

# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission

For the Meeting of 9/16/2021

**SUBJECT:** **Grading Review 2021-EX-3; 296 San Benito Road;** R-1 Residential District; Grading Review for approximately 365 cubic yards of soil cut and export to accommodate a new 1,061 square foot single-family dwelling, with a 376 square foot accessory dwelling unit, and 548 square foot basement level garage, replacing the existing dwelling, on a 2,300 square-foot lot with a 11% slope; James Chow Trotter, applicant; Paul and Glenda Jimenez, owners.

**REQUEST:** Recommend the City Engineer issue the grading permit to allow demolition of the existing single-family home and construction of a new home, including an attached garage, and an attached accessory dwelling unit.

**RECOMMENDATION:** Conditionally approve Grading Permit 2021-EX-3, via adoption of Resolution 2021-EX-3 containing the findings and conditions of approval (Attachment E).

**ENVIRONMENTAL DETERMINATION:** The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Sections 15301(l) and 15303(a) - this proposal falls within a class of projects that consists demolition and removal and construction of a single-family residence. The exceptions to these categorical exemptions referenced in Section 15300.2 do not apply.

**APPLICABLE CODE SECTIONS:** Grading permit review by the Planning Commission is required for projects involving site grading of 250 CY of soil or more, or 50 CY of soil export per Brisbane Municipal Code (BMC) [§15.01.081\(A\)](#) and BMC [§17.32.220](#).

### **BACKGROUND:**

#### *Existing Conditions*

The 2,300 square-foot property is developed with an existing approximately 1,131 square-foot single-family dwelling, built in 1932, that has nonconforming parking, without a garage. The property has both a nonconforming width and depth, at 36.5 feet by 63 feet, where 50 feet by 100 feet is the current standard. The site is a corner lot and the public right-of-way for San Benito Road is 40 feet wide, the front of the lot, and Glen Park Way is 50 feet wide, and on both sides the lot is set back from the street improvements, as shown on the Topographic Survey Plan (included at the end of Attachment D).

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The lot has an approximately 11% upslope, as measured from the front to the rear lot lines. The front being the San Benito Road side. Note that this does not take into account the 3 foot retaining wall at the site frontage, since the wall is off site, within the public right-of-way.

The site contains one Olive tree.

### Project Description

The proposed project would replace the existing approximately 1,131 square foot home with a new two-bedroom 1,061 square-foot, two-story home, above a 548 square foot basement-level garage and basement level 376 square foot, studio accessory dwelling unit (ADU).

The proposed plan would accommodate 2 full size garage spaces, which meets the parking requirement. Additionally, the design would allow for two compact cars in tandem in the driveway, partially extending into the public right-of-way. Two existing street parking spaces on the Glen Park Way side would also remain. The driveway at the rear of the existing house, on the Glen Park Way side, would be removed and replaced with a new driveway at the front, on the San Benito Road side.

The applicant's plans also call for removal of the on-site Olive tree.

See the architectural drawings for further details on the project design (Attachment D)

The proposal complies with all applicable development standards. A table of key project data is provided as Attachment C.

The applicant's grading plan proposes excavation of 365 cubic yards of soil, to be exported from the site, to accommodate the driveway, garage and ADU.

## **ANALYSIS AND FINDINGS:**

### **Grading Permit Review**

In 2003, the Planning Commission adopted guidelines for reviewing grading permit applications that contain findings for permit approval as described below. With the suggested conditions of approval contained in the attached resolution (Attachment E), the application **would meet** these findings. The findings are shown in italics, as follows:

- *The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography.*

The design meets this finding.

The subject property features an approximately 11% upslope from the front to the rear of the property. As indicated by the applicant's conceptual grading plan and site plan, 365 cubic yards of

soil cut and export from the site is the minimum necessary to accommodate the new home in compliance with the parking requirements of BMC Chapter 17.34 and the development standards of the R-1 Residential District.

For lots of less than a 20 % slope, the building height limit is 28 feet, versus 30 feet for steeper lots. To keep the property within the height limit while allowing for garage parking and living space that are within the development regulations, excavation is needed. The driveway would be constructed within the cut area to meet with the roadway. Also, both the garage and ADU would be within the cut area to be partially below grade, so this modestly-sized house would be nestled into the lot and thereby meets the 28 foot height requirement. Interior room heights range from 8 feet 6 inches and 9 feet in the living spaces, to 10 feet 6 inches inside the garage. The grading cut would allow the garage to be entered at nearly the street level, which would make it more functional, versus a steep driveway approach.

Note also that the structure would be stepped up towards the rear, at the ADU level, to help reduce the amount of grading towards the back of the site.

- *The proposed grading is designed to avoid large exposed retaining walls.*

The design meets this finding. There are existing rock retaining walls along the property perimeter, with the highest segments being on the downslope side, along San Benito Road. These are approximately 3 feet in height. On the west side of the driveway, the wall would remain. On the east side, the wall would be reconstructed to approximately the same height, but moved back towards the house by approximately one foot. The wall would be up to 3 feet 6 inches in height along the new driveway edge. Both of the front walls are within the public right-of-way and are subject to City Engineer final approval through the subsequently required grading, building and encroachment permits. A short wall would also be constructed at the rear of the site to provide a level patio area. The wall would be approximately 1 to 2 feet in height and is shown with the fence atop it. Per the fence and wall regulations, the combined height of the fence and wall may not exceed 8 feet.

- *The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided.*

This finding does not apply. There are no existing street trees or protected species on site or in the right-of-way adjacent to the site. As an aside, while the Olive tree has been proposed for removal, the design would retain landscape areas for new planting, including the minimum 15 percent of the front setback area being landscaped. Staff will review the landscape plans as part of the building permit application.

- *The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).*

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This finding does not apply, as the subject property is not located within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan.

In closing, this grading review application has been reviewed by the City Engineer/Department of Public Works, Building Department and North County Fire Authority and there were no exceptions or comments. Redevelopment of the property will be subject to further review by all three departments through the building permit application, following this grading review. Additionally, the project will be subject to approval of a grading permit and encroachment permit by the City Engineer.

**ATTACHMENTS:**

- A. Site Location Map/Aerial
- B. Site Photos
- C. Key Project Data Table
- D. Architect's Plans
- E. Draft Resolution 2021-EX-3



Ken Johnson, Senior Planner



/ for

John Swiecki, Community Development Director

ATTACHMENT A

296 San Benito Road

Site Aerial Photo



# ATTACHMENT B

## 296 San Benito Road Property photos



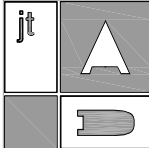
## ATTACHMENT C

### Key Project Data

Development Standard	Min/Max	Existing**	Proposed**	Notes
Lot Area	5,000	2,300	-	Recognized as conforming
Lot Slope	-	11%	-	
Lot Coverage*	40% (920 sq ft)	49%	40%	
Floor Area Ratio (FAR)*	0.72	0.49	0.61	Entire ADU and 200 sq ft of garage space are exempt from FAR calculation
Floor Area - SFR	-	1,131 sq ft	1,061 sq ft	
Floor Area - Garage	-	0 sq ft	548 sq ft	
Floor Area - ADU	1,000 sq ft	0 sq ft	376 sq ft	
Height	28 ft	Single story-height undetermined	28 ft	Height of 28 ft is listed for the highest building segment. The building height steps down to the front, to 21 ft 2 inches and less.
Parking	2 off street (at least 1 covered)	1 off street uncovered + on-street	2 off street covered+ 2 partially off-street+ on street	Proposed parking meets and exceeds the minimums. There are no maximum standards

\*Lot coverage and floor area ratio are calculated relative to the lot area of 2,300 sq ft. Maximum floor areas for Single Family Residence (SFR) and Garage are tied to the FAR maximum.

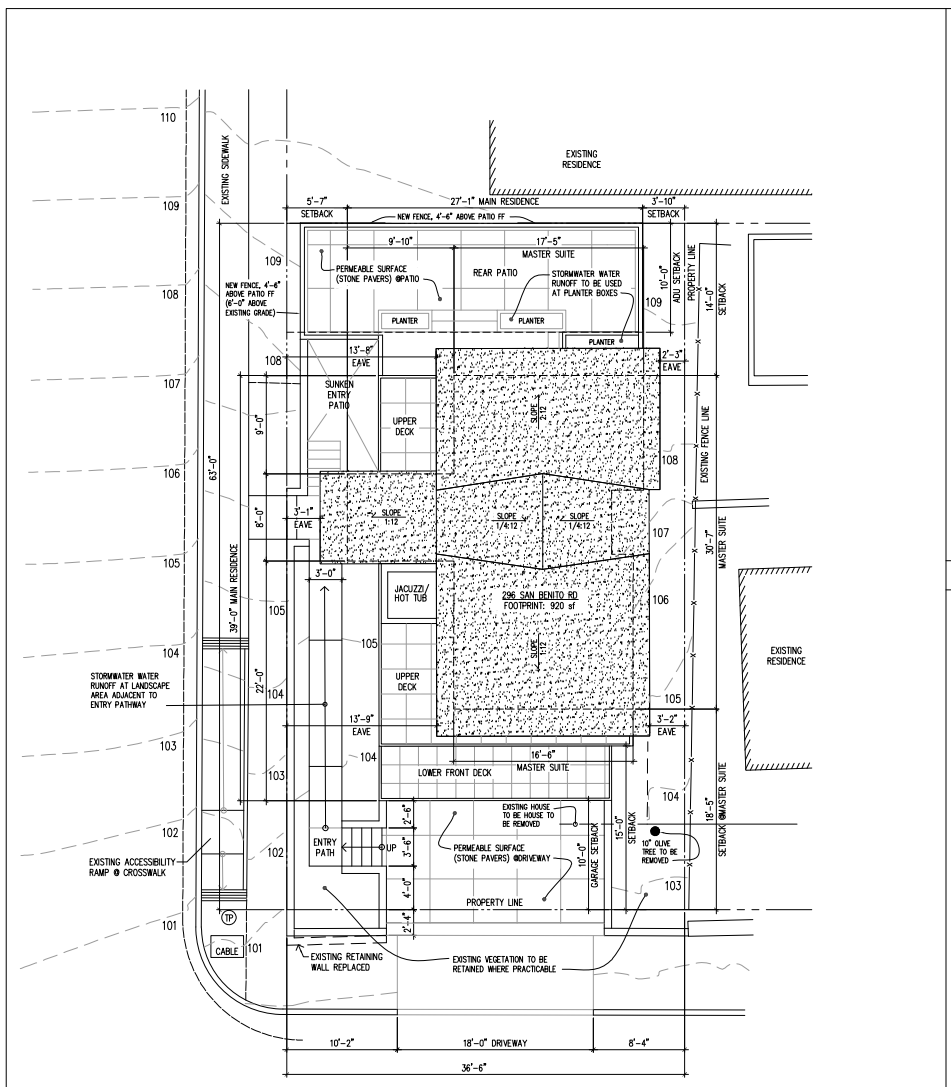
\*\*Existing development standards that are nonconforming are shown in red. Proposed development would result in conformance with all development standards, as shown in green.



All drawings and written material herein are the original and unaltered property of J.T. Architects, Inc. and are loaned to the recipient for their use only. All dimensions on these drawings shall take precedence over scale dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. No information included of any variations from the dimensions and conditions shown by these drawings. Shop drawings must be reviewed by the architect before proceeding with fabrication.



CONTRACT NO.



2 SITE PLAN w/ROOF EAVES

SCALE: 3/16"=1'-0"



PERSPECTIVE VIEWS  
NOT TO SCALE

### STORMWATER CHECKLIST Partial/Site Plan

City of Brisbane  
Stormwater Checklist for Small Projects  
City of Brisbane, Brisbane, CA 94005  
www.ci.brisbane.ca.us

Complete this form for projects that are not part of a larger project. It is for projects in the following areas: residential, commercial, public works, etc. It does not apply to projects that are part of a larger project. For more information, contact the City of Brisbane at (415) 329-3333.

