

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission For the Meeting of December 16, 2021

SUBJECT: 34 Visitacion Avenue; Design Permit 2021-DP-3-20; NCRO-2 Neighborhood Commercial District - Downtown Brisbane; Design Permit to modify the exterior façade of an existing apartment building by installing faux wood metal siding, a new illuminated address sign, and new windows and paint; Ben Hart, applicant; Maya LLC (Assaf Benjamin), owner.

REQUEST: The applicant proposes to modify the exterior façade of 34 Visitacion Avenue within the NCRO-2 Neighborhood Commercial - Downtown Brisbane zoning district. The proposed modifications include repainting the structure, installing new windows, installing a new illuminated address sign and exterior lights, and replacing the existing geometric architectural features visible on the second and third floors with faux wood metal siding. No expansion of the structure or use is proposed.

RECOMMENDATION: Conditionally approve Design Permit 2021-DP-3, per the staff memorandum with attachments, via adoption of Resolution 2021-DP-3 with Exhibit A containing the conditions and findings of approval.

ENVIRONMENTAL DETERMINATION: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per Section 15301(a) - this project falls within a class of projects which the State has determined not to have a significant effect on the environment. The exceptions to this categorical exemption referenced in Section 15300.2 of the CEQA Guidelines do not apply.

APPLICABLE CODE SECTIONS: Brisbane Municipal Code (BMC) [Chapter 17.42](#) requires a design permit when a substantial modification of an existing principal structure for which no design permit has previously been issued is proposed. That same chapter defines the term "substantial modification" to mean an alteration of the exterior of the structure to the extent of significantly modifying its basic design, elevations, size, appearance, or relationship to adjacent properties or structures, as determined by the planning director. The general design permit findings are contained in [§17.42.040](#).

BACKGROUND:

Existing Conditions and Site Description

The 10,000 sq. ft. subject property is located on the west side of Visitacion Avenue, south of San Francisco Avenue. The site is developed with a 20-unit, three-story multifamily apartment building and this block of Visitacion Avenue within the NCRO-2 District features a combination of commercial, single-family and multi-family residential, and mixed-use development, typical of the

street’s historic development pattern. The adjacent R-2 Residential zoning district to the west, includes a mixture of single-family homes and duplexes. Properties directly abutting the project site are described in Table 1 below.

Table 1: Adjacent Property Development

Address	Abutting	Use	Zoning District
18 Visitacion Ave.	North Side lot line	Vacant; Design permit approval for a three-story mixed-use building granted in 2020	NCRO-2
44 Visitacion Ave.	South Side lot line	Two-story commercial building	NCRO-2
15 – 35 Inyo St.	Rear lot line (west)	Two-story single-family homes	R-2

Project Description

As noted above, the applicant proposes to modify the exterior façade of the existing apartment building; the scope of work includes:

- new windows;
- new paint;
- new illuminated address sign and exterior lighting; and
- new faux wood metal siding to replace existing geometric architectural features

The alterations to the exterior elevations would allow for a contemporary architectural modification to the existing design. The entire building would be repainted from tan to gray and the existing windows on all facades would be replaced. The primary façade, facing Visitacion Avenue would receive additional modifications. The proposed alterations to the primary or front façade feature new faux wood metal siding in metallic gray and reddish cedar that match the gray tones of the stucco body of the structure, while the vertically elongated proportions of the siding would complement the existing and unchanging window layout. Opportunities for articulation are limited due to the existing building’s envelope, but the introduction of contrasting textures of smooth stucco, concrete, and faux wood siding, as well as patterned masonry blocks painted in a darker but matching gray tone on the ground level, help break up the massing along the large front façade while remaining harmonious to the overall design.

A new illuminated address sign and new exterior lighting at the ground level would be added to the structure. The new light fixtures would be fully shielded and downward facing, and placed above the vehicular entryway and adjacent to the two pedestrian entries on opposite sides of the building’s eastern façade fronting Visitacion Avenue. The address sign, internally illuminate would be 24-inches tall and located on the ground floor south of the vehicle entryway (See attachment D).

The application does not alter the location or orientation of the existing building nor does it increase or reduce the scale and intensity of use. No modifications to the building’s access or landscaped areas are proposed.

ANALYSIS AND FINDINGS:

Design Permit Findings: The substantial modification of any existing principal structure in the NCRO-2 zoning district is subject to the granting of a design permit in accordance with the findings contained in BMC §17.14.110 and BMC Chapter 17.42. A detailed discussion of each required design

permit finding is attached in Exhibit B of Resolution 2021-DP-3. The required findings are generally summarized below.

The project is located in the NCRO-2 - Downtown Brisbane zoning district and as the orientation, location, and use of the building is unchanged, it would remain compatible with the range of residential, commercial, and mixed-use development that is contained within the District. The project's height and scale are nearly identical to adjacent properties (three stories or approximately 28-35 ft) to the south at 44 and 50 Visitacion Avenue. It's also consistent with the scale of other three-story projects in the NCRO-2 District, including a recently approved three-story mixed-use project at 18 Visitacion Avenue.

The design preserves many of the building's existing features, including recessed and open building entries, window layout, and building materials, including the smooth stucco and patterned masonry blocks, while introducing a new natural color palette of grays and (reddish) faux cedar siding. Contrasting textures of smooth stucco, faux wood metal siding, and patterned masonry blocks provide a level of depth and visual interest while remaining harmonious to the overall design. The varied finish materials and colors also break up the building's massing as seen from the street while providing a clean and updated look. New exterior lighting, shown to be fully shielded, downward facing, and controlled by a dimmable photovoltaic to prevent glare onto adjacent properties, further enhances the relationship with the pedestrian environment at the ground floor.

The new address sign will complement the clean lines and color palette of the proposed contemporary design. This block of Visitacion includes a mix of commercial and residential structures with no unifying or common advertising signage style. As such, the address sign would not conflict with the building scale, colors, materials, architectural details, and styles found in the neighborhood. The sign's relatively small size and proposed method of illumination is not expected to have a significant impact in terms of light or glare. It would also be significantly more understated than the illuminated advertising signage that currently exists along Visitacion Avenue, including the 23 Club (sign since removed), Julie's Liquor & Deli, Brisbane Inn, Brisbane Chiropractic, and Midtown Market. These include both neon and backlit advertising signs.

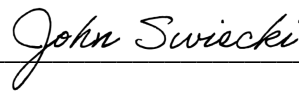
Overall, the proposed modifications to the building's exterior elevations complement Brisbane's vernacular architectural heritage and proposes a contemporary and attractive architectural style that incorporates mid-century modern colors and aesthetics distinct from, but complementary to, surrounding structures.

ATTACHMENTS:

- A. Draft Resolution 2021-DP-3 with recommended Findings and Conditions of Approval
- B. Aerial vicinity map
- C. Applicant's statement of findings for design permit
- D. Applicant's plan's and renderings



Jeremiah Robbins, Associate Planner



John Swiecki, Community Development Director

ATTACHMENT A

DRAFT RESOLUTION 2021-DP-3 WITH
RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Draft
RESOLUTION 2021-DP-3

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
CONDITIONALLY APPROVING DESIGN PERMIT 2021-DP-3
TO MODIFY THE EXTERIOR FAÇADE OF AN EXISTING STRUCTURE
AT 34 VISITACION AVENUE

WHEREAS, Ben Hart, the applicant, applied to the City of Brisbane for Design Permit approval of exterior design modifications at 34 Visitacion Avenue, which would include the installation of new windows, repainting the structure, adding an illuminated address sign, and replacing the existing geometric architectural design elements with faux wood metal siding; and

WHEREAS, on December 16, 2021, the Planning Commission conducted a public hearing on the applications, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said applications, the applicant's plans and supporting materials, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15301(a) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein as Exhibit A and B in connection with the Design Permit applications.

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of December 16th, 2021, did resolve as follows:

Design Permit 2021-DP-3 is approved per the findings and conditions of approval attached herein as Exhibit A and B.

ADOPTED this sixteenth day of December, 2021, by the following vote:

AYES:
NOES:
ABSENT:

DOUG GOODING
Chairperson

ATTEST:

JOHN A SWIECKI, Community Development Director

**Draft
EXHIBIT A**

Action Taken: Conditionally approve Design Permit 2021-DP-3 per the staff memorandum with attachments, via adoption of Resolution 2021-DP-3.

Findings:

Design Permit 2021-DP-3

- A. The proposal's scale, form and proportion, are harmonious, and the materials and colors used complement the project, as described in detail Exhibit B to Resolution 2021-DP-3.
- B. The proposal does not include modifications to the existing orientation or location of buildings, structures, open spaces, and other features.
- C. The proposal does not include modifications to the building's existing location and envelop.
- D. The proposal does not include modifications to the building's existing orientation or location nor any modifications that will substantially impact sustainability, long-term affordability, or heating and cooling opportunities.
- E. The proposal does not include hillside development.
- F. The location and dimensions of vehicular and pedestrian entrances and exits will not be modified. The proposal does not include modifications to off-street parking facilities nor interior site circulation. Existing parking facilities are adequately surfaced, landscaped, and lit.
- G. The proposal does not include an expansion of the existing structure or use. The property's location and direct sidewalk access provides alternatives for pedestrians to access public transit and shuttle stops located within a quarter-mile radius on Bayshore Boulevard, Old County Road, and San Bruno Avenue.
- H. The proposal does not include modifications to existing storage, service areas, and open areas nor substantial modifications to landscaping areas. The property is not located in protected habitat or wildland areas.
- I. The proposal does not include modifications that substantially impact external and internal noise.
- J. Consideration has been given to avoiding off-site glare from lighting and reflective building materials, as described in detail in Exhibit B to Resolution 2021-DP-3.
- K. The proposal does not include modifications to utility structures, mechanical equipment, trash containers, or rooftop equipment; existing utility structures, mechanical equipment, and trash receptacles are adequately screened or located within the structure.

- L. As described in detail in Exhibit B to Resolution 2021-DP-3, the location, scale, and color of the proposed illuminated address sign enhances the design and consideration has been given to avoiding off-site glare. No other building signage is included in the application.
- M. The proposal does not include commercial uses nor any needs of employees for outdoor space.
- N. The design respects the intimate scale and vernacular character of the street, as described in detail in Exhibit B to Resolution 2021-DP-3.
- O. Design details are either incorporated or preserved to articulate the building and emphasize the relationship to the pedestrian environment, as described in detail in Exhibit B to Resolution 2021-DP-3.
- P. As described in detail in Exhibit B to Resolution 2021-DP-3, the design incorporates or preserves creative use of elements that are characteristic of the area.
- Q. As described in detail in Exhibit B to Resolution 2021-DP-3, color and texture are provided at the street through the use of signage, lighting, planter boxes, or other urban landscape treatments.
- R. The proposal includes minor modifications to the existing landscaped areas along Visitacion Avenue that will soften the streetscape with natural elements, but additional landscaping cannot be incorporated to enhance the design and enliven the streetscape due to the zero-foot front setback of the existing structure.

Conditions of Approval:

Prior to issuance of a Building Permit:

1. The owner shall obtain a building permit prior to proceeding with construction. An application including detailed building plans, application forms, and fees shall be submitted to the City for issuance of a Building Permit. The building permit application shall comply with all applicable State codes and applicable City of Brisbane Municipal Code provisions for new construction. Building plans shall comply with the following conditions:
 - a. The plans shall be in substantial conformance to the plans approved with this Design Permit, including finish materials and colors, with the following modifications:
 - i. The plans shall indicate the current dimensions of the existing landscaped areas and/or planter boxes fronting Visitacion Avenue and whether or not the landscaped areas are permanently irrigated. Plans shall also indicate the material of the refreshed landscaped areas and/or planter boxes will be finished with matching, stained cedar, or similar wood, subject to the approval of the Community Development Director. Under no circumstances shall the refreshed landscaped areas and/or planter boxes be smaller than the existing ones.
 - ii. The plans shall specify that lighting will be fully shielded, downward facing, and directed away from and not cause glare onto adjacent properties.
 - b. All windows shall match each other and shall not be dark or reflective.
 - c. The building permit application shall not include materials which would present an off-site glare due to reflective materials or lighting.
 - d. Final color and material samples and/or cut sheets shall be provided for Community Development Director approval to confirm they are in substantial conformance with the approved Design Permit. Materials samples shall also be provided for windows.
2. An encroachment permit shall be obtained prior to any work within the public right-of-way.
3. The property owner shall enter into a standard landscape maintenance agreement with the City for landscaping, to the satisfaction of the City Attorney.
4. An agreement shall be recorded between the owner and the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.

