (CITY OF BRISBANE).

PRIMARY ROOF DRAINAGE PLAN
 1/8"=1'-0"



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