A. Project Information

1. Project Name: JIMENEZ RESIDENCE  
2. Project Address: 296 SAN BENITO ROAD, BRISBANE, CA 94005  
3. Project Owner: JAMES CHOW TROVATI  
4. Project Designer: J.T. ARCHITECTS, INC.  
5. Project Date: 08/26/21

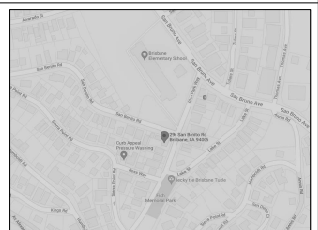
B. Select Applicable Site Impacts

1. Does the project area contain a 200 year or more flood zone?  Yes  No  
2. Is the project area located in a flood zone?  Yes  No  
3. Is the project area located in a flood zone?  Yes  No

C. Select Applicable Stormwater Management Practices

1. Permeable pavement:  Yes  No  
2. Stormwater infiltration:  Yes  No  
3. Stormwater detention:  Yes  No  
4. Stormwater treatment:  Yes  No  
5. Stormwater conveyance:  Yes  No

### VICINITY MAP



### DRAWING LIST (sample)

NO.	Description	Date
1	PRELIM PLANNING REVIEW	08/08/21
2	GRADING REVIEW (PLANNING)	07/29/21
3	GRADING REVIEW (REVISED)	08/26/21
4	ARCHITECTURAL	
5	MECHANICAL	
6	ELECTRICAL	
7	PLUMBING	
8	ENERGY	

### SUMMARY OF WORK

NEW SINGLE FAMILY RESIDENCE TO REPLACE THE EXISTING RESIDENCE WHICH WILL BE COMPLETELY REMOVED. NEW RESIDENCE TO BE THREE LEVELS WITH TWO STORES ABOVE A BASEMENT LEVEL THAT IS BELOW GRADE WITH THE GARAGE & ONE ACCESS PATH FOR THE MAIN RESIDENCE FACING SAN BENITO ROAD. AN ATTACHED ADU IS INCLUDED AT THE BACK OF THE PROPOSED TWO-CAR GARAGE WITH A SEPARATE ENTRY FACING GLEN PARK THAT IS ALSO BELOW EXISTING GRADE. REAR YARD CONSISTS OF DECK OVER PORTION OF THE ADU WITH REMAINING OPEN SPACE AT GRADE FOR THE REAR PATIO.

MAIN RESIDENCE IS A TWO-BEDROOM, TWO BATH UNIT WITH THE ATTACHED ADU INCLUDING A THIRD BATHROOM. THE ATTACHED ADU IS A STUDIO UNIT WITH LIGHT & VENTILATION PROVIDED FROM BOTH WEST & EAST SIDES OF THE PROPERTY. THE ADU HAS ITS OWN SMALL PATIO IN THE LOWER LIGHT WELL AND ENTRY COMING ON THE EAST SIDE OF THE PROPERTY FACING GLEN PARK.

THE OWNERS HAVE PROFESSIONAL REQUIREMENTS TO MAINTAIN & STORE A COMMERCIAL VAN IN THE GARAGE FOR THE HUSBANDS WORK (NO DESIGNATED HOME OFFICE). THE ADU PROVIDES THE OWNERS WITH AN OPTION FOR ADDITIONAL FINANCIAL INCOME WHILE GIVING A PLACE FOR GUESTS & FAMILY MEMBERS WHEN NOT BEING RENTED. THE PROPERTY IS ALSO A SUBSTANDARD LOT (<2500 SF) WITH THE LIMITED BUILDING FOOTPRINT MAKING AN EXCAVATION (600-50-2) YARDS UNAVAILABLE FOR A GARAGE & ADU UNDER A TWO-STORY RESIDENCE.

### PROJECT INFO & TABULATION

TABULATION	EXISTING	PROPOSED	PERMITTED/REQUIRED
UNITS, EXISTING SPACES & BEDROOMS			
CHILLING UNITS	1	2 (including ADU) 2 (including ADU)	
PARKING SPACES*	1	2 (COVERED)	2(1-CAR GARAGE)
[MAIN RESIDENCE FLOOR AREA (<2000 sq ft) EXCLUDED]=1409 sq ft (<1800 sq ft) BEDROOMS:	2	2	4
YARDS & HEIGHT			
FRONT YARD SETBACK:	n/a	15'-0" (RES) 15'-0" (RES) 10'-0" (GARAGE) 10'-0" (GARAGE)	
SIDE YARD SETBACK(E):	n/a	5'-7" 3'-7" (100')	
SEE YARD SETBACK(W):	n/a	3'-10" 3'-7" (100')	
REAR YARD SETBACK:	n/a	14'-0" 10'-0"	
BUILDING HEIGHT:	n/a	27'-11" 28'-0" (**SIDE, NW CORNER)	
AREAS			
ADU AREA:	2300 sf	n/a	
CROSS FLOOR AREA**:	n/a	n/a	1026 sf (0.72x3.00) [ENCLOSURE #1] & ADU AREA #1 EXCLUDED, MEASURED INSIDE FACE OF FINISH]
BUILDING FOOTPRINT:	n/a	920 sf	920 sf
LOT COVERAGE:	n/a	40.0%	40.0%
USEABLE OPEN SPACE:	n/a	476 sf	no req't (85 for ADU)

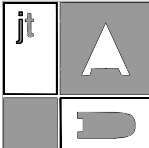
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JIMENEZ RESIDENCE (New Construction)  
296 San Benito Road  
Brisbane, CA 94005

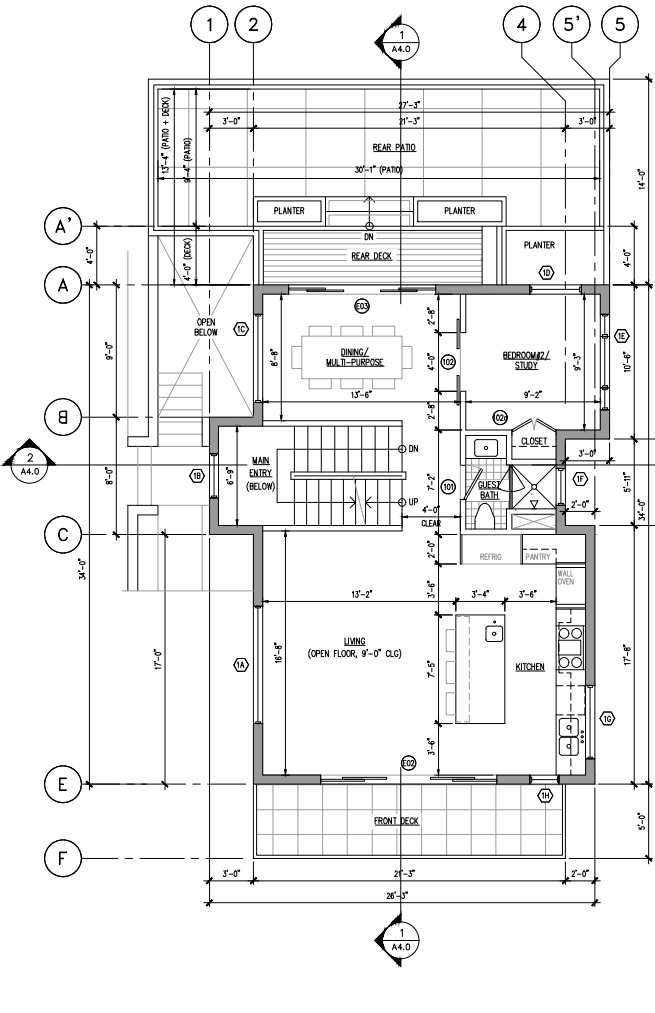
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DATE: 08-03-21

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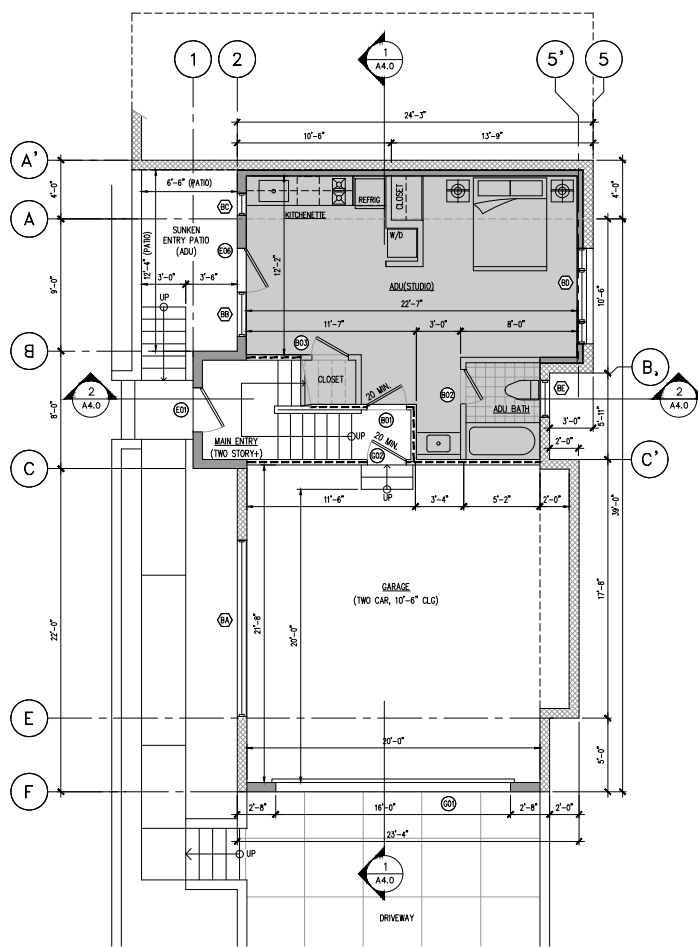




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**2 MAIN FLOOR PLAN (1ST FLOOR)**  
 FLOOR AREA: 638 sf SCALE: 1/4"=1'-0"



**1 GARAGE FLOOR PLAN (BASEMENT)**  
 FLOOR AREA(NSIDE DIM): 909 sf (GARAGE 466 sf) SCALE: 1/4"=1'-0"

**UNIT PLAN CODE COMPLIANCE KEY NOTES** NOTE: FOR TYPICAL LIGHTING & POWER LOCATIONS W/CODE COMPLIANCE NOTES, SEE SHEET A2.4