Other Conditions:

5. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Municipal Code.
6. This Design Permit shall expire two years from the effective date (at the end of the appeal period) if a Building Permit has not yet been issued for the approved project.

Exhibit B Findings Outline & Discussion

The following is a detailed analysis of the required Design Permit findings:

Design Permit Findings:

Brisbane Municipal Code (BMC) [Chapter 17.42](#) requires approval of a Design Permit prior to performing substantial modifications to an existing principal structure for which no design permit has previously been issued. The Planning Commission may grant a design permit if the Commission finds that the proposed development is consistent with the General Plan and any applicable specific plan, and makes the findings in subsections A through M, as applicable. Furthermore, when the structure is located in the NCRO-2 district no design permit shall be granted unless all additional findings can be made in subsection N through R.

General Plan Consistency: The proposed development is consistent with the General Plan. There is no specific plan applicable to this property.

The underlying land use designation for the subject property is Neighborhood Commercial/Retail/Office (NCRO) and residential uses are conditionally permitted. The proposal does not include any modifications that would expand the existing structure or use as a multifamily apartment building. The project is consistent with the following applicable General Plan policies:

- General Plan Policy LU.12 encourages diversity of development and individual expression in residential and commercial development in Central Brisbane. The application proposes a contemporary architectural design with a natural color palette of light and dark gray walls, reddish cedar and gray faux wood siding and that is compatible with surrounding development in regards to scale, form, and materials.
- General Plan Policy LU.13 requires development to respect Brisbane's vernacular architectural heritage. As noted above, the application proposes a contemporary style of building distinct from surrounding structures while presenting a cohesive and attractive design.
- General Plan Policy LU.16 encourages the maintenance and upgrading of residential structures to improve safety and appearance. The application proposes upgrading the dated and worn exterior appearance of the existing apartment building with a contemporary design.
- General Plan Policy CB.5 requires that development retain the existing scale, character, and intensity of use of residential and commercial districts. Immediately adjacent structures include a two-story commercial building to the south, a vacant lot to the north with entitlements to construct a three-story mixed-use building, and two-story single-family homes to the west, while the first block of Visitacion Avenue features a mix of one to three-story single-family residential, multi-family residential, commercial, and mixed-use development. The application does not increase or reduce the scale, character, and intensity of use, and the project's height and scale is nearly identical to properties immediately south at 44, and 50 Visitacion Avenue, as well as the recently approved mixed-use building approved in 2020 at 18 Visitacion Avenue.

It remains consistent with the scale of other three-story residential and commercial buildings in the NCRO-2 District.

- General Plan Policy CB.6 encourages diversity and individual expression in residential and commercial construction. As addressed previously, the proposed design is respectful of Brisbane’s vernacular architectural heritage.
- General Plan Policy CB.7 encourages property owners and businesses to upgrade, rehabilitate, and improve the appearance of existing structures. As addressed previously, the proposed project will modernize the dated and worn exterior appearance of the existing apartment building with a contemporary design.

Design Permit Findings:

- A. The proposal's scale, form, and proportion are harmonious, and the materials and colors used complement the project.

The project meets this finding. The application proposes a contemporary architectural modification to the existing building design. The front façade features new faux wood metal siding in gray and reddish tones (cedar) that match the gray hues of the stucco body of the structure and the vertically elongated proportions of the siding complement the existing window layout. Articulation of the existing building is limited due to the existing design and zero-foot setback along Visitacion Avenue, but contrasting textures of smooth stucco, faux wood siding, and patterned masonry blocks help to break up the massing on the large front façade while remaining harmonious to the overall design.

- B. The orientation and location of buildings, structures, open spaces, and other features integrate well with each other and maintain a compatible relationship to adjacent development.

This finding is inapplicable as the proposal does not include modifications to the existing orientation or location of the building.

- C. Proposed buildings and structures are designed and located to mitigate potential impacts to adjacent land uses.

This finding is inapplicable as the proposal does not include modifications to the existing orientation or location of the building.

- D. The project design takes advantage of natural heating and cooling opportunities through building placement, landscaping, and building design, to the extent practicable given site constraints, to promote sustainable development and to address long term affordability.

This finding is inapplicable as the proposal does not include modifications to the existing orientation or location of the building nor any modifications that will substantially impact sustainability, long-term affordability, or heating and cooling opportunities.

- E. For hillside development, the proposal respects the topography of the site and is designed to minimize its visual impact. Significant public views of San Francisco Bay, the Brisbane Lagoon and San Bruno Mountain State and County Park are preserved.

This finding is inapplicable as the proposal does not include hillside development.

- F. The site plan minimizes the effects of traffic on abutting streets through careful layout of the site with respect to location, dimensions of vehicular and pedestrian entrances and exit drives, and through the provision of adequate off-street parking. There is an adequate circulation pattern within the boundaries of the development. Parking facilities are adequately surfaced, landscaped and lit.

Part of this finding is inapplicable as the location and dimensions of vehicular and pedestrian entrances and exits will not be modified. The proposal does not include modifications to off-street parking facilities nor interior site circulation. However, existing parking facilities are adequately surfaced, landscaped, and lit.

- G. The proposal encourages alternatives to travel by automobiles where appropriate, through the provision of facilities for pedestrians and bicycles, public transit stops and access to other means of transportation.

This finding is inapplicable as the proposal does not increase the scale or intensity of the existing use. Furthermore, the Zoning Ordinance only requires new nonresidential development to provide bicycle parking facilities, and the subject property is located within one-quarter mile of nearby transit, including the free Bayshore Caltrain and Balboa Park BART station shuttles (San Francisco Avenue-Old County Road stop) and SamTrans Route 292 (Bayshore-Old County Road stop).

- H. The site provides open areas and landscaping to complement the buildings and structures. Landscaping is also used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy. Landscaping is generally water conserving, some California-native, and is appropriate to the location. Attention is given to habitat protection and wildland fire hazard as appropriate.

This finding is inapplicable as passive open space requirements contained in Chapter 17.14 do not apply when the existing orientation or location of the building is not altered or when the use is not intensified. There are no landscaping standards within the NCRO-2 zoning district, and the site is not within a habitat conservation area or adjacent to wildlands.

- I. The proposal takes reasonable measures to protect against external and internal noise.

This finding is inapplicable as the site is not located within a mapped traffic noise corridor in the 1994 General Plan and the proposal does not include modifications that substantially impact external or internal noise. However, the Building Code includes provisions to mitigate noise transmission in multi-family dwellings, which will be applied to the project through the building permit process, if applicable.

- J. Consideration has been given to avoiding off-site glare from lighting and reflective building materials.

The project will meet this finding. The plans provided with the application indicate that new external lighting will be fully shielded and downward facing to prevent glare onto adjacent properties and controlled by a dimmable photovoltaic switch. Furthermore, condition of approval 1.b requires all windows shall match each other and shall not be dark or reflective. Furthermore, condition of approval 1.a requires the plans submitted as part of the building permit application to be in substantial conformance with the plans approved under this Design Permit.

- K. Attention is given to the screening of utility structures, mechanical equipment, trash containers and rooftop equipment.

This finding is inapplicable as the proposal does not include modifications to utility structures, mechanical equipment, trash containers, or rooftop equipment; existing utility structures, mechanical equipment, and trash receptacles are adequately screened or located within the structure.

- L. Signage is appropriate in location, scale, type and color, and is effective in enhancing the design concept of the site.

The project meets this finding. The 24-inch tall address sign will complement the clean lines and natural color palette of the proposed contemporary design. This block of Visitacion includes a mix of commercial and residential structures with no unifying or common advertising signage style. As such, the address sign would not conflict with the building scale, colors, materials, architectural details, and styles found within the neighborhood.

As required by the California Building Code the address sign will be illuminated internally by LEDs. The sign's relatively small size and proposed method of illumination is not expected to have a significant impact in terms of light or glare. Direct views of the address sign would be limited to the commercial storefronts and one residential dwelling unit located across the street at 23-39 Visitacion Avenue. The address sign would also be significantly more understated than the illuminated advertising signage that currently exists along Visitacion Avenue, including the 23 Club (sign since removed), Julie's Liquor & Deli, Brisbane Inn, Brisbane Chiropractic, and Midtown Market. These include both neon and backlit advertising signs. Additionally, per the applicant's plans, the address sign will be controlled by a dimmable switch to allow the brightness to be adjusted should any unforeseen issues arise with glare and/or brightness.

No additional signage is included in this application. A sign permit will be required for any signage proposed in the future.

- M. Provisions have been made to meet the needs of employees for outdoor space.

This finding is inapplicable as the existing structure is a residential multifamily structure with that does not include any commercial uses nor needs of employees for outdoor space.

NCRO-2 Additional Design Permit Findings:

- N. The design respects the intimate scale and vernacular character of the street.

The project meets this finding. As discussed in detail in Finding A above, the application proposes a natural color palette of grays and (reddish) faux cedar metal siding while preserving the original configuration and orientation of the structure. The architectural style complements Brisbane's vernacular architectural heritage as the application proposes a contemporary and attractive architectural style that incorporates mid-century modern colors and aesthetics distinct from surrounding structures.

The scale of the design will not change. However, the existing structure is harmonious to adjacent development at 44 and 50 Visitacion Avenue and the entitled three-story mixed-use structure at 18 Visitacion Ave. It is also consistent with the scale and form of other three-story projects in the NCRO-2 District.

- O. Design details are incorporated to articulate the building and emphasize the relationship to the pedestrian environment.

The project meets this finding. The application proposes to incorporate design details to break up the massing of the building's existing and relatively flat front façade. As indicated in Finding A, contrasting textures of smooth stucco, faux wood siding, and patterned masonry blocks provide a level of depth and visual interest while remaining harmonious to the overall design. The varied finish materials and colors also break up the building's massing as seen from the street while providing a clean and updated look. New exterior lighting further enhances the relationship with the pedestrian environment at street-level.

- P. The design incorporates creative use of elements that are characteristic of the area, such as awnings, overhangs, inset doors, tile decoration, and corner angles for entry.

The project meets this finding. The design preserves many of the building's existing features, including recessed and open building entries, window layout, and building materials, including the smooth stucco and patterned masonry blocks. As detailed in Finding N and O above, the application proposes to utilize a variety of textures, colors, and finish materials to provide a high level of visual interest on the existing and largely flat façade along Visitacion Avenue.

- Q. Color and texture are provided at the street through the use of signage, lighting, planter boxes, or other urban landscape treatments.

The project meets this finding. The application incorporates the existing concrete, stucco, and patterned masonry blocks with clean lines of the faux wood metal siding and updated natural and mid-century modern color palette as detailed in Findings A, N, and O. The application also proposes an internally illuminated address sign and new exterior lighting at the ground level to provide varied color, textures, and lighting at the street level.

- R. Landscaping has been incorporated to enhance the design and enliven the streetscape.