- (1) SAFETY (TEMPERED) GLAZING AT: (1) TUBS, SHOWERS & COMBO ENCLOSURES, HINGED ORS OPEN OUTWARD (2) ADJACENT TO & WITHIN 24" OF OTHER EDGE OF DOORS (3) ADJACENT TO & WITHIN 18" OF A WALKING SURFACE
- (2) CEMENT, FIBER-CEMENT OR GLASS MAT REINFORCED BOARD BACKERS IN COMPLIANCE WITH ASTM C1063 OR C1064 UNDER NEW SHOWERS, ENCLOSURE MATERIALS, OR TILE, A MIN 1/2" HEIGHT ABOVE DRAIN INLET. TO BE INSTALLED IN ACCORD W/MANUF. GUIDELINES. SUBSTITUTE 1/4" DIAMONDBACK TILE BACKER TYPE 2 OF SM 88-RR TRIO WALL LOCATIONS. PROVIDE SHOWERS AND TUB-SHOWER COMBINATIONS WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.
- (3) TOILET: MAX 120 GAL PER FLUSH; SHOWER HEAD: MAX 1.8 GPM; LAUNDRY FACETS: 1.5 GPM; KITCHEN FACETS: MAX 1.8 GPM; TOILET SEAT HEIGHT: MIN 15" ABOVE FLOOR FINISH; FLUSH CONTROL LOCATED MAX 44" ABOVE FLOOR FINISH REQUIRING MAX 5 LB FORCE.
- (4) NO DISHwashing MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINING SYSTEM WITHOUT THE USE OF AN APPROVED AIRGAP FITTING ON THE DISCHARGE SIDE OF THE DISHwashing MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF 2" AW OR DRINKING.
- (5) KITCHEN & BATHROOM SINK FAUCETS CONTROLS & OPERATING MECHANISMS TO BE OPERABLE WITH ONE HAND, NOT REQUIRE TIGHT GRIPPING, PINCHING OR TWISTING OF THE WRIST. FORCE REQUIRED TO ACTIVATE CONTROLS NOT GREATER THAN 5 LBS, CIBC 1133A.1.1-3.
- (6) DRYER EXHAUST DUCT SHALL NOT EXCEED 14 FT IN LENGTH. EXHAUST DUCTS SHALL BE A MIN 4" DIAMETER & SHALL TERMINATE AT LEAST 3 FT FROM ANY OPENINGS INTO BLDG. CIBC 504.3.1.2 & 504.3 ALSO SEE MECH PLAN SHEETS M2.1 & M2.2.
- (7) STORAGE UNDER STAIRS MUST BE PROVIDED WITH 1/2" TYPE 'X' GIP. BD. UNDER STAIRS (TYP), CIBC 101.1.7.3.
- (8) HANDRAIL SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY & STAIRWAY WIDTH SHALL NOT BE LESS THAN 36" CLEAR ABOVE THE PERMITTED HANDRAIL HEIGHT, CIBC 1014.4.
- (9) RISE & RUN OF STAIRS (MAX 7 1/2" RISE, MIN 10" RUN), CIBC 1011.5.2 Exception 1; SEE SHEETS A2.0.1 FOR EACH UNIT STAIRCASE SPECIFIED RISE & RUN.
- (10) GUARDRAILS ASSEMBLIES & GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, CIBC 1607A.8.1.1.
- (11) STAIR DETAILS TO CONFORM TO THE FOLLOWING: A. 1 1/4"-1 1/2" DIAMETER HANDRAIL MOUNTED 34 TO 38" ABOVE THE TREAD NOSING, REQUIRED AT ALL STAIRS WITH 4 OR MORE RISERS, CIBC 1014.1.1.1(a) D. & 1014.2. B. GUARDS AT LANDINGS & LEVEL WALKING SURFACES SHALL NOT ALLOW A 4 1/2" SPHERE TO PASS THRU, CIBC 1015.4 Exception 1. C. GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT ALLOW A 4 1/2" SPHERE TO PASS THROUGH EXCEPT TRIANGULAR OPENINGS FORMED BY THE RISERS, TREADS AND BOTTOM RAIL OF A GUARD, WHERE A 4" SPHERE SHALL NOT PASS THROUGH, CIBC 1015.4 Exception 2&6. D. HEADROOM MIN. 6'-8" ABOVE STAIR TREADS, CIBC 1015.1.
- (12) GUARDRAILS OR RAILING RIGID AT WALKING SURFACE 300" ABOVE GRADE, RAIL HT. SHALL BE MIN. 42" HIGH, WHERE GUARDRAILS ARE PROVIDED TO THE SIDE OF STAIR TREADS, GUARDRAIL SHALL BE BETWEEN 34"-38" ABOVE LINE CONNECTING LEADING EDGES OF TREADS, CIBC 1015.1.
- (13) GLASS WINDOW/DOOR (5' 30. FT. MIN. 20" WIDE BY 24" HIGH, MINIMUM CLEARANCE 44" TO FINISHED SILL, OPENING OR EXIT DOOR, CIBC 1002.2-3).
- (14) PRESSURE TREATED WOOD TO BE USED FOR WOOD IN CONTACT W/EARTH OR IN CONTACT W/CONCRETE OR MASONRY, CIBC 2304.12.1. MIN. 1 1/4" SLOPE FOR WEATHER EXPOSED LANDINGS, BALCONIES AND ROOF DECKS SEALED UNDECKED, CIBC 1015.15.
- (15) PROVIDE 30" DEEP LANDING OUTSIDE ALL EXT. DOORS (NOT MORE THAN 7" LOWER THAN FINISHED FLOOR W/MAX 0.25" THRESHOLD FOR SLIDING DOORS & NOT MORE THAN 7.25" LOWER THAN FINISHED FLOOR W/MAX 0.5" THRESHOLD FOR OTHER DOORS), CIBC 1010.1.6 Exc 1.
- (16) A. TANKLESS WATER HEATER TO BE INSTALLED W/MANUFACTURER SPECIFICATIONS & MINIMUM CLEARANCES. B. SECURE ANCHORAGE OF WATER HEATER TO HOLD 3 ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE THIRD; THE LOWER ANCHOR/STRAP LOCATED TO MAINTAIN A MIN. DISTANCE OF 4" ABOVE THE CONTROLS. C. PROVIDE 24" MIN WIDE DOOR TO WATER HEATER COMPARTMENT; MIN 30" 30" WIDTH SPACE IN FRONT OF COMPARTMENT.
- (17) FIREPLACES: GAS UNIT W/DIRECT VENT, MANUFACTURER REGENCY, MODEL 65BX2C-WG10 OR SIM.
- (18) FAU/FAN COIL: (1) PASSAGEWAY SHALL BE UNOBSTRUCTED & HAVE SOLID FLOORING MIN 24" WIDE FROM ACCESS TO APPLIANCE (2) LEVEL PLATFORM OR GRADE SURFACE MIN 30" 30" IN FRONT OF SERVICE SIDE OF APPLIANCE & (3) EXHHAUST 120 VOLT RECEPTACLE OUTLET & LIGHTING FIXTURE INSTALLED NEAR THE APPLIANCE. SEE MEP DRAWINGS FOR LOCATIONS & DUCTING, SHEETS M2.1 & M2.2.
- (19) MINIMUM CLEARANCE OF 48" PROVIDED BETWEEN OPPOSING COUNTERS AND AT LEAST 36" MIN CLEAR FLOOR SPACE ALLOWED FOR APPLIANCES, CIBC 1133A.2.
- (20) STONE, CULTURED STONE OR SIM RECYCLED STONE MATERIALS TO BE USED AT KITCHEN COUNTERS IN LEU OF REPOSITIONING REQUIREMENTS FOR ACCESSIBILITY, CIBC 1133A.4.1 Exception 1.
- (21) TWO 15" WIDE MIN BREAKERS (MAX 34" ABOVE FINISH FLOOR) TO BE PROVIDED IN LEU OF 30" COUNTERTOP WORK SURFACE, CIBC 1133A.1.1 Exception 2.
- (22) ALL LAUNDRY FACILITIES TO PROVIDE FRONT-LOADING TYPE WASHER & DRYER; FOR ACCESSIBILITY, FRONT-LOADING APPLIANCES TO BE CERTIFIED ADA-COMPLIANT, CIBC 1133A.1.1.

- (1) WALL TYPE A: GARAGE WALL (1-WR), SINGLE WOOD STUDS (2x4) 16" O.C.; SEE DET. 1/AS.0.
- (2) WALL TYPE B: REINFORCED CONCRETE, 8-10" THICKNESS; FUNCTIONS AS RETAINING WALL BELOW GRADE; SEE DET. 3/AS.0.
- (3) WALL TYPE C: EXTERIOR WALL, SINGLE WOOD STUDS (2x4) 16" O.C.; SEE DET. 4/AS.0.
- (4) WALL TYPE D: INTERIOR WALL, SINGLE WOOD STUDS (2x4) 16" O.C.; SEE DET. 4/AS.0.
- (5) WINDOW TAG: 2-FLOOR/LEVEL 4-UNIT(N) SEQUENCE
- (6) DOOR TAG: 1-FLOOR/TYPE 01-UNIT(N) SEQUENCE

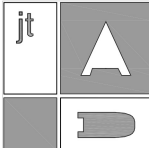


REVISIONS	Description	Date
1	PRELIM PLANNING REVIEW	06/08/21
2	GRADING REVIEW (PLANNING)	07/29/21
3	GRADING REVIEW (REV)	08/08/21

**JHENEZ RESIDENCE (New Construction)**  
 296 San Berns Road  
 Brisbane, CA 94005

**BASEMENT & FIRST FLOOR PLANS**

PROJECT NO: 2021004  
 DRAWN BY: JCT  
 SCALE: 1/4"=1'-0"  
 INT. DATE: 06-03-21



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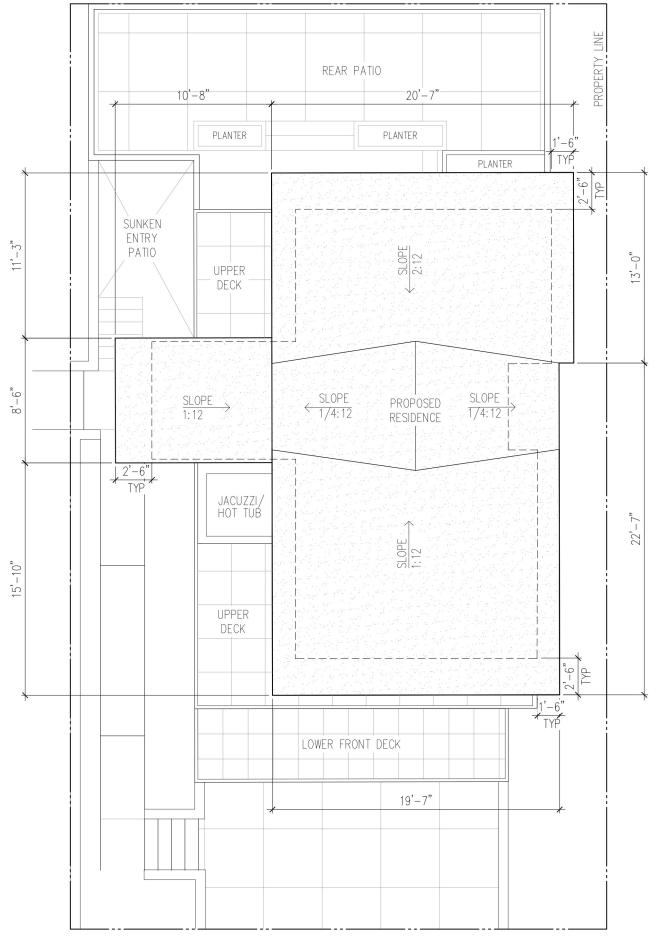
COMMENTS

No.	Description	Date
1	PRELIM PLANNING REVIEW	06/08/21
2	GRADING REVIEW (PLANNING)	07/29/21
3	GRADING REVIEW REVISION	08/26/21
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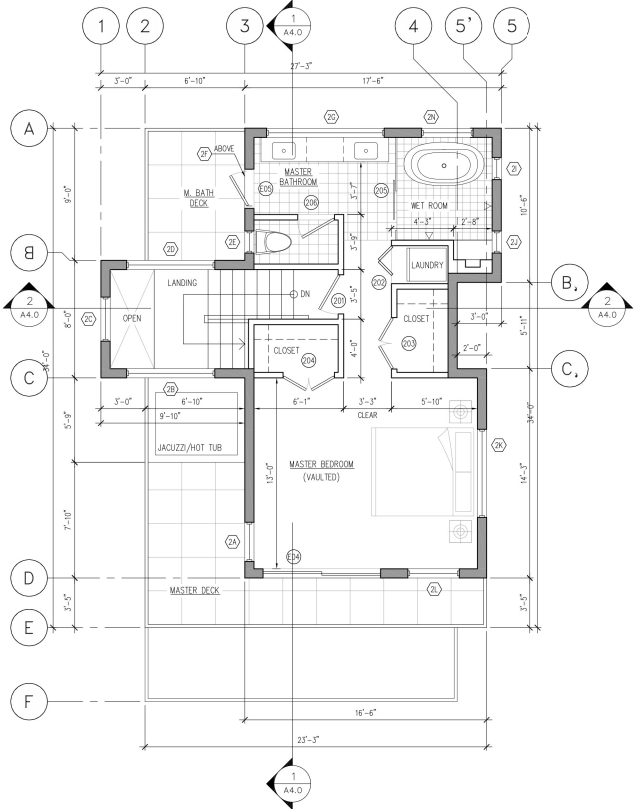
PROJECT  
**JIMENEZ RESIDENCE**  
 (New Construction)  
 296 San Benito Road  
 Brinsford, CA 94005

DRAWING  
**SECOND FLOOR & ROOF PLANS**

PROJECT NO: 2020.04  
 DRAWN BY: JCT  
 SCALE: 1/4"=1'-0"  
 INT. DATE: 06-03-21



**2 ROOF PLAN**  
 AREA RESERVED FOR PV PANELS: xxx sf  
 SCALE: 1/4"=1'-0"



**1 MASTER SUITE PLAN (2ND FLOOR)**  
 FLOOR AREA: 423 sf  
 SCALE: 1/4"=1'-0"

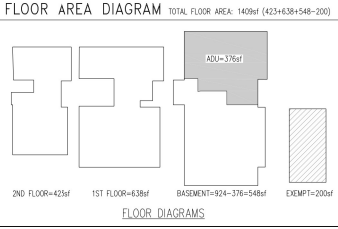
**UNIT PLAN CODE COMPLIANCE KEY NOTES** NOTE: FOR TYPICAL LIGHTING & POWER LOCATIONS // CODE COMPLIANCE NOTES, SEE SHEET A2.