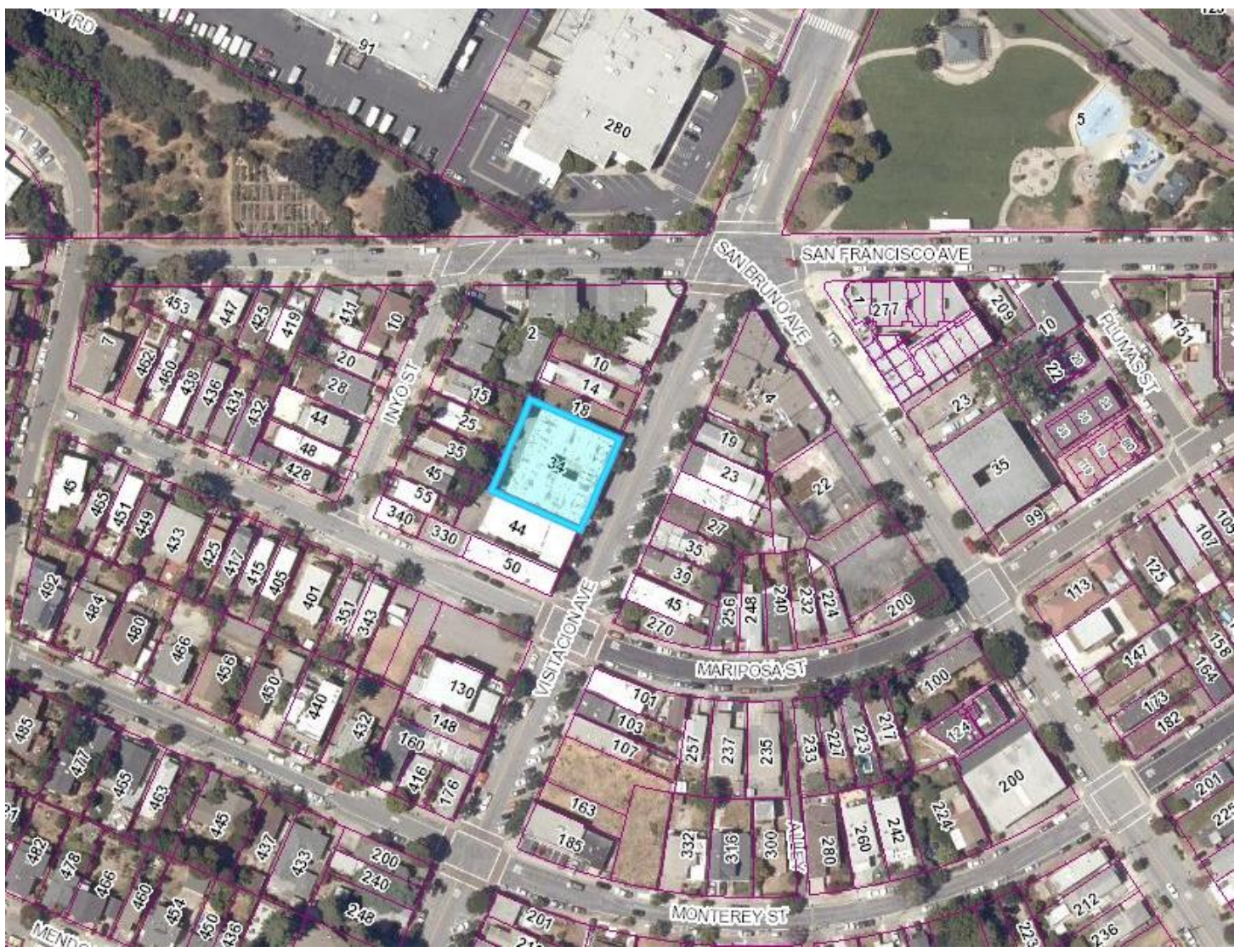
ATTACHMENT A

This finding is inapplicable as the building has a zero-foot front setback and the existing and landscaped areas will not be significantly modified. Additionally, there are no landscaping standards within the NCRO-2 zoning district. However, the application proposes to refresh the existing planter boxes with stained wood (cedar) planter boxes to soften the streetscape with natural elements.

ATTACHMENT B

AERIAL VICINITY MAP

Aerial Vicinity Map
34 Visitacion Avenue



ATTACHMENT C

APPLICANT'S STATEMENT OF FINDINGS
FOR DESIGN PERMIT

SUPPORTING STATEMENTS

Findings Required for Approval of All Design Permits

Brisbane Municipal Code §17.42.060

In order to approve any design permit application, the Planning Commission must affirmatively make the findings of approval in BMC Chapter 17.42, which are reproduced below. Supplemental findings may also be required depending on your specific project and the applicable zoning district and are listed in this attachment.

Please respond to each required finding as it relates specifically to your proposal and include a reference to the applicable plan sheet in the development plans. Attach additional pages if necessary, or provide written responses on a separate document.

A. How do the proposal's scale, form and proportion relate to each other in a harmonious manner? How do the materials and colors used complement the project?

	Plan Sheet Page(s)
The colors of the proposed metal siding details on the front of the building	A-501
compliment the gray color tones of the stucco body of the building. The	
The elongated proportions of the siding details compliment the existing	
window layout and create a contemporary aesthetic for the building.	

B. How does the orientation and location of buildings, structures, open spaces and other features integrate with each other? How does the project maintain a compatible relationship to adjacent development?

	Plan Sheet Page(s)
NA	

C. How do the design and location of proposed buildings and structures mitigate potential impacts to adjacent land uses?

NA	Plan Sheet Page(s)

D. How does the project design utilize natural heating and cooling opportunities through building placement, landscaping and building design to promote sustainable development and to address long-term affordability? What site constraints exist, if any, that limit the use of natural heating and cooling opportunities?

NA	Plan Sheet Page(s)

E. For hillside development, how does the proposal respond to the topography of the site? How does the design minimize the project's visual impact? How does the design preserve significant public views of San Francisco Bay, the Brisbane Lagoon and San Bruno Mountain State and County Park?

NA	Plan Sheet Page(s)



F. How does the location and dimensions of vehicular and pedestrian entrances and exits minimize traffic impacts on abutting streets? Is the proposed off-street parking and interior site circulation adequate to meet the needs of the project? Are parking facilities adequately surfaced, landscaped and lit?

NA	Plan Sheet Page(s)

G. How does the proposal encourage the use of alternative transportation, e.g., through the provision of facilities for pedestrians and bicycles, public transit stops and access to other means of transportation?

NA	Plan Sheet Page(s)

H. How do the provided open areas and landscaping complement the buildings and structures? How is landscaping used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy? Is landscaping water conserving and appropriate to the location? If applicable, how does the project address habitat protection and wildland fire hazard mitigation?

NA	Plan Sheet Page(s)

I. How does the project design protect against external and internal noise?

NA	Plan Sheet Page(s)

J. How do the proposed building materials and exterior lighting mitigate off-site glare?

New lights fully shielded and downward facing	Plan Sheet Page(s)
	A-101

K. Are utility structures, mechanical equipment, trash containers and rooftop equipment screened?

NA	Plan Sheet Page(s)

L. If applicable, how does the location, scale, type and color of project signage enhance the design concept of the site?

	Plan Sheet Page(s)
The 24" address signage with LED back-lights enhance the project by	A-501
creating proportional signage to the building. The location of the signage	
compliments the frontage composition of the building.	



M. If applicable, how does the project meet the needs of employees for outdoor space?

NA

Plan Sheet
 Page(s)

Additional Findings for Design Permits in the NCRO-2 District:

In addition to the findings required under BMC §17.42.060, the Planning Commission must also affirmatively make the below special findings for structures in the NCRO-2 District, per BMC §17.14.110:

A. How does the design respect the intimate scale and vernacular character of the street?

The design of the building respects the scale and vernacular character of

Plan Sheet
 Page(s)

the street by taking mid-century colors and aesthetics while creating a contemporary look that compliments the existing neighboring buildings

A-501

B. How do the design details articulate the building and emphasize the relationship to the pedestrian environment?

The design details create a clean and updated look that enhances the

Plan Sheet
 Page(s)

existing pedestrian environment from the street. This includes the frontage siding details, a gray color pallet, and wood planter boxes near both entries to the buiding.

A-501

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C. How does the design incorporate creative use of elements that are characteristic of the area, such as awnings, overhangs, inset doors, tile decoration, and corner angles for entry?

The design keeps many of the existing building features including building	Plan Sheet Page(s)
entry layouts, exterior building materials, and building window layouts. With	
the proposed color pallet and minimal exterior changes, the design	
compliments many of the buildings built in the same era.	

D. How are color and texture provided at the street level through the use of signage, lighting, planter boxes, or other urban landscape treatments?

The design incorporates the existing concrete and stucco textures of the	Plan Sheet Page(s)
building with the clean lines of the proposed metal siding details and an	A-501
updated gray color pallet. It also incorporates stained wood planter	
boxes which give a contrast of natural features like wood and plants.	

E. How has landscaping been incorporated to enhance the design and enliven the streetscape?

The design uses landscaping at both street entrances to add a natural	Plan Sheet Page(s)
aesthetic to the building street facing side. This design aspect enhances	A-501
the existing facade and adds an organic contrast.	



ATTACHMENT D

APPLICANT'S PLAN'S AND RENDERINGS

34 VISITACION AVE

SCOPE OF WORK:

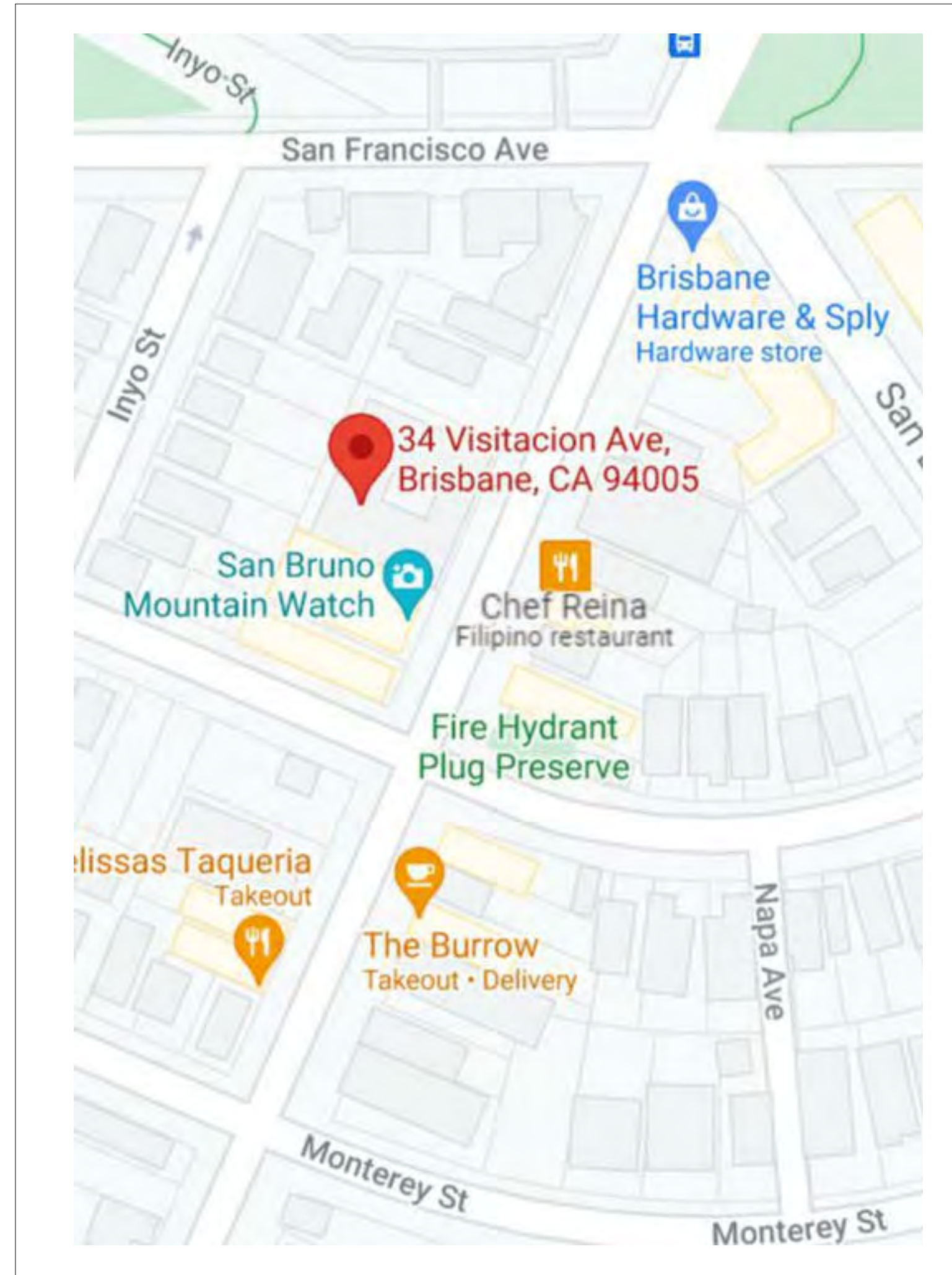
- Exterior:
 -Paint Exterior
 -Replace Windows
 -Add Address sign
 -Add new siding material to front of building over existing stucco



NOTES:

PROJECT SHALL COMPLY WITH THE 2019 CBC, CMC, CPC, 2019 CEC, 2019 CALIFORNIA GREEN BUILDING CODE
 R2 OCCUPANCY GROUP - TYPE CONSTRUCTION VB
 NO STRUCTURAL ALTERATION TO TAKE PLACE.
 THESE PLANS ARE INTENDED FOR USE BY AN EXPERIENCED CONTRACTOR LICENSED IN CA. THIS SHEET SET DOES NOT INCLUDE AN EXHAUSTIVE LIST OF CODE REQUIREMENTS.
 IF ON-SITE DISCREPANCIES ARE FOUND, NOTIFY ENGINEER.

CONSULTANTS			
CONSULTANT NAME	CONSULTANT TYPE	PHONE	ADDRESS
A.C.K ENGINEERING	ENGINEER	707-235-6188	



SPECIAL INSPECTIONS:

none

ABBREVIATIONS

- | | |
|---|--|
| <ul style="list-style-type: none"> • A/C: Air Conditioner • ADA: Americans with Disabilities Act of 1992 • A.F.F.: Above Finished Floor • A.F.G.: Above Finished Grade • AWG: American Wire Gauge • B.O.F.: Bottom of Footing • BOT: Bottom • B.O.W.: Bottom of Wall • Brz.: Bronze • C.C.: Center to Center • C.F.M.: Cubic Feet per Minute • C.F.S.: Cubic Feet per Second • CL: Center Line • CLG.: Ceiling • CMU: Concrete Masonry Unit • C.O.: Clean-out • Cont.: Continuous • CRES: Corrosion-Resistant Steel • CSINK: Countersink • CU. FT.: Cubic Feet • CU. YD.: Cubic Yard • D.S.: Downspout • Dia.: Diameter • Dim.: Dimension • DN.: Down • Ea.: Each • ED: Edge Distance • E.F.: Exhaust Fan • EN: Edge Nailing • EQ: Equal, or Equally • Exc: Excavate • E.W.: Each Way • Ext: Exterior • FACP: Fire Alarm Control Panel • F.C.O.: Floor clean-out • F.D.: Floor Drain • Fin.: Finish • F.F.L.: Finished Floor Level • FL: Floor Level • F.J.: Floor Joist • FND: Foundation • FRFP: Fireproof • FTG: Fitting • Galv.: Galvanized • G.F.C.I.: Ground-Fault Circuit-Interrupter • GPM: Gallons Per Minute • G.T.: Glazed Tile • Gyp.: Gypsum | <ul style="list-style-type: none"> • H.B.: Hose Bib • HV: High Voltage • H.V.A.C.: Heating, Ventilation, and Air Conditioning • H.W.: Hot Water • IAW: In Accordance With • ID: Inner Diameter • In.: Inch • Insul.: Insulation • Int.: Interior • J-Box: • Jct.: Junction • Jst.: Joist • KW: Kilowatt • LFT.: Linear Feet • LH: Left Hand • LL: Live Load • LL: Light • Lig.: Lighting • L.V.L.: Laminated Veneer Lumber • MAX: Maximum • Min.: Minimum • NOM: Nominal • O.C.: On Center • O.D.: Outside Diameter • P.L.: Property Line (or Parts List) • Plywd.: Plywood • P.S.F.: Pounds per Square Foot • P.S.I.: Pounds per Square Inch • RC: Reinforced Concrete • REQD: Required • RH: Right Hand • R.O.: Rough Opening • San.: Sanitary • S.D.: Smoke Detector • Sect.: Section • Sht.: Sheet • Sh'tg.: Sheathing • Specs.: Specifications • SQ. FT.: Square Feet • SQ. IN.: Square Inches • SS: Stainless Steel • S.S.W.SCH: See Shearwall Schedule • Std.: Standard • T&G: Tongue and Groove • T.O.: Top of • T.O.F.: Top of Footing • T.O.W.: Top of Wall • VA.: Voltage • V.B.: Vapor Barrier • V.I.F.: Verify in Field • W.C.: Water Closet (Toilet) • Wd.: Wood • Wdw.: Window • W/O: Without • Wp.: Weatherproof • WS: Weatherstripping or Water Stop • Wt.: Weight • Wtr. Hr.: Water Heater |
|---|--|

SHEET LIST

Sheet Number	Sheet Name
A-001	Cover
A-101	SITE
A-102	FIRST FLOOR PLAN
A-103	SECOND FLOOR PLAN
A-104	THIRD FLOOR PLAN
A-201	ELEVATION 1
A-202	ELEVATION 2
A-501	RENDERINGS
A-502	EXISTING
A-503	SIDING DETAILS
T24	T24

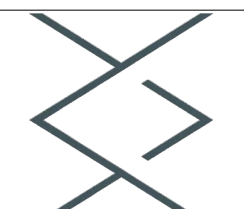
Revisions			
No.	Date	Description	IB

Client
 Schumacher Construction
 34 Visitacion Ave
 Brisbane, CA 94005

Sheet title
Cover

Sheet No.
A-001

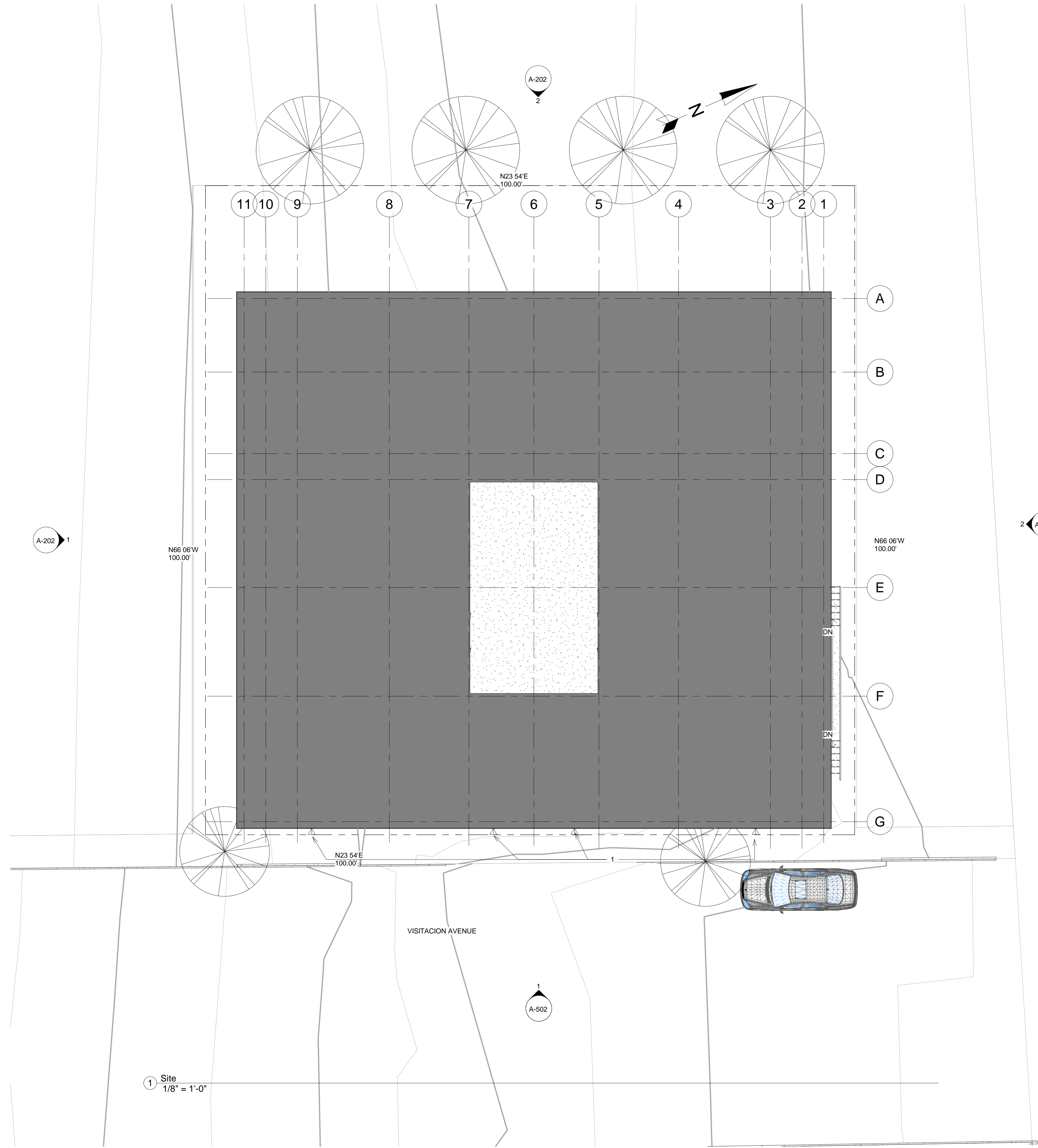
Date: 11/22/2021

 Freyr Design
 530 277 7151
 111 Bank St
 Grass Valley, CA 95945

Drawn by:



Cover



Keynote Legend	
Key Value	Keynote Text
1	High Efficacy weather rated sconce control via dimmable photovoltaic switch. light fixtures will be fully shielded and downward facing.

NOTES:
 -THIS SITE MAP DOES NOT REPRESENT A SURVEY. IT IS FOR REFERENCE PURPOSES ONLY
 -No structural alteration to take place on site.

High Efficiency Lighting
 All new lighting shall comply with the requirements of Title 24 California Energy Code. All installed luminaires shall be high efficacy in accordance with TABLE 150.0-A. Key provisions are summarized below.

- Kitchens**
 - All lighting must be high-efficiency.
- Bathrooms, Garages, Laundry Rooms, and Utility Rooms**
 - All lighting must be high-efficiency. At least one fixture in bathrooms, garages, laundry rooms and utility rooms will be controlled by a vacancy sensor.
 - Under-cabinet lighting shall be switched separately from other lighting sources.
- Hallways and Other Rooms**
 - All lighting must be high efficacy.
 - Permanently installed luminaires in or around swimming pools, water features or other locations subject to Article 680 of California Electrical Code need not be high efficacy.
- Outdoor Lighting**
 - All lighting must be high efficacy.
 - Outdoor lighting must be controlled by a manual ON/OFF switch and a photo-control and motion sensor, or other approved device
 - Decorative landscaping lighting not permanently attached to residential buildings is not regulated by Title 24, Part 6.