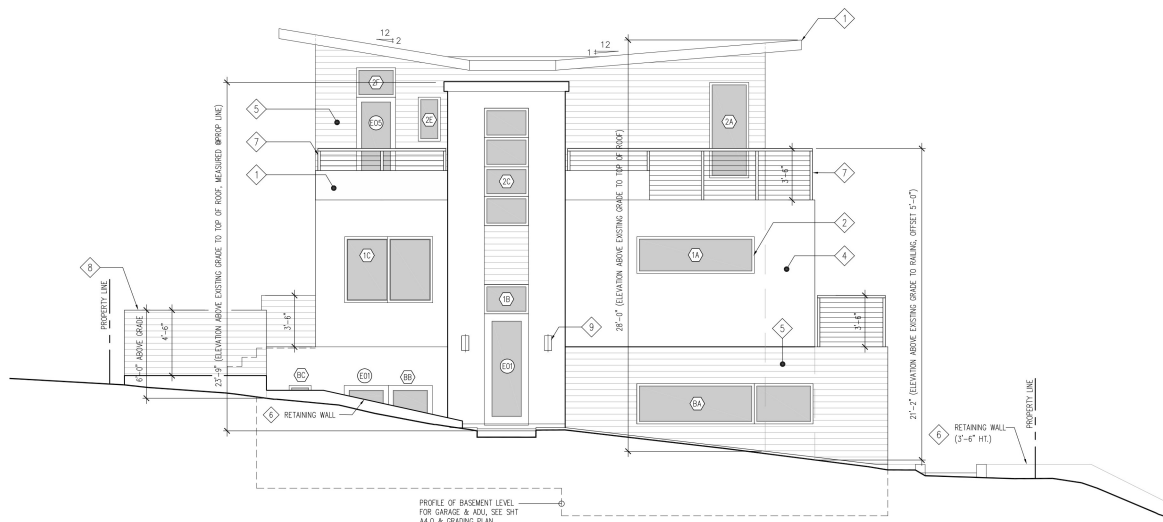
ROOM	NOTES
BATHROOMS	<p>1 SAFETY (TEMPERED) GLAZING AT:            (1) TUBS, SHOWERS &amp; COMBO ENCLOSURES, HINGED ORS OPEN OUTWARD            (2) ADJACENT TO &amp; WITHIN 24" OF EITHER EDGE OF DOORS            (3) ADJACENT TO &amp; WITHIN 18" OF A WALKING SURFACE            (4) CEILING, FIBER-CEMENT OR GLASS MAT FIBERGLASS BOARD BACKERS IN CONTACT WITHIN CEILING, CEILING OR CEILING UNDER NON-SHOWER ENCLOSURE MATERIALS, OR TILE, A MIN 3/4" HEIGHT ABOVE DRAIN INLET TO BE INSTALLED IN ACCORD WITH MANUFACTURER'S SUBSTITUTION 1/4" DIAMETER/BACK TILE BACKER TYPE X or SM OR HR RFD WALL LOCATIONS            (5) PROVIDE SHOWERS AND TUB-SHOWER COMBINATIONS WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE-BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE            (6) TOILET: MAX 120 GAL PER FLUSH; SHOWER HEAD: MAX 1.8 GPM; LAUNDRY FAUCETS: 1.5 GPM; KITCHEN FAUCETS: MAX 1.8 GPM; TOILET SEAT HEIGHT: MIN 15" ABOVE FLOOR FINISH; FLUSH CONTROL LOCATED MIN 44" ABOVE FLOOR FINISH REQUIRING MAX SUB FORCE            (7) NO DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM WITHOUT THE USE OF AN APPROVED AIRGAP-FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL, OF 2" OR 6" BRANDING.</p>
KITCHEN	<p>1 KITCHEN &amp; BATHROOM SINK FAUCET CONTROLS &amp; OPERATING MECHANISMS TO BE OPERABLE WITH ONE HAND, NOT REQUIRE TIGHT GRIPPING, FINCHING OR TWISTING OF THE WRIST. FORCE NEEDS TO ACTIVATE CONTROLS NO GREATER THAN 5 LBS, CBC 1133A.4.1-3.            2 DRYER EXHAUST DUCT SHALL NOT EXCEED 14 FT IN LENGTH. EXHAUST DUCTS SHALL BE A MIN 4" DIAMETER &amp; SHALL TERMINATE AT LEAST 3 FT FROM ANY OPENINGS INTO BLDG. CBC 504.3.1.2 &amp; 504.5 ALSO SEE MECH PLAN SHEETS M2.1 &amp; M2.2.            3 STORAGE UNDER STAIRS MUST BE PROVIDED WITH 1/2" TYPE 'Y' GYP. BR. UNDER STAIRS (TYP), CBC 1011.7.3.            4 HANDRAIL SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY &amp; STAIRWAY BOWTS SHALL NOT BE LESS THAN 36" CLEAR ABOVE THE PERMITTED HANDRAIL HEIGHT, CBC 1014.8.            5 RISE &amp; RUN OF STAIRS (MAX 7 1/2" RISE, MIN 10" RUN), CBC 1011.5.2 Exception 3; SEE SHEETS A2.0.1 FOR EACH UNIT STAIRCASE SPECIFIED RISE &amp; RUN.            6 GUARDRAILS ASSEMBLIES &amp; GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 LBS APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, CBC 1607A.8.1.1.</p>
STAIRS	<p>1 STAIR DETAILS TO CONFORM TO THE FOLLOWING:            A. 1 1/4"-1 1/2" DIAMETER HANDRAIL MOUNTED 34 TO 38" ABOVE THE TREAD Nosing, REQUIRED AT ALL STAIRS WITH 4 OR MORE RISERS, CBC 1024.1.1 (TYPE D) &amp; 1024.2.            B. GUARDS AT LANDINGS &amp; LEVEL WALKING SURFACES SHALL NOT ALLOW A 4 1/8" SPHERE TO PASS THRU, CBC 1015.4 Exception 1.            C. GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT ALLOW A 4 1/8" SPHERE TO PASS THROUGH, EXCEPT TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, WHERE A 4 1/8" SPHERE SHALL NOT PASS THROUGH, CBC 1015.4 Exception 2&amp;6.            D. HEADROOM MIN. 6'-8" ABOVE STAIR TREADS, CBC 1011.3.            E. GUARDRAILS OR RAILING REQ'D AT WALKING SURFACE &gt;30" ABOVE GRADE, RAIL HT. SHALL BE MIN. 42" HIGH WHERE GUARDRAILS ARE PROVIDED TO THE SIDE OF STAIR TREADS, GUARDRAILS SHALL BE SET 2" TO 3" ABOVE LINE, CONNECTING LEADING EDGES OF TREADS, CBC 1015.3.            F. EXPRESS WINDOW/DOR (5' 0" SQ. FT. MIN.) 20" WIDE BY 24" HIGH, MINIMUM CLEARANCE, MAX. 44" TO FINISHED SLAB, OPENING OR EXIT DOOR, CBC 1030.2-3.</p>
EXTERIOR	<p>1 PRESSURE TREATED WOOD TO BE USED FOR WOOD IN CONTACT WITH EARTH OR IN CONTACT WITH CONCRETE OR MASONRY, CBC 2304.12.1.            2 MIN. 1/4" SLOPE FOR WEATHER EXPOSED LANDINGS, BALCONIES AND ROOF DECKS SEALS UNDERNEATH, CBC 1011.5.            3 PROVIDE 36" DEEP LANDING OUTSIDE ALL EXT. DOORS (NOT MORE THAN 7" LOWER THAN FINISHED FLOOR &amp; MAX 0.75" THRESHOLD FOR SLIDING DOORS &amp; NOT MORE THAN 7/32" LOWER THAN FINISHED FLOOR &amp; MAX 0.5" THRESHOLD FOR OTHER DOORS), CBC 1010.1.6            4 A. RAINLESS WATER HEATER TO BE INSTALLED IN MANUFACTURER SPECIFICATIONS &amp; MINIMUM CLEARANCES.            B. SEISMIC ANCHORAGE OF WATER HEATER TO INCLUDE 3 ANCHORS OR STRAPS AT POINTS WITHIN THE UPPER AND LOWER ONE THIRD, THE LOWER ANCHOR/TRAP LOCATED TO MAINTAIN A MIN. DISTANCE OF 4" ABOVE THE CONTROLS.            C. PROVIDE 24" MIN WIDE DOOR TO WATER HEATER COMPARTMENT, MIN 30" x 30" WORKSPACE IN FRONT OF COMPARTMENT.            D. TRIPLEGLASS GAS UNIT W/DRIPSCOT IN FRONT OF COMPARTMENT, MODEL 5836XCE-NG10 OR SIM.</p>
FAU	<p>1 FAU/FAN COIL: (1)PASSAGEWAY SHALL BE UNOBSTRUCTED &amp; HAVE SOLID FLOORING MIN 24" WIDE FROM ACCESS TO APPLIANCE (2)LEVEL PLATFORM OR GRADE SURFACE MIN 30" x 30" IN FRONT OF SERVICE SIDE OF APPLIANCE &amp; (3)PERMANENT 120 VOLT RECEPTACLE OUTLET &amp; LIGHTING FIXTURE INSTALLED NEAR THE APPLIANCE. SEE MEP DRAWINGS FOR LOCATIONS &amp; DUCTING, SHEETS M2.1 &amp; M2.2.            2 MINIMUM CLEARANCE OF 48" PROVIDED BETWEEN OPPOSING COUNTERS AND AT LEAST 36" INCH CLEAR FLOOR SPACE ALLOWED FOR APPLIANCES, CBC 1133A.2.            3 STONE, CLEULVED STONE OR SM RECYCLED STONE MATERIALS TO BE USED AT KITCHEN COUNTERS IN LEU OF REPOSITIONING REQUIREMENTS FOR ACCESSIBILITY, CBC 1133A.4.1 Exception 1.            4 TWO 15" WIDE MIN BREADBOARDS (MAX 34" ABOVE FINISH FLOOR) TO BE PROVIDED IN LEU OF REQ'D 30" COUNTERTOP WORK SURFACE, CBC 1133A.4.1 Exception 2.            5 ALL LAUNDRY FACILITIES TO PROVIDE FRONT-LOADING TYPE WASHER &amp; DRYER; FOR ACCESSIBLE UNITS, FRONT-LOADING APPLIANCES TO BE CERTIFIED ADA-COMPLIANT, CBC 1133A.1.</p>

NO.	DESCRIPTION	DATE
1	PRELIM PLANNING REVIEW	06/08/21
2	GRADING REVIEW (PLANNING)	07/29/21
3	GRADING REVIEW REVISION	08/26/21
4		
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**FLOOR PLAN LEGEND**