SITE

Revisions			
No.	Date	Description	IB

Client
 Schumacher Construction
 34 Visitacion Ave
 Brisbane, CA 94005

Sheet title
SITE

Sheet No.
A-101

Date: 11/22/2021

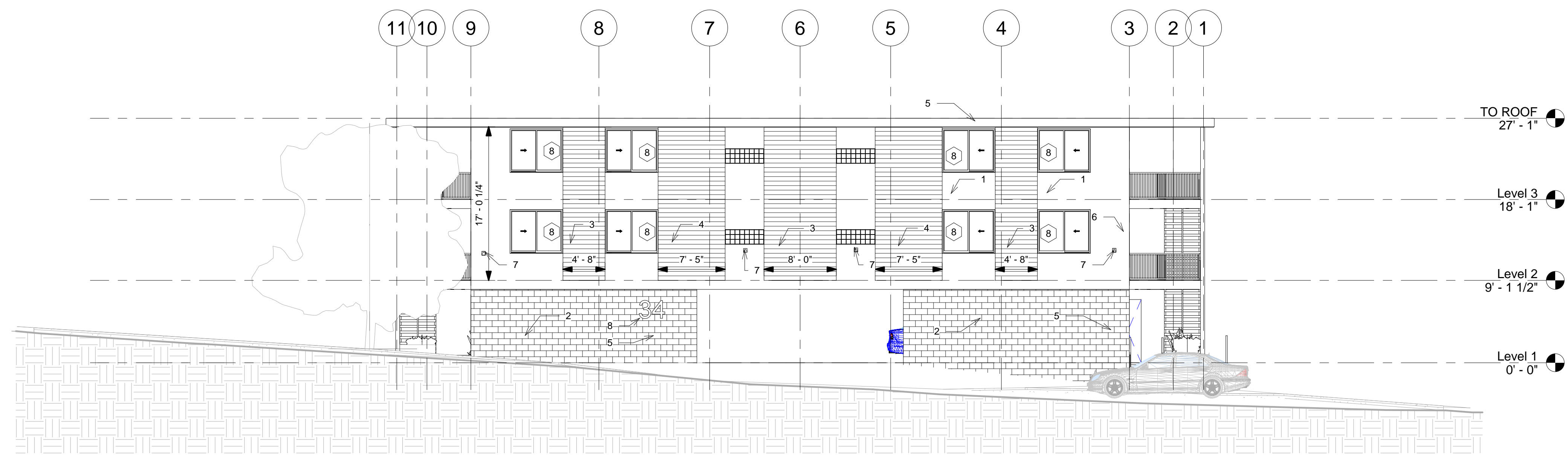


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 Grass Valley, CA 95945

Drawn by:

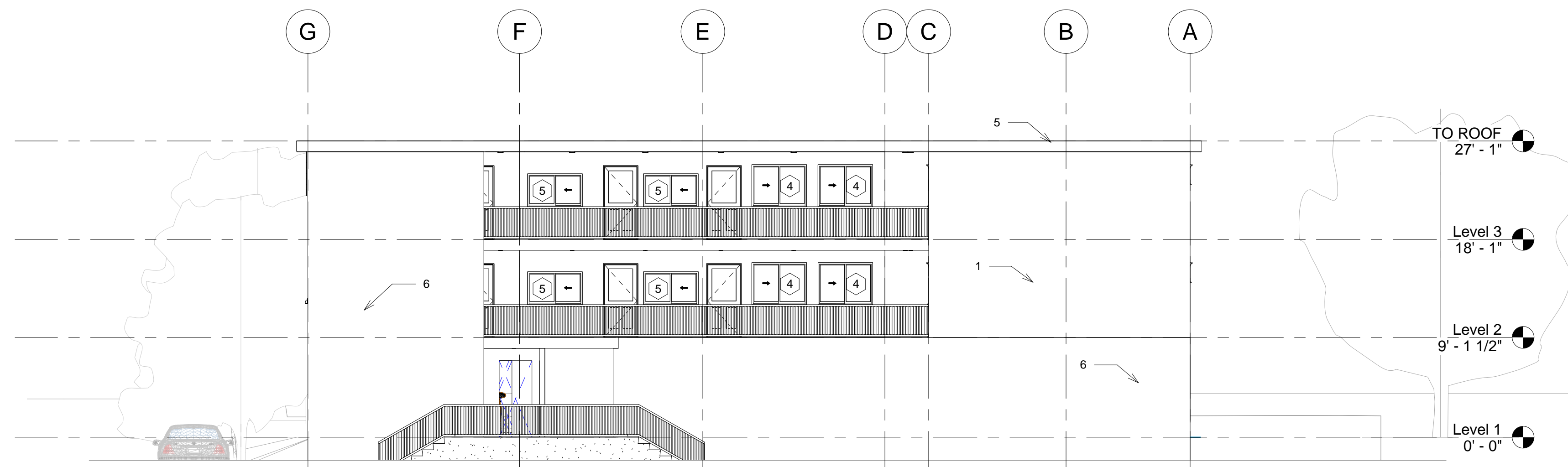
1 Site
 1/8" = 1'-0"

Keynote Legend-Elevation	
Key Value	Keynote Text
1	Stucco
2	Concrete block wall
3	MAC Metal Architecture Harrywood Metal Siding-Western Cedar
4	MAC Metal Architecture Harrywood Metal Siding-Metallic Grey
5	Paint-Benjamin Moore Soote #2129-20 or similar
6	Paint-Benjamin Moore Coventry Gray HC-169 or similar
7	High Efficacy weather rated sconce control via dimmable photovoltaic switch. light fixtures will be fully shielded and downward facing.
8	Address sign will be internally backlit controlled via dimmable switch.

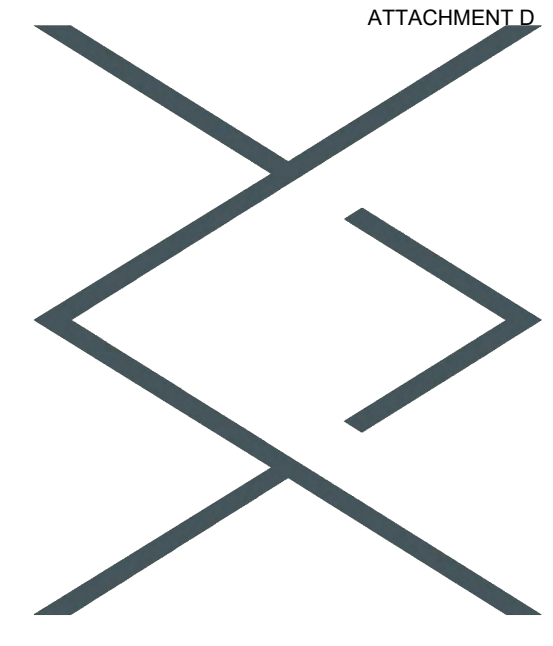


1 East
1/8" = 1'-0"

WINDOW SCHEDULE								
Type Mark	Count	Height	Width	Sill Height	Type Comments	Solar Heat Gain Coefficient	Heat Transfer Coefficient (U)	Glazing Type
1	8	3' - 10"	7' - 10"	3' - 0"	3 LITE SLIDER, FIXED CENTER	0.35	0.3000 BTU/(h·ft ² ·°F)	Glass- Low E Tempered
2	12	1' - 10"	7' - 10"	5' - 0"	3 LITE SLIDER, FIXED CENTER	0.35	0.3000 BTU/(h·ft ² ·°F)	Glass- Low E
4	8	3' - 10"	5' - 0"	3' - 0"	SLIDING WINDOW	0.35	0.3000 BTU/(h·ft ² ·°F)	Glass- Low E
5	8	3' - 0"	5' - 0"	3' - 0"	SLIDING WINDOW	0.35	0.3000 BTU/(h·ft ² ·°F)	Glass- Low E
6	16	1' - 10"	4' - 0"	5' - 0"	SLIDING WINDOW	0.35	0.3000 BTU/(h·ft ² ·°F)	Glass- Low E Tempered
7	4	1' - 10"	7' - 10"	4' - 0"	3 LITE SLIDER, FIXED CENTER	0.35	0.3000 BTU/(h·ft ² ·°F)	Glass- Low E
8	8	4' - 10"	5' - 10"	3' - 0"	SLIDING WINDOW	0.35	0.3000 BTU/(h·ft ² ·°F)	Glass- Low E



2 North
1/8" = 1'-0"



ELEVATION 1

Revisions			
No.	Date	Description	IB

Client
Schumacher Construction
34 Visitacion Ave
Brisbane, CA 94005

Sheet title
ELEVATION 1

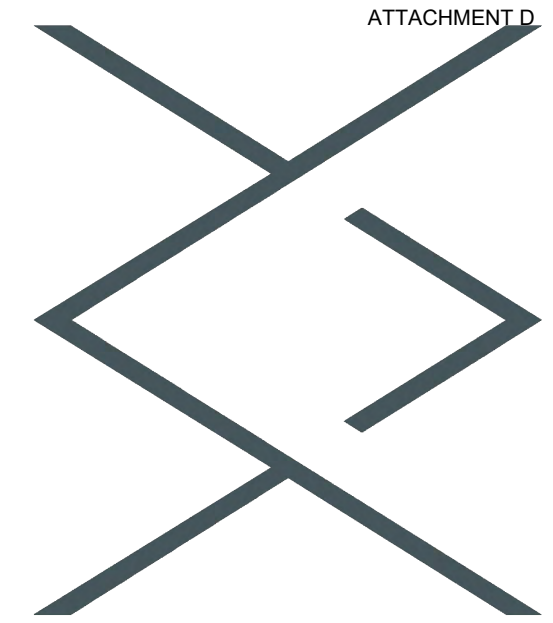
Sheet No.
A-201

Date: 11/22/2021



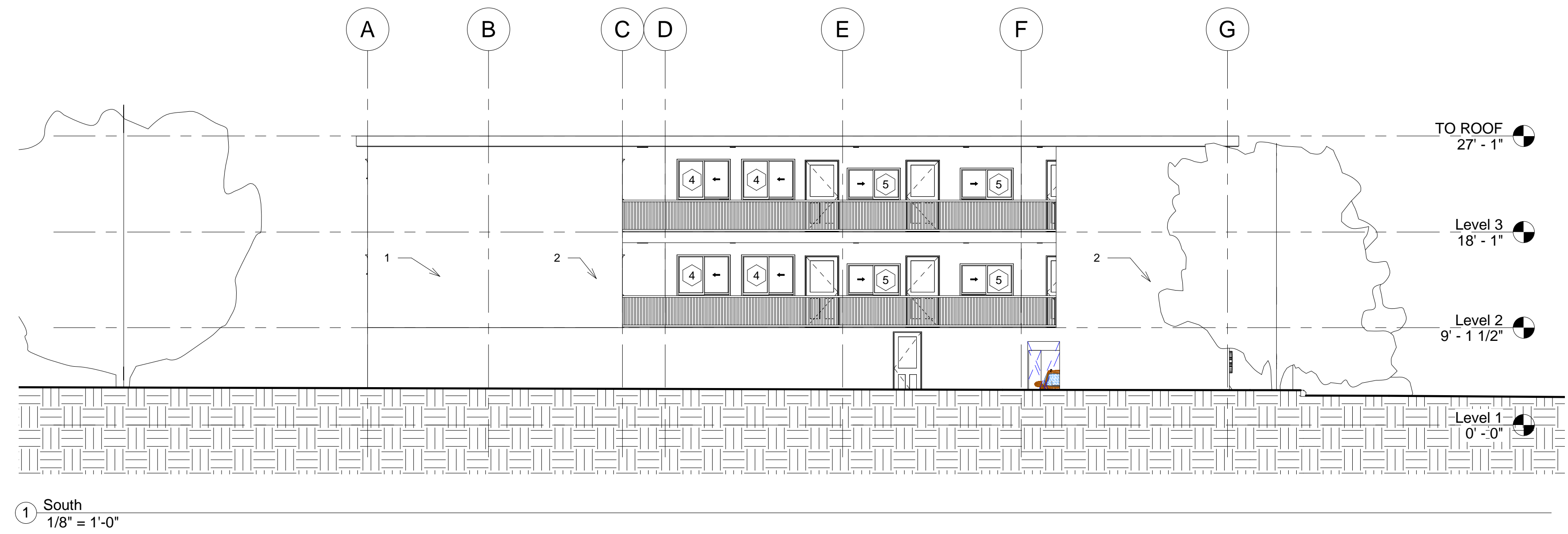
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530 277 7151
111 Bank St
Grass Valley, CA 95945

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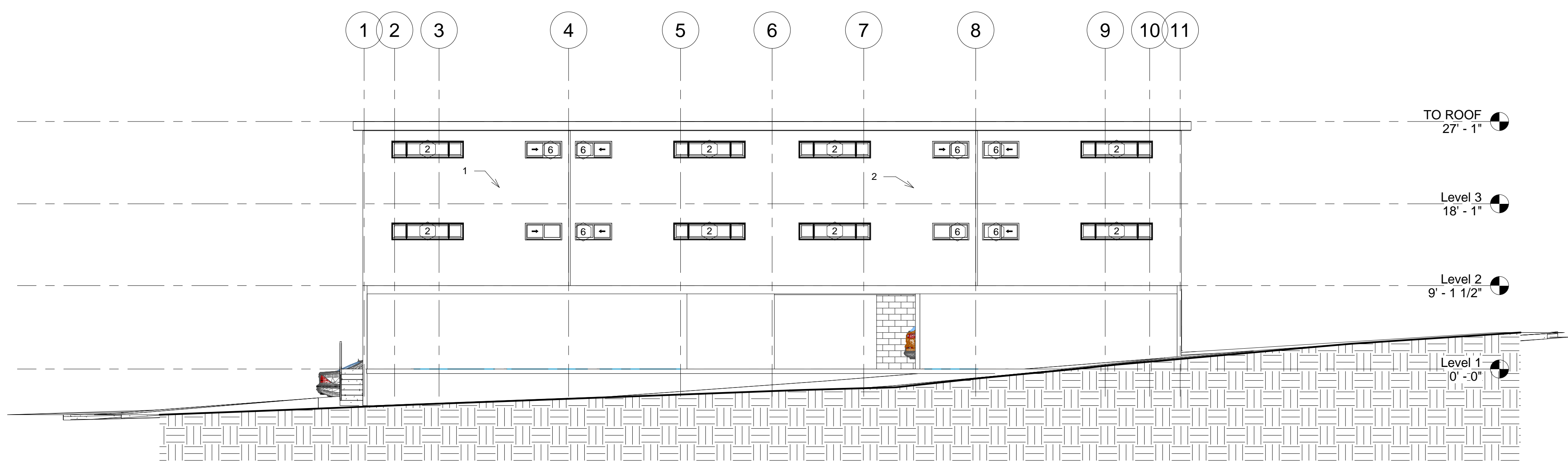


Keynote Legend-Elevation	
Key Value	Keynote Text
1	Stucco
2	Paint-Benjamin Moore Coventry Gray HC-169 or similar

WINDOW SCHEDULE								
Type Mark	Count	Height	Width	Sill Height	Type Comments	Solar Heat Gain Coefficient	Heat Transfer Coefficient (U)	Glazing Type
1	8	3' - 10"	7' - 10"	3' - 0"	3 LITE SLIDER, FIXED CENTER	0.35	0.3000 BTU/(h-ft ² ·°F)	Glass- Low E Tempered
2	12	1' - 10"	7' - 10"	5' - 0"	3 LITE SLIDER, FIXED CENTER	0.35	0.3000 BTU/(h-ft ² ·°F)	Glass- Low E
4	8	3' - 10"	5' - 0"	3' - 0"	SLIDING WINDOW	0.35	0.3000 BTU/(h-ft ² ·°F)	Glass- Low E
5	8	3' - 0"	5' - 0"	3' - 0"	SLIDING WINDOW	0.35	0.3000 BTU/(h-ft ² ·°F)	Glass- Low E
6	16	1' - 10"	4' - 0"	5' - 0"	SLIDING WINDOW	0.35	0.3000 BTU/(h-ft ² ·°F)	Glass- Low E Tempered
7	4	1' - 10"	7' - 10"	4' - 0"	3 LITE SLIDER, FIXED CENTER	0.35	0.3000 BTU/(h-ft ² ·°F)	Glass- Low E
8	8	4' - 10"	5' - 10"	3' - 0"	SLIDING WINDOW	0.35	0.3000 BTU/(h-ft ² ·°F)	Glass- Low E



① South
1/8" = 1'-0"



② West
1/8" = 1'-0"

ELEVATION 2

Revisions			
No.	Date	Description	IB

Client
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34 Visitacion Ave
Brisbane, CA 94005

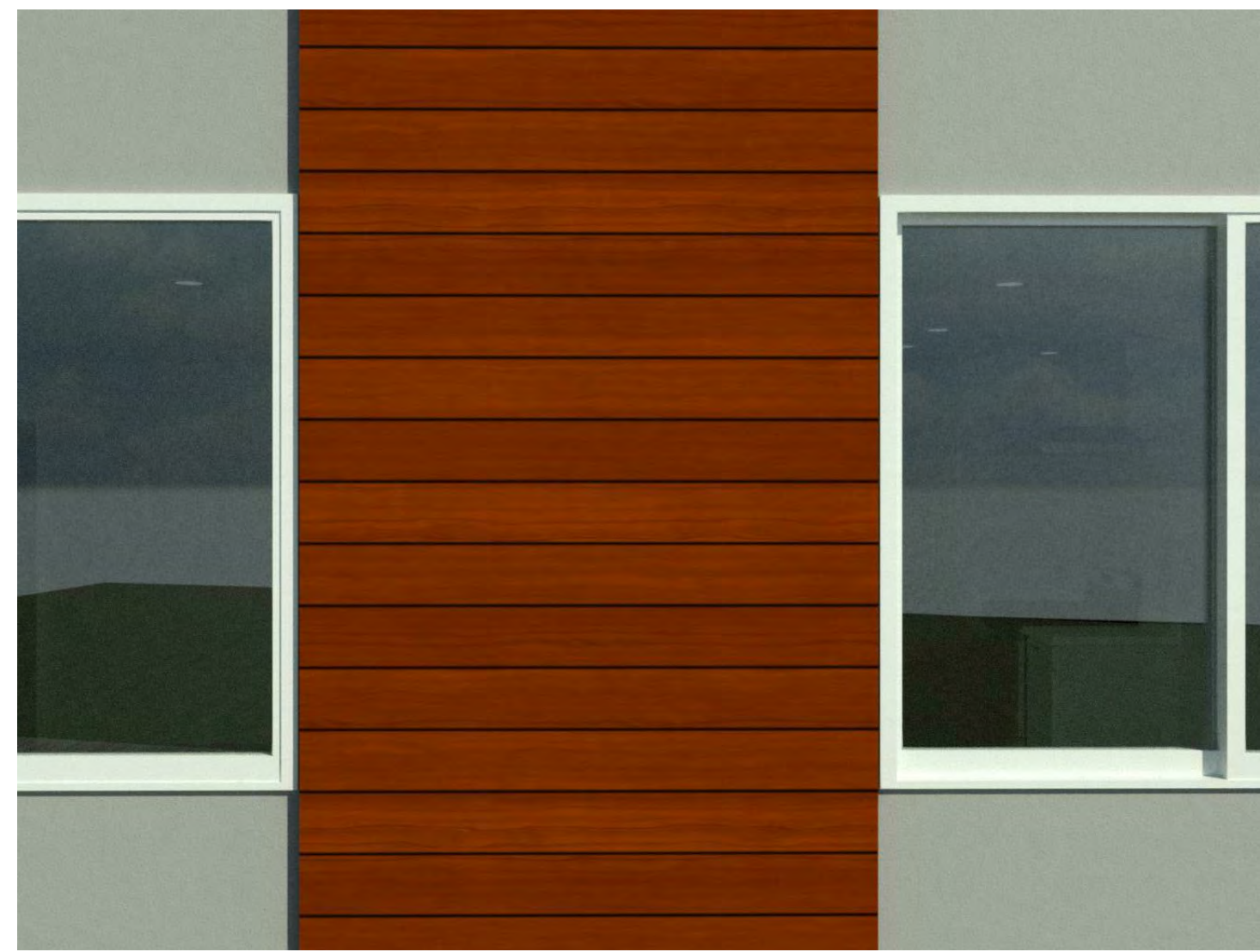
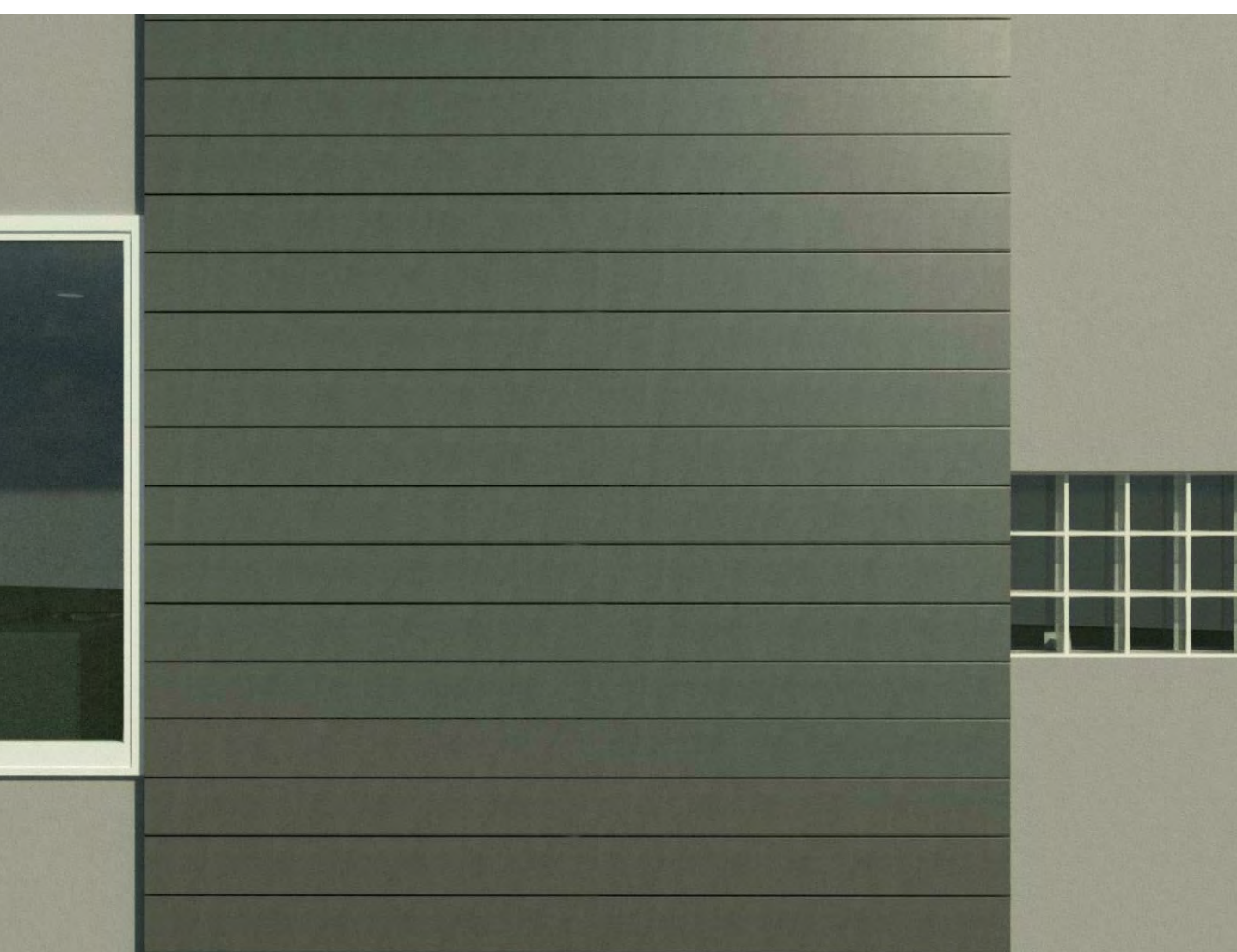
Sheet title
ELEVATION 2

Sheet No.
A-202

Date: 11/22/2021

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Grass Valley, CA 95945

Drawn by:



ATTACHMENT D

RENDERINGS

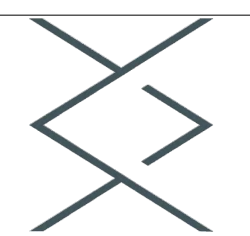
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No.	Date	Description	IB