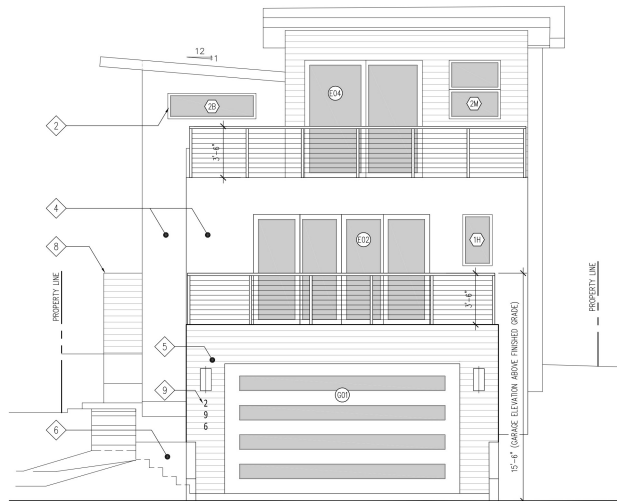
---	WALL TYPE A: GARAGE WALL (1-1/2" SINGLE WOOD STUDS (2x6) 16" O.C.; SEE DT1, 1/AS.0)
---	WALL TYPE B: REINFORCED CONCRETE, 8-10" THICKNESS, FUNCTIONS AS RETAINING WALL BELOW GRADE, SEE DT1, 1/AS.0
---	WALL TYPE C: EXTERIOR WALL, SINGLE WOOD STUDS (2x6) 16" O.C.; SEE DT1, 3/AS.0
---	WALL TYPE D: INTERIOR WALL, SINGLE WOOD STUDS (2x4) 16" O.C.; SEE DT1, 4/AS.0
UM NOTE	DIMENSIONS FOR EXTERIOR & FRAMING, TO FACE OF STUD; FOR INTERIORS TO FACE OF FINISH & FOR WINDOWS & DOORS TO CENTER OF OPENING.
2x4	WINDOW TAG: 2=FLOOR/LEVEL 4=UNITS/SEQUENCE
101	DOOR TAG: 1=FLOOR/TYPE 0=UNITS/SEQUENCE





2 EXT. ELEVATION (SIDE/EAST)  
SCALE: 1/4"=1'-0"

NOTE: OVERALL PROPOSED ELEVATION HEIGHTS MEASURED FROM EXISTING AND FINISH GRADES ARE INDICATED FOR THE FRONT SEGMENTS & CORNERS WITHIN EACH ELEVATION AS SHOWN.

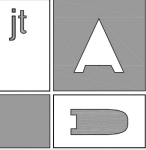


1 EXT. ELEVATION (FRONT/NORTH)  
SCALE: 1/4"=1'-0"

NOTE: OVERALL PROPOSED ELEVATION HEIGHTS MEASURED FROM EXISTING AND FINISH GRADES ARE INDICATED FOR THE FRONT SEGMENTS & CORNERS WITHIN EACH ELEVATION AS SHOWN.

EXTERIOR ELEVATION FINISH NOTES

- 1 PAINTED WOOD FASCIA AND PANELS; TORCH DOWN EPDM ROOFING, LIGHT REFLECTIVE COLOR COATING
- 2 ALUMINUM CLAD WOOD OR FIBERGLASS WINDOWS AND DOORS, CONTEMPORARY CASING PROFILE, EXTERIOR FINISH RETURN IN LIEU OF TRIM
- 3 HEAVY GA. GALVANIZED EDGE/GUTTER/DOWNSPOUT TO MATCH COLOR OF WINDOW CLADDING
- 4 PAINTED STUCCO, VARED COLORS, HARD COAT SMOOTH FINISH
- 5 FINISH GRADE CEDAR NARROW PLANK OR SIM, CLEAR COAT SEALANT (VALHALCO OR SIM), MODIFIED RAIN SCREEN SYSTEM
- 6 LANDSCAPE PLANTER, WIDE PLANK; STAIRS & RETAINING WALLS, CONCRETE (WOOD PLANK FORM PATTERNS WHERE APPLICABLE)
- 7 CONTEMPORARY WROUGHT IRON FLAT BAR RAILING WITH HARDWOOD CAP RAILING
- 8 NEW FENCING REAR PATIO TO MATCH EXTERIOR CEDAR FINISH IN REAR YARD, LED PLAN LIGHTING TO BE INSTALLED NEW CONCRETE STEPS
- 9 STREET ADDRESS MONUMENT, METAL NUMERALS OFFSET FROM EXTERIOR FINISH, EXTERIOR LIGHTS WHERE INDICATED
- 10 CONTEMPORARY WOOD PANEL ENTRY DOOR WITH FROSTED VERTICAL LITE; PFD FINISH
- 2A WINDOW TAG: 2=FLOOR/LEVEL A=UNIT(N) SEQUENCE (10) or (20) DOOR TAG: 1/E=1/DOOR/TYPE 01=UNIT(N) SEQUENCE



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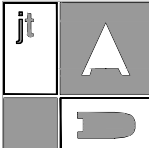
COMMENTS

REVISIONS	Description	Date
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▲	GRADING REVIEW (PLANNING)	07/29/21
▲	GRADING REVIEW REV#1	08/26/21
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PROJECT: JIMENEZ RESIDENCE (New Residence)  
296 San Benito Road  
Brisbane, CA 94005

EXTERIOR ELEVATIONS

PROJECT NO: 2020.04  
DRAWN BY: JCT  
SCALE: 1/4"=1'-0"  
INT. DATE: 06-03-21



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COMMENTS

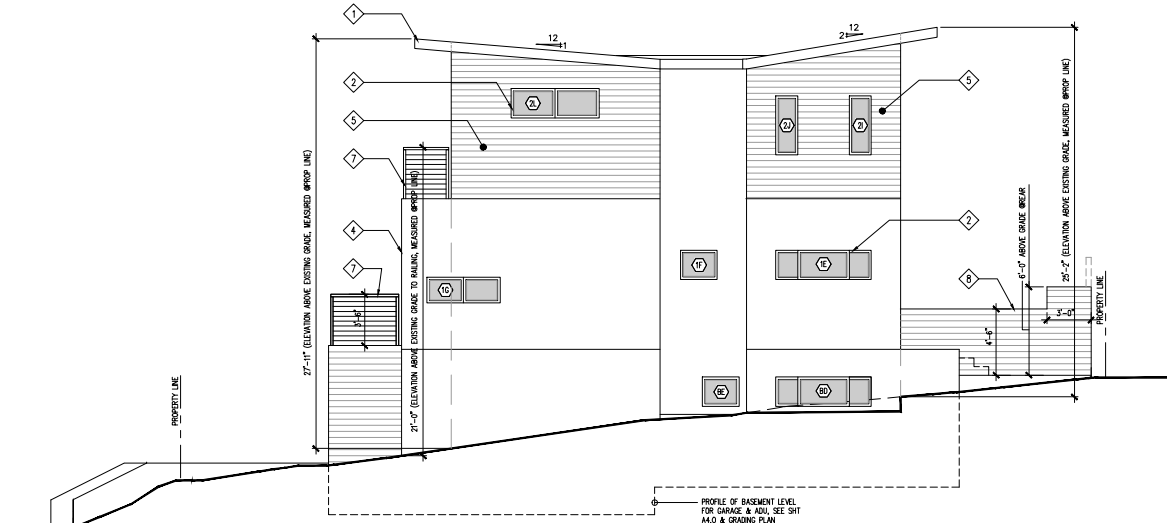
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3	GRADING REVIEW (REV)	08/08/21
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PROJECT: JIMENEZ RESIDENCE (New Residence)  
296 San Benito Road  
Brisbane, CA 94005

EXTERIOR ELEVATIONS

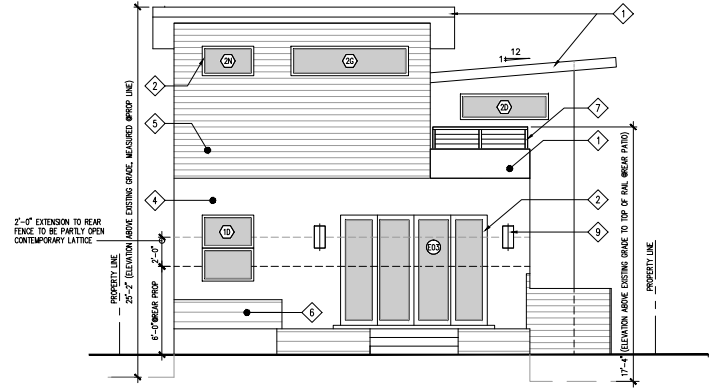
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DRAWN BY: JCT  
SCALE: 1/4"=1'-0"  
INT. DATE: 06-03-21

A3.2



2 EXT. ELEVATION (SIDE/WEST)  
SCALE: 1/4"=1'-0"

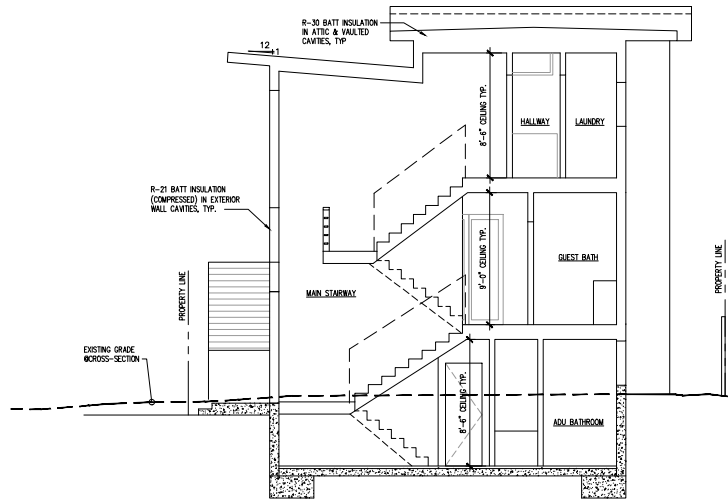
NOTE: OVERALL PROPOSED ELEVATION HEIGHTS MEASURED FROM EXISTING AND FINISH GRADES ARE INDICATED FOR THE FRONT SEGMENTS & CORNERS WITHIN EACH ELEVATION AS SHOWN.



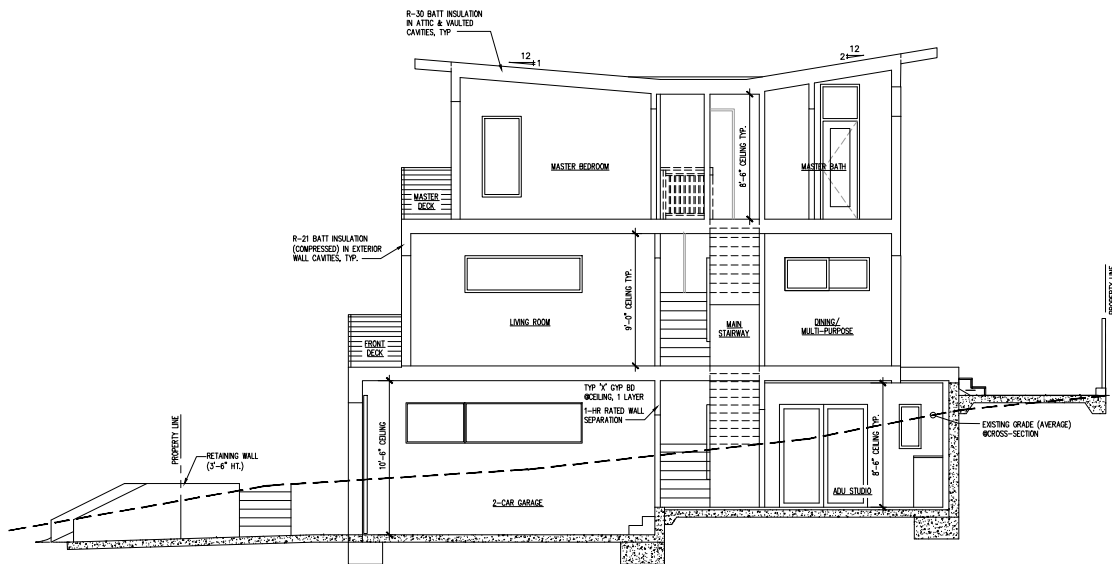
1 EXT. ELEVATION (REAR/SOUTH)  
SCALE: 1/4"=1'-0"

NOTE: OVERALL PROPOSED ELEVATION HEIGHTS MEASURED FROM EXISTING AND FINISH GRADES ARE INDICATED FOR THE FRONT SEGMENTS & CORNERS WITHIN EACH ELEVATION AS SHOWN.