Client
 Schumacher Construction
 34 Visitacion Ave
 Brisbane, CA 94005

Sheet title
RENDERINGS

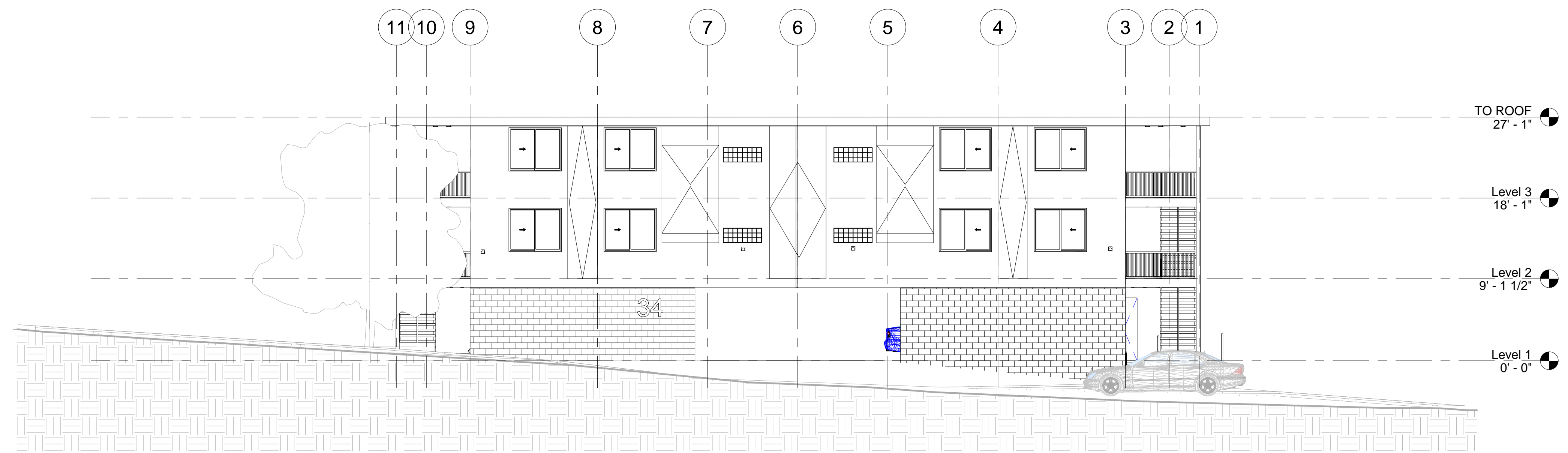
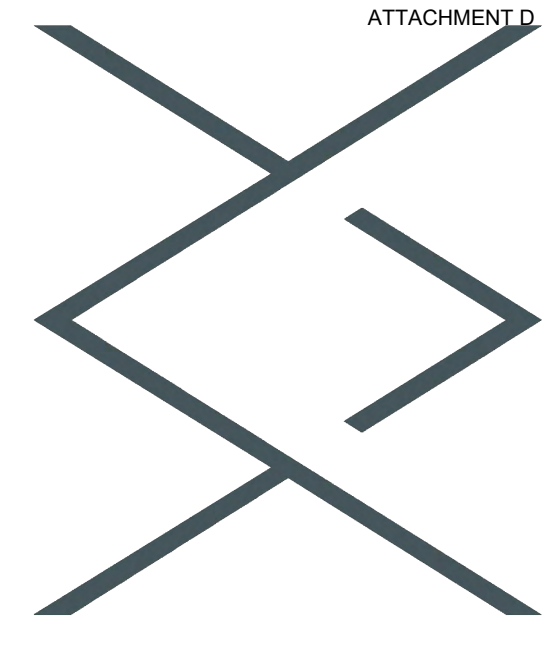
Sheet No.
A-501

Date: 11/22/2021



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 111 Bank St
 Grass Valley, CA 95945

Drawn by:



1 East-Existing
1/8" = 1'-0"



EXISTING

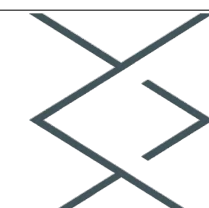
Revisions			
No.	Date	Description	IB

Client
Schumacher Construction
34 Visitacion Ave
Brisbane, CA 94005

Sheet title
EXISTING

Sheet No.
A-502

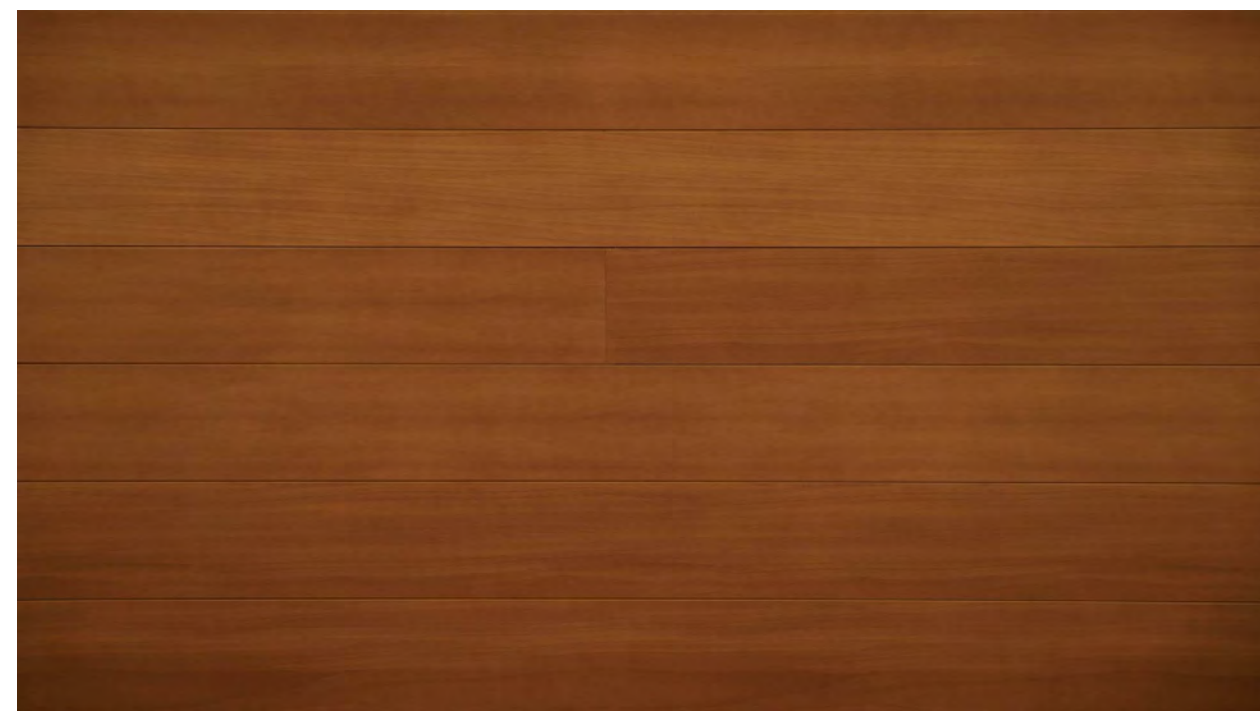
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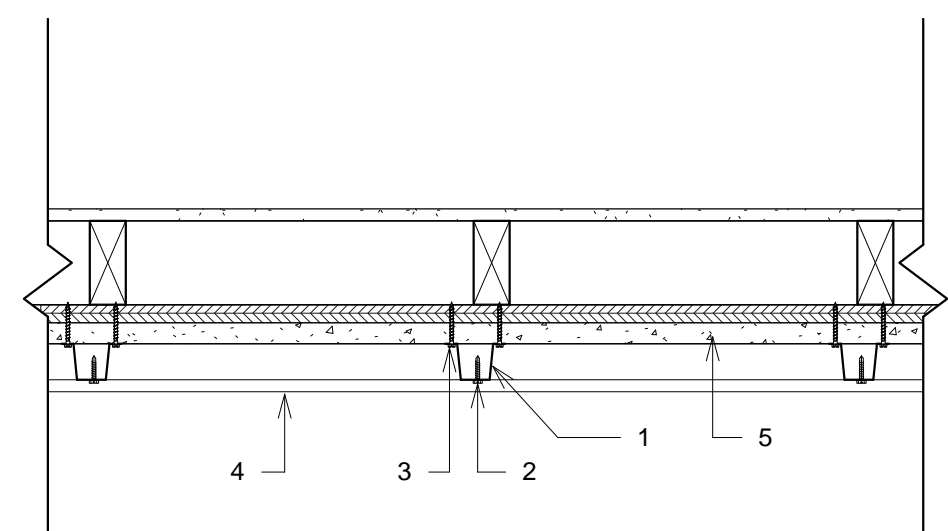
Drawn by:



MAC Metallic Grey

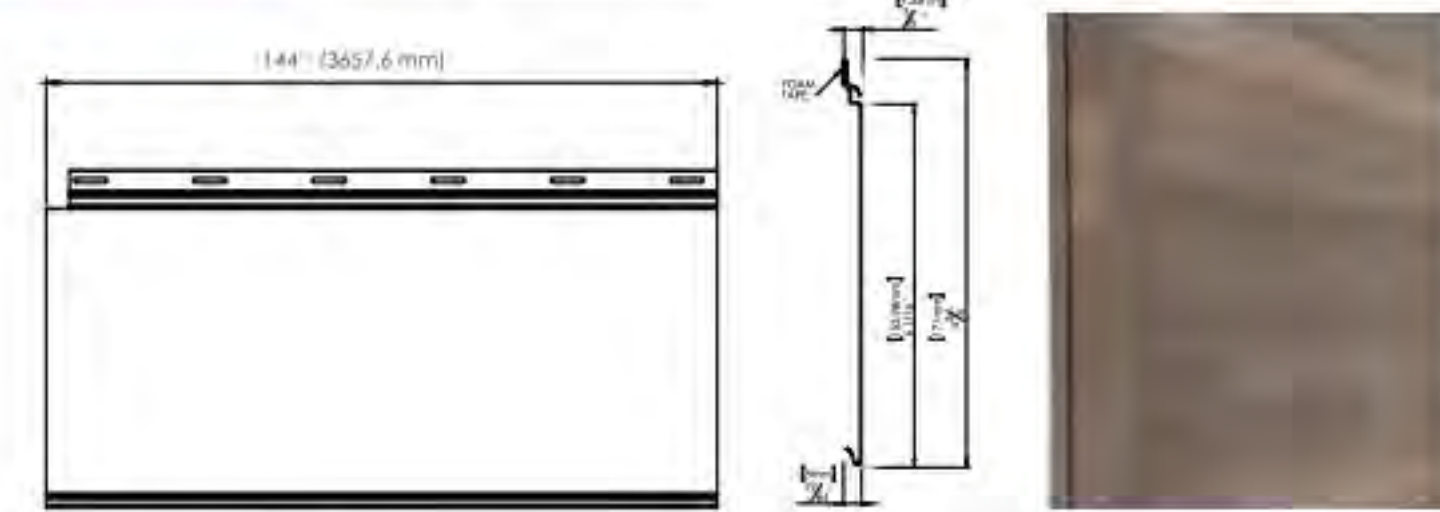


MAC Cedar



1 Siding Furring Strips Detail
1 1/2" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
1	Galvanized 1 1/2" metal hat channel spaced at 16" O.C.
2	A060.250 screw per manufacture guidelines, see A-503 for details
3	SST TNT18134H @ 12" O.C. *Fill screw hole with clear silicon caulking
4	MAC Metal Architecture Harrywood Metal Siding, Install Per manufacturer guidelines
5	Stucco



Measurement	Dimensions
Standard length	144 in (3657.6 mm)
Height (finished)	4.0625 in (104 mm)
Thickness (sheet)	0.34 in (8.6 mm)
Weight (per panel)	6.82 (2.7 kg)
Screwing holes (spacing)	0.75 in x 0.125 in (19 mm x 3.2 mm)
Screwing hole intervals	3.25 in (82.5 mm)

Packaging Details	
Box contents	Contains 12 panels, 144 in (3657 mm)
Surface area covered	72.75 sq. ft. (6.75 sqm) per box
Box dimension	142.75 x 7.67 x 2.198 in (3722.85 x 200 x 55.5 mm)
Box weight	75 lbs (34 kg)

• Panels notched at the ends during the manufacturing process for juxtaposition during longitudinal assembly.

• It is important to leave a 1/8" to 1/4-inch space between two sheets for material expansion.

• Siding equipped with a contact slip (5/16 inch (7.9 mm)-wide, 3/32 inch (2.4 mm) thick insulating foam) behind the screw holes that facilitates installation, prevents contact with the furring, and helps prevent over-tightening.

GUARANTEE
In the event that a problem occurs during the siding installation, it is important to notify the supplier prior to the installation of more than 144 sq. ft. (the equivalent of 2 boxes) to ensure that the warranty applies. Beyond 144 sq. ft., the responsibility for installation goes to the installer.

WIND RESISTANCE
THE HARRYWOOD & HARRYWOOD BLOCK SIDING PANELS CAN BE USED IN CERTIFIED ZONE 3 WINDSTORM RATED ASSEMBLY WHEN WALL CONSTRUCTION COMPLIES WITH DESCRIPTION IN ZONE 3 DESIGN. PRODUCT TESTED IN COMPLIANCE WITH ASTM E1886 & E1996 STANDARDS, ALONG WITH AS 202 & 203 STANDARDS. FOR DETAILS REFER TO THE HARRYWOOD INSTALLATION GUIDE, AVAILABLE AT MACMETALARCHITECTURAL.COM, IN THE PRO AREA SECTION OF THE PRODUCT.