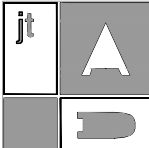
EXTERIOR ELEVATION FINISH NOTES	
1	PAINTED WOOD FACIA AND PANELS; TORCH DOWN EPDM ROOFING, LIGHT REFLECTIVE COLOR COATING
2	ALUMINUM CLAD WOOD OR FIBERGLASS WINDOWS AND DOORS, CONTEMPORARY CASING PROFILE; EXTERIOR FINISH RETURN IN LIEU OF TRIM
3	HEAVY GA. GALVANIZED EDGE/GUTTER/DOWNSPOUT TO MATCH COLOR OF WINDOW CLADDING
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8	NEW FENCING REAR PATIO TO MATCH EXTERIOR CEDAR FINISH IN REAR YARD; LED PATH LIGHTING TO BE INSTALLED NEW CONCRETE STEPS
9	STREET ADDRESS MONUMENT, METAL NUMERALS OFFSET FROM EXTERIOR FINISH, EXTERIOR LIGHTS WHERE INDICATED
10	CONTEMPORARY WOOD PANEL ENTRY DOOR WITH FROSTED VERTICAL LITE; PFD FINISH
2A	WINDOW TAG: 2=FLOOR/LEVEL A=UNIT(N) SEQUENCE (10) (20) DOOR TAG: 1/E=FLOOR/TYPER 01=UNIT(N) SEQUENCE



2 CROSS-SECTION @MAIN ENTRY  
SCALE: 1/4"=1'-0"



1 CROSS-SECTION @GARAGE  
SCALE: 1/4"=1'-0"



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COMMENTS

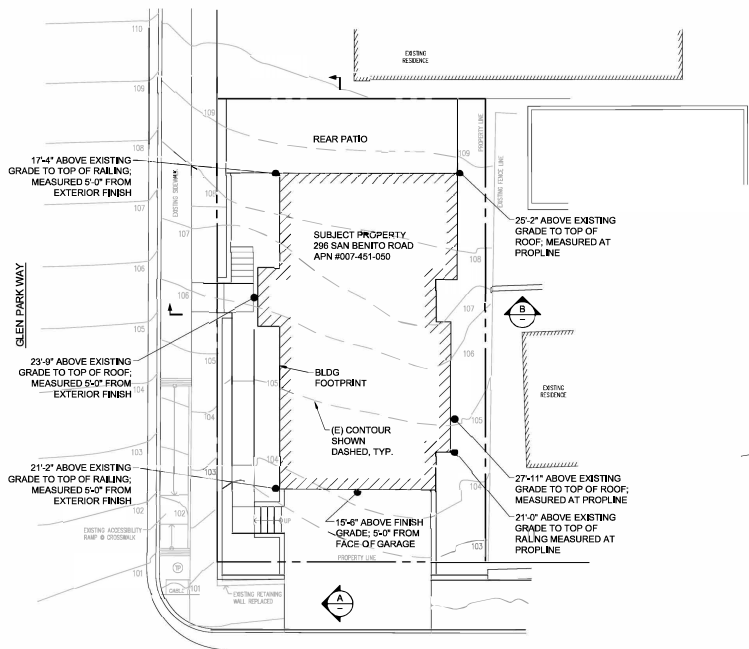
REVISIONS	Description	Date
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▲	GRADING REVIEW (PLANNING)	07/29/21
▲	GRADING REVIEW REV#1	08/26/21
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PROJECT  
**JIMENEZ RESIDENCE**  
 (New Residence)  
 298 San Benito Road  
 Brisbane, CA 94005

DRAWING  
**CROSS-SECTIONS**

PROJECT NO: 2020.04  
 DRAWN BY: JCT  
 SCALE: 1/4"=1'-0"  
 INT. DATE: 06-03-21

A4.0

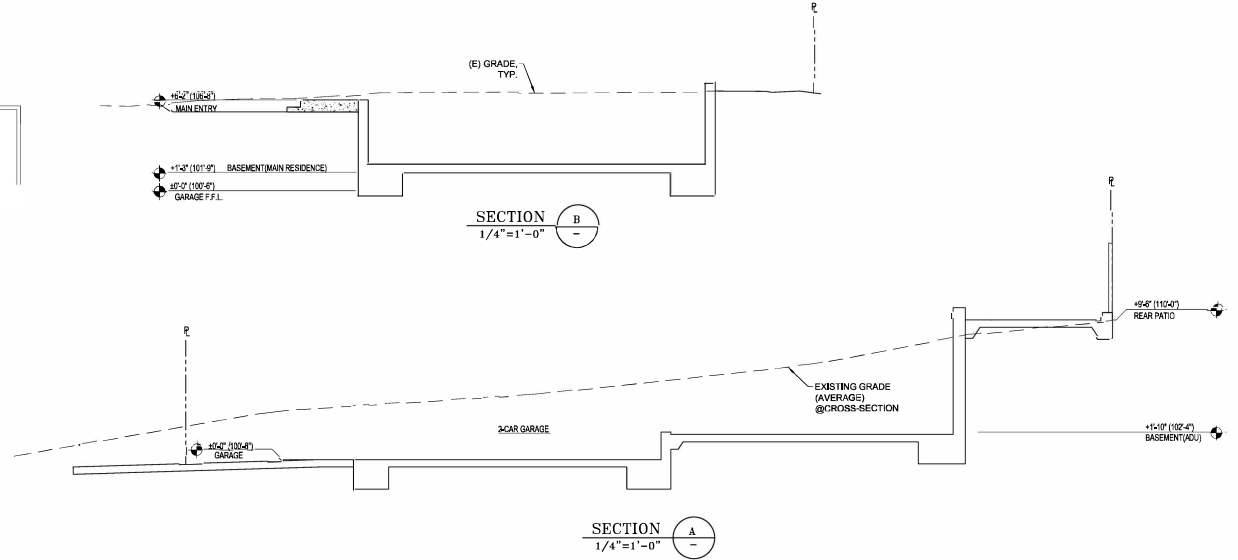


SAN BENITO ROAD

**GRADING PLAN**  
1/8"=1'-0"

TOTAL EXCAVATION = 365 cy  
TOTAL FILL = 0 cy  
NET OFF HAUL = 365 cy

**NOTE:**  
CONTACT UNDERGROUND SERVICES ALERT (USA)  
AT LEAST 48 HOURS PRIOR TO AN EXCAVATION.

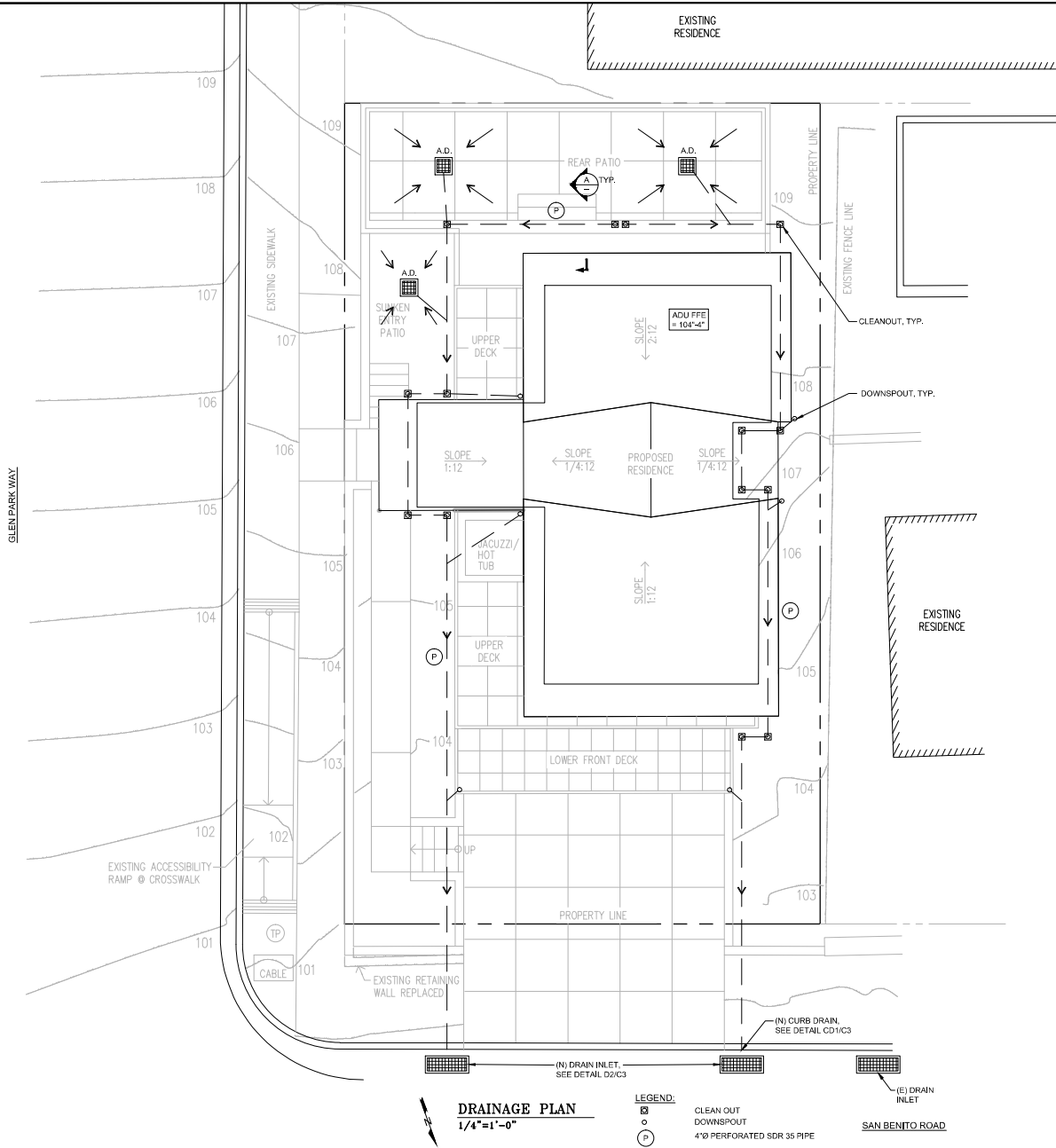


**SITE PREPARATIONS**

1. CLEARING AND GRUBBING SHALL CONSIST OF REMOVAL OF VEGETATION SUCH AS BRUSH, GRASS, WOODS, STUMPS, TREES, ROOTS OF TREES, OR OTHERWISE DELETERIOUS NATURAL MATERIALS FROM THE AREAS TO BE GRADED. CLEARING AND GRUBBING SHOULD EXTEND TO THE OUTSIDE OF ALL PROPOSED EXCAVATION AND FILL AREAS.
2. DEMOLITION SHOULD INCLUDE REMOVAL OF BUILDING, STRUCTURES, FOUNDATIONS, RESERVOIRS, UTILITIES (INCLUDING UNDERGROUND PIPELINES, SEPTIC TANKS, LEECH FIELDS, SEEPAGE PITS, CISTERNS, MINING SHAFT, TUNNELS, ETC.) AND OTHER MAN MADE SURFACE AND SUBSURFACE IMPROVEMENTS FROM THE AREAS TO BE GRADED. DEMOLITION OF UTILITIES SHOULD INCLUDE PROPER CAPPING AND/OR REROUTING PIPELINES AT THE PROJECT PERIMETER AND CUT-OFF AND CAPPING OF WELLS IN ACCORDANCE OF THE REQUIREMENTS OF THE LOCAL BUILDING DEPARTMENT AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AT THE TIME OF DEMOLITION.
3. TREES, PLANTS, OR MAN-MADE IMPROVEMENTS NOT PLANNED TO BE REMOVED OR DEMOLISHED SHOULD BE PROTECTED BY THE CONTRACTOR FROM DAMAGE OR INJURY.
4. DEBRIS GENERATED DURING CLEARING, GRUBBING, AND/OR DEMOLITION OPERATION SHOULD BE WASTED FROM AREAS TO BE GRADED AND DISPOSED OFF-SITE. CLEARING, GRUBBING, AND DEMOLITION OPERATION SHOULD BE PERFORMED UNDER THE OBSERVATION OF THE GEOTECHNICAL ENGINEER.
5. THE CLIENT OF CONTRACTOR SHOULD OBTAIN THE REQUIRED APPROVAL FROM THE LOCAL BUILDING DEPARTMENT FOR THE PROJECT PRIOR, DURING, AND/OR AFTER DEMOLITION, SITE PREPARATION, AND REMOVALS. THE APPROPRIATE APPROVAL SHOULD BE OBTAIN PRIOR TO PROCEEDING WITH GRADING OPERATIONS.
6. THE GEOTECHNICAL ENGINEER SHOULD REVIEW CUT SLOPES DURING EXCAVATION. THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED BY THE CONTRACTOR PRIOR TO BEGINNING SLOPE EXCAVATIONS.
7. IF DURING THE COURSE OF GRADING, ADVERSE OR POTENTIALLY ADVERSE GEOTECHNICAL OR GEOLOGIC CONDITIONS ARE ENCOUNTERED WHICH WERE NOT ANTICIPATED IN THE PRELIMINARY REPORT, THE GEOTECHNICAL ENGINEER OR THE ENGINEERING GEOLOGIST SHOULD EXPLORE, ANALYZE, AND MAKE RECOMMENDATIONS TO TREAT THESE PROBLEMS.

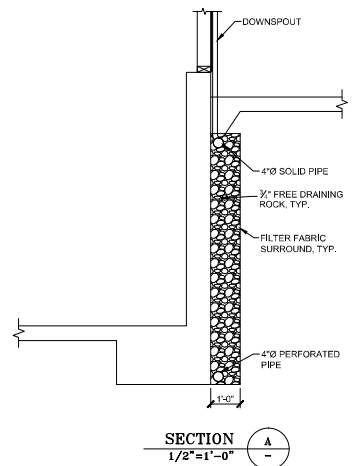


DESIGNED K.O'C.	DATE 6/7/21	KEVIN O'CONNOR, INC. 3401 LAWTON STREET San Francisco CA 94122 TEL: 415-298-3442 FAX: 415-866-9397 WWW.KOCENGINEERING.COM
DRAWN K.P.	6/7/21	
CHECKED K.O'C.	6/7/21	TITLE GRADING PLAN 296 SAN BENITO ROAD BRISBANE, CA 94005
PROJECT NO. 2021-24	DRAWING NO. C1	REV.



**DRAINAGE PLAN**  
1/4"=1'-0"

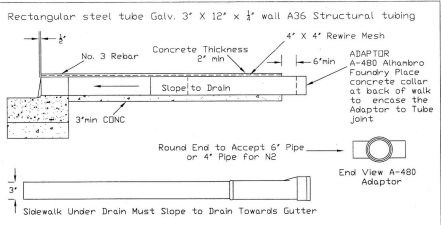
- LEGEND:**
- CLEAN OUT
  - DOWNSPOUT
  - 4" PERFORATED SDR 35 PIPE



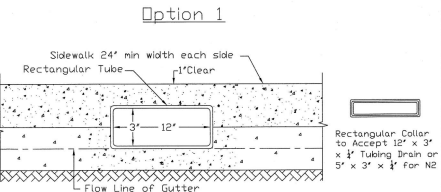
**SECTION A-A**  
1/2"=1'-0"



DESIGNED K.O.C.	DATE 6/7/21	KEVIN O'CONNOR, INC. 3401 LAWTON STREET San Francisco CA 94122	TLL: 415-586-5112 FAX: 415-465-5152 WWW.KOCCENGINEERING.COM
DRAWN K.P.	DATE 6/7/21		
CHECKED K.O.C.	DATE 6/7/21	TITLE DRAINAGE PLAN 256 SAN BENITO ROAD BRISBANE, CA 94005	
		PROJECT NO. 2021-24	DRAWING NO. C2



A36 - 12" X 3" X 1/4" Rectangular Tubing Hot Dip Galvanized to ASTM A123 Gr. 55" X 3" X 1/4" For N2  
Cast Iron Adaptor - Alhambra Foundry A480

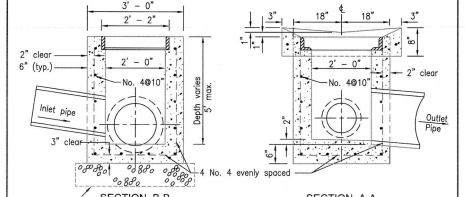
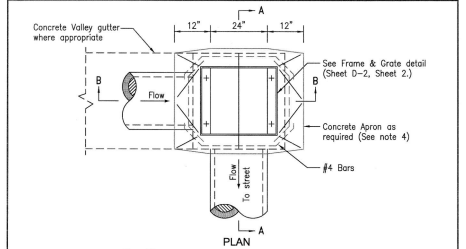


Option 1

Option 2: Longitudinal section diagram showing a similar setup to Option 1, but with a different collar configuration.

Notes: LONGITUDINAL SECTION  
1. No pipe joints shall be within the sidewalk or curb  
2. Pipe shall be Cast Iron Tubing

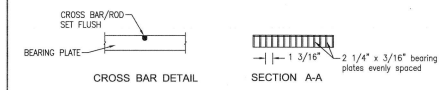
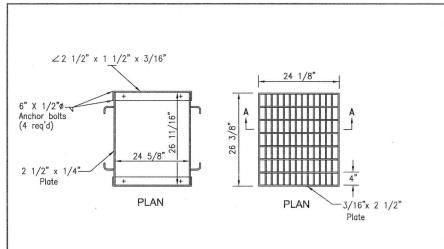
STANDARD DETAIL	CITY OF BRISBANE ENGINEERING AND CONSTRUCTION	
DATE: 07/16/07	CURB DRAIN DETAIL	CD-1 SHT 1 OF 1



SECTION B-B  
SECTION A-A

NOTES:  
1. Max. outlet pipe 12" diameter.  
2. For outlets greater than 12" or deeper than 5', box design shall have prior approval.  
3. Provide survey stakes to indicate location and elevation.  
4. A concrete apron is required for inlets at valley gutters and paved areas.

STANDARD DETAIL	CITY OF BRISBANE DEPARTMENT OF PUBLIC WORKS	
DATE: 08/12/08	JUNCTION BOX/AREA DRAIN	D-2 SHT 1 OF 2



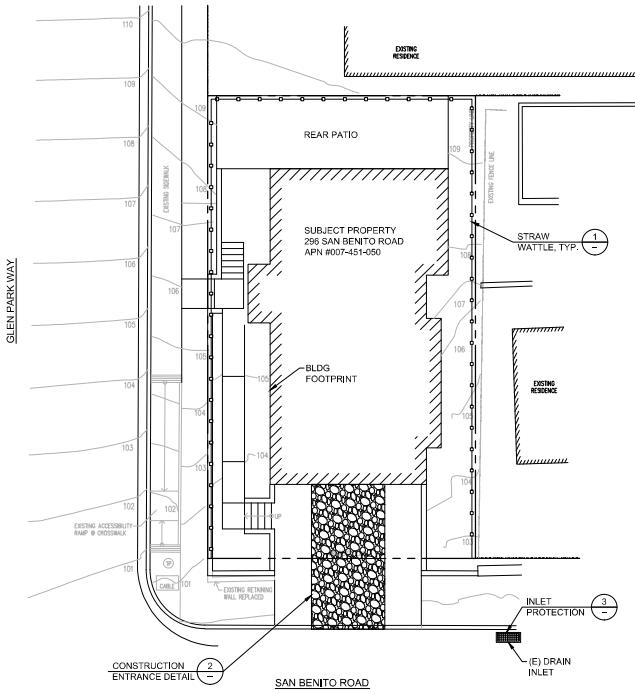
NOTES:  
1. Frame and grate to be made of carbon steel.  
2. All surfaces to be galvanized after fabrication.  
3. Equivalent to Santa Rosa Model HG grate.

STANDARD DETAIL	CITY OF BRISBANE DEPARTMENT OF PUBLIC WORKS	
DATE: 08/12/08	JUNCTION BOX/AREA DRAIN	D-2 SHT 2 OF 2



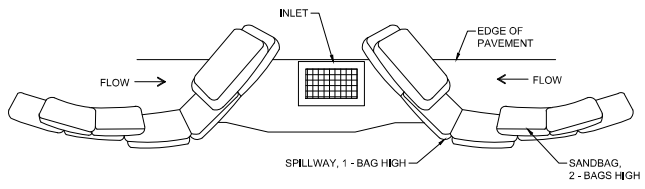
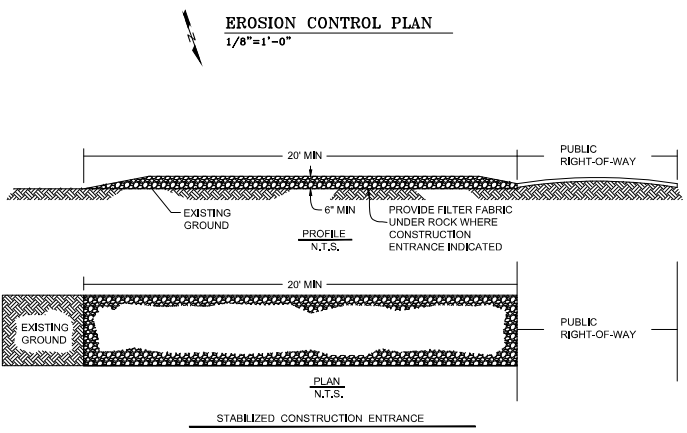
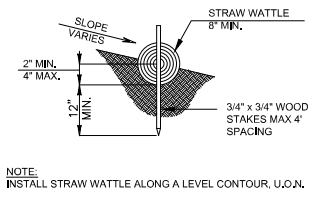
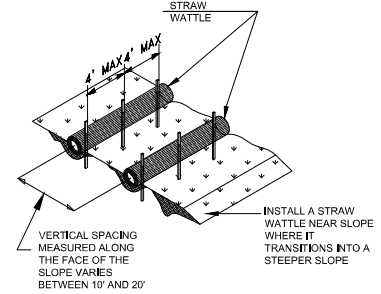
DESIGNED K.O.C.	DATE 6/7/21	KEVIN O'CONNOR, INC. 3401 LAWTON STREET San Francisco CA 94122 TEL: 415-586-5112 FAX: 415-465-0152 WWW.KOCCENGINEERING.COM
CHECKED K.O.C.	DATE 6/7/21	
PROJECT NO. 2021-24		DRAWING NO. C3



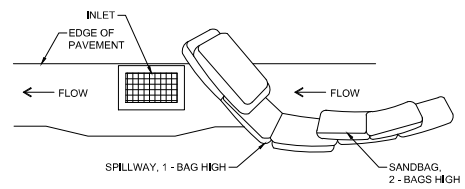


**EROSION CONTROL NOTES**

1. STABILIZE ALL DENUDE AREAS WITH EROSION CONTROL BLANKETING. INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
2. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
3. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
4. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
5. AVOID CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH-WATER IS CONTAINED AND TREATED.
6. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
8. PERFORM CLEARING AND EARTHWORK MOVING ACTIVITIES ONLY DURING DRY WEATHER.
9. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
10. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
11. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
12. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMP'S.
13. FOR CONSTRUCTION DURING DRY SEASON ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.
14. ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.
15. SEDIMENT SHALL NOT BE TRACKED OFF-SITE AND CITY STREET SHALL BE SWEEPED AT PUBLIC WORKS INSPECTOR'S DISCRETION TO THE SATISFACTION OF THE CITY ENGINEER.
16. STRAW WATTLE TO BE USED FOR STABILIZATION OF SOIL SURFACES ONLY.
17. JUTE NETTING NOT TO BE USED FOR STABILIZATION OF SOIL SURFACES.
18. CONCRETE WASHOUT TO BE LEGALLY DISPOSED OFF-SITE.
19. PLACE PORT-A-POTTY NEAR STABILIZED SITE ENTRANCE, BEHIND THE CURB AND AWAY FROM GUTTERS, STORM DRAIN INLETS, AND WATER BODIES.



- NOTES:**
1. INTENDED FOR SHORT-TERM USE.
  2. USE TO INHIBIT NON-STORM WATER FLOW.
  3. ALLOW FOR PROPER MAINTENANCE AND CLEANUP.
  4. BAGS MUST BE REMOVED AFTER ADJACENT OPERATION IS COMPLETED.
  5. NOT APPLICABLE IN AREAS WITH HIGH SILTS AND CLAYS WITHOUT FILTER FABRIC.



DESIGNED K.O.C.	DATE 6/7/21	KEVIN O'CONNOR, INC. 3401 LAWTON STREET San Francisco CA 94122	TEL: 415-286-5112 FAX: 415-465-9102 WWW.VOCCENGINEERING.COM
DRAWN K.P.	DATE 6/7/21		
CHECKED K.O.C.	DATE 6/7/21	TITLE EROSION CONTROL PLAN 296 SAN BENITO ROAD BRISBANE, CA 94005	
PROJECT NO. 2021-24	DRAWING NO. C4	REV.	



SAN MATEO COUNTYWIDE

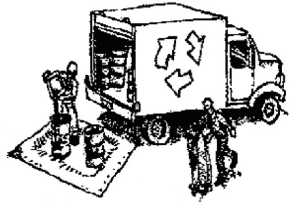
# Water Pollution Prevention Program

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



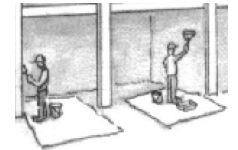
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

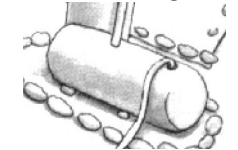
## Painting & Paint Removal



### Painting Cleanup and Removal

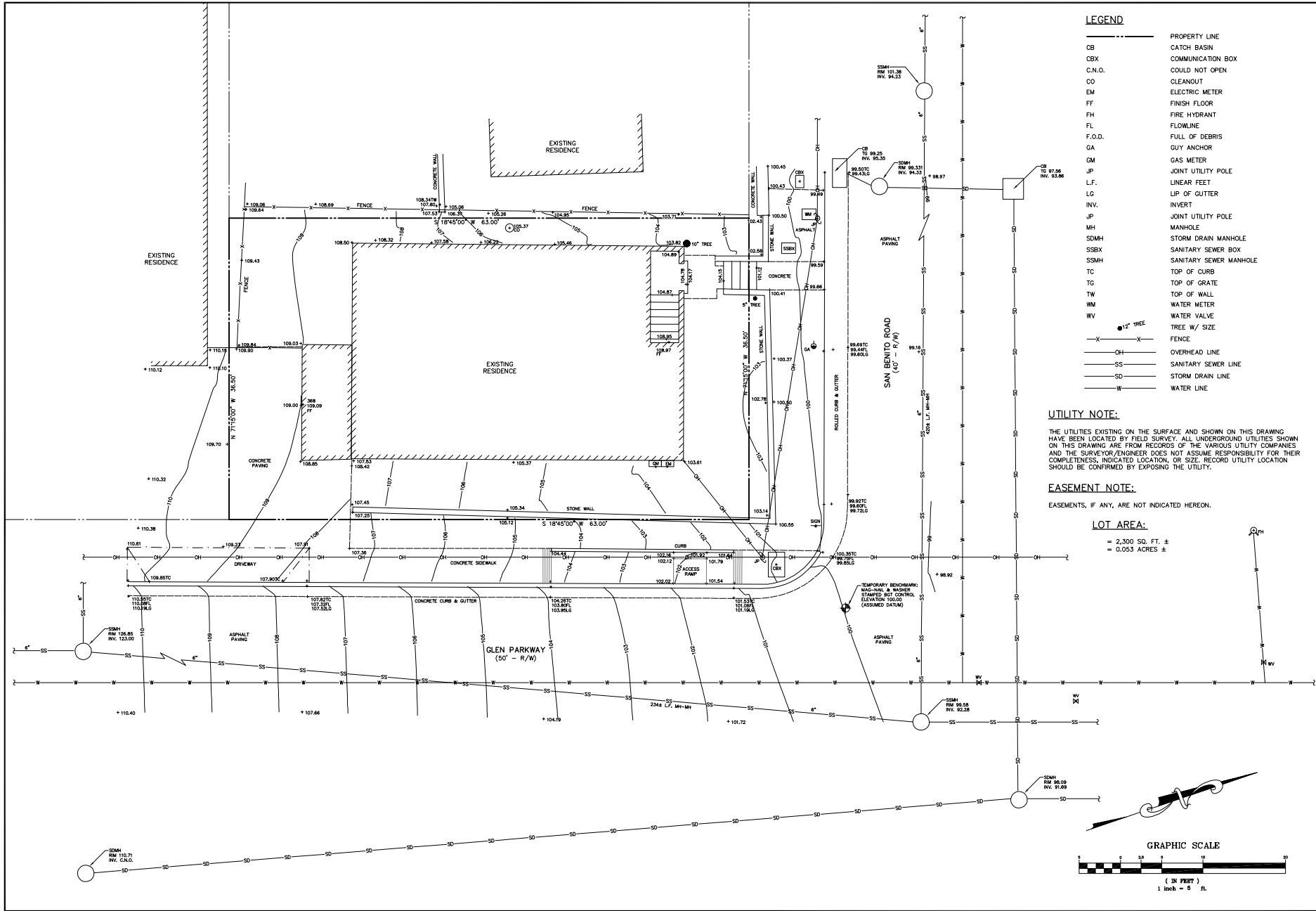
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

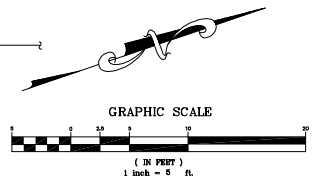


- LEGEND**
- PROPERTY LINE
  - CB CATCH BASIN
  - CBX COMMUNICATION BOX
  - C.N.O. COULD NOT OPEN
  - CO CLEANOUT
  - EM ELECTRIC METER
  - FF FINISH FLOOR
  - FH FIRE HYDRANT
  - FL FLOWLINE
  - F.O.D. FULL OF DEBRIS
  - GA GUY ANCHOR
  - GM GAS METER
  - JP JOINT UTILITY POLE
  - L.F. LINEAR FEET
  - LG LIP OF GUTTER
  - INV. INVERT
  - JP JOINT UTILITY POLE
  - MH MANHOLE
  - SDMH STORM DRAIN MANHOLE
  - SSBX SANITARY SEWER BOX
  - SSMH SANITARY SEWER MANHOLE
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TW TOP OF WALL
  - WM WATER METER
  - WV WATER VALVE
  - 1" TREE
  - 2" TREE
  - X X FENCE
  - OH OVERHEAD LINE
  - SS SANITARY SEWER LINE
  - SD STORM DRAIN LINE
  - W WATER LINE

**UTILITY NOTE:**  
 THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

**EASEMENT NOTE:**  
 EASEMENTS, IF ANY, ARE NOT INDICATED HEREON.

**LOT AREA:**  
 = 2,300 SQ. FT. ±  
 = 0.053 ACRES ±



REV.	DESCRIPTION	BY:	DATE:



**DAINS LAND SURVEYING**  
 registered professional land surveyors  
 (650) 743-0831

PREPARED FOR:  
 PAUL & GLENDA JIMENEZ

TOPOGRAPHIC SURVEY PLAN  
 296 SAN BENITO ROAD  
 A.P.N. 007-451-050  
 DOCUMENT NO. 2014-118688  
 CALIFORNIA  
 SAN MATEO COUNTY

BRISBANE  
 DRAWN BY: RJD  
 DESIGNED BY: ---  
 CHECKED BY: RJD  
 SCALE: 1"=5'  
 DATE: 1/16/16  
 PROJECT NO. 17-719  
 SHEET 1 OF 1

**ATTACHMENT E**

**Draft -RESOLUTION 2021-EX-3  
A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING GRADING REVIEW 2021-EX-3  
FOR A NEW SINGLE-FAMILY HOME WITH AN ACCESSORY DWELLING UNIT AND  
ATTACHED GARAGE  
AT 296 SAN BENITO ROAD**

WHEREAS, James Chow Trotter applied to the City of Brisbane for a Grading Permit review, on behalf of Paul and Glenda Jimenez, for construction of a new single-family dwelling, with an accessory dwelling unit and two car garage at 296 San Benito Road that will require 365 cubic yards of soil export from the site, such application being identified as Grading Permit 2021-EX-3; and

WHEREAS, on September 16, 2021, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15303(a) and Section 15301(l) of the State CEQA Guidelines and the exceptions to these categorical exemptions referenced in Section 15300.2 do not apply; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested Grading Permit review;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of September 16, 2021 did resolve as follows:  
Grading Permit 2021-EX-3 is approved by the Planning Commission in compliance with the conditions of approval attached herein as Exhibit A, which recommends that the City Engineer approve the proposed grading for this site.

ADOPTED this 16<sup>th</sup> day of September, 2021, by the following vote:

AYES:  
NOES:  
ABSENT:

\_\_\_\_\_

DOUGLAS GOODING  
Chairperson

ATTEST:

\_\_\_\_\_

DRAFT  
**EXHIBIT A**

**Action Taken:** Recommended City Engineer issuance of a grading permit, per the staff memorandum with attachments, via adoption of Resolution 2021-EX-3.

**Grading Permit 2021-EX-3 Findings:**

1. The proposed grading is minimized and designed to reflect or fit comfortably with the natural topography.
2. The proposed grading is designed to avoid large exposed retaining walls.
3. There being one on-site Olive tree and no other trees along the street frontage or on-site, the following finding is not applicable. The proposed grading is designed to conserve existing street trees (as defined by BMC Section 12.12.020), any California Bay, Laurel, Coast Live Oak or California Buckeye trees, and three or more trees of any other species having a circumference of at least 30 inches measured 24 inches above natural grade. Where removal of existing trees is necessary, planting of appropriate replacement trees is provided.
4. Since the site is not within the boundaries of the San Bruno Mountain Area Habitat Conservation Plan, the following finding is not applicable. The proposed grading complies with the terms of the San Bruno Mountain Area Habitat Conservation Plan Agreement and Section 10(a) Permit, if and as applicable (General Plan Policy 119 and Program 83b).

**Conditions of Approval:**

Prior to Issuance of a Building Permit

- A. The applicant shall obtain a building permit, grading permit, and encroachment permit prior to proceeding with construction. The project plans shall comply with all development standards of the R-1 District. Plans submitted for the building and grading permits shall substantially conform to plans on file in this application 2021-EX-3 in the City of Brisbane Community Development Department.
- B. Any fences to be constructed on site shall comply with the requirements provided in BMC Section 17.32.050 - Fences, Hedges and Walls
- C. Prior to issuance of a building permit, the property owner shall enter into a standard landscape maintenance agreement with the City.
- D. A certificate of compliance is required for this lot, via separate application form and fee.
- E. Prior to issuance of a building permit, an agreement shall be recorded between the owner and the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.

Other Conditions

- F. Prior to pouring foundation, a licensed land surveyor or civil engineer authorized to conduct surveying activities shall submit a staking certification letter to the City confirming that the proposed building location and pad elevations match the submitted site plan and grading plans.

- G. Fire sprinklers are required and may be a deferred submittal, to the satisfaction of North County Fire Authority.
- H. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.
- I. The project is subject to infrastructure improvement requirements per BMC Chapter 17.01 and construction details shall be subject to approval by the City Engineer.
- J. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- K. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees, and volunteers harmless from and against any claim, action, or proceeding brought by any third party to attack, set aside, modify, or annul the approval, permit, or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done, or made prior to the granting of such approval, permit, or entitlement.
- L. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Brisbane Municipal Code.