RESISTANCE TO OVERLOAD DUE TO UNIFORMLY DISTRIBUTED STATIC PRESSURE-RELATED WINDS, ACCORDING TO ASTM STANDARD D5055-04A

Identified Type	Pressure
Bracking pressure of a component: Future mode-making pipe	3730 Pa (34 psf, ft.)
Bracking pressure of a component: Beak-Mode-Start Beak	4750 Pa (99 psf / sq. ft.)

FIRE RESISTANCE
Tested as per CAN/ULC-S135 for use in non-combustible constructions
Classified 0 Flammability Hazard, according to the NFPA Rating Explanation Guide

For more information on MAC product, please refer to our website at MACmetalarchitectural.com
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ASSEMBLY
Join panels across their width by using clips to cover and protect the screw holes. Join panels along their length by superimposing (juxtaposing) the notches provided for this purpose at the ends of the siding panels. It is important to leave a 1/8 to 1/4-inch space between the two for material expansion.

FASTENING

- Set a screw every 16 or 24 inches (406 or 609.6 mm) in the centre of the holes provided for this purpose.
- Use the pre-notched ends of the standard 12-foot panels to overlay siding to cover long surfaces. If the wall exceeds 30 ft, it is recommended to use a vertical expansion molding to assist the material.
- When there are several floors to cover, it is important to put a horizontal expansion molding on your structure, every floor if the structure is made of wood or every 30 ft if the structure is made of steel.
- When necessary, cut the panels into lengths, using only a specialized MAC guillotine, sheet metal scissors, or a steel nibbler.
- Installation of the MAC siding products on ZIP R sheathing panels and other dual composite panels with a softer material than wood is not recommended. This type of panel doesn't offer a good rigid mounting surface for the MAC products and will allow for movement and deformation under varying weather and sun exposure transferring into oil canning.

SCREWING
Use the MAC Anticorrosion Wood Screw or MAC Anticorrosion K-LATCH Screw (1 1/8 or 2 1/2 in) depending on the type of furring or surface to be fastened. The screws should be set with moderate contact on the clip part of the panel to avoid impeding the expansion of the metal. The screws must not exert any upward or downward pressure to avoid deforming the siding or opening the panels at the joints. A systematic check of the work must be done for every three or four panels placed heightwise so as to detect possible anomalies. Remove the protective film from the siding prior to installation to facilitate a good visual inspection of the quality of the installation and in order to make appropriate corrections as installation progresses.

PRE-FINISHED STEEL COLOR AVAILABILITY
ALL THE COLORS IN THE WOOD COLLECTION ARE AVAILABLE IN SIX DIFFERENT PLANKS OF VARIOUS WOOD GRAINS AND SHADES. EACH OF THE PLANKS ARE IDENTIFIED ON THE BACK SIDE WITH A SEQUENCE OF NUMBERS FROM 1 TO 6 IN BOLD CHARACTERS PRECEDED BY THE # SIGN. IT IS IMPORTANT TO PAY PARTICULAR ATTENTION TO THIS AND INSTALL THE PANELS IN RANDOM ORDER TO OPTIMIZE THE WOOD EFFECT, AND TO AVOID CREATING A "WALLPAPER" EFFECT. NEVER REPRODUCE THE SAME INSTALLATION SEQUENCE.

FOR MORE INFORMATION ON TEXTURAL II AND TEXTURAL IV PAINT SYSTEMS, AVAILABILITY OF COLOURS AND GAUGES, PLEASE REFER TO THE COLOR CHART AVAILABLE IN THE COLOR SECTION OF MACMETALARCHITECTURAL.COM.



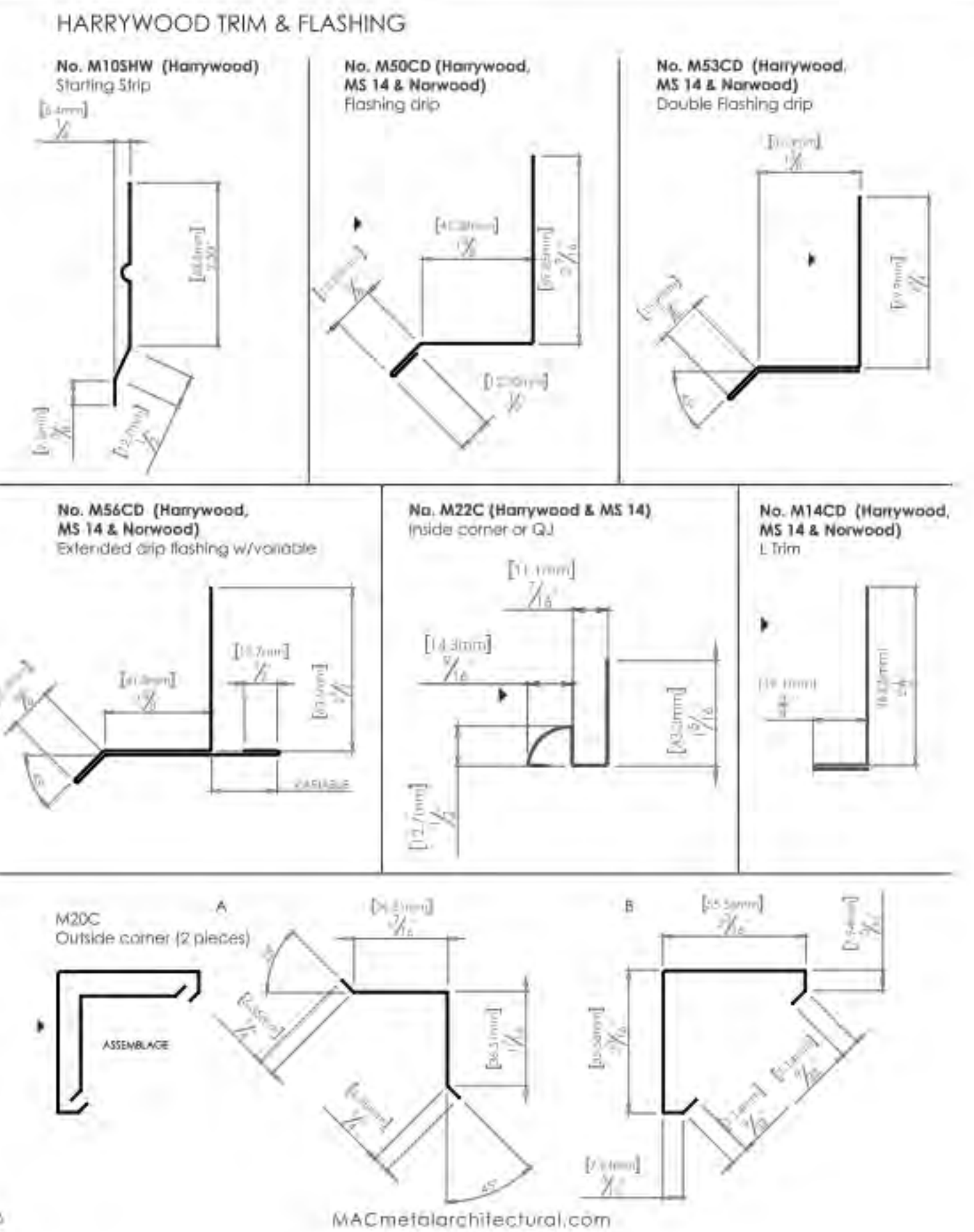
MOLDINGS
All standard moldings such as starter trim, inside/outside corners, and drip moldings are available from the MAC manufacturer or distributors, in 10 ft (3048 mm) lengths. Please refer to the website for the complete molding and flashing guide.

Custom moldings are also available upon request, in 10 ft (3048 mm) length. They can be manufactured by MAC or at a forming professional from the steel rollers supplied by MAC.

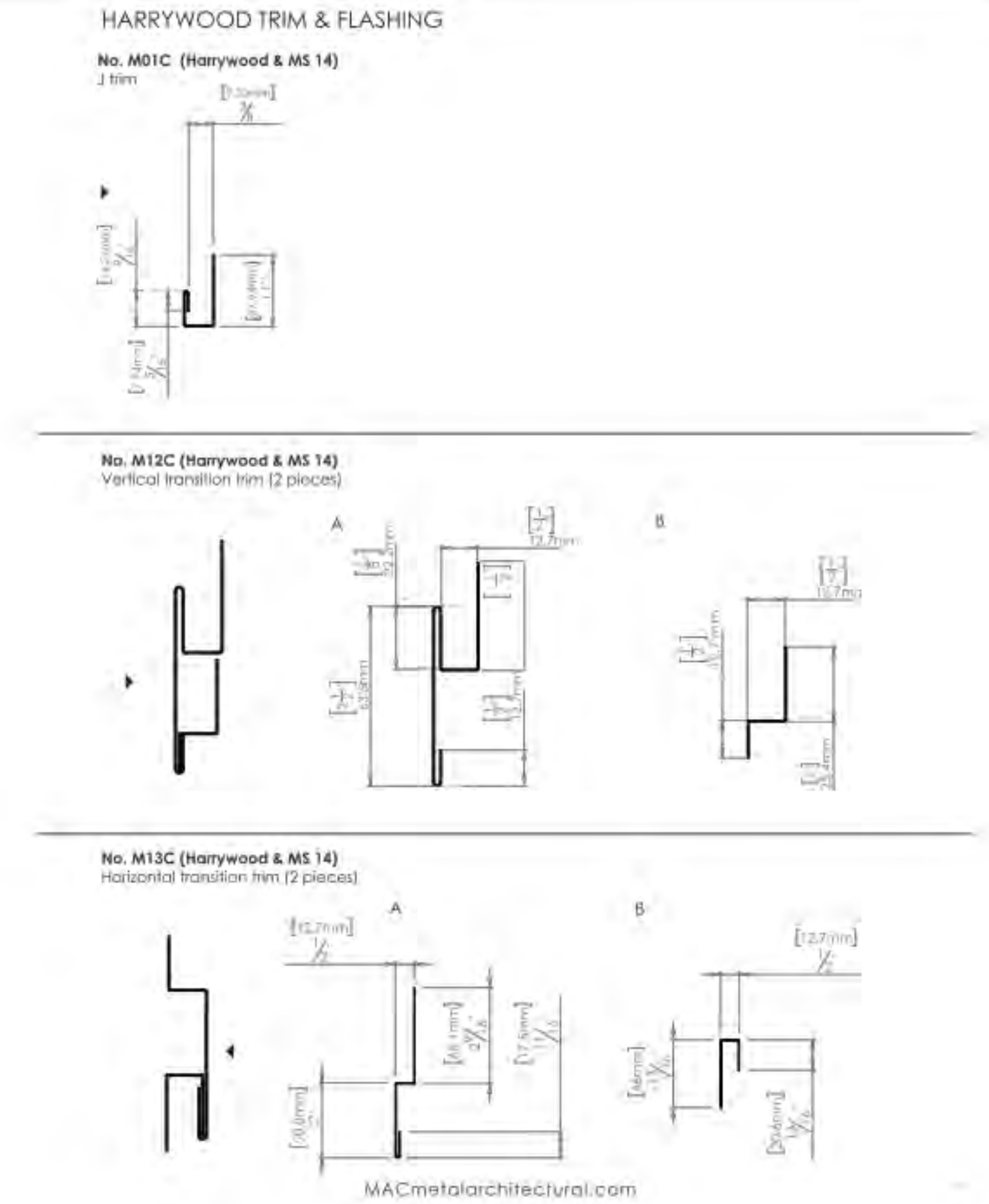
Note: Starter strip M10SHW must be installed as an invisible clip at the bottom of the wall behind the HARRYWOOD panels. It must be carefully levelled as it will determine the straightness of the structure regardless of whether it is installed in combination with a drip molding.

For more information on MAC product, please refer to our website at MACmetalarchitectural.com
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INSTALLATION GUIDE HARRYWOOD & HARRYWOOD BLOCK



INSTALLATION GUIDE HARRYWOOD & HARRYWOOD BLOCK



SIDING DETAILS

Revisions			
No.	Date	Description	IB

Client
Schumacher Construction
34 Visitacion Ave
Brisbane, CA 94005

Sheet title
SIDING DETAILS

Sheet No.
A-503

Date: 11/22/2021